



401 South Park Avenue • Winter Park, Florida 32789

407-599-3324 • planning@cityofwinterpark.org
cityofwinterpark.org

**Planning &
Community
Development**

Planning & Zoning Board Staff Report for September 19, 2019 Meeting

[SPR #19-11. Request of Cameron and Elaine Weber for: Approval to construct a new, two-story, 8,976 square foot, single-family home located at 117 Genius Drive on Lake Mizell, zoned R-1AAA.](#)

Background

Cameron and Elaine Weber are requesting site plan approval to construct a new, two-story, 8,976 square-foot, single-family home at 117 Genius, which is located on Lake Mizell, and is zoned R-1AAA. This property measures 40,645 square feet. Below is a table summarizing this request in comparison to the R-2 zoning/lakefront lot requirements.

Table 1:

	R-1AAA/Lakefront Lot Requirements	Proposed
Floor Area Ratio	Max 38%	8,976 square feet/22%
Impervious Lot Coverage	Max 50%	15,870 square feet/39%
Lakefront Setback	149 feet	128 feet

Note: Items in bold indicate a variance request.

Tree Preservation

The purpose and intent of the lakefront lots section of the code states that existing trees shall be preserved to the degree reasonably possible, and the appearance of the property and the shore when viewed from the water will be kept as natural as reasonably possible. The applicant is proposing to remove one oak tree in the front of the lot as part of this request that is within the footprint of the driveway.

View From the Lake

The code limits walls and swimming pool decks facing the lake in excess of three feet in height. This lot has a significant grade drop of over ten feet from the front of the house to the lakeside. Therefore, managing that grade drop throughout the length of the home and on the side yards took careful planning. Due to this, the house on the south side is proposed entirely at the second floor setbacks due to the differential in grade from the finished floor elevation and the existing natural grade on the sides of the home. However, the pool and deck does exceed three-feet from existing grade due to the substantial grade drop throughout the lot. The highest point of the deck is approximately 5.8 inches above the existing grade. The applicant has designed the home in a way as to not have any blank retaining walls (see attached renderings) and has landscaped the deck as to not have any retaining walls that appear over three feet in height from the lakefront view. Also, there is an extensive existing landscaped hedge along the

property lines, and the deck is located sixty (60) feet from the southern property line to minimize the impact of the deck height variance to those neighbors. Staff feels that this is an acceptable variance due reasons previously mentioned and the hardship of the severely sloping lot.

View of Neighbors

The purpose and intent of the lakefront lots section of the code is to ensure that the views of the lake from adjoining properties will not be unduly impaired by new houses, additions, second story additions, etc. In order to achieve this, the code states that the lakefront setback shall be the average established by the adjacent lakefront properties within 200 feet of the subject property, or 50 feet, whichever is greater. However, the P&Z Board does have the authority to approve setbacks less than the average determined, or impose more restrictive setbacks.

Staff has determined that the average lakefront setback is approximately 149 feet from the lake. The applicant is proposing an approximate 128-foot setback from the lake to the home. Therefore, a variance from the average setback is needed. It is important to note that this lot is a corner lot, so the adjacent property to the north (1220 Osceola Ave) will not have their lakefront views impeded by this request. The lot to the south (139 Genius Drive) is a deep lot with a home constructed approximately 200 feet from the lake, therefore skewing the average lakefront setback. Requiring this lot to conform to the average would make it virtually unbuildable. Also, there is an extensive vegetation wall between this property and the property to the south. Staff does not see a concern with the lakefront setback proposed by the applicant.

Stormwater Retention

The code requires retention of stormwater so that stormwater flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. The amount of impervious surface on the lot determines the depth/size of the retention needed. The applicant is proposing a stormwater swale near the lakefront that is sized to meet the City's code requirements.

Summary

The applicant is proposing a home that is ensuring that water pollution from stormwater runoff and other sources will be minimized, and is preserving existing trees to the degree reasonably possible so that the appearance of the property and the shore when viewed from the water will be kept as natural as reasonably possible, and designing a pool and deck to help keep the lakefront look as natural as possible with vegetative walls. Overall, the plans meet the intent of the lakefront review criteria defined in the code.

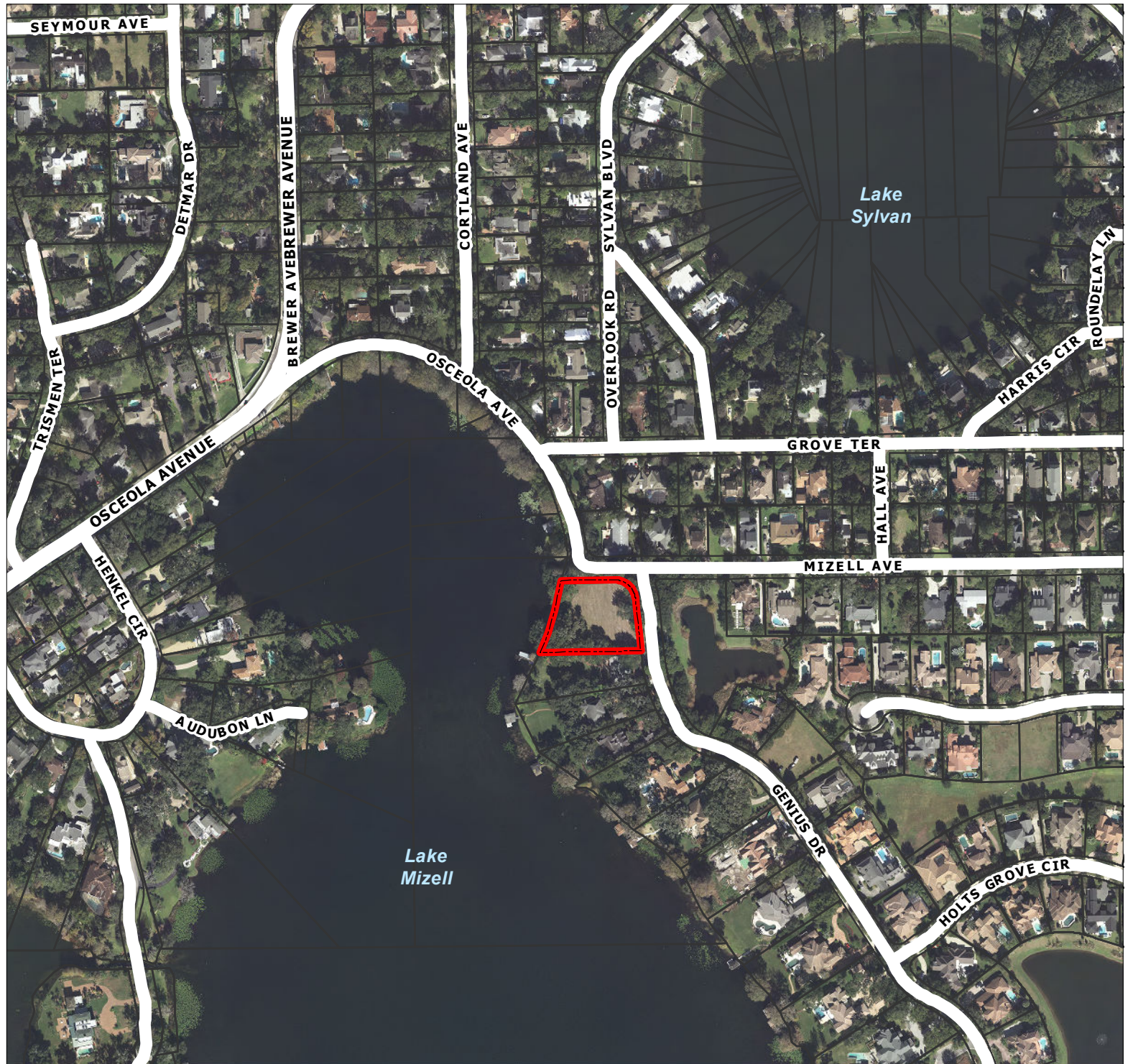
Staff recommendation is for approval.



LOCATION MAP

117 Genius Drive

City of Winter Park
Florida





LOCATION MAP

117 Genius Drive

City of Winter Park
Florida



WEBER RESIDENCE



GENIUS DRIVE VIEW

WINTER PARK, FLORIDA

WINTER PARK DESIGN

151 ORACLE DRIVE
MAITLAND, FL 32751
PHONE: 407.644.9868

WEBER RESIDENCE
WINTER PARK, FLORIDA

JOB NUMBER

DATE

SHEET

DOWN

REVISIONS

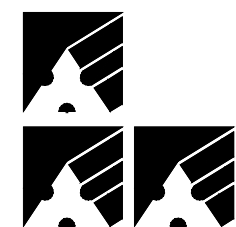
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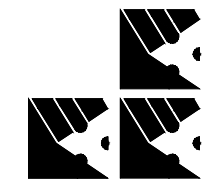
WEBER RESIDENCE



LAKE MIZELL VIEW

WINTER PARK, FLORIDA

WINTER PARK DESIGN



151 ORACLE DRIVE
MAITLAND, FL 32751
PHONE: 407.644.9868
FAX: 407.644.9868

WEBER RESIDENCE
WINTER PARK, FLORIDA

JOB NUMBER

DATE

DOWN
C/S/H

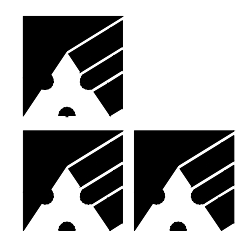
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R/G/H

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OF

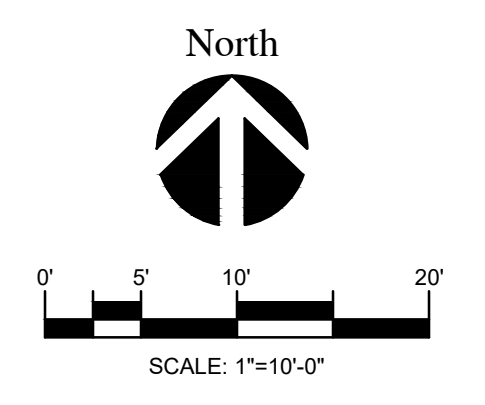


LOT COVERAGE:
 LOT AREA - 40,645 SF
 TOTAL IMPERVIOUS ALLOWED - 20,322 SF (50%)
 TOTAL IMPERVIOUS PROVIDED - 15,810 SF (39%)

RETENTION REQUIREMENTS:
 SITE IMPERVIOUS 15,810 SF x 1" (0.083) = 1318 CF. REQUIRED
 RETENTION PROVIDED:
 FOND 'A' - 1250 CF.
 FOND 'B' - 400 CF.
 TOTAL PROVIDED - 1650 CF.

Zone "AE"
 100-Year Flood Line
 Elevation = 67.3' (NAVD '88)
 Falls in Water
 Depiction is Inaccurate

Zone "X"
 Normal High Water Line
 Elevation = 65.7' (NAVD '88)
 Falls in Water
 Depiction is Inaccurate



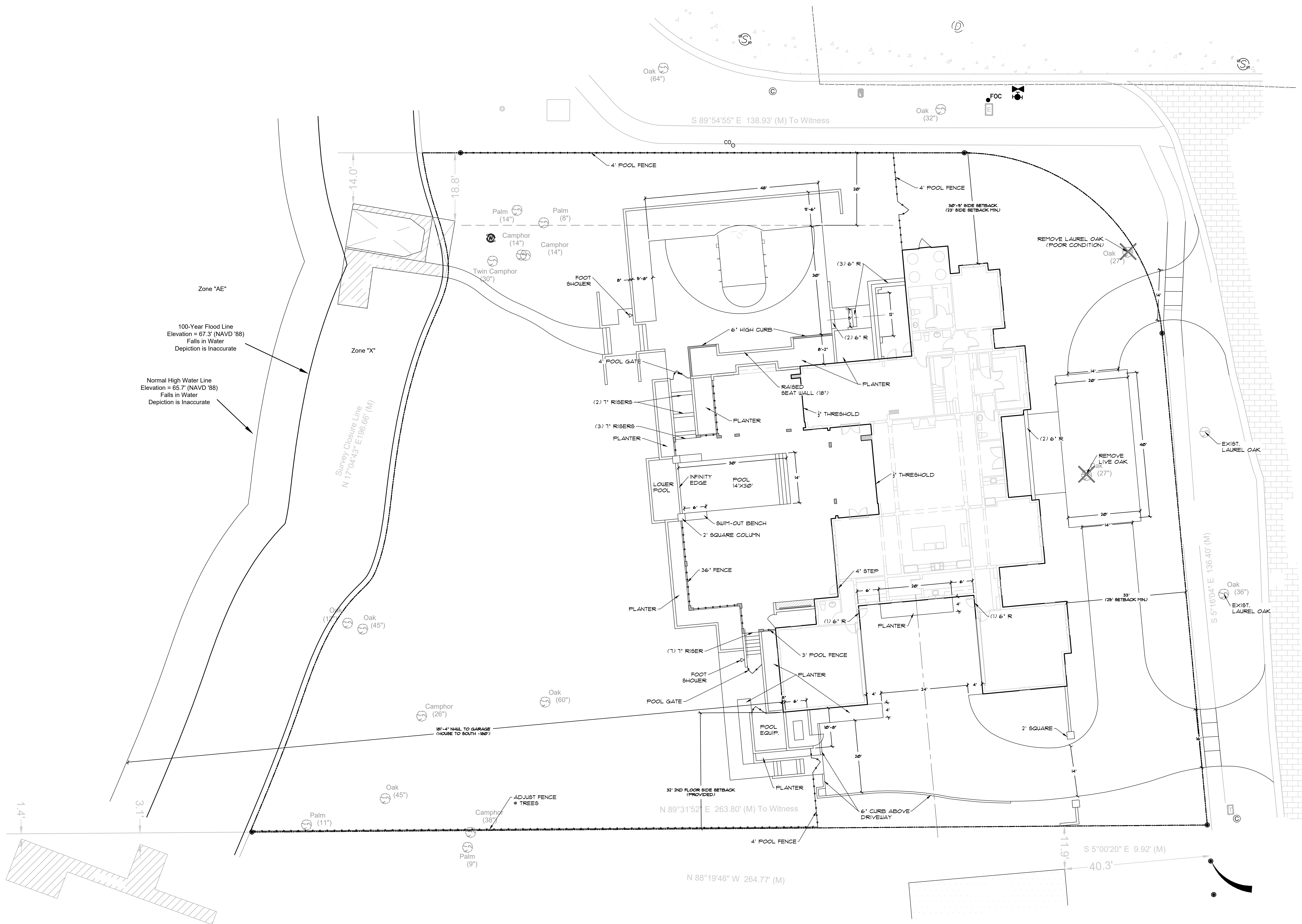
REVISIONS		
DATE	BY	DESCRIPTION

VERLANDER
 Landscape Architecture, LLC
 706 Turnbull Avenue, Suite 201
 Altamonte Springs, FL 32701
 Email: paul@paulverlander.com
 Phone: (407) 834-4104
 Fax: (407) 834-2919
 Website: www.paulverlander.com

PAUL L. VERLANDER, P.L.A.
 License No. LA0000546

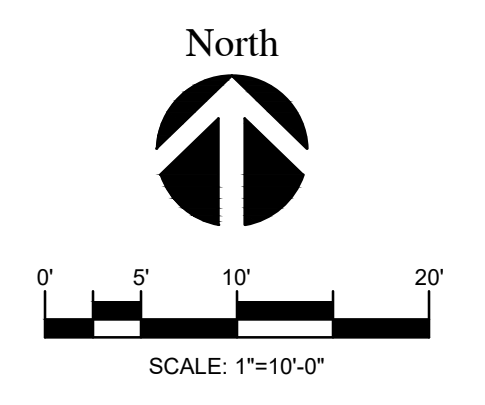
GRADING PLAN
WEBER RESIDENCE
 WINTER PARK, FLORIDA

PROJ. NO.: 1934
 SCALE: 1"=10'-0"
 DATE: 7-25-2019
 SHEET NO: **GR-1**



Zone "AE"
 100-Year Flood Line
 Elevation = 67.3' (NAVD '88)
 Falls in Water
 Depiction is Inaccurate

Normal High Water Line
 Elevation = 65.7' (NAVD '88)
 Falls in Water
 Depiction is Inaccurate



REVISIONS		
DATE	BY	DESCRIPTION

VERLANDER
 Landscape Architecture, LLC
 706 Turnbull Avenue, Suite 201
 Altamonte Springs, FL 32701
 Email: paul@paulverlander.com
 Phone: (407) 834-4104
 Fax: (407) 834-2919
 Website: www.paulverlander.com

PAUL L. VERLANDER, P.L.A.
 License No. LA0000546

HARDSCAPE PLAN
WEBER
RESIDENCE
 WINTER PARK, FLORIDA

PROJ. NO.: 1934
 SCALE: 1"=10'-0"
 DATE: 7-25-2019
 SHEET NO: **HS-1**

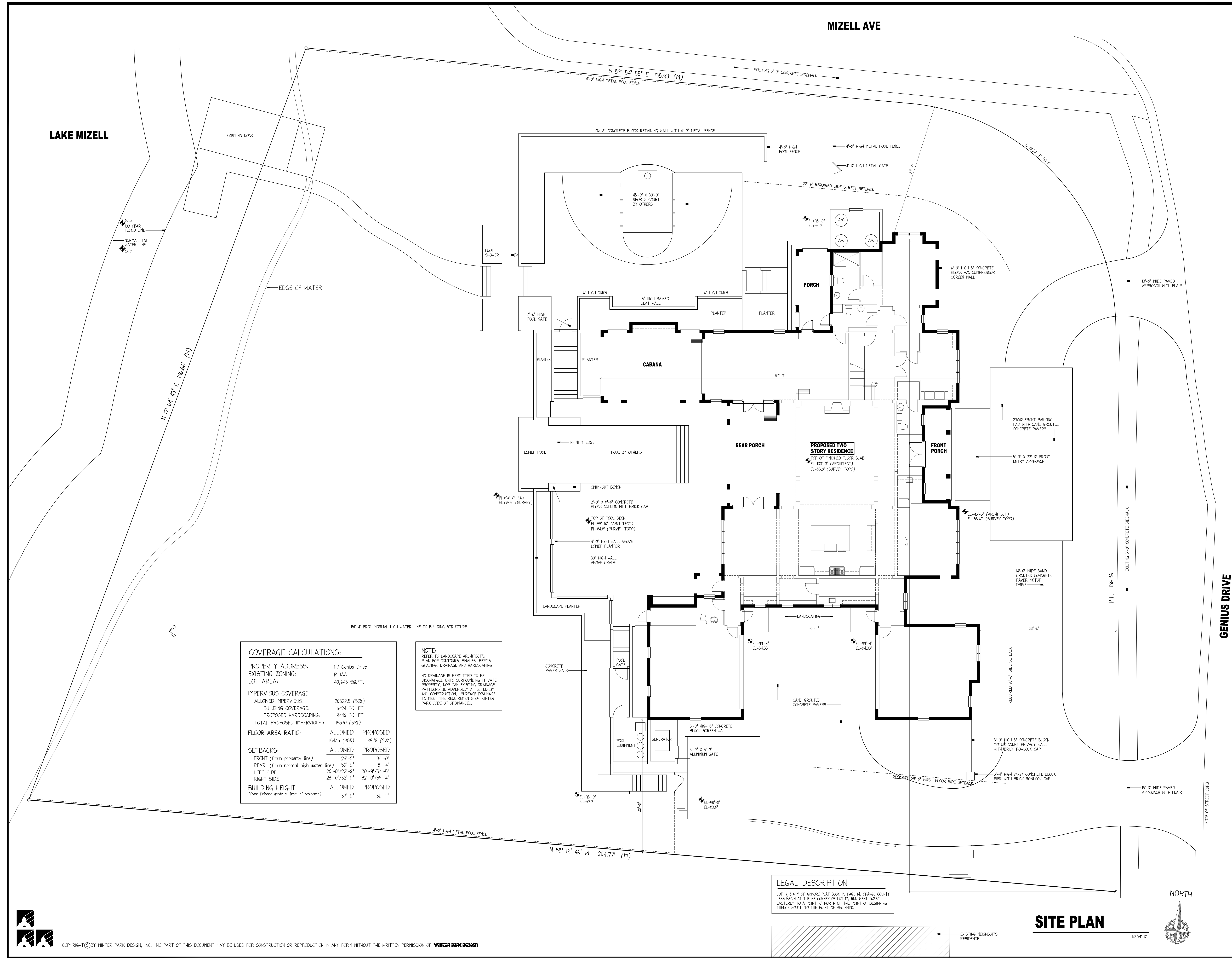
WEBER RESIDENCE

WINTER PARK, FLORIDA

JOB NUMBER: _____
 DOWN: _____
 CHECKED: _____

DATE SUBMITTED: _____
 REVISIONS: _____

SHEET: **A01**
 REVIEWED FOR CONSTRUCTION



COVERAGE CALCULATIONS:

PROPERTY ADDRESS: 117 Genius Drive
 EXISTING ZONING: R-1AA
 LOT AREA: 40,645 SQ.FT.

IMPERVIOUS COVERAGE
 ALLOWED IMPERVIOUS: 20322.5 (50%)
 BUILDING COVERAGE: 6424 SQ. FT.
 PROPOSED HARDSCAPING: 9446 SQ. FT.
 TOTAL PROPOSED IMPERVIOUS: 15870 (39%)

FLOOR AREA RATIO:
 ALLOWED 15445 (38%)
 PROPOSED 8976 (22%)

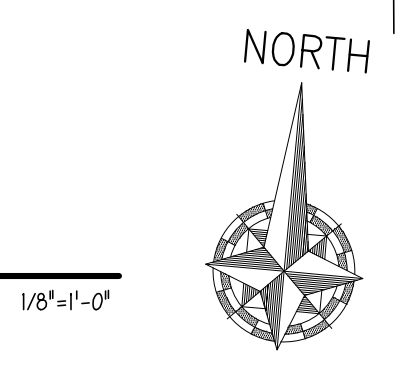
SETBACKS:
 ALLOWED PROPOSED
 FRONT (from property line) 25'-0" 33'-0"
 REAR (from normal high water line) 50'-0" 181'-4"
 LEFT SIDE 20'-0"/22'-6" 30'-9"/54'-5"
 RIGHT SIDE 23'-0"/32'-0" 32'-0"/59'-4"

BUILDING HEIGHT (from finished grade at front of residence)
 ALLOWED 37'-0"
 PROPOSED 36'-11"

NOTE:
 REFER TO LANDSCAPE ARCHITECT'S PLAN FOR CONTOURS, SWALES, BERMS, GRADING, DRAINAGE AND HARDSCAPING.
 NO DRAINAGE IS PERMITTED TO BE DISCHARGED ONTO SURROUNDING PRIVATE PROPERTY, NOR CAN EXISTING DRAINAGE PATTERNS BE ADVERSELY AFFECTED BY ANY CONSTRUCTION. SURFACE DRAINAGE TO MEET THE REQUIREMENTS OF WINTER PARK CODE OF ORDINANCES.

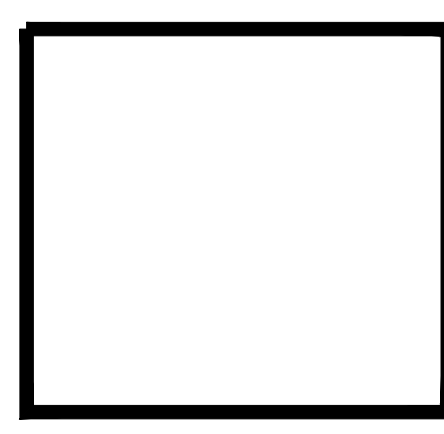
LEGAL DESCRIPTION
 LOT 17, 8 & 9 OF APPROVE PLAT BOOK P, PAGE 14, ORANGE COUNTY LESS BEGIN AT THE SE CORNER OF LOT 17, RUN WEST 262.50' EASTERLY TO A POINT 10' NORTH OF THE POINT OF BEGINNING THENCE SOUTH TO THE POINT OF BEGINNING

SITE PLAN



WEBER RESIDENCE

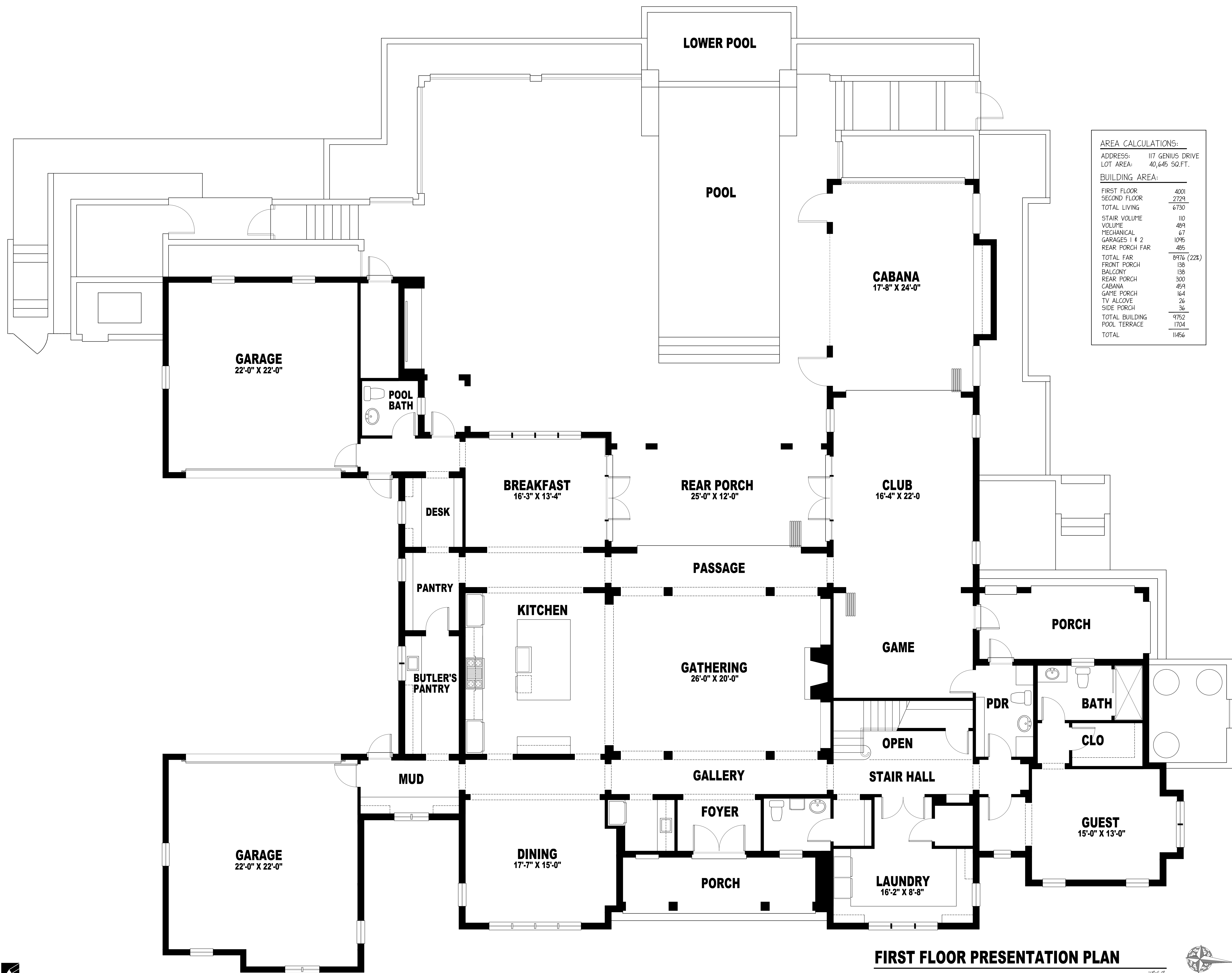
WINTER PARK, FLORIDA



JOB NUMBER
DOWN
CHECKED

DATE DESIGN DEVELOPMENT
REVISIONS

SHEET
REVIEWED FOR CONSTRUCTION
A02
38



AREA CALCULATIONS:

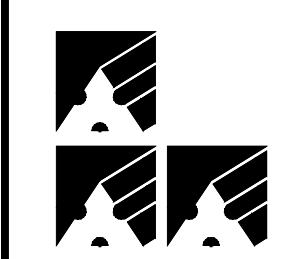
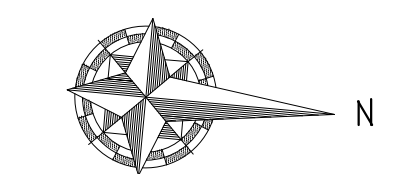
ADDRESS: 117 GENIUS DRIVE
LOT AREA: 40,645 SQ. FT.

BUILDING AREA:

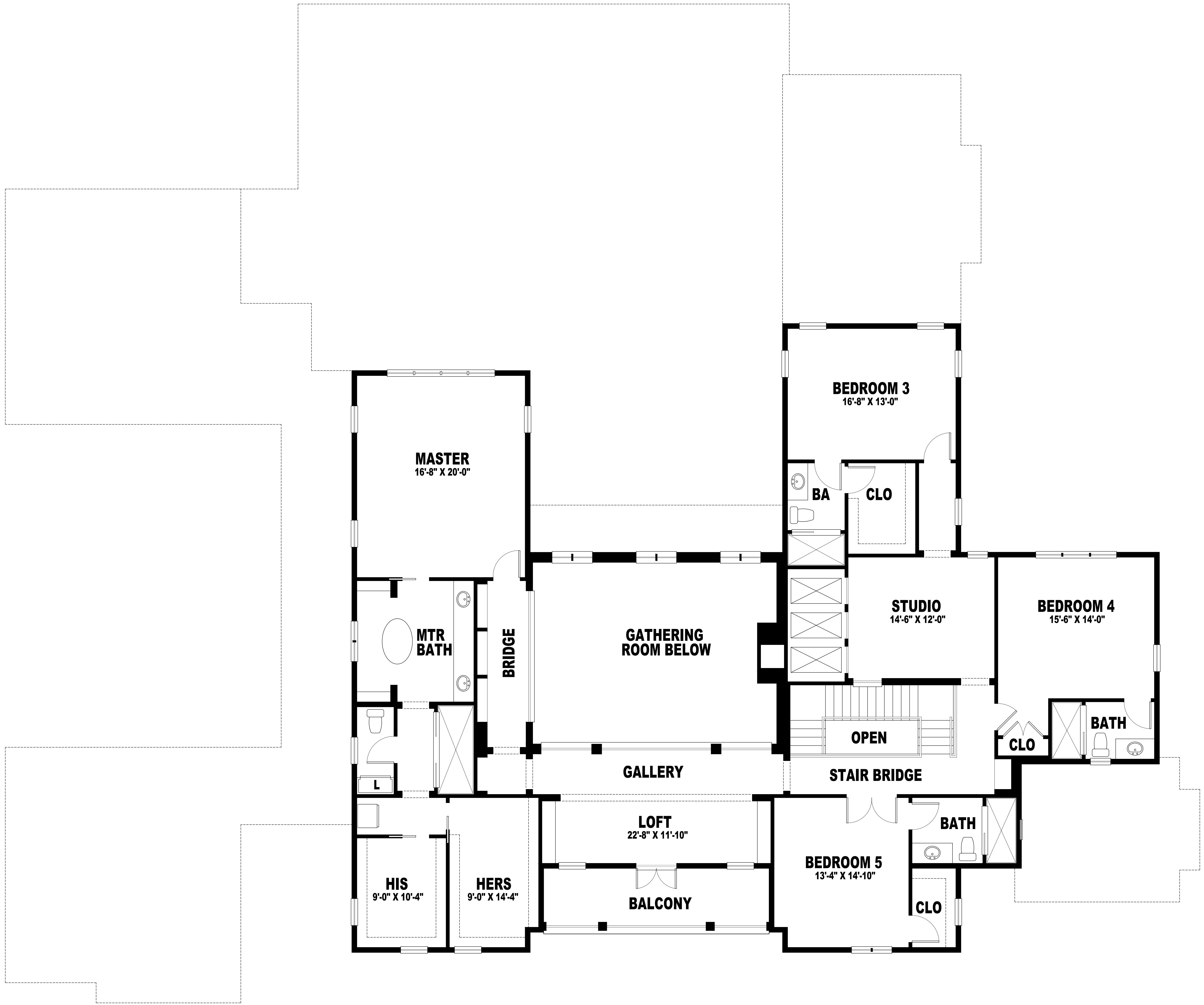
FIRST FLOOR	4001
SECOND FLOOR	2729
TOTAL LIVING	6730
STAIR VOLUME	110
VOLUME	489
MECHANICAL	67
GARAGES 1 & 2	1095
REAR PORCH FAR	485
TOTAL FAR	8976 (22%)
FRONT PORCH	138
BALCONY	138
REAR PORCH	300
CABANA	459
GAME PORCH	164
TV ALCOVE	26
SIDE PORCH	36
TOTAL BUILDING	9752
POOL TERRACE	1704
TOTAL	11456

FIRST FLOOR PRESENTATION PLAN

1/4"=1'-0"

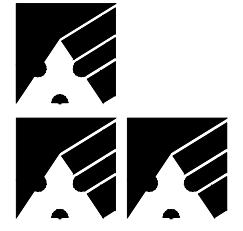
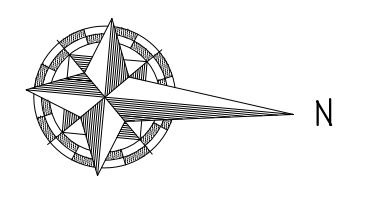


WEBER RESIDENCE
WINTER PARK, FLORIDA



SECOND FLOOR PRESENTATION PLAN

1/4"=1'-0"

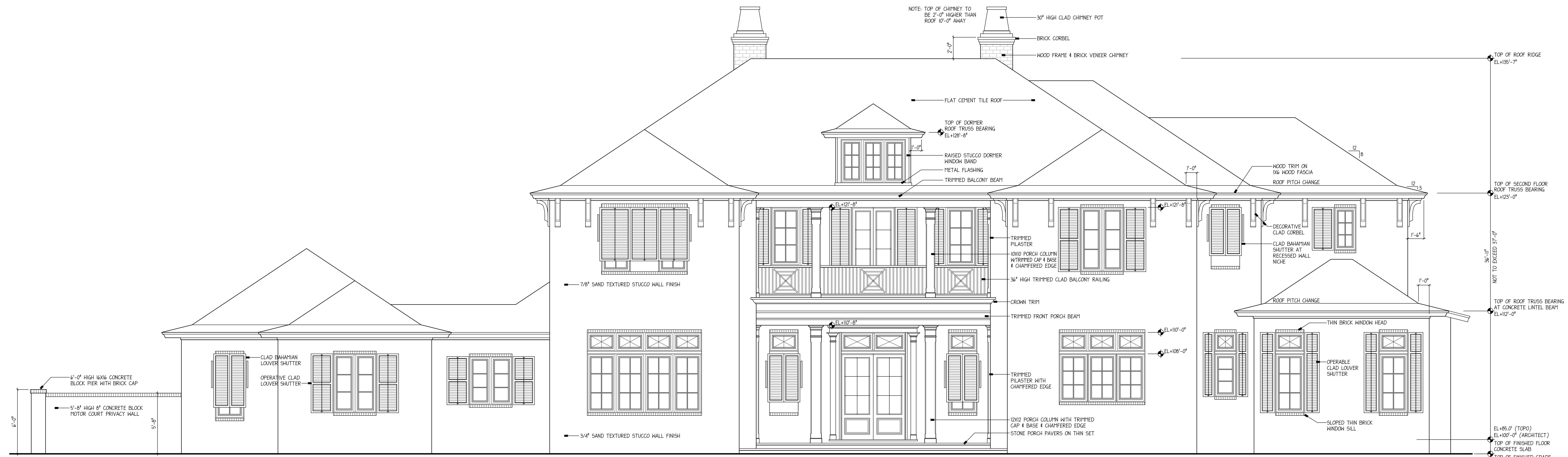


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DATE REVISION DEVELOPMENT	REVISIONS	

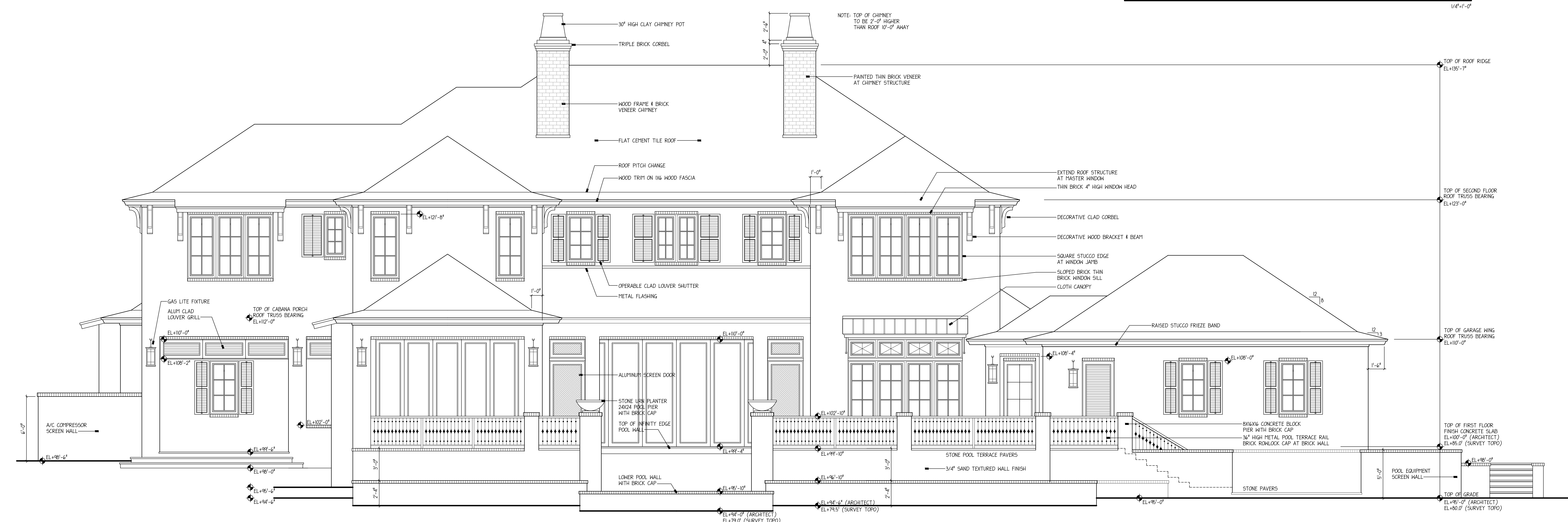
SHEET
A03
 REVIEWED FOR CONSTRUCTION

WEBER RESIDENCE

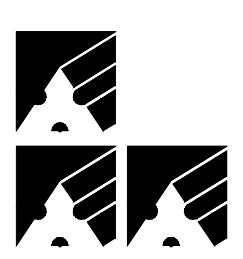
WINTER PARK, FLORIDA



FRONT ELEVATION



REAR ELEVATION



JOB NUMBER	DOWN	CHANGED
DATE SUBMITTED	REVISIONS	

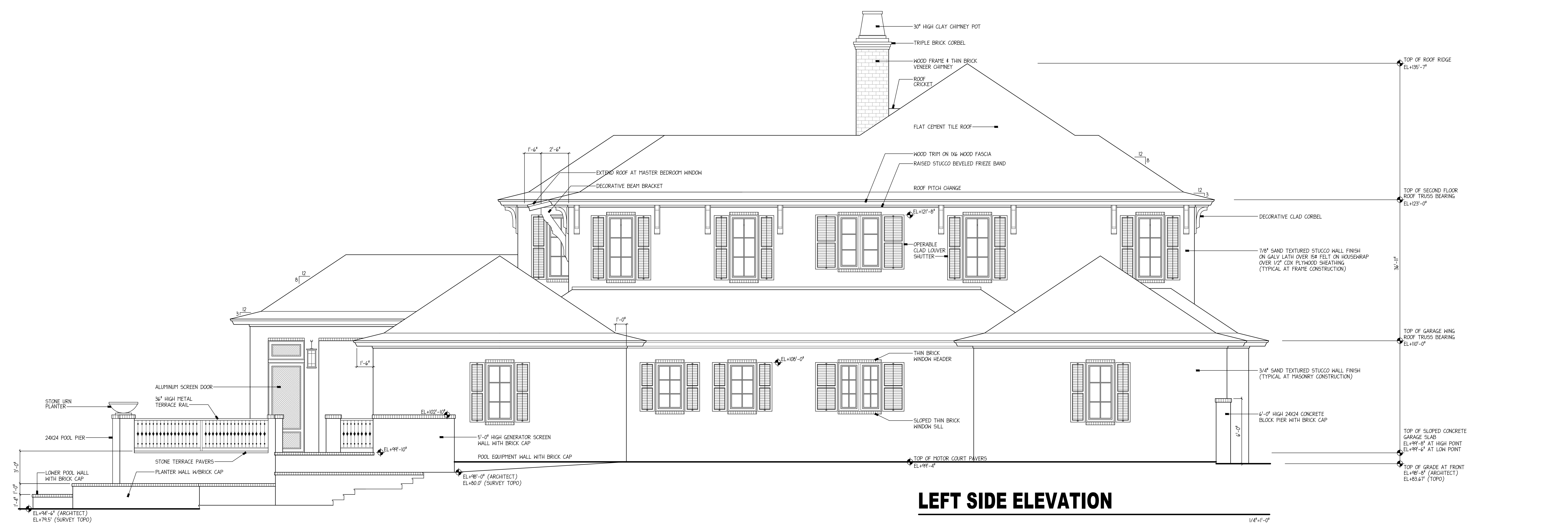
WEBER RESIDENCE

WINTER PARK, FLORIDA

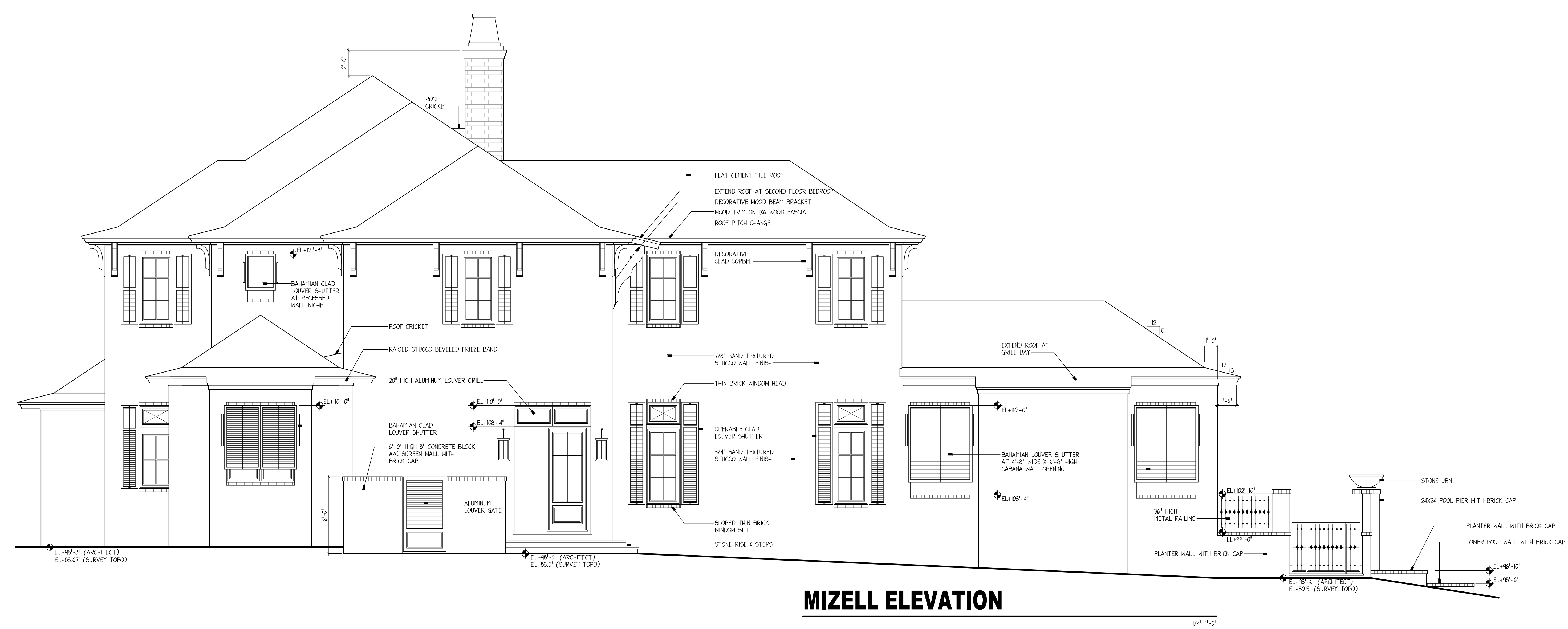
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DATE	REVISIONS
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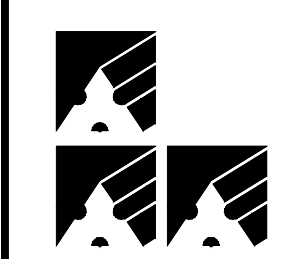
SHEET	REVISIONS
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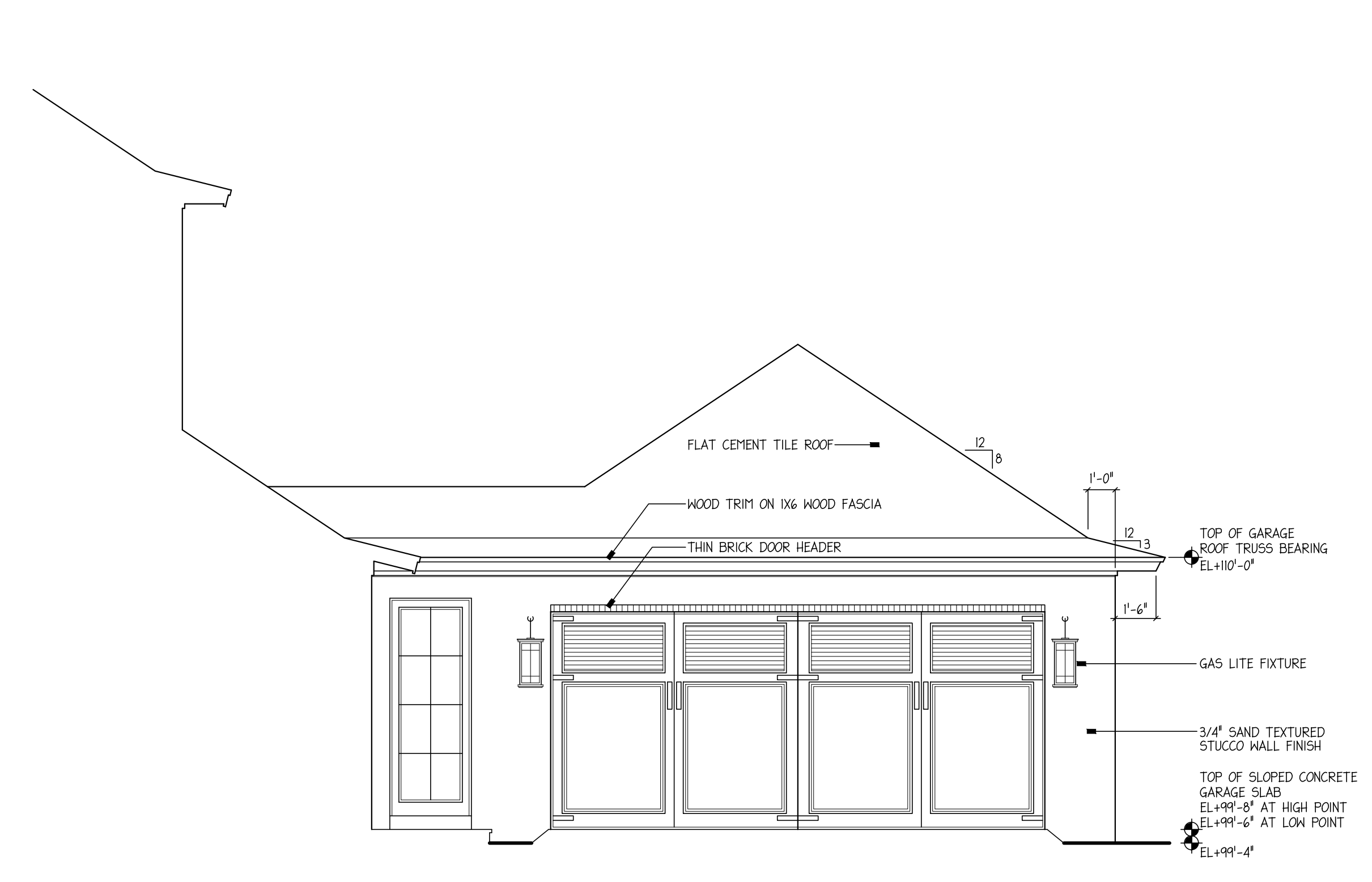
LEFT SIDE ELEVATION



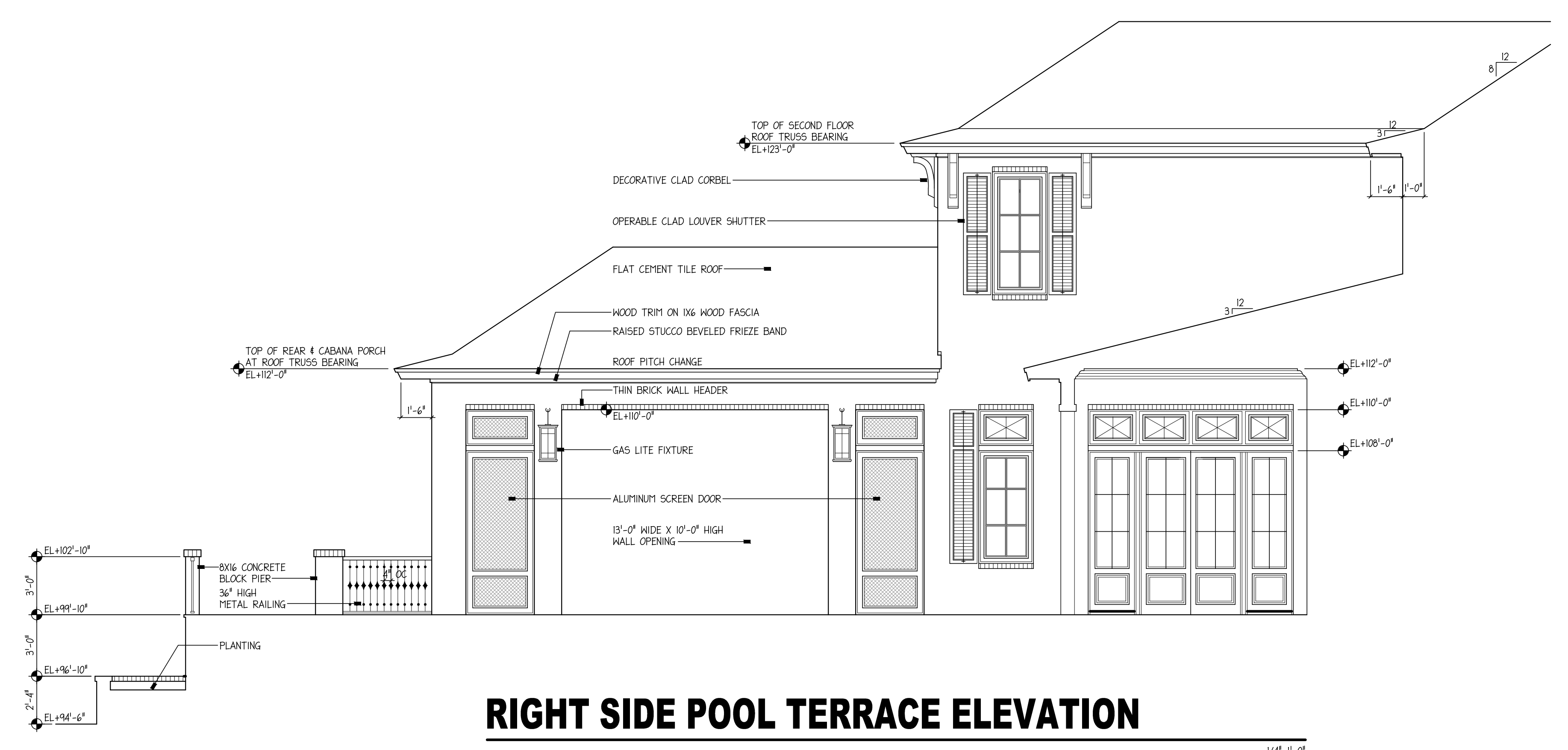
MIZELL ELEVATION



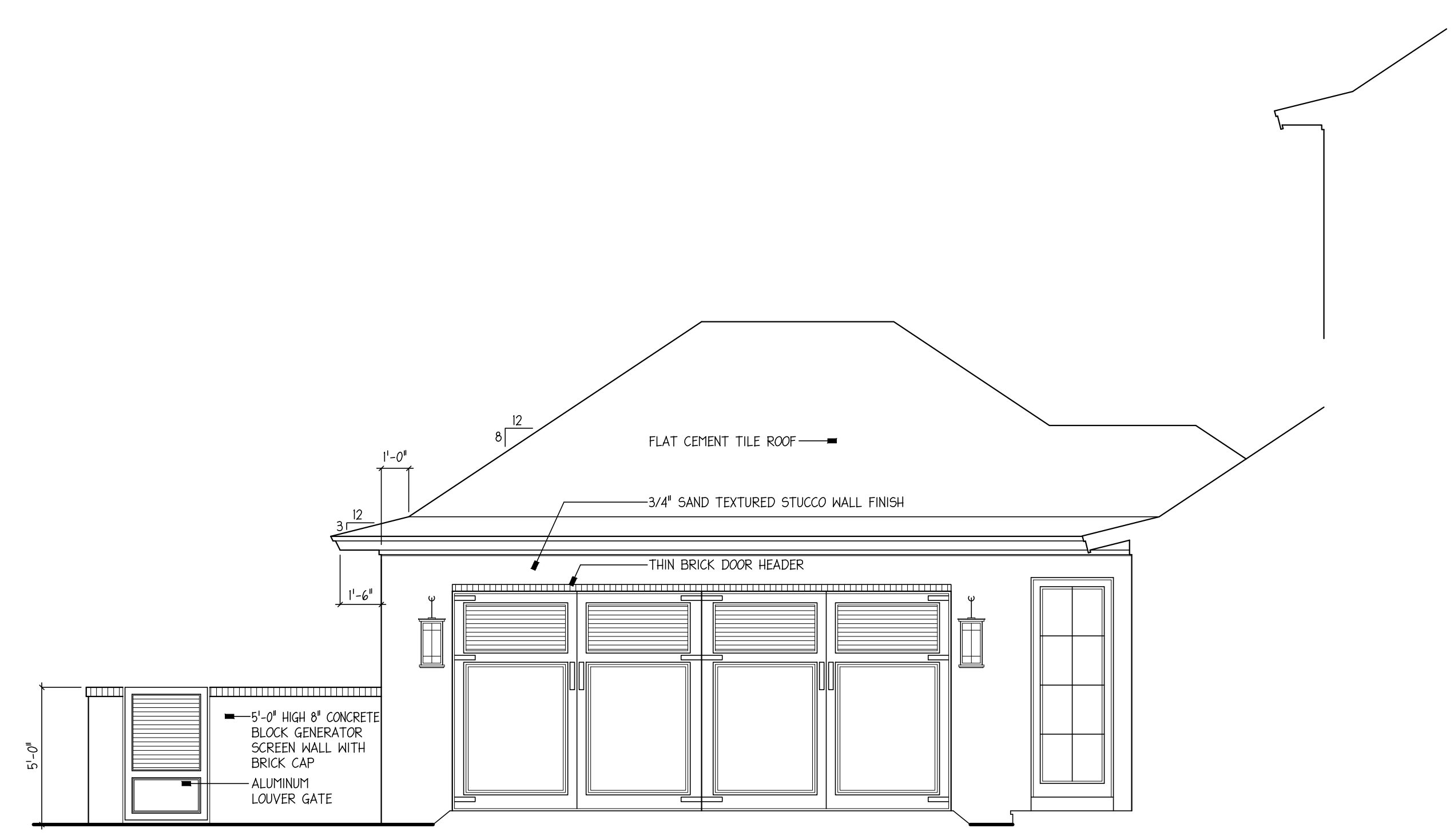
WEBER RESIDENCE
WINTER PARK, FLORIDA



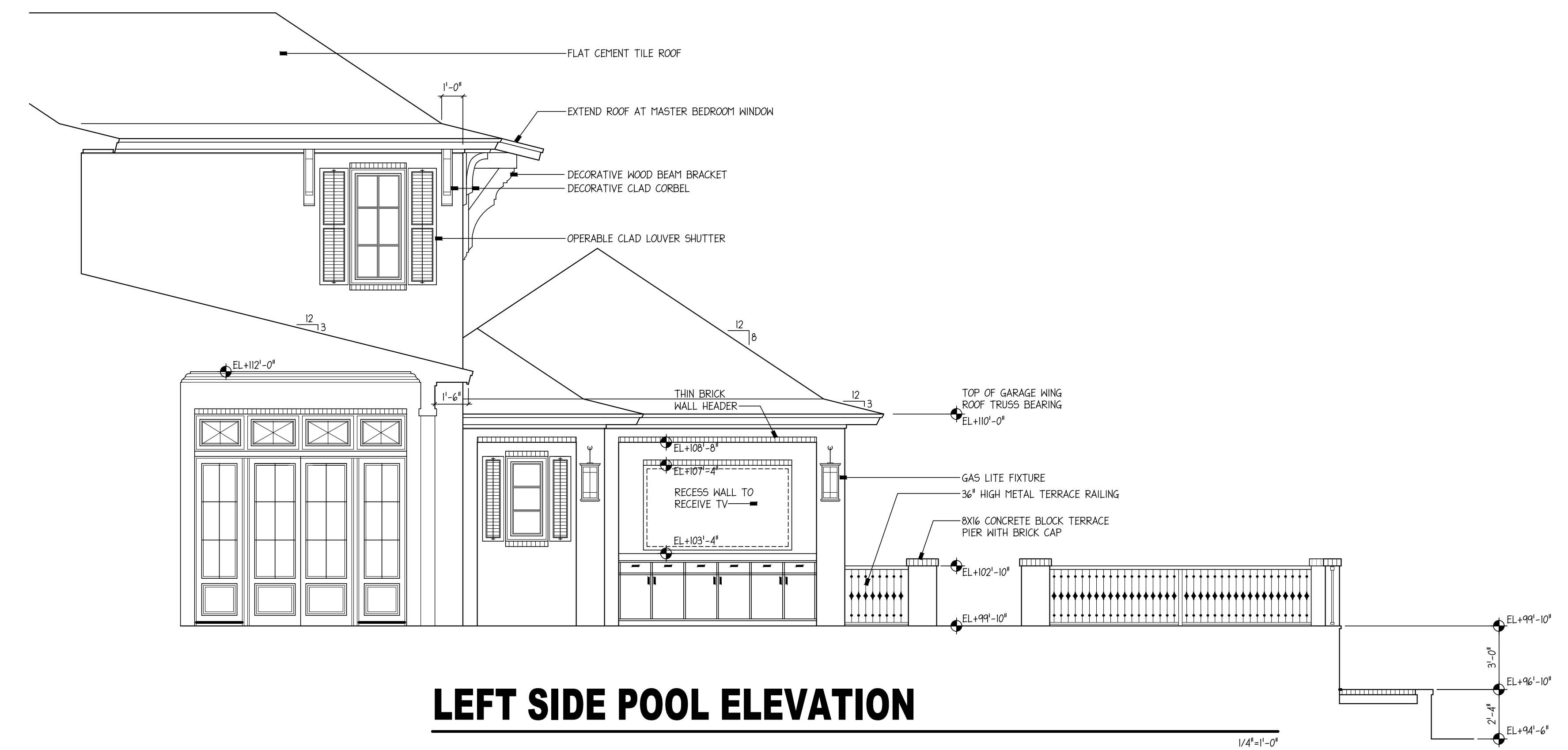
STREET SIDE MOTOR COURT ELEVATION
 1/4"=1'-0"



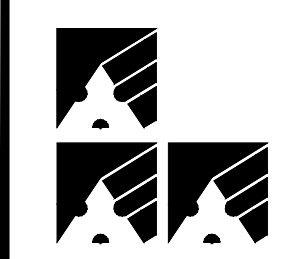
RIGHT SIDE POOL TERRACE ELEVATION
 1/4"=1'-0"



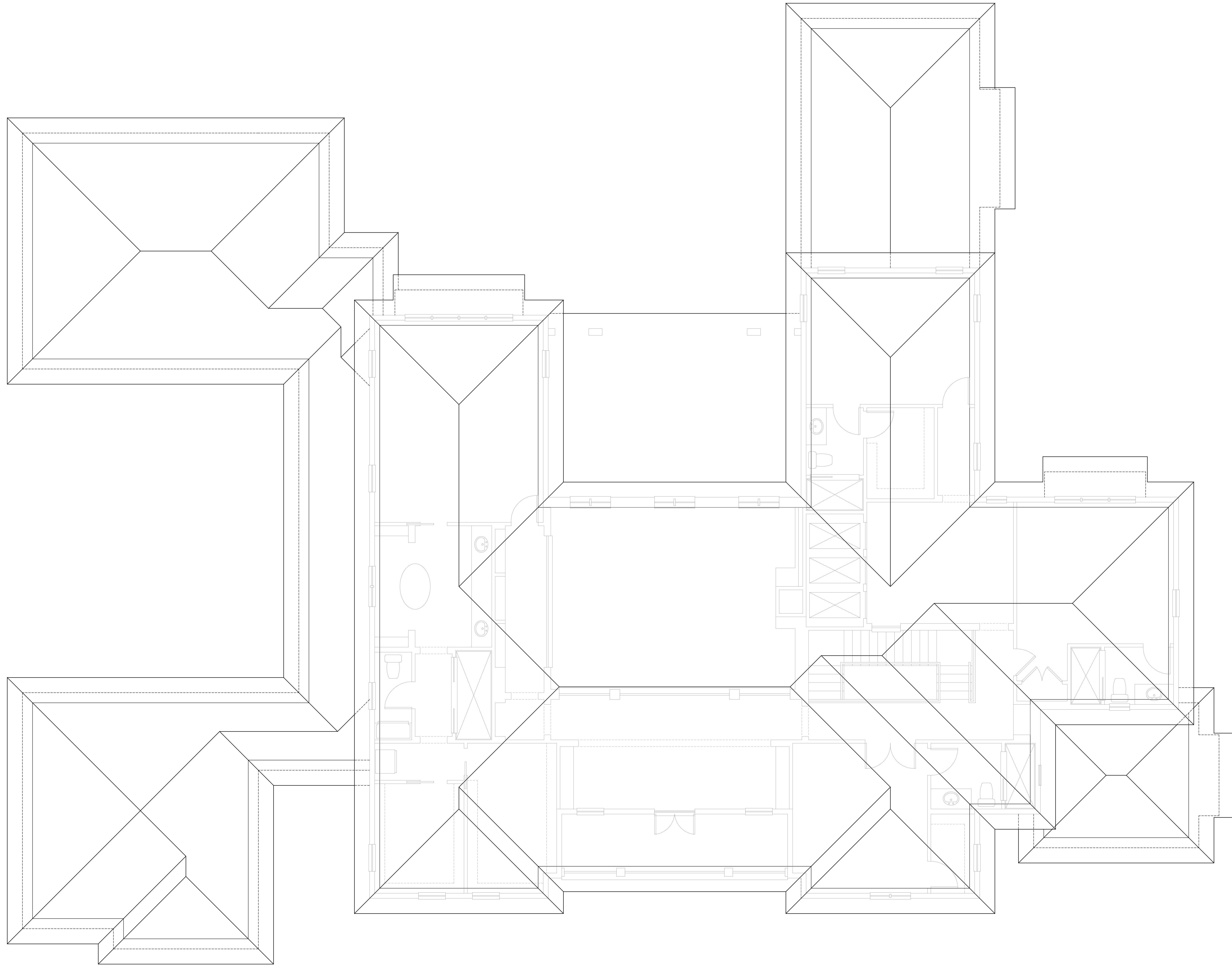
LAKE SIDE MOTOR COURT ELEVATION
 1/4"=1'-0"



LEFT SIDE POOL ELEVATION
 1/4"=1'-0"

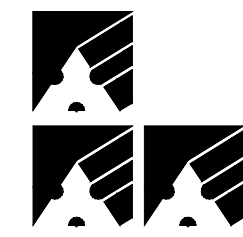
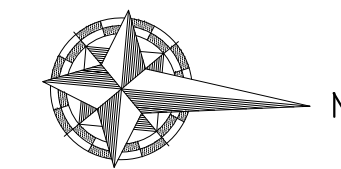


JOB NUMBER	DOWN	CHECKED
DATE	REVISIONS	
A06		
SHEET REVIEW: 10/20/2010 CONSTRUCTION		



ROOF PLAN

1/4"=1'-0"



WEBER RESIDENCE
WINTER PARK, FLORIDA

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DATE: 08/04/2010	JOB NUMBER:
REVISIONS:	DRAWN:
	CHECKED:



401 South Park Avenue • Winter Park, Florida 32789

407-599-3324 • planning@cityofwinterpark.org
cityofwinterpark.org

**Planning &
Community
Development**

Planning & Zoning Board Staff Report for September 19, 2019 Meeting

CU #19-10 Request of Windermere Winter Park Ventures LLC for: Conditional Use Approval to develop twelve two-story townhouses and two three-story townhouses along with one single family house on the combined properties at 472 and 510 West Swoope and 435 and 511 West Canton Avenue, zoned R-1A and R-3.

Background

This is a Conditional Use request that seeks to develop four properties that are all in the same ownership into one combined residential project including an existing single family home, and fourteen new townhouses. The combined site consists of three properties designated multi-family residential (R-3) and one property designated single family (R-1A).

Each portion of the site stands on its' own with the single family portion/home built within the single family (R-1A) zoning standards and the multi-family townhouse portion built within the multi-family (R-3) zoning standards. There is no trading or sharing of development rights between the divergent zoning categories. However there is common driveway access amongst all the residential units.

The implementation of this project would be via formal plat with each unit having fee simple ownership of the footprint of the units while the other open spaces, driveways, outside parking spaces, etc. will be common area tracts owned and maintained in common by all 15 owners.

Project Description

The project consists of three components:

1. The R-3 properties at 472 and 510 West Swoope Avenue are to be used for 10 townhomes with a center driveway feeding two car garages for each unit. The front 8 units are two-story in height and the rear 2 units are three-story in height. This portion of the site is 37,500 sq. ft. in size. Under R-3 density of 17/units per acre, this portion of the site could be used for 14 units but only 10 are proposed. Setbacks comply with the front 25 feet and 20 foot sides.
2. The R-3 property at 435 West Canton Avenue is to be used for two duplexes, each two-stories in height and 4 units in total. This portion of the site is 12,500 sq. ft. in size. Under R-3 density of 17/units per acre, this portion of the site could be used for 4 units as proposed. These buildings meet the R-3 setbacks for duplexes of 25 foot front yard, 10 foot side setbacks and 25 foot rear setback.
3. The R-1A property at 511 West Canton Avenue holds the existing single family house built in 2013. That portion of the site is 37,500 sq. ft. in size. Including the garage area, this home of 14,250 sq. ft. was built to the maximum 38% floor area ratio. (FYI, the OCPA gross area of 21,497 sf is incorrect as it includes the interior open air courtyard in that number)

Overall Project Statistics

The total square footage of the 14 new townhouse units is 45,444 sq. ft. which is an average unit size of 3,246 sq. ft. inclusive of the two car garages. In terms of floor area ratio, the R-3 zoning allows 75% FAR for two-story development and 110% FAR for three-story development. The building program averages the density for a total site yield of a 90.1% FAR.

The impervious coverage allowed for R-3 development is 70%. The impervious coverage shown for all buildings, walks, driveways and parking spaces is 62%. Building lot coverage maximum is 40% and the plans show 43.2%. A variance is requested for that overage. This situation has arisen before due to the need to concentrate the living areas of the kitchen, dining/living rooms plus the garage on the ground floor. Below is a table summarizing this request in comparison to the R-3 zoning requirements. Items in bold indicate a variance request.

Table 1:

	Allowed	Proposed
FAR	110%	90.1%
Residential Units	18 units	14
Impervious Coverage	70%	62%
Building Coverage	40%	43.2%

Note: Items in bold indicate a variance request.

The project layout has a driveway through the entire site to meet the requirements of the Fire Department for emergency access without having to back up. It is anticipated that the trash truck will also pull through the site to empty the single trash container for each unit.

Parking and Storm Water Retention

The parking requirements of 2.5 spaces per unit requires 7 additional parking spaces beyond the two car garages for each unit. The spaces are scattered throughout the site so that they would be convenient for visitors to those adjacent units. There is 30 feet between the buildings or across the common driveway so that it is easy to navigate into and out of the garages. The Code minimum is 24 feet.

Storm water retention will be via underground exfiltration that will be located under the driveways. City policy requires 2-inches of retention volume to provide a safety factor for the underground system, maintenance is required. There will be a maintenance agreement required which the City enforces to insure that the system continues to function, as designed. This meets the requirements of both the City Code and St. Johns River Water Management District.

Tree Preservation

There are three oak trees on the Swoope Avenue portion of the property that are to be removed. Urban Forestry has assessed those trees and reports that they are all in poor to fair condition and their removal is permitted subject to mitigation. The landscape plan for this project will include the new oak trees necessary for compliance.

Compatibility with the Surroundings

The Swoope Avenue portion of the project has three neighboring properties that are similarly developed with existing multi-family townhouses or condos. The one remaining single family home is permitted by the Comprehensive Plan to be re-designated for multi-family use for equity and compatibility. The Canton Avenue portion of the project is adjacent to a vacant R-3 parcel that can similarly be developed with up to nine multi-family units.

The architectural design recognizes that this block and adjacent streets are primarily a maximum of 2-story homes or townhomes. As a result, only the two units at the center of the project (200-300 feet from the two streets) are the 3-story units. The street front end units facing Canton and Swoope Avenues are a different design with the front doors and front porches facing the street (versus an end side wall of a townhouse).

Summary and Recommendation

This project is unusual in the aspect of combining an existing single family home together with new townhouse development. However each portion stands on its' own, in terms of compliance with the applicable R-1A or R-3 development standards, for that portion of the site. The inter-connection stems principally from the needs of the Fire Dept. for access through the site (otherwise there is no place to turn-around an emergency vehicle). This also works for trash pickup versus multiple carts on the street fronts.

This proposed project has less units (14 versus 18) than could be requested under the applicable R-3 zoning. It also does not utilize the maximum FAR (90% versus 110%). The only variance requested is for building lot coverage (footprint) which is needed to concentrate the living areas of the kitchen, dining/living rooms plus the garage on the ground floor. However the total impervious coverage is not maximizes (62% versus 70%).

This block was platted with deep 250 foot lots on each street that anticipated multi-family development. It has been zoned multi-family since the 1950's. The required re-plat of this project will establish a homeowner's association that will merge all the ownerships (single family home and the townhomes) together to maintain all the aspects of the common areas.

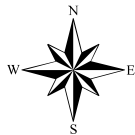
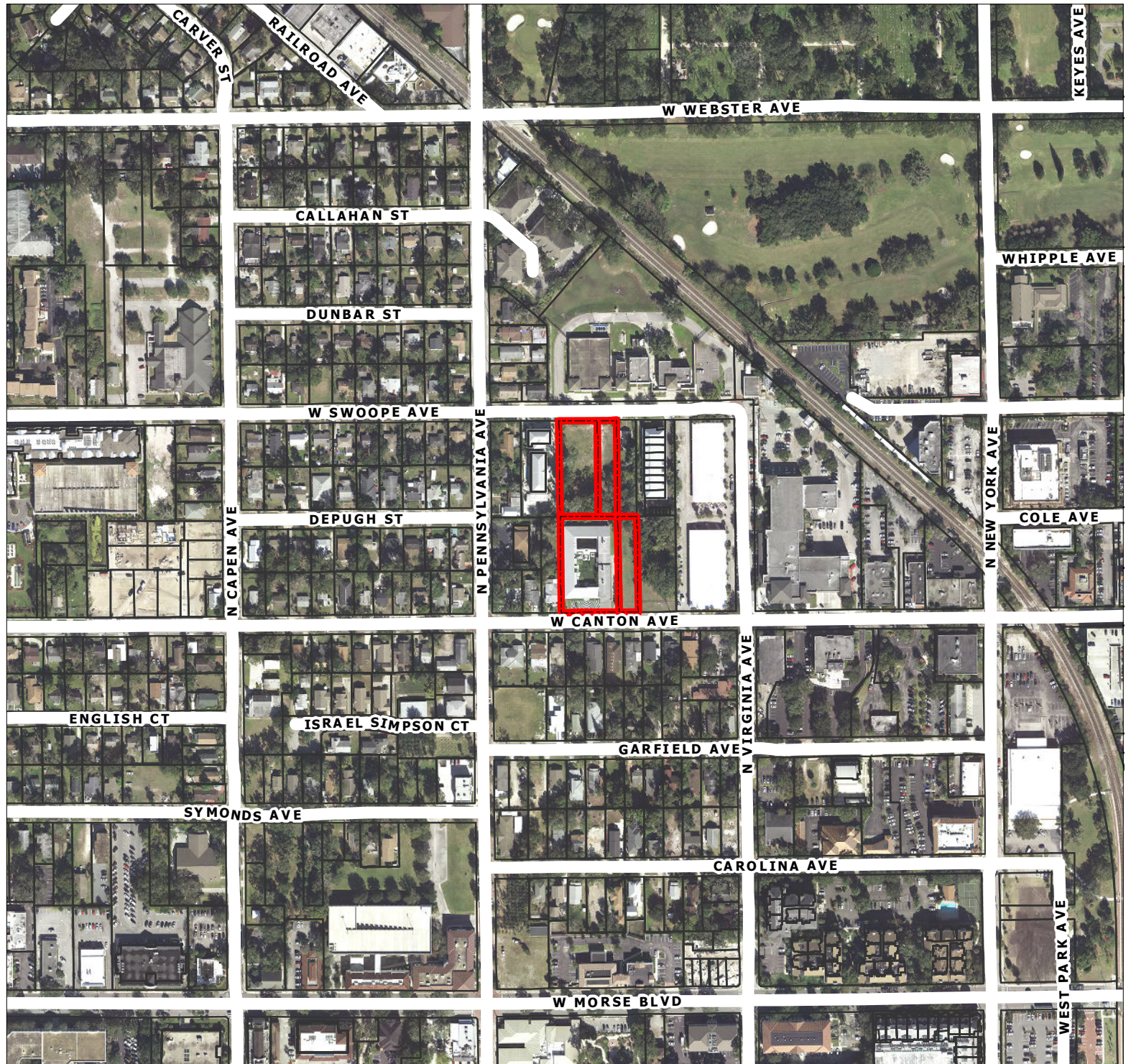
Staff Recommendation is for approval.



LOCATION MAP

Canton & Swoope Conditional Use Request

City of Winter Park
Florida





LOCATION MAP
Canton & Swoope
Conditional Use Request

City of Winter Park
Florida

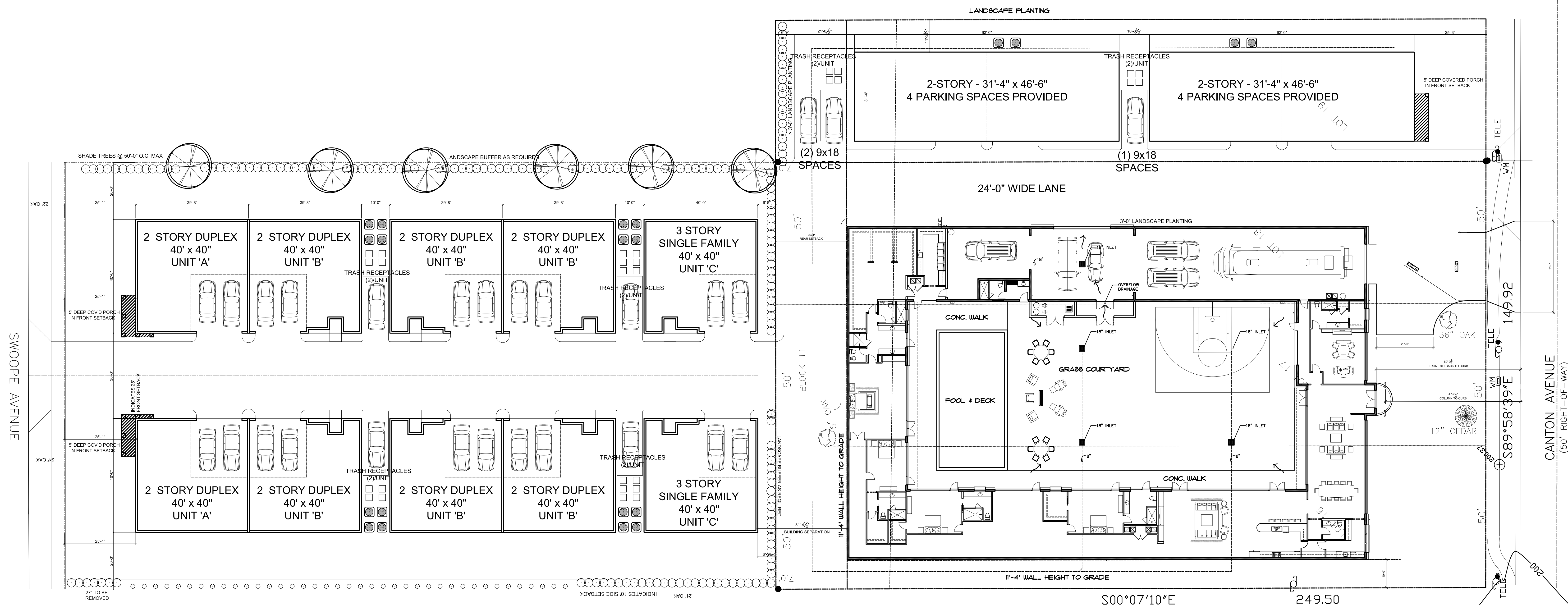


W SWOOPE AVE

N PENNSYLVANIA AVE

DEPUGH ST

W CANTON AVE



**PROPOSED DUPLEX MASTER PLAN
SITE PLAN**

THIS SITE PLAN DOES NOT CONSTITUTE A SURVEY NOR A GRADING & DRAINAGE PLAN

SCALE: 1/16" = 1' - 0"



DATE	MARK	REMARK	BY

NASRALLAH
Architectural Group Inc
3920 Flagwater Drive, Suite 101
Orlando, FL 32804
Ph: 407-647-0938 Fax: 407-647-2499
email: Mark@nasrallah.com
AA26001471

Project Description
Gelcorp Industries - Canton-Swoope Ave. Duplexes
Canton/Swoope Duplexes
Winter Park, Florida

DATE	DRAWN BY	CHECK BY	SCALE

2019-07-01

2019-07-01 City of Winter Park - P&Z Submittal



SP
1.1
SHEET NO

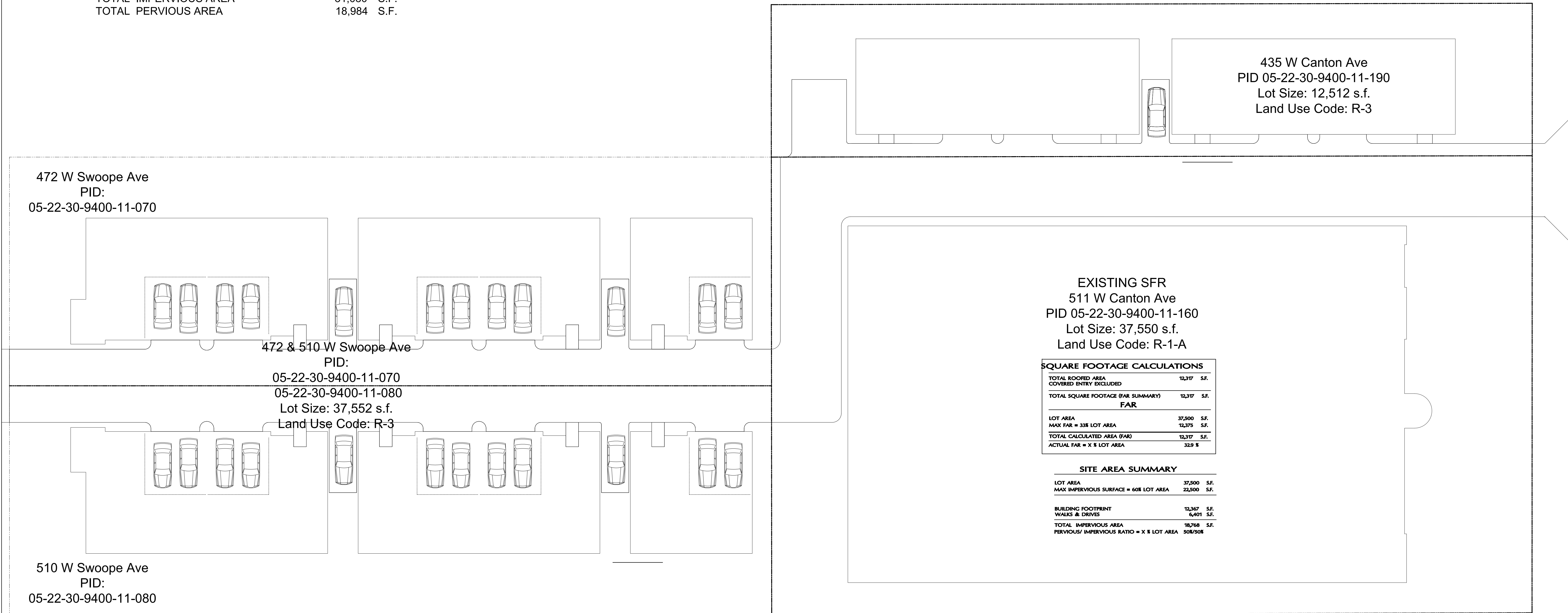
not valid without original or electronic signature & seal

**435 W CANTON AVE
472 & 510 W SWOOPE
SITE AREA SUMMARY**

LOT AREA (0.57 Acres) SWOOPE	37,552	S.F.
LOT AREA (0.29 Acres) CANTON	12,512	S.F.
TOTAL LOT AREA COMBINED LOT(S)	50,064	S.F.
MAX IMPERVIOUS SURFACE = 70% LOT AREA	35,044	S.F.
BUILDING FOOTPRINT (SWOOPE)	15,810	S.F.
BUILDING FOOTPRINT (CANTON)	5,828	S.F.
BUILDING FOOTPRINT (TOTAL)	21,638	S.F.
BUILDING FOOTPRINT (ALLOWABLE @ 40%)	20,025	S.F.
WALKS & DRIVES (SWOOPE)	7,591	S.F.
WALKS & DRIVES (CANTON)	1,851	S.F.
WALKS & DRIVES (TOTAL)	9,442	S.F.
TOTAL IMPERVIOUS AREA	31,080	S.F.
TOTAL PERVIOUS AREA	18,984	S.F.

FAR SUMMARY

City of Winter Park			
LOT AREA	50,064	S.F.	
MAX FAR = 110% of Site Area	55,070	S.F.	
FAR/UNIT @ 3364 (10 UNITS) SWOOPE	33,640	S.F.	
FAR/UNIT @ 2950(4UNITS) CANTON	11,800	S.F.	
COVERED PORCH (0 S.F. actual less 500 s.f. excluded)			
COVERED ENTRY (0 S.F. actual less 400 s.f. excluded)			
TOTAL FAR AREA	45,444	S.F.	



SITE SUMMARY

City of Winter Park

DATE	MARK	REMARK	BY

NASRALLAH
Architectural Group Inc
3920 Edgewater Drive, Suite 101
Orlando, FL 32804
Ph: 407-647-0938 Fax: 407-647-2499
email: Mark@nasrallah.com
AA26001471

Project Description
Gelcorp Industries - Canton-Swoope Ave. Duplexes
Canton/Swoope Duplexes
Winter Park, Florida

DATE	DRAWN BY	DATE	SCALE
PROJECT NO	CHK BY	DATE	SCALE
1284			
AS INDICATED			

2019-07-01 City of Winter Park - P&Z Submittal

2019-07-01

SP 1.2
SHEET NO

not valid without original or electronic signature & seal



472 & 510 SWOOPE AVE, WINTER PARK FLORIDA

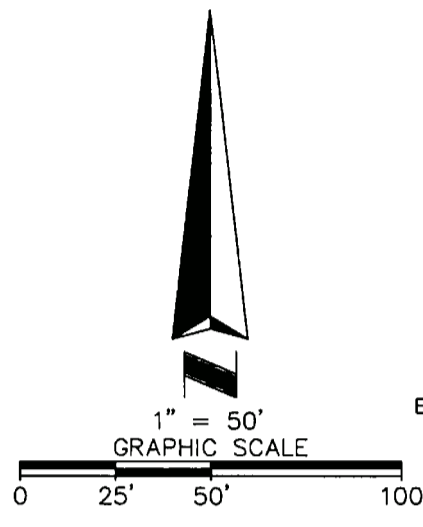
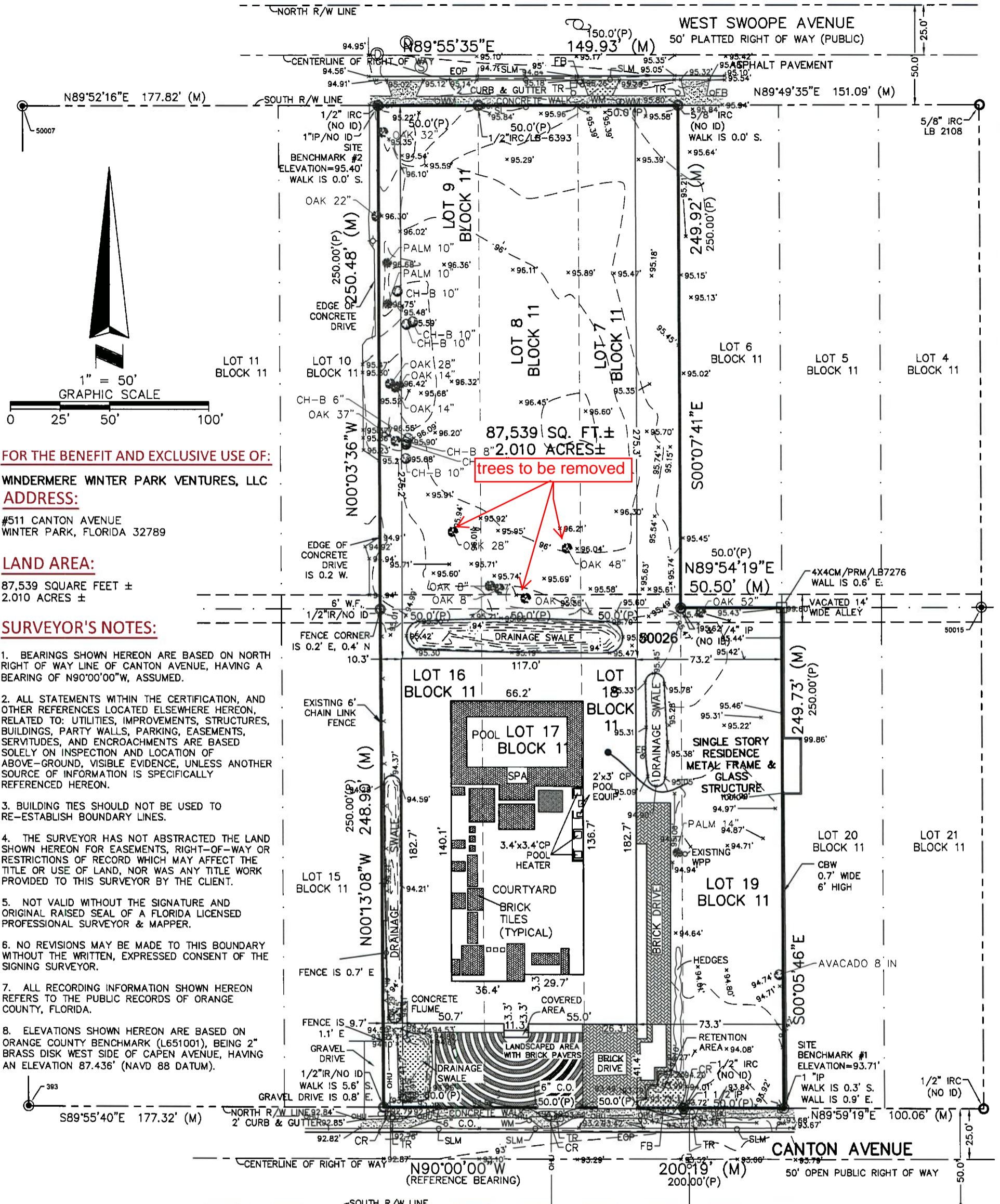


435 W CANTON AVE, WINTER PARK

BOUNDARY SURVEY

DESCRIPTION:

LOTS 7, 8, & 9 OF BLOCK 11 ALONG WITH THE NORTH 1/2 OF A 14-FOOT WIDE VACATED ALLEY TOGETHER WITH LOTS 16, 17, 18, 19 OF BLOCK 11 ALONG WITH THE SOUTH 1/2 OF A 14-FOOT WIDE VACATED ALLEY, REVISED MAP OF THE TOWN OF WINTER PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK A, PAGE 67, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.



FOR THE BENEFIT AND EXCLUSIVE USE OF:
WINDERMERE WINTER PARK VENTURES, LLC
ADDRESS:

#511 CANTON AVENUE
 WINTER PARK, FLORIDA 32789

LAND AREA:
 87,539 SQUARE FEET ±
 2.010 ACRES ±

- SURVEYOR'S NOTES:**
1. BEARINGS SHOWN HEREON ARE BASED ON NORTH RIGHT OF WAY LINE OF CANTON AVENUE, HAVING A BEARING OF N90°00'00"W, ASSUMED.
 2. ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS ARE BASED SOLELY ON INSPECTION AND LOCATION OF ABOVE-GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
 3. BUILDING TIES SHOULD NOT BE USED TO RE-ESTABLISH BOUNDARY LINES.
 4. THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT-OF-WAY OR RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF LAND, NOR WAS ANY TITLE WORK PROVIDED TO THIS SURVEYOR BY THE CLIENT.
 5. NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR & MAPPER.
 6. NO REVISIONS MAY BE MADE TO THIS BOUNDARY WITHOUT THE WRITTEN, EXPRESSED CONSENT OF THE SIGNING SURVEYOR.
 7. ALL RECORDING INFORMATION SHOWN HEREON REFERS TO THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
 8. ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE COUNTY BENCHMARK (L651001), BEING 2" BRASS DISK WEST SIDE OF CAPEN AVENUE, HAVING AN ELEVATION 87.436' (NAVD 88 DATUM).

87,539 SQ. FT. ±
 2.010 ACRES ±
 trees to be removed

FLOOD INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN ZONE "X", AS SHOWN ON THE FLOOD INSURANCE RATE MAP, MAP NO. 12095C0255F, WHICH BEARS AN EFFECTIVE DATE OF 09-28-2009, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. ZONE "X" DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

UNDERGROUND UTILITIES

UNDERGROUND UTILITIES ARE NOT SHOWN. NO SUB-SURFACE EXCAVATION OR EXPLORATION WAS PERFORMED FOR THE PURPOSE OF PREPARING THIS SURVEY. ONLY VISIBLE SURFACE EVIDENCE OF UTILITIES IS SHOWN.

LEGEND:

CBW	CONCRETE BLOCK WALL	EQUIP.	EQUIPMENT	R/W	RIGHT OF WAY
CM	CONCRETE MONUMENT	IP	IRON PIPE	WF	WOOD FENCE
CO	CLEAN-OUT	IR	IRON ROD	WM	WATER METER
CNA	CORNER NOT ACCESSIBLE	IRC	IRON ROD & CAP	WPP	WOOD POWER POLE
CP	CONCRETE PAD	N&D	NAIL AND DISC	F.E.M.A.	FEDERAL EMERGENCY MANAGEMENT AGENCY
CS	CONCRETE SLAB	PRM	PERMANENT REFERENCE MONUMENT	F.I.R.M.	FLOOD INSURANCE RATE MAP
C/W	CONCRETE WALK			ID	IDENTIFICATION
ER	ELECTRIC RISER			L	ARC LENGTH
				LB	LICENSED BUSINESS
				LS	LICENSED SURVEYOR
				(M)	MEASURED
				(P)	PER PLAT
				OHU	OVERHEAD UTILITY
				EOP	EDGE OF PAVEMENT
				CR	CABLE RISER
				FB	FIBER OPTIC BOX
				SLM	SANITARY LATERAL MARKER
				SL	SANITARY LATERAL
				TR	TELEPHONE RISER
				UP	UTILITY POLE
				LP	LIGHT POLE
				S	SIGN
				OHU	OVERHEAD UTILITY LINE



AMERICAN SURVEYING & MAPPING INC.

CERTIFICATION OF AUTHORIZATION NUMBER LB#6393
 3191 MAGUIRE BOULEVARD, SUITE 200
 ORLANDO, FLORIDA 32803
 (407) 426-7979
 WWW.AMERICANSURVEYINGANDMAPPING.COM

I HEREBY CERTIFY THAT THIS SURVEY, SUBJECT TO THE SURVEYOR'S NOTES CONTAINED HEREON, MEETS THE APPLICABLE "STANDARDS OF PRACTICE" AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

JAMES W. BOLEMAN, PSM#6485

FOR THE FIRM

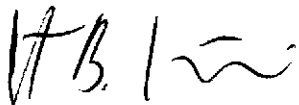
(FIELD DATE:)	12-27-2017	REVISED:	
SCALE:	1" = 50 FEET		
APPROVED BY:	JWB		
DRAWN BY:	GHF/JP		
JOB NO.:	I:\2019\190707_Canton Avenue\SURVEY\170121 BLK 11 SWOOPE & CANTON.dwg		

July 9, 2019

To Whom It May Concern:

As the neighboring property owner, I support the development as submitted to the City of Winter Park on July 1, 2019 by Mark Nasrallah for Mr. Jeff Gelman dba Windermere Winter Park Ventures LLC for the properties located at 435 W Canton and 472 & 510 West Swoope Avenues.

Sincerely yours,

A handwritten signature in black ink, appearing to read "C. B. Heidrich". The signature is fluid and cursive, with a prominent initial "C" and a stylized "B".

Christopher B Heidrich



401 South Park Avenue • Winter Park, Florida 32789

407-599-3324 • planning@cityofwinterpark.org
cityofwinterpark.org

**Planning &
Community
Development**

Planning & Zoning Board Staff Report for September 19, 2019 Meeting

FLU #19-02. Request of Morney Partnership LTD to: Amend the “Comprehensive Plan” Future Land Use map to change from Medium Density Residential to a Central Business District Future Land Use designation on the property at 226 Hannibal Square East.

RZ #19-02. Request of Morney Partnership LTD to: Amend the Official Zoning Map to change from Medium Density Multi-Family Residential (R-3) district zoning to Commercial (C-2) district zoning on the property at 226 Hannibal Square East.

Background

Morney Partnership Ltd. (property owner) is requesting the following for the property at 226 Hannibal Square East:

1. To change the Comprehensive Plan Future Land Use designation of Medium Density Multi-Family Residential to Central Business District; and
2. To change the zoning from Medium Density Multi-Family Residential (R-3) to Commercial (C-2).

Property and Land Use Characteristics

The 226 Hannibal Square East property measures 4,875 square feet in size with 65 feet of frontage on the Hannibal Square East and 75 feet of lot depth. It sits north of the Armando’s restaurant that fronts along New England Avenue, and south of an unimproved parking lot used by Ward Chapel.

The property was rezoned in October of 2000 from Medium Density Residential (R-3) to Parking Lot (PL) in order to permit the construction of the previous parking lot that existed on this property. Then, in June of 2016, the property was rezoned again to the existing R-3 zoning category and received a Conditional Use approval with setback variances for a three story building. It is currently under construction with the approved three-story, approximate 4,000 square foot building. The first floor is comprised of two storage units with an opening in the center for vehicle access to the rear of the property. The combined top two floors are comprised of one residential unit. In the rear of the property are seven (7) paved parking spaces.

During the 2016 rezoning request, the applicant requested Commercial (C-2) zoning versus the approved R-3 zoning. The Commission, at the time, did not feel that C-2 zoning was appropriate for the area since most of the surrounding properties were used as parking lots. They did not want to rezone this 226 Hannibal Square East property until they had more predictability and understanding of how this area was going to transition in the future. Since that time, the applicant has successfully rezoned the properties across the street (217 and 227

Hannibal Square East and 218 S Pennsylvania Avenue) from R-3/C-3 to C-2 and received Conditional Use approvals for a two-story retail/residential project. Now that there is more predictability and understanding of how this area is developing, the applicant is requesting the same C-2 zoning on this property.

In terms of compatibility, this request is consistent with the Comprehensive Plan policy that allows this property to request a Central Business District Future Land Use designation and C-2 zoning. The use of the property is to remain the same, storage on the first floor and residential on the top two floors. Another complication of the previous request was that the first floor was proposed as storage, but with the R-3 zoning designation, the storage was only to be used for the residential units onsite. However, since the surrounding area restaurants do not have enough storage space, the applicant would like to rent out those storage spaces to the surrounding restaurants. With the C-2 zoning, the use of storage for commercial purposes would be permitted, and would allow the back-of-house items that are necessary for restaurants to be stored in an area hidden from the public, cleaning up the area around the back of the restaurants.

Summary

Planning staff is in support of the requested Future Land Use amendment and rezoning because the Comprehensive Plan indicates that these properties are eligible for such designations per the policy below. This request is also consistent and compatible with the surrounding area.

Policy 1-2.4.7: Restriction on the Use of CBD Future Land Use & (C-2) Zoning CBD future land use and C-2 zoning may also be permitted on properties abutting Morse Blvd between Capen and Virginia Avenues, abutting New England Avenue between Pennsylvania and New York Avenues, abutting Pennsylvania Avenue between Garfield and Lyman Avenues, or abutting Hannibal Square, East. Central Business District future land use designations or C-2 zoning shall not be permitted by the City for any property outside these designated areas. Properties within the designated areas are candidates for C-2 which may or may not be granted by the City Commission on a case by case basis.

Staff Recommendation is for approval.

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF WINTER PARK, FLORIDA AMENDING CHAPTER 58, "LAND DEVELOPMENT CODE", ARTICLE I "COMPREHENSIVE PLAN" FUTURE LAND USE MAP SO AS TO CHANGE THE FUTURE LAND USE MAP DESIGNATION OF MEDIUM DENSITY MULTI-FAMILY RESIDENTIAL TO CENTRAL BUSINESS DISTRICT DESIGNATION ON THE PROPERTY AT 226 HANNIBAL SQUARE, EAST, MORE PARTICULARLY DESCRIBED HEREIN, PROVIDING FOR CONFLICTS, SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the owner of the subject property has requested a Comprehensive Plan future land use map amendment and such designation meets the criteria established by Chapter 166, Florida Statutes and pursuant to and in compliance with law to notify the public of this proposed Ordinance and of public hearings to be held; and

WHEREAS, the Planning and Zoning Board of the City of Winter Park has recommended approval of this Ordinance at their September 3, 2019 meeting; and

WHEREAS, the City Commission of the City of Winter Park held a duly noticed public hearing on the proposed future land use change set forth hereunder and considered findings and advice of staff, citizens, and all interested parties submitting written and oral comments and supporting data and analysis, and after complete deliberation, hereby finds the requested change consistent with the City of Winter Park Comprehensive Plan and that sufficient, competent, and substantial evidence supports the Comprehensive Plan future land use change set forth hereunder; and

WHEREAS, the City Commission hereby finds that this Ordinance serves a legitimate government purpose and is in the best interests of the public health, safety, and welfare of the citizens of Winter Park, Florida.

NOW THEREFORE BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, AS FOLLOWS:

SECTION 1. Official Future Land Use Map Amendment. That Chapter 58 "Land Development Code", Article I, "Comprehensive Plan" future land use plan map is hereby amended so as to change the future land use map designation of medium density multi-family residential to central business district on the property at 226 Hannibal Square, East, more particularly described as follows:

LOT 10 & THE N 10 FT OF LOT 11 AND THE VACATED ALLEY BETWEEN SAID LOTS IN BLOCK 41 PER THE REVISED MAP OF THE TOWN OF WINTER PARK, AS RECORDED IN PLAT BOOK "A", Pages 67-72 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

Property Tax ID # 05-22-30-9400-41-100

SECTION 2. Severability. If any Section or portion of a Section of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other Section or part of this Ordinance.

SECTION 3. Conflicts. All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

SECTION 4. Effective Date. This Ordinance shall become effective upon its passage and adoption.

ADOPTED at a regular meeting of the City Commission of the City of Winter Park, Florida, held in City Hall, Winter Park, on this _____ day of _____, 2019.

Mayor

Mayor Steve Leary

Attest:

City Clerk

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 58 "LAND DEVELOPMENT CODE" ARTICLE III, "ZONING" AND THE OFFICIAL ZONING MAP SO AS TO CHANGE MEDIUM DENSITY MULTIPLE FAMILY RESIDENTIAL (R-3) DISTRICT ZONING TO COMMERCIAL (C-2) DISTRICT ZONING ON THE PROPERTY AT 226 HANNIBAL SQUARE, EAST, MORE PARTICULARLY DESCRIBED HEREIN, PROVIDING FOR CONFLICTS, SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the owner of the subject property has requested a Zoning map amendment consistent with the Comprehensive Plan, and such municipal zoning meets the criteria established by Chapter 166, Florida Statutes and pursuant to and in compliance with law to notify the public of this proposed Ordinance and of public hearings to be held; and

WHEREAS, the Planning and Zoning Board of the City of Winter Park has recommended approval of this Ordinance at their September 3, 2019 meeting; and

WHEREAS, the City Commission of the City of Winter Park held a duly noticed public hearing on the proposed zoning change set forth hereunder and considered findings and advice of staff, citizens, and all interested parties submitting written and oral comments and supporting data and analysis, and after complete deliberation, hereby finds the requested change consistent with the City of Winter Park Comprehensive Plan and that sufficient, competent, and substantial evidence supports the zoning change set forth hereunder; and

WHEREAS, the City Commission hereby finds that this Ordinance serves a legitimate government purpose and is in the best interests of the public health, safety, and welfare of the citizens of Winter Park, Florida.

NOW THEREFORE BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, AS FOLLOWS:

SECTION 1. Official Zoning Map Amendment. That Chapter 58 "Land Development Code", Article III, "Zoning" and the Official Zoning Map is hereby amended so as to change the zoning designation of Medium Density Multiple Family Residential (R-3) District to Commercial (C-2) District zoning on the property at 226 Hannibal Square, East, more particularly described as follows:

LOT 10 & THE N 10 FT OF LOT 11 AND THE VACATED ALLEY BETWEEN SAID LOTS IN BLOCK 41 PER THE REVISED MAP OF THE TOWN OF WINTER PARK, AS RECORDED IN PLAT BOOK "A", Pages 67-72 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

Property Tax ID # 05-22-30-9400-41-100

SECTION 2. Severability. If any Section or portion of a Section of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other Section or part of this Ordinance.

SECTION 3. Conflicts. All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

SECTION 4. Effective Date. This Ordinance shall become effective upon its passage and adoption.

ADOPTED at a regular meeting of the City Commission of the City of Winter Park, Florida, held in City Hall, Winter Park, on this _____ day of _____, 2019.

Mayor Steve Leary

Attest:

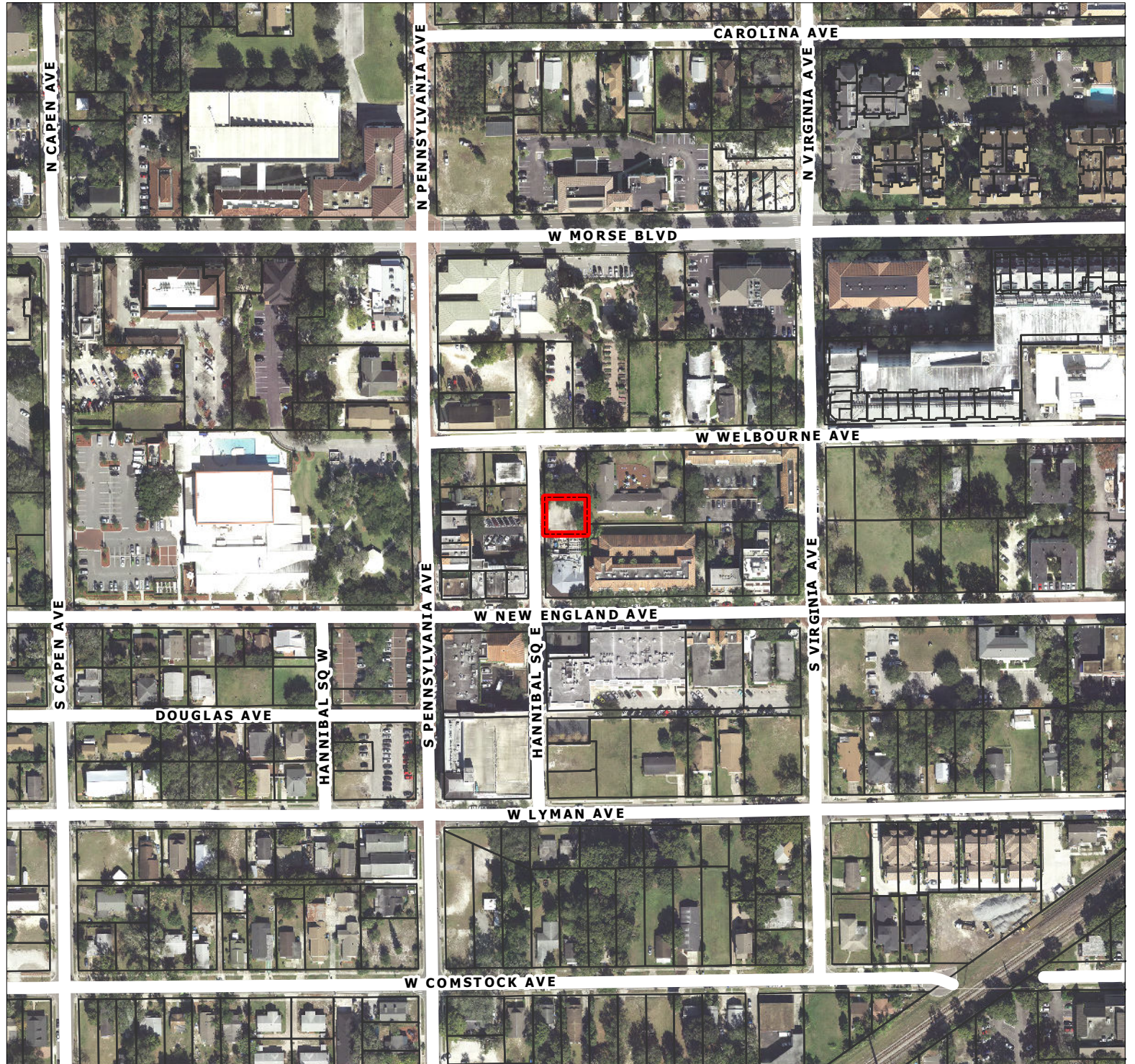
City Clerk



LOCATION MAP

226 Hannibal Square East

City of Winter Park
Florida





LOCATION MAP

226 Hannibal Square East

City of Winter Park
Florida





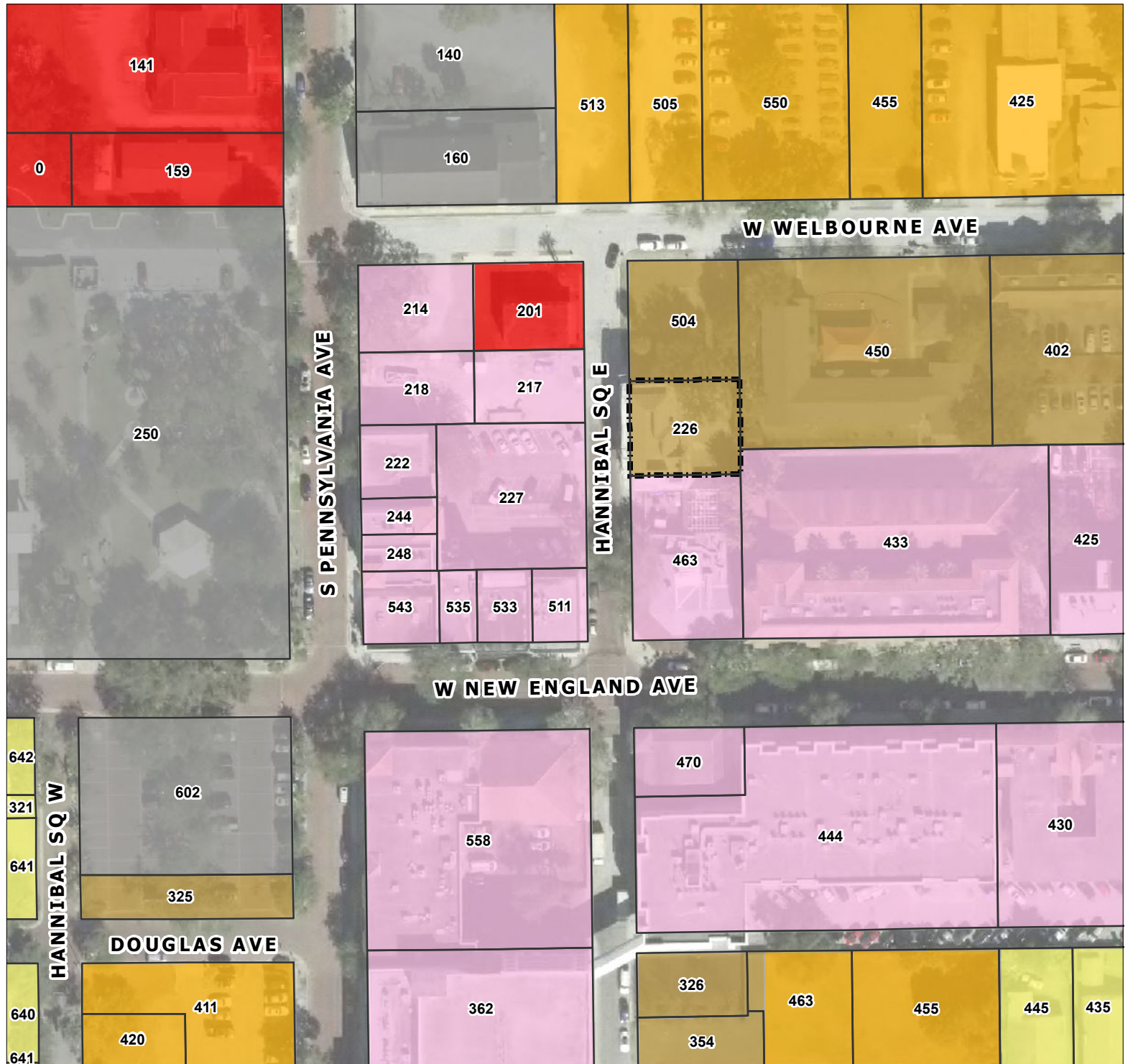
FUTURE LAND USE

226 Hannibal Square East

City of Winter Park
Florida

LEGEND

- Central Business District
- Commercial
- Institutional
- Medium Density Residential
- Low Density Residential
- Single Family Residential





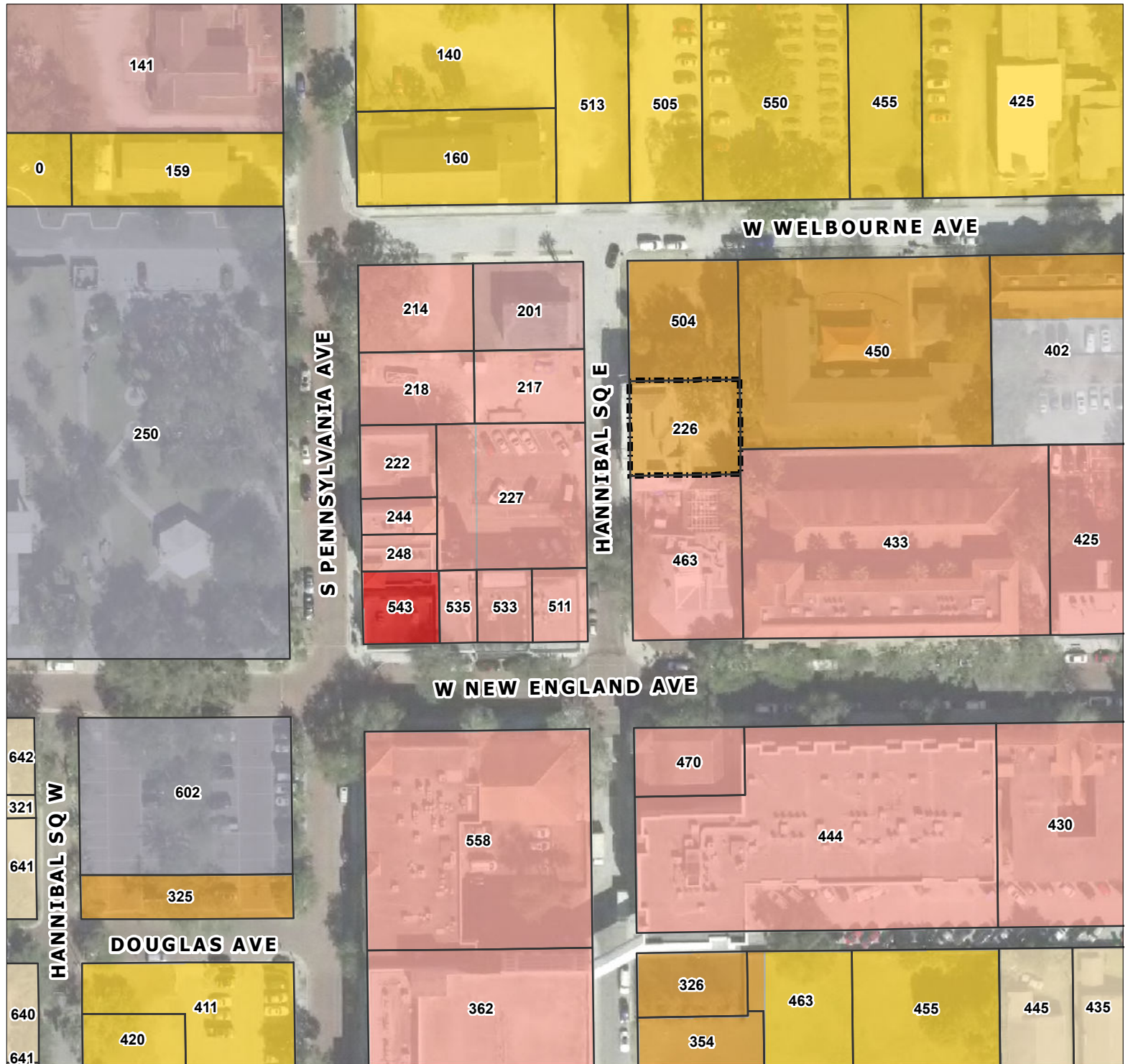
ZONING MAP

226 Hannibal Square East

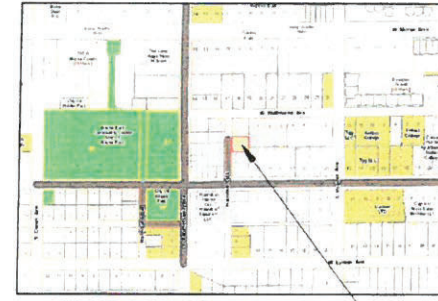
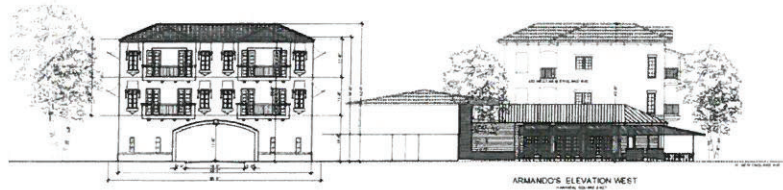
City of Winter Park
Florida

LEGEND

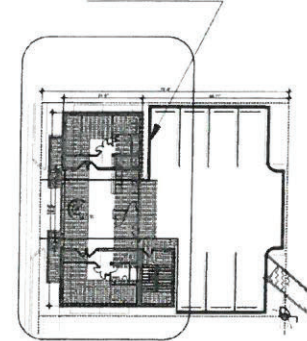
- C-2
- C-3
- C-3A
- PL
- PQP
- R-1A
- R-2
- R-3



MORNEY PARTNERSHIP, LTD.
226 HANNIBAL SQUARE EAST
 WINTER PARK, FL 32789



PROPERTY DESCRIPTION
 TOWN OF WINTER PARK A/67 & B/86 & MISC BOOK 3/220
 LOT 10 & THE N 10 FT OF LOT 11 BLK 41 & THE VACATED
 ALLEY BETWEEN SAID LOTS PER 3466/554
 226 HANNIBAL SQ E < 05-22-30-9400-41-100 >
 AREA OF WORK



1 AREA OF WORK - PLAN SCALE: 1/16" = 1'-0"

226 HANNIBAL SQUARE EAST
 WINTER PARK, FL 32789

SYDGAN CORP.
 PO BOX 350
 WINTER PARK, FL 32790
 407-644-3151

MARGARET H. O'ROURKE DESIGN, INC.
 PO BOX 2071 WINTER PARK, FLORIDA 32790
 T/ 407.740.5585 MO@MODinc.US

DWG NO	SCALE	DATE	NO	REVISIONS
CS		5-4-16		

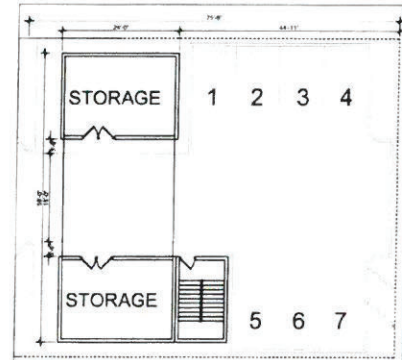
BUILDING AREA - SINGLE FAMILY

3 STORY BUILDING	
storage	MAIN STAIR
LEVEL 2	840 187
LEVEL 3	1307 187
	1307 187
TOTAL SQ FT	4015

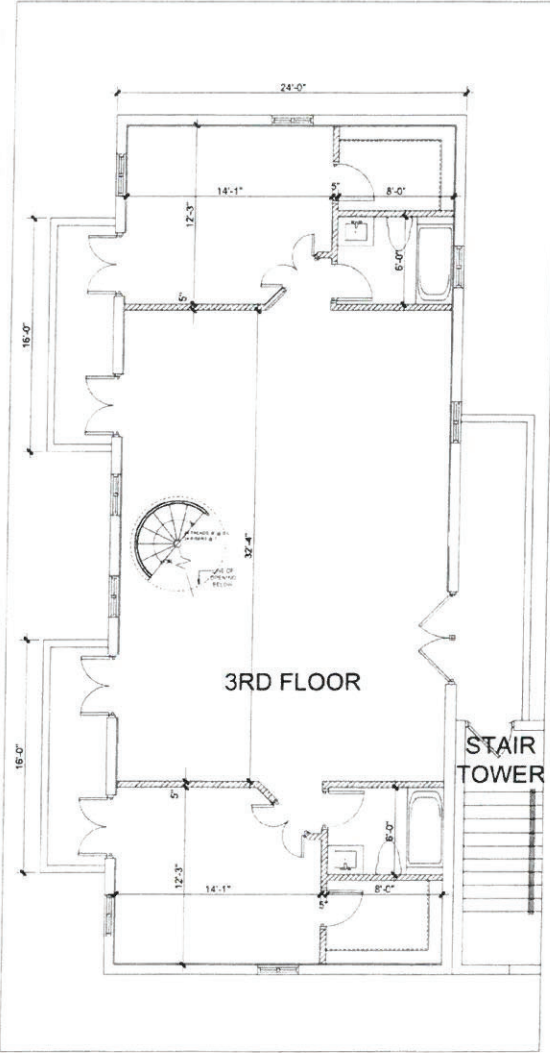
SETBACKS	
	PROPOSED
FRONT	81"
SIDE NORTH	36"
SIDE SOUTH	36"
REAR NORTH	44'11"
REAR SOUTH	34'3"

HEIGHT	42'
--------	-----

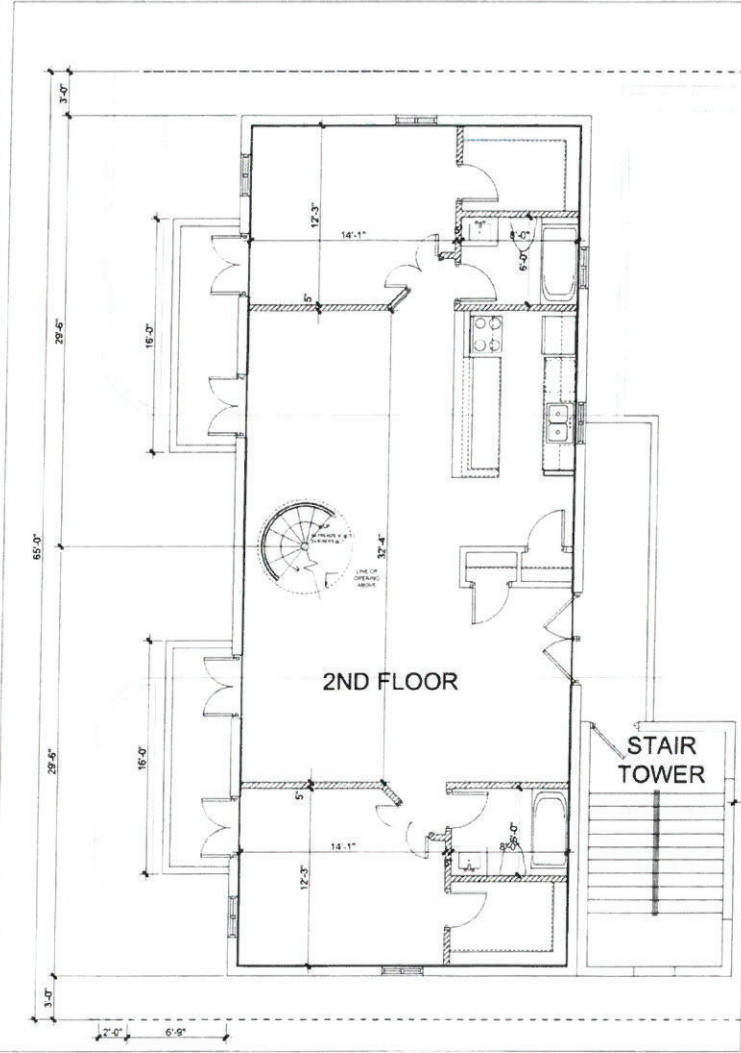
4 BDRW 4 BA	1
PARKING REQUIRED	2
PARKING SHOWN	7



SITE PLAN /PARKING
N.T.S.



3RD FLOOR
SCALE 1/8" = 1'-0"



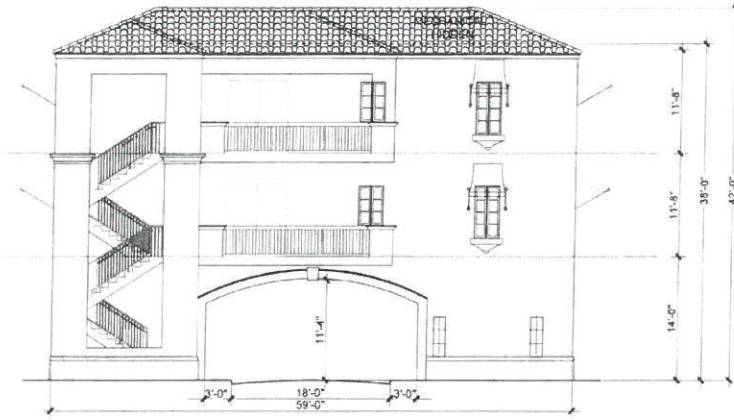
2ND FLOOR
SCALE 1/8" = 1'-0"

MORNEY PARTNERSHIP, LTD.
226 HANNIBAL SQUARE EAST
WINTER PARK, FL 32789

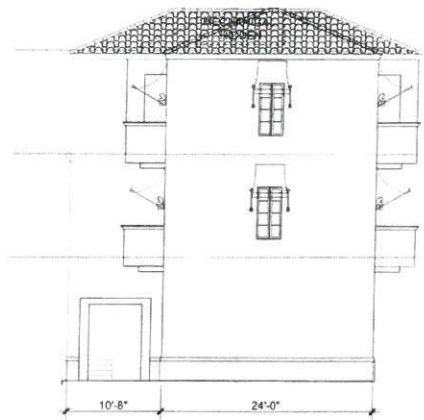
CONTRACTOR/
DEVELOPER
SYDGAN CORP.
P.O. BOX 350
WINTER PARK, FL
32790

MARGARET H. O'ROURKE DESIGNS, INC.
PO BOX 2071 WINTER PARK, FLORIDA 32780
MargO'Rourke@aol.com TEL: 407.740.5585

SCALE AS NOTED
DATE 5-4-18
DWG NO 1
SITE PLAN



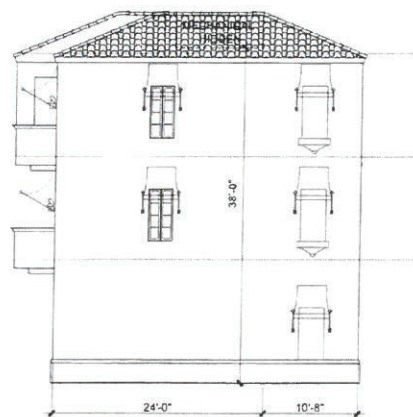
REAR ELEVATION EAST



SIDE ELEVATION NORTH



FRONT ELEVATION WEST



SIDE ELEVATION SOUTH

226 HANNIBAL SQUARE EAST

ELEVATIONS
N.T.S.

MORNEY PARTNERSHIP, LTD.
226 HANNIBAL SQUARE EAST
WINTER PARK, FL 32789

PREPARED BY: MARGARET H. O'ROURKE
DESIGNED BY: MARGARET H. O'ROURKE
CONTRACTOR/DEVELOPER:
SYTKAN CORP.
P.O. BOX 350
WINTER PARK, FL
32790

MARGARET H. O'ROURKE DESIGNS, INC.
PO BOX 2071 WINTER PARK, FLORIDA 32790
MargO'Rourke@aol.com TEL: 407.740.5585

SCALE: AS NOTED
DATE: 3-4-16
DWG. NO. 2

ELEVATIONS



401 South Park Avenue • Winter Park, Florida 32789

407-599-3324 • planning@cityofwinterpark.org
cityofwinterpark.org

**Planning &
Community
Development**

Planning & Zoning Board Staff Report for September 19, 2019 Meeting

FLU #19-01. Request of Sydgan Corporation for: An Ordinance amending Chapter 58 “Land Development Code” Article I, “Comprehensive plan” and the Future Land Use Map so as to change the Commercial Future Land Use designation to an Orange County Planned Development Future Land Use designation on the property located at 1501 Lee Road.

RZ #19-03. Request of Sydgan Corporation for: An Ordinance amending Chapter 58 “Land Development Code” Article III, “Zoning” and the official Zoning Map so as to change Commercial (C-3) district zoning to Orange County Planned Development (OC PD) district zoning on the property located at 1501 Lee Road.

Background

This public hearing is to re-designate 1501 Lee Road, which was recently purchased by the master developer of the Ravaudage Planned Development, from Commercial (C-3) zoning and Commercial Future Land Use to Orange County Planned Development (OC PD) zoning and Future Land Use. The Comprehensive Plan provides via Policy 1-M-6 (below) that when out-parcels are added to the Ravaudage development, they may be granted the same Future Land Use and zoning designations as the entire project.

Policy 1-M-6: Future Enclave & Out-Parcel Additions to the Ravaudage Planned Development. Any future acquisitions and additions to the Ravaudage PD of enclave or out-parcel properties may, at the discretion of the City, be added to the Ravaudage PD and regulated by the Orange County PD Code and the Development Order terms and conditions pertaining to the Ravaudage PD.

The City does not have a Planned Development Future Land Use designation or Planned Development (PD) zoning that approximates the Orange County PD designations. In the Ravaudage Annexation Agreement and the Comprehensive Plan, the use of the Orange County land use designations is provided for.

This property at 1501 Lee Road is a single lot that measures 51 feet along Lee Road and is 122.43 feet deep, and measures 6,244 square feet in size. This will add some commercial and residential entitlements to the Ravaudage PD. The residential entitlements (two additional units) would be the same as now permitted by the C-3 zoning in a mixed use project.

In accordance with the Comprehensive Plan, these two ordinances would change the Commercial Future Land Use designation and corresponding C-3 zoning to Orange County Planned Development Future Land Use and the corresponding Orange County Planned Development (OC PD) zoning.

Staff Recommendation is for approval.

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 58 "LAND DEVELOPMENT CODE" ARTICLE I, "COMPREHENSIVE PLAN" AND THE FUTURE LAND USE MAP SO AS TO CHANGE THE COMMERCIAL FUTURE LAND USE DESIGNATION TO AN ORANGE COUNTY PLANNED DEVELOPMENT FUTURE LAND USE DESIGNATION ON THE PROPERTY LOCATED AT 1501 LEE ROAD, MORE PARTICULARLY DESCRIBED HEREIN, PROVIDING FOR SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

WHEREAS, the owner of the subject property has requested a Comprehensive Plan future land use map amendment and such designation meets the criteria established by Chapter 166, Florida Statutes and pursuant to and in compliance with law to notify the public of this proposed Ordinance and of public hearings to be held; and

WHEREAS, the Planning and Zoning Board of the City of Winter Park has recommended approval of this Ordinance at their September 3, 2019 meeting; and

WHEREAS, the City Commission of the City of Winter Park held a duly noticed public hearing on the proposed future land use change set forth hereunder and considered findings and advice of staff, citizens, and all interested parties submitting written and oral comments and supporting data and analysis, and after complete deliberation, hereby finds the requested change consistent with the City of Winter Park Comprehensive Plan and that sufficient, competent, and substantial evidence supports the Comprehensive Plan future land use change set forth hereunder; and

WHEREAS, the City Commission hereby finds that this Ordinance serves a legitimate government purpose and is in the best interests of the public health, safety, and welfare of the citizens of Winter Park, Florida.

NOW THEREFORE BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, AS FOLLOWS:

SECTION 1. Official Future Land Use Map Amendment. That Chapter 58 "Land Development Code", Article I, "Comprehensive Plan" and the Future Land Use Map is hereby amended so as to change the Future Land Use designation of Commercial to Orange County Planned Development on the property at 1501 Lee Road, and the Property shall become a part of and subject to the existing Ravaudage Planned Development (PD), more particularly described as follows:

LOT 5 IN BLOCK "D" IN THE HOME ACRES SUBDIVISION AS RECORDED IN PLAT BOOK "M", PAGE 97 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND AS IDENTIFIED BY PROPERTY TAX ID#01-22-29-3712-04-050

SECTION 2. Severability. If any Section or portion of a Section of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other Section or part of this Ordinance.

SECTION 3. Conflicts. All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

SECTION 4. Effective Date. This Ordinance shall become effective upon its passage and adoption.

ADOPTED at a regular meeting of the City Commission of the City of Winter Park, Florida, held in City Hall, Winter Park, on this _____ day of _____, 2019.

Mayor Steve Leary

Attest:

City Clerk

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 58 "LAND DEVELOPMENT CODE" ARTICLE III, "ZONING" AND THE OFFICIAL ZONING MAP SO AS TO CHANGE COMMERCIAL (C-3) DISTRICT ZONING TO ORANGE COUNTY PLANNED DEVELOPMENT (OC PD) DISTRICT ZONING ON THE PROPERTY LOCATED AT 1501 LEE ROAD, MORE PARTICULARLY DESCRIBED HEREIN, PROVIDING FOR SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.

WHEREAS, the owner of the subject property has requested a Zoning map amendment consistent with the Comprehensive Plan, and such municipal zoning meets the criteria established by Chapter 166, Florida Statutes and pursuant to and in compliance with law to notify the public of this proposed Ordinance and of public hearings to be held; and

WHEREAS, the Planning and Zoning Board of the City of Winter Park has recommended approval of this Ordinance at their September 3, 2019 meeting; and

WHEREAS, the City Commission of the City of Winter Park held a duly noticed public hearing on the proposed zoning change set forth hereunder and considered findings and advice of staff, citizens, and all interested parties submitting written and oral comments and supporting data and analysis, and after complete deliberation, hereby finds the requested change consistent with the City of Winter Park Comprehensive Plan and that sufficient, competent, and substantial evidence supports the zoning change set forth hereunder; and

WHEREAS, the City Commission hereby finds that this Ordinance serves a legitimate government purpose and is in the best interests of the public health, safety, and welfare of the citizens of Winter Park, Florida.

NOW THEREFORE BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, AS FOLLOWS:

SECTION 1. Official Zoning Map Amendment. That Chapter 58 "Land Development Code", Article III, "Zoning" and the Official Zoning Map is hereby amended so as to change the zoning designation of Commercial (C-3) District to Orange County Planned Development (OC PD) district on the property at 1501 Lee Road, and the Property shall become a part of and subject to the existing Ravaudage Planned Development (PD), more particularly described as follows:

LOT 5 IN BLOCK "D" IN THE HOME ACRES SUBDIVISION AS RECORDED IN PLAT BOOK "M", PAGE 97 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND AS IDENTIFIED BY PROPERTY TAX ID#01-22-29-3712-04-050

SECTION 2. Severability. If any Section or portion of a Section of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other Section or part of this Ordinance.

SECTION 3. Conflicts. All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

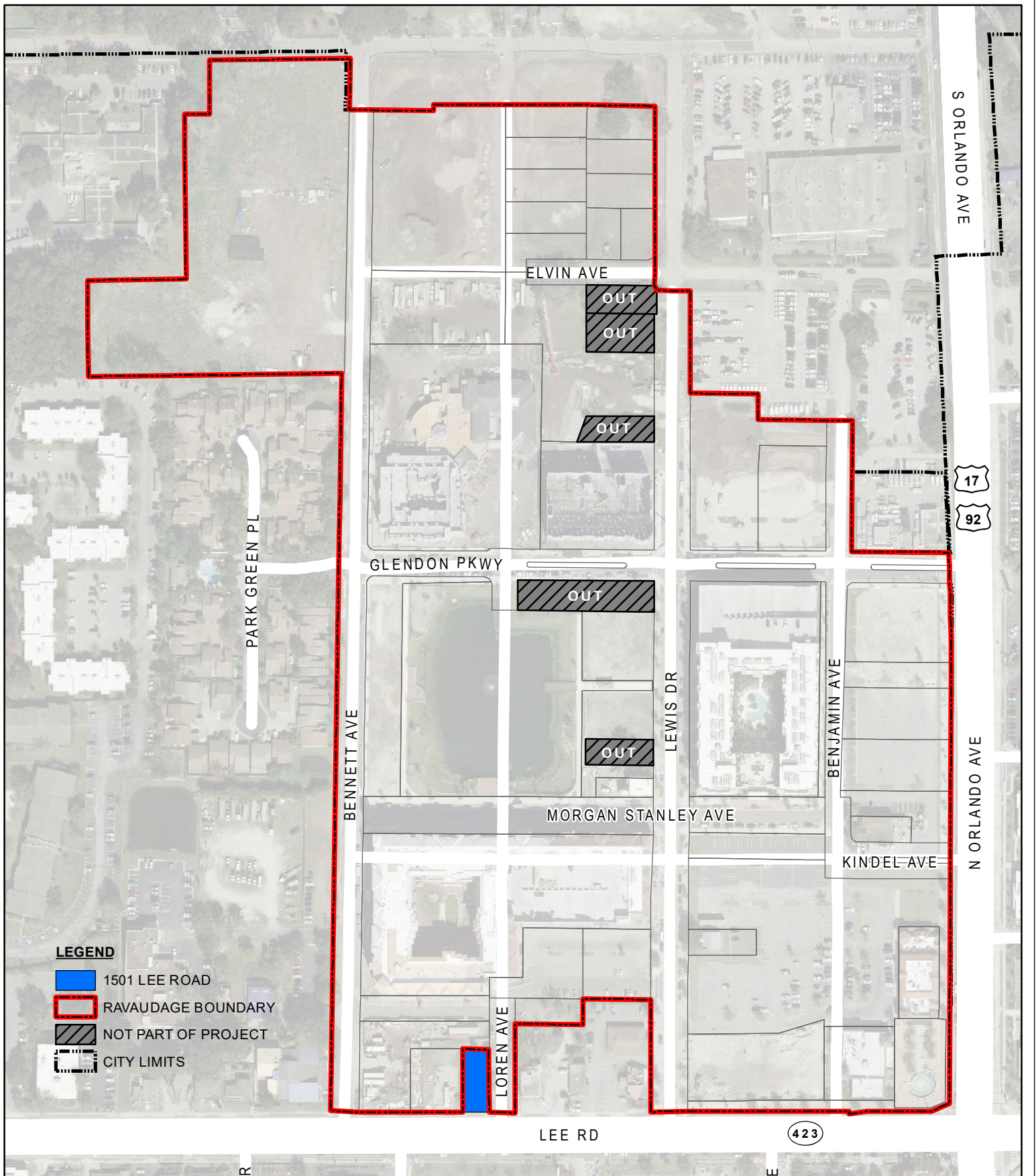
SECTION 4. Effective Date. This Ordinance shall become effective upon its passage and adoption.

ADOPTED at a regular meeting of the City Commission of the City of Winter Park, Florida, held in City Hall, Winter Park, on this _____ day of _____, 2019.

Mayor Steve Leary

Attest:

City Clerk

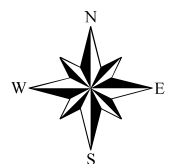


LEGEND

- 1501 LEE ROAD
- RAVAUDAGE BOUNDARY
- NOT PART OF PROJECT
- CITY LIMITS



PROPERTY LOCATION MAP
1501 LEE ROAD
 WINTER PARK, FLORIDA





PROPERTY LOCATION

1501 LEE ROAD

City of Winter Park
Florida






FUTURE LAND USE

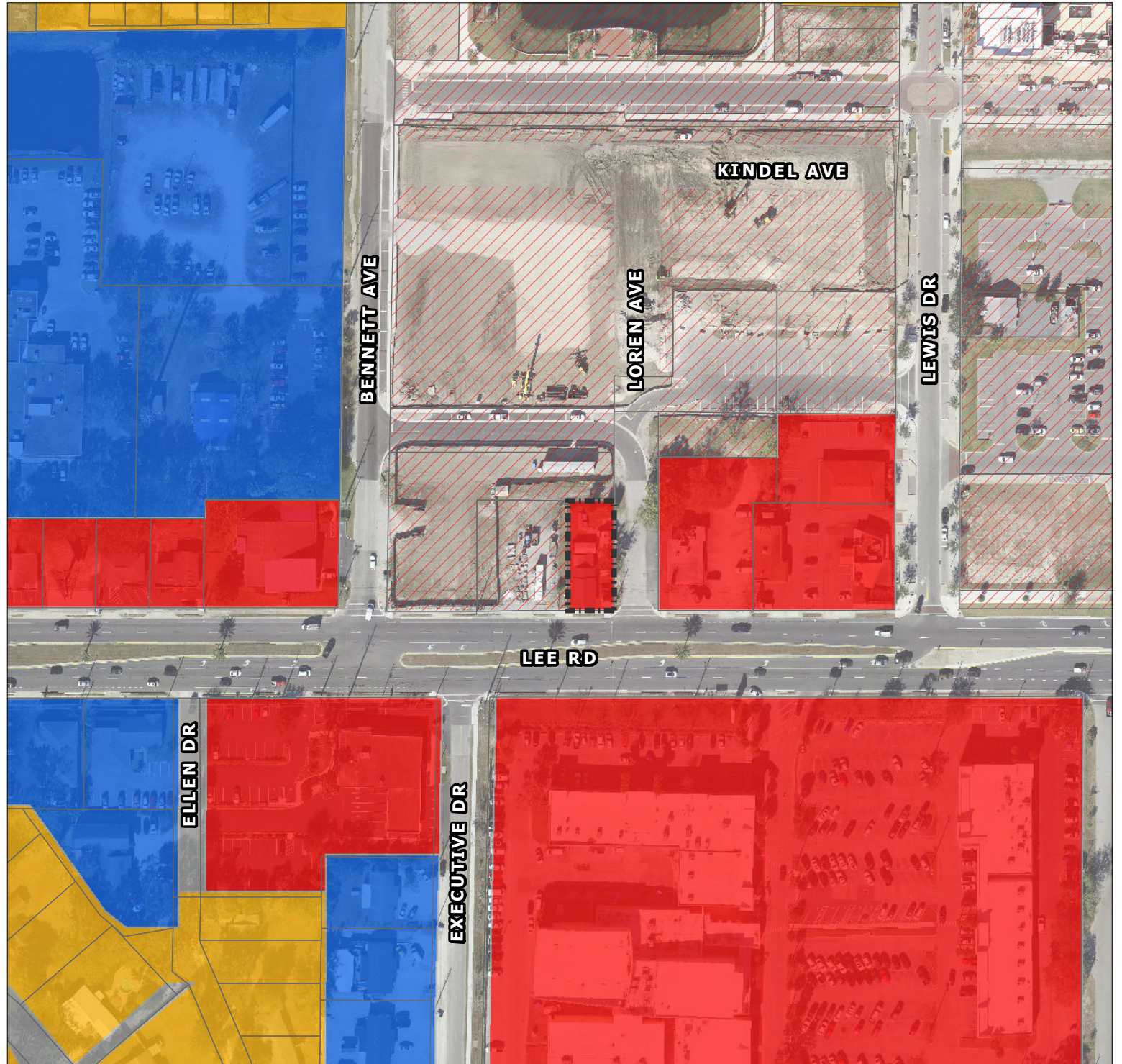
City of Winter Park
Florida

LEGEND

 1501 Lee Road

Future Land Use Designation

-  Orange County PD
-  Commercial
-  Office Professional
-  Institutional
-  Medium Density Residential
-  Low Density Residential

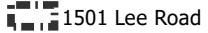




EXISTING ZONING

City of Winter Park
Florida

LEGEND



1501 Lee Road

Zoning Designation

-  C-1
-  C-3
-  OC PD
-  O-1
-  O-2
-  PQP
-  PURD
-  R-2
-  R-3

