



city commission agenda item

item type	Public Hearings	meeting date	9/24/2018
prepared by	Planning / CRA Manager Approval	approved by	City Manager, City Attorney
board approval	yes final vote		
strategic objective	Exceptional Quality of Life, Intelligent Growth and Development, Investment in Public Assets and Infrastructure		

subject

Request of the City of Winter Park:

- For conditional use approval to construct a new Winter Park Library of 34,400 square feet in size and a new city events center of 13,564 square feet on the property at 1050/1052 West Morse Boulevard

motion / recommendation

Staff recommendation is for approval of the Preliminary and Final Conditional Use request

background

This is a Conditional Use request by the City of Winter Park for the new Winter Park Public Library of approx. 34,400 square feet and the new City Events center of approx. 13,564 square feet in size. Due to the size of this project, notice has been provided via a city-wide notice to all 17,500 households in the City, as well as legal advertisement, etc. The City will establish the addresses above for each of these buildings.

Project Plans: The site plan shows the new Library and the new Events Center in the same general location as the previous Civic Center. This location also takes advantage of the adjacent lake frontage. The two buildings share a common porte-cochere structure adjacent to Morse Blvd. The buildings conform to the required 10 foot street front setback and the building heights are within the 45 feet permitted. The maximum floor area ratio for the entire block is 20% and these buildings would bring the floor area ratio of the block to 4.7%.

Parking: The Code requirement for parking is one space per 250 square feet for the events/community center and one space per 375 square feet for the Library space. These two buildings require 146 spaces per Code. The City recognizes that meeting only the minimum requirements of the Code is not sufficient. There are 90 spaces now available at the Library and 115 spaces at the Civic Center. Thus, the goal has always been to have at least those 205 spaces if not more. The site plan shows 213 parking spaces on-site. In addition, the plan includes adding 24 parallel parking

spaces along the east side of Harper Street for a total of 237 total spaces. The City is continuing to explore adding 36 more parking spaces to the south on the property where the current recreation building sits, if needed. The parking lot meets Code with respect to the landscape areas provided. There are two locations along Harper Street that exceed the 10 spaces in a row without a landscape island in order to save an existing live oak tree.

Traffic & Circulation: The entrances/exits to the buildings are similar to what exists today with access from Harper Street and Morse Blvd. The main entrance is the porte-cochere fronting on Morse Blvd. That is the pickup/drop-off location, handicapped accessible entrance and location of any emergency medical response. Generally the traffic volume from the Event Center will be similar to that previously experienced with the Civic Center. The Library will add 1,685 new trips per the estimate from the Institute of Transportation Engineers (ITE) Trip Generation rates.

Landscaping/Trees: The applicant has provided a preliminary landscape plan to show the required landscaping which will conform to Code. The project will remove most of the existing live oak trees on the site now. The Urban Forestry staff has inventoried and assessed all trees on the proposed development site. The plans designate 63 protected trees for removal.

The Urban Forestry staff has reviewed the potential for relocation of specimen and historic trees on the site. This concept is possible, but a cost of about \$18,000 - \$45,000 per tree depending on the size. Relocation of the trees are not in the budget for the project.

Storm Water Retention: This project will provide storm water retention by using the storage capacity of Lake Rose (Sinkhole). There will be an interconnect line/pipe between Lake Mendson and Lake Rose. Storm water will flow from this project into Lake Mendson and then flow out into Lake Rose. This interconnect should also help to some degree with the historical flooding that occurs during hurricane events along Denning Drive, as it will provide some added storage during those events. This system will meet the requirements of the St. John River Water Management District as well as City Code.

Architectural Image: Perspective elevations are included in the agenda materials depicting the look of the proposed buildings. It is a contemporary architectural style. The building height for the one-story Events Center is 31.5 feet which represents the visible height as it includes the parapet around the rooftop. If the project includes a roof-top event venue on this building a small portion of enclosed building would be needed for restrooms and food/beverage service functions. That would add 7-9 feet depending upon the design. The building height for the two-story Library is 39 feet which represents the visible height as it includes the parapet around the rooftop. Thus, both buildings are within the 45 feet of building height permitted by the zoning. All the AC/Mechanical elements are screened. The dumpsters are within a walled enclosure.

Planning and Zoning Board Minutes – September 11, 2018:

REQUEST OF CITY OF WINTER PARK FOR: CONDITIONAL USE APPROVAL TO

CONSTRUCT A NEW WINTER PARK LIBRARY OF 34,400 SQUARE FEET IN SIZE AND A NEW CITY EVENTS CENTER OF 13,564 SQUARE FEET ON THE PROPERTY AT 1050/1052 WEST MORSE BOULEVARD.

Planning Manager, Jeff Briggs presented the staff report and explained this is a Conditional Use request by the City of Winter Park for the new Winter Park Public Library of approx. 34,400 square feet and the new City Events center of approx. 13,564 square feet in size. Due to the size of this project, notice has been provided via a city-wide notice to all 17,500 households in the City, as well as legal advertisement, etc.

The site plan shows the new Library and the new Events Center in the same general location as the previous Civic Center. This location also takes advantage of the adjacent lake frontage. The two buildings share a common porte-cochere structure adjacent to Morse Blvd. The buildings conform to the required 10 foot street front setback and the building heights are within the 45 feet permitted. The maximum floor area ratio for the entire block is 20% and these buildings would bring the floor area ratio of the block to 4.7%. The building height for the one-story Events Center is 31.5 feet which represents the visible height as it includes the parapet around the rooftop. If the project includes a roof-top event venue on this building a small portion of enclosed building would be needed for restrooms and food/beverage service functions. That would add 7-9 feet depending upon the design. The building height for the two-story Library is 39 feet which represents the visible height as it includes the parapet around the rooftop. Thus, both buildings are within the 45 feet of building height permitted by the zoning. All the AC/Mechanical elements are screened. The dumpsters are within a walled enclosure.

In terms of parking the Code requirement is one space per 250 square feet for the events/community center and one space per 375 square feet for the Library space. These two buildings then require 146 spaces per Code. The City recognizes that meeting only the minimum requirements of the Code is not sufficient. There are 90 spaces now available at the Library and 115 spaces at the Civic Center. Thus, the goal has always been to have at least those 205 spaces, if not more. The site plan shows 213 parking spaces on-site. In addition, the plan contemplates adding 24 parallel spaces along the east side of Harper Street for a total of 237 spaces. The City is exploring adding 36 more parking spaces to the south on the property where the current Recreation building sits, if needed. The parking lot meets Code with respect to the landscape areas provided, however there are two locations along Harper Street that exceed the 10 spaces in a row without a landscape island because in order to save an existing live oak tree.

This project will provide storm water retention by using the storage capacity of Lake Rose (Sinkhole). There will be an interconnect line/pipe between Lake Mendsen and Lake Rose. Storm water will flow from this project into Lake Mendsen and then flow out into Lake Rose. This interconnect should also help to some degree with the historical flooding that occurs during hurricane events along Denning Drive, as it will provide some added storage during those events. This system will meet the requirements of the St. John River Water Management District as well as City Code.

The landscape plan shows the required landscaping, which conforms to Code. The

project will remove 63 protected trees including most of the existing live oak trees on the site now. The Urban Forestry staff has taken into consideration the potential for relocation of specimen and historic trees on the site. This concept is possible, but with conditions.

Staff recommendation was for approval of both the preliminary and final conditional use.

The Board acknowledged letters that had been received prior to or at the meeting. The Board members also disclosed prior conversations held with citizens regarding this project.

The Board then posed questions about the project to staff. Mr. Briggs and Troy Attaway, Public Works Director responded to questions regarding the storm water retention plans and the effect upon drainage/flooding in the area, the degree of excavation and filling of the lake, the soil borings and geotechnical report information regarding subsurface conditions and roadway and traffic conditions. Additional discussion ensued about the option of expanding the parking lot where the Recreation building exists (along Harper Street).

The Board heard public comment from Nancy Shutts, 2010 Brandywine Drive, Winter Park, FL; Forrest Michael, 358 West Comstock Avenue, Winter Park, FL; Cheryl Thompson, 464 West Canton Avenue; Sally Flynn, 1400 Highland Road, Winter Park, FL; Pat McDonald, 2348 Summerfield Road, Winter Park, FL; Beth Hall, 516 Sylvan Drive, Winter Park, FL; Jim Barnes, 1031 West Morse Boulevard, Winter Park, FL and Kim Allen, 1800 West Fawsett Road, Winter Park, FL.

Those public comments related to the bond issue, the marketing materials for the bond issue, the site soil conditions, historic flooding in the area, the adequacy of the storm water plan, the adequacy of parking, traffic congestion, impact upon Lake Rose ownerships, permitting by SJRMWD, loss of the existing live oak trees, fate of the Recreation building and croquet court, use of the Lakeside Crossing garage, and need for expanded parking on the Recreation building site (along Harper Street).

The public hearing was closed.

Mr. Hahn expressed that many questions had been raised about this project tonight and wondered if there was value to splitting this approval, as has been done for other projects into 'preliminary' and 'final' conditional use actions by the Board. City Attorney, Dan Langley answered questions regarding the process. Chairman Johnston recapped many of the issues raised by the public and separated them into matters that were not in the purview of the Board, such as validity of the bond issue, versus others like storm water and parking that were germane to their review. Ms. DeCiccio and Ms. Wanda commented that the adequacy of parking and the option for expanding the parking via a parking garage or larger surface parking lot were questions that could be explored in the time between a preliminary and final conditional use action by the Board. In further discussions, the Board consensus was that the topics of the storm water design and added parking were items that the Board would like to see again, as the project moved to final design.

Motion made by Bob Hahn, seconded by Sheila DeCiccio, for preliminary conditional use approval to construct a new Winter Park Library of 34,400 square feet in size and a new city events center of 13,564 square feet on the property at 1050/1052 West Morse Boulevard subject to the following conditions:

- 1. That the Board review and approve the final storm water retention plan once approved by the City And SJRWMD as part of the final CU, and**
- 2. That the Board encourages the City Commission to explore additional parking in the location of the existing Recreation Building site.**

The motion carried with a 4-0 vote.

alternatives / other considerations

N/A

fiscal impact

N/A

ATTACHMENTS:

Description

Backup Materials

Community Letters

Upload Date

9/11/2018

9/11/2018

Type

Backup Material

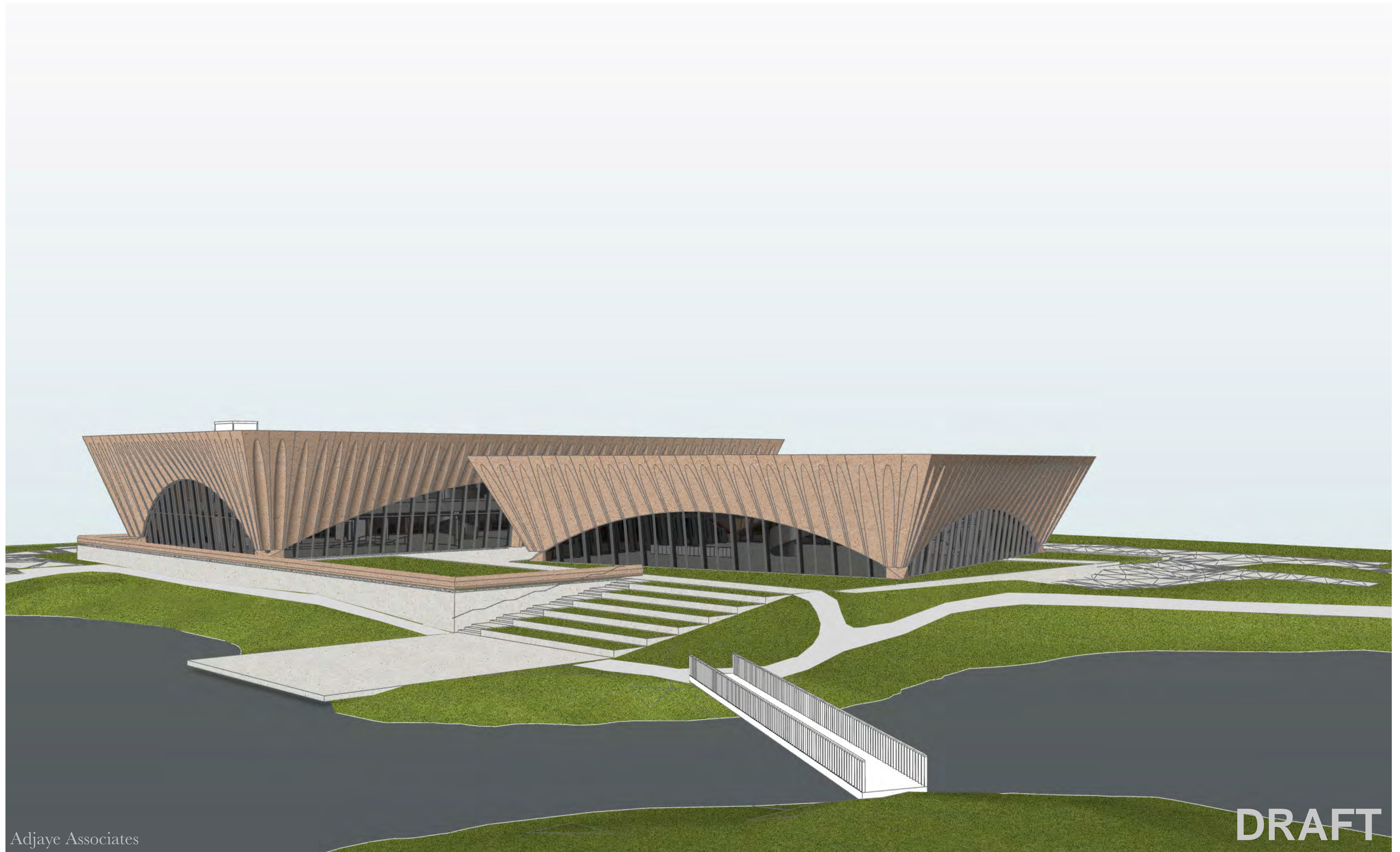
Backup Material



WINTER PARK LIBRARY • SITE PLAN CONCEPT - ALTERNATE SCHEME

PN 8116008 | 08.31.2018 | CITY OF WINTER PARK

LandDesign®



Adjaye Associates

WINTER PARK LIBRARY • SITE PERSPECTIVE CONCEPT - ALTERNATE SCHEME

PN 8116008 | 08.31.2018 | CITY OF WINTER PARK

LandDesign®

WINTER PARK LIBRARY

PUBLIC INSTITUTION DEVELOPMENT

WINTER PARK, FLORIDA

DATE: 07/06/2018

UTILITY MATRIX			
UTILITY	PROVIDER	ADDRESS	PHONE NUMBER
ELECTRIC	CITY OF WINTER PARK	401 S PARK AVE WINTER PARK, FL 32789	407.599.3220
GAS	TECO - PEOPLES GAS	600 W ROBINSON ST. ORLANDO, FL 32801	407.425.4662
WATER	CITY OF WINTER PARK	401 S PARK AVE WINTER PARK, FL 32789	407.599.3220
SEWER	CITY OF WINTER PARK	401 S PARK AVE WINTER PARK, FL 32789	407.599.3220
SOLID WASTE	WASTE PRO	1400 S ORANGE BLOSSOM TRAIL ORLANDO, FL 32806	407.774.0800

VICINITY MAP



SHEET INDEX

SHEET NUMBER	SHEET TITLE
C000	COVER
C010	OVERALL EXISTING BOUNDARY
C011	OVERALL EXISTING CONDITIONS
C110	SITE PLAN
C210	GRADING PLAN
C310	OVERALL UTILITY AND STORMWATER PLAN
L001	ABBREVIATIONS, NOTES & SYMBOLS
L011	TREE REMOVAL & PRESERVATION PLAN
L100	OVERALL KEY PLAN
L301	HARDSCAPE PLAN
L302	HARDSCAPE PLAN
L390	HARDSCAPE SCHEDULE AND REFERENCE IMAGES
L701	TREE PLANTING PLAN
L702	TREE PLANTING PLAN
L751	SHRUB PLANTING PLAN
L752	SHRUB PLANTING PLAN
L790	LANDSCAPE SCHEDULE & REFERENCE IMAGES
L791	PLANTING DETAILS
A110	PLAN - PLINTH GROUND LEVEL
A120	PLAN - PLINTH SECOND LEVEL
A201	SITE ELEVATIONS - OVERALL
A202	3D VIEWS

DEVELOPER/OWNER
CITY OF WINTER PARK
401 SOUTH PARK AVE.
WINTER PARK, FL 32789
407.599.3399

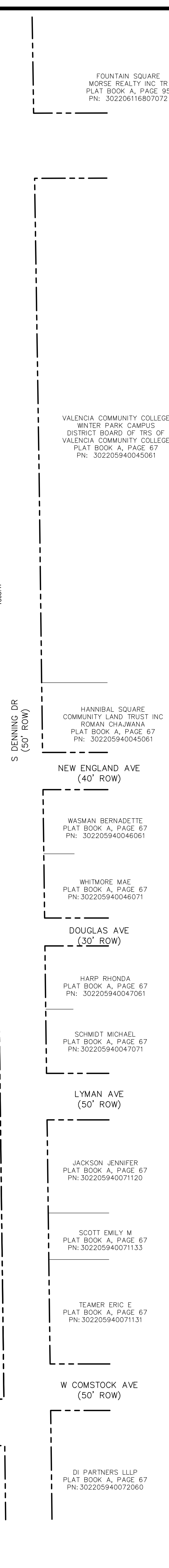
LANDSCAPE ARCHITECT
LANDDESIGN
100 SOUTH ORANGE AVE., SUITE 700
ORLANDO, FL 32801
407.270.7800

CIVIL ENGINEER
LANDDESIGN
100 S. ORANGE AVE., SUITE 700
ORLANDO, FL 32801
407.270.7800

SURVEYOR
SOUTHEASTERN SURVEYING
6500 ALL AMERICAN BLVD
ORLANDO, FL 32810
407.292.8580

ARCHITECT
HUNTONBRADY
800 NORTH MAGNOLIA AVE, SUITE 600
ORLANDO, FL 32803
407.839.0886

ARCHITECT
ADJAYE ASSOCIATES
415 BROADWAY, 3RD FLOOR
NEW YORK, NY 10013
212.965.8477



DESCRIPTION: (DESCRIPTION PROVIDED BY CLIENT)

A PORTION OF LAKE ISLAND ESTATES, AS RECORDED IN PLAT BOOK M, PAGE 95, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY AS FOLLOWS:

ALL OF BLOCKS 3, 4, 6, 7, 8, 9, 11, 12 & 13, TOGETHER WITH THAT PORTION OF CURRIER AVENUE (A 50' WIDE PLATTED RIGHT-OF-WAY) BEING BOUNDED TO THE SOUTHERLY EXTENSION OF THE SOUTHERLY LINE OF BLOCK 3, AND BOUNDED TO THE NORTH BY THE EASTERLY EXTENSION OF THE NORTH LINE OF SAID BLOCK 9 AND THAT PORTION OF GORDON STREET (A 50' WIDE PLATTED RIGHT-OF-WAY) BEING BOUNDED TO THE WEST BY THE SOUTHERLY EXTENSION OF THE WESTERLY LINE OF BLOCK 9 AND BOUNDED TO THE EAST BY THE SOUTHERLY EXTENSION OF THE EAST LINE OF SAID BLOCK 9, AND THAT PORTION OF NEW ENGLAND AVENUE (A 50' WIDE PLATTED RIGHT-OF-WAY) BEING BOUNDED TO THE EAST BY THE SOUTHERLY EXTENSION OF THE EASTERLY LINE OF SAID BLOCK 11, AND BOUNDED TO THE WEST BY THE SOUTHERLY EXTENSION OF THE WESTERLY LINE OF SAID BLOCK 11 AND THAT PORTION OF LYMAN AVENUE (A 50' WIDE PLATTED RIGHT-OF-WAY) BEING BOUNDED TO THE EAST BY THE SOUTHERLY EXTENSION OF THE EAST LINE OF SAID BLOCK 7 AND BOUNDED TO THE WEST BY THE SOUTHERLY EXTENSION OF THE WESTERLY LINE OF SAID BLOCK 6 AND THAT PORTION OF WARD AVENUE (A 50' WIDE PLATTED RIGHT-OF-WAY) BEING BOUNDED TO THE SOUTH BY THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID BLOCK 4 AND BOUNDED TO THE NORTH BY THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID BLOCK 6.

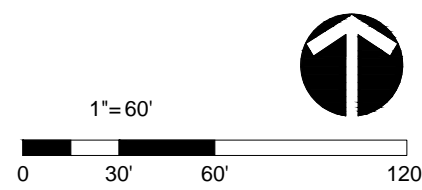
SURVEYOR'S REPORT:

1. UTILITY LOCATIONS SHOWN HEREON ARE BASED ON FIELD LOCATIONS OF MARKINGS BY SOUTHEASTERN SURVEYING & MAPPING CORP. FIELD MARKINGS ARE BASED ON SIGNALS RECEIVED FROM GROUND PENETRATING RADAR (GPR) AND ELECTRONIC EQUIPMENT. LOCATIONS ARE APPROXIMATE AND TEST HOLES SHOULD BE PERFORMED FOR VERIFICATION.
2. EASEMENTS OR RIGHTS OF WAY THAT APPEAR ON RECORDED PLANS OR THAT HAVE BEEN FURNISHED TO THE SURVEYOR BY OTHERS HAVE BEEN INCORPORATED INTO THIS DRAWING WITH APPROPRIATE NOTATION. OTHER EASEMENTS MAY BE DISCOVERED BY A SEARCH OF THE PUBLIC RECORDS.
3. MINIMUM HORIZONTAL ACCURACY FOR THIS SURVEY IS IN ACCORDANCE WITH THE STANDARDS OF PRACTICE SET FORTH BY THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17 REQUIREMENTS OF FLORIDA ADMINISTRATION CODE. THE MAP AND MEASUREMENT METHODS USED FOR THIS SURVEY MEET OR EXCEED THIS REQUIREMENT. THE DIMENSIONS SHOWN HEREON ARE IN UNITED STATES STANDARD FEET AND DECIMALS THEREOF.
4. THIS SURVEY DOES NOT DETERMINE OWNERSHIP OF THE LANDS SHOWN HEREON.
5. UNDERGROUND FOUNDATIONS HAVE NOT BEEN LOCATED.

SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

7. FEATURES SHOWN BY SYMBOL AS INDICATED IN THE LEGEND ARE NOT TO SCALE.
8. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
9. BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH RIGHT-OF-WAY LINE OF MORSE BOULEVARD, BEING NORTH 89°52'04" EAST, ASSUMED. BEARINGS AND DISTANCES SHOWN HEREON ARE MEASURED UNLESS OTHERWISE NOTED.
10. VERTICAL INFORMATION SHOWN HEREON REFERS TO FOOT BENCHMARK DATUM, PID #7504B011, HAVING A PUBLISHED ELEVATION OF 91.10, BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83), POINT ADJUSTMENT, STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE. DISTANCES SHOWN ARE GRID DISTANCES.
11. HORIZONTAL FEATURES SHOWN ON THE MAP REFER TO A NATIONAL GEODETIC SURVEY POINT WITH DESIGNATION "GIS 0131 KAREN MCKEE", PLAT BOOK 1307, AND IS RELATIVE TO NORTH AMERICAN DATUM OF 1983 (NAD83), POINT ADJUSTMENT, STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE. DISTANCES SHOWN ARE GRID DISTANCES.
12. THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF AN ABSTRACT, TITLE SEARCH, TITLE OPINION OR TITLE COMMITMENT. A TITLE SEARCH MAY REVEAL ADDITIONAL INFORMATION AFFECTING THE PARCEL AS SHOWN.
13. IMPROVEMENTS & TOPOGRAPHIC FEATURES SHOWN HEREON ARE LIMITED TO AREAS PER SPECIFIC INSTRUCTIONS OF THE CLIENT.
14. RIGHT OF WAY INFORMATION SHOWN HEREON WAS DETERMINED BY FOUND MONUMENTATION, RECORDED PLATS, AND INFORMATION OBTAINED ON THE ORANGE COUNTY PROPERTY APPRAISERS WEB SITE.
15. THE ABOVE DESCRIBED PARCEL CONTAINS 28.55 ACRES, MORE OR LESS.
16. ADJACENT PROPERTY INFORMATION SHOWN HEREON WAS NOT FURNISHED TO THIS SURVEYOR, AND WAS COMPILED USING LATEST AVAILABLE DATA. NO ATTEMPT WAS MADE BY THIS SURVEYOR TO VERIFY ITS ACCURACY.
17. DESCRIPTION AS PROVIDED BY CLIENT DOES NOT INCLUDE THE PORTIONS OF LYMAN AVENUE & NEW ENGLAND AVENUE EAST OF CURRIER AVENUE AND WEST OF DENNING DRIVE.
18. AREA IMPROVEMENTS AND CONTOURS SHOWN HEREON WITHOUT SPOT SHOTS WERE INCORPORATED FROM INFORMATION PROVIDED BY PICKETT AND ASSOCIATES, INC. ON JULY 26, 2017, AND HAS BEEN FIELD VERIFIED BY THIS SURVEYOR.

**SOUTHEASTERN SURVEYING
AND MAPPING CORPORATION**
6500 All American Boulevard
Orlando, Florida 32810-4350
(407) 292-8580
e-mail: info@southeasternsurveying.com
Certification Number LB2108



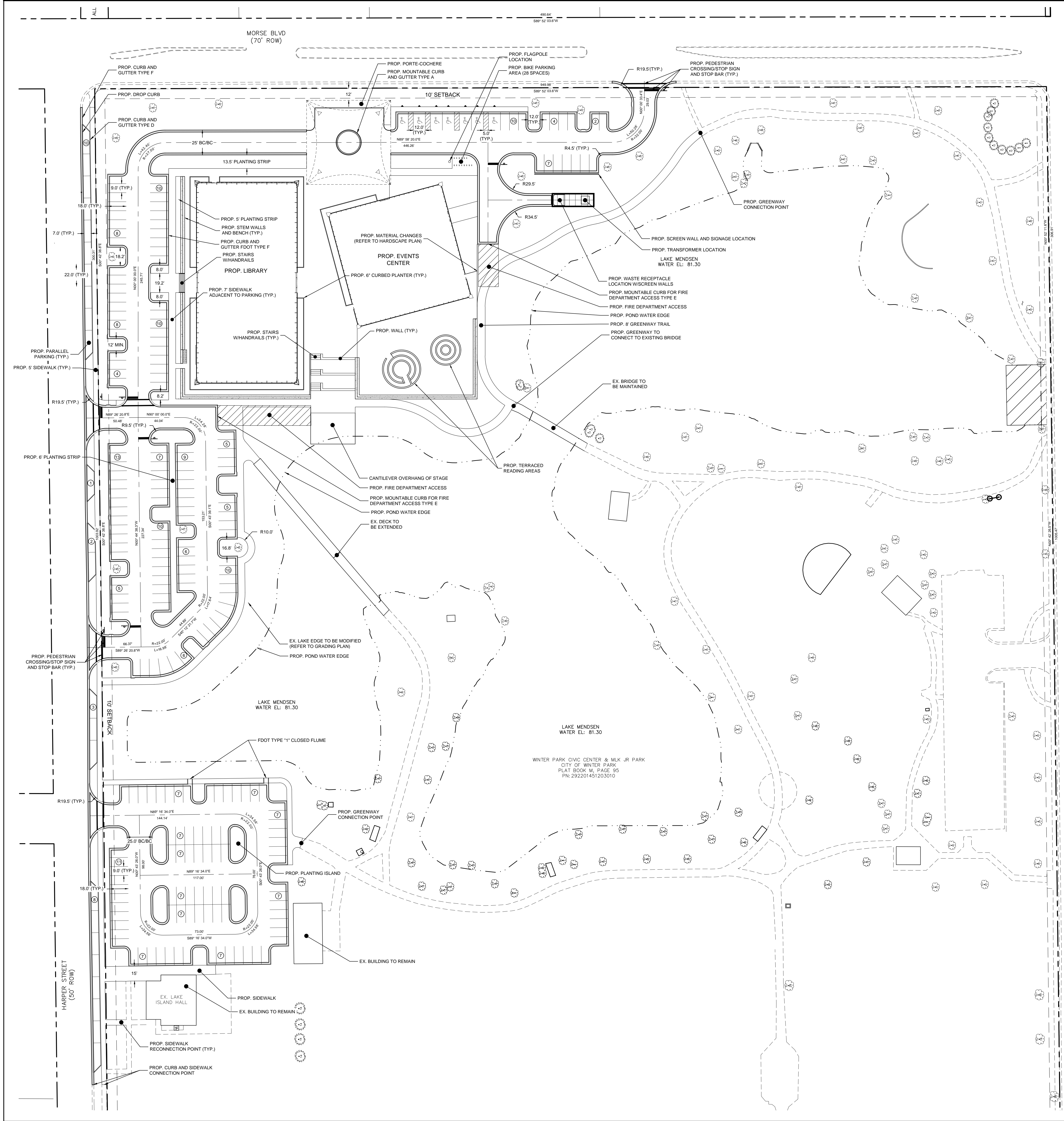
**CITY OF WINTER PARK
LIBRARY AND EVENTS
CENTER**

Hunton Brady
ARCHITECTS
Adjaye Associates

BOUNDARY PLAN

C010





LEGEND

PROPERTY BOUNDARY
SETBACK/YARDS

SITE DEVELOPMENT SUMMARY:

SITE AREA:
TOTAL SITE: 28.55 ACRES
(1,243,768 SQ. FT.)

PARCEL ID:
01-22-29-4512-03-010

ZONING:
PARKS AND RECREATION DISTRICT

FUTURE LAND USE:
OPEN SPACE RECREATION

BUILDING SETBACKS:
MORSE BLVD: 10' SETBACK
HARPER STREET: 10' SETBACK

BUILDING USE / AREAS:
USE: LIBRARY AND EVENTS CENTER
LIBRARY GFA: 34,400 SF
EVENTS CENTER GFA: 13,564 SF
TOTAL: 47,964 SF

FLOOR AREA RATIO:
PERMITTED: 20%
PROPOSED: 4.7%

IMPERVIOUS AREAS:
WITHIN CONSTRUCTION LIMITS:
EXISTING IMPERVIOUS = 2.31 AC (100,624 SF)
PROPOSED IMPERVIOUS = 4.36 AC (189,793 SF)
DELTA = 2.05 AC (89,169 SF)

LIGHTING:
BUILDING AND SITE LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH CITY CODE.

SIGNAGE:
SIGNAGE FOR THE BUILDING SHALL BE PROVIDED AS A SEPARATE STAND ALONE SUBMITTAL FOR FINAL CONDITIONAL USE PERMIT

BUILDING HEIGHT:
PERMITTED: 35'
PROPOSED: 31'

PARKING:
EXISTING PARKING REMOVED:
CIVIC CENTER: 114 SPACES
AUXILIARY: 16 SPACES ON-STREET
TOTAL: 144 SPACES

PARKING CALCULATIONS BASED ON ACTUAL FLOOR AREA MINIMUM PERMITTED:
LIBRARY: 92 SPACES (1/375 SF)
EVENTS CENTER: 55 SPACES (1/250 SF)
TOTAL: 147 SPACES

PROPOSED PARKING:
WITHIN 300': 104 SPACES
ON PROPERTY: 116 SPACES
ON STREET: 24 SPACES
TOTAL: 244 SPACES
BIKE PARKING:
PERMITTED: 28 SPACES (15%)

FLOOD PLAIN:
ZONE "X" PER ORANGE COUNTY MAP NUMBER #12095C0255F, DATED SEPTEMBER 25, 2009.

STORMWATER MANAGEMENT CONCEPT:
THE PROPOSED WINTER PARK LIBRARY (WPL) PROJECT SHALL PROVIDE STORMWATER QUALITY TREATMENT THROUGH THE RETENTION OF RUNOFF FROM IMPERVIOUS AREAS IN ACCORDANCE WITH CITY OF WINTER PARK AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT REQUIREMENTS. THE POST-WPL DEVELOPMENT PEAK RATE OF STORMWATER DISCHARGE SHALL BE ATTENUATED SO THAT IT DOES NOT EXCEED PRE-WPL RATE OF DISCHARGE FOR THE REGULATED STORMS IN ACCORDANCE WITH THE CITY OF WINTER PARK/ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND FLORIDA DEPARTMENT OF TRANSPORTATION REQUIREMENTS AS APPLICABLE. WATER QUALITY TREATMENT AND RATE ATTENUATION SHALL BE PROVIDED WITHIN THE EXISTING PONDS (LAKE MENDON AND LAKE ROSE) LOCATED ON SITE. RETENTION AREAS SHALL BE DESIGNED TO RECOVER IN ACCORDANCE WITH ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND THE CITY OF WINTER PARK REQUIREMENTS.

VALENCIA COMMUNITY CT
WINTER PARK CAMPUS
DISTRICT BOARD OF TR
VALENCIA COMMUNITY CT
PLAT BOOK A, PAGE
PN: 302205940045C

HANNIBAL SQUARE
COMMUNITY LAND TRUST
ROMAN CHAIKIANA
PLAT BOOK A, PAGE I
PN: 3022059400450E

NEW ENGLAND AVE
(40' ROW)

WASMAN BERNADETTE
PLAT BOOK A, PAGE 67
PN: 3022059400460E1

WHITMORE MAE
PLAT BOOK A, PAGE 67
PN: 302205940046071

DOUGLAS AVE
(30' ROW)

HARP RHONDA
PLAT BOOK A, PAGE 67
PN: 3022059400470E1

SCHMIDT MICHAEL
PLAT BOOK A, PAGE 67
PN: 302205940047071

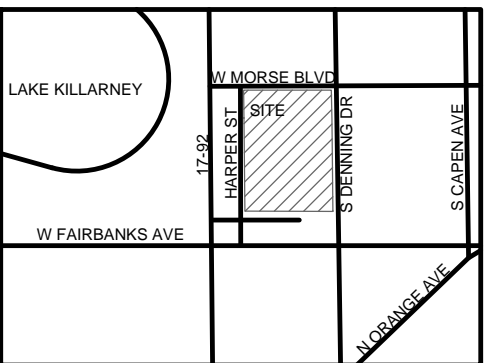
LYMAN AVE
(50' ROW)

1"=40'
0 20 40 80



LandDesign

100 S. ORANGE AVE., SUITE 700
ORLANDO, FL 32801
407.270.7800
WWW.LANDDESIGN.COM



REV MAP

SEAL

NOT FOR
CONSTRUCTION

CITY OF WINTER PARK
LIBRARY AND EVENTS
CENTER

Hunton Brady
ARCHITECTS

Adjaye Associates

DATE SUBMISSION NO
07/06/18 FINAL CONDITIONAL USE APPROVAL

SITE PLAN

PROJ. NO. 8118008 SHEET
DRAWN DGG

C110

GENERAL NOTES

1. BASE INFORMATION, INCLUDING EXISTING CONDITIONS, TOPOGRAPHY, EXISTING UTILITIES, AND BOUNDARY INFORMATION IS FROM PLANS BY: XXXXXX
2. ARCHITECTURAL INFORMATION IS FROM PLANS BY: HUNTON BRADY ASSOCIATES
3. WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDESIGN OF ANY DISCREPANCIES.
4. DIMENSIONS ARE TO FACE OF OBJECT, UNLESS NOTED OTHERWISE.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING UTILITIES ARE TO BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER. LANDESIGN ASSUMES NO RESPONSIBILITY FOR ANY UTILITIES NOT SHOWN ON PLANS.
6. ALL PROPOSED FINISHED GRAVELS AND LINE RUNS SHALL BE THE OWNER'S SURVEY AND OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO LANDESIGN IMMEDIATELY.
7. PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION, ALL PIERS, FOOTINGS, AND WALLS ARE TO BE SURVEYED, LAID OUT, AND STAKED IN THE FIELD FOR REVIEW BY THE CONTRACTOR. THE CONTRACTOR SHALL ASSURE THE ACCURACY OF THE SURVEY AND DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION OF HARDSCAPE CONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL ITEMS PER DRAWINGS AND SPECIFICATION. NOTIFY LANDESIGN OF ANY MAJOR DISCREPANCIES BETWEEN CONTRACTOR'S QUANTITIES, BID BOOK, AND INTENT OF DRAWING.
9. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS ANY QUANTITIES PROVIDE BY LANDESIGN ARE PROVIDED FOR CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDESIGN SHOULD BE NOTIFIED OF ANY GRADING DISCREPANCIES.
10. THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED, SHALL BE VERIFIED WITH THE OWNER OR LANDESIGN PRIOR TO BIDDING.
11. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETE OVER SCALD DISEASES, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
12. IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER & LANDESIGN SHALL BE NOTIFIED IMMEDIATELY.
13. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY LANDESIGN OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
14. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THIS SITE AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
15. CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER TRADES AND NOTIFY OWNER & LANDESIGN OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
16. THE CONTRACTOR SHALL EMPLOY, AS REQUIRED BY GOVERNING AUTHORITIES, AN APPROVED TESTING LABORATORY TO MAKE ALL TESTS FROM CONCRETE, SOIL COMPACTION AND WELDING TO INSURE COMPLIANCE WITH PLANS, STANDARDS AND CODES. COST SHALL BE INCLUDED AS INCIDENTAL TO THE CONTRACT.
17. ALL EXISTING WORK OR LANDSCAPING NOT SHOWN TO BE ALTERED OR REMOVED SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR(S) SHALL BEAR THE TOTAL EXPENSE FOR, AND SHALL REPAIR ANY DAMAGE TO EXISTING CONDITIONS, OR IMPROVEMENTS NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS TO RECEIVE ALTERATION, ADDITIONS OR REMOVAL.

LAYOUT NOTES:

1. ALL MATERIALS AND CONSTRUCTION WITHIN RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE XXXXXXXXXXXX STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS, AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY THE XXXXXXXXXXXX (LATEST REVISION).
2. EXISTING UTILITIES ARE SHOWN SCHEMATICALLY AND ARE FOR THE CONTRACTOR'S GUIDANCE ONLY. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
4. ALL ONSITE PAVING DIMENSIONS ARE TO THE FACE OF CURB, WHERE APPLICABLE, UNLESS NOTED OTHERWISE.
5. ALL CURB RADI AND SIDEWALK RETURNS ARE 2' UNLESS NOTED OTHERWISE.
6. ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE PROJECT GEOTECHNICAL REPORT.
7. BOUNDARY SURVEY: BOUNDARY SURVEY INFORMATION IS BASED ON THE BOUNDARY SURVEY PREPARED BY XXXXXXXX. REFER TO THE BOUNDARY SURVEY AND PLAN TO VERIFY PROPERTY LINES AND EASEMENT LOCATIONS.
8. BUILDING DIMENSIONS: THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO VERIFY THE EXACT BUILDING DIMENSIONS.
9. LAY PAVERS IN PATTERNS(S) SHOWN ON DRAWINGS. PLACE UNITS HAND TIGHT WITHOUT USING HAMMERS. MAKE HORIZONTAL ADJUSTMENTS TO THE ADJACENT OF LAY PAVERS WITH RUBBER HAMMERS AS REQUIRED TO ADJUSTMENTS TO EDGE CONSTRAINTS AS REQUIRED TO ACCOMMODATE ACTUAL PAVER SIZES. NOTIFY LANDESIGN IMMEDIATELY OF DISCREPANCIES AND/OR ADJUSTMENTS.
10. PROVIDE JOINTS BETWEEN PAVERS BETWEEN 1/16 IN. AND 3/16 IN. (2 AND 5 MM) WIDE. NO MORE THAN 5% OF THE JOINTS SHALL EXCEED 1/4" WIDE TO ACHIEVE STRAIGHT BOND LINES.
11. JOINT (BOND) LINES SHALL NOT DEVIATE MORE THAN ±1/2 IN. (±15 MM) OVER 50 FT. (15 M) FROM STRING LINES.
12. FILL GAPS AT THE EDGES OF THE PAVED AREA WITH CUT PAVERS OR EDGE UNITS.
13. CUT PAVERS TO BE PLACED ALONG THE EDGE WITH A MASONRY SAW.
14. ADJUST BOND PATTERN TO MATCH THE PAVING PATTERN SUCH THAT CUTTING OF EDGE PAVERS IS MINIMIZED.
15. IN NO CASE SHALL A CUT PAVER BE LESS THAN 1/3 FULL PAVER SIZE.
16. PAYER DIMENSIONS ARE NOMINAL. PRIOR TO POURING SLABS, BANDING, OR OTHERWISE SETTING PAVER FIELDS, VERIFY ACTUAL PAVER SIZES AND LAYOUT OF THE PAVER. MAKE MINOR ADJUSTMENTS TO EDGE CONSTRAINTS AS REQUIRED TO ACCOMMODATE ACTUAL PAVER SIZES. NOTIFY LANDESIGN IMMEDIATELY OF DISCREPANCIES AND/OR ADJUSTMENTS.

GRADING NOTES:

1. STAKE PER SPOT ELEVATIONS AND NOTED SLOPES. CONTOURS ARE PROVIDED FOR MASS GRADING/INTENT ONLY.
2. WRITTEN DIMENSIONS AND GRADES PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDESIGN OF ANY DISCREPANCIES.
3. ALL SPOT ELEVATIONS SHOWN ON GRADING PLAN ARE TO BOTTOM OF CURB/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. ALL RIM ELEVATIONS ARE TO EDGE OF PAVEMENT.
4. REFER TO GEOTECHNICAL ENGINEER AND GEOTECH REPORT FOR INFORMATION ON SUBSURFACE MATERIALS, TOPSOIL, STRUCTURAL MATERIAL, DEEP FILLS, EXCAVATION, AND FOUNDATIONS.
5. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
6. IN ORDER TO ASSURE PROPER DRAINAGE, KEEP A MINIMUM OF .5% SLOPE ON THE CURB.
7. ALL PLANTING ISLANDS SHALL BE GRADED TO MOUND TO PROVIDE POSITIVE DRAINAGE.
8. CONTRACTOR TO VERIFY 2% MAX. GROSS SLOPE ON ALL SIDEWALKS.
9. CONTRACTOR TO VERIFY THAT ALL SIDEWALK SLOPES, HANDICAP RAMPS, AND HANDICAP PARKING SPACES MEET ADA REQUIREMENTS.
10. CONCRETE SIDEWALKS ADJACENT TO TREE SAVE LOCATIONS SHOULD BE POURED ON TOP OF EXISTING GRADE.
11. REFER TO LANDSCAPE PLAN FOR ALL TREE PROTECTION FENCE LOCATIONS AND INSTALLATION PROCEDURES. BEFORE GRADING/CONSTRUCTION BEGINS, CALL FOR INSPECTION OF TREE PROTECTION BARRICADES. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING, OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.
12. DIMENSIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND ARE NOT TO BE USED TO LAYOUT FOOTINGS.
13. GRADING CONTRACTORS SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTORS SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES. CONTRACTORS SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS REQUIRED TO MATCH FINISHED GRADES.
14. GRADING CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO INSURE PROPER AND TIMELY COMPLETION OF THIS PROJECT.

MATERIALS + PAVING NOTES:

1. ALL MATERIALS, CONSTRUCTION METHODS, WORKMANSHIP, EQUIPMENT SERVICES AND TESTING FOR ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS. IN THE EVENT OF A CONFLICT BETWEEN THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
2. SUBGRADE PREPARATION, PAVEMENT STRENGTH AND THICKNESS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
- A. PROOF-ROLL SUBGRADE: PRIOR TO PREPARATION OF THE SUBBASE, THE SUBGRADE SHALL BE PROOF-ROLLED WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT OR PUMPING AREAS SHALL BE EXCAVATED TO FIRM SUBGRADE AND BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- B. PAVEMENT SUBGRADE SHALL BE GRADED TO PREVENT PONDING AND INFILTRATION OF EXCESSIVE MOISTURE ON OR ADJACENT TO THE PAVEMENT SUBGRADE.
3. THE USE OF "LEVEL UP" SAND UNDER PAVEMENT WILL NOT BE ACCEPTED, UNLESS NOTED OTHERWISE.
4. CONCRETE SHALL NOT BE PLACED WHEN THE TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AND FALLING, BUT MAY BE PLACED WHEN THE TEMPERATURE IS ABOVE 35 DEGREES FAHRENHEIT AND RISING. THE TEMPERATURE READING SHALL BE TAKEN IN THE SHADE AWAY FROM ARTIFICIAL HEAT.
- A. DO NOT PLACE CONCRETE WHILE IT IS RAINING OR WHEN RAIN IS IMMINENT.
5. CAST IN PLACE CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS:
- A. MINIMUM 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS NOTED OTHERWISE.
- B. AGGREGATES: ASTM C33 MAX 3/4" IN SIZE, UNLESS NOTED OTHERWISE.
- C. SLUMP: 3 TO 5 INCHES.
- D. AIR CONTENT: 4 TO 6 PERCENT BY VOLUME.
6. CONCRETE THICKNESS:
- A. PEDESTRIAN AREA: 4" THICK, UNLESS NOTED OTHERWISE.
- B. ALL OTHER CONCRETE COMPONENTS INSTALL PER SIZE SPECIFIED IN DRAWINGS.
7. CONCRETE REINFORCING:
- A. 4" THICK PAVING: #3s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS.
- B. 6" THICK PAVING: #4s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS.
- C. 8" THICK PAVING: #5s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS.
- D. ALL PAVEMENT REINFORCING BARS SHALL BE GRADE 60 KSI DEFORMED BILLET STEEL BARS, UNCOATED FINISH. SIZE AND SPACING SHALL BE IN ACCORDANCE WITH THE PAVING PLAN AND DETAILS.
- E. ALL REINFORCING STEEL AND DOWEL BARS IN PAVEMENT SHALL BE SUPPORTED AND MAINTAINED AT THE CORRECT CLEARANCES BY THE USE OF BAR CHAIRS.
8. CONTROL JOINTS (TROWEL OR SAW CUT)
- A. TO BE PLACED AS INDICATED ON PLANS AND DETAILS TO A MINIMUM DEPTH OF 1/8 OF CONCRETE THICKNESS.
- B. SAW CUT JOINTS TO BE EXECUTED WITHIN 12 HOURS OF CONCRETE PLACEMENT.
- C. SAWN JOINTS ARE TO BE TRUE IN ALIGNMENT AND SHALL CONTINUE THROUGH ADJACENT CURBS. RADIAL JOINTS SHALL BE NO SHORTER THAN 18".
- D. SAWN JOINTS TO BE CLEANED OF DEBRIS, DIRT, DUST, SCALE, CURING COMPOUND AND CONCRETE, BLOWN DRY AND IMMEDIATELY SEALED. SEALANT MATERIAL SHALL BE SONNEBORN SONOLASTIC SL2 MULTI-COMPONENT, SELF-LEVELLING, ELASTOMERIC POLYURETHANE OR EQUIVALENT. SEALANT COLOR SHALL MATCH PAVEMENT.
9. EXPANSION JOINTS
- A. PLACE AT A MAXIMUM SPACING OF 30' O.C. AND COORDINATE WITH OVERALL PAVING PATTERN AND COLOR.
- B. PROVIDE DOWELS AS SPECIFIED IN DRAWING DETAILS.
- C. CONTRACTOR SHALL PREPARE A JOINT LAYOUT AND PROVIDE IT TO THE ENGINEER FOR REVIEW. THE JOINT LAYOUT SHALL BE PROVIDED A MINIMUM OF ONE WEEK PRIOR TO PLACING CONCRETE. PATTERN SHALL BE CAREFULLY DESIGNED BY THE CONTRACTOR TO AVOID IRREGULAR SHAPES. EXPANSION JOINTS SHALL NOT BE LOCATED ALONG VALLEYS IN PAVEMENT.
10. ALL CONSTRUCTION JOINTS SHALL BE SAWN. CONCRETE FINISHES TO BE PER DRAWING DETAILS AND SPECIFICATIONS.
11. CONCRETE SHALL BE BROOM FINISHED AND CURED FOR A MINIMUM OF 72 HOURS UNLESS NOTED OTHERWISE.
12. BREAKOUTS FOR REMOVAL OF EXISTING PAVEMENT AND CURBS SHALL BE MADE BY FULL DEPTH SAW CUT WHEN ADJACENT TO PROPOSED PAVEMENT AND/OR CURBS.
13. PROPOSED PAVEMENT AND/OR CURBS INTENDED TO TIE INTO EXISTING SHALL MATCH SHALL MATCH THE ELEVATION OF EXISTING PAVEMENT AND/OR CURBS.
14. CONTRACTOR SHALL REFER TO THE SITE CIVIL, MEP AND IRRIGATION PLANS FOR CONDUIT TO BE INSTALLED UNDER PAVEMENT PRIOR TO COMMENCING PAVEMENT SUBGRADE PREPARATION.
15. ALL TESTING SHALL BE PERFORMED BY A QUALIFIED TESTING LABORATORY, EMPLOYED AND PAID DIRECTLY BY THE OWNER. TESTING SHALL BE PERFORMED AT A MINIMUM IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE EVENT THE RESULTS OF THE INITIAL TESTING DO NOT COMPLY WITH THE PLANS AND THE SPECIFICATIONS, SUBSEQUENT TEST NECESSARY TO DETERMINE THE ACCEPTABILITY OF CONSTRUCTION SHALL BE AT THE CONTRACTOR'S EXPENSE. PAVEMENT FOUND TO BE DEFICIENT IN STRENGTH OR THICKNESS SHALL BE REMOVED AND REPLACED SOLELY AT THE EXPENSE OF THE CONTRACTOR.

ACCESSIBILITY NOTES:

1. MAX CROSS SLOPE ON PAVED SURFACES SHALL BE 2% MAXIMUM, UNLESS NOTED OTHERWISE.
2. MAX RUNNING SLOPE ON PAVED SURFACES SHALL BE 5% MAXIMUM, UNLESS NOTED OTHERWISE.
3. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". CONTRACTOR SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
4. ALL CURB RAMPS SHALL BE BROOM FINISHED PERPENDICULAR TO SLOPE.
5. ALL CURB RAMPS SHALL HAVE A 1:12 MAX SLOPE IN THE DIRECTION OF TRAVEL. 2% MAX CROSS SLOPE.
6. IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO COMPLY WITH ALL APPROPRIATE FAIR HOUSING ACCESSIBILITY GUIDELINES AND GENERAL NOTES FOR PUBLIC AND COMMON USE FACILITIES. REPORT ANY DISCREPANCIES TO LANDESIGN.

PLANTING NOTES:

1. ALL QUANTITIES LISTED IN THE DRAWINGS ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND TO PROVIDE ALL MATERIALS NECESSARY FOR FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED ON THE DRAWINGS. ANY DISCREPANCY SHOULD BE REPORTED TO THE OWNER.
2. ALL PLANTS SHOULD BE IN ACCORDANCE WITH ANSI Z60.1-2014, AMERICAN STANDARD FOR NURSERY STOCK PUBLICATION, APPROVED APRIL 14, 2014.
3. CALIPER SIZE OF CANOPY TREES ARE TO BE MEASURED PER LOCAL CITY LANDSCAPE ORDINANCE.
4. ALL PLANT MATERIAL SHALL CONFORM TO THE SIZE SPECIFICATIONS (CALIPER, HEIGHT AND SPREAD) GIVEN IN THE PLANT SCHEDULE AND SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE.
5. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDESIGN PRIOR TO PURCHASE.
6. SIZES LISTED ARE MIN. AND REFER TO HEIGHT, UNLESS OTHERWISE SPECIFIED.
7. LANDSCAPE CONTRACTOR SHALL STAKE OUT LOCATIONS OF ALL TREES TO BE PLANTED FOR REVIEW BY LANDESIGN PRIOR TO INSTALLING. LANDESIGN RESERVES THE RIGHT TO ADJUST TREE LOCATIONS IN THE FIELD AS NECESSARY.
8. SHRUB/GROUNDCOVER BEDS SHALL BE STAKED FOR REVIEW BY LANDESIGN/OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION AND OR BED PREPARATION.
9. LANDSCAPE CONTRACTOR SHALL INSTALL STEEL EDGING BETWEEN PLANTING BEDS AND LAWNS, OR AS SHOWN IN DETAILS.
10. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE LANDESIGN OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THE DRAWINGS.
12. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
13. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AND MUST BE REPLACED WITH PLANT OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, DEAD AND/OR REMOVED.
14. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
15. FINAL FINISHED GRADING SHALL BE REVIEWED BY LANDESIGN. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SUFFICIENT CONDITION SUITABLE FOR PLANTING.
16. TREES OVERHANGING INTO THE PUBLIC R.O.W. SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF FOURTEEN(14) FEET OVER STREETS, DRIVE AISLES, ALLEYS AND FIRE LINES. TREES OVERHANGING PRIVATE STREETS, WALKS, AND/OR PARKING LOTS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF SEVEN (7) FEET.
17. LANDSCAPE CONTRACTOR IS REQUIRED TO PERFORM A TREE PIT PERCOLATION TEST FOR EACH TREE PIT PRIOR TO INSTALLATION. IF TREE PIT DOES NOT DRAIN WITHIN A 24-HOUR PERIOD, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A GRAVEL SUMP, FILTER FABRIC AND STAND PIPE. ALL TREE PIT SUMPS SHALL BE INCLUDED IN IN THE CONTRACTOR'S BASE BID AS A UNIT PRICE AND PROVIDE AS A DEDUCT ALTERNATE PER TREE PIT SUMPS NOT REQUIRED TO BE INSTALLED.
18. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REVIEW SITE ENVIRONMENTAL CONDITIONS PRIOR TO AND DURING INSTALLATION OF PLANT MATERIAL. ANY DISCREPANCIES OR CONCERNS BETWEEN THE ENVIRONMENTAL SITE CONDITIONS (I.E., SOIL TYPE, WATER, CLIMATE, WIND, SUN EXPOSURE ETC.) AND THE PLANT MATERIAL SPECIFIED WITHIN THE DRAWING SHALL BE BROUGHT TO THE ATTENTION OF LANDESIGN AND/OR OWNER, AND SHALL BE DONE SO IN WRITING. CONTRACTOR SHALL PROVIDE SUGGESTED SOLUTIONS FOR ALTERNATIVE PLANT MATERIAL PROPOSED FOR SUBSTITUTION. LANDESIGN TO REVIEW CONDITIONS AND INFORMATION SUBMITTED BY CONTRACTOR AND WILL ISSUE DIRECTIVE: SHOULD PLANT MATERIAL DIE BECAUSE OF ENVIRONMENTAL CONDITIONS DESCRIBED ABOVE, THE LANDSCAPE CONTRACTOR ASSUMES ALL WARRANTY AND GUARANTEE OF THE PLANT MATERIAL, INSTALLED.
19. ALL NEW PLANTING AREAS SHALL BE BACKFILLED WITH PLANTING SOIL THAT IS A MIXTURE OF 40-60% IMPORTED UNSCREENED TOPSOIL, 40-45% COARSE SAND, AND 10% COMPOST. FINAL TESTED ORGANIC MATTER SHALL BE BETWEEN 2.75 AND 4% (BY DRY WEIGHT). BACKFILL SHALL BE TO A DEPTH OF 18" FOR SHRUB AND GROUNDCOVER ZONES AND 36" FOR TREE PITS.
20. AFTER PLANTING SOIL MIXES ARE INSTALLED IN PLANTING BED AREAS AND JUST PRIOR TO THE INSTALLATION OF SHRUB OR GROUNDCOVER PLANTINGS, SPREAD 3/4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE GRADES SLIGHTLY ABOVE THE FINISHED GRADES. IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN.
21. IN ALL EXISTING PLANTING AREAS DESIGNATED TO RECEIVE NEW PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE THE GRADES SLIGHTLY ABOVE THE FINISHED GRADES. IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN. IN NO CASE WILL THIS BE PERFORMED WHERE IT MAY NEGATIVELY IMPACT THE HEALTH OF ADJACENT, EXISTING PLANT MATERIALS WHICH ARE DESIGNATED TO REMAIN.
22. LANDSCAPE CONTRACTOR TO WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO REPLACE DEFECTIVE WORK AND DEFECTIVE PLANTS, AND THAT THE OWNER'S REPRESENTATIVE SHALL MAKE THE FINAL DETERMINATION IF PLANTS MEET THE REQUIRED SPECIFICATIONS OR THAT PLANTS ARE DEFECTIVE. PLANTS DETERMINED TO BE DEFECTIVE SHALL BE REMOVED IMMEDIATELY UPON NOTIFICATION BY THE OWNER'S REPRESENTATIVE AND REPLACED WITHOUT COST TO THE OWNER, AS SOON AS WEATHER CONDITIONS PERMIT AND WITHIN THE SPECIFIED PLANTING PERIOD. THE REPLACED MATERIALS SHALL ALSO RECEIVE A WARRANTY PERIOD OF ONE YEAR WHICH STARTS AT THE DATE OF INSTALLATION. BULBS, ANNUAL FLOWERS, AND SEASONAL COLOR PLANTS SHALL ONLY BE WARRANTED FOR THE PERIOD OF THE EXPECTED BLOOM OR PRIMARY DISPLAY.

PLANTERS/SPOTS/SEASONAL PLANTING NOTES:

1. SOIL SHOULD BE NUTRIENT-RICH, MOISTURE CONTAINING PLANTING MEDIUM AND BE A MINIMUM 18" DEPTH FOR SEASONALS, PERENNIALS AND SMALL SHRUBS. MINIMUM 36" DEPTH FOR ALL TREES.
2. A LAYER OF RIVER ROCK SHALL BE PLACED IN THE BASE OF EACH PLANTER POT TO A MINIMUM 6" DEPTH OR AS ALLOWABLE BY REQUIRED SOIL DEPTH. PLACE FILTER FABRIC BETWEEN SOIL MEDIUM AND RIVER ROCK AND SOIL MEDIUM AND PLANTER EDGES. OVERLAP FABRIC 6" MINIMUM TO MINIMIZE SOIL WASH.
3. PLANTERS POTS WHICH DO NOT RECEIVE IRRIGATION SHALL BE HAND-WATERED. HAND WATERING SHOULD OCCUR MINIMUM 2 TIMES PER WEEK DURING COOLER AND RAINY SEASONS AND INCREASED TO EVERY 2-3 DAYS DURING HOT/DRY WEATHER. ALWAYS CHECK SOIL 6" BELOW SURFACE FOR SATURATION PRIOR TO WATERING TO PREVENT OVERWATERING/DROWNING OF PLANT MATERIAL.
4. WHEN APPLICABLE, PLANTS TO REMAIN IN CONTAINERS FOR DURATION OF SEASON ARE SHOWN IN THE "PERMANENT" LAYOUT. EACH SEASON WILL HAVE ITS OWN PLANT MATERIAL. SOME OF WHICH MAY LAST ALL YEAR. ROTATE IN THE PLANTS NOTED FOR EACH SEASON.
5. IF PLANT MATERIAL DIES DURING A SEASON AND IS EXPECTED TO REMAIN FOR AN ADDITIONAL SEASON, CONTRACTOR IS TO REPLACE AT TIME OF NEXT SEASONAL ROTATION.
6. CONTACT LANDESIGN FOR ANY REQUIRED SUBSTITUTIONS.
7. ALL PLANTS SHOULD BE FULL AT TIME OF INSTALLATION AND COVER 75% OF POT SURFACE AREA.
8. AVOID PLANTING IN THE ROOT ZONE OF ANY PERMANENT TREES, SHRUBS, OR PERENNIALS.
9. SEASONAL PLANTS SHOULD BE REMOVED FOLLOWING THE FIRST MAJOR FROST DIEBACK AND REPLACED WITH EVERGREEN BOUGHS OR OTHER OWNER APPROVED WINTER DECOR. TREES, SHRUBS AND PERENNIALS SHOULD REMAIN IN THE CONTAINERS YEAR ROUND AND REPLACED ONLY AS NECESSARY.

IRRIGATION NOTES:

1. A FULLY AUTOMATED IRRIGATION SYSTEM PROVIDING 100% COVERAGE SHALL BE PROVIDED FOR ALL PLANTING AREAS, UNLESS NOTED OTHERWISE. SYSTEM SHALL BE IN OPERATION PRIOR TO INSTALLATION OF ANY PLANT MATERIAL OTHER THAN CANOPY TREES.
2. ALL PLANTING BEDS/ SHRUB AND GROUNDCOVER AREAS TO BE IRRIGATED WITH EITHER 12" SPRAY POP-UPS AND/OR A LANDSCAPE DRIP-LINE SYSTEM, UNLESS NOTED OTHERWISE.
3. ALL PLANTER POTS AND RAISED PLANTERS TO BE IRRIGATED WITH MICRO SPRAY SPRINKLER HEADS.
4. IRRIGATION SYSTEM IS DESIGN/BUILD. CONTRACTOR TO PROVIDE DRAWINGS AND CUT SHEETS OF ALL COMPONENTS.
5. PROVIDE AS-BUILT DRAWINGS OF IRRIGATION AFTER INSTALLATION.

ABBREVIATIONS

A	AD	AREA DRAIN	L	L	LENGTH
	ADJ	ADJACENT		LT	LIGHT
B	AFG	ABOVE FINISHED GRADE	M	LP	LOW POINT
	ALT	ALTERNATE		MAS	MASONRY
C	ALUM	ALUMINUM		MATL	MATERIAL
	APPROX	APPROXIMATE		MAX	MAXIMUM
D	ARCH	ARCHITECTURAL		MECH	MECHANICAL
	BC	BOTTOM OF CURB	N	MEH	MEDIUM
E	BLDG	BUILDING		MFR	MANUFACTURER
	BLKG	BLOCKING	O	MIN	MINIMUM
F	BOC	BACK OF CURB		MISC	MISCELLANEOUS
	BOT	BOTTOM	P	MTL	METAL
G	BS	BOTTOM OF STAIR		PB	PLANT BED
	BW	BOTTOM OF WALL		PERF	PERFORATED
H	CEM	CEMENT	Q	QTY	QUANTITY
	CP	CAST IN PLACE		R	RADIUS
I	CJ	CONTROL JOINT	RAD	RENF	REINFORC(E), (ING)
	CMU	CONCRETE MASONRY UNIT		REOD	REQUIRED
J	CLEA	CLEANOUT	REV	REV	REVISION
	COL	COLUMN		R.O.W	RIGHT OF WAY
K	CONC	CONCRETE	S	S	SOUTH
	CU FT	CUBIC FEET		SCHED	SETBACK
L	DD	DECK DRAIN	SD	SB	SCHEDULED (ED)
	DE	DRAINAGE EASEMENT		SD	SQUARE FOOT, FEET
M	DI	DRAIN INLET	SMI	SD	SIMILAR
	DIA	DIAMETER		SD	SQUARE
N	DIMG	DIAGONAL	SSMH	SD	SANITARY SEWER MANHOLE
	DM	DIMENSION		STL	STEEL
O	DN	DOWN	STD	STL	STAINLESS STEEL
	DS	DOWN SPOUT		STD	STANDARD
P	DWG(S)	DRAWING(S)	SUSP	SW	SUSPENDED
				SYM	SIDEWALK SYMBOL
Q	E	EAST	T	TBD	TO BE DETERMINED
	EA	EACH		TO	TOP OF CURB
R	EJ	EXPANSION JOINT	THK	TS	THICK(NESS)
	EL	ELEVATION		TW	TOP OF STAIR
S	ELEC	ELECTRICAL	TYP	TY	TYPICAL
	EQ	EDGE OF PAVEMENT		UE	UTILITY EASEMENT
T	EQUIP	EQUIPMENT	U	U.N.O	UNLESS NOTED OTHERWISE
	ESMT	EASEMENT		V	VERT
U	EW	EXPANSION	VIF	VIF	VERTICAL
	EXIST	EXISTING		W	WEST, WIDE, WIDTH
V	EXT	EXTERIOR	W	WI	WITH
				W/O	WITHOUT
W	FAB	FABRIC	WD	WO	WOOD
	FDC	FIRE DEPT. CONNECTION		WL	WATER LINE
X	FD	FIRE HYDRANT	WM	WT	WATER METER
	FIN	FINISH		WWM	WEIGHT
Y	FOC	FACE OF CURB	WWM		WELDED WIRE MESH
	FT	FOOT, FEET			
Z	FTG	FOOTING			

SYMBOLS

DRAWING TITLE



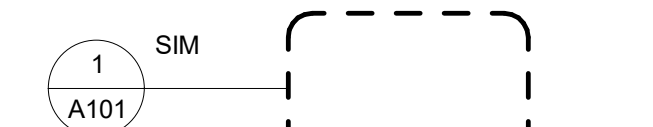
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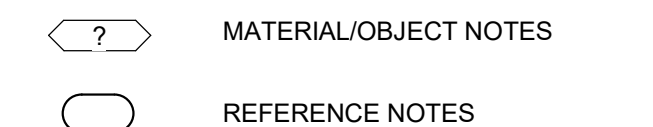
ELEVATION REFERENCE



DETAIL REFERENCE



TAGS

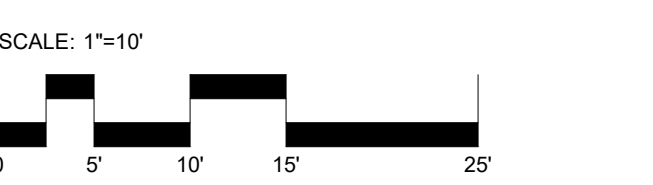


(00) AAABBB PLANTING TAG

NORTH ARROW



GRAPHIC SCALE



DATUMS

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Hunton Brady

ARCHITECTS

Adjaye Associates

DATE 07/06/18 SUBMISSION FINAL CONDITIONAL USE APPROVAL NO

ABBREVIATIONS, NOTES, AND SYMBOLS

PROJ. NO. 8116008 SHEET
DRAWN Author

L001

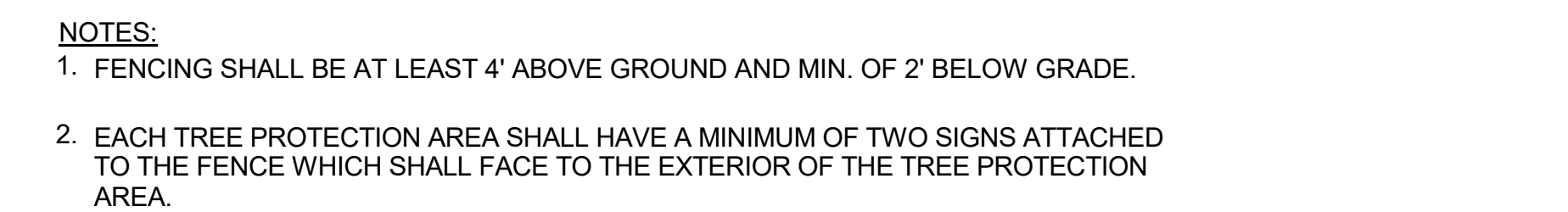
EXISTING WATER LINE

EXISTING TREE TO REMAIN - TREE PROTECTION REQUIRED (SEE DETAIL)

EXISTING TREE TO REMAIN - TREE PROTECTION REQUIRED (SEE DETAIL)

EXISTING TREE TO BE DEMOLISHED

EXISTING TREE TO BE DEMOLISHED

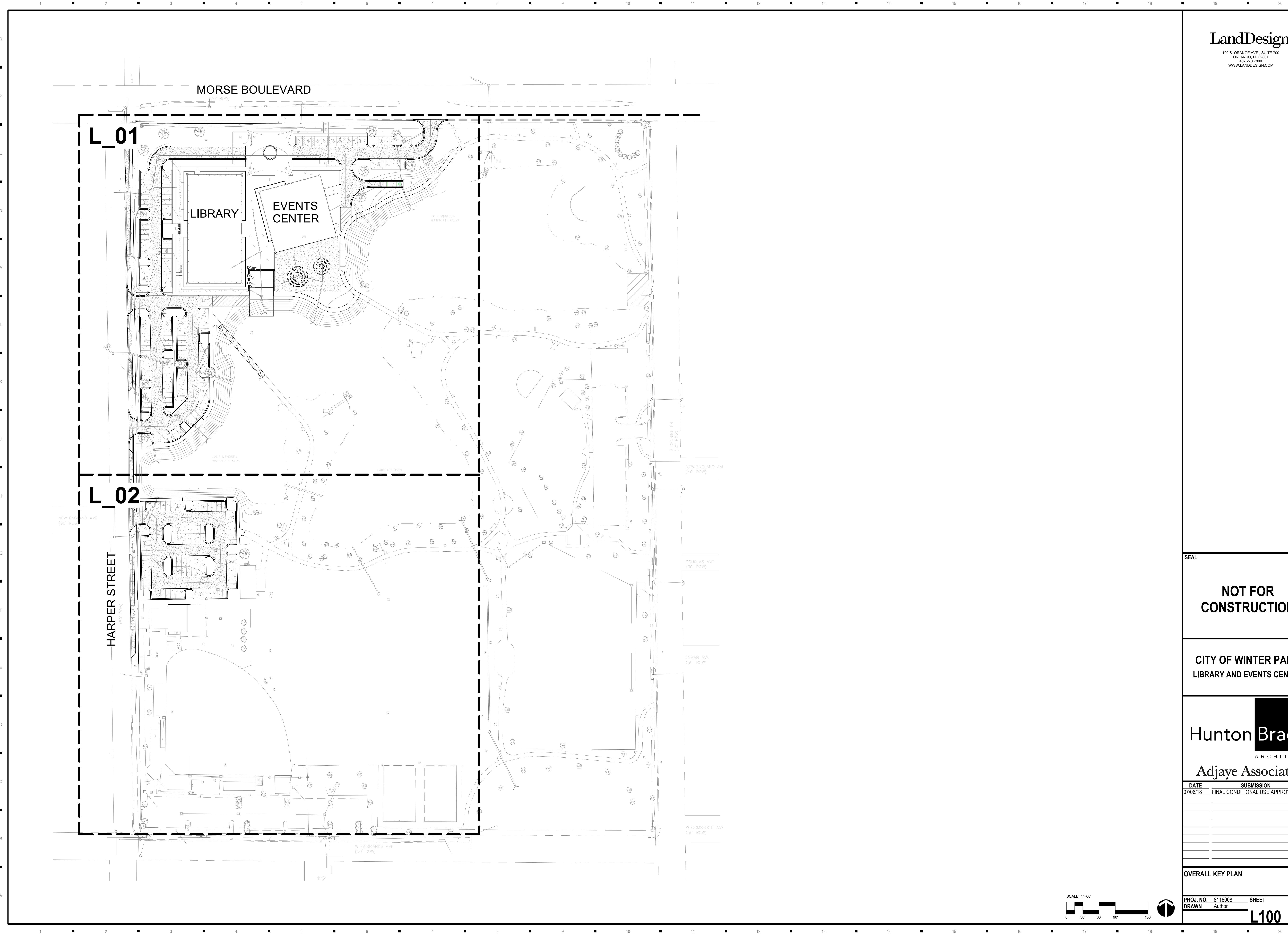


SCALE: NTS

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FREE REMOVAL & PRESERVATION PLAN

L011



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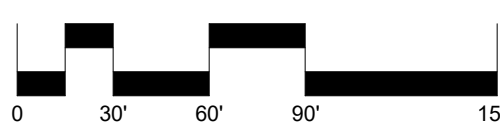
DATE	SUBMISSION	NO
07/06/18	FINAL CONDITIONAL USE APPROVAL	

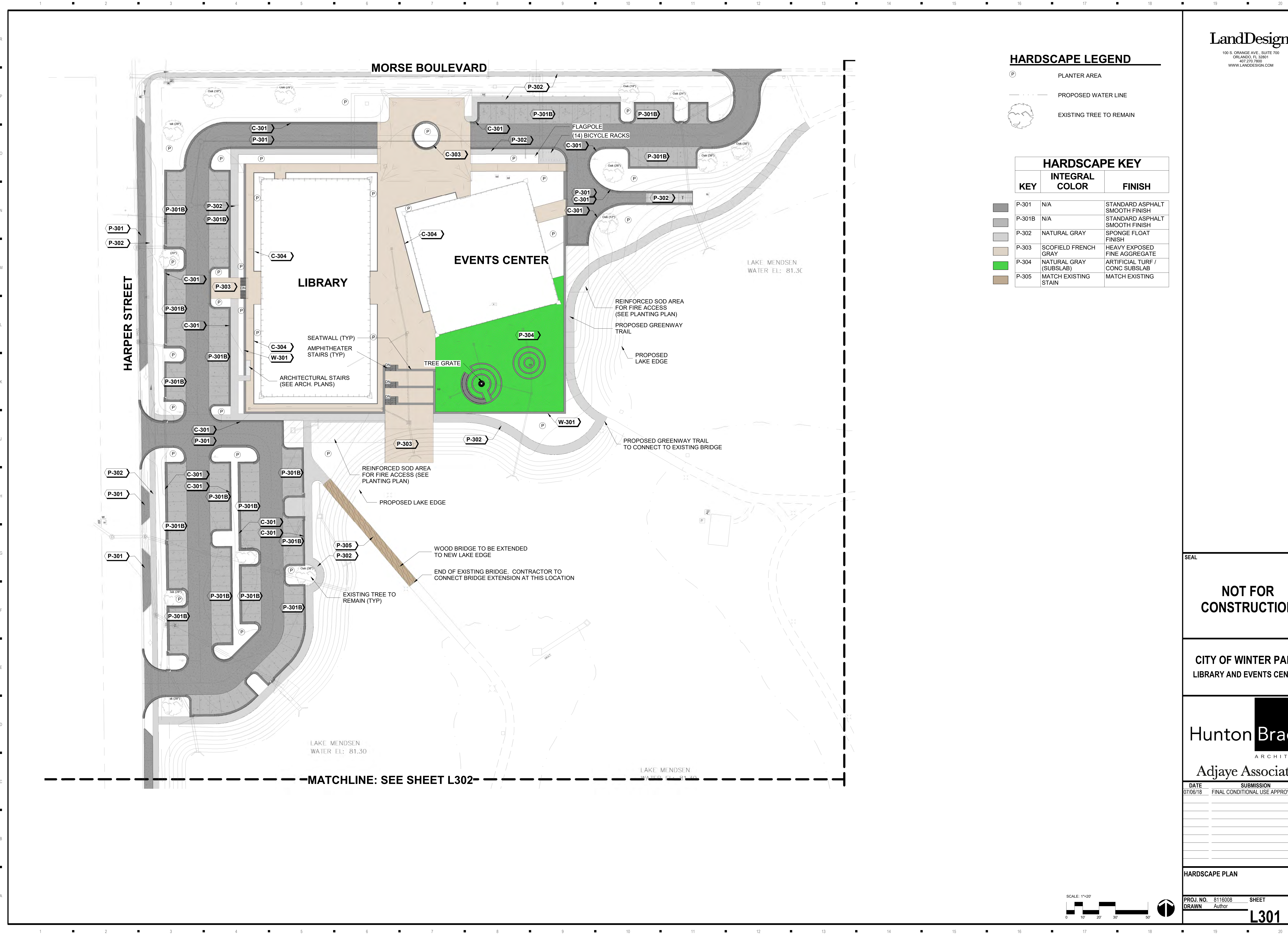
OVERALL KEY PLAN

PROJ. NO.	8116008	SHEET
DRAWN	Author	

L100

SCALE: 1"=60'





HARDSCAPE LEGEND

- PLANTER AREA
- PROPOSED WATER LINE
- EXISTING TREE TO REMAIN

HARDSCAPE KEY

KEY	INTEGRAL COLOR	FINISH
P-301	N/A	STANDARD ASPHALT SMOOTH FINISH
P-301B	N/A	STANDARD ASPHALT SMOOTH FINISH
P-302	NATURAL GRAY	SPONGE FLOAT FINISH
P-303	SCOFIELD FRENCH GRAY	HEAVY EXPOSED FINE AGGREGATE
P-304	NATURAL GRAY (SUBSLAB)	ARTIFICIAL TURF / CONC SUBSLAB
P-305	MATCH EXISTING STAIN	MATCH EXISTING

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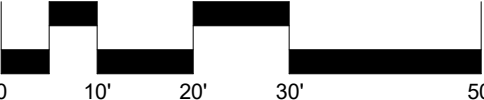
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FINAL CONDITIONAL USE APPROVAL

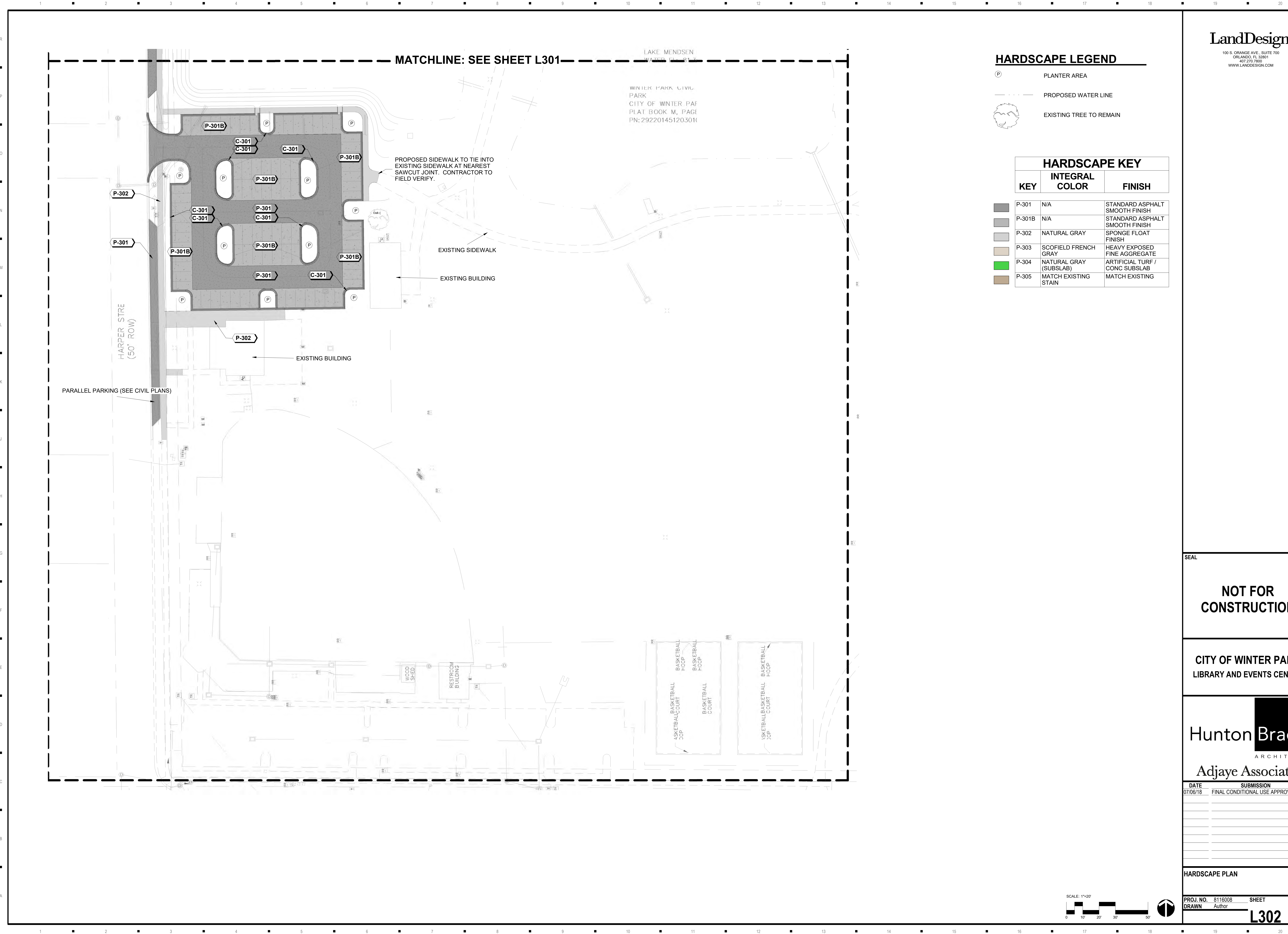
HARDSCAPE PLAN

PROJ. NO. 8116008 SHEET
DRAWN Author



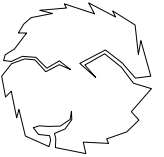
L301

SCALE: 1"=20'





HARDSCAPE LEGEND

-  PLANTER AREA
-  PROPOSED WATER LINE
-  EXISTING TREE TO REMAIN

HARDSCAPE KEY		
KEY	INTEGRAL COLOR	FINISH
P-301	N/A	STANDARD ASPHALT SMOOTH FINISH
P-301B	N/A	STANDARD ASPHALT SMOOTH FINISH
P-302	NATURAL GRAY	SPONGE FLOAT FINISH
P-303	SCOFIELD FRENCH GRAY	HEAVY EXPOSED FINE AGGREGATE
P-304	NATURAL GRAY (SUBSLAB)	ARTIFICIAL TURF / CONC SUBSLAB
P-305	MATCH EXISTING STAIN	MATCH EXISTING

SEAL

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CONSTRUCTION**

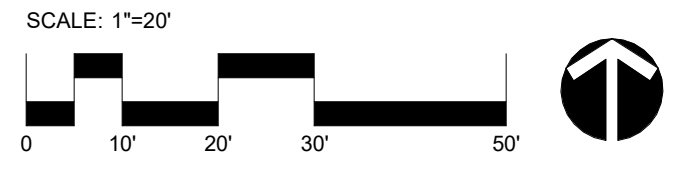
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DATE	SUBMISSION	NO
07/06/18	FINAL CONDITIONAL USE APPROVAL	

HARDSCAPE PLAN

PROJ. NO. 8116008 SHEET
DRAWN Author
L302



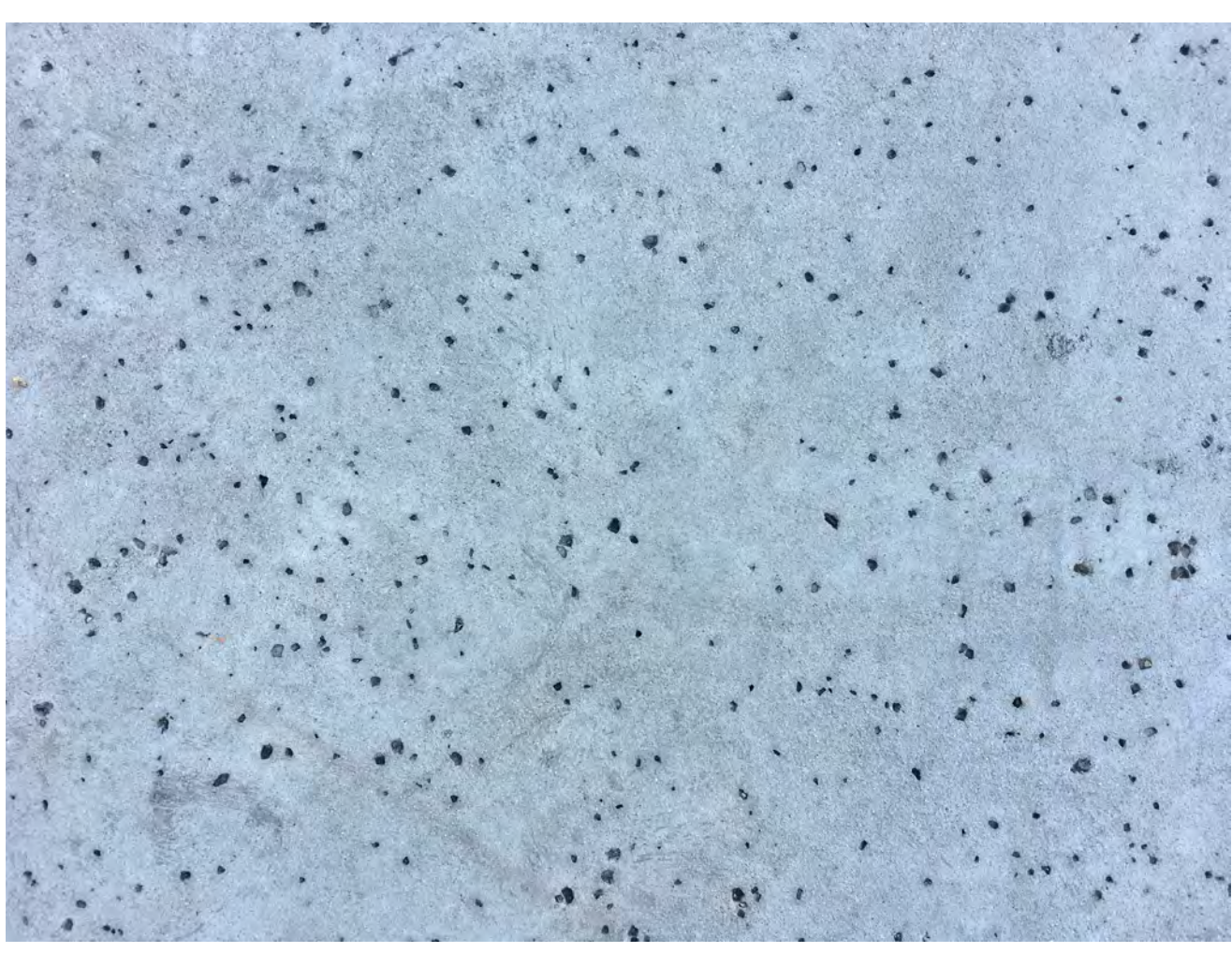
HARDSCAPE SCHEDULE						
HARDSCAPE KEY	DETAIL	Area	STRUCTURE	INTEGRAL COLOR	FINISH	LOCATION / REMARKS
P-301	XX/ L-X.XX	49714 SF	HEAVY DUTY ASPHALTIC CONCRETE	N/A	STANDARD ASPHALT SMOOTH FINISH	ROADWAY AND PARKING AREAS WITH HEAVY TRAFFIC / SEE CIVIL DETAILS
P-301B	XX/ L-X.XX	35917 SF	ASPHALTIC CONCRETE	N/A	STANDARD ASPHALT SMOOTH FINISH	PARKING STALLS WITH LIGHT TRAFFIC / SEE CIVIL DETAILS
P-302	XX/ L-X.XX	22826 SF	PIP CONCRETE	NATURAL GRAY	SPONGE FLOAT FINISH	PRIMARY FIELD CONCRETE IN PLINTH AREA / SEE DETAILS
P-303	XX/ L-X.XX	21561 SF	PIP CONCRETE	SCOFIELD FRENCH GRAY	HEAVY EXPOSED FINE AGGREGATE	PRIMARY FIELD CONCRETE IN PLINTH AREA / SEE DETAILS
P-304	XX/ L-X.XX	9538 SF	PIP CONCRETE	NATURAL GRAY (SUBSLAB)	ARTIFICIAL TURF / CONC SUBSLAB	PLAZA SPACE BEHIND EVENT CENTER / FASTENED TO 4" CONCRETE SUBSLAB PER MANUFACTURER'S RECOMMENDATIONS / SEE DETAILS
P-305	XX/ L-X.XX	1099 SF	WOOD FRAME	MATCH EXISTING STAIN	MATCH EXISTING	WOOD BRIDGE EXTENSION / SEE DETAILS

CURB / WALL SCHEDULE						
WALL KEY	DETAIL	STRUCTURE	FACE FINISH & COLOR	CAP & FINISH	SAMPLE	LOCATION / REMARKS
C-301	X/LXXX	CIP CONCRETE	SMOOTH FINISH	N/A	YES	ROADWAY AND PARKING AREAS / SEE DETAILS
C-302	X/LXXX	CIP CONCRETE	SMOOTH FINISH	N/A	YES	PARKING / DUMPSTER AREAS
C-303	X/LXXX	CIP CONCRETE	SMOOTH FINISH	N/A	YES	PORTE COCHERE AREA CURBED PLANTER / SEE DETAILS
C-304	X/LXXX	CIP CONCRETE	EXPOSED SALT / PEPPER GRANITE	N/A	YES	PLINTH AREA / EXPOSED AGGREGATE / SEE DETAILS
W-301	X/LXXX	CIP CONCRETE	BOARDFORM FINISH	N/A	YES	PERIMETER PLINTH SEAT WALL / 24" WIDE EXPOSED CONCRETE WALL / BOARDFORM FINISH / SEE DETAILS
W-302	X/LXXX	CIP CONCRETE	BOARDFORM FINISH	N/A	YES	SUNKEN SEATING AREAS / 15" WIDE EXPOSED CONCRETE WALL / BOARDFORM FINISH / SEE DETAILS

HARDSCAPE REFERENCE IMAGES



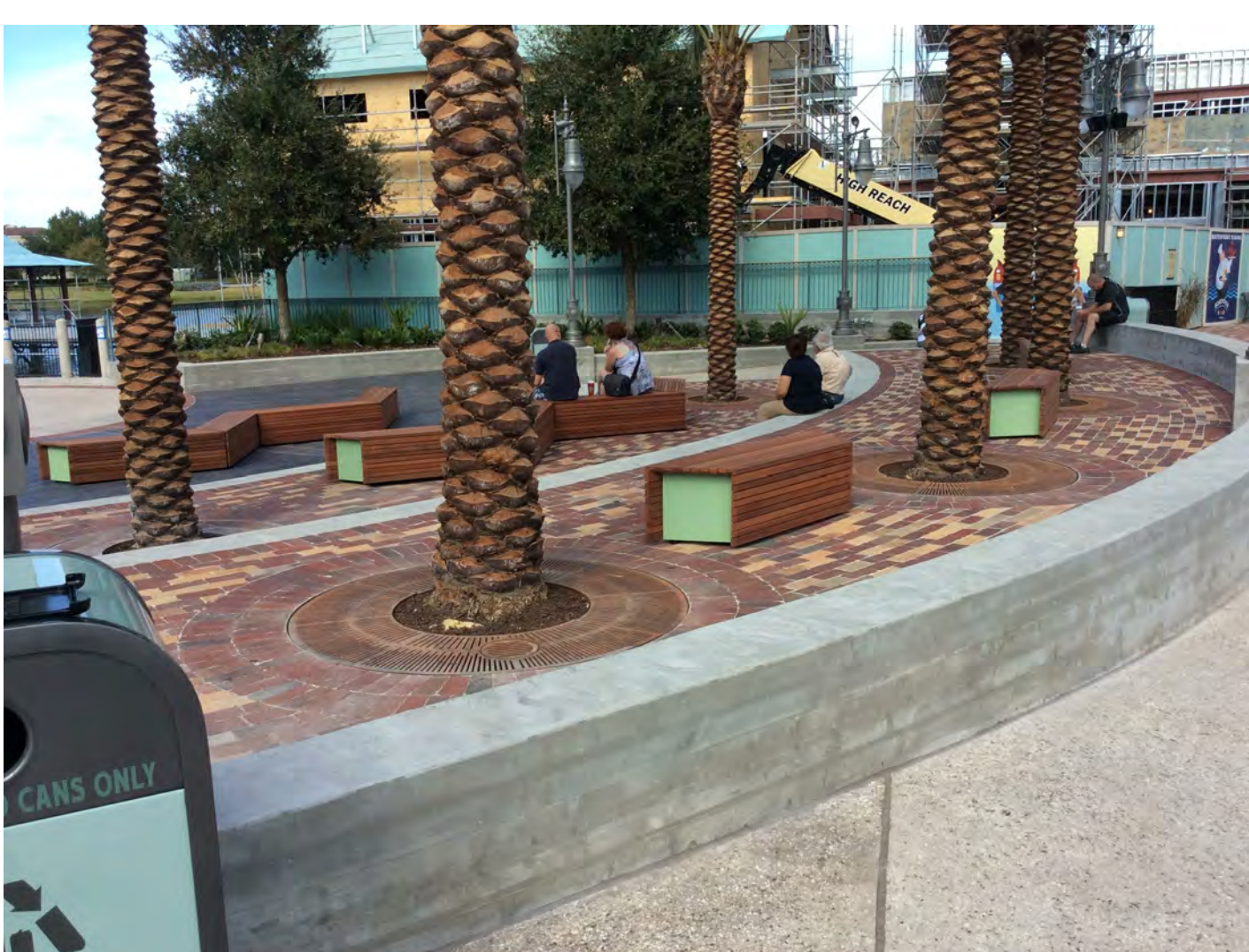
P-303



P-302



C-304



W-102



W-101



EXISTING BRIDGE TO BE EXPANDED

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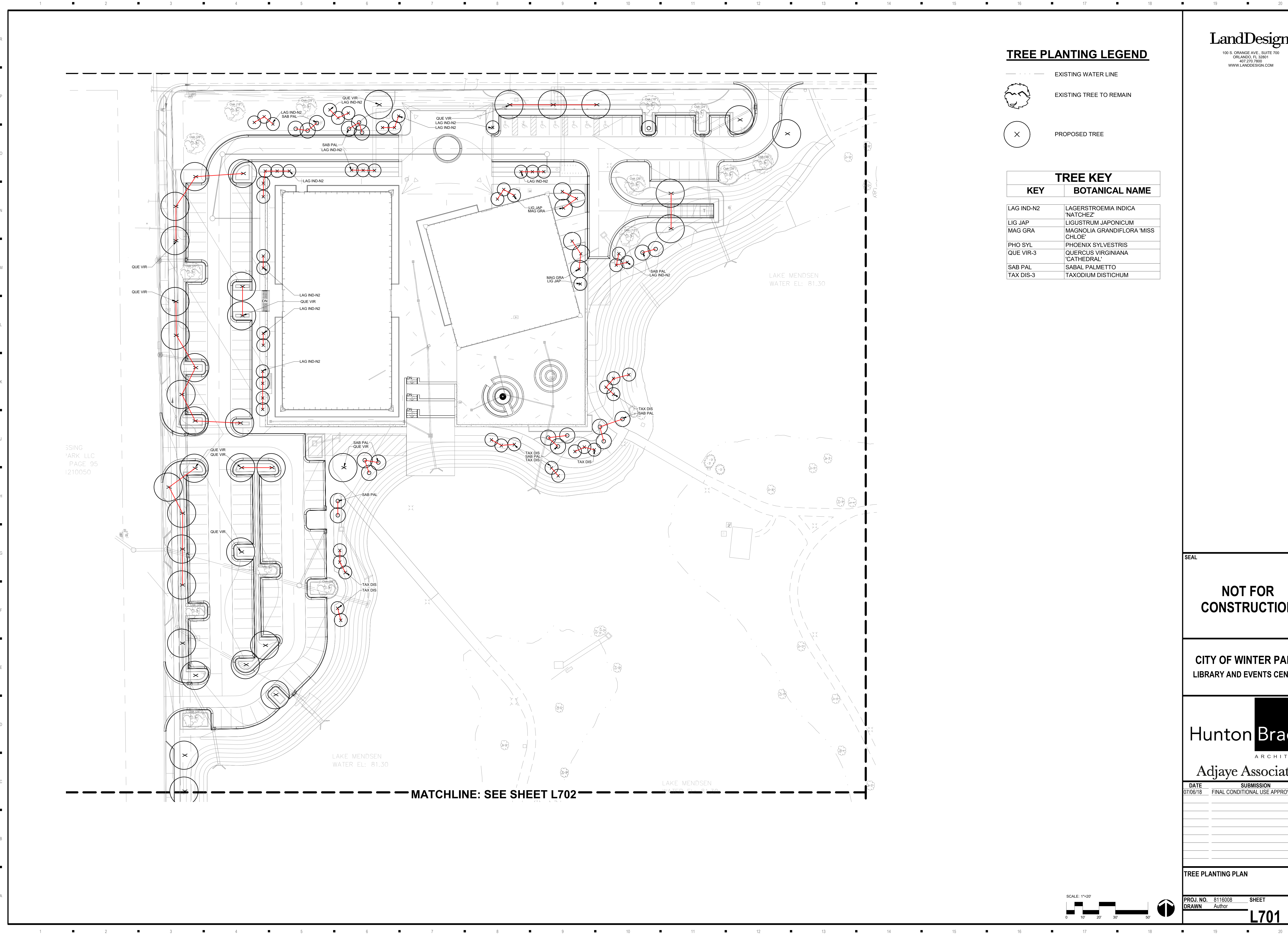
Adjaye Associates

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07/06/18 FINAL CONDITIONAL USE APPROVAL

HARDSCAPE SCHEDULE AND REFERENCE
IMAGES

PROJ. NO. 8116008 SHEET
DRAWN AMG

L390



TREE PLANTING LEGEND

- EXISTING WATER LINE
- EXISTING TREE TO REMAIN
- PROPOSED TREE

TREE KEY	
KEY	BOTANICAL NAME
LAG IND-N2	LAGERSTROEMIA INDICA 'NATCHEZ'
LIG JAP	LIGUSTRUM JAPONICUM
MAG GRA	MAGNOLIA GRANDIFLORA 'MISS CHLOE'
PHO SYL	PHOENIX SYLVESTRIS
QUE VIR-3	QUERCUS VIRGINIANA 'CATHEDRAL'
SAB PAL	SABAL PALMETTO
TAX DIS-3	TAXODIUM DISTICHUM

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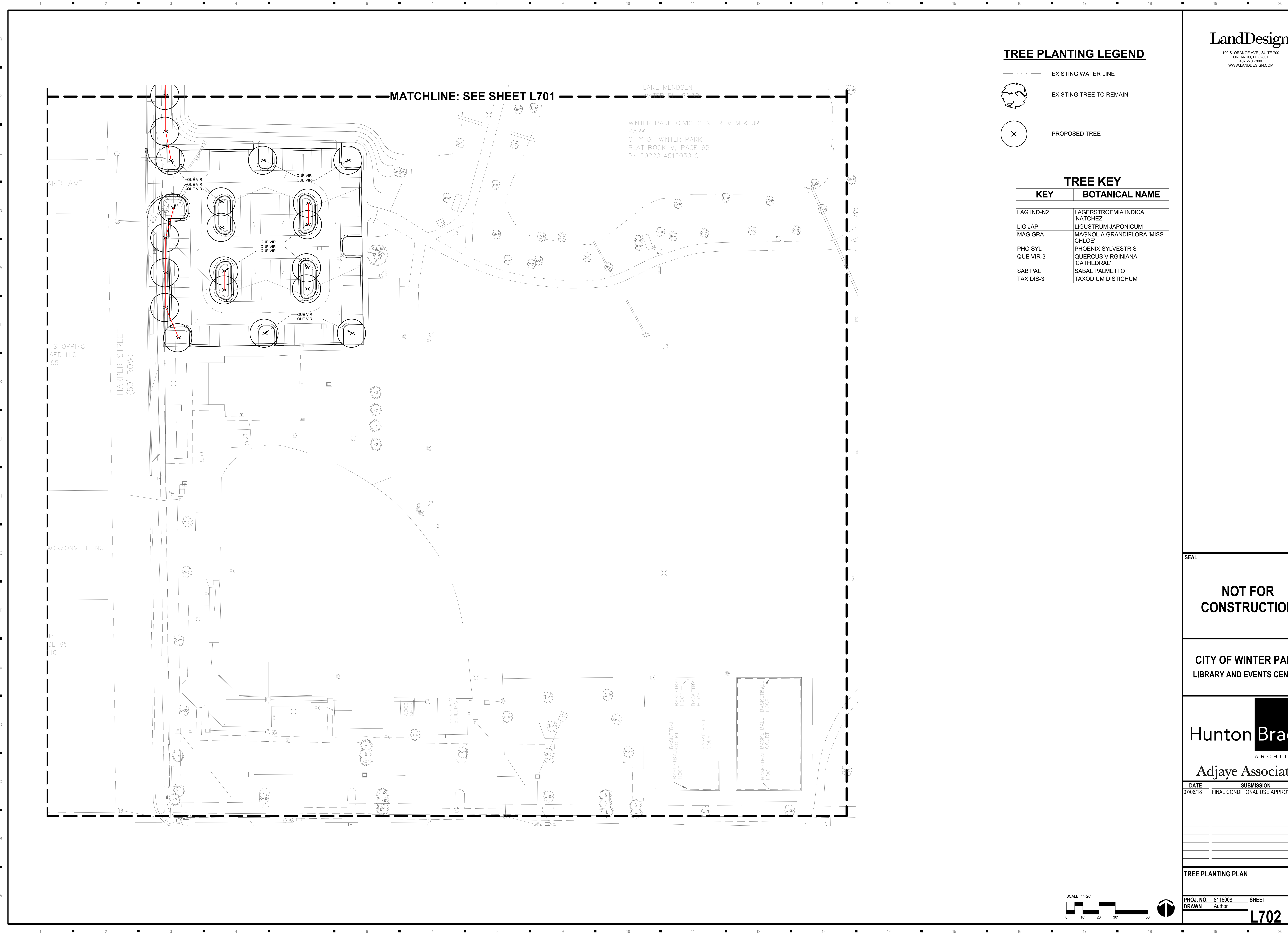
CITY OF WINTER PARK
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DATE	SUBMISSION	NO
07/06/18	FINAL CONDITIONAL USE APPROVAL	

TREE PLANTING PLAN

PROJ. NO. 8116008 SHEET
DRAWN Author L701



TREE PLANTING LEGEND

- EXISTING WATER LINE
- EXISTING TREE TO REMAIN
- PROPOSED TREE

TREE KEY	
KEY	BOTANICAL NAME
LAG IND-N2	LAGERSTROEMIA INDICA 'NATCHEZ'
LIG JAP	LIGUSTRUM JAPONICUM
MAG GRA	MAGNOLIA GRANDIFLORA 'MISS CHLOE'
PHO SYL	PHOENIX SYLVESTRIS
QUE VIR-3	QUERCUS VIRGINIANA 'CATHEDRAL'
SAB PAL	SABAL PALMETTO
TAX DIS-3	TAXODIUM DISTICHUM

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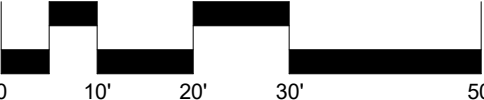
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07/06/18	FINAL CONDITIONAL USE APPROVAL	

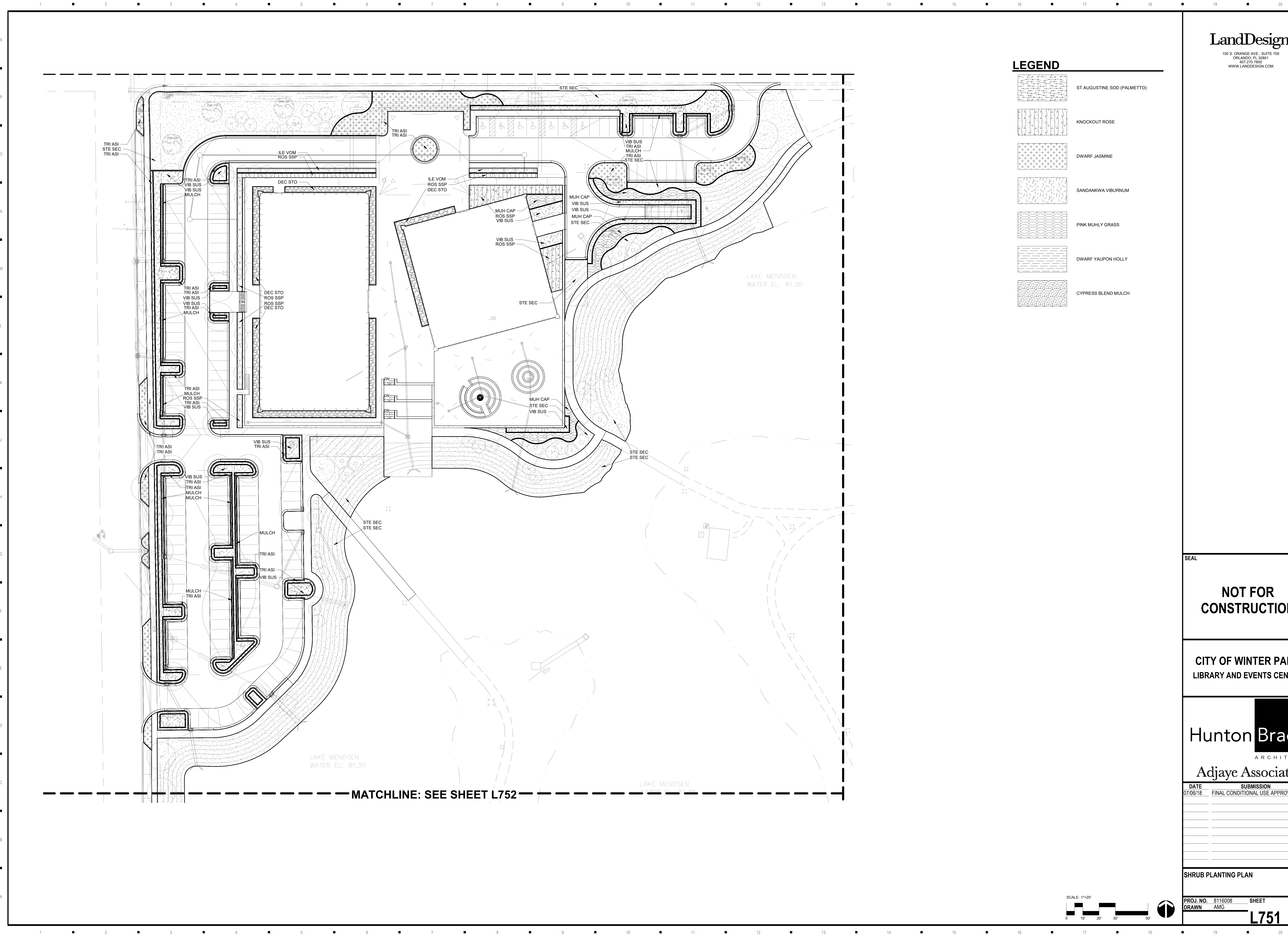
TREE PLANTING PLAN

PROJ. NO. 8116008 SHEET
DRAWN Author

L702

SCALE: 1"=20'





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LEGEND

- ST AUGUSTINE SOD (PALMETTO)
- KNOCKOUT ROSE
- DWARF JASMINE
- SANDANKWA VIBURNUM
- PINK MUHLY GRASS
- DWARF YAUPON HOLLY
- CYPRESS BLEND MULCH

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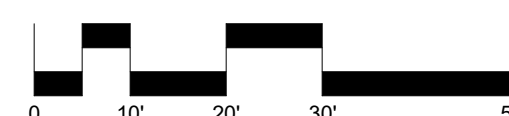
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FINAL CONDITIONAL USE APPROVAL

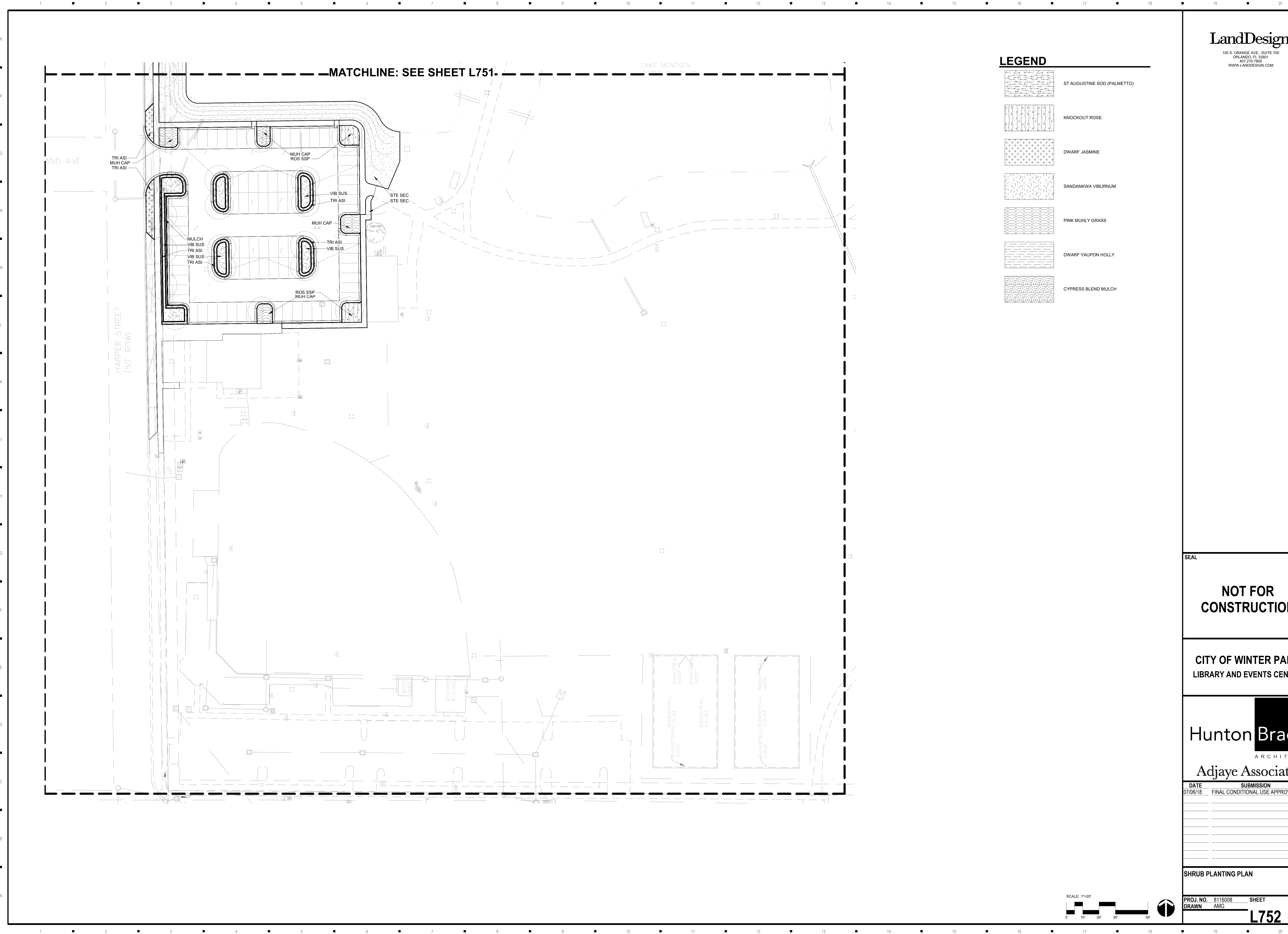
SHRUB PLANTING PLAN

PROJ. NO. 8116008 SHEET
DRAWN AMG

L751

SCALE: 1"=20'





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LEGEND

- ST AUGUSTINE SOD (PALMETTO)
- Knockout ROSE
- DWARF JASMINE
- SANDANKWA VIBURNUM
- PINK MUHLIY GRASS
- DWARF YAUPOH HOLLY
- CYPRESS BLEND MULCH

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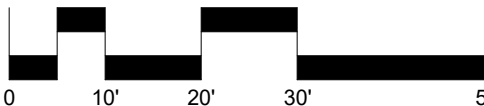
DATE 07/06/18 SUBMISSION FINAL CONDITIONAL USE APPROVAL NO

SHRUB PLANTING PLAN

PROJ. NO. 8116008 SHEET
DRAWN AMG

L752

SCALE: 1"=20'



TREE PLANTING SCHEDULE					
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE / ROOT BALL / CONTAINER	COMMENTS
LAG IND-N2	32	LAGERSTROEMIA INDICA 'NATCHEZ'	CRAPE MYRTL	12'HT X 5'W MIN / 65 GAL MIN	FULL/MULTI-TRUNK/4 TRUNKS MIN./3" CAL. MIN.
LIG JAP	4	LIGUSTRUM JAPONICUM	TREE LIGUSTRUM	8'HT X 8'W MIN / 65 GAL MIN	FULL/MULTI-TRUNK/4 TRUNKS MIN./3" CAL. MIN.
MAG GRA	6	MAGNOLIA GRANDIFLORA 'MISS CHLOE'	SOUTHERN MAGNOLIA	16'HT X 8'W MIN / 100 GAL MIN	FULL/SINGLE STRAIGHT TRUNK /2.5" CAL. MIN./ 4" CT MIN/ FULLY BRANCHED
PHO SYL	1	PHOENIX SYLVESTRIS	SYLVESTER DATE PALM	CT VARIES (SEE PLAN)	FULL/SINGLE CLEAN STRAIGHT HEAVY TRUNK/12 FRONDS MIN./DIAMOND CUT/AVG. 10' C.T.
QUE VIR	55	QUERCUS VIRGINIANA 'CATHEDRAL'	LIVE OAK	18'HT X 12'W MIN / 200 GAL MIN	FULL/SINGLE STRAIGHT TRUNK/5-1/2" CAL. MIN./6" C.T.
SAB PAL	20	SABAL PALMETTO	SABAL PALM	CT VARIES (SEE PLAN)	RELOCATED/ FULL /SINGLE BOOTED TRUNK/12 FRONDS MIN. / SEE GUYING DETAILS
TAX DIS	17	TAXODIUM DISTICHUM	BALD CYPRESS	12'HT X 6'W MIN / 65 GAL MIN	FULL/SINGLE STRAIGHT TRUNK/4.5" CAL. MIN./FULLY BRANCHED

SHRUB / GROUNDCOVER PLANTING SCHEDULE					
PLANT KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE / ROOT BALL / CONTAINER	LOCATION / REMARKS
DEC STO		N/A	DECORATIVE STONE (1-3") GRAY	PALLETS	BUILDING EDGE BUFFER / 4" THICK MIN OVER WEED BLOCK / SEE DETAILS
ILE VOM		ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	18" OA / 3 GAL MIN	FULL TO GROUND / PLANT 24" OC
MUH CAP		MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	20" OA / 3 GAL MIN	FULL TO GROUND / PLANT 30" OC
MULCH		N/A	CYPRESS BLEND MULCH	BAGGED OR BLOWN IN	ALL SHRUB AREAS AND 3'RADII AROUND ALL TREE PLANTING / 3" MIN DEPTH /
ROS SSP		ROSA SSP 'KNOCKOUT'	KNOCKOUT ROSE	24" OA / 3 GAL MIN	FULL TO GROUND / PLANT 24" OC
STE SEC		STENOTAPHRUM SECUNDATUM 'PALMETTO'	ST. AUGUSTINE 'PALMETTO'	PALLETS	FULL SOD FROM PALLETS
TRI ASI		TRACHELOSPERMUM ASIATICUM	DWARF JASMINE	1 GAL MIN / 12" RUNNERS MIN	FULL / PLANT 18" OC
VIB SUS		VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	28" OA / 7 GAL MIN	FULL TO GROUND / PLANT 42" OC

TREES REFERENCE IMAGES



BALD CYPRESS



LIVE OAK



LAVENDAR CRAPE MYRTL



SOUTHERN MAGNOLIA



SABAL PALM



SYLVESTER PALM



TREE LIGUSTRUM

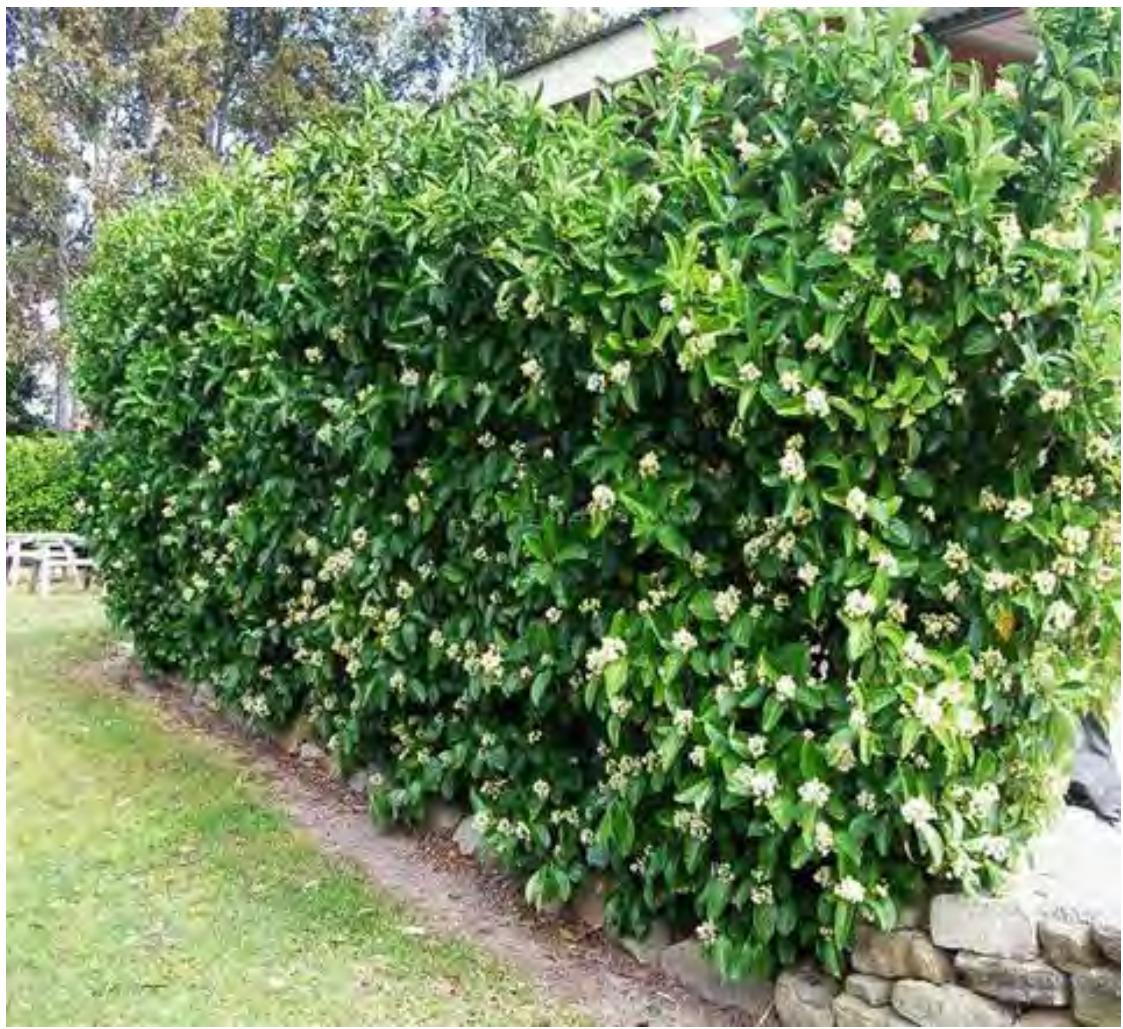
SHRUBS REFERENCE IMAGES



DWARF YAUPON HOLLY



PINK MUHLY GRASS



SANDANKWA VIBURNUM



PERENNIAL PEANUT



DWARF ASIATIC JASMINE



KNOCKOUT ROSE

SITE LANDSCAPE REQUIREMENTS

PARKING IMPERVIOUS		85,631 SF
PARKING PERVIOUS		12,037 SF
6,422 SF MIN. REQUIRED IMPERVIOUS (7.5%)		
TOTAL SITE PERVIOUS AREA - 90,251 SF		
SOD PERVIOUS AREA		54,937 SF (61%)
PLANTING PERVIOUS AREA		35,314 SF (39%)

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LANDSCAPE SCHEDULE AND REFERENCE
IMAGES

PROJ. NO. 8116008 SHEET
DRAWN AMG

L790



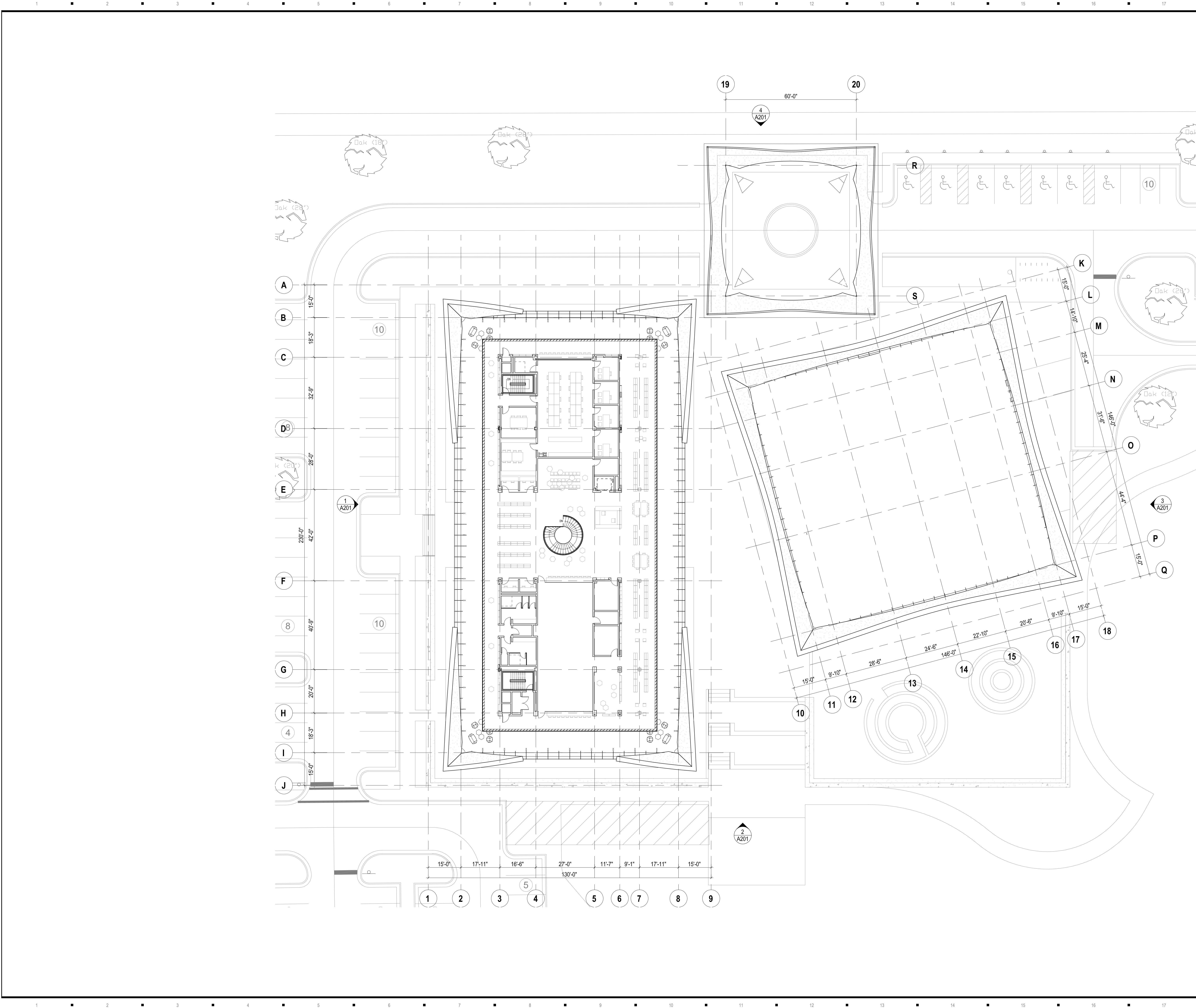


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PLAN - PLINTH GROUND LEVEL

A110



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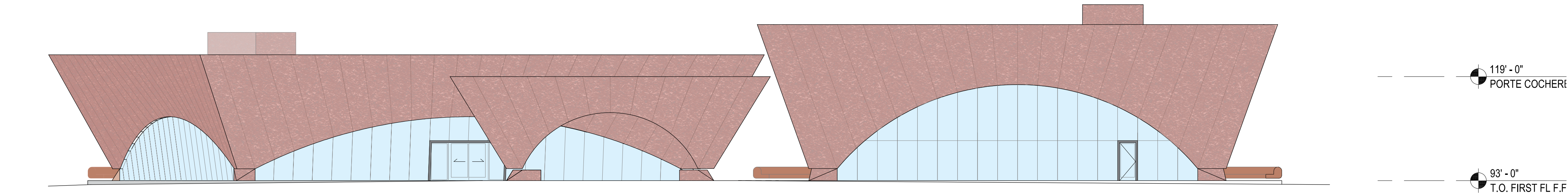
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07/06/18	FINAL CONDITIONAL USE APPROVAL	1

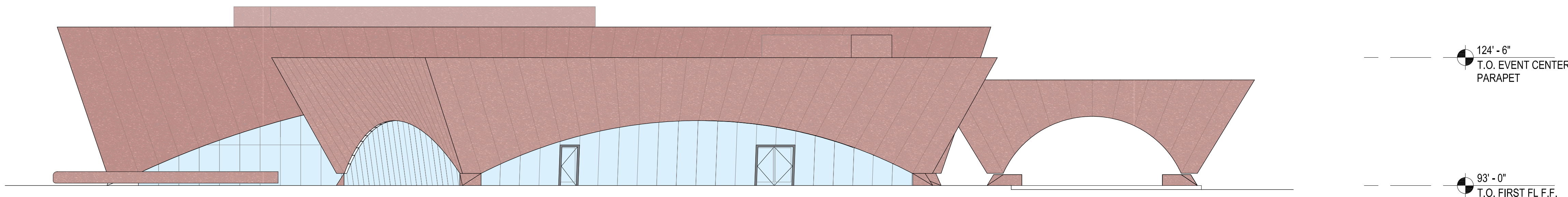
PLAN - PLINTH SECOND LEVEL

PROJ. NO. E-16078.00 SHEET
DRAWN Author

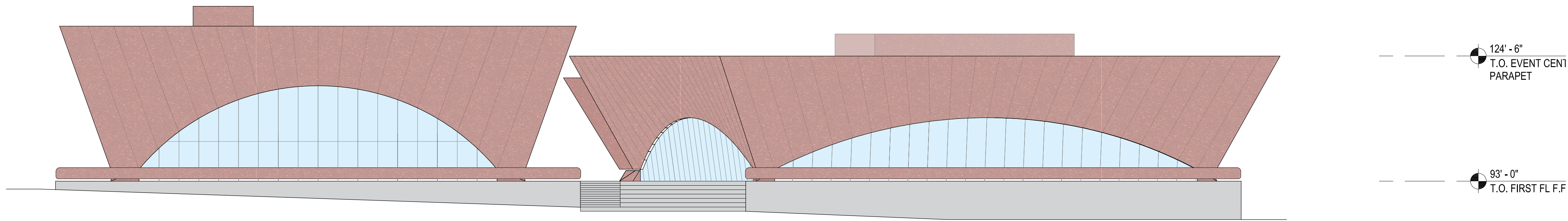
A120



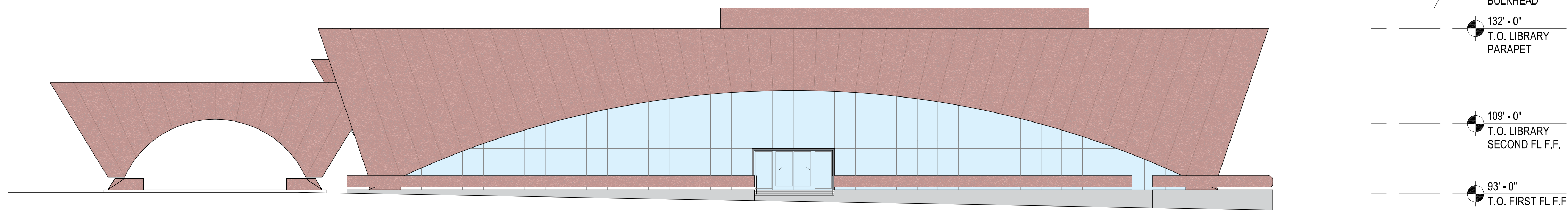
4 NORTH ELEVATION
A201 1/16" = 1'-0"



3 EAST ELEVATION
A201 1/16" = 1'-0"



2 SOUTH ELEVATION
A201 1/16" = 1'-0"



1 WEST ELEVATION
A201 1/16" = 1'-0"

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07/06/18	FINAL CONDITIONAL USE APPROVAL	1

SITE ELEVATIONS - OVERALL

PROJ. NO. E-16078.00 SHEET
DRAWN CVB

A201



VIEW FROM NORTHEAST CORNER

VIEW FROM SOUTH

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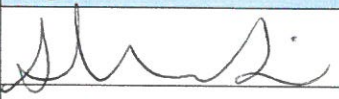
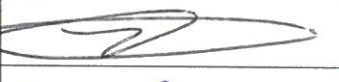
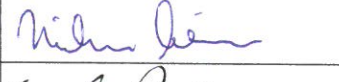

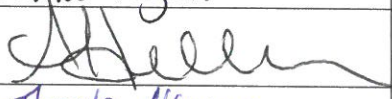


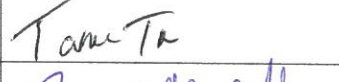




DATE	SUBMISSION	NO
MM.DD.YY	PROJECT STATUS	
07/06/18	FINAL CONDITIONAL USE APPROVAL	1

3D VIEWS

PROJ. NO.	E-16078.00	SHEET
DRAWN	CVB	A202

Petition for additional parking for Library and Event Center

Petition summary and background	The new Library and Events Center will be world-class and we look forward to its construction. There is concern, however, about the adequacy of proposed parking at this site. There is an opportunity to add an additional 36 parking spaces to the original proposal which will help meet parking needs.
Action petitioned for	We, the undersigned, are concerned business owners/tenants west of the Library and Event Center who strongly recommend the Planning and Zoning Board to act now to add the additional 36 parking spaces in the approval process for the aforementioned project. The City of Winter Park to cover all additional parking costs incurred.

Printed Name & Position	Signature	Name of Business	Address of Business	Date
Shirley Sejour Hostess		Kona Grill	110 South Orlando Ave, Ste 12 Winter Park	09/07/18
Miguel Rivas Manager		Chuy's	170 S. Orlando Ave Winter park	9/7/18
NICHOLAS ALMONTE MANAGER		PEARLE VISION	110 S ORLANDO AVE STE 11	9-7-18
Mirita Pagan		Sage Dental of Winter Park	110 S Orlando Ave Ste 10	9-7-18
	Ashley Heller Manager	Spania Day Spa	110 S Orlando Ave Ste 9	9-7-18
Thanh Nguyen (manager)		Tipsy salon bar	110- South Orlando Ave Ste 8	9-7-18
	Elba V. Ortega	Bulla Gastro bar	110 South Orlando Ave #7	9/7/18
Tam Tu		Millennium Pharmacy	110 S. Orlando Ave # 5 winter park	9/7/18
Deak McChesee Issac Saunders AGM		Fitlife Foods	110 S. Orlando Ave # winter Park	9/7/18
		The Glass Knife	276 S. Orlando Ave Winter Park FL	9/7/18
Boeco POTAPAKIS		BOECO ITALIAN GRILLE	400 SOUTH ORLANDO AVE WINTER PARK 32789	9/7-18
Jackie Rudell, Manager		CycleBak Winter park	110 S. Orlando Ave Ste. 1 Winter Park, FL 32789	9/8/18



Kim Breland

From: Peter Gottfried <petergottfried@gis1.com>
Sent: Saturday, September 8, 2018 7:16 PM
To: Kim Breland
Subject: Questions for Planning Board regarding the proposed Library/Event Center

Importance: High

Good morning, Kim. Please forward my questions/comments to the Planning Board concerning the proposed library/event center.

Dear Planning and Zoning Board members:

I wish I could be in your chamber today to speak briefly about the proposed library/event center that you will be reviewing in order to grant or deny a conditional use permit for the project. There are a number of questions that come to light after reading the staff report and reviewing the proposed plans. And I understand that LandDesign prepared many of the exhibits – a firm that one of your fellow board members, Ray Waugh, is a senior partner. Hopefully no one else on your Board has a conflict either. So my comments are directed at those with no conflicts.

First, if you don't know already, this site has serious environmental challenges, which, if you threw enough money at them, they can be solved. First is the fact that the site is a former landfill. Read the geotechnical report to get the full flavor of what is beneath the surface. Muck, trash, construction debris, etc. All has to be removed to place the building in the location pictured.

Second, Lake Mendocino already serves as a stormwater basin for a significant area extending to Paseo Apartments to the north, the office building at Denning and Morse, etc. These relatively new projects incorporated Lake Mendocino into their stormwater plans. Lake Mendocino is already over capacity. And where does staff think this extra water from the library/event center will go? Down the existing drain well into the Floridan aquifer and over to Lake Rose – the sink hole. There is only one slight problem with that solution. The surface of Lake Rose is 3 to 4 feet higher than Lake Mendocino. You don't have to be an engineer to understand that water doesn't flow up hill. I'm sure you can get some Roman slaves to power the pumps. Lake Rose is also owned by multiple owners, including the City. The other owners will need to give their approval for any stormwater project that affects their property. Just a minor detail.

Third, although the staff report states that there will be adequate surface parking for the center, I doubt that staff has taken into consideration other activities that will be occurring simultaneously with library and event center activities. These activities include Rollins softball, youth football, lacrosse, and soccer games that are held night and day. Has this plan been presented to the Parks and Recreation Board? I'm sure they will have questions also.

And Forth, will the City adhere to its own tree replacement guidelines after removing approximately 68 high quality live oak trees from the site? Check the guidelines. Private developers would have to do a lot of reforestation to replace this many trees.

Hopefully you will ask the right questions and get thorough answers. Just because this is a City project does not mean you have to rubber stamp a conditional use approval.

Sincerely,

Peter K. Gottfried, CEP, GISP
Natural Systems Analysts, Inc.

Gannett Peak Energy & Environmental Services, Inc.

407-718-3880

petergottfried@gis1.com

Kim Breland

Subject: FW: Library and Events Center - Parking Concern

From: Goretti Garcia <Goretti@petrosplanning.com>

Sent: Saturday, September 08, 2018 10:02 PM

To: Jeffrey Briggs <Jbriggs@cityofwinterpark.org>

Subject: Library and Events Center - Parking Concern

Dear Mr. Briggs,

My name is Goretti Garcia and I work with Woman's Worth. We are a tenant in the Seacoast Bank Building located in 1031 W. Morse Blvd., Winter Park. I wanted to tell you how excited we are to have the new Library and Events Center coming across the street from us! We hold many client events and having that location so close to us will be very convenient.

I also wanted to express my concern with the parking issue that has affected this area with the newest developments, Lakeside with Trader Joe's and Lakeside Crossing. I have been a tenant of this building for 13 years now, 10 of those years I was actually the Property Manager of the building (then known as BankFIRST Building). During my years as Property Manager, we would experience parking overflow during some of the events held at the Civic Center such as the Annual Chamber of Commerce Lunch and other events held on weekends. This would sometimes cause tenant complaints and extra policing of the parking lot on our part. As I am now a customer at the two developments I reference above, I see how frequently customers make use of the parking at the Civic Center. I understand that the new Library and Events Center will have 237 parking spaces. Considering the additional use to this parking lot from the neighboring shopping centers, these number of parking spaces might not be enough. Especially as events are hosted in the new Library. I feel that parking might become an issue to the guests of the Library and the overflow will come to this building affecting its regular operations. A way of preventing this would be to add a parking area from the City Property located behind the current Center.

I would appreciate it if the Planning and Zoning Board strongly consider this suggestion. Thank you, Mr. Briggs.

Sincerely,



WWW.PETROSPLANNING.COM

WWW.WOMANS-WORTH.COM

1031 W. Morse Blvd., Suite 260, Winter Park FL 32789

"It is a beautiful thing when a career and a passion come together". --Unknown

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PRN Real Estate & Investments, Ltd.

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September 8, 2018

Planning and Zoning Board
City of Winter Park

Dear Members:

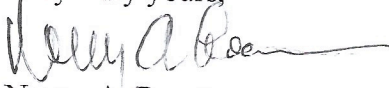
This letter is to express my support for the new Library and Events Center to be constructed on the corner of Morse Boulevard adjacent to the Martin Luther King Jr. Park. As designed, the Library and Events Center will be world-class and something the residents of Winter Park will take great pride in.

It is my understanding that there are approximately 237 parking spaces designed for the Library and Events Center which include 32 more spaces than are at the current locations.

I further understand that the City in contemplating building an additional parking lot with 36 parking spaces, on property the City owns located on the south side of the Property.

I believe additional parking on property owned by the City makes a lot of sense and will enhance the experience at the Library and Events Center.

Very truly yours,



Nancy A. Rossman

Kim Breland

From: NANCY AND TOM SHUTTS <nshutts@embarqmail.com>
Sent: Friday, September 7, 2018 3:57 PM
To: Kim Breland
Subject: nancyshutts/new event center

If there is NOT a railing on the 6 steps for the event center from the platform(amphitheater) there should be and the steps need to be shallow. Also it is NOT acceptable to approve this property with the words "option" and "exploring" for basic parking and no plan for the added needed parking IF the rooftop venue ever gets funded and approved. Please share with board. nancy shutts 2010 Brandywine Drive 407-645-2227

SASSO & SASSO, P.A.
ATTORNEYS AT LAW

MICHAEL C. SASSO *
MICHAEL A. SASSO
DAVID F. TEGELER * °

B. KATHLEEN DEVORE •
WENDY E. GORY •



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MSASSO@SASSO-LAW.COM

• FLORIDA REGISTERED PARALEGAL

* BOARD CERTIFIED IN CONSTRUCTION LAW

° REGISTERED ARCHITECT

September 11, 2018

Via E-mail

Mr. Jeffrey Briggs, City Planner
Planning and Zoning Board
401 S. Park Avenue
Winter Park, Florida 32789
jbriggs@cityofwinterpark.org

Dear Mr. Briggs:

Our law firm has been a tenant at 1031 West Morse Boulevard for 15 years. We anticipate the new Library and Events Center which is to be built across the street from our office building will be a great addition to the City, but we are concerned that the proposed parking allocated for these buildings may not meet the needs of all the activities that will take place at that location.

We understand that the City has the option of adding 36 extra parking spaces to the original proposal. We strongly support the addition of these spaces to meet the patrons' parking needs of the new Library and Events Center.

Please feel free to contact me should you have any further questions.

Very truly yours,

MICHAEL A. SASSO

James T. Barnes, Jr.
1031 W. Morse Boulevard, Suite 230
Winter Park, FL 32789
407-448-2552

September 4, 2018

Planning and Zoning Board
Winter Park, FL

Dear Members,

I want to express my support for the new Library and Events Center that is to be constructed on the corner of Morse Boulevard and Harper Street adjacent to the Martin Luther King Jr. Park. The architecture and design are clearly world-class and I am sure the citizens of Winter Park will be very proud of the end result. My understanding is that approximately 237 parking spaces are contemplated to serve the needs of the new Library and Events Center. I believe that this number of parking spaces would fulfill the ordinary everyday activities at these two structures. I have been told that this is approximately 32 more spaces than are currently at the present locations of the existing Library and Civic Center.

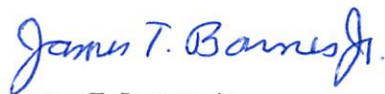
However, when there are multiple events that would be occurring on the site, this number of parking spaces (237) would be inadequate to meet the needs of all attendees. Fortunately, there is a solution to help with this issue. With the construction of 36 additional parking spaces on the south side of the property, (which is presently the old and under-utilized Lake Island Hall) these additional spaces will help to meet the additional needs.

Since these multiple events will not be a daily occurrence, the additional 36 parking spaces would be a welcome addition to the parking needs of the athletic events and general use of the Martin Luther King Jr. Park which has had a lack of adequate parking for their events for years. The cost of these additional 36 parking spaces should be minimal vs. the benefit to the new Library and Events Center as well as the athletic and other functions in the park. Attached is a layout of the additional parking option for these 36 spaces.

I would ask that the Planning and Zoning Board give strong consideration to the addition of 36 parking spaces and whatever feasibility study is necessary to bring this to a reality.

Thank you for your time and consideration of the above.

Very truly yours,


James T. Barnes, Jr.

