

401 South Park Avenue • Winter Park, Florida 32789

407-599-3324 • planning@cityofwinterpark.org cityofwinterpark.org

Planning & Zoning Board Staff Report for July 9, 2019 Meeting

SPR#19-08 REQUEST OF SHANE AND MICHELLE MCGUINNESS FOR: APPROVAL TO CONSTRUCT A ONE-STORY, 1,209 SQUARE FOOT ADDITION AND NEW POOL/DECK TO THE SINGLE-FAMILY HOME LOCATED AT 2040 VENETIAN WAY ON LAKE MAITLAND, ZONED R-1AAA.

Background: Shane and Michelle McGuinness are requesting approval to construct a onestory, 1,209 square foot addition and new pool/deck to the single-family home located at 2040 Venetian Way on Lake Maitland, zoned R-1AAA. This property measures 41,136 square feet. Below is a table summarizing this request in comparison to the R-1AAA zoning/lakefront lot requirements. Items in bold indicate a variance request as part of this site plan review.

Table 1:

	R-1AAA/Lakefront Lot Requirements	Proposed
Floor Area Ratio	Max 33%	11,566 square feet/28%
Impervious Lot Coverage	Max 50%	15,438 square feet/37.5%
Lakefront Setback	100 feet	55 feet

Note: Items in bold indicate a variance request.

Tree Preservation: The purpose and intent of the lakefront lots section of the code states that existing trees shall be preserved to the degree reasonably possible, and the appearance of the property and the shore when viewed from the water will be kept as natural as reasonably possible. There are several cypress trees near the lake on this large lot, which the applicant is preserving, but is proposing to remove two cypress trees near the proposed addition. One is located directly in front of the addition and is to be removed due its location relative to the proposed construction, and the other is located near the western lot line and is to be removed due to its poor condition. The applicant will be required to obtain a tree removal permit for the trees to be removed which include trees replacement, financial compensation or a combination of tree replacement and financial compensation.

View From The Lake: The code limits walls and swimming pool decks facing the lake in excess of three feet in height. Since this lot is relatively flat, there are no grade-drop issues throughout the length of this lot and the applicant is proposing a pool/deck that meets this code requirement.

View of Neighbors: The purpose and intent of the lakefront lots section of the code is to ensure that the views of the lake from adjoining properties will not be unduly impaired by new houses, additions, second story additions, etc. In order to achieve this, the code states

that the lakefront setback shall be the average established by the adjacent lakefront properties within 200 feet of the subject property, or 50 feet, whichever is greater. However, the P&Z Board does have the authority to approve setbacks less than the average determined, or impose more restrictive setbacks. The applicant is proposing this addition to be located in the western side of the lot at a setback of approximately 55 feet from the lake. The average lakefront setback is 100 feet from the lake. Therefore, the applicant is proposing the addition to be located closer to the lake than the average of the adjacent homes. Based on this, there is the concern that this addition would impact the western adjoining property's lake view. However, the applicant has provided a letter (attached) signed by this neighbor stating that they do not have any objections to the plans proposed by the applicant.

Stormwater Retention: The code requires retention of stormwater so that stormwater flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. The amount of impervious surface on the lot determines the depth/size of the retention needed. The applicant is proposing a stormwater swale that is sized to meet the city's code requirements.

Summary: The applicant is proposing an addition that is compatible with the natural grade of the property, is ensuring that water pollution from stormwater runoff and other sources will be minimized, and is preserving existing trees to the degree reasonably possible so that the appearance of the property and the shore when viewed from the water will be kept as natural as reasonably possible. Staff originally had concerns that the views of the lake from the western adjoining property would be impaired since the addition extends into the average lakefront setback. However, with the letter of support (attached) from the western adjoining property, the plans meet the intent of the lakefront review criteria defined in the code.

STAFF RECOMMENDATION IS FOR APPROVAL



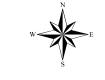
LOCATION MAP 2040 Venetian Way

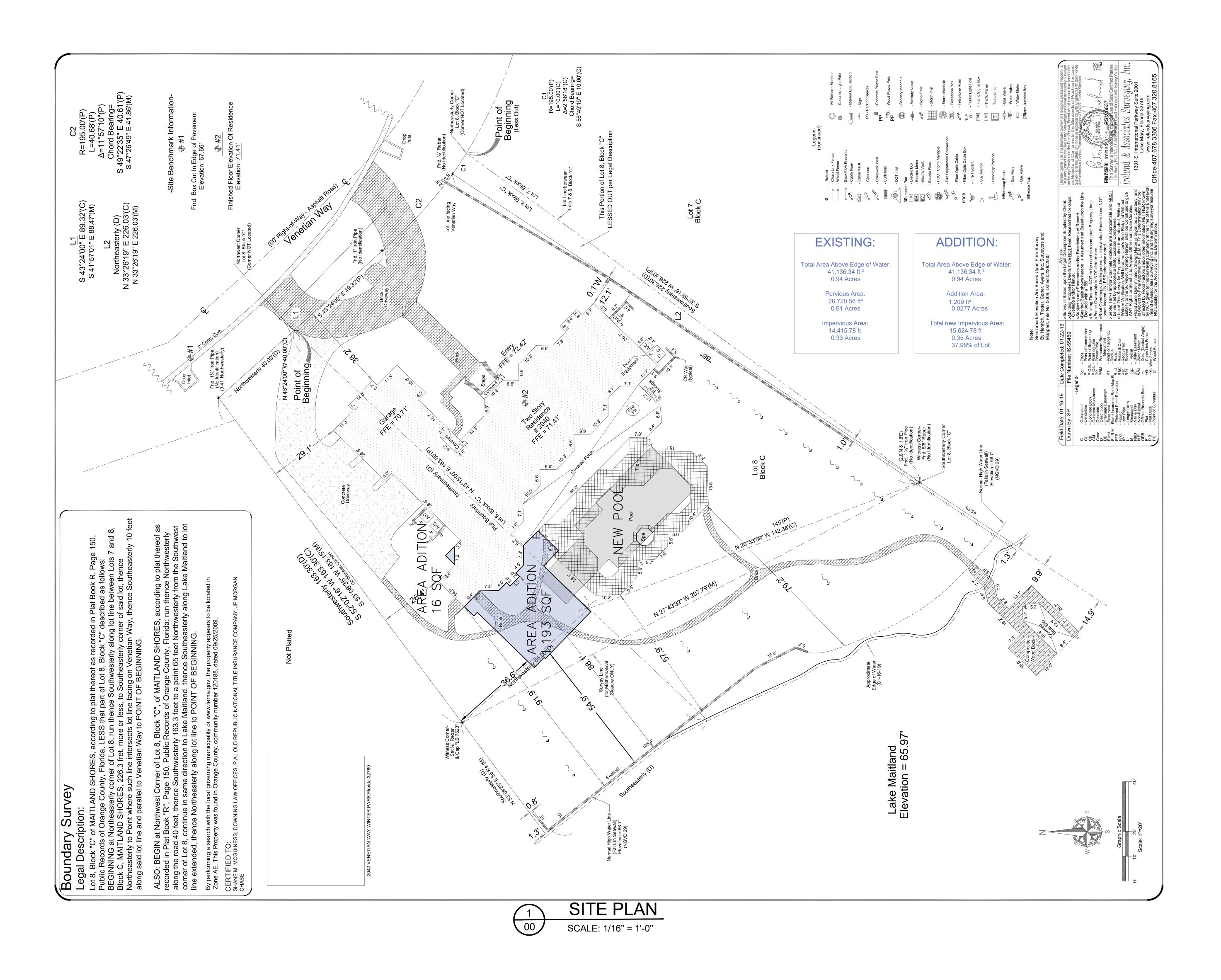


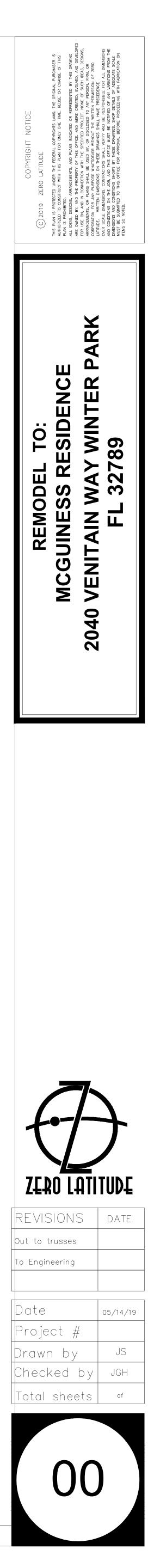


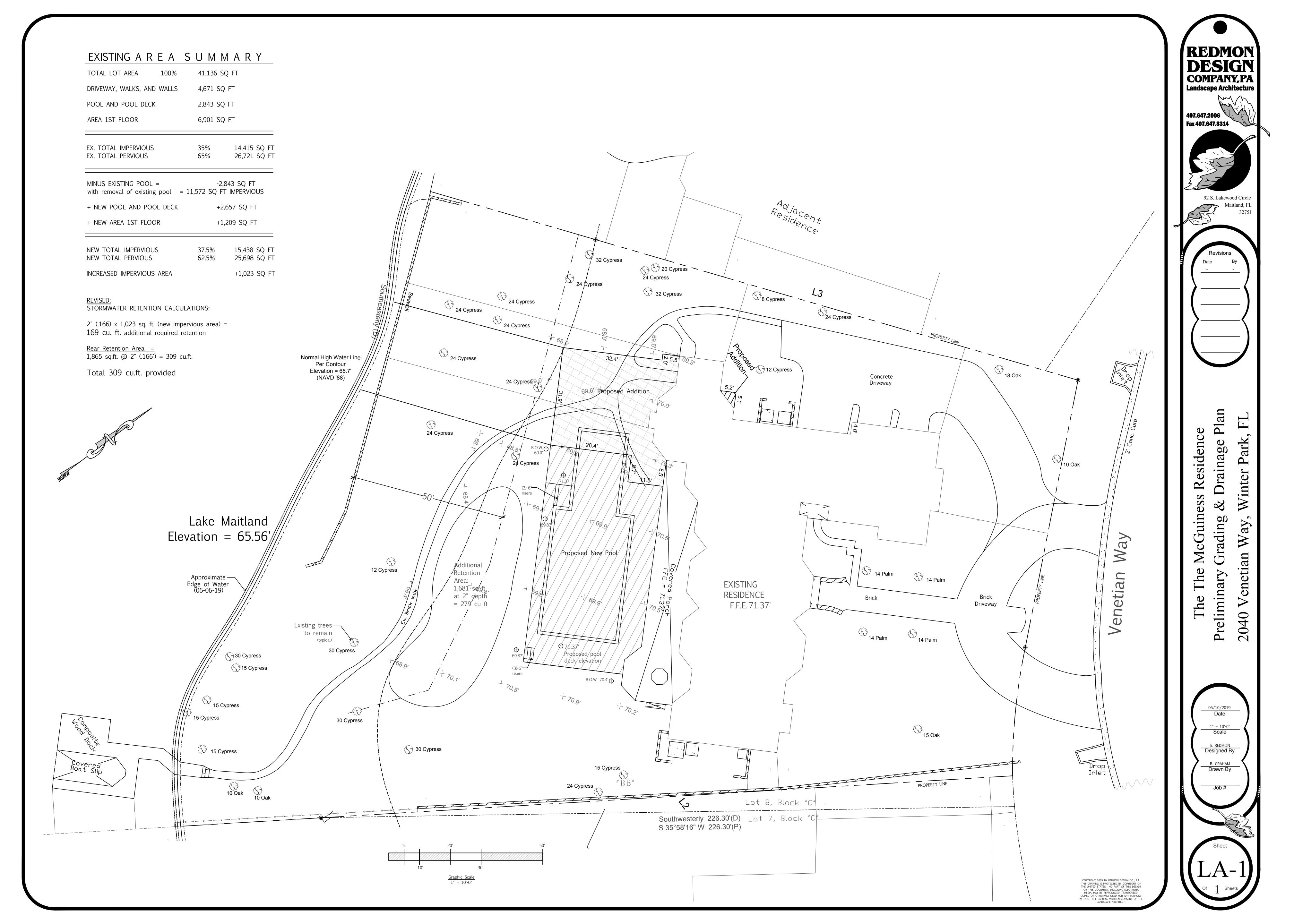
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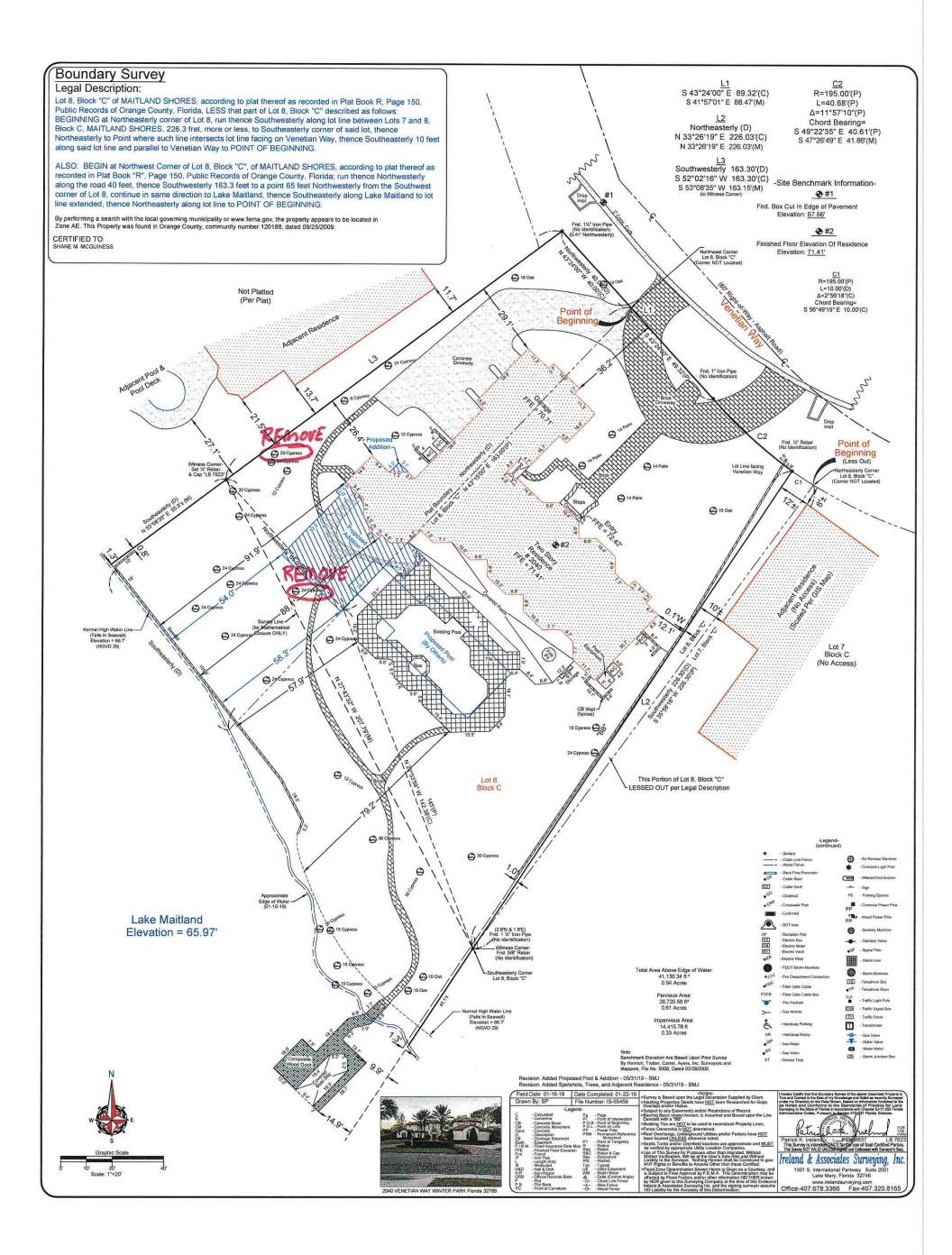


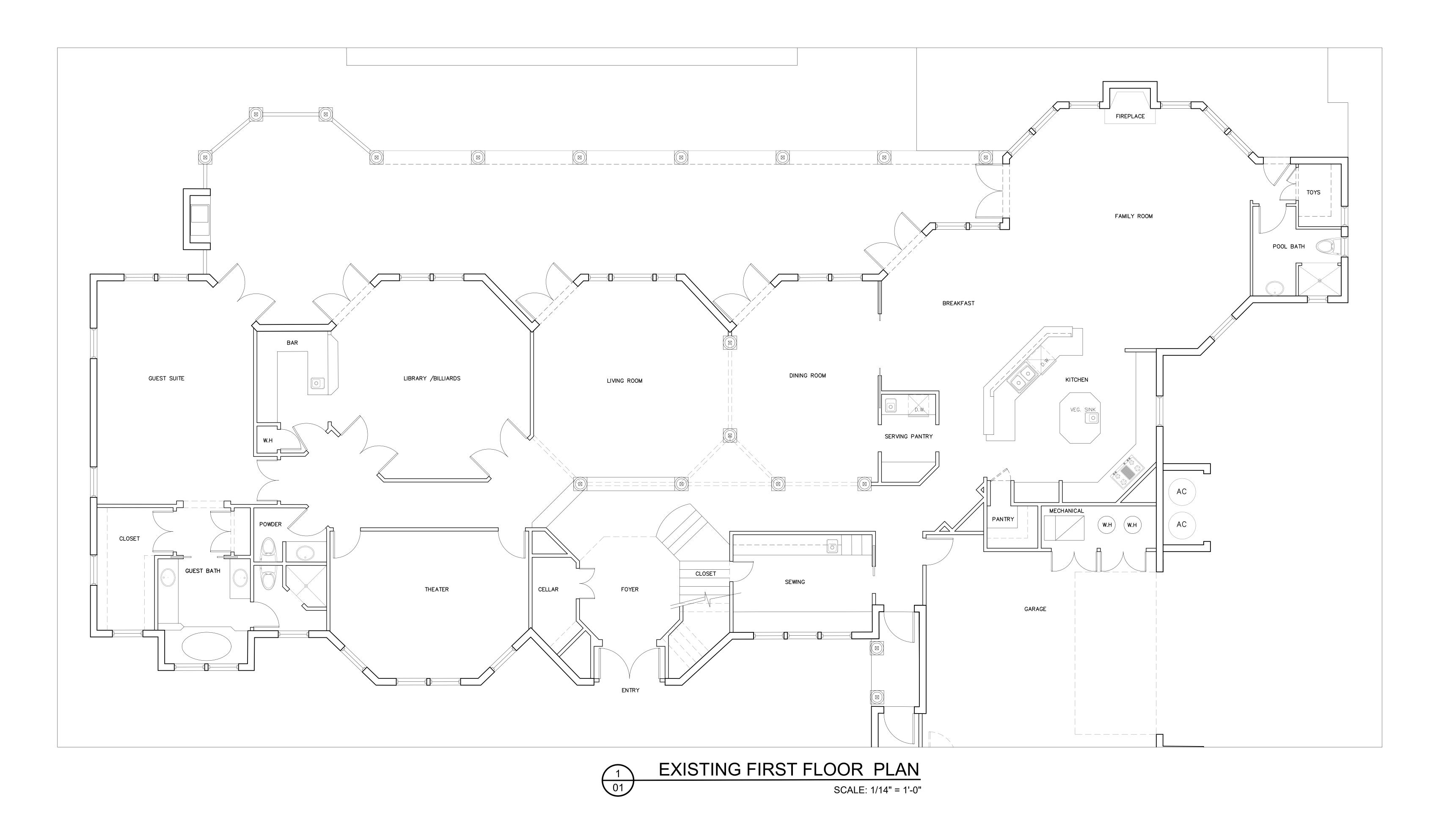












IMPORTANT REMODEL PLAN NOTES:

- 1. REFER TO ALL PLANS BEFORE, REMOVING, STARTING DEMOLITION, OR ALTERING ANY STRUCTURAL ELEMENTS OF HOME
- 2. DOUBLE CHECK PROPER STRUCTURAL REMOVAL BEFORE PROCEEDING
- 3. DURING CONSTRUCTION, ALL PLANS SHOULD BE USED FOR VERIFICATION EXISTING, DEMO PLAN, REMODEL PLAN
- 4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO ANY START OF CONSTRUCTION.
- 5. DIMENSIONS ARE A COMBINATION OF FIELD MEASURMENTS & MEASURMENTS OFF OLD PLANS, THEREFOR THEY ARE APPROXIMATE AND SHOULD BE VERIFIED BY ALL TRADES INVOLVED PRIOR TO DEMOLITION & NEW CONST.

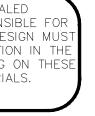
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WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS ON THESE PLANS. EAGLE DESIGN MUST BE NOTIFIED IN WRITING FOR RESOLUTION OF ANY VARIATION IN T DIMENSIONS, CONDITIONS, AND SPECIFICATIONS APPEARING ON THES PLANS PRIOR TO CONSTRUCTION OR ORDERING OF MATERIALS.

GENERAL NOTES:

1. STRUCTURAL ENGINEER TO INDICATE ALL BEARING WALLS, ROOF RAFTER TIE DOWNS, FOUNDATIONS, CONTINUAL SUPPORT FROM FOUNDATION TO LOAD POINTS ALL FLOORS AND ROOF STRUCTURE AND STEEL BEAMS. STRUCTURAL ENGINEERS DRAWINGS ARE TO TAKE PRECEDENCE OVER THIS SHEET.

2. A/C CONTRACTOR TO COORDINATE WITH FRAMING CONTRACTOR AND STRUCTURAL ENGINEER TO PROVIDE CHASES & RUNS FOR A/C DUCT WORK RETURN & SUPPLY AIR.

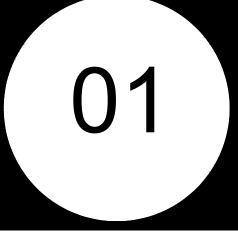


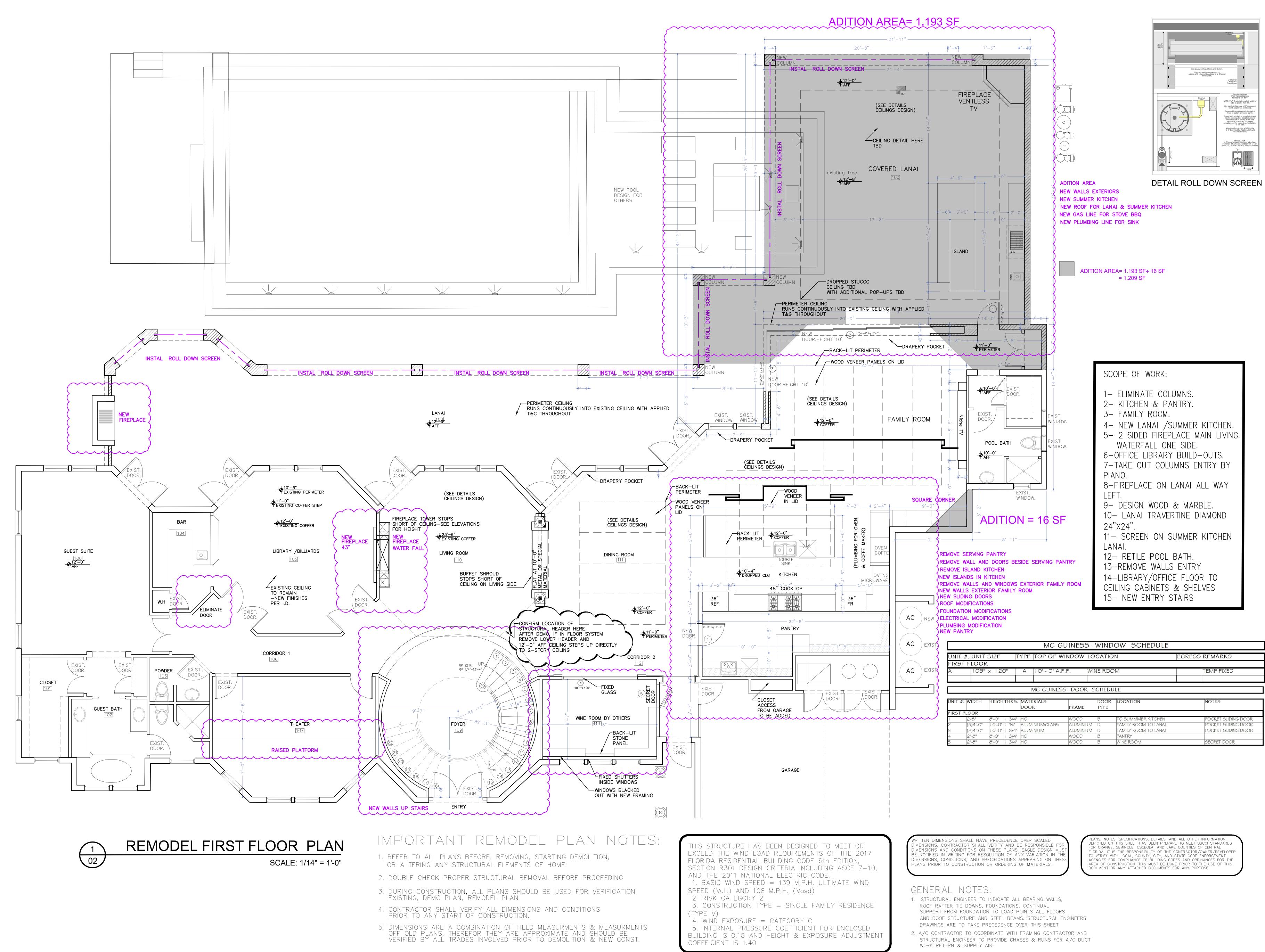
PLANS, NOTES, SPECIFICATIONS, DETAILS, AND ALL OTHER INFORMATION DEPICTED ON THIS SHEET HAS BEEN PREPARE TO MEET SBCCI STANDARDS FOR ORANGE, SEMINOLE, OSCEOLA, AND LAKE COUNTIES OF CENTRAL FLORIDA. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/OWNER/DEVELOPER TO VERIFY WITH LOCAL, COUNTY, CITY, AND STATE CODE ENFORCEMENT AGENCIES FOR COMPLIANCE OF BUILDING CODES AND ORDINANCES FOR THE AREA OF CONSTRUCTION. THIS MUST BE DONE PRIOR TO THE USE OF THIS DOCUMENT OR ANY ATTACHED DOCUMENTS FOR ANY PURPOSE.

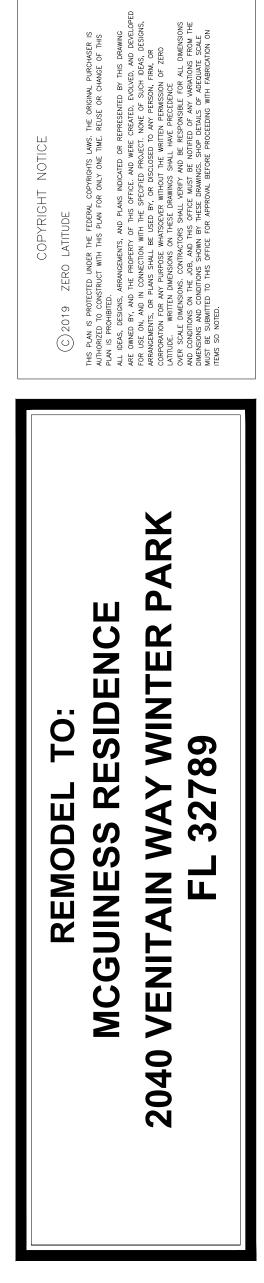




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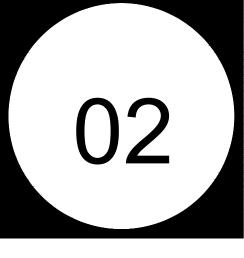




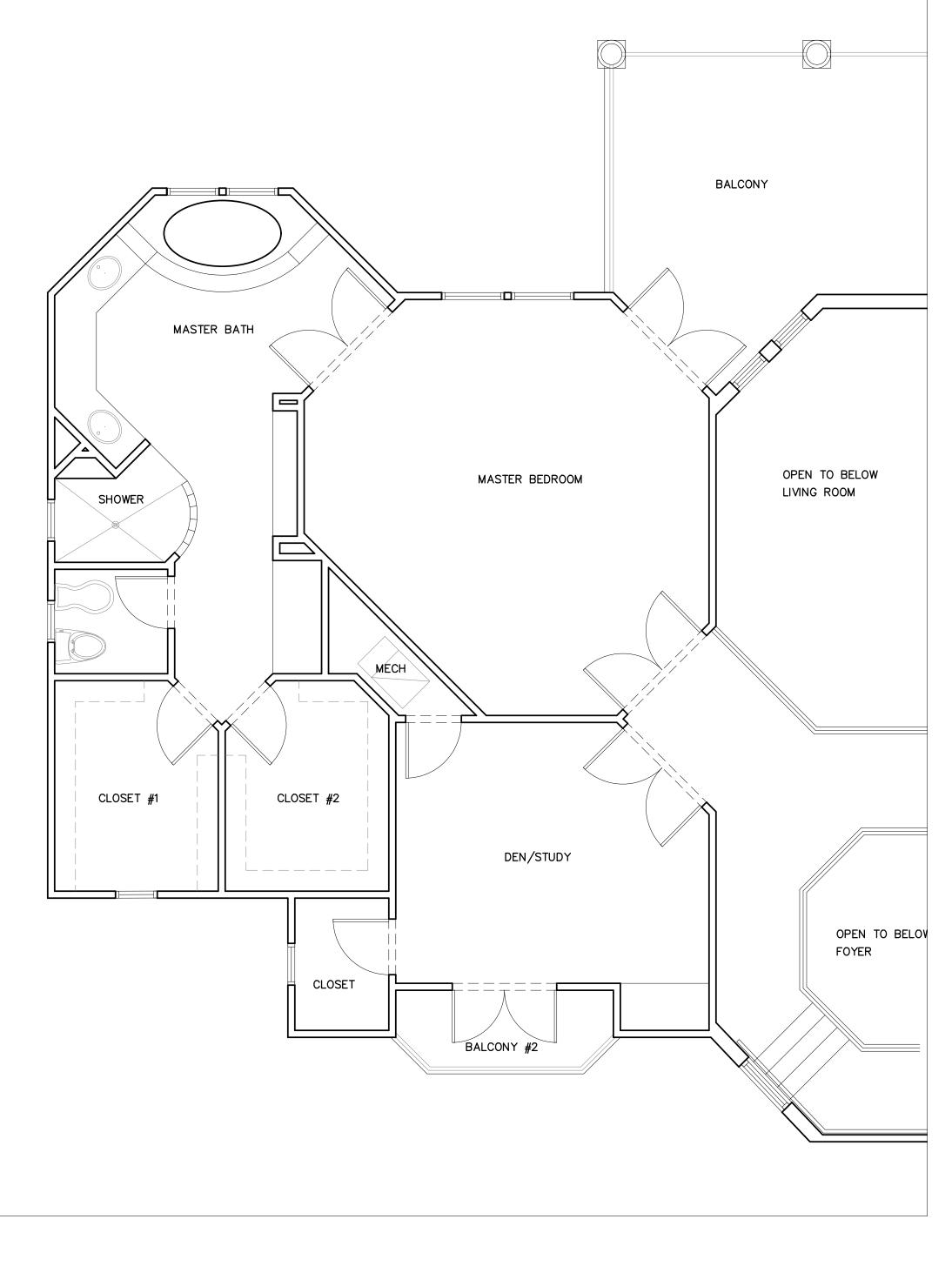




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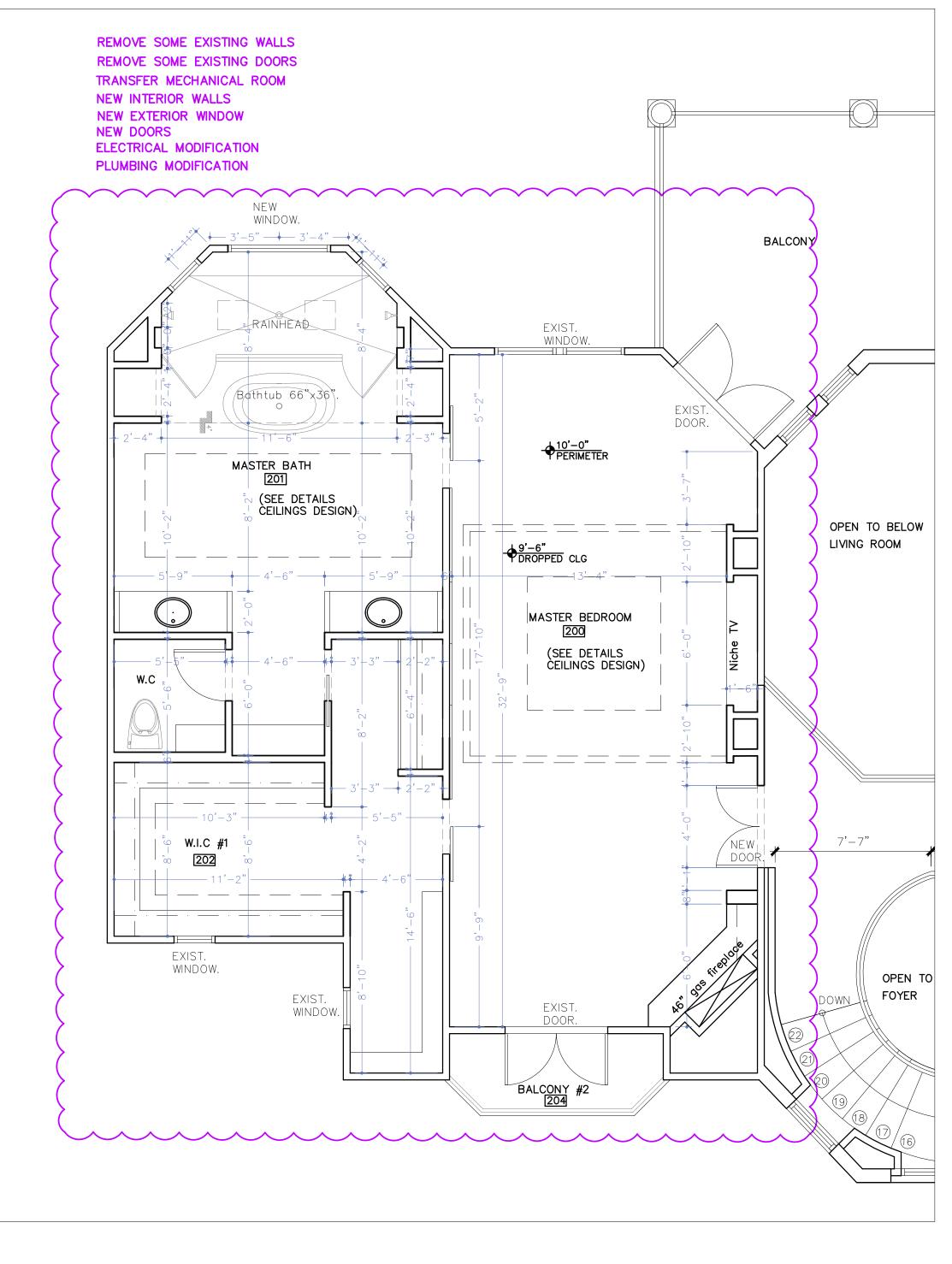
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B2 60" x 24"	A 8' – 0" A.F.F.	SHOWER MASTER BATHROOM	TEMP FIXED	10	2'-6"	8'-0"	3/4" HC	WOOD	В	W.I.C TO MASTER BATHROOM	POCKET DOOR
				11	2'-6"	8'-0"	3/4" HC	WOOD	В	W.C MASTER BATHROOM	
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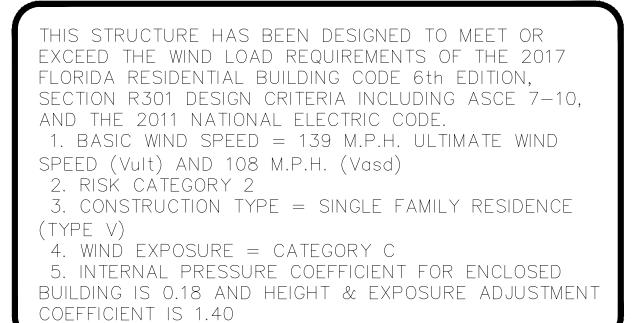


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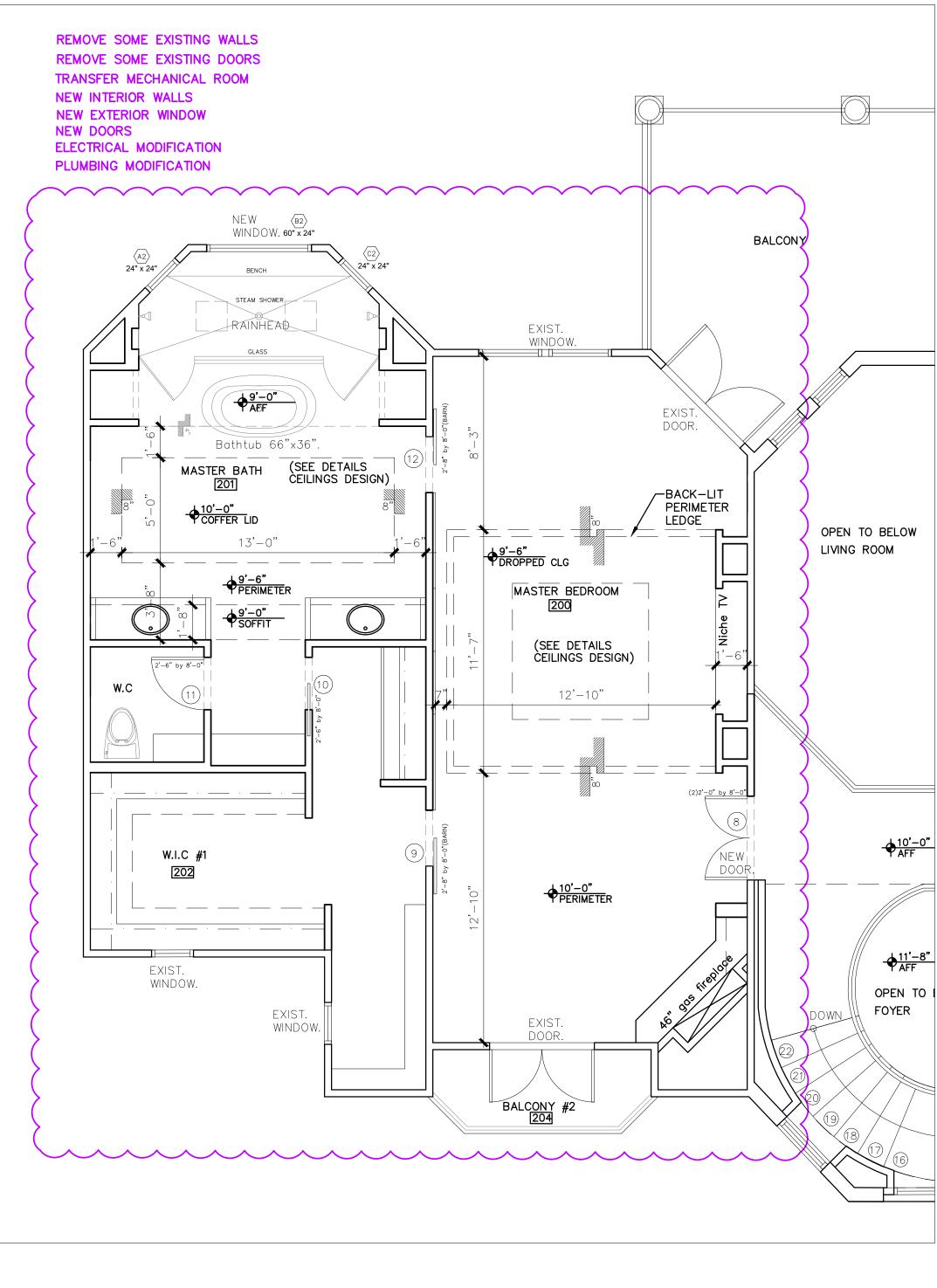




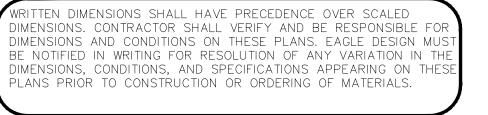
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LANS, NOTES, SPECIFICATIONS, DETAILS, AND ALL OTHER INFORMATION

FOR ORANGE, SEMINOLE, OSCEOLA, AND LAKE COUNTIES OF CENTRAL FLORIDA. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/OWNER/DEVELOPER

DEPICTED ON THIS SHEET HAS BEEN PREPARE TO MEET SBCCI STANDARDS

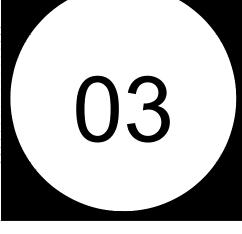
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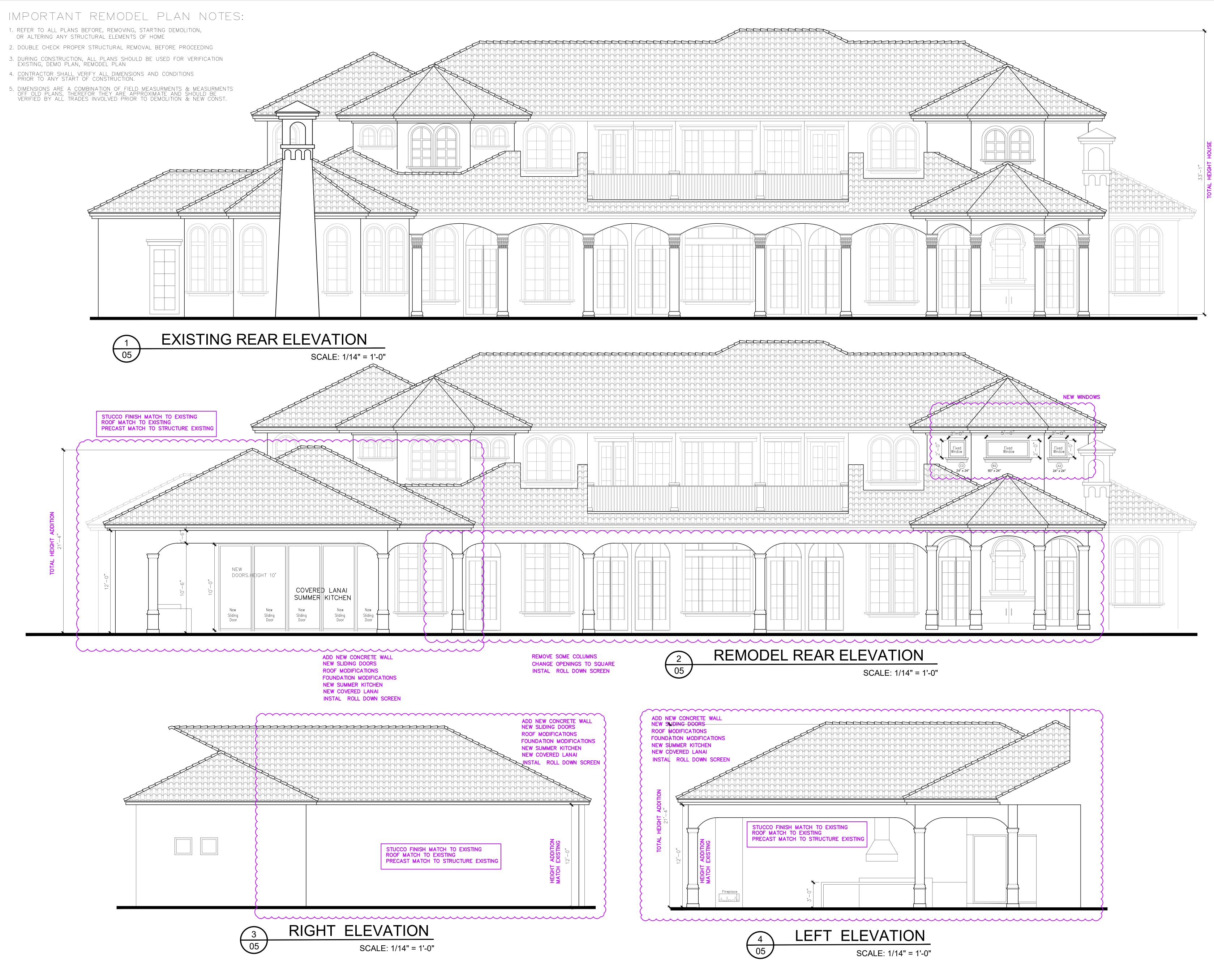
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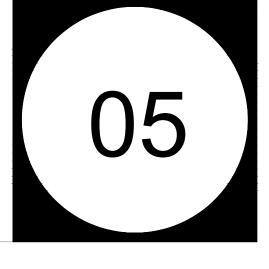


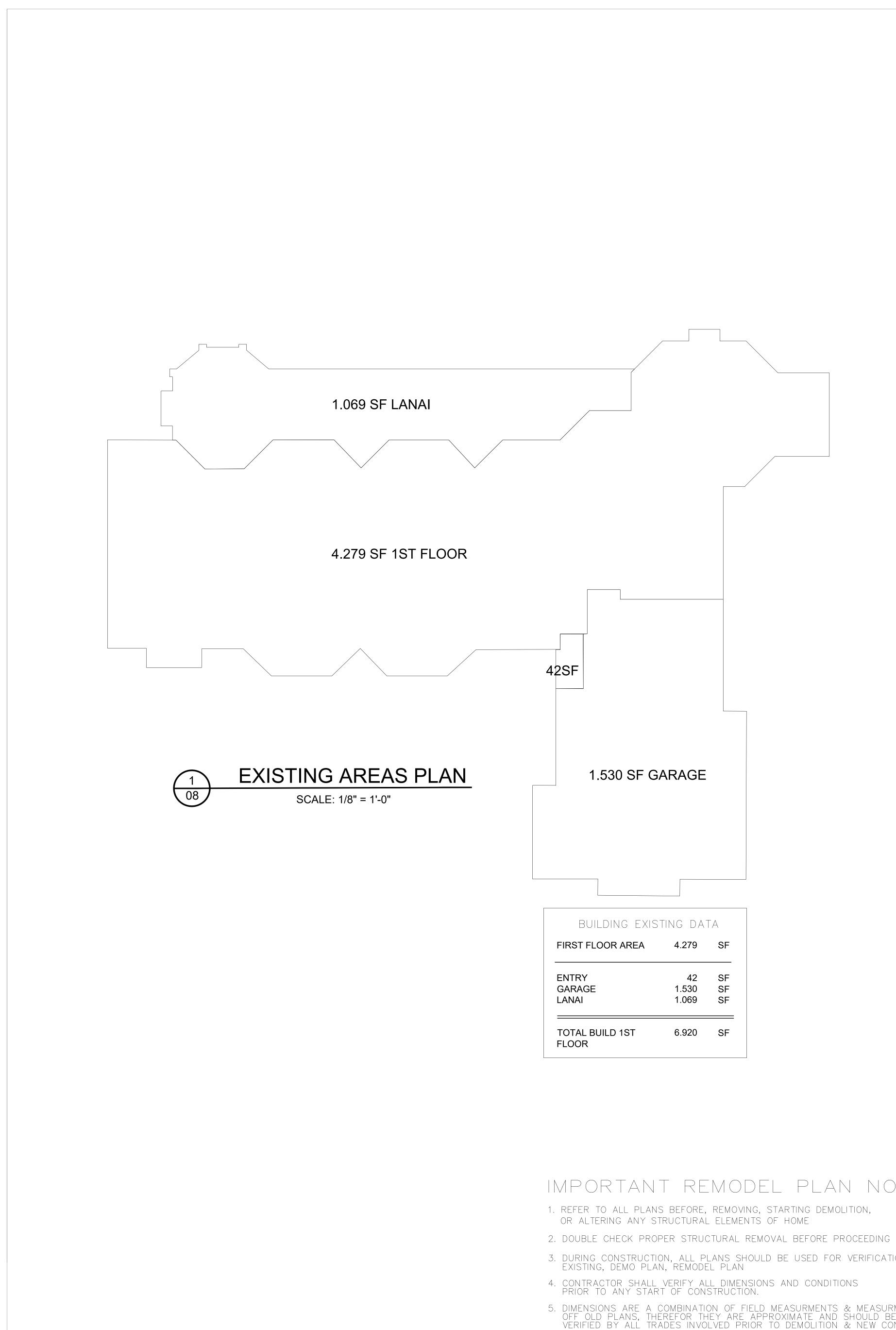


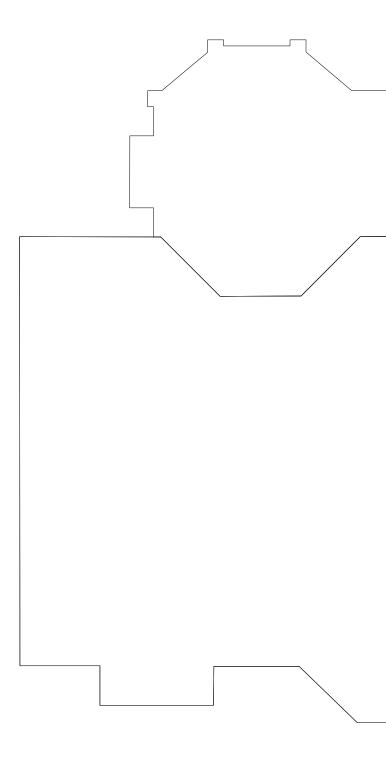


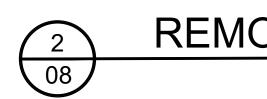


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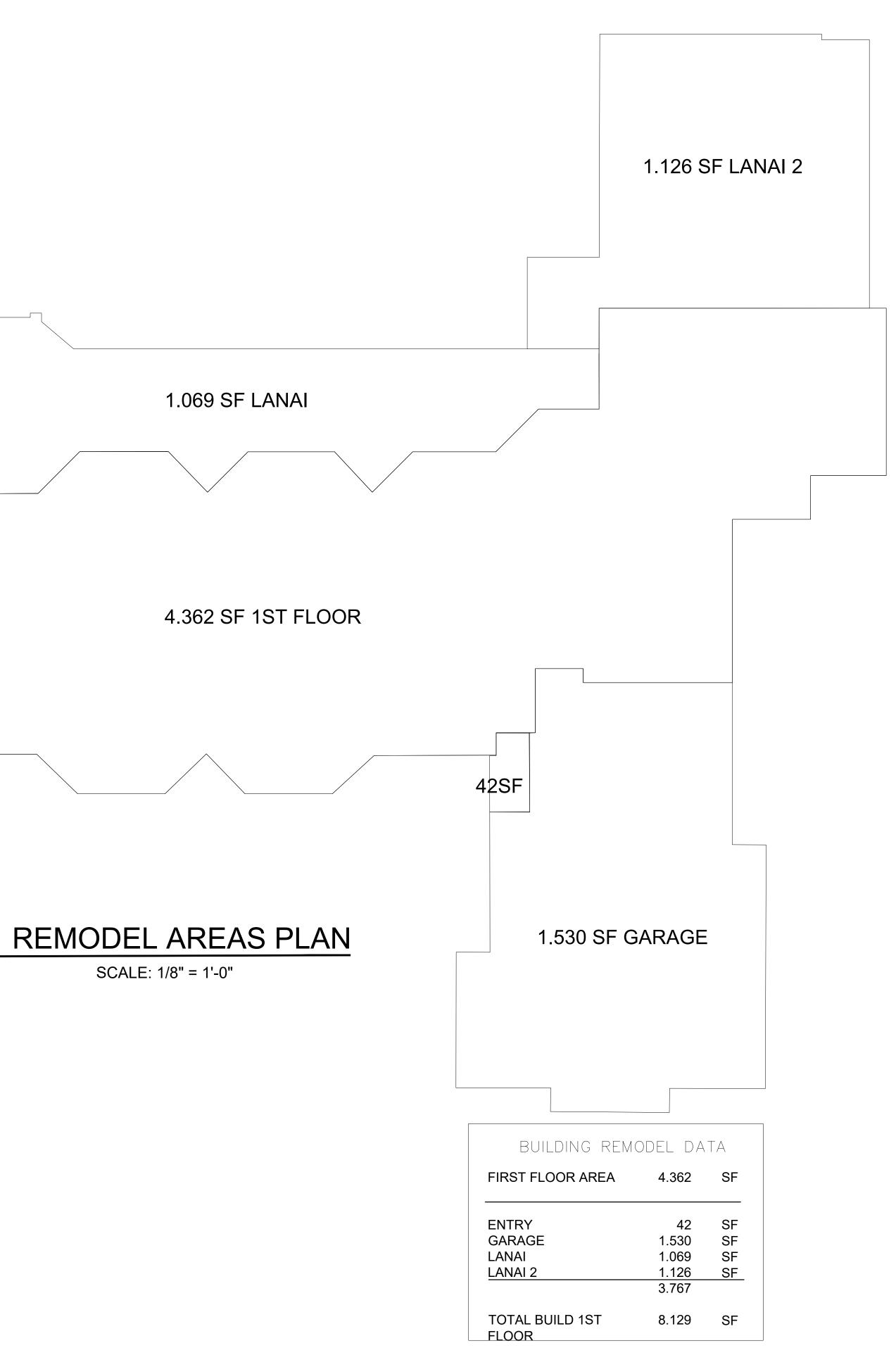
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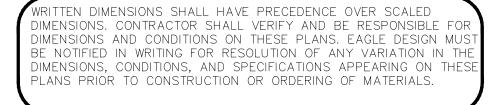
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3. CONSTRUCTION TYPE = SINGLE FAMILY RESIDENCE (TYPE V)

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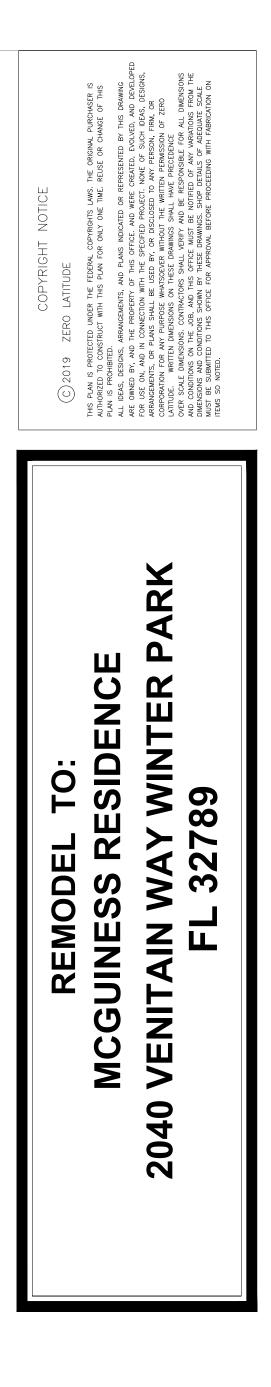




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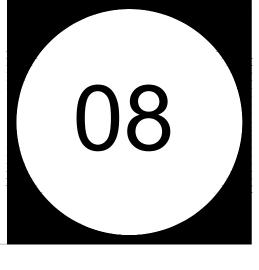
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Mr. and Mrs. David Krauser 2024 Venetian Way Winter Park, FL 32789

City of Winter Park 401 Park Ave. South Winter Park, FL 32789

To whom it may concern:

As neighbors to our left, Shane and Michelle McGuinness have proposed a remodel and addition to the rear of their property at 2040 Venetian Way, Winter Park, FL 32789. We understand they have to go through the City of Winter Park process for Lakefront Site Plan Review. We have reviewed the plans attached dated 5/15/19 and have no objections to this addition as it does not obstruct nor impede our views.

Best regards,

David and Susan Krauser

5/29/19 5/29/19

cc: Allison McGillis, City of Winter Park, Senior Planner Shane and Michelle McGuinness, Homeowners at 2040 Venetian Way Michael Donnelly, McNally Construction Group



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Planning & Zoning Board Staff Report for July 9, 2019 Meeting

SPR#19-09 REQUEST OF DANIEL COHEN AND ESTHER KOVACS FOR: APPROVAL TO CONSTRUCT A TWO-STORY, 1,448 SQUARE FOOT ADDITION TO THE SINGLE-FAMILY HOME LOCATED AT 2104 VENETIAN WAY ON LAKE MAITLAND, ZONED R-1AAA.

Background: Daniel Cohen and Esther Kovacs are requesting approval to construct a twostory, 1,448 square foot addition to the single-family home located at 2104 Venetian Way on Lake Maitland, zoned R-1AAA. This property measures 17,625 square feet. Below is a table summarizing this request in comparison to the R-1AAA zoning/lakefront lot requirements. Items in bold indicate a variance request as part of this site plan review.

Table 1:

	R-1AAA/Lakefront Lot Requirements	Proposed
Floor Area Ratio	Max 33%	5,762 square feet/32.7%
Impervious Lot Coverage	Max 50%	7,125 square feet/40%
Lakefront Setback	77 feet	64 feet

Note: Items in bold indicate a variance request.

Stormwater Retention: The code requires retention of stormwater so that stormwater flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. The amount of impervious surface on the lot determines the depth/size of the retention needed. The applicant is proposing a stormwater swale that is sized to meet the city's code requirements.

This property has a very unique history because the land was designated on the FEMA maps as a "floodway" when the home was built in 2008/2009. A "floodway" is land that is expected to flood or hold water during high water hurricane type events. The soils were historically, and are currently, several feet of organic soils (muck). To make the land buildable, the organic soils had to be compacted. There was a large amount of dirt placed where the home would be located in order to compact the soils. That dirt was in place for three to four years prior to construction. As evident in the attached aerial photograph, the same thing is currently happening on the adjacent lot to the west at 2072 Venetian Way.

The adjacent neighbors to the east (the Serrao's) at 2112 Venetian Way were not happy living next to a tarp covered mountain of dirt for three to four years with every rainstorm washing runoff onto their lakefront. There were serious issues with erosion and flooding and a wall was built to block most of this runoff.

In order to satisfy the City and the Federal Emergency Management Agency (FEMA), a large retention area (pond) was created on the lakefront of this property. It is not a retention area where water drains down after a rain, as it holds water as compensating storage for the fill brought in to enable the existing house pad to be built. This limits changing grades and building in the location of lot slope from the house pad down to the retention pond. The owners may not realize, but the storm water design is for the entire lakefront of this lot to flood up to (but not over) the level of the fill and the home.

This proposed construction is on the area previously filled. A previous version of the plans included a swimming pool to be located that would change grades and be located outside the fill area. That is going to problematic and would certainly involve a future pool design much different than what was presented and then withdrawn. Because of this circumstance, you will see a condition of approval that puts the property owners on notice about these restrictions to keep any future pool exclusively within the filled area of the lot.

Tree Preservation: The purpose and intent of the lakefront lots section of the code states that existing trees shall be preserved to the degree reasonably possible, and the appearance of the property and the shore when viewed from the water will be kept as natural as reasonably possible. This proposed addition does not require any tree removals.

View From The Lake: The code limits walls and swimming pool decks facing the lake in excess of three feet in height. The proposed addition is in the flat/filled area of the lot and therefore meets this code requirement.

View of Neighbors: The purpose and intent of the lakefront lots section of the code is to ensure that the views of the lake from adjoining properties will not be unduly impaired by new houses, additions, second story additions, etc. In order to achieve this, the code states that the lakefront setback shall be the average established by the adjacent lakefront properties within 200 feet of the subject property, or 50 feet, whichever is greater. However, the P&Z Board does have the authority to approve setbacks less than the average determined, or impose more restrictive setbacks. The average lakefront setback is 77 feet. The majority of the building addition is located behind this setback, with the exception of the one-story covered lanai which extends 14 feet into the average lakefront setback at 64 feet from the lake. The extent of the addition that extends into the average lakefront setback at 64 is relatively minimal, but there is still the concern that this will impact the eastern adjoining property's lakefront views.

Staff encouraged the applicant to review their site plans with the adjoining property owners, (Serrao's at 2112 Venetian Way) and get a letter of support. Staff had a brief phone conversation with Mrs. Serrao about this proposed addition, but did not receive a written letter of support.

STAFF RECOMMENDATION IS FOR APPROVAL of the proposed addition with one condition:

1. That due to the FEMA floodway status of the property, potential changing of grades, construction within the down slope area of the lot and storm water issues on this site, that any future plans for a swimming pool/deck must be brought back to the P&Z Board for approval.

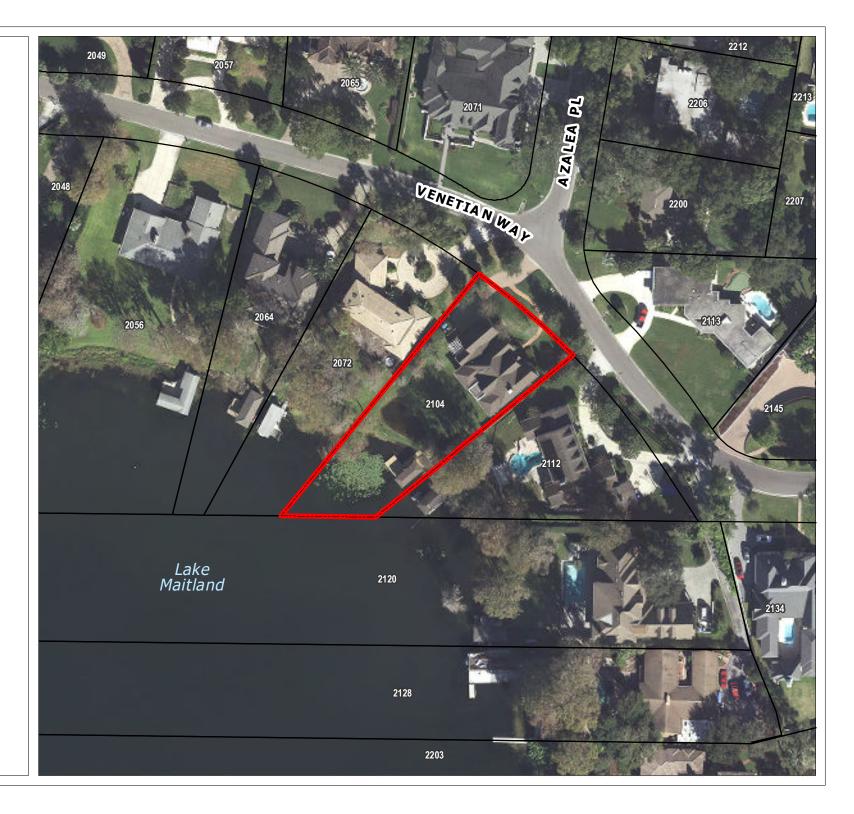


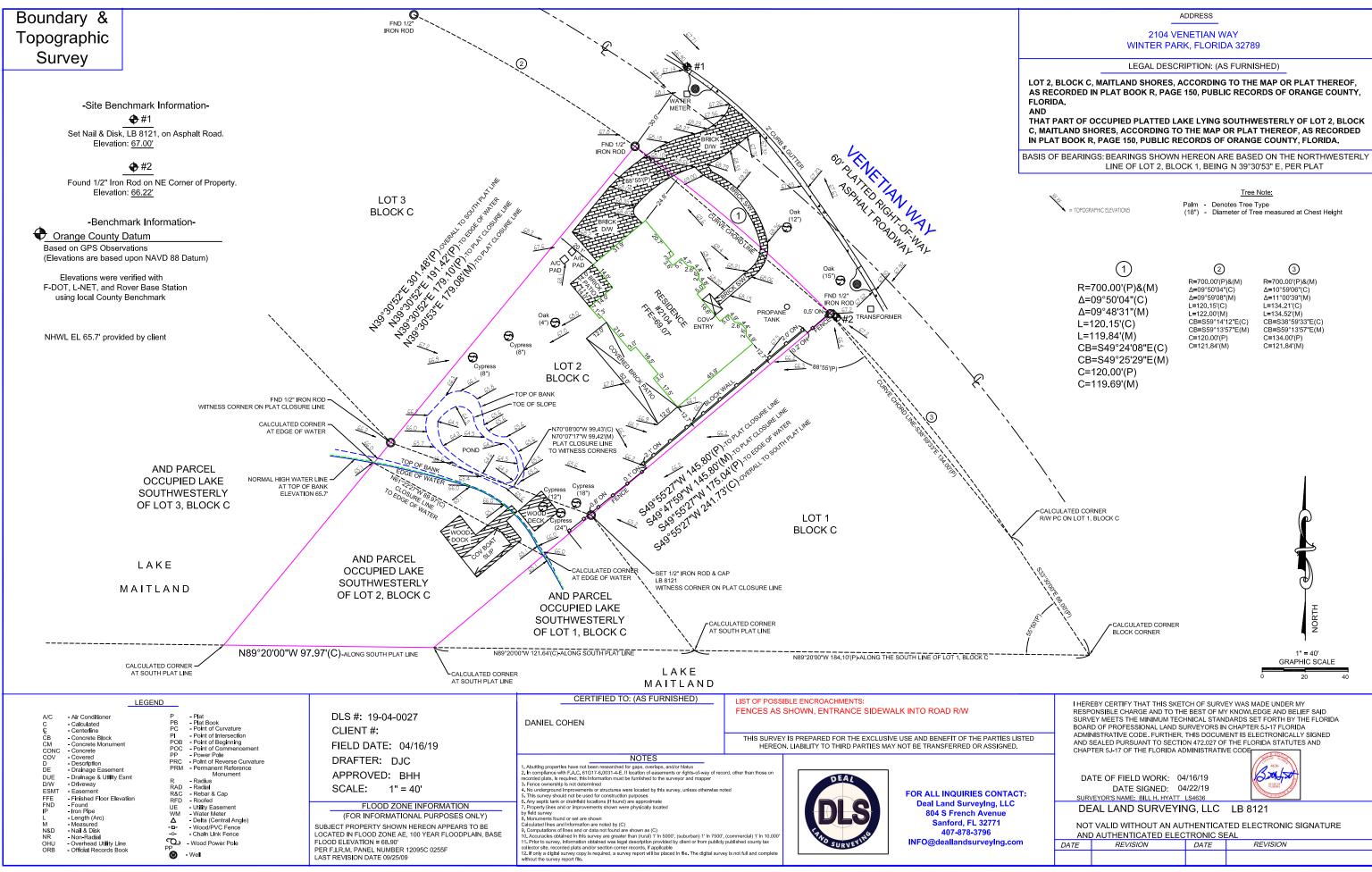
LOCATION MAP 2104 Venetian Way



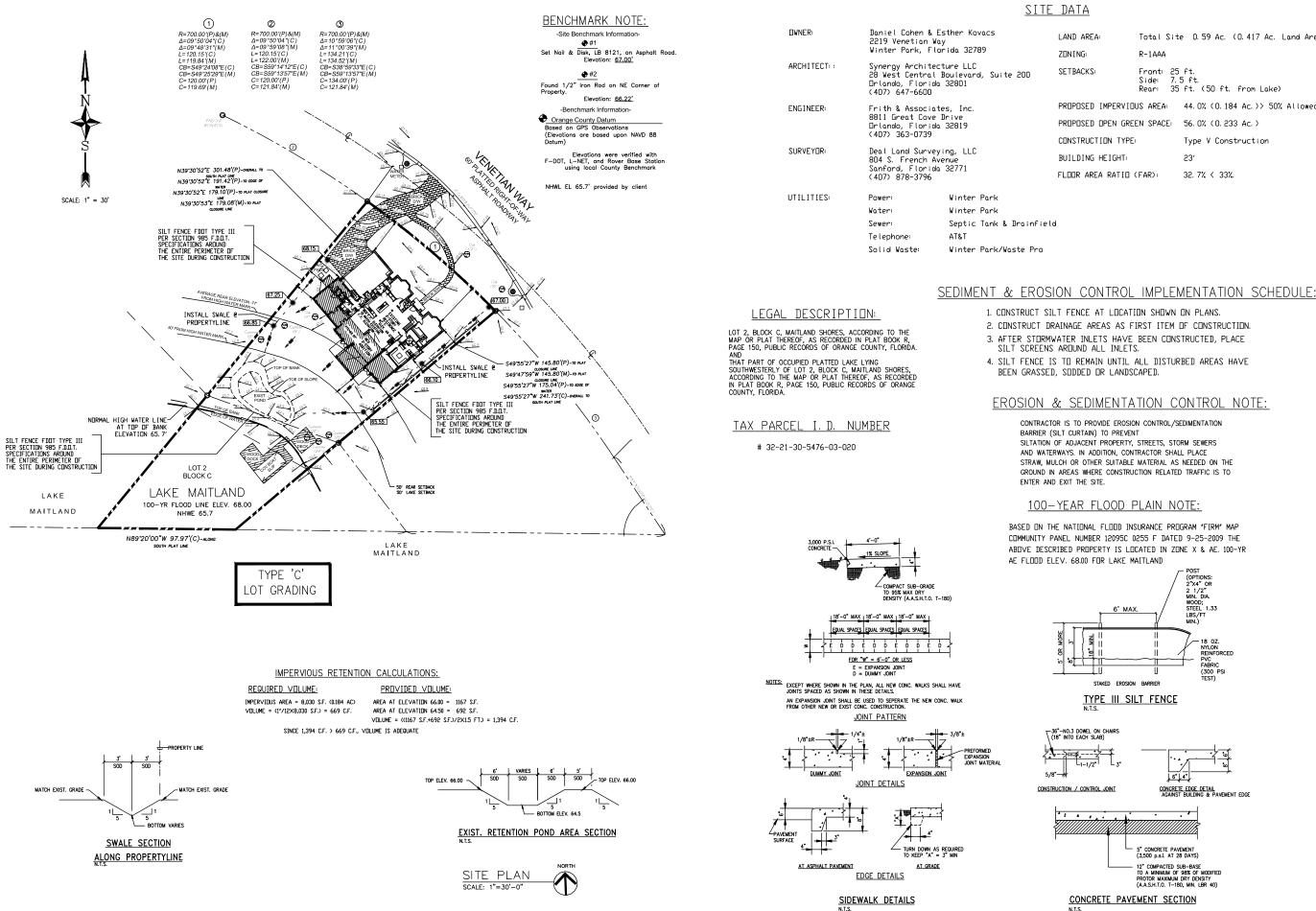


LOCATION MAP 2104 Venetian Way



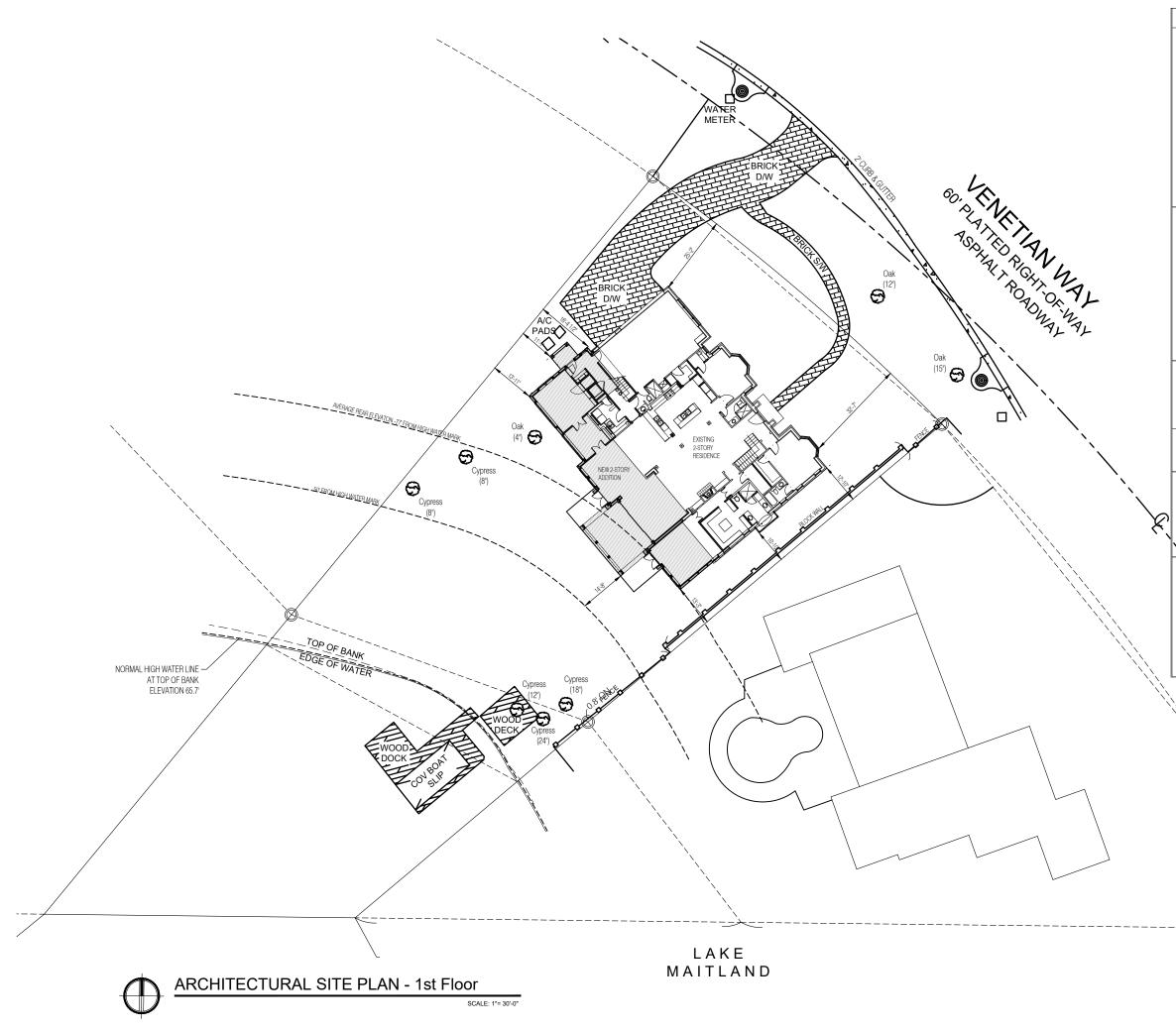






EA: Total Site	• 0.59 Ac. (0.417 Ac. Land Area)	
R-1AAA		
S: Front: 25 Side: 7.5 Rear: 35		
D IMPERVIOUS AREA:	44.0% (0.184 Ac.)> 50% Allowed	
D OPEN GREEN SPACE:	56.0% (0.233 Ac.)	
CTION TYPE:	Type V Construction	
G HEIGHT:	23'	
REA RATID (FAR):	32. 7%. < 33%.	





	AREA C	CALCULATIONS		
	SITE AREA		17,625	
	FAR			
	EXISTING (From 2007 Permit Set)		
	CONE	DITIONED SPACE 1st Floor	2,466 SF	
		Attic	652 SF	
			3,118	
	UNCC	NDITIONED SPACE Porch	837 SF	
		Garage	590 SF 1,427 SF	
		Less Front Porch	-31 SF	
			1,396 SF	
	TOTAL EXI	STING	4,514 SF	
	ADDITIONS	6 (Captured porch space include	d	
		in orginal calculations)		
	CONL	TIONED SPACE 1st Floor	287 SF (Infill)	
			66 SF (Buildout) 27 SF (Bay Windo	w)
			380 SF	,
		2nd Floor	837 SF (Covered P	orch)
			287 SF (Infill) 24 SF (Bump out)	
		Less Porch	1,148 SF	
		Less Porch	-80 SF 1,068 SF	
	TOTAL NE	w	1,448 SF	
	TOTAL EXI	STING + PROPOSED		
		Existing Additions	4,514 SF 1,448 SF	
		Loop 200 SE Cond. Attic Credit	5,962 SF -200 SF	
		Less 200 SF Cond. Attic Credit	5,762 SF	
	TOTAL FAF 5.762	R 2 /17,625=	32.7%	
	EVENDENO	N	400.400.4	
	EXEMPTIO FRON	IT PORCH	190-400 A	liowed
	REAR	/SIDE PORCHES Side (7'-4" x 7'-4")	60 SF	
		Rear 1st Floor (18' x 20')	360 SF	
		Rear 2nd Floor (8' x 10')	80 SF 500 SF <=500 Allov	wed
\backslash				
		OSED FOOTPRINT		
		(Excluding Porte Cochere)		
	'\	Including Porches Drives	4,965 SF 2,160 SF	
		``````````````````````````````````````	7,125 SF <8,812.5 A	llowed
		Pool 14 x 28 (only)	392 SF	
		Porte Cochere included in drives)		
		Columns in footprint calcs		
		N,	7,517 SF	
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Architect of Record John B. Hackler IV AIA LEED-AP Florida AR 94864 28 West Central Blvd. Suite 200 Orlando, Fl 32801 O. 407-647-6600 F. 407-447-6510

Notes:

COHEN RESIDENCE Additions & Renovations 2104 Venetian Way Winter Park, Florida 32789

Descri

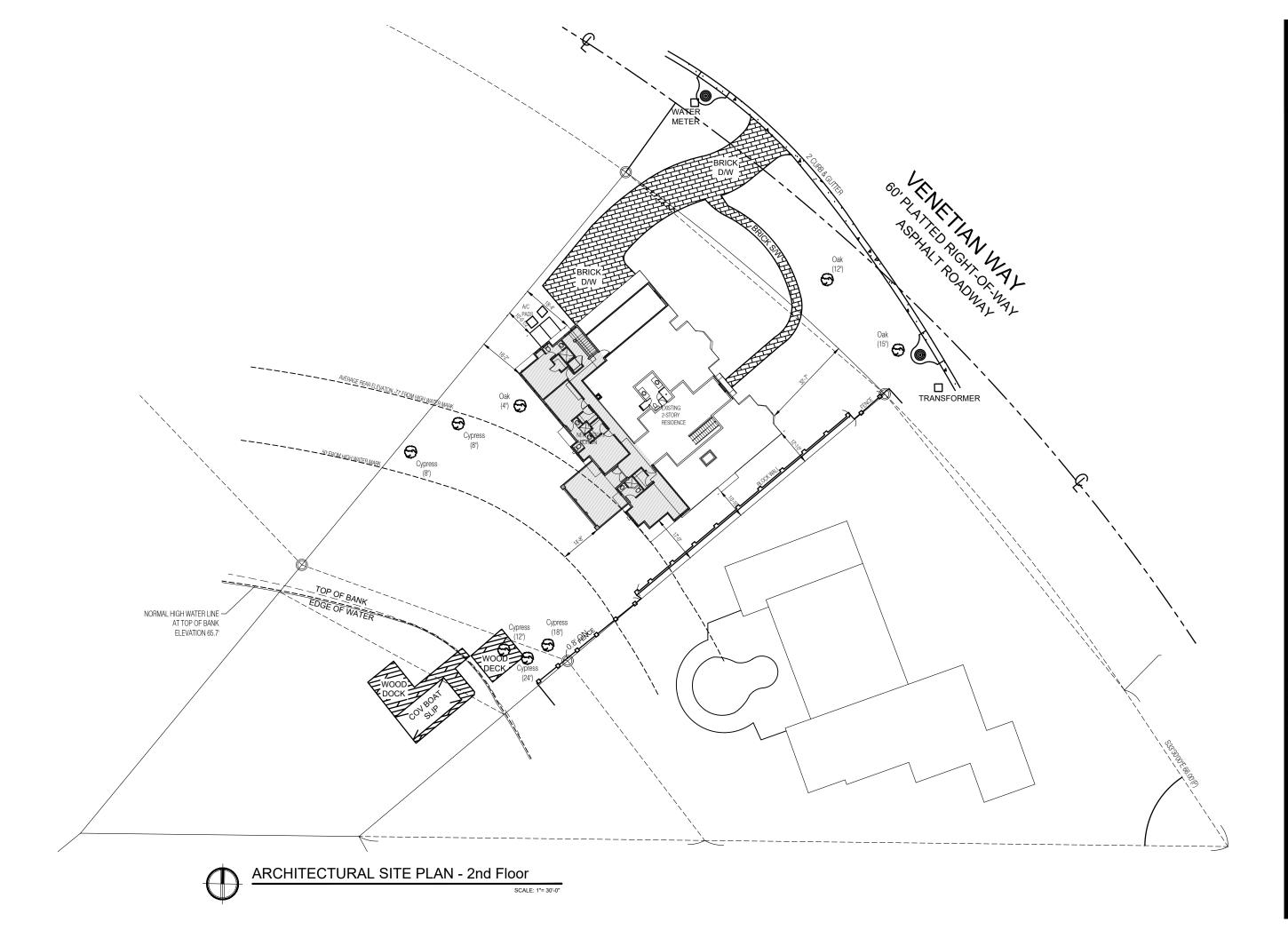
Consultant

No.



Construction Documents 6 May 2019 Architectural Site Plan

A1.1



Architect of Record John B. Hackler IV AIA LEED-AP Florida AR 94864 28 West Central Bivd. Suite 200 Orlando, Fl 32801 O. 407-647-6600 F. 407-447-6510

Notes:

COHEN RESIDENCE

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Additions & Renovations 2104 Venetian Way Winter Park, Florida 32789

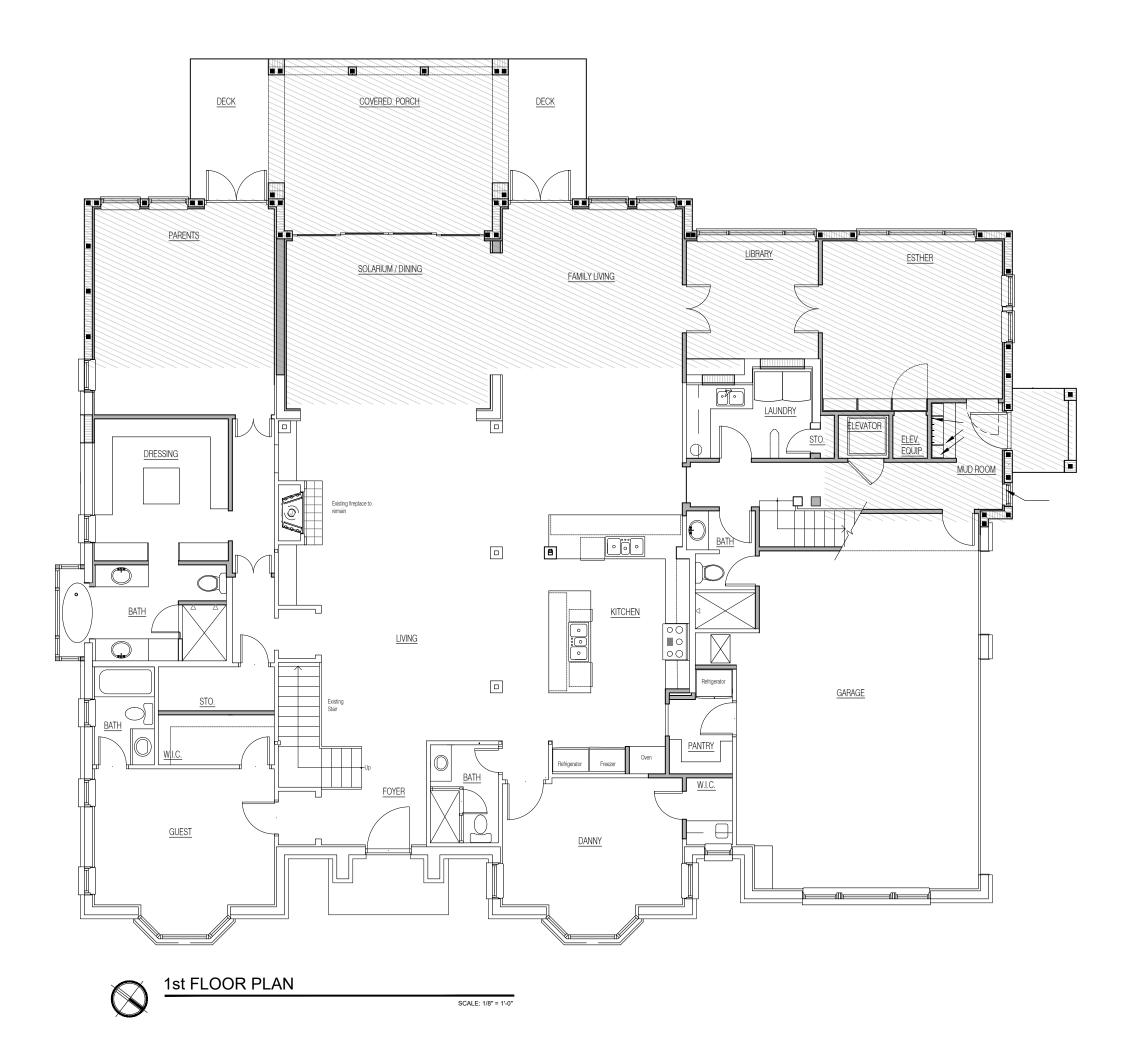
Consultant

No.

John B. Hackler IV AIA LEED-AP Registered Architect Florida AR 94864

Construction Documents 6 May 2019 Architectural Site Plan-2nd Floor

A1.2



Architect of Record John B. Hackler IV AlA LEED-AP Florida AR 94864 28 West Central Blvd. Suite 200 Orlando, Fl 23201 O. 407-647-6600 F. 407-447-6510

Notes:

COHEN RESIDENCE

Additions & Renovations 2104 Venetian Way Winter Park, Florida 32789

No. Description

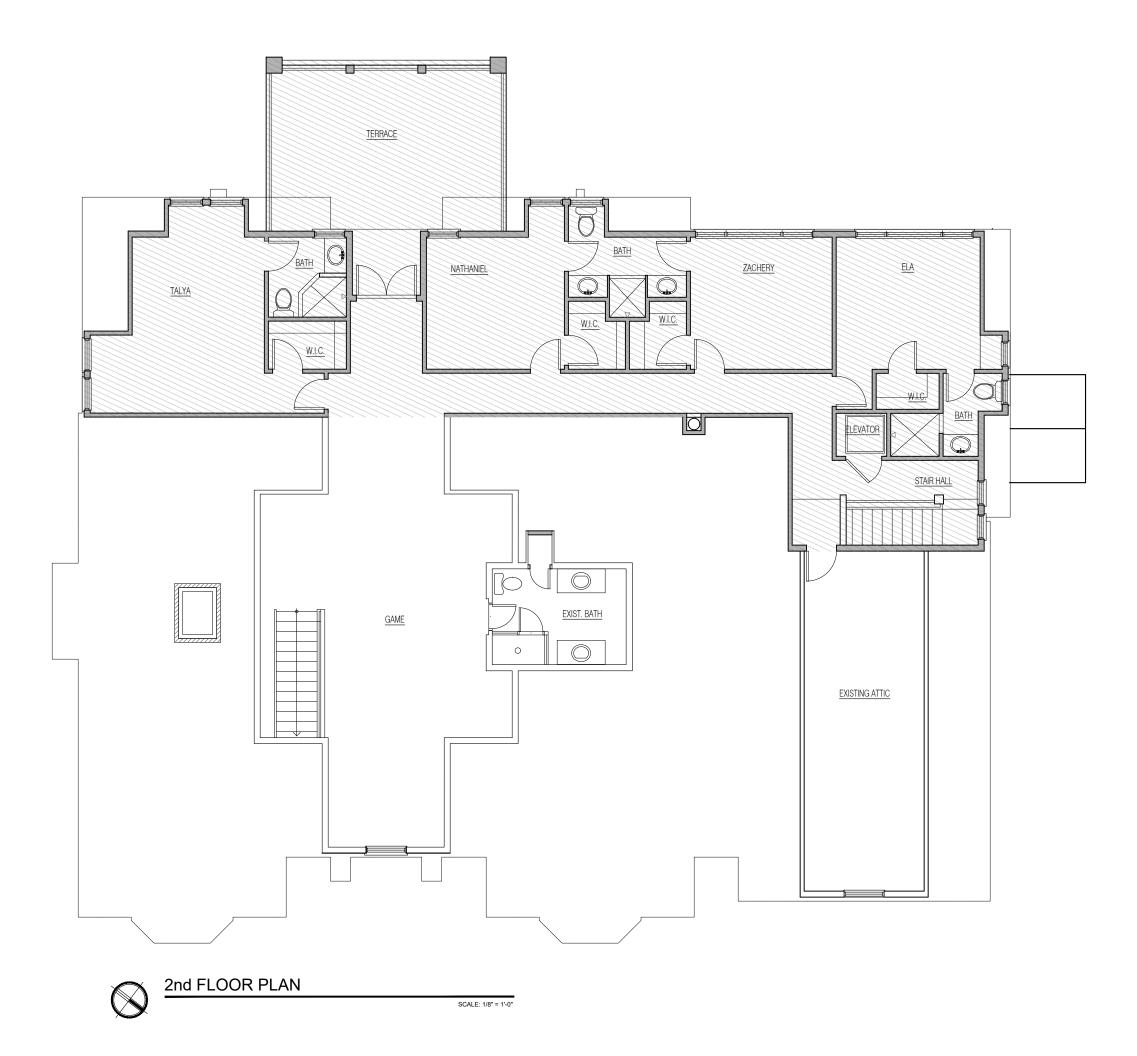
Consultant

John B. Hackler IV AIA LEED-AP Registered Architec Florida AR 94864

Construction Documents 6 May 2019 1st Floor Plan

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Architect of Record John B. Hackler IV AIA LEED-AP Florida AR 94864 28 West Central Blvd. Suite 200 Orlando, Fl 32801 O. 407-647-6600 F. 407-447-6510

Notes:

COHEN RESIDENCE

Description

Additions & Renovations 2104 Venetian Way Winter Park, Florida 32789

No.

Consultant

John B. Hackler IV AIA LEED-AP Registered Architect Florida AR 94864

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Construction Documents 6 May 2019 2nd Floor Plan



LEFT SIDE (SOUTHEAST) ELEVATION

SCALE: 1/8" = 1'-0"

Architect of Record John B. Hackler IV AiA LEED-AP Florida AR 94864 28 West Central Blvd. Suite 200 Orlando, Fl 23201 O. 407-647-6600 F. 407-447-6510

Notes:

EXISTING BRICK -PAINT WHITE TO MATCH STUCCO

COHEN RESIDENCE

Descriptio

Additions & Renovations 2104 Venetian Way Winter Park, Florida 32789

No.

Consultant

John B. Hackler IV AIA LEED-AP Registered Architec Florida AR 94864

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Construction Documents 6 May 2019 Rear Elevation

A3.1



REAR (SOUTHWEST) ELEVATION

SCALE: 1/8" = 1'-0"



Architect of Record John B. Hackler IV AIA LEED-AP Florida AR 94864 28 West Central Blvd. Suite 200 Orlando, F123801 O. 407-647-6600 F. 407-447-6510

Notes:

COHEN RESIDENCE

Additions & Renovations 2104 Venetian Way Winter Park, Florida 32789

No. Description

Consultant

John B. Hackler IV AIA LEED-AP Registered Architec Florida AR 94864

Construction Documents 6 May 2019 Left Side Elevation

A3.2

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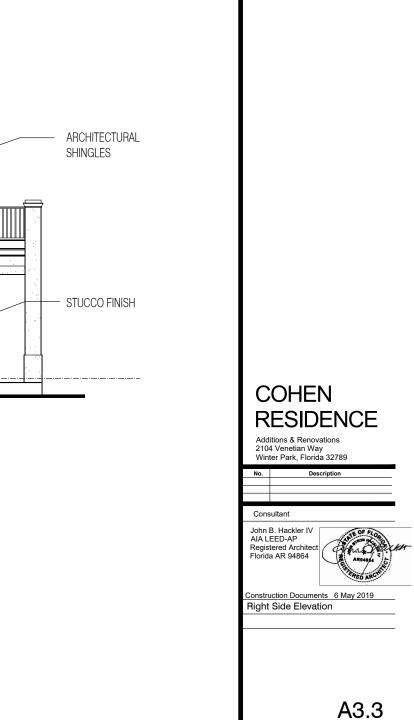


RIGHT SIDE (NORTHWEST) ELEVATION

SCALE: 1/8" = 1'-0"

Architect of Record John B. Hackler IV AIA LEED-AP Florida AR 94864 28 West Central Blvd. Suite 200 Orlando, Fl 23201 0. 407-647-6600 F. 407-447-6510

Notes:





401 South Park Avenue • Winter Park, Florida 32789

407-599-3324 • planning@cityofwinterpark.org cityofwinterpark.org

Planning & Community Development

Planning & Zoning Board Staff Report for July 9, 2019 Meeting

SPR#19-07 REQUEST OF PATRICK FINNERTY FOR: APPROVAL TO CONSTRUCT A NEW, TWO-STORY, 4,595 SQUARE FOOT, SINGLE-FAMILY HOME LOCATED AT 616 COUNTRY CLUB DRIVE ON LAKE KILLARNEY, ZONED R-2.

Background: Patrick Finnerty is requesting site plan approval to construct a new twostory, 4,595 square-foot, single-family home at 616 Country Club Drive, which is located on Lake Killarney, and is zoned R-2. This property measures 8,658 square feet and is also known as Lot 3 of the Lake Killarney Shores replat that was approved by the Commission on April 9, 2018. A copy of the plat is attached. Below is a table summarizing this request in comparison to the R-2 zoning/lakefront lot requirements. Items in bold indicate a variance request as part of this site plan review.

Table 1:

	R-2/Lakefront Lot Requirements	Proposed
Floor Area Ratio	Max 55%	4,595 square feet/53%
Impervious Lot Coverage	Max 65%	4,154 square feet/48%
Front Setback 1 st Floor	25 feet	20 feet
Front Setback 2 nd Floor	30 feet	25 feet
Lakefront Setback	65.7 feet	70 feet

Note: Items in bold indicate a variance request.

Tree Preservation: The purpose and intent of the lakefront lots section of the code states that existing trees shall be preserved to the degree reasonably possible, and the appearance of the property and the shore when viewed from the water will be kept as natural as reasonably possible. The applicant is not proposing to remove any trees onsite as part of this request.

View From The Lake: The code limits walls and swimming pool decks facing the lake in excess of three feet in height. Since this lot is relatively flat, there are no grade-drop issues throughout the length of this lot and the applicant is proposing a pool/deck that meets this code requirement.

View of Neighbors: The purpose and intent of the lakefront lots section of the code is to ensure that the views of the lake from adjoining properties will not be unduly impaired by new houses, additions, second story additions, etc. In order to achieve this, the code states that the lakefront setback shall be the average established by the adjacent lakefront

properties within 200 feet of the subject property, or 50 feet, whichever is greater. However, the P&Z Board does have the authority to approve setbacks less than the average determined, or impose more restrictive setbacks.

During the replat of this Lake Killarney Shores subdivision, there was significant discussion about the lake front views of the adjoining neighbors to this subdivision at both the P&Z Board and Commission meetings. At the Commission meeting it was decided that the lakefront average setback will be established by the setback of the existing homes along the lake within 200 feet of each request (even though they have subsequently been demolished).

Staff has determined that the average lakefront setback for this lot (Lot 3) is approximately 65.7 feet from the normal high water elevation (see attached analysis). The applicant/builder is proposing a 70-foot setback from the lake to the home, which is five feet further from the lake than the averages determined by staff, and a 50-foot setback to the pool deck. Also, the applicant has provided a letter signed by the developer/owner of the Lake Killarney replat properties nearest to this lot and the nearest affected neighbor to this lot (owner of 612 Country Club Drive), that states an agreed-upon building setback of 70 feet from the lake, and pool setback of 50 feet from the lake. The applicant is conforming to this agreement, and is providing another five feet of lakefront setback more than the average determined by staff.

The applicant is however, requesting front setback variances. First is a five-foot front setback variance for a side entry garage, which places the garage 20 feet from the road in lieu of the required 25 feet. Second is another five-foot front setback variance for the two-story portion above the garage, which places this part of the home 25 feet from the road in lieu of the required 30 feet. The R-2 zoning code does promote side entry garages, but does not provide any setback relief for the design of a side entry garage. Also included in the previously mentioned letter signed by the nearest affected neighbor to this lot (owner of 612 Country Club Drive) is an agreement of the front setback variances. The affected neighbor subsequently contacted staff with concerns about these front setback variances upon receipt of the public notice of this lakefront request. Staff has had multiple conversations with this affected neighbor about these plans, but has not received a formal objection to these plans/variances.

Stormwater Retention: The code requires retention of stormwater so that stormwater flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. The amount of impervious surface on the lot determines the depth/size of the retention needed. The applicant is proposing a stormwater swale that is sized to meet the city's code requirements.

Summary: The applicant is proposing an addition that is compatible with the natural grade of the property, is ensuring that water pollution from stormwater runoff and other sources will be minimized, and is preserving existing trees to the degree reasonably possible so that the appearance of the property and the shore when viewed from the water will be kept as natural as reasonably possible. Overall, the plans meet the intent of the lakefront review criteria defined in the code.

STAFF RECOMMENDATION IS FOR APPROVAL

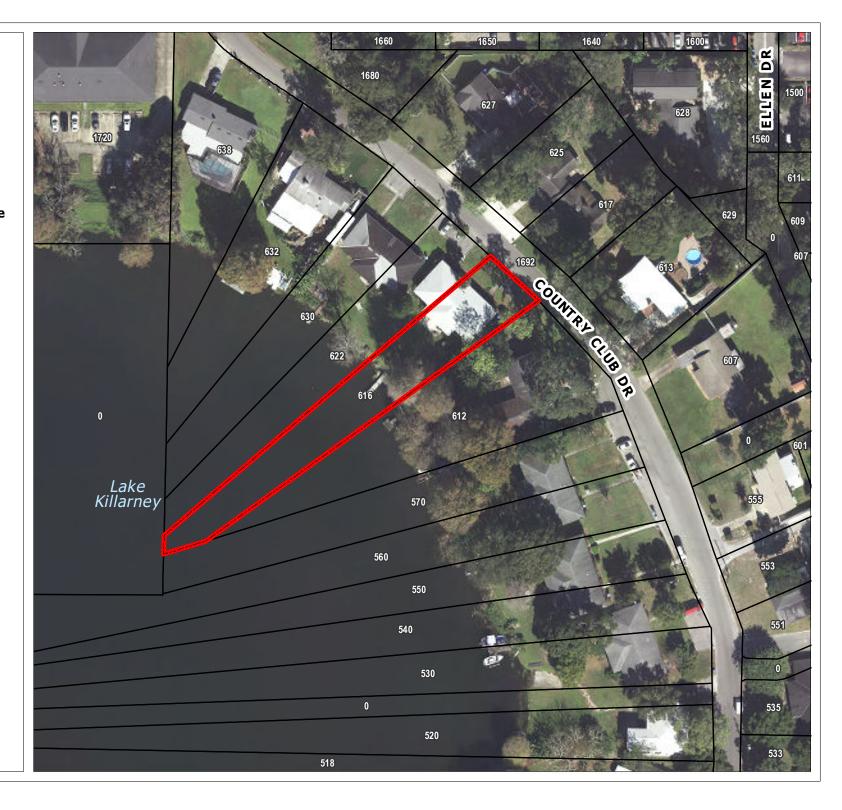


LOCATION MAP 616 Country Club Drive





LOCATION MAP 616 Country Club Drive



BEING A REPLAT OF PORTIONS OF LOTS 1 AND 4, LORD'S SUBDIVISION, AS RECORDED IN PLAT BOOK F OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, SECTION 1, TOWNSHIP 22 SOUTH, RANGE CITY OF WINTER PARK, ORANGE COUNTY, FLORIDA

LEGAL DESCRIPTION:

PARCELS OF LAND BEING A PORTION OF LOTS 1 AND 4, LORD'S SUBDIVISION, AS RECORDED IN PLAT BOOK P, PAGE 89, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LYING WITHIN SECTION 1, TOWNSHIP 22 SOUTH, RANGE 29 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS: (1ST DESCRIBED)

BEGIN AT A IRON PIPE (NO ID) MARKING THE NORTHEAST CORNER OF THAT PARTICULAR PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 6449, PAGE 2972, (FOR A POINT OF REFERENCE, SAID POINT IS THE FOLLOWING THREE (3) COURSES FROM THE NORTHEAST CORNER OF SAID LOT 1, LORD'S SUBDIVISION: (1) SOUTH 88°48'25" WEST, A DISTANCE OF 192.85 FEET (2) SOUTH 00°08'22" EAST, A DISTANCE OF 270.14 FEET, AND (3) NORTH 88°48'25" EAST, A DISTANCE OF 165.00 FEET). THENCE, FROM SAID POINT OF BEGINNING, RUN SOUTH 00°51'00" EAST, ALONG THE WESTERLY LINE OF THOSE PARTICULAR PROPERTIES AS DESCRIBED IN OFFICIAL RECORDS BOOK 4184, PAGE 1708 AND BOOK 10684, PAGE 7897, FOR A DISTANCE OF 115.36 FEET; THENCE RUN SOUTH 00'00'00"EAST, ALONG THE WESTERLY LINE OF THOSE PARTICULAR PROPERTIES AS DESCRIBED IN OFFICIAL RECORDS BOOKS 10684, PAGE 7897; BOOK 7711, PAGE 4825; AND BOOK 9605, PAGE 2646, FOR A DISTANCE OF 199.59 FEET; THENCE CONTINUE SOUTH 20°28'36"EAST, ALONG SAID WESTERLY LINE, FOR A DISTANCE OF 12.83 FEET; THENCE CONTINUE SOUTH 69'08'54" WEST. FOR A DISTANCE OF 4.80 FEET: THENCE RUN SOUTH 00'00'00" EAST ALONG THE WESTERLY LINE OF THOSE PARTICULAR PROPERTIES AS DESCRIBED IN OFFICIAL RECORDS BOOKS 9605, PAGE 2646; BOOK 10658, PAGE 3768; BOOK 10450, PAGE 32; BOOK 9838, PAGE 8700; AND BOOK 9247, PAGE 4865, FOR A DISTANCE OF 506.96 FEET TO A POINT ON THE NORTH LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 4425, PAGE 366; THENCE RUN NORTH 89"32'17" WEST, ALONG SAID NORTH PROPERTY LINE, FOR A DISTANCE OF 27.80 FEET TO THE NORTHWEST CORNER OF SAID PROPERTY; THENCE SOUTH 00°01'28" WEST, ALONG THE WESTERLY LINE OF SAID PROPERTY, FOR A DISTANCE OF 119.05 FEET TO A POINT ON THE NORTHERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORD BOOK 9126, PAGE 2378 (KNOWN AS COUNTRY CLUB DRIVE); THENCE RUN ALONG THE NORTHERLY AND EASTERLY LINES OF SAID PROPERTY (COUNTRY CLUB DRIVE) THE FOLLOWING EIGHT (8) COURSES: (1) NORTH 82°56'13" WEST, FOR A DISTANCE OF 43.61 FEET; (2) NORTH 67'02'46" WEST, FOR A DISTANCE OF 32.85 FEET; (3) NORTH 44'29'39" WEST, FOR A DISTANCE OF 29.31 FEET; (4) NORTH 19°26'25" WEST, FOR A DISTANCE OF 36.63 FEET; (5) NORTH 10°13'52" WEST, FOR A DISTANCE OF 160.05 FEET; (6) NORTH 00°07'50" EAST, FOR A DISTANCE OF 260.46 FEET; (7) NORTH 21'40'44" WEST, FOR A DISTANCE OF 80.00 FEET; (8) NORTH 19'29'40" WEST, FOR A DISTANCE OF 100.16 FEET TO THE MOST SOUTHERLY CORNER OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 9750, PAGE 4747; THENCE DEPARTING SAID EASTERLY PROPERTY LINE (COUNTRY CLUB DRIVE), RUN NORTH 63'30'30"EAST, ALONG THE SOUTHERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 9750, PAGE 4747, FOR A DISTANCE OF 150.00 FEET TO THE SOUTHEAST CORNER OF SAID PROPERTY; THENCE NORTH 24'01'54" WEST, ALONG THE EASTERLY LINE OF SAID PROPERTY, FOR A DISTANCE OF 138.85 FEET TO THE MOST NORTHERLY CORNER OF SAID PROPERTY: THENCE NORTH 55'10'58" WEST, FOR A DISTANCE OF 23.45 FEET TO A POINT ON THE EAST LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 2925, PAGE 1746: THENCE RUN NORTH 00'08'22" WEST, ALONG THE EAST PROPERTY LINE OF THOSE PARTICULAR PROPERTIES AS DESCRIBED IN OFFICIAL RECORDS BOOK 2925, PAGE 1746 AND OFFICIAL RECORDS BOOK 10658, PAGE 4875, FOR A DISTANCE OF 83.56 FEET TO THE SOUTHWEST CORNER OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 9126, PAGE 2378 (KNOWN AS ELLEN DRIVE), SAID POINT DESIGNATED HEREIN AS REFERENCE POINT "A"; THENCE RUN NORTH 88'48'25" EAST, ALONG THE SOUTH LINE OF SAID PROPERTY (ELLEN DRIVE) AND THE SOUTH LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORD BOOK 10056, PAGE 9292, FOR A DISTANCE OF 165.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 145,116 SQUARE FEET OR 3.331 ACRES, MORE OR LESS. ALONG WITH (2ND DESCRIBED):

COMMENCING AT THE AFOREMENTIONED REFERENCE POINT "A", BEING THE SOUTHWEST CORNER OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 9126, PAGE 2378 (KNOWN AS ELLEN DRIVE); THENCE RUN SOUTH 63"27'11" WEST, FOR A DISTANCE OF 75.47 FEET TO THE MOST NORTHERLY CORNER OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 10948, PAGE 2596, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, FOR A POINT OF BEGINNING; THENCE RUN SOUTH 48°02'57" WEST, ALONG THE NORTHWESTERLY LINE OF SAID PROPERTY, FOR A DISTANCE OF 135.24 FEET TO THE NORTHEASTERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 9126, PAGE 2378 (KNOWN AS COUNTRY CLUB DRIVE), SAID POINT DESIGNATED HEREIN AS REFERENCE POINT "B"; THENCE NORTH 49"27'42" WEST, ALONG SAID NORTHEASTERLY PROPERTY LINE (COUNTRY CLUB DRIVE), FOR A DISTANCE OF 129.41 FEET, TO THE MOST SOUTHERLY CORNER OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 9744, PAGE 4872; THENCE NORTH 47°05'24"EAST, ALONG THE SOUTHEASTERLY LINE OF SAID PROPERTY, FOR A DISTANCE OF 158.91 FEET TO THE MOST EASTERLY CORNER OF SAID PROPERTY, SAID POINT ALSO LYING ON THE WESTERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 10658, PAGE 4875; THENCE SOUTH 37'31'42"EAST, ALONG SAID WESTERLY PROPERTY LINE, FOR A DISTANCE OF 112.20 FEET; THENCE SOUTH 47'41'20"EAST, CONTINUING ALONG SAID WESTERLY PROPERTY LINE, FOR A DISTANCE OF 19.19 FEET, TO THE POINT OF BEGINNING.

CONTAINING 18,880 SQUARE FEET, OR 0.433 ACRES, MORE OR LESS. ALONG WITH (3RD DESCRIBED):

COMMENCING AT A 3/4-INCH IRON PIPE (NO ID) BEING THE AFOREMENTIONED REFERENCE POINT "B", THENCE RUN SOUTH 53'05'10" WEST, CROSSING SAID COUNTRY CLUB DRIVE (AS DESCRIBED IN OFFICIAL RECORD BOOK 9126, PAGE 2378), FOR A DISTANCE OF 37.19 FEET. TO A POINT ON THE SOUTHWESTERLY LINE OF SAID PARCEL AND THE POINT OF BEGINNING, SAID POINT ALSO BEING THE MOST NORTHERLY CORNER OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 6642, PAGE 2836: THENCE RUN SOUTH 53'00'00" WEST, ALONG THE NORTHERLY LINE OF SAID PROPERTY, FOR A DISTANCE OF 164.27 FEET, MORE OR LESS, TO THE ORDINARY HIGH WATER LINE OF LAKE KILLARNEY; THENCE RUN NORTHWESTERLY ALONG SAID ORDINARY HIGH WATER LINE, THE FOLLOWING TWELVE (12) COURSES: (1) NORTH 27°05'50" WEST, FOR A DISTANCE OF 13.65 FEET; (2) NORTH 34°46'51" WEST, FOR A DISTANCE OF 18.32 FEET; (3) NORTH 32°27'29" WEST, FOR A DISTANCE OF 15.62 FEET; (4) NORTH 47"13'16" WEST, FOR A DISTANCE OF 33.98 FEET; (5) NORTH 43"42'48" WEST, FOR A DISTANCE OF 8.91 FEET; (6) NORTH 20°25'43" WEST, FOR A DISTANCE OF 4.18 FEET; (7) NORTH 05°55'13" WEST, FOR A DISTANCE OF 5.45 FEET: (8) NORTH 16"10'19" WEST. FOR A DISTANCE OF 4.13 FEET: (9) NORTH 66"35'18" WEST. FOR A DISTANCE OF 3.37 FEET: (10) NORTH 51°55'47" WEST, FOR A DISTANCE OF 21.23 FEET; (11) NORTH 53°20'21" WEST, FOR A DISTANCE OF 15.41 FEET; (12) NORTH 58°23'34" WEST, FOR A DISTANCE OF 9.98 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 7445, PAGE 911; THENCE NORTH 3811'00"EAST, ALONG SAID SOUTHEASTERLY PROPERTY LINE FOR A DISTANCE OF 142.84 FEET, MORE OR LESS, TO A POINT ON THE SOUTHWESTERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORD BOOK 9126, PAGE 2378 (KNOWN AS COUNTRY CLUB DRIVE); THENCE SOUTH 48°42'32" EAST, ALONG SAID SOUTHWESTERLY LINE, FOR A DISTANCE OF 190.16 FEET TO THE POINT OF BEGINNING.

ALONG WITH (4TH DESCRIBED):

COMMENCING AT A 3/4-INCH IRON PIPE (NO ID) BEING THE AFOREMENTIONED REFERENCE POINT "B", THENCE RUN SOUTH 53°05'10" WEST, CROSSING SAID COUNTRY CLUB DRIVE (AS DESCRIBED IN OFFICIAL RECORD BOOK 9126, PAGE 2378), FOR A DISTANCE OF 37.19 FEET, TO A POINT ON THE SOUTHWESTERLY LINE OF SAID PARCEL; THENCE SOUTH 43*49'00"EAST, ALONG SAID SOUTHWESTERLY PROPERTY LINE, FOR A DISTANCE OF 102.04 FEET; THENCE SOUTH 22"14'49" EAST, CONTINUING ALONG SAID PROPERTY LINE, FOR A DISTANCE OF 33.39 FEET TO THE POINT OF BEGINNING; THENCE RUN SOUTH 2214'49"EAST, CONTINUING ALONG SAID PROPERTY LINE, FOR A DISTANCE OF 180.00 FEET TO AN ANGLE BREAK: THENCE SOUTH 26°43'08" FAST, CONTINUING ALONG SAID PROPERTY LINE, FOR A DISTANCE OF 45.70 FEET TO AN ANGLE BREAK; THENCE SOUTH 02°25'21"EAST, CONTINUING ALONG SAID PROPERTY LINE, FOR A DISTANCE OF 128.20 FEET TO A POINT ON THE NORTHERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 6538, PAGE 4203; THENCE DEPARTING SAID RIGHT OF WAY LINE, RUN NORTH 90'00'WEST, ALONG THE NORTHERLY LINE OF SAID PROPERTY, FOR A DISTANCE OF 186.31 FEET, MORE OR LESS, TO THE ORDINARY HIGH WATER LINE OF LAKE KILLARNEY; THENCE RUN NORTHWESTERLY ALONG SAID ORDINARY HIGH WATER LINE THE FOLLOWING SIXTEEN (16) COURSES: (1) NORTH 14°46'36"EAST, FOR A DISTANCE OF 26.86 FEET; (2) NORTH 04°48'08"EAST, FOR A DISTANCE OF 13.31 FEET; (3) NORTH 02*52'30" WEST, FOR A DISTANCE OF 11.03 FEET; (4) NORTH 10*29'47" WEST, FOR A DISTANCE OF 8.06 FEET; (5) NORTH 22'47'37" WEST, FOR A DISTANCE OF 12.48 FEET; (6) NORTH 01'03'57" WEST, FOR A DISTANCE OF 10.96 FEET; (7) NORTH 13'32'39" WEST, FOR A DISTANCE OF 15.09 FEET; (8) NORTH 18'51'49" WEST, FOR A DISTANCE OF 40.94 FEET; (9) NORTH 25'09'04" WEST, FOR A DISTANCE OF 14.95 FEET; (10) NORTH 30°03'30" WEST, FOR A DISTANCE OF 23.57 FEET; (11) NORTH 32°19'44" WEST, FOR A DISTANCE OF 24.01 FEET; (12) NORTH 20'34'10" WEST, FOR A DISTANCE OF 19.67 FEET; (13) NORTH 24'51'44" WEST, FOR A DISTANCE OF 29.29 FEET; (14) NORTH 23°52'10" WEST, FOR A DISTANCE OF 17.25 FEET; (15) NORTH 31°28'23" WEST, FOR A DISTANCE OF 24.16 FEET; (16) NORTH 27°05'50" WEST, FOR A DISTANCE OF 6.15 FEET TO A POINT ON THE SOUTHERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 6642, PAGE 2836; THENCE RUN NORTH 71'31'12"EAST, ALONG SAID SOUTHERLY PROPERTY LINE, FOR A DISTANCE OF 190.51 FEET TO THE POINT OF BEGINNING.

CONTAINING 58,782 SQUARE FEET, OR 1.349 ACRES, MORE OR LESS. FOR AN AGGREGATE TOTAL OF 247,786 SQUARE FEET, OR 5.688 ACRES, MORE OR LESS.

AND

ORANGE COUNTY, FLORIDA.



LAKE KILLARNEY SHORES

CONTAINING 25,008 SQUARE FEET, OR 0.574 ACRES, MORE OR LESS.

TOGETHER WITH THAT CERTAIN EASEMENT RECORDED IN O.R. BOOK 3282, PAGE 2096, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

TOGETHER WITH THAT DECLARATION OF ACCESS AND UTILITY EASEMENT RECORDED IN O.R. BOOK 7464, PAGE 1949, PUBLIC RECORDS OF

SURVEYOR'S NOTES:

- 1. THE BEARINGS SHOWN HEREON ARE BASED ON A PORTION OF THE MONUMENTED WES 3), PER OFFICIAL RECORDS BOOK 9126, PAGE 2378, AS HAVING A BEARING OF S 48 OF WINTER PARK, PREPARED BY: HENRICH, TROTTER, CARTER & AYERS, INC., DATED SURVEYOR NO. 2435, DATE: 5/15/01.
- . ALL PLATTED UTILITY EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTIO TELEVISION SERVICES PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC. TELEPHONE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE S NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICL SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY THE FLORIDA PUBLIC SERVICE COMMISSION. (SECTION 177.091 (28), FLORIDA STATUTE:
- . DRAINAGE EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED TO THE LAKE KILLARI OPERATION, MAINTENANCE AND REPAIR OF THE SUBDIVISION'S STORMWATER MANAGEM
- 4. UTILITY EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED TO THE CITY OF WINTER THE OPERATION, INSTALLATION, MAINTENANCE AND REPAIR OF UTILITIES OF EVERY T FOR THE MAINTENANCE OF UTILITIES IT INSTALLS OR ACCEPTS WITHIN ANY OF THE L SHALL NOT HAVE ANY RESPONSIBILITY FOR MAINTENANCE OF THE EASEMENTS FOR A IMPROVEMENTS, SOD AND LANDSCAPING AND UTILITIES OWNED BY OTHERS. THE CITY SUPERIOR TO THAT OF OTHER UTILITY OWNERS IN THE EVENT OF A CONFLICT.
- 5. THE CITY OF WINTER PARK AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT ACCESS, MAINTAIN, REPAIR, REPLACE OR OTHERWISE CARE FOR OR CAUSE TO BE CA WITHOUT LIMITATION THE DRAINAGE SYSTEMS CONSTRUCTED THEREON. A BLANKET INC OF WINTER PARK AND/OR THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT FOR TRACT "A".
- 6. SIDEWALK EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED TO THE CITY OF WINT PUBLIC SIDEWALKS AND FOR THE GENERAL PUBLIC'S PEDESTRIAN ACCESS AND USE SHALL ONLY BE RESPONSIBLE FOR THE MAINTENANCE OF THE SIDEWALK IMPROVEMEN EASEMENTS DEPICTED ON THIS PLAT, AND THE CITY SHALL NOT HAVE ANY RESPONSI PURPOSE
- 7. LOT OWNERS SHALL BE RESPONSIBLE TO MAINTAIN THEIR LOTS AS SET FORTH IN THE RESTRICTIONS FOR LAKE KILLARNEY.
- 8. TRACT "E" (PUBLIC RIGHT-OF-WAY), AN EXTENSION OF THE ELLEN DRIVE RIGHT-OF-THE OPERATION, REPAIR AND MAINTENANCE OF THE RIGHT-OF-WAY FOR THE GENERA
- THE ROADWAY IMPROVEMENTS THEREON. 9. THIS SUBDIVISION IS SUBJECT TO AND GOVERNED BY THE DECLARATION OF COVENAN KILLARNEY SHORES.
- 10. TRACT "A" (STORMWATER MANAGEMENT) AND TRACT "B" (LAKE ACCESS) SHALL BE HOMEOWNERS' ASSOCIATION, INC. FOR THE BENEFIT OF THE OWNERS OF LOTS 1-30 DECLARATION OF COVENANTS, CONDITIONS, EASEMENTS AND RESTRICTIONS TO BE REC EASEMENT IS HEREBY GRANTED TO THE CITY OF WINTER PARK OVER, UNDER, AND TH TO THE PUBLIC RIGHTS-OF-WAY. THE CITY OF WINTER PARK SHALL NOT HAVE ANY CONCERNING TRACT "A", TRACT "B" OR ANY DRAINAGE EASEMENTS DEDICATED HEREC
- 11. EACH DRAINAGE EASEMENT AREA ON LOTS 1-11 AND 26-30 MUST BE MAINTAINED E 12. THE CITY OF WINTER PARK AND ITS OFFICERS, EMPLOYEES AND AGENTS ARE HEREBY
- AND THROUGH TRACT "B" (20' WIDE LAKE ACCESS) AND IMPROVEMENTS THEREON FO LAKE KILLARNEY AND PUBLIC RIGHTS-OF-WAY FOR MAINTENANCE, SEARCH AND RESC CREATE A PUBLIC RIGHT OF USE AND ACCESS IN TRACT "B". THE CITY SHALL HAVE
- 13. DOCKS/BOATHOUSES SHALL BE LOCATED ONLY WHERE INDICATED ON THIS PLAT (BY COMMISSION APPROVAL, SUCH DOCKS/BOATHOUSES MAY BE LOCATED WITH ZERO SIDI AND DIMENSIONS SHALL BE PERMITTED BY THE CITY OF WINTER PARK LAKES AND WA
- 14. ACCESS EASEMENT TRACT "C" AND "D" SHALL BE CONVEYED TO THE LAKE KILLARNE REPAIRED AND MAINTAINED FOR INGRESS AND EGRESS TO AND FROM CERTAIN LOTS THE DECLARATION OF COVENANTS, CONDITIONS, EASEMENTS AND RESTRICTIONS TO BE
- 15. THE DEDICATOR/PROPERTY OWNER FOR ITSELF AND ITS SUCCESSORS AND ASSIGNS H WINTER PARK AND ANY AND ALL RIGHTS, TITLE AND INTERESTS DEDICATOR/PROPERT GAPS AND GORES THAT MAY EXIST BETWEEN THE PROPERTY BEING SUBDIVIDED BY T OUTSIDE THE BOUNDARIES OF THIS PLAT.
- 16. REGARDLESS OF THE TRACT AND LOT BOUNDARIES ADJACENT TO LAKE KILLARNEY SH IMPROVEMENT TRUST FUND OWNS TITLE, AS SOVEREIGN LANDS, TO THOSE LANDS OF WATER LINE (OHWL). ORDINARY HIGH WATER ELEVATION IS BASED ON A PUBLICATION (LAKES DIVISION), WHICH LISTS THE ORDINARY HIGH WATER ELEVATION AS: 82.0 NAVI
- 17. ALL SITE CONSTRUCTION AND TREE REMOVAL ACTIVITIES MUST BE IN ACCORDANCE W AND THE CONDITIONS OF APPROVAL FOR THIS PLAT AND ALL OTHER DEVELOPMENT SUBDIVISION, AMONG OTHER THINGS, THERE ARE SPECIFIC CONDITIONS OF APPROVAL PRESERVATION AND RESTRICTING THE REMOVAL OF TREES FROM THE LOTS WHICH SH BY ALL LOT OWNERS. AS SET FORTH IN THE CONDITIONS OF PLAT APPROVAL, WHEN IN ORDER TO PRESERVE TREE(S) AND TREE CANOPY, THE BUILDING SETBACK TO AN LOTS #10, 11, 13, 14, 15, 19, 20 22, 23, 26, AND 28 MAY BE REDUCED TO A 5 FOC OF THE REQUIRED 7 FOOT ONE STORY AND 10 FOOT TWO STORY SIDE SETBACKS AND 25 FOOT REAR SETBACK. ALL OTHER LOTS SHALL MEET THE NORMAL R–2 ZONING DI F TREES ON THE "TREES TO BE SAVED" PLAN ON FILE WITH THE CITY WILL BE GRAN THE DATE OF RECORDING OF THIS PLAT UNLESS THE CITY ARBORIST DETERMINES THA FACTORS WARRANT THEIR REMOVAL.

VICINITY MAP MONREE AV (SCALE: 1" = 2 MILES) ELVIN AVE AI BERT EE PKW GLENON PKV LAKE KILLARNEY HEREBY SHORES REPRESEN RECENTLY SUPERVISIO AND PER ACCORDAN SURVEY D 177, FLORI LAKE KILLARNEY SURVEYOR' Registratio Florida Rea 3191 Magu

NOTICE

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AS PER 177.091 (27) F.A.C.

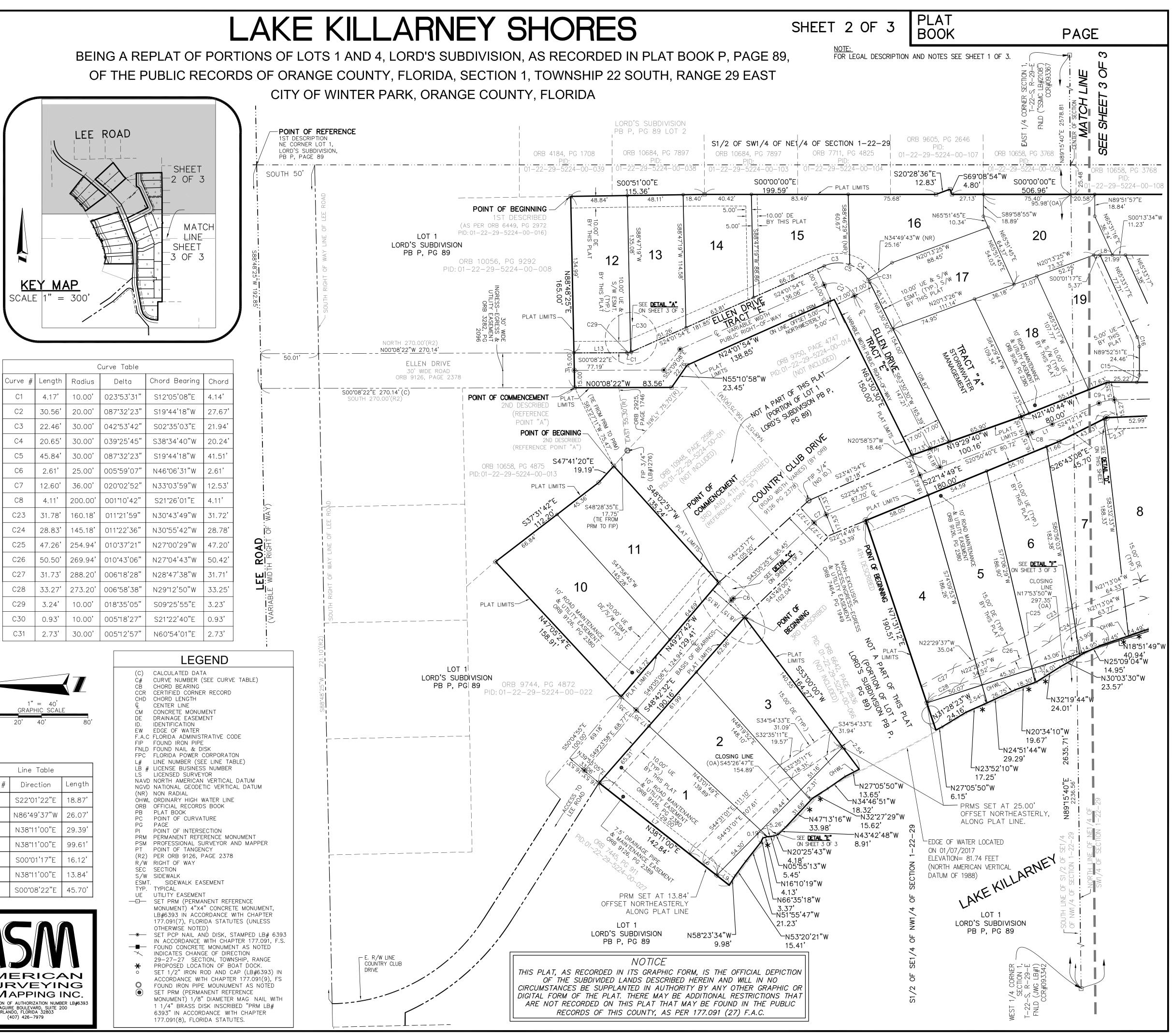
SHEET 1 OF 3	PLAT BOOK PAGE
P, PAGE 89,	LAKE KILLARNEY SHORES DEDICATION
29 EAST	KNOW ALL MEN BY THESE PRESENTS, That the limited liability company named below, being the owner in fee simple of the lands shown hereon, does hereby dedicate said lands and plat for the uses and purposes therein expressed, including as set forth in the Surveyor's Notes.
STERLY LINE OF COUNTRY CLUB DRIVE (SEE MAP SHEET 2 OF 3°42'32" E, AND AS PER SURVEY MAP PROVIDED BY THE CITY 12/17/99, CERTIFIED BY: G.L.CARTER, REGISTERED LAND	IN WITNESS WHEREOF, has caused these presents to be signed and attested to by the officers named below on theday of, 2018.
DN, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES GAS OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE OLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL ULAR ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY. WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY	Owner: Turner Real Property Investments, LLC, a Florida limited liability company
S). NEY SHORES HOMEOWNERS' ASSOCIATION, INC. FOR THE	BY: TITLE
MENT AND DRAINAGE SYSTEM. R PARK AND TO OTHER PUBLIC UTILITY SERVICE PROVIDERS FOR YPE. THE CITY OF WINTER PARK SHALL ONLY BE RESPONSIBLE	SIGNED AND SEALED IN THE PRESENCE OF:
ITILITY EASEMENTS DEPICTED ON THIS PLAT, AND THE CITY NY OTHER PURPOSE, INCLUDING IN REGARD TO THE SURFACE OF WINTER PARK'S UTILITY EASEMENT RIGHTS SHALL BE	SIGNATURE PRINTED NAME
SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO RED FOR, TRACT "A" AND DRAINAGE EASEMENTS INCLUDING, GRESS/EGRESS EASEMENT IS GRANTED IN FAVOR OF THE CITY SAID PURPOSE OVER SAID DRAINAGE EASEMENTS, AND OVER	SIGNATURE PRINTED NAME
TER PARK FOR THE OPERATION, REPAIR AND MAINTENANCE OF OF SIDEWALK IMPROVEMENTS THERIN. THE CITY OF WINTER PARK ITS IT INSTALLS OR ACCEPTS WITHIN ANY OF THE SIDEWALK IBILITY FOR MAINTENANCE OF THE EASEMENTS FOR ANY OTHER	ACKNOWLEDGEMENT STATE OF FLORIDA ORANGE COUNTY
E DECLARATION OF COVENANTS, CONDITIONS, EASEMENTS AND	THIS IS TO CERTIFY, That on, 2018, before me, an officer duly authorized to take acknowledgments in the State and County aforesaid, personally appeared , (title)
-WAY, IS HEREBY DEDICATED TO THE CITY OF WINTER PARK FOR AL PUBLIC'S VEHICULAR AND PEDESTRIAN ACCESS AND USE OF ITS, CONDITIONS, EASEMENTS AND RESTRICTIONS FOR LAKE	of Turner Real Property Investments, LLC, a limited liability company under the laws of the State of Florida, to me know to be the individual and officer described in and who executed the
OWNED AND MAINTAINED BY THE LAKE KILLARNEY SHORES AND FOR THE OTHER PURPOSES AS SET FORTH IN THE CORDED IN THE PUBLIC RECORDS. A NON-EXCLUSIVE DRAINAGE HROUGH TRACT "A" AND THE DRAINAGE EASEMENTS ADJACENT OPERATION, MAINTENANCE AND REPAIR OBLIGATIONS ON.	foregoing dedication and severally acknowledged the execution thereof to be his free act and deed as such officer there unto duly authorized; and that the said dedication for the uses and purposes therein expressed is the act and deed of said limited liability company.
BY THE INDIVIDUAL LOT OWNERS. (DEDICATED A NON-EXCLUSIVE, PERPETUAL EASEMENT OVER OR PEDESTRIAN, VEHICULAR AND BOAT ACCESS TO AND FROM CUE, PATROLLING AND RELATED MATTERS. THIS DOES NOT NO MAINTENANCE AND REPAIR OBLIGATIONS CONCERNING TRACT	IN WITNESS WHEREOF, I have hereto set my hand and seal on the above date
ASTERISK SYMBOL, SEE LEGEND). PURSUANT TO CITY DE SETBACKS AND NO MORE THAN THREE FEET. SIZE, HEIGHT ATERWAYS BOARD.	NOTARY PUBLIC My Commission Expires
TY SHORES HOMEOWNER'S ASSOCIATION, INC. AND OPERATED, AND THE PUBLIC RIGHT—OF—WAY AS FURTHER SET FORTH IN E RECORDED IN THE PUBLIC RECORDS.	CERTIFICATE OF APPROVAL, BY THE CITY OF WINTER PARK
HEREBY DISCLAIMS, RELEASES AND QUIT CLAIMS TO THE CITY OF Y OWNER MAY HAVE IN COUNTRY CLUB DRIVE AND TO ANY HIS PLAT AND COUNTRY CLUB DRIVE, WHETHER BEING INSIDE OR	THIS IS TO CERTIFY, That on, the
HOWN HEREON, THE STATE OF FLORIDA INTERNAL LAKE KILLARNEY LYING WATERWARD OF THE ORDINARY HIGH BY CITY OF WINTER PARK, DEPARTMENT OF PUBLIC WORKS D—1988 (82.8 NGVD—1929).	City Commission of the City of Winter Park, Florida approved the foregoing plat.
/ITH APPLICABLE CITY OF WINTER PARK CODES OF ORDINANCES ORDERS AND BUILDING PERMITS ISSUED CONCERNING THIS FOR THIS SUBDIVISION CONCERNING BUILDING SETBACKS, TREE ALL BE BINDING UPON THE LOTS AND MUST BE COMPLIED WITH	Steve Leary Mayor
DEEMED NECESSARY BY CITY'S URBAN FORESTRY PERSONNEL INTERIOR (SAME SUBDIVISION) PROPERTY LINE CONCERNING OT ONE STORY AND 8 FOOT TWO STORY SIDE SETBACK IN LIEU D A 15 FOOT SECOND STORY REAR IN LIEU OF THE REQUIRED	Attest:
NTED BY THE CITY FOR A PERIOD OF AT LEAST 25 YEARS FROM AT THEIR CONDITION, HEALTH OR OTHER NON-ECONOMIC	Cindy Bonham City Clerk
	CERTIFICATE OF APPROVAL BY CITY ENGINEER
	Examined & Approved: Date
	City Engineer Florida Registration No:
	CERTIFICATE OF REVIEW BY CITY SURVEYOR
	I have reviewed this plat and find it be in conformity with Chapter
	177, Florida Statutes.
SURVEYOR'S CERTIFICATE	Signed Date Florida Registration Number
CERTIFY THAT THIS PLAT IS A TRUE AND CORRECT TATION OF THE HEREON DESCRIBED LAND WHICH WAS SURVEYED AND PLATTED UNDER MY DIRECTION AND ON, AND THAT PERMANENT REFERENCE MONUMENTS MANENT CONTROL POINTS HAVE BEEN SET IN ICE WITH CHAPTER 177, FLORIDA STATUTES, AND THAT DATA COMPLIES WITH ALL REQUIREMENTS OF CHAPTER IDA STATUTES.	CERTIFICATE OF COUNTY COMPTROLLER I HEREBY CERTIFY that the foregoing plat was recorded in the Orange County Official Records onas File No County Comptroller in and for Orange County, Florida
'S NAME: JAMES D. FLICK, PSM DATE on Number: LS 6088 gistration Number of Legal Entity: LB 6393 vire Boulevard, Suite 200, Orlando FL 32803	

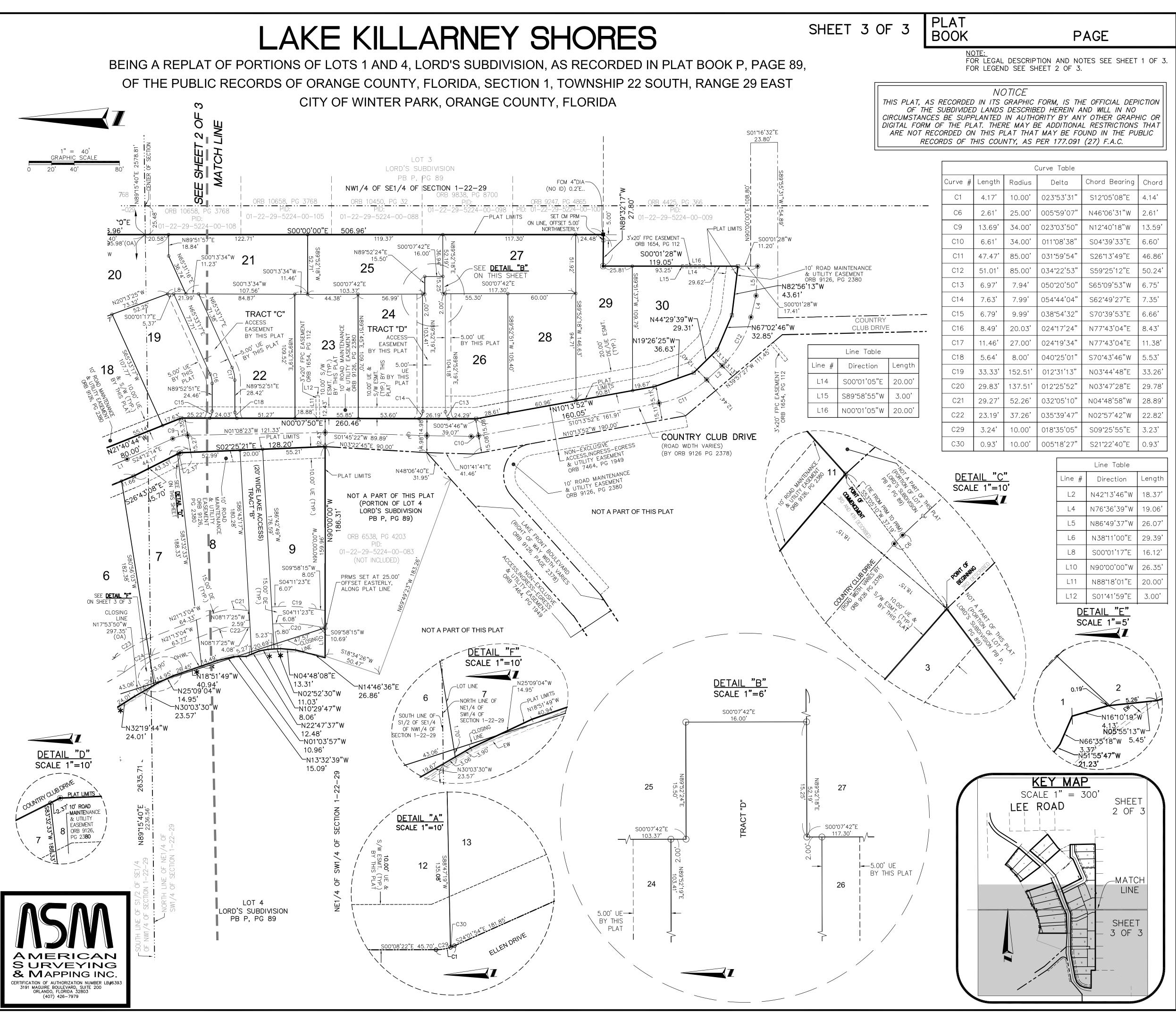
1" = 40 graphic scale				
	0	20' 40'	80'	
Line Table				
	Line #	Direction	Length	
	L1	S22°01'22"E	18.87'	
	L5	N86°49'37"W	26.07'	
	L6	N38°11'00"E	29.39'	
	L7	N38°11'00"E	99.61'	
	L8	S00°01'17"E	16.12'	
	L9	N38°11'00"E	13.84'	
	L13	S00°08'22"E	45.70 '	
AMERICAN				
SURVEYING & MAPPING INC.				
CERTIFICATION OF AUTHORIZATION NUMBER 18#6393				
	ORLAI (RE BOULEVARD, SUITE 2 NDO, FLORIDA 32803 407) 426-7979		

	-
1" = 40 [°] GRAPHIC SCALE	
	3 0'

 \sim

SCALE	= 1" =	300'	
		(Curve To
Curve #	Length	Radius	Delt
C1	4.17'	10.00'	023°53
C2	30.56'	20.00'	087°32
C3	22.46'	30.00'	042°53
C4	20.65'	30.00'	039°25
C5	45.84'	30.00'	087°32
C6	2.61'	25.00'	005°59
C7	12.60'	36.00'	020°02
C8	4.11'	200.00'	001°10
C23	31.78'	160.18'	011°21
C24	28.83'	145.18'	011°22
C25	47.26'	254.94'	010°37
C26	50.50'	269.94'	010°43
C27	31.73'	288.20'	006°18
C28	33.27'	273.20'	006°58
C29	3.24'	10.00'	018°35
C30	0.93'	10.00'	005°18
C31	2.73'	30.00'	005°12





Existing Buildings Inside and Within 200' of Killarney Shores

Property Address	Existing Setback (ft)
638 Country Club Drive	52
632 Country Club Drive	50
624/626 Country Club Drive	51.8
618/620 Country Club Drive	75.6
612 Country Club Drive	79.7
604/606 Country Club Drive	71.4
600/602 Country Club Drive	55
532/534 Country Club Drive	85.8
524 Country Club Drive	99.5
518 Country Club Drive	85.5
605 Lakefront Boulevard	50
595 Lakefront Boulevard	45

Existing Lakefront Setback Averages within 200' Per Lot

Lot 1	
Property Address	Existing Setback (ft)
612 Country Club Drive	79.7
618/620 Country Club Drive	75.6
624/626 Country Club Drive	51.8
632 Country Club Drive	50
638 Country Club Drive	52
Average	61.82

Lot 2

Property Address	Existing Setback (ft)
604/606 Country Club Drive	71.4
612 Country Club Drive	79.7
618/620 Country Club Drive	75.6
624/626 Country Club Drive	51.8
632 Country Club Drive	50
638 Country Club Drive	52
Average	63.4

Lot 3

Average	65.7
	50
	51.8
	75.6
	79.7
	71.4
	Existing Setback (ft)

Lot 4

Property Address		Existing Setback (ft)
600/602 Country Club Drive		55
604/606 Country Club Drive		71.4
612 Country Club Drive		79.7
618/620 Country Club Drive		75.6
	Average	70.4

Lot 5

Property Address	Existing Setback (ft)
524 Country Club Drive	99.5
600/602 Country Club Drive	55
604/606 Country Club Drive	71.4
612 Country Club Drive	79.7
618/620 Country Club Drive	75.6
Averag	je 76.2

Lots 6 & 7

71.4 79.7
/1.4
71 /
55
99.5
85.5
Existing Setback (ft)

Lot 8

Property Address	Existing Setback (ft)
605 Lakefront Boulevard	50
518 Country Club Drive	85.5
524 Country Club Drive	99.5
600/602 Country Club Drive	55
604/606 Country Club Drive	71.4
Average	72.3

Lot 9

Property Address		Existing Setback (ft)
605 Lakefront Boulevard		50
518 Country Club Drive		85.5
532/534 Country Club Drive		85.8
600/602 Country Club Drive		55
595 Lakefront Boulevard		45
	Average	64.3

Letter of Agreement

Lake Killarney, LLC (the Developer of Lake Killarney Shores) and David Robold (owner of 612 and 518 Country Club Drive, Winter Park, 32789) agree to the following regarding the setbacks and characteristics of the homes to be built on Lake Killarney as part of the Lake Killarney Shores development:

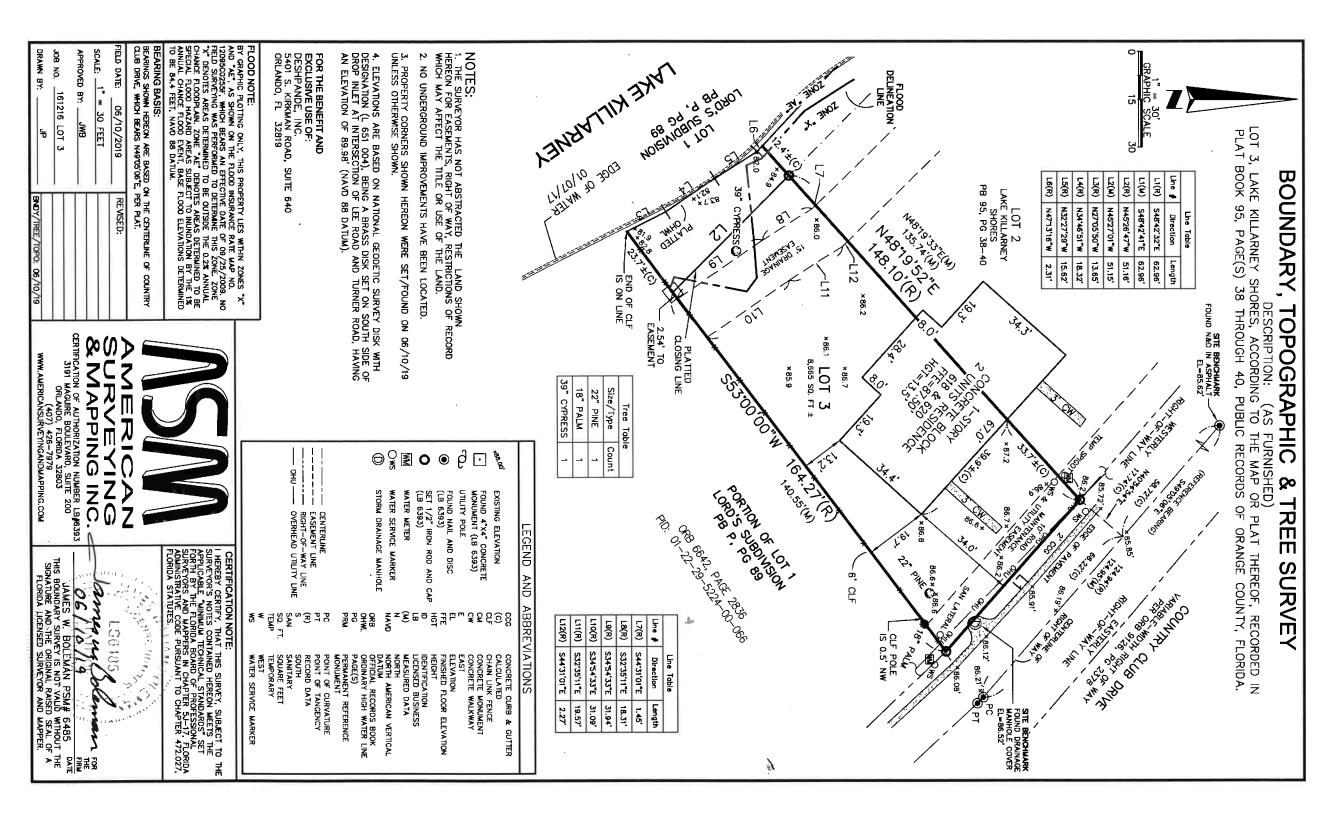
- Lot 1: Rear Setback 60'
- Lot 2: Rear Setback 61'
- Lot 3: Rear setback of 70' on the side adjacent to 612 Country Club Drive. Front setback reduced to 20'. Pool will be located furthest from 612 Country Club Drive and shall be at an elevation even to or recessed below ground level to avoid obstruction of views from 612 Country Club Drive.
- Lot 4: Rear setback 70'. Front setback reduced to 20'. Pool will be placed furthest from 612 Country Club Drive to avoid obstruction of views from 612 Country Club Drive.
- Lots 5-8: Rear setback of 70'.
- Lot 9: Rear setback of 85'. Front setback reduced to 20'. Pool will be located furthest from 518 Country Club Drive and shall be even to or recessed below ground level to avoid obstruction of views from 518 Country Club Drive.
- Pools can be placed between the agreed rear setback and the 50' lakefront setback.
- Pools on lots 3, 4, 8, and 9 will be at an elevation even to or recessed below ground level as necessary to insure those backyards are not at higher elevation compared to 612 and 518 Country Club Drive.
- Solid fence or privacy fence shall not extend beyond the rear corners of the house indoor living area at rear setback line. Beyond that point, the fence will be see-through picket fence.
- There will be no pool enclosures, cabanas, summer-kitchens, or similar type construction in the pool area or beyond the rear corners of the house indoor living area.
- Underground utilities will be attached to 518 and 612 Country Club Drive at no additional cost.
- All curbing will be replaced along right-of-way.
- Speed humps will be located in right-of-way north of the intersection of Country Club Drive and Lake Front Drive. However, they will not obstruct ingress/egress to the driveways located at 518 and 612 Country Club Drive.
 - This agreement is subject to final approval by the Winter Park City Commission.

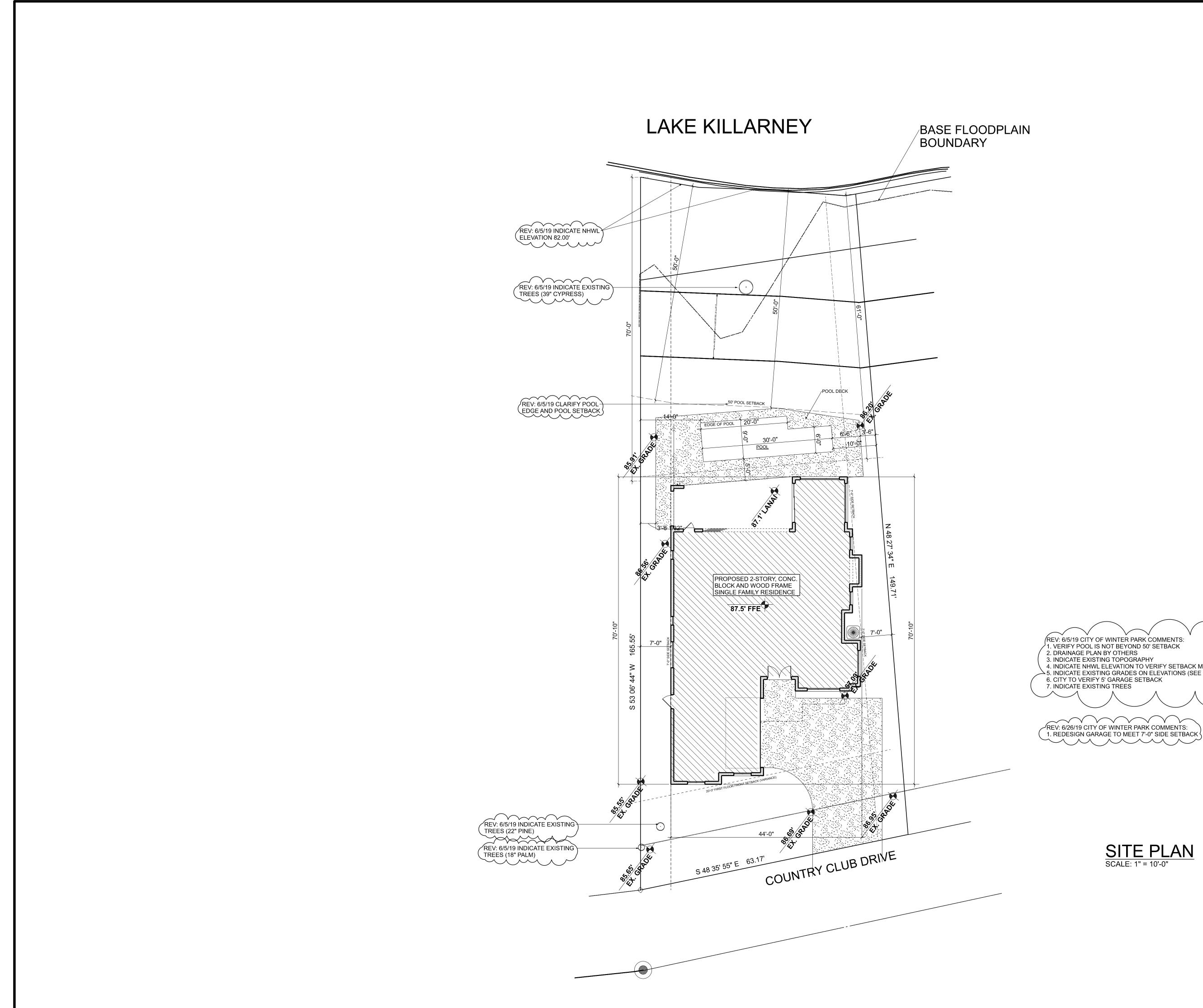
Date: 96208 IN Anil Deshpande

Lake Killarney, LLC 5401 S. Kirkman Road, Suite 640 Orlando, Florida 32819

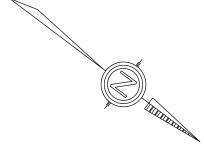
_Date: <u>9-//-/8</u> David Robold

7612 Country Club Drive Winter Park, Florida 32789





WINTER PARK DEVELOPMENT		
SINGLE FAMILY RESIDENCE	LOT 3 KILLARNEY	WINTER PARK, FLORIDA
DRAW	N: CM	1G
DATE:	6/20	6/19
A)



AREA TABULATIONS:

TOTAL UNDER ROOF 4595 SF

ALLOWED IMPERVIOUS 4329 SF (50%) PROPOSED IMPERVIOUS (BELOW)

TOTAL LOT COVERAGE 4154 SF (48.0%)

FIRST FLOOR SECOND FLOOR

TOTAL A/C

ENTRY

LANAI BALCONY

GARAGE

LOT AREA

SETBACKS

SIDE HOUSE

SIDE-2ND FLOOR SIDE-GARAGE

HOUSE COVERAGE

DRIVE/WALK POOL/DECK A/C PADS

FRONT REAR

1640 SF 1995 SF

3635 SF

30 SF 480 SF

360 SF

90 SF

8658 SF

10' 5'

2600 SF 790 SF 755 SF

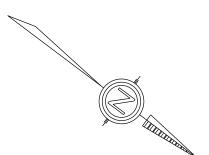
9 SF

20' AS INDICATED

(REV: 6/5/19 CITY OF WINTER PARK COMMENTS: 1. VERIFY POOL IS NOT BEYOND 50' SETBACK 2. DRAINAGE PLAN BY OTHERS 3. INDICATE EXISTING TOPOGRAPHY 4. INDICATE NHWL ELEVATION TO VERIFY SETBACK MEASUREMENTS 5. INDICATE EXISTING GRADES ON ELEVATIONS (SEE ELEVATION SHEETS) 6. CITY TO VERIFY 5' GARAGE SETBACK 7. INDICATE EXISTING TREES

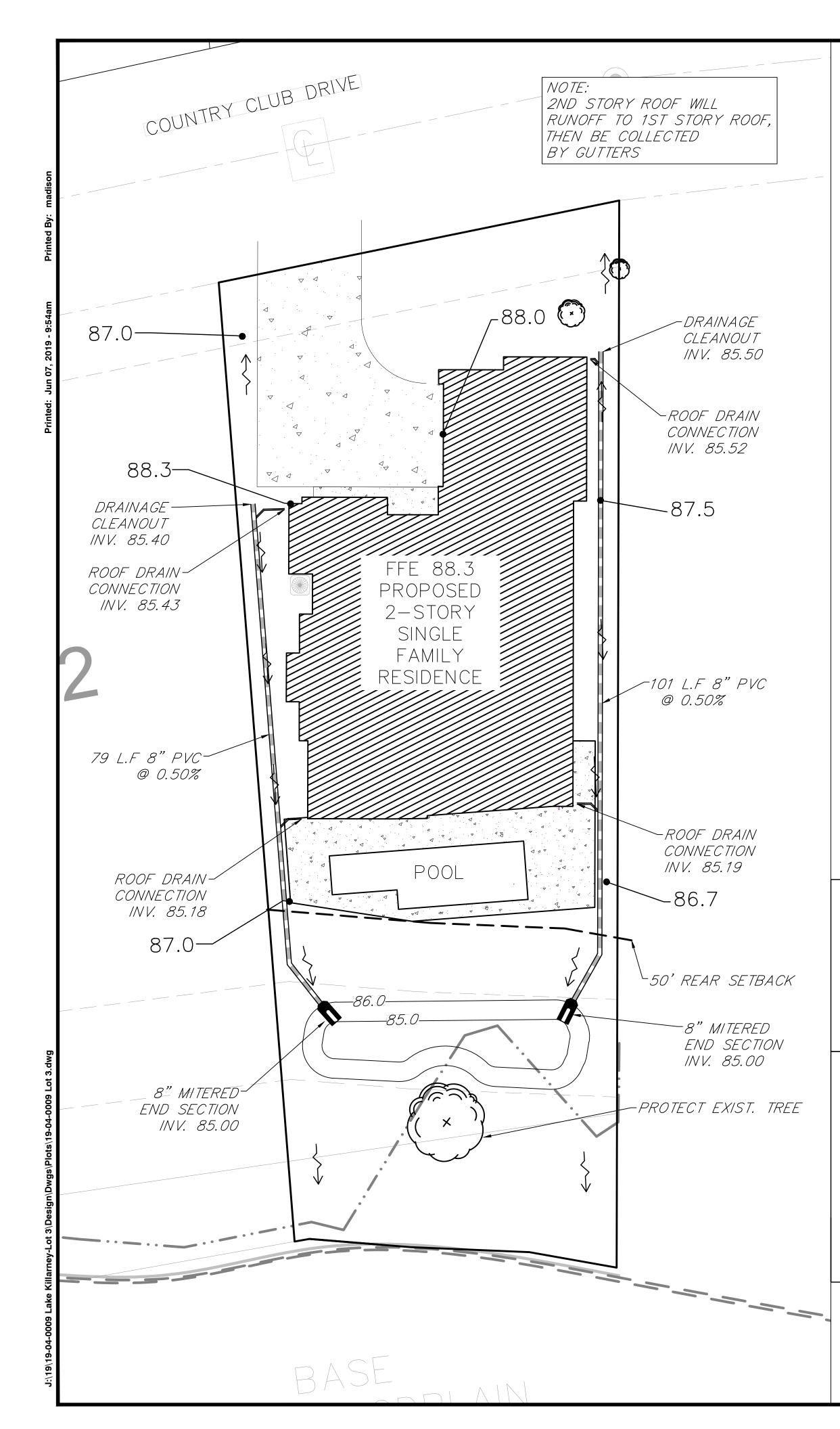
SITE PLAN

SCALE: 1" = 10'-0"









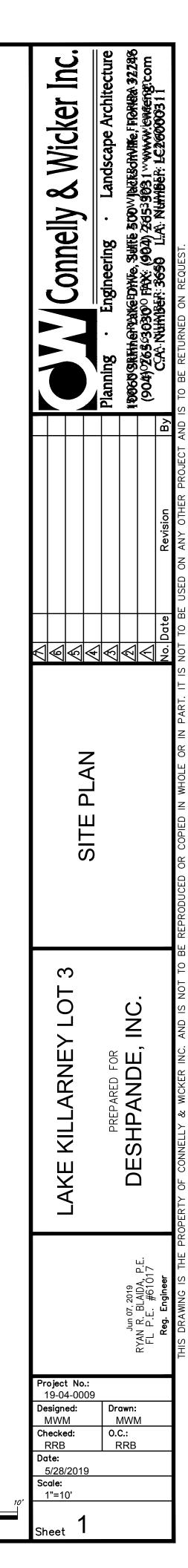
DRAWING INDEX:
C-1 SITE PLAN
SCOPE OF PROJECT:
CIVIL SITE PLAN FOR PAVING GRADING DRAINAGE ONLY.
LOCATION 616 COUNTRY CLUB DRIVE
WINTER PARK, FL 32789
(LOT 3 LAKE KILLARNEY SHORES)
<u>GENERAL CONSTRUCTION NOTES:</u> 1. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS OF THE JOB SITE AND REPORT ANY DISCREPANCIES OR CONDITIONS THAT ARE UNSAFE BEFORE PROCEEDING WITH THE WORK.
2. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW EACH AND EVERY
DETAIL. IT IS TO THE BEST OF THE ENGINEER'S KNOWLEDGE THAT
THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM CODES.
3. THE CONTRACTOR SHALL DO ALL WORK IN STRICT CONFORMANCE TO
THE PLANS, LOCAL CODES AND ORDINANCES, MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS (WHERE APPLICABLE), AND
ACCEPTABLE TRADE PRACTICES. IN THE EVENT OF CONFLICT BETWEEN THE ABOVE MENTIONED, THE MOST STRINGENT REQUIREMENTS SHALL
GOVERN THE WORK.
4. CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT
CANNOT BE OBTAINED FROM THE PLANS, DETAILS OR SECTIONS SHALL BE OBTAINED FROM TALL CASTLE ENGINEERING.
5. CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE
SET OF PLANS.
LEGEND
FLOW DIRECTION
UTILITY DESIGN INFO
TEXT
ALL ORGANIC MATERIAL &
COMPACTED BEFORE CONC IS CONSTRUCTED OF CLASS I 4000 PSI @ 28 DAYS
TYPICAL CONC SEC
NTS

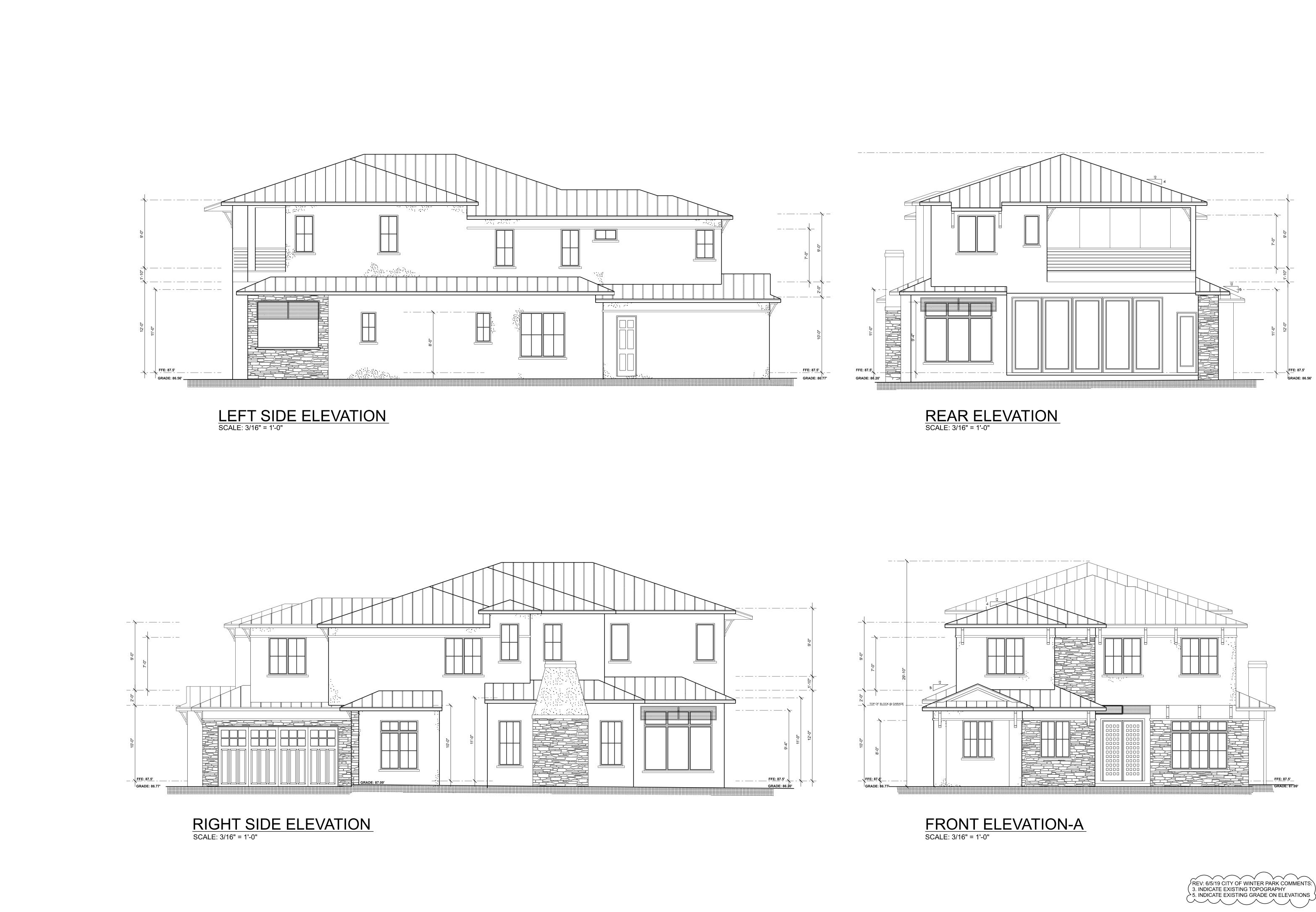
<u>LOT 4 YARD SWALE CALCULATIONS</u> BASIN: LOT 4 SWALE SHAPE: TRAPEZOIDAL

FRONT SLOPE (H: V):	3:1
BACK SLOPE (H: V):	3:1
BOTTOM WIDTH (FT):	7.0
SWALE DEPTH (FT):	1.0
SWALE LENGTH (FT):	37.8

PROVIDED WQV (CF): 369 PROVIDED WQV (AC–FT): 0.008 REQUIRED WQV (CF): 341

TOTAL LOT IMPERVIOUS AREA: 4,087 SF









401 South Park Avenue • Winter Park, Florida 32789

407-599-3324 • planning@cityofwinterpark.org cityofwinterpark.org

Planning & Community Development

Planning & Zoning Board Staff Report for July 9, 2019 Meeting

SPR#19-10 REQUEST OF CLASSIC HOMES FOR: APPROVAL TO CONSTRUCT A NEW, TWO-STORY, 4,473 SQUARE FOOT, SINGLE-FAMILY HOME LOCATED AT 570 COUNTRY CLUB DRIVE ON LAKE KILLARNEY, ZONED R-2.

Background: Classic Homes is requesting site plan approval to construct a new two-story, 4,473 square-foot, single-family home at 570 Country Club Drive, which is located on Lake Killarney, and is zoned R-2. This property measures 10,082 square feet, and is also known as Lot 4 of the Lake Killarney Shores replat that was approved by the Commission on April 9, 2018. A copy of the plat is attached. Below is a table summarizing this request in comparison to the R-2 zoning/lakefront lot requirements. Items in bold indicate a variance request as part of this site plan review.

Table 1:

	R-2/Lakefront Lot Requirements	Proposed
Floor Area Ratio	Max 55%	4,473 square feet/44%
Impervious Lot Coverage	Max 65%	4,657 square feet/46%
Lakefront Setback	70 feet	70 feet

Note: Items in bold indicate a variance request.

Tree Preservation: The purpose and intent of the lakefront lots section of the code states that existing trees shall be preserved to the degree reasonably possible, and the appearance of the property and the shore when viewed from the water will be kept as natural as reasonably possible. The applicant is not proposing to remove any trees onsite as part of this request.

View From The Lake: The code limits walls and swimming pool decks facing the lake in excess of three feet in height. Since this lot is relatively flat, there are no grade-drop issues throughout the length of this lot and the applicant is proposing a pool/deck that meets this code requirement.

View of Neighbors: The purpose and intent of the lakefront lots section of the code is to ensure that the views of the lake from adjoining properties will not be unduly impaired by new houses, additions, second story additions, etc. In order to achieve this, the code states that the lakefront setback shall be the average established by the adjacent lakefront properties within 200 feet of the subject property, or 50 feet, whichever is greater. However, the P&Z Board does have the authority to approve setbacks less than the average determined, or impose more restrictive setbacks.

During the replat of this Lake Killarney Shores subdivision, there was significant discussion about the lake front views of the adjoining neighbors to this subdivision at both the P&Z Board and Commission meetings. At the Commission meeting it was decided that the lakefront average setback will be established by the setback of the existing homes along the lake within 200 feet of each request (even though they have subsequently been demolished).

Staff has determined that the average lakefront setback for this lot (known as Lot 4 of the attached plat) is approximately 70 feet from the lake (see attached analysis). The applicant/builder is proposing a 70-foot setback from the lake to the home, which is consistent with the averages determined by staff, and a 50-foot setback to the pool deck. Also, the applicant has provided a letter signed by the developer/owner of the Lake Killarney replat properties nearest to this lot and the nearest affected neighbor to this lot (owner of 612 Country Club Drive), that states an agreed-upon building setback of 70 feet from the lake, and pool setback of 50 feet from the lake. The applicant is conforming to the average determined by staff and this agreement.

Stormwater Retention: The code requires retention of stormwater so that stormwater flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. The amount of impervious surface on the lot determines the depth/size of the retention needed. The applicant is proposing roof drains and storm pipes that connect to a storm water swale near the lakefront that is sized to meet code requirements.

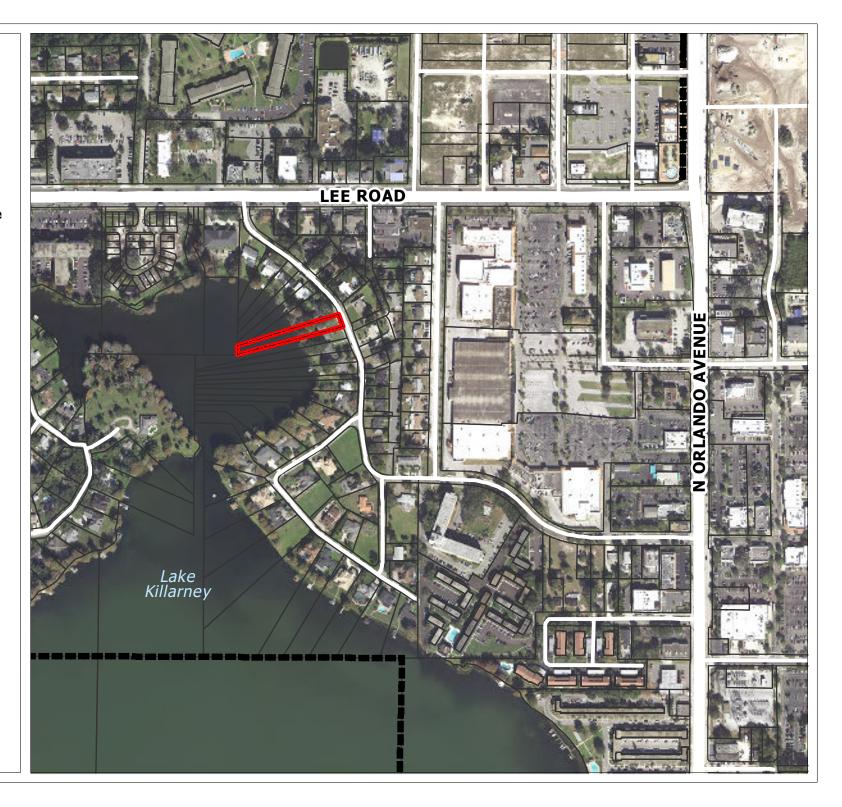
Summary: The applicant is proposing an addition that is compatible with the natural grade of the property, is ensuring that water pollution from stormwater runoff and other sources will be minimized, and is preserving existing trees to the degree reasonably possible so that the appearance of the property and the shore when viewed from the water will be kept as natural as reasonably possible. Overall, the plans meet the intent of the lakefront review criteria defined in the code.

STAFF RECOMMENDATION IS FOR APPROVAL



LOCATION MAP 570 Country Club Drive

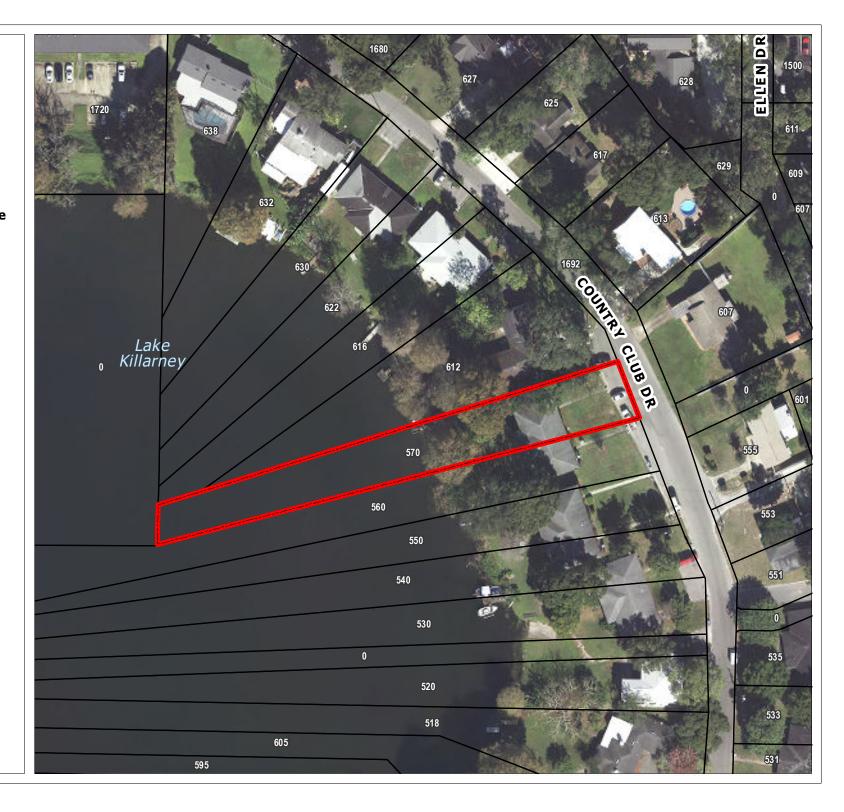
City of Winter Park Florida





LOCATION MAP 570 Country Club Drive

> City of Winter Park Florida



BEING A REPLAT OF PORTIONS OF LOTS 1 AND 4, LORD'S SUBDIVISION, AS RECORDED IN PLAT BOOK F OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, SECTION 1, TOWNSHIP 22 SOUTH, RANGE CITY OF WINTER PARK, ORANGE COUNTY, FLORIDA

LEGAL DESCRIPTION:

PARCELS OF LAND BEING A PORTION OF LOTS 1 AND 4, LORD'S SUBDIVISION, AS RECORDED IN PLAT BOOK P, PAGE 89, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LYING WITHIN SECTION 1, TOWNSHIP 22 SOUTH, RANGE 29 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS: (1ST DESCRIBED)

BEGIN AT A IRON PIPE (NO ID) MARKING THE NORTHEAST CORNER OF THAT PARTICULAR PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 6449, PAGE 2972, (FOR A POINT OF REFERENCE, SAID POINT IS THE FOLLOWING THREE (3) COURSES FROM THE NORTHEAST CORNER OF SAID LOT 1, LORD'S SUBDIVISION: (1) SOUTH 88°48'25" WEST, A DISTANCE OF 192.85 FEET (2) SOUTH 00°08'22" EAST, A DISTANCE OF 270.14 FEET, AND (3) NORTH 88°48'25" EAST, A DISTANCE OF 165.00 FEET). THENCE, FROM SAID POINT OF BEGINNING, RUN SOUTH 00°51'00" EAST, ALONG THE WESTERLY LINE OF THOSE PARTICULAR PROPERTIES AS DESCRIBED IN OFFICIAL RECORDS BOOK 4184, PAGE 1708 AND BOOK 10684, PAGE 7897, FOR A DISTANCE OF 115.36 FEET; THENCE RUN SOUTH 00'00'00"EAST, ALONG THE WESTERLY LINE OF THOSE PARTICULAR PROPERTIES AS DESCRIBED IN OFFICIAL RECORDS BOOKS 10684, PAGE 7897; BOOK 7711, PAGE 4825; AND BOOK 9605, PAGE 2646, FOR A DISTANCE OF 199.59 FEET; THENCE CONTINUE SOUTH 20°28'36"EAST, ALONG SAID WESTERLY LINE, FOR A DISTANCE OF 12.83 FEET; THENCE CONTINUE SOUTH 69'08'54" WEST. FOR A DISTANCE OF 4.80 FEET: THENCE RUN SOUTH 00'00'00" EAST ALONG THE WESTERLY LINE OF THOSE PARTICULAR PROPERTIES AS DESCRIBED IN OFFICIAL RECORDS BOOKS 9605, PAGE 2646; BOOK 10658, PAGE 3768; BOOK 10450, PAGE 32; BOOK 9838, PAGE 8700; AND BOOK 9247, PAGE 4865, FOR A DISTANCE OF 506.96 FEET TO A POINT ON THE NORTH LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 4425, PAGE 366; THENCE RUN NORTH 89"32'17" WEST, ALONG SAID NORTH PROPERTY LINE, FOR A DISTANCE OF 27.80 FEET TO THE NORTHWEST CORNER OF SAID PROPERTY; THENCE SOUTH 00°01'28" WEST, ALONG THE WESTERLY LINE OF SAID PROPERTY, FOR A DISTANCE OF 119.05 FEET TO A POINT ON THE NORTHERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORD BOOK 9126, PAGE 2378 (KNOWN AS COUNTRY CLUB DRIVE); THENCE RUN ALONG THE NORTHERLY AND EASTERLY LINES OF SAID PROPERTY (COUNTRY CLUB DRIVE) THE FOLLOWING EIGHT (8) COURSES: (1) NORTH 82°56'13" WEST, FOR A DISTANCE OF 43.61 FEET; (2) NORTH 67'02'46" WEST, FOR A DISTANCE OF 32.85 FEET; (3) NORTH 44'29'39" WEST, FOR A DISTANCE OF 29.31 FEET; (4) NORTH 19°26'25" WEST, FOR A DISTANCE OF 36.63 FEET; (5) NORTH 10°13'52" WEST, FOR A DISTANCE OF 160.05 FEET; (6) NORTH 00°07'50" EAST, FOR A DISTANCE OF 260.46 FEET; (7) NORTH 21'40'44" WEST, FOR A DISTANCE OF 80.00 FEET; (8) NORTH 19'29'40" WEST, FOR A DISTANCE OF 100.16 FEET TO THE MOST SOUTHERLY CORNER OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 9750, PAGE 4747; THENCE DEPARTING SAID EASTERLY PROPERTY LINE (COUNTRY CLUB DRIVE), RUN NORTH 63'30'30"EAST, ALONG THE SOUTHERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 9750, PAGE 4747, FOR A DISTANCE OF 150.00 FEET TO THE SOUTHEAST CORNER OF SAID PROPERTY; THENCE NORTH 24'01'54" WEST, ALONG THE EASTERLY LINE OF SAID PROPERTY, FOR A DISTANCE OF 138.85 FEET TO THE MOST NORTHERLY CORNER OF SAID PROPERTY: THENCE NORTH 55'10'58" WEST, FOR A DISTANCE OF 23.45 FEET TO A POINT ON THE EAST LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 2925, PAGE 1746: THENCE RUN NORTH 00'08'22" WEST, ALONG THE EAST PROPERTY LINE OF THOSE PARTICULAR PROPERTIES AS DESCRIBED IN OFFICIAL RECORDS BOOK 2925, PAGE 1746 AND OFFICIAL RECORDS BOOK 10658, PAGE 4875, FOR A DISTANCE OF 83.56 FEET TO THE SOUTHWEST CORNER OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 9126, PAGE 2378 (KNOWN AS ELLEN DRIVE), SAID POINT DESIGNATED HEREIN AS REFERENCE POINT "A"; THENCE RUN NORTH 88'48'25" EAST, ALONG THE SOUTH LINE OF SAID PROPERTY (ELLEN DRIVE) AND THE SOUTH LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORD BOOK 10056, PAGE 9292, FOR A DISTANCE OF 165.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 145,116 SQUARE FEET OR 3.331 ACRES, MORE OR LESS. ALONG WITH (2ND DESCRIBED):

COMMENCING AT THE AFOREMENTIONED REFERENCE POINT "A", BEING THE SOUTHWEST CORNER OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 9126, PAGE 2378 (KNOWN AS ELLEN DRIVE); THENCE RUN SOUTH 63"27'11" WEST, FOR A DISTANCE OF 75.47 FEET TO THE MOST NORTHERLY CORNER OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 10948, PAGE 2596, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, FOR A POINT OF BEGINNING; THENCE RUN SOUTH 48°02'57" WEST, ALONG THE NORTHWESTERLY LINE OF SAID PROPERTY, FOR A DISTANCE OF 135.24 FEET TO THE NORTHEASTERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 9126, PAGE 2378 (KNOWN AS COUNTRY CLUB DRIVE), SAID POINT DESIGNATED HEREIN AS REFERENCE POINT "B"; THENCE NORTH 49"27'42" WEST, ALONG SAID NORTHEASTERLY PROPERTY LINE (COUNTRY CLUB DRIVE), FOR A DISTANCE OF 129.41 FEET, TO THE MOST SOUTHERLY CORNER OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 9744, PAGE 4872; THENCE NORTH 47°05'24"EAST, ALONG THE SOUTHEASTERLY LINE OF SAID PROPERTY, FOR A DISTANCE OF 158.91 FEET TO THE MOST EASTERLY CORNER OF SAID PROPERTY, SAID POINT ALSO LYING ON THE WESTERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 10658, PAGE 4875; THENCE SOUTH 37'31'42"EAST, ALONG SAID WESTERLY PROPERTY LINE, FOR A DISTANCE OF 112.20 FEET; THENCE SOUTH 47'41'20"EAST, CONTINUING ALONG SAID WESTERLY PROPERTY LINE, FOR A DISTANCE OF 19.19 FEET, TO THE POINT OF BEGINNING.

CONTAINING 18,880 SQUARE FEET, OR 0.433 ACRES, MORE OR LESS. ALONG WITH (3RD DESCRIBED):

COMMENCING AT A 3/4-INCH IRON PIPE (NO ID) BEING THE AFOREMENTIONED REFERENCE POINT "B", THENCE RUN SOUTH 53'05'10" WEST, CROSSING SAID COUNTRY CLUB DRIVE (AS DESCRIBED IN OFFICIAL RECORD BOOK 9126, PAGE 2378), FOR A DISTANCE OF 37.19 FEET. TO A POINT ON THE SOUTHWESTERLY LINE OF SAID PARCEL AND THE POINT OF BEGINNING, SAID POINT ALSO BEING THE MOST NORTHERLY CORNER OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 6642, PAGE 2836: THENCE RUN SOUTH 53'00'00" WEST, ALONG THE NORTHERLY LINE OF SAID PROPERTY, FOR A DISTANCE OF 164.27 FEET, MORE OR LESS, TO THE ORDINARY HIGH WATER LINE OF LAKE KILLARNEY; THENCE RUN NORTHWESTERLY ALONG SAID ORDINARY HIGH WATER LINE, THE FOLLOWING TWELVE (12) COURSES: (1) NORTH 27°05'50" WEST, FOR A DISTANCE OF 13.65 FEET; (2) NORTH 34°46'51" WEST, FOR A DISTANCE OF 18.32 FEET; (3) NORTH 32°27'29" WEST, FOR A DISTANCE OF 15.62 FEET; (4) NORTH 47"13'16" WEST, FOR A DISTANCE OF 33.98 FEET; (5) NORTH 43"42'48" WEST, FOR A DISTANCE OF 8.91 FEET; (6) NORTH 20°25'43" WEST, FOR A DISTANCE OF 4.18 FEET; (7) NORTH 05°55'13" WEST, FOR A DISTANCE OF 5.45 FEET: (8) NORTH 16"10'19" WEST. FOR A DISTANCE OF 4.13 FEET: (9) NORTH 66"35'18" WEST. FOR A DISTANCE OF 3.37 FEET: (10) NORTH 51°55'47" WEST, FOR A DISTANCE OF 21.23 FEET; (11) NORTH 53°20'21" WEST, FOR A DISTANCE OF 15.41 FEET; (12) NORTH 58°23'34" WEST, FOR A DISTANCE OF 9.98 FEET TO A POINT ON THE SOUTHEASTERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 7445, PAGE 911; THENCE NORTH 3811'00"EAST, ALONG SAID SOUTHEASTERLY PROPERTY LINE FOR A DISTANCE OF 142.84 FEET, MORE OR LESS, TO A POINT ON THE SOUTHWESTERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORD BOOK 9126, PAGE 2378 (KNOWN AS COUNTRY CLUB DRIVE); THENCE SOUTH 48°42'32" EAST, ALONG SAID SOUTHWESTERLY LINE, FOR A DISTANCE OF 190.16 FEET TO THE POINT OF BEGINNING.

ALONG WITH (4TH DESCRIBED):

COMMENCING AT A 3/4-INCH IRON PIPE (NO ID) BEING THE AFOREMENTIONED REFERENCE POINT "B", THENCE RUN SOUTH 53°05'10" WEST, CROSSING SAID COUNTRY CLUB DRIVE (AS DESCRIBED IN OFFICIAL RECORD BOOK 9126, PAGE 2378), FOR A DISTANCE OF 37.19 FEET, TO A POINT ON THE SOUTHWESTERLY LINE OF SAID PARCEL; THENCE SOUTH 43*49'00"EAST, ALONG SAID SOUTHWESTERLY PROPERTY LINE, FOR A DISTANCE OF 102.04 FEET; THENCE SOUTH 22"14'49" EAST, CONTINUING ALONG SAID PROPERTY LINE, FOR A DISTANCE OF 33.39 FEET TO THE POINT OF BEGINNING; THENCE RUN SOUTH 2214'49"EAST, CONTINUING ALONG SAID PROPERTY LINE, FOR A DISTANCE OF 180.00 FEET TO AN ANGLE BREAK: THENCE SOUTH 26°43'08" FAST, CONTINUING ALONG SAID PROPERTY LINE, FOR A DISTANCE OF 45.70 FEET TO AN ANGLE BREAK; THENCE SOUTH 02°25'21"EAST, CONTINUING ALONG SAID PROPERTY LINE, FOR A DISTANCE OF 128.20 FEET TO A POINT ON THE NORTHERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 6538, PAGE 4203; THENCE DEPARTING SAID RIGHT OF WAY LINE, RUN NORTH 90'00'WEST, ALONG THE NORTHERLY LINE OF SAID PROPERTY, FOR A DISTANCE OF 186.31 FEET, MORE OR LESS, TO THE ORDINARY HIGH WATER LINE OF LAKE KILLARNEY; THENCE RUN NORTHWESTERLY ALONG SAID ORDINARY HIGH WATER LINE THE FOLLOWING SIXTEEN (16) COURSES: (1) NORTH 14°46'36"EAST, FOR A DISTANCE OF 26.86 FEET; (2) NORTH 04°48'08"EAST, FOR A DISTANCE OF 13.31 FEET; (3) NORTH 02*52'30" WEST, FOR A DISTANCE OF 11.03 FEET; (4) NORTH 10*29'47" WEST, FOR A DISTANCE OF 8.06 FEET; (5) NORTH 22'47'37" WEST, FOR A DISTANCE OF 12.48 FEET; (6) NORTH 01'03'57" WEST, FOR A DISTANCE OF 10.96 FEET; (7) NORTH 13'32'39" WEST, FOR A DISTANCE OF 15.09 FEET; (8) NORTH 18'51'49" WEST, FOR A DISTANCE OF 40.94 FEET; (9) NORTH 25'09'04" WEST, FOR A DISTANCE OF 14.95 FEET; (10) NORTH 30°03'30" WEST, FOR A DISTANCE OF 23.57 FEET; (11) NORTH 32°19'44" WEST, FOR A DISTANCE OF 24.01 FEET; (12) NORTH 20'34'10" WEST, FOR A DISTANCE OF 19.67 FEET; (13) NORTH 24'51'44" WEST, FOR A DISTANCE OF 29.29 FEET; (14) NORTH 23°52'10" WEST, FOR A DISTANCE OF 17.25 FEET; (15) NORTH 31°28'23" WEST, FOR A DISTANCE OF 24.16 FEET; (16) NORTH 27°05'50" WEST, FOR A DISTANCE OF 6.15 FEET TO A POINT ON THE SOUTHERLY LINE OF THAT PARTICULAR PROPERTY AS DESCRIBED IN OFFICIAL RECORDS BOOK 6642, PAGE 2836; THENCE RUN NORTH 71'31'12"EAST, ALONG SAID SOUTHERLY PROPERTY LINE, FOR A DISTANCE OF 190.51 FEET TO THE POINT OF BEGINNING.

CONTAINING 58,782 SQUARE FEET, OR 1.349 ACRES, MORE OR LESS. FOR AN AGGREGATE TOTAL OF 247,786 SQUARE FEET, OR 5.688 ACRES, MORE OR LESS.

AND

ORANGE COUNTY, FLORIDA.



LAKE KILLARNEY SHORES

CONTAINING 25,008 SQUARE FEET, OR 0.574 ACRES, MORE OR LESS.

TOGETHER WITH THAT CERTAIN EASEMENT RECORDED IN O.R. BOOK 3282, PAGE 2096, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

TOGETHER WITH THAT DECLARATION OF ACCESS AND UTILITY EASEMENT RECORDED IN O.R. BOOK 7464, PAGE 1949, PUBLIC RECORDS OF

SURVEYOR'S NOTES:

- 1. THE BEARINGS SHOWN HEREON ARE BASED ON A PORTION OF THE MONUMENTED WES 3), PER OFFICIAL RECORDS BOOK 9126, PAGE 2378, AS HAVING A BEARING OF S 48 OF WINTER PARK, PREPARED BY: HENRICH, TROTTER, CARTER & AYERS, INC., DATED SURVEYOR NO. 2435, DATE: 5/15/01.
- . ALL PLATTED UTILITY EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTIO TELEVISION SERVICES PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC. TELEPHONE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE S NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICL SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY THE FLORIDA PUBLIC SERVICE COMMISSION. (SECTION 177.091 (28), FLORIDA STATUTE:
- . DRAINAGE EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED TO THE LAKE KILLARI OPERATION, MAINTENANCE AND REPAIR OF THE SUBDIVISION'S STORMWATER MANAGEM
- 4. UTILITY EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED TO THE CITY OF WINTER THE OPERATION, INSTALLATION, MAINTENANCE AND REPAIR OF UTILITIES OF EVERY T FOR THE MAINTENANCE OF UTILITIES IT INSTALLS OR ACCEPTS WITHIN ANY OF THE L SHALL NOT HAVE ANY RESPONSIBILITY FOR MAINTENANCE OF THE EASEMENTS FOR A IMPROVEMENTS, SOD AND LANDSCAPING AND UTILITIES OWNED BY OTHERS. THE CITY SUPERIOR TO THAT OF OTHER UTILITY OWNERS IN THE EVENT OF A CONFLICT.
- 5. THE CITY OF WINTER PARK AND THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT ACCESS, MAINTAIN, REPAIR, REPLACE OR OTHERWISE CARE FOR OR CAUSE TO BE CA WITHOUT LIMITATION THE DRAINAGE SYSTEMS CONSTRUCTED THEREON. A BLANKET INC OF WINTER PARK AND/OR THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT FOR TRACT "A".
- 6. SIDEWALK EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED TO THE CITY OF WINT PUBLIC SIDEWALKS AND FOR THE GENERAL PUBLIC'S PEDESTRIAN ACCESS AND USE SHALL ONLY BE RESPONSIBLE FOR THE MAINTENANCE OF THE SIDEWALK IMPROVEMEN EASEMENTS DEPICTED ON THIS PLAT, AND THE CITY SHALL NOT HAVE ANY RESPONSI PURPOSE
- 7. LOT OWNERS SHALL BE RESPONSIBLE TO MAINTAIN THEIR LOTS AS SET FORTH IN THE RESTRICTIONS FOR LAKE KILLARNEY.
- 8. TRACT "E" (PUBLIC RIGHT-OF-WAY), AN EXTENSION OF THE ELLEN DRIVE RIGHT-OF-THE OPERATION, REPAIR AND MAINTENANCE OF THE RIGHT-OF-WAY FOR THE GENERA
- THE ROADWAY IMPROVEMENTS THEREON. 9. THIS SUBDIVISION IS SUBJECT TO AND GOVERNED BY THE DECLARATION OF COVENAN KILLARNEY SHORES.
- 10. TRACT "A" (STORMWATER MANAGEMENT) AND TRACT "B" (LAKE ACCESS) SHALL BE HOMEOWNERS' ASSOCIATION, INC. FOR THE BENEFIT OF THE OWNERS OF LOTS 1-30 DECLARATION OF COVENANTS, CONDITIONS, EASEMENTS AND RESTRICTIONS TO BE REC EASEMENT IS HEREBY GRANTED TO THE CITY OF WINTER PARK OVER, UNDER, AND TH TO THE PUBLIC RIGHTS-OF-WAY. THE CITY OF WINTER PARK SHALL NOT HAVE ANY CONCERNING TRACT "A", TRACT "B" OR ANY DRAINAGE EASEMENTS DEDICATED HEREC
- 11. EACH DRAINAGE EASEMENT AREA ON LOTS 1-11 AND 26-30 MUST BE MAINTAINED E 12. THE CITY OF WINTER PARK AND ITS OFFICERS, EMPLOYEES AND AGENTS ARE HEREBY
- AND THROUGH TRACT "B" (20' WIDE LAKE ACCESS) AND IMPROVEMENTS THEREON FO LAKE KILLARNEY AND PUBLIC RIGHTS-OF-WAY FOR MAINTENANCE, SEARCH AND RESC CREATE A PUBLIC RIGHT OF USE AND ACCESS IN TRACT "B". THE CITY SHALL HAVE
- 13. DOCKS/BOATHOUSES SHALL BE LOCATED ONLY WHERE INDICATED ON THIS PLAT (BY COMMISSION APPROVAL, SUCH DOCKS/BOATHOUSES MAY BE LOCATED WITH ZERO SIDI AND DIMENSIONS SHALL BE PERMITTED BY THE CITY OF WINTER PARK LAKES AND WA
- 14. ACCESS EASEMENT TRACT "C" AND "D" SHALL BE CONVEYED TO THE LAKE KILLARNE REPAIRED AND MAINTAINED FOR INGRESS AND EGRESS TO AND FROM CERTAIN LOTS THE DECLARATION OF COVENANTS, CONDITIONS, EASEMENTS AND RESTRICTIONS TO BE
- 15. THE DEDICATOR/PROPERTY OWNER FOR ITSELF AND ITS SUCCESSORS AND ASSIGNS H WINTER PARK AND ANY AND ALL RIGHTS, TITLE AND INTERESTS DEDICATOR/PROPERT GAPS AND GORES THAT MAY EXIST BETWEEN THE PROPERTY BEING SUBDIVIDED BY T OUTSIDE THE BOUNDARIES OF THIS PLAT.
- 16. REGARDLESS OF THE TRACT AND LOT BOUNDARIES ADJACENT TO LAKE KILLARNEY SH IMPROVEMENT TRUST FUND OWNS TITLE, AS SOVEREIGN LANDS, TO THOSE LANDS OF WATER LINE (OHWL). ORDINARY HIGH WATER ELEVATION IS BASED ON A PUBLICATION (LAKES DIVISION), WHICH LISTS THE ORDINARY HIGH WATER ELEVATION AS: 82.0 NAVI
- 17. ALL SITE CONSTRUCTION AND TREE REMOVAL ACTIVITIES MUST BE IN ACCORDANCE W AND THE CONDITIONS OF APPROVAL FOR THIS PLAT AND ALL OTHER DEVELOPMENT SUBDIVISION, AMONG OTHER THINGS, THERE ARE SPECIFIC CONDITIONS OF APPROVAL PRESERVATION AND RESTRICTING THE REMOVAL OF TREES FROM THE LOTS WHICH SH BY ALL LOT OWNERS. AS SET FORTH IN THE CONDITIONS OF PLAT APPROVAL, WHEN IN ORDER TO PRESERVE TREE(S) AND TREE CANOPY, THE BUILDING SETBACK TO AN LOTS #10, 11, 13, 14, 15, 19, 20 22, 23, 26, AND 28 MAY BE REDUCED TO A 5 FOC OF THE REQUIRED 7 FOOT ONE STORY AND 10 FOOT TWO STORY SIDE SETBACKS AND 25 FOOT REAR SETBACK. ALL OTHER LOTS SHALL MEET THE NORMAL R–2 ZONING DI F TREES ON THE "TREES TO BE SAVED" PLAN ON FILE WITH THE CITY WILL BE GRAN THE DATE OF RECORDING OF THIS PLAT UNLESS THE CITY ARBORIST DETERMINES THA FACTORS WARRANT THEIR REMOVAL.

VICINITY MAP MONREE AV (SCALE: 1" = 2 MILES) ELVIN AVE AI BERT EE PKW GLENON PKV LAKE KILLARNEY HEREBY SHORES REPRESEN RECENTLY SUPERVISIO AND PER ACCORDAN SURVEY D 177, FLORI LAKE KILLARNEY SURVEYOR' Registratio Florida Rea 3191 Magu

NOTICE

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AS PER 177.091 (27) F.A.C.

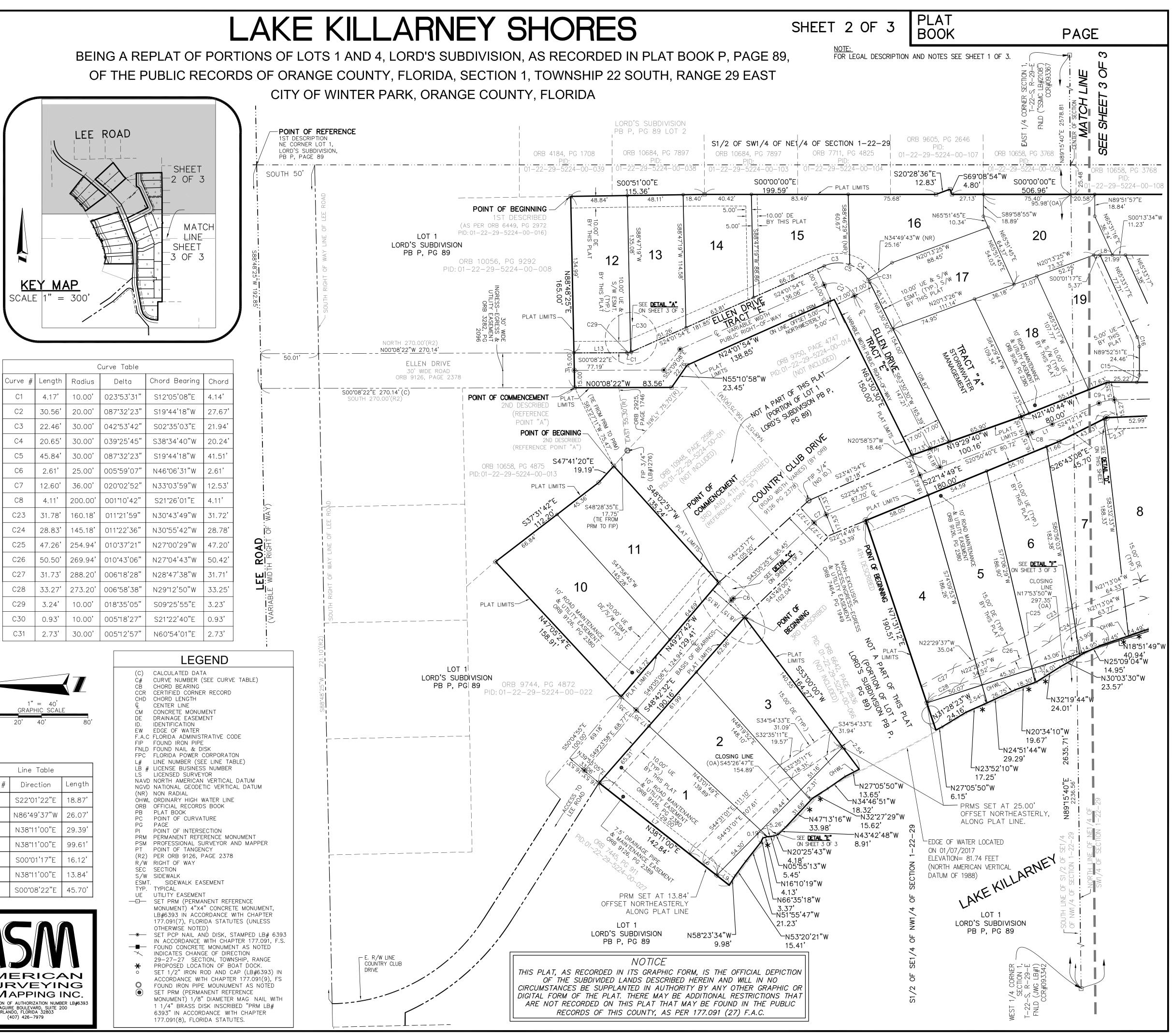
SHEET 1 OF 3	PLAT BOOK PAGE
P, PAGE 89,	LAKE KILLARNEY SHORES DEDICATION
29 EAST	KNOW ALL MEN BY THESE PRESENTS, That the limited liability company named below, being the owner in fee simple of the lands shown hereon, does hereby dedicate said lands and plat for the uses and purposes therein expressed, including as set forth in the Surveyor's Notes.
STERLY LINE OF COUNTRY CLUB DRIVE (SEE MAP SHEET 2 OF 3°42'32" E, AND AS PER SURVEY MAP PROVIDED BY THE CITY 12/17/99, CERTIFIED BY: G.L.CARTER, REGISTERED LAND	IN WITNESS WHEREOF, has caused these presents to be signed and attested to by the officers named below on theday of, 2018.
DN, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES GAS OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE OLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL ULAR ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY. WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY	Owner: Turner Real Property Investments, LLC, a Florida limited liability company
S). NEY SHORES HOMEOWNERS' ASSOCIATION, INC. FOR THE	BY: TITLE
MENT AND DRAINAGE SYSTEM. R PARK AND TO OTHER PUBLIC UTILITY SERVICE PROVIDERS FOR YPE. THE CITY OF WINTER PARK SHALL ONLY BE RESPONSIBLE	SIGNED AND SEALED IN THE PRESENCE OF:
ITILITY EASEMENTS DEPICTED ON THIS PLAT, AND THE CITY NY OTHER PURPOSE, INCLUDING IN REGARD TO THE SURFACE OF WINTER PARK'S UTILITY EASEMENT RIGHTS SHALL BE	SIGNATURE PRINTED NAME
SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO RED FOR, TRACT "A" AND DRAINAGE EASEMENTS INCLUDING, GRESS/EGRESS EASEMENT IS GRANTED IN FAVOR OF THE CITY SAID PURPOSE OVER SAID DRAINAGE EASEMENTS, AND OVER	SIGNATURE PRINTED NAME
TER PARK FOR THE OPERATION, REPAIR AND MAINTENANCE OF OF SIDEWALK IMPROVEMENTS THERIN. THE CITY OF WINTER PARK ITS IT INSTALLS OR ACCEPTS WITHIN ANY OF THE SIDEWALK IBILITY FOR MAINTENANCE OF THE EASEMENTS FOR ANY OTHER	ACKNOWLEDGEMENT STATE OF FLORIDA ORANGE COUNTY
E DECLARATION OF COVENANTS, CONDITIONS, EASEMENTS AND	THIS IS TO CERTIFY, That on, 2018, before me, an officer duly authorized to take acknowledgments in the State and County aforesaid, personally appeared , (title)
-WAY, IS HEREBY DEDICATED TO THE CITY OF WINTER PARK FOR AL PUBLIC'S VEHICULAR AND PEDESTRIAN ACCESS AND USE OF ITS, CONDITIONS, EASEMENTS AND RESTRICTIONS FOR LAKE	of Turner Real Property Investments, LLC, a limited liability company under the laws of the State of Florida, to me know to be the individual and officer described in and who executed the
OWNED AND MAINTAINED BY THE LAKE KILLARNEY SHORES AND FOR THE OTHER PURPOSES AS SET FORTH IN THE CORDED IN THE PUBLIC RECORDS. A NON-EXCLUSIVE DRAINAGE HROUGH TRACT "A" AND THE DRAINAGE EASEMENTS ADJACENT OPERATION, MAINTENANCE AND REPAIR OBLIGATIONS ON.	foregoing dedication and severally acknowledged the execution thereof to be his free act and deed as such officer there unto duly authorized; and that the said dedication for the uses and purposes therein expressed is the act and deed of said limited liability company.
BY THE INDIVIDUAL LOT OWNERS. (DEDICATED A NON-EXCLUSIVE, PERPETUAL EASEMENT OVER OR PEDESTRIAN, VEHICULAR AND BOAT ACCESS TO AND FROM CUE, PATROLLING AND RELATED MATTERS. THIS DOES NOT NO MAINTENANCE AND REPAIR OBLIGATIONS CONCERNING TRACT	IN WITNESS WHEREOF, I have hereto set my hand and seal on the above date
ASTERISK SYMBOL, SEE LEGEND). PURSUANT TO CITY DE SETBACKS AND NO MORE THAN THREE FEET. SIZE, HEIGHT ATERWAYS BOARD.	NOTARY PUBLIC My Commission Expires
TY SHORES HOMEOWNER'S ASSOCIATION, INC. AND OPERATED, AND THE PUBLIC RIGHT—OF—WAY AS FURTHER SET FORTH IN E RECORDED IN THE PUBLIC RECORDS.	CERTIFICATE OF APPROVAL, BY THE CITY OF WINTER PARK
HEREBY DISCLAIMS, RELEASES AND QUIT CLAIMS TO THE CITY OF Y OWNER MAY HAVE IN COUNTRY CLUB DRIVE AND TO ANY HIS PLAT AND COUNTRY CLUB DRIVE, WHETHER BEING INSIDE OR	THIS IS TO CERTIFY, That on, the
HOWN HEREON, THE STATE OF FLORIDA INTERNAL LAKE KILLARNEY LYING WATERWARD OF THE ORDINARY HIGH BY CITY OF WINTER PARK, DEPARTMENT OF PUBLIC WORKS D-1988 (82.8 NGVD-1929).	City Commission of the City of Winter Park, Florida approved the foregoing plat.
/ITH APPLICABLE CITY OF WINTER PARK CODES OF ORDINANCES ORDERS AND BUILDING PERMITS ISSUED CONCERNING THIS FOR THIS SUBDIVISION CONCERNING BUILDING SETBACKS, TREE ALL BE BINDING UPON THE LOTS AND MUST BE COMPLIED WITH	Steve Leary Mayor
DEEMED NECESSARY BY CITY'S URBAN FORESTRY PERSONNEL INTERIOR (SAME SUBDIVISION) PROPERTY LINE CONCERNING OT ONE STORY AND 8 FOOT TWO STORY SIDE SETBACK IN LIEU D A 15 FOOT SECOND STORY REAR IN LIEU OF THE REQUIRED	Attest:
NTED BY THE CITY FOR A PERIOD OF AT LEAST 25 YEARS FROM AT THEIR CONDITION, HEALTH OR OTHER NON-ECONOMIC	Cindy Bonham City Clerk
	CERTIFICATE OF APPROVAL BY CITY ENGINEER
	Examined & Approved: Date
	City Engineer Florida Registration No:
	CERTIFICATE OF REVIEW BY CITY SURVEYOR
	I have reviewed this plat and find it be in conformity with Chapter
	177, Florida Statutes.
SURVEYOR'S CERTIFICATE	Signed Date Florida Registration Number
CERTIFY THAT THIS PLAT IS A TRUE AND CORRECT TATION OF THE HEREON DESCRIBED LAND WHICH WAS SURVEYED AND PLATTED UNDER MY DIRECTION AND ON, AND THAT PERMANENT REFERENCE MONUMENTS MANENT CONTROL POINTS HAVE BEEN SET IN ICE WITH CHAPTER 177, FLORIDA STATUTES, AND THAT DATA COMPLIES WITH ALL REQUIREMENTS OF CHAPTER IDA STATUTES.	CERTIFICATE OF COUNTY COMPTROLLER I HEREBY CERTIFY that the foregoing plat was recorded in the Orange County Official Records onas File No County Comptroller in and for Orange County, Florida
'S NAME: JAMES D. FLICK, PSM DATE on Number: LS 6088 gistration Number of Legal Entity: LB 6393 vire Boulevard, Suite 200, Orlando FL 32803	

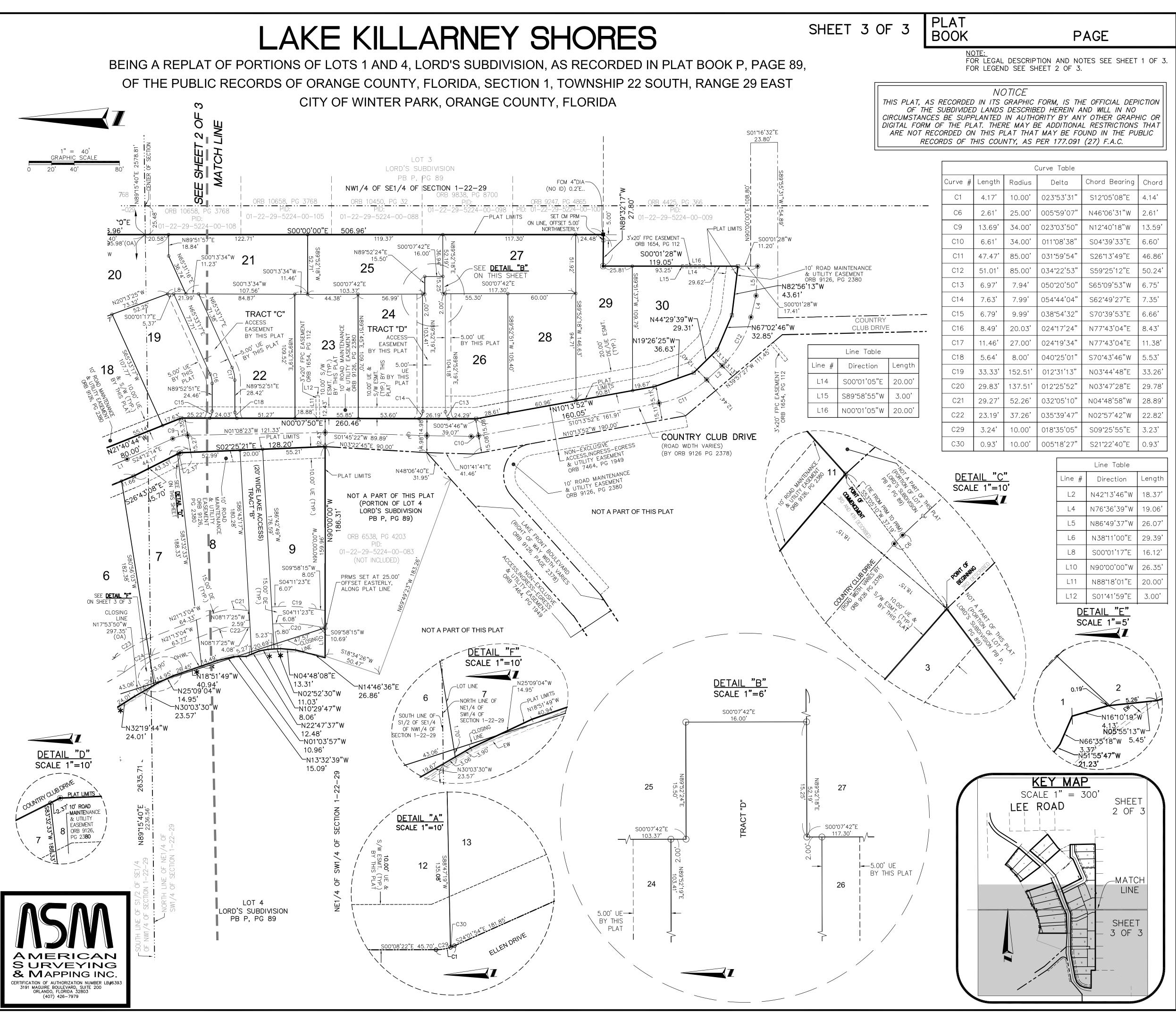
1" = 40 graphic scale			
	0	20' 40'	80'
		Line Table	
	Line #	Direction	Length
	L1	S22°01'22"E	18.87'
	L5	N86°49'37"W	26.07'
	L6	N38°11'00"E	29.39'
	L7	N38°11'00"E	99.61'
	L8	S00°01'17"E	16.12'
	L9	N38°11'00"E	13.84'
	L13	S00°08'22"E	45.70 '
	AM	ERICA	AN
	SUF &M	RVEYII APPING I	NG NC.
CE	RTIFICATION C	F AUTHORIZATION NUMB	ER I B#6393
	ORLAI (RE BOULEVARD, SUITE 2 NDO, FLORIDA 32803 407) 426-7979	

	-
1" = 40 [°] GRAPHIC SCALE	
	3 0'

 \sim

SCALE	= 1" =	300'	
		(Curve To
Curve #	Length	Radius	Delt
C1	4.17'	10.00'	023°53
C2	30.56'	20.00'	087°32
C3	22.46'	30.00'	042°53
C4	20.65'	30.00'	039°25
C5	45.84'	30.00'	087°32
C6	2.61'	25.00'	005°59
C7	12.60'	36.00'	020°02
C8	4.11'	200.00'	001°10
C23	31.78'	160.18'	011°21
C24	28.83'	145.18'	011°22
C25	47.26'	254.94'	010°37
C26	50.50'	269.94'	010°43
C27	31.73'	288.20'	006°18
C28	33.27'	273.20'	006°58
C29	3.24'	10.00'	018°35
C30	0.93'	10.00'	005°18
C31	2.73'	30.00'	005°12





Existing Buildings Inside and Within 200' of Killarney Shores

Property Address	Existing Setback (ft)
638 Country Club Drive	52
632 Country Club Drive	50
624/626 Country Club Drive	51.8
618/620 Country Club Drive	75.6
612 Country Club Drive	79.7
604/606 Country Club Drive	71.4
600/602 Country Club Drive	55
532/534 Country Club Drive	85.8
524 Country Club Drive	99.5
518 Country Club Drive	85.5
605 Lakefront Boulevard	50
595 Lakefront Boulevard	45

Existing Lakefront Setback Averages within 200' Per Lot

Lot 1	
Property Address	Existing Setback (ft)
612 Country Club Drive	79.7
618/620 Country Club Drive	75.6
624/626 Country Club Drive	51.8
632 Country Club Drive	50
638 Country Club Drive	52
Average	61.82

Lot 2

Property Address	Existing Setback (ft)
604/606 Country Club Drive	71.4
612 Country Club Drive	79.7
618/620 Country Club Drive	75.6
624/626 Country Club Drive	51.8
632 Country Club Drive	50
638 Country Club Drive	52
Average	63.4

Lot 3

Average	65.7
	50
	51.8
	75.6
	79.7
	71.4
	Existing Setback (ft)

Lot 4

Property Address		Existing Setback (ft)
600/602 Country Club Drive		55
604/606 Country Club Drive		71.4
612 Country Club Drive		79.7
618/620 Country Club Drive		75.6
	Average	70.4

Lot 5

Property Address	Existing Setback (ft)
524 Country Club Drive	99.5
600/602 Country Club Drive	55
604/606 Country Club Drive	71.4
612 Country Club Drive	79.7
618/620 Country Club Drive	75.6
Averag	je 76.2

Lots 6 & 7

99.5 55 71.4 79.7
55
99.5
00 F
85.5
Existing Setback (ft)

Lot 8

Property Address	Existing Setback (ft)
605 Lakefront Boulevard	50
518 Country Club Drive	85.5
524 Country Club Drive	99.5
600/602 Country Club Drive	55
604/606 Country Club Drive	71.4
Average	72.3

Lot 9

Property Address	Existing Setback (ft)
605 Lakefront Boulevard	50
518 Country Club Drive	85.5
532/534 Country Club Drive	85.8
600/602 Country Club Drive	55
595 Lakefront Boulevard	45
Averag	je 64.3

Letter of Agreement

Lake Killarney, LLC (the Developer of Lake Killarney Shores) and David Robold (owner of 612 and 518 Country Club Drive, Winter Park, 32789) agree to the following regarding the setbacks and characteristics of the homes to be built on Lake Killarney as part of the Lake Killarney Shores development:

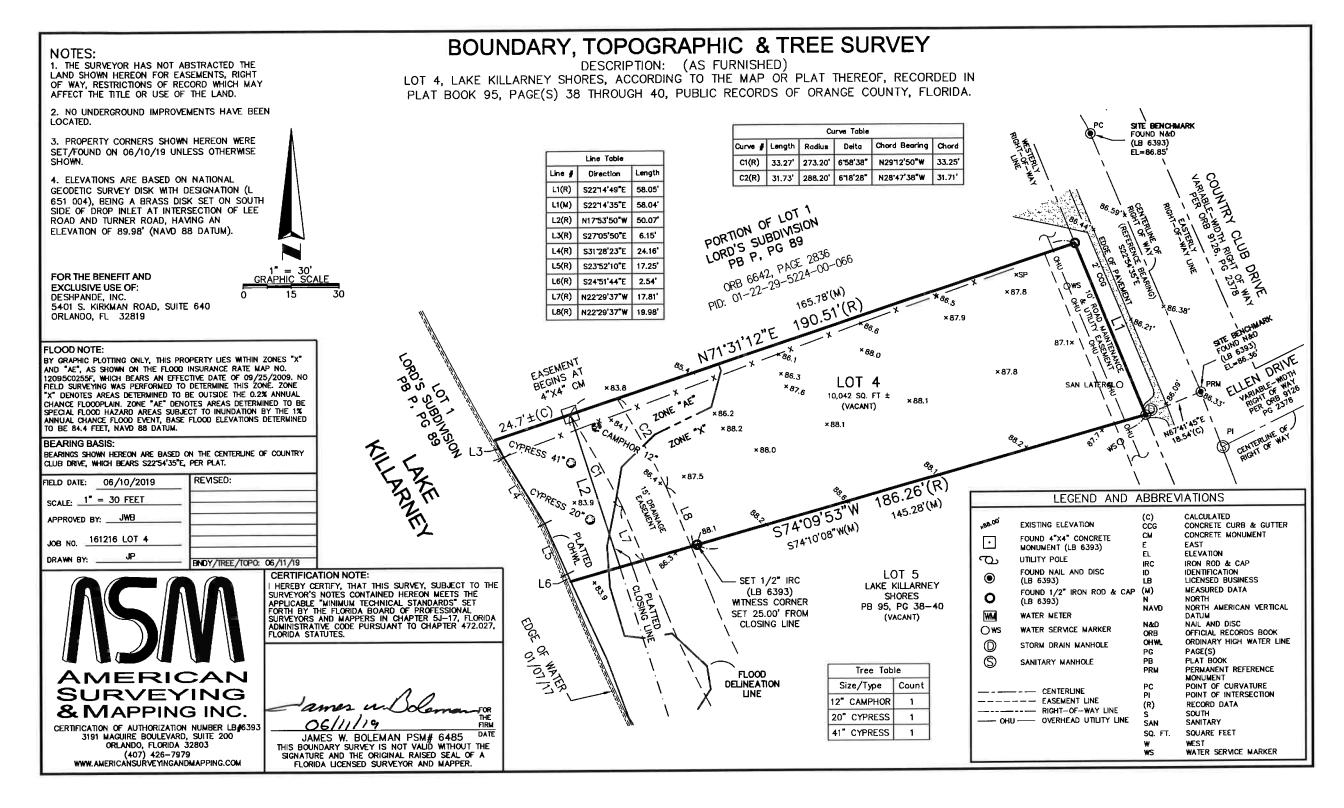
- Lot 1: Rear Setback 60'
- Lot 2: Rear Setback 61'
- Lot 3: Rear setback of 70' on the side adjacent to 612 Country Club Drive. Front setback reduced to 20'. Pool will be located furthest from 612 Country Club Drive and shall be at an elevation even to or recessed below ground level to avoid obstruction of views from 612 Country Club Drive.
- Lot 4: Rear setback 70'. Front setback reduced to 20'. Pool will be placed furthest from 612 Country Club Drive to avoid obstruction of views from 612 Country Club Drive.
- Lots 5-8: Rear setback of 70'.
- Lot 9: Rear setback of 85'. Front setback reduced to 20'. Pool will be located furthest from 518 Country Club Drive and shall be even to or recessed below ground level to avoid obstruction of views from 518 Country Club Drive.
- Pools can be placed between the agreed rear setback and the 50' lakefront setback.
- Pools on lots 3, 4, 8, and 9 will be at an elevation even to or recessed below ground level as necessary to insure those backyards are not at higher elevation compared to 612 and 518 Country Club Drive.
- Solid fence or privacy fence shall not extend beyond the rear corners of the house indoor living area at rear setback line. Beyond that point, the fence will be see-through picket fence.
- There will be no pool enclosures, cabanas, summer-kitchens, or similar type construction in the pool area or beyond the rear corners of the house indoor living area.
- Underground utilities will be attached to 518 and 612 Country Club Drive at no additional cost.
- All curbing will be replaced along right-of-way.
- Speed humps will be located in right-of-way north of the intersection of Country Club Drive and Lake Front Drive. However, they will not obstruct ingress/egress to the driveways located at 518 and 612 Country Club Drive.
 - This agreement is subject to final approval by the Winter Park City Commission.

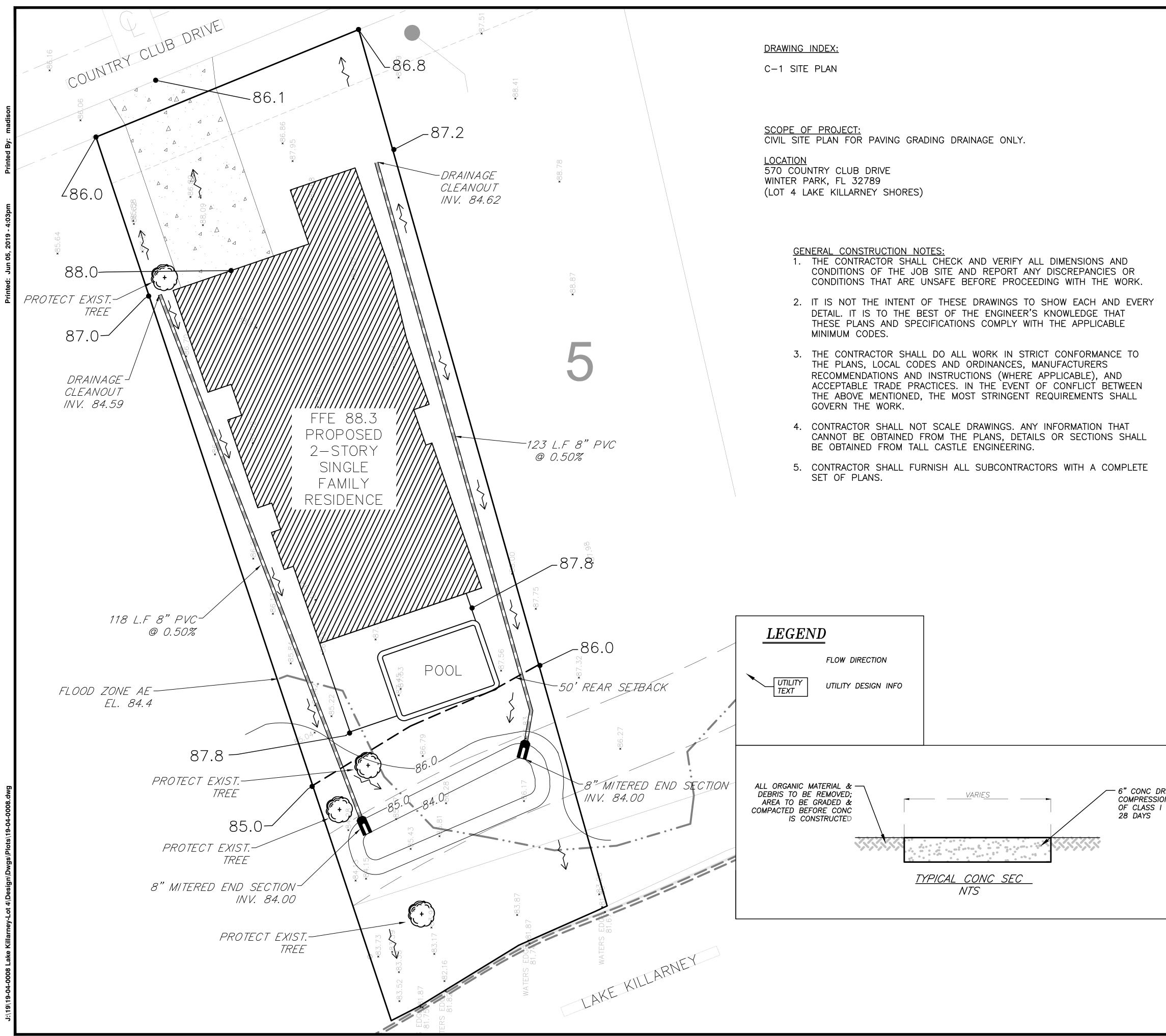
Date: 96208 IN Anil Deshpande

Lake Killarney, LLC 5401 S. Kirkman Road, Suite 640 Orlando, Florida 32819

_Date: <u>9-//-/8</u> David Robold

7612 Country Club Drive Winter Park, Florida 32789





<u>LOT 4 YARD SWALE (</u> BASIN: LOT 4 SWALE SHAPE: TRAPE	
FRONT SLOPE (H: V): BACK SLOPE (H: V): BOTTOM WIDTH (FT): SWALE DEPTH (FT):	3:1 3:1 7.0 1.0
SWALE LENGTH (FT):	37.8
PROVIDED WQV (CF): PROVIDED	393
WQV (AC-FT): REQUIRED WQV (CF):	0.009 388

TOTAL AC: 3597 SF 500 SF GARAGE: 2 STORY: 293 SF 83 SF STAIR:

TOTAL FOR F.A.R.: 4473 SF

LOT SIZE: 10,082 SF X .55 (ALLOW.) = 5545 SF > 4473 SF

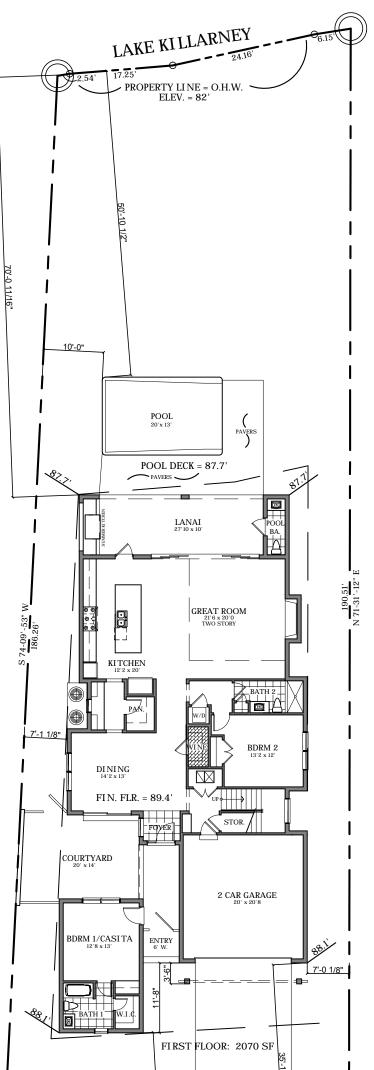
COVERED ENTRY: 117 SF LANAI: 307 SF

TOTAL LOT IMPERVIOUS AREA: 4,657 SF

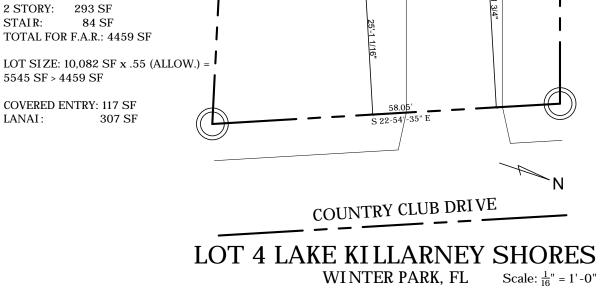
	I Connally & Wicher Inc I			Planning · Engineering · Landscape Architecture	1 2005 ORFILIG PRANE DYNE. SUITE 500 WINDER OPARTE 32298	(904) 265 530300 FPX: (904) 265 303 1 WWWW: ENGENBICOM	Revision By C.A. NUMBER: 3650 L.A. NUMBER: LC26000311	ON ANY OTHER PROJECT AND IS TO BE RETURNED ON REQUEST.
							No. Date	THIS DRAWING IS THE PROPERTY OF CONNELLY & WICKER INC. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED ON REQUEST.
				PREPARED FOR	CI ASSIC HOMES			COPERTY OF CONNELLY & WICKER INC. AND IS NOT TO BE
					Jun 05, 2019	RYAN R. BLAIDA, P.E. FL P.E. #61017	Reg. Engineer	THIS DRAWING IS THE PR
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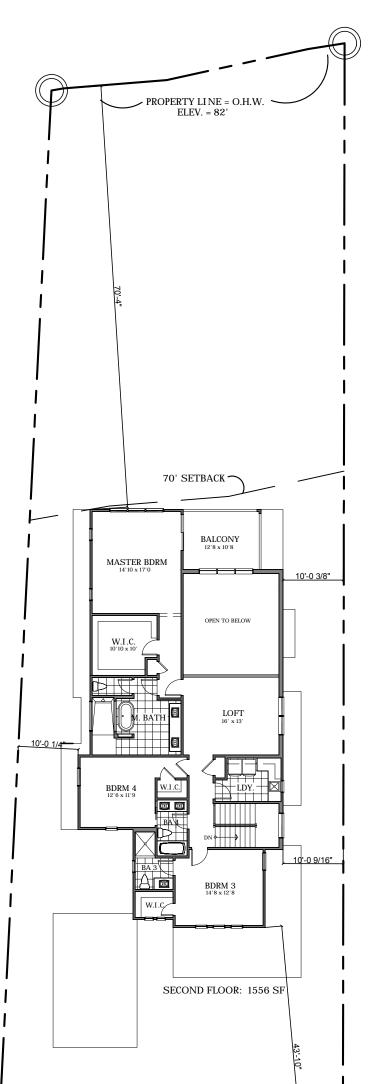
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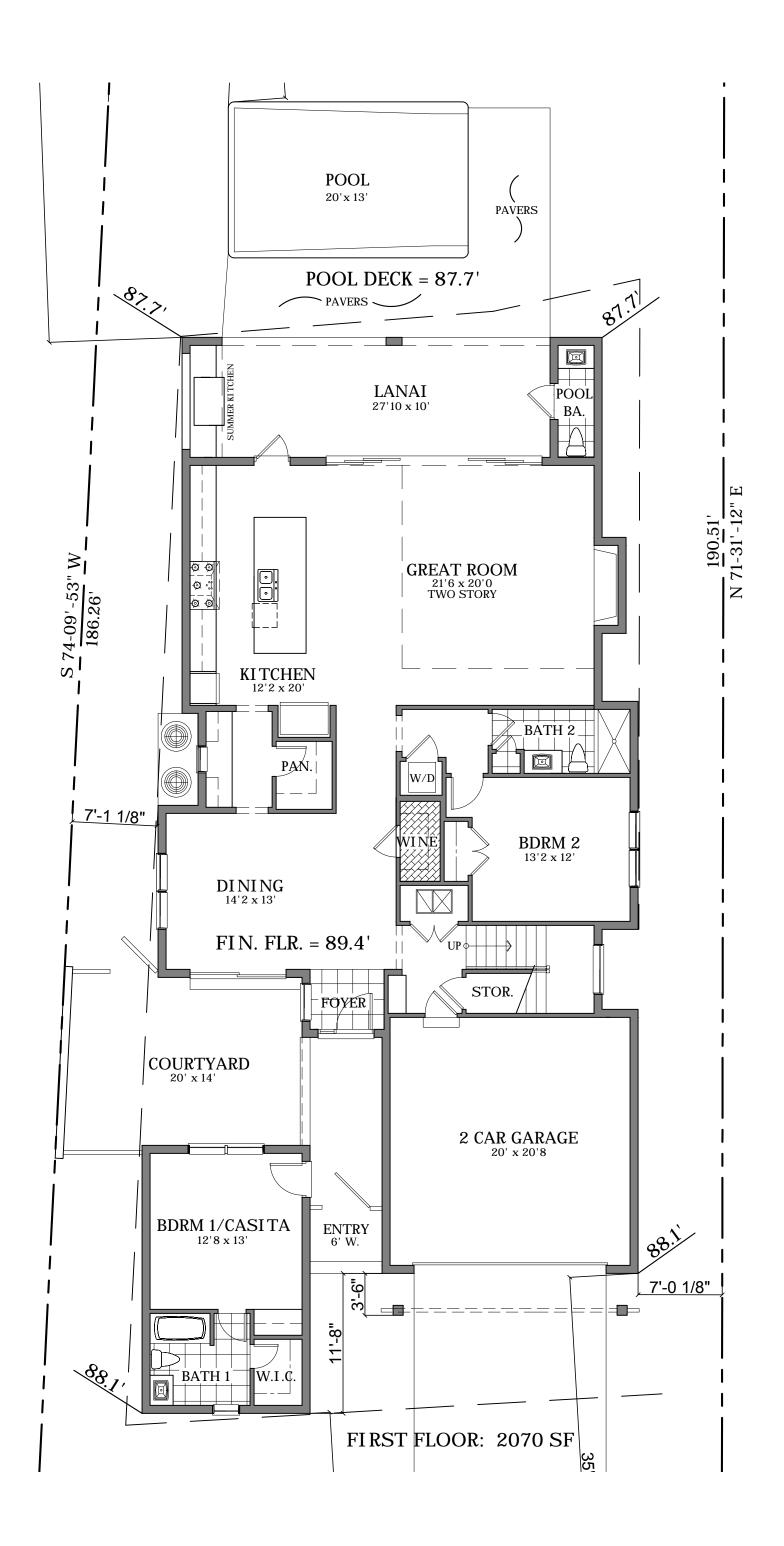
TOTAL AC: 3626 SF GARAGE: 456 SF

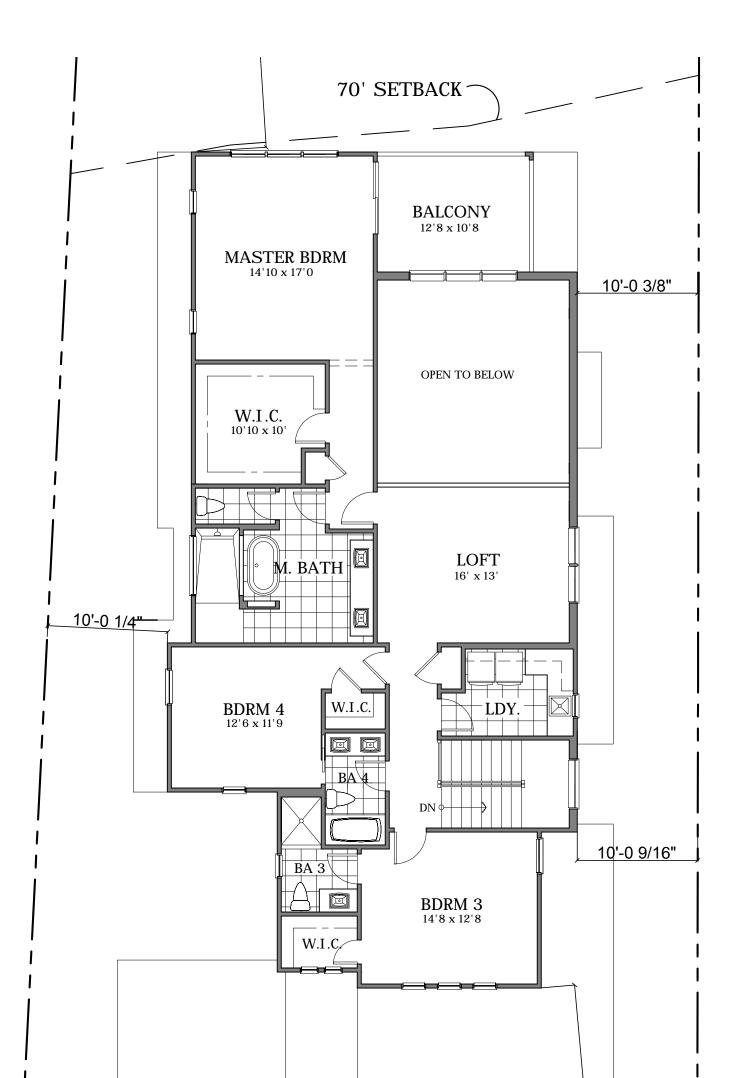






LOT 4 LAKE KILLARNEY SHORES WINTER PARK, FL Scale: $\frac{1}{16}$ " = 1'-0"







43'-1



FRONT ELEVATION





RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

401 South Park Avenue • Winter Park, Florida 32789



407-599-3324 • planning@cityofwinterpark.org cityofwinterpark.org

Planning & Community Development

Planning & Zoning Board Staff Report for July 9, 2019 Meeting

SUB#19-04 REQUEST OF GULFSTREAM RESIDENTIAL LLC FOR: SUBDIVISION OR LOT SPLIT APPROVAL TO DIVIDE THE PROPERTY AT 1691 CHESTNUT AVENUE, ZONED R-1A, INTO TWO LOTS WITH 50 FEET OF FRONTAGE ON THE STREET AND 9,074 SQUARE FEET OF LAND AREA FOR EACH LOT. VARIANCES ARE REQUESTED FOR BOTH OF THE PROPOSED 50 FEET OF LOT WIDTH IN LIEU OF THE MINIMUM 75 FEET OF LOT WIDTH REQUIRED IN THE R-1A ZONING DISTRICT.

Background: Gulfstream Residential LLC (contract purchaser) is requesting lot split approval to divide the property at 1691 Chestnut Avenue into two single-family lots. The zoning of this property is R-1A. The lots are proposed to be split in the north/south direction with 50 feet of lot frontage along Chestnut Avenue and will be 9,074 square feet. Variances are requested for both of the lots due to the proposed 50-foot lot widths because they will not meet the minimum 75 feet of frontage requirement of R-1A zoning. The property is currently occupied by a single-family home that will be demolished. Below is a table summarizing this request in comparison to the R-1A lot requirements. Items in bold indicate a variance request as part of this site plan review.

Table 1:

	R-1A Zoning	Proposed West Lot	Proposed East Lot
Lot Size	8,500 square feet	9,074 square feet	9,074 square feet
Lot Width	75 feet	50 feet	50 feet

Note: Items in bold indicate a variance request.

During the City's review process of subdivisions or lot split requests, there are two criteria that are reviewed. First is the 'Zoning Test' as to conformance with the zoning criteria. The next is the 'Comprehensive Plan Test' which is conformance to the neighborhood character. The applicable Comprehensive Plan policy and Subdivision Code section governing lot splits are on the following page.

Zoning Test: This existing property has 100 feet of frontage at the street and measures approximately 18,148 square feet in size. The subdivided lots are proposed to have 50 feet of frontage and 9,074 square feet in size. The R-1A zoning requires a minimum of 75 feet of frontage, and a minimum of 8,500 square feet of land area. Thus, this request does not meet the R-1A lot frontage standards, and variances are requested.

Comprehensive Plan Test: The practice outlined in the Comprehensive Plan and the Subdivision Code (attached) is to look at the surrounding neighborhood to compare the standard lot sizes. The code dictates that the review area is within a 500-foot radius of the subject property, and limited to those with the same zoning designation.

There are 101 homes within this neighborhood with the same R-1A zoning (see attached map). The average lot width is 73.5 feet, and the median lot width is 75 feet. The average lot area from this 101-home survey is 10,036 square feet, and the median lot area is 10,193 square feet. Thus, the proposed lot widths of 50 feet are 23-25 feet shorter than the neighborhood average, and the lot areas are approximately 1,000 square feet less than the existing neighborhood average.

Of the 101 lots, only 29 (29%), are lots with 50 feet of frontage, and alternatively, 72 lots (71%) of the neighborhood are home sites of 60-75 feet or greater of frontage, as the Code requires. Thus, the proposed lot frontages of 50 feet do not compare favorably to a majority of the homes in the neighborhood. When proposed lots do not meet the neighborhood averages, the policy direction from the Comprehensive Plan policy is to not approve the variances requested. Specifically, Policy 1-3.6.8 says that the City shall consider approving lot split when the proposed new lots are designed at size and density consistent with the existing conditions in the surrounding neighborhood within a radius of five hundred (500) feet", which is not the case as part of this request.

This property is located where the 1924 plat of Lake Knowles Terrace with 50 foot lots, transitions to the 1951 plat of Conwill Estates with 75 foot lots. But even just on Chestnut Avenue, within 500 feet of this property, there are still more properties of 70+ feet in frontage (59%) that those with 50 feet of frontage (41%).

Development Plans: The applicant has provided conceptual front elevations for the type of homes that they plan to build (attached), and conceptual site plans for the layout of the proposed new homes (attached). However, the applicant will comply with the normal single-family development standards, setbacks, etc. and has provided these conceptual plans to show what could be built on these lots if split. Staff recommends that the final front elevations of the homes be of varied architectural styles to each other to provide diversity to the neighborhood.

Impact Upon Adjacent Neighbors: The lot split would have a direct impact upon the adjacent neighbors. As it exists now, this property of 18,148 square feet can be redeveloped with a new home of a maximum 6,896 square feet under the applicable maximum 38% floor area ratio (FAR). As two lots of 9,074 square feet each, the maximum size of each home could be 3,901 square feet each under the applicable maximum 43% FAR, or a total of 7,803 square feet of new homes. This is approximately 1,100 square feet of added home structure to what could be built on the current lot.

Another important impact is the change to the side setbacks as part of this split, because the side setbacks are less on smaller width lots. A new maximum FAR home on the existing property observing the side setbacks for a 100-foot-wide lot would be 15 feet to the first floor, while the side setbacks for a 50-foot lot are $7\frac{1}{2}$ feet to the first floor. So regardless of size the new homes, if the lot split is approved, the new homes would be $7\frac{1}{2}$ feet closer to the neighbors.

Companion Request: As part of the applicant's lot split request, they are requesting that the City vacate a 30-foot-wide utility easement in the eastern portion of the property. This easement was a former right-of-way of Phelps Avenue, but was vacated and abandoned in 1978. It was often the practice of the City Commission in the 1970's, that when right-of-ways were vacated and given to the adjacent owners for the City Commission to reserve a utility easement (making the land unbuildable) even though there were no utilities in that area. The purpose of the City retaining a utility easement was to control whether that land was used at a later time for buildings.

Summary:

- 1. Almost one-third of this land was given free to the previous owners of 1691 Chestnut Avenue in 1975 but with the City Commission reserving a utility easement over that the land so it could not be used for a building.
- 2. Both lots need variances for lot frontage. At 50 feet of proposed frontage, the two lots are only 2/3's of the 75 feet required by the R-1A zoning.
- 3. Lot frontage variances however are common when the lot frontage or sizes are compatible with the surrounding neighborhood. That is clearly not the case in this instance, as only 29% of the other homes in this immediate 500-foot radius area have 50 feet of frontage. Even just on Chestnut Avenue, only 41% of the homes within the 500-foot radius have 50 foot frontages. While staff recognizes that this neighborhood does have many smaller lot sizes than the Code requires, the application fails to meet the Zoning and Comprehensive Plan tests. Under Policy 1-3.6.8 (below) that is a pre-requisite for approval of the variances.
- 4. The lot split would impact the two adjacent owners by allowing the new homes on 50 foot lots to be 7½ feet closer to their properties than if it remains a 100-foot-wide property.

STAFF RECOMMENDATION IS FOR DENIAL.

Policy 1-3.6.8: Subdivision of Land and Lot Splits for Non-Lakefront Single Family and Low Density Multi-Family Property. The City shall consider approving subdivision and lot split applications, which are not lakefront properties and which are not estate lots in areas designated single family, low density or multi-family residential, when the proposed new lots are designed at size and density consistent with the existing conditions in the surrounding neighborhood within a radius of five hundred (500) feet.

ARTICLE VI. - SUBDIVISION AND LOT CONSOLIDATION REGULATIONS

Sec. 58-377. - Conformance to the comprehensive plan.

(a) In the City of Winter Park, as a substantially developed community, the review of lot splits, lot consolidations, plats, replats or subdivisions within developed areas of the city shall insure conformance with the adopted policies of the comprehensive plan as a precedent to the conformance with other technical standards or code requirements.

(b) In existing developed areas and neighborhoods, all proposed lots shall conform to the existing area of neighborhood density and layout. The proposed lot sizes, widths, depths, shape, access arrangement, buildable areas and orientation shall conform to the neighborhood standards and existing conditions. This provision is specifically intended to allow the denial or revision by the city of proposed lot splits, lot consolidations, plats, replats or subdivisions when those are not in conformance with the existing neighborhood density or standards, even if the proposed lots meet the minimum technical requirements of the zoning regulations.

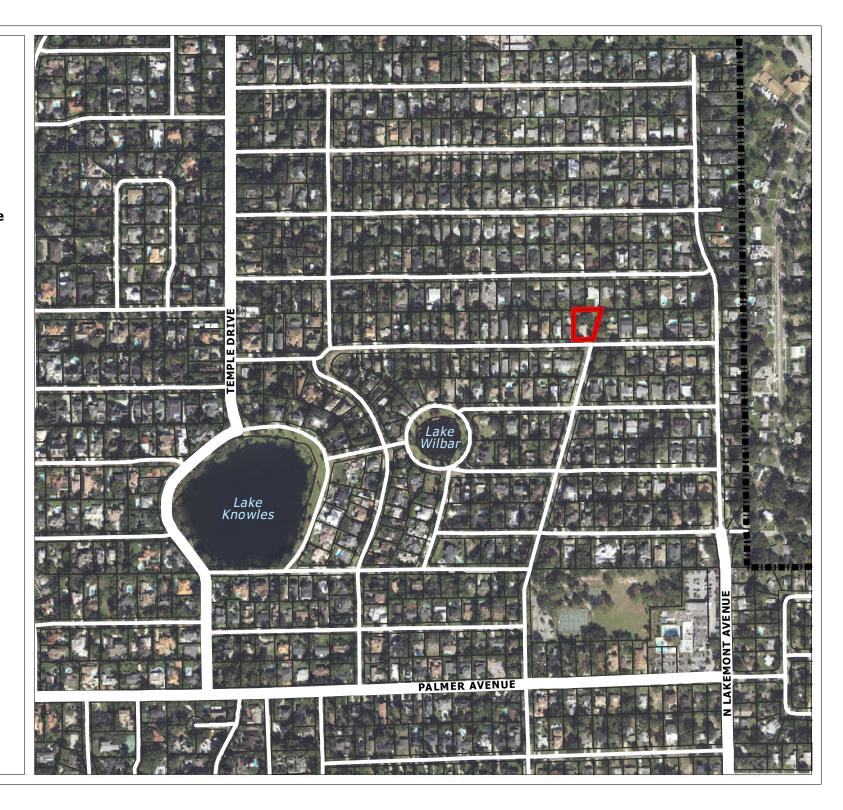
(c) In determining the existing area or neighborhood density and standards, for the consideration of lot splits, plats, replats or subdivision of other than estate lots or lakefront lots, the planning and zoning commission and city commission shall consider the frontage and square foot area of home sites and vacant properties with comparable zoning within an area of 500-foot radius from the proposed subdivision.

(d) In order to implement the policies of the comprehensive plan, the city commission may also impose restrictions on the size, scale, and style of proposed building, structures, or other improvements. This provision shall enable the city commission to impose restrictions on the size, height, setback, lot coverage, impervious area or right-of-way access such that proposed building and other improvements match the dimension and character of the surrounding area or neighborhood.



LOCATION MAP 1691 Chestnut Avenue

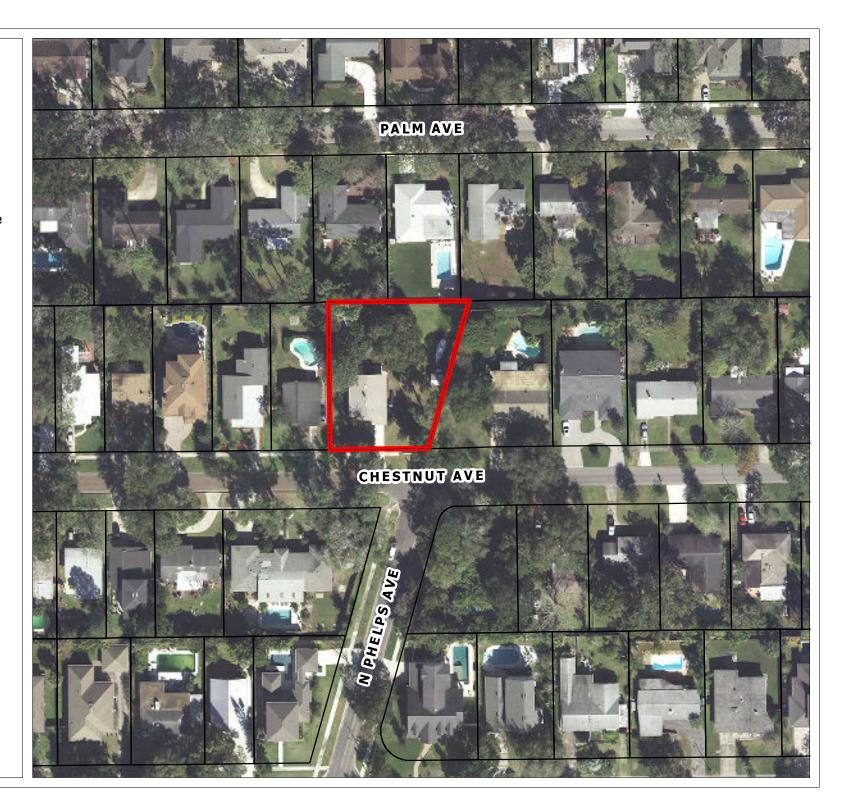
> City of Winter Park Florida





LOCATION MAP 1691 Chestnut Avenue

City of Winter Park Florida





COMPREHENSIVE PLAN TEST

1691 Chestnut Avenue

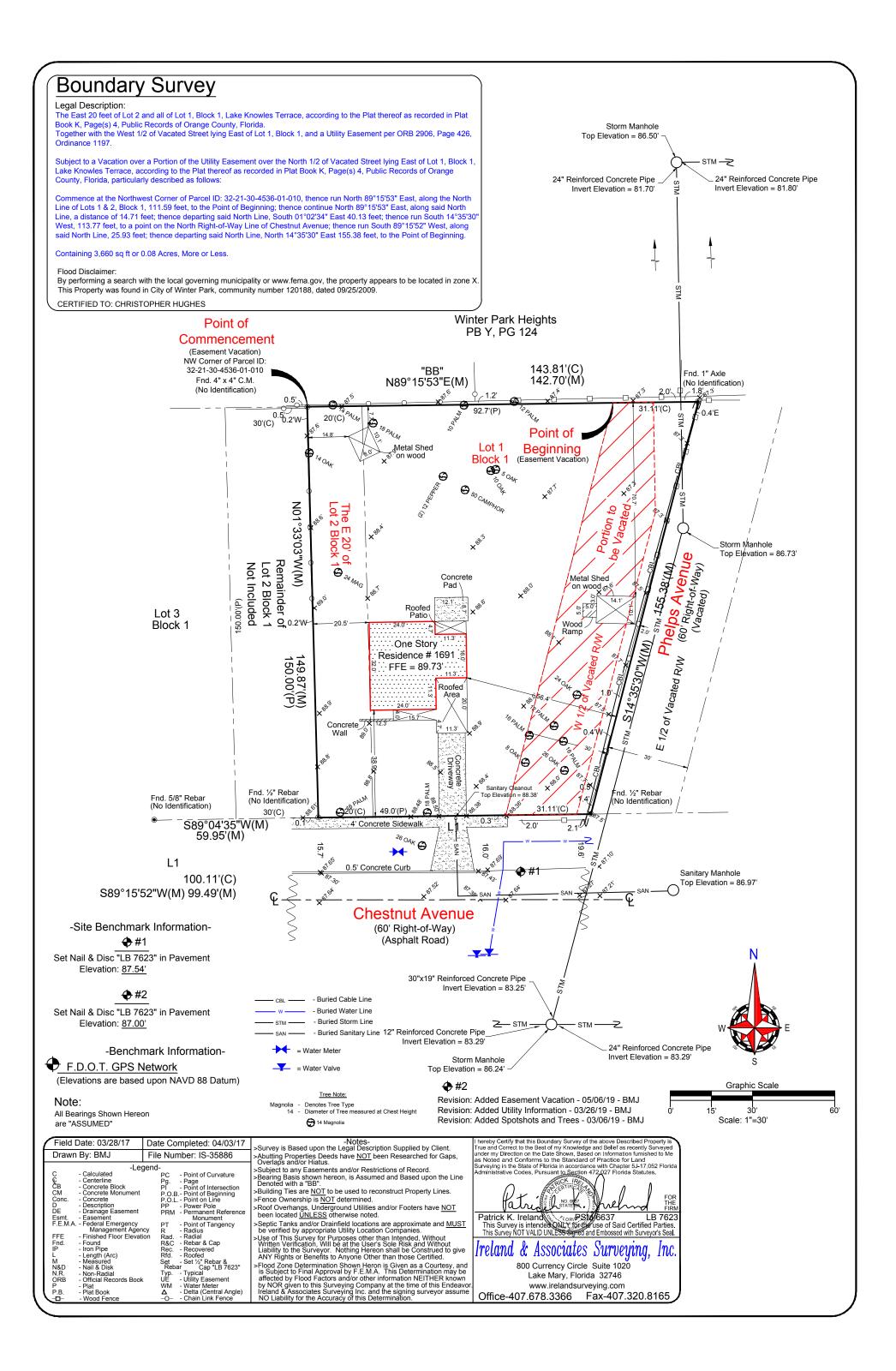
City of Winter Park Florida

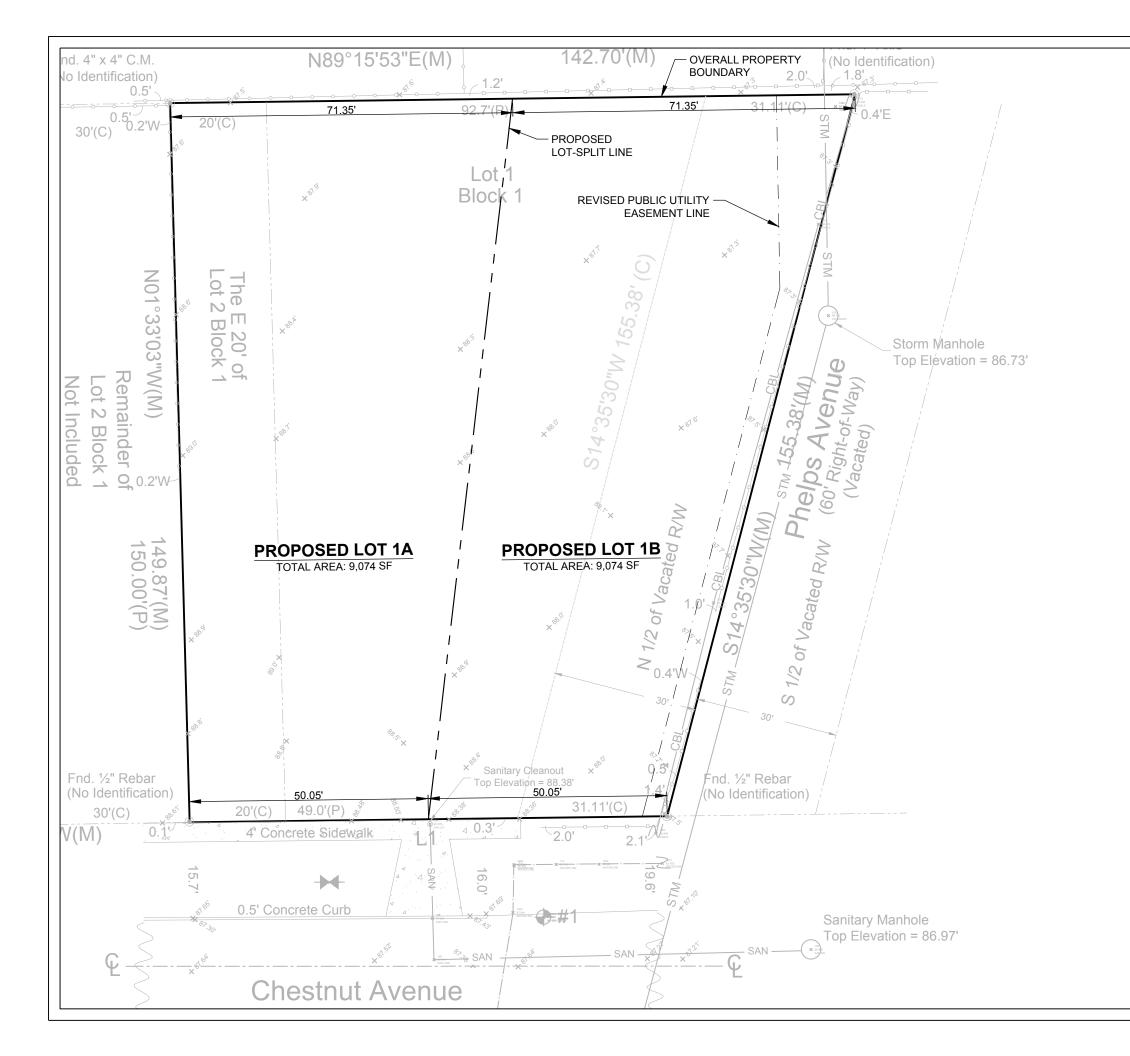


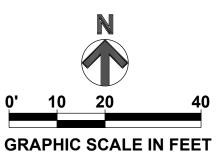
<u>NOTES</u>

Average Lot Width = 73.5 ft Median Lot Width = 75 ft Average Lot Size = 10,036 sq ft Median Lot Size = 10,193 sq ft

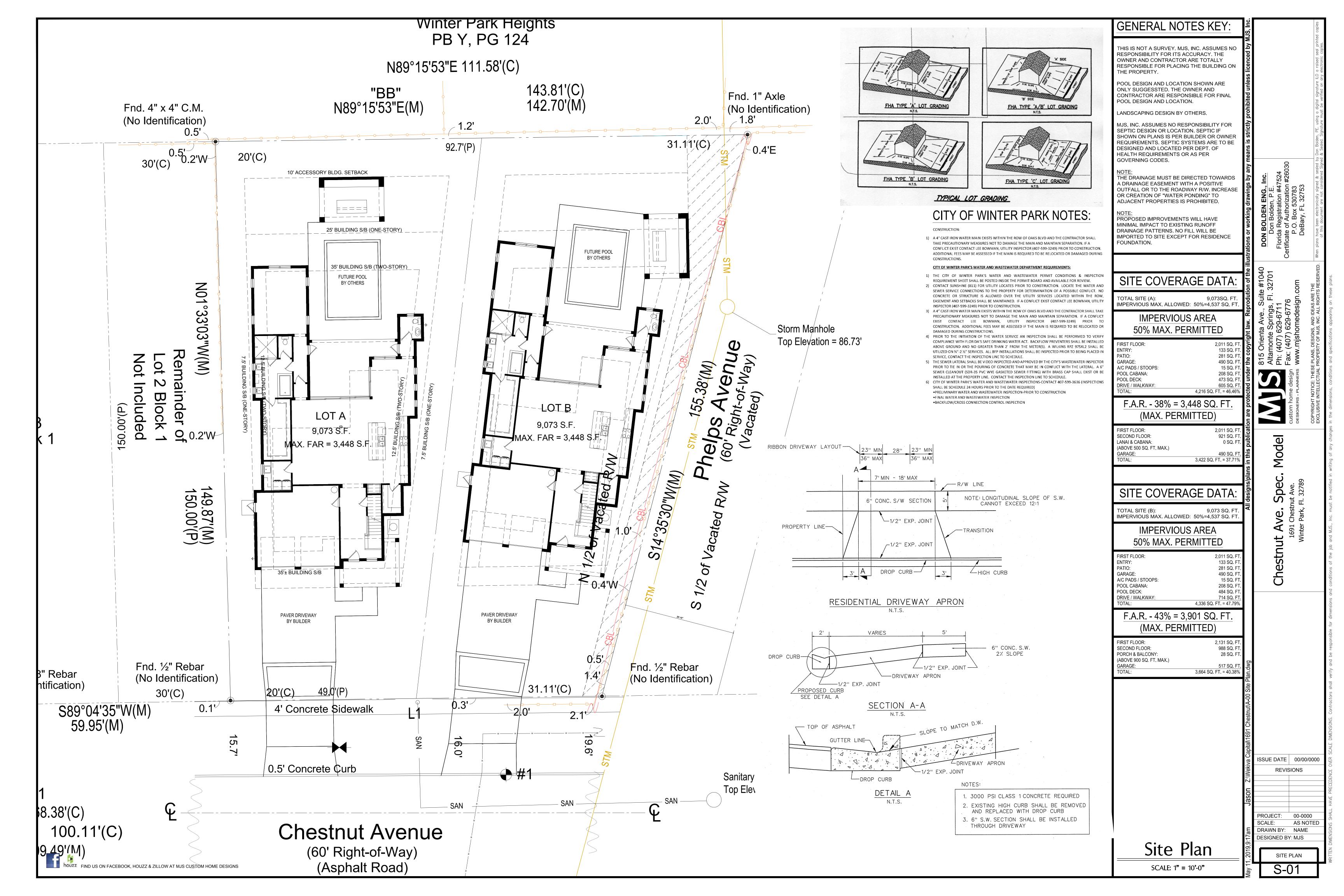


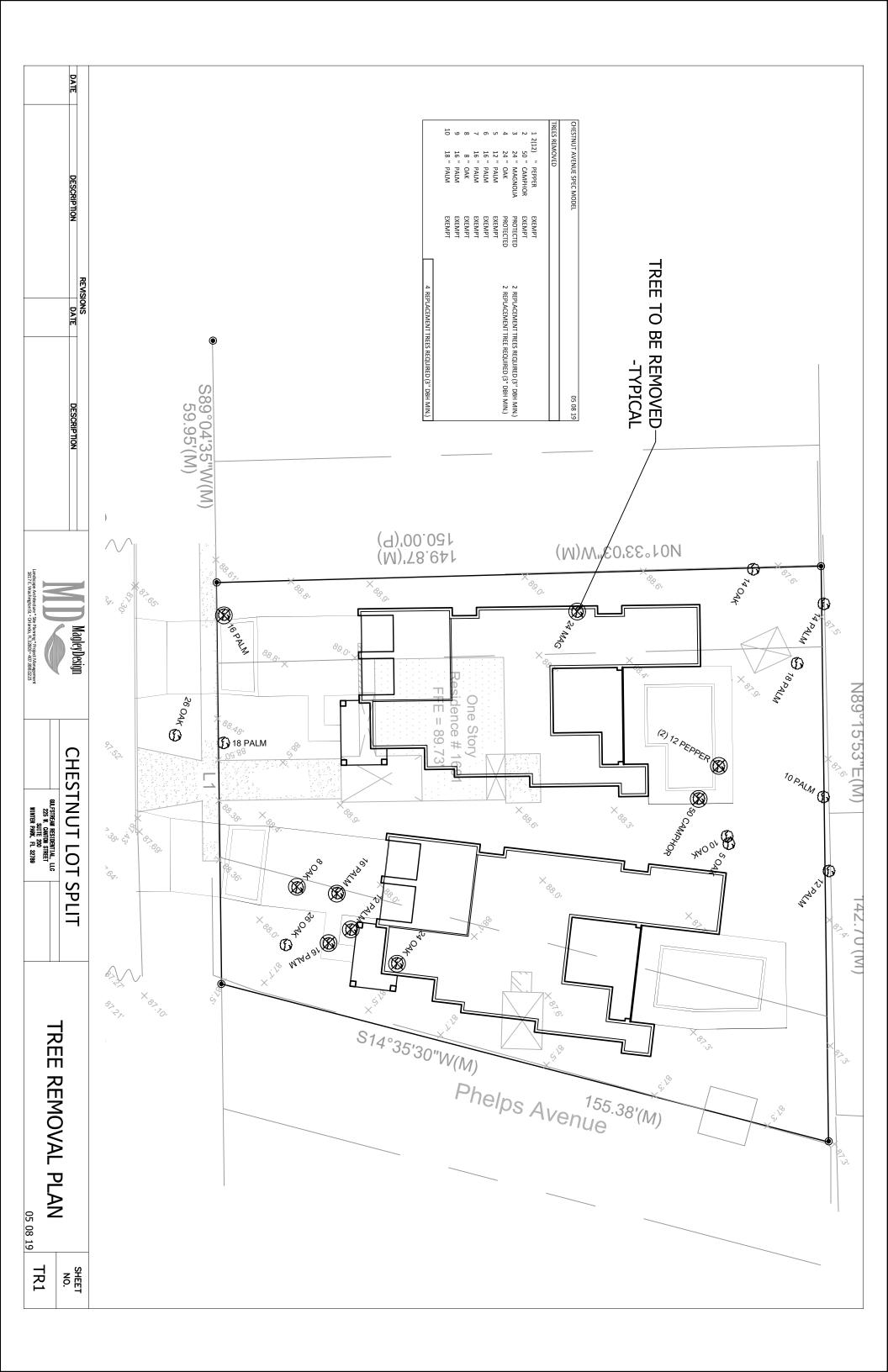


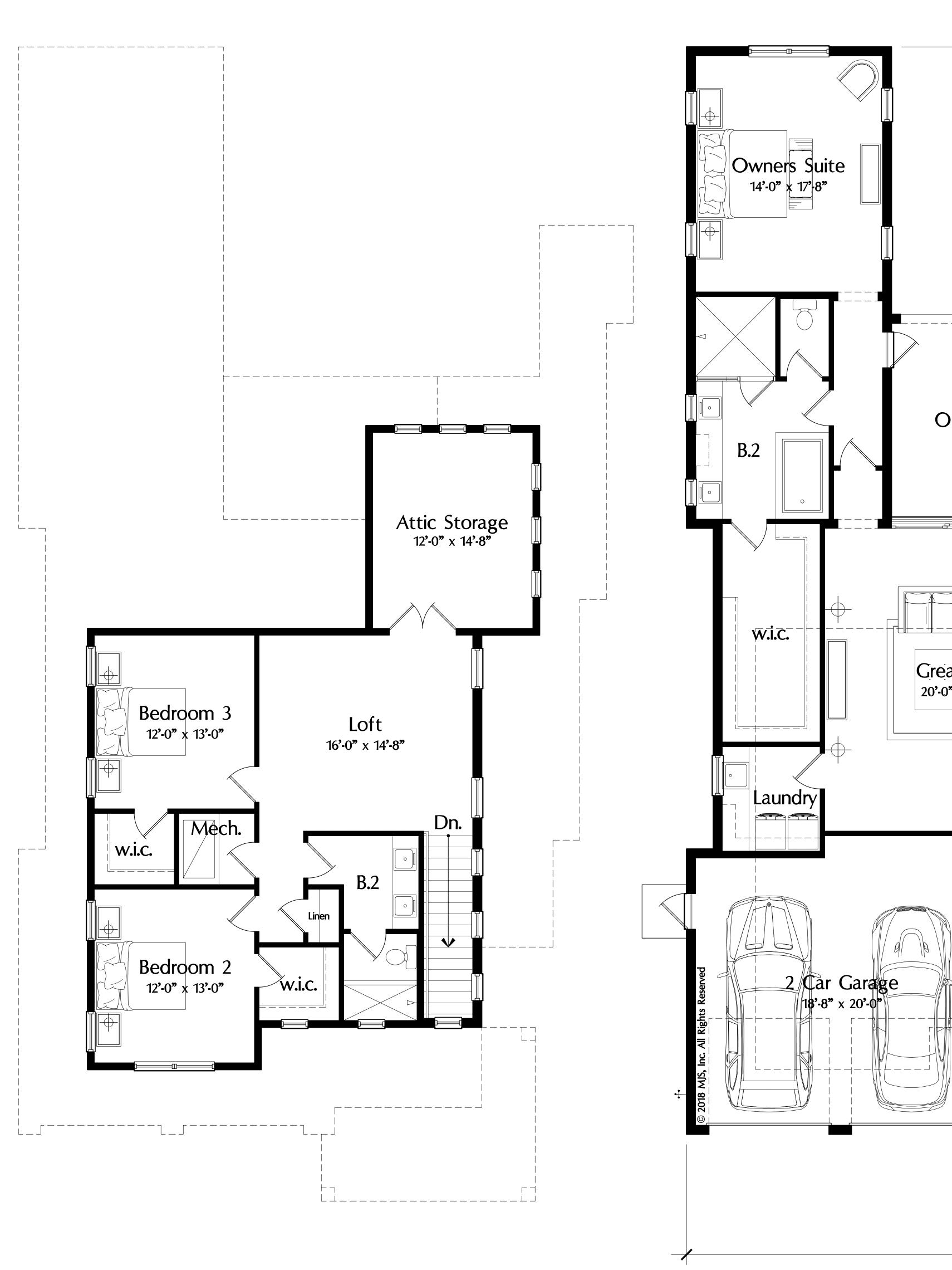








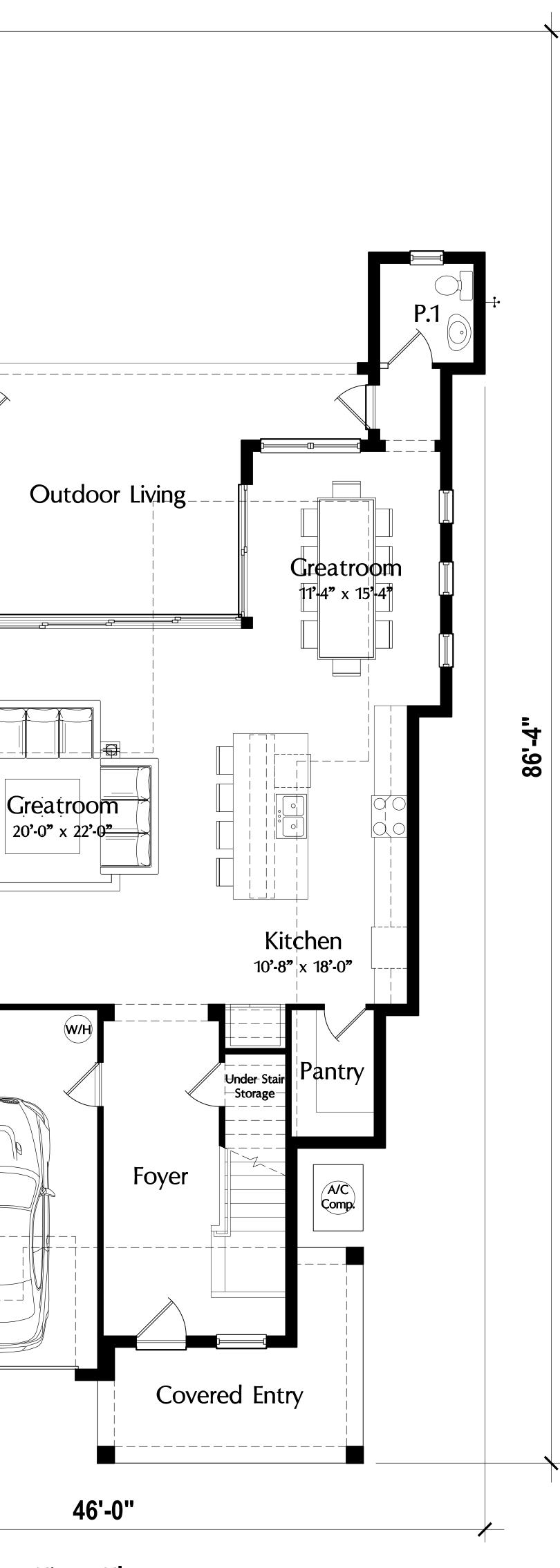






Second Floor

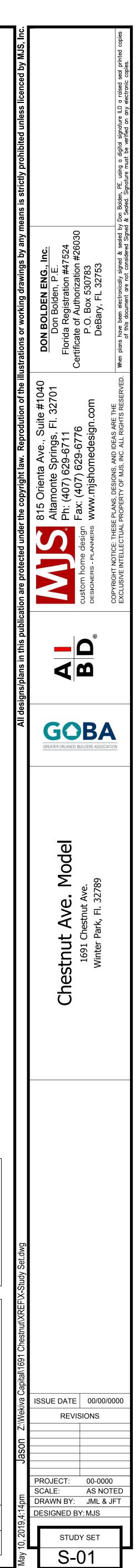
SCALE: 1/4" = 1'-0"

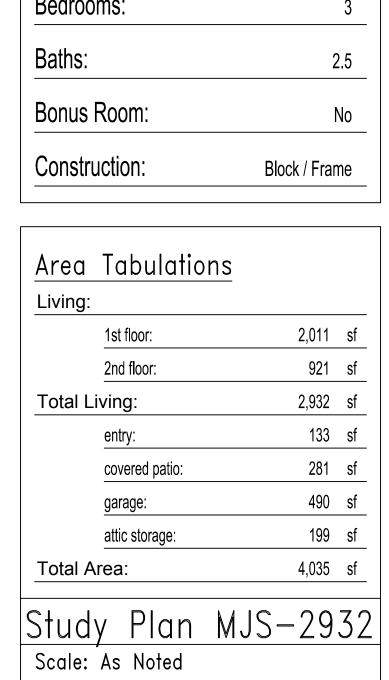


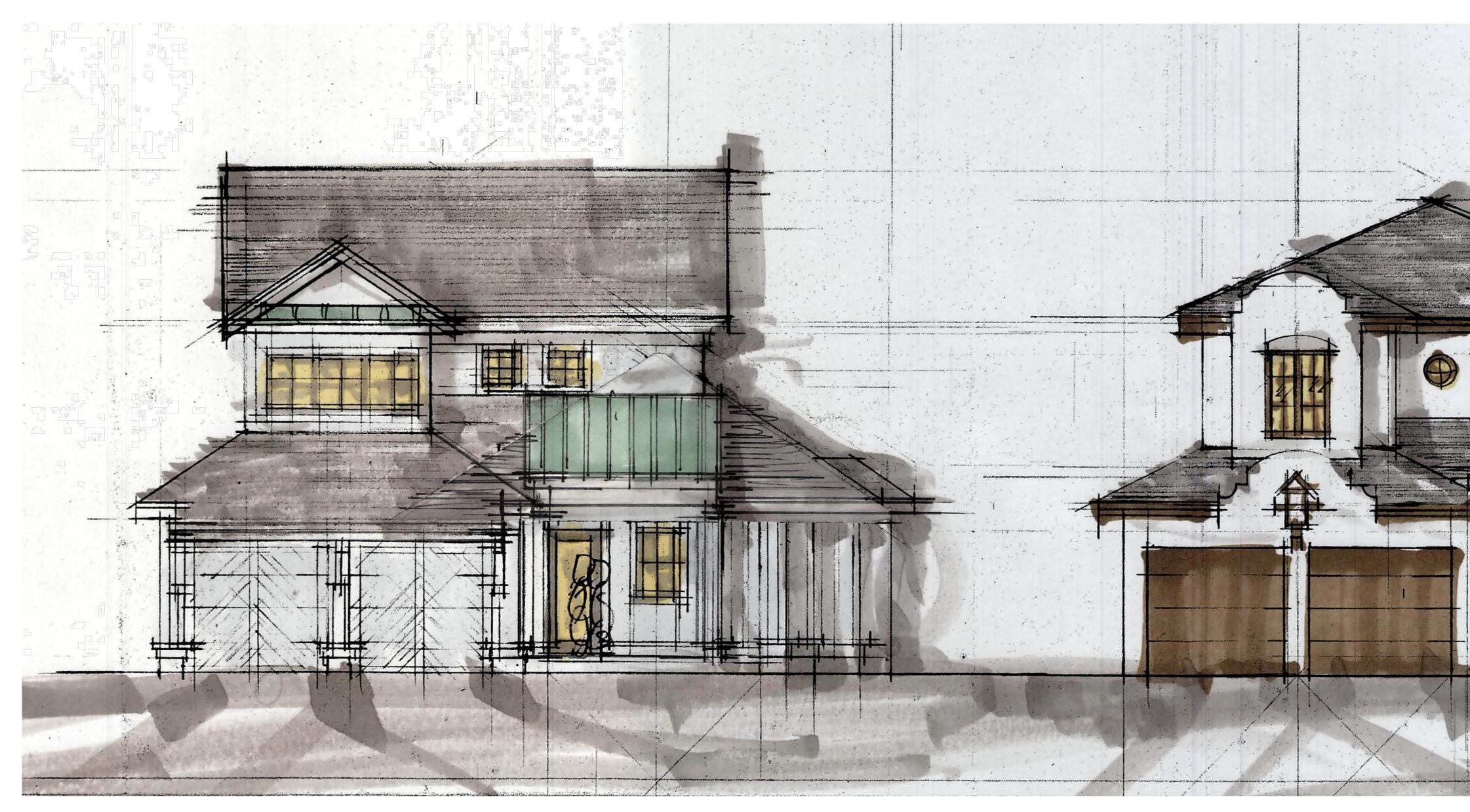


SCALE: 1/4" = 1'-0"

Bedrooms: Baths: Bonus Room: Construction: Area Tabulations Living: 1st floor: 2nd floor: Total Living: entry: covered patio: garage: attic storage: Total Area:





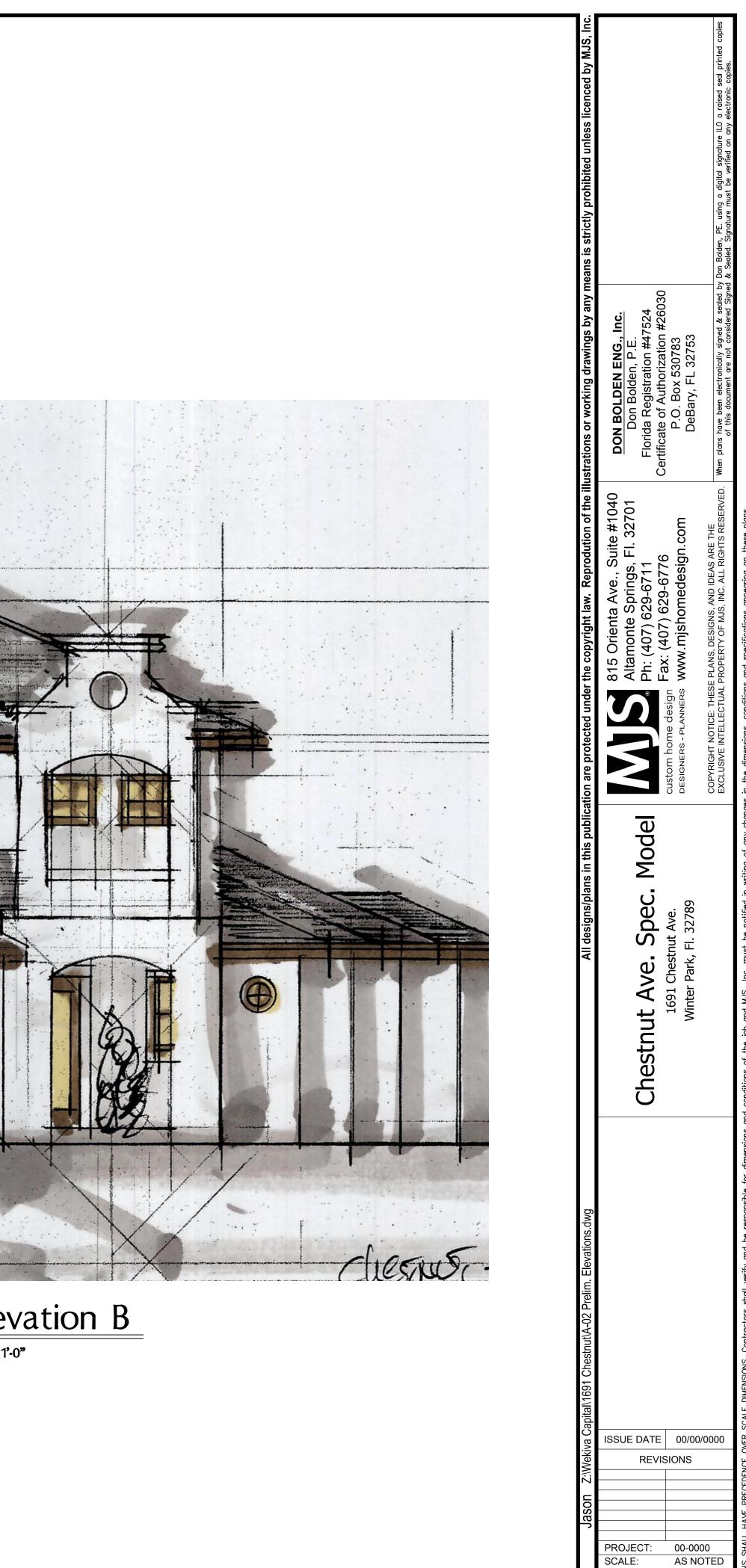


Proposed Elevation A

SCALE: 1/4" = 1'-0"

Proposed Elevation B

SCALE: 1/4" = 1'-0"



DRAWN BY: NAME DESIGNED BY: MJS

ELEVATIONS

A-02

96 50' lots W/in 2,000'



29 50' lots on Chestnut Ave

ORDINANCE NO. <u>1197</u>

AN ORDINANCE OF THE CITY OF WINTER PARK, FLORIDA, VACATING AND ABANDONING THE NORTHERN PORTION OF PHELPS AVENUE AS A PUBLIC STREET AND THOROUGHFARE BUT RETAINING AND RESERVING TO THE CITY OF WINTER PARK A UTILITY EASEMENT OVER THE ENTIRE AREA THEREOF.

BE IT ENACTED BY THE PEOPLE OF THE CITY OF WINTER PARK, FLORIDA:

SECTION 1. That all of Phelps Avenue lying North of the North right-of-way line of Chestnut Avenue as per plat of Conwill Estates, as recorded in Plat Book S, Page 13 of the Public Records of Orange County, Florida, and as per plat of Lake Knowles Terrace as recorded in Plat Book K, Page 4 of the Public Records of Orange County Florida; be hereby abandoned as a public road and thoroughfare of the City of Winter Park, Florida; however, reserving and retaining for the use of itself and the general public a utility easement over the entire area for the purpose of constructing either over or under the surface poles, wire, guys, pipes, sewers and drains, conduits and other facilities used for the various public utilities whether owned by the City or private corporations.

SECTION 2. All Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

SECTION 3. This Ordinance shall take effect immediately upon its final passage and adoption.

ADOPTED at a regular meetime of the City Commission of the City of Winter Park, Florida, held in the City Hall, Winter Park, Florida, on this <u>13th</u> day of <u>June</u> A.D. 1978.

ATTEST: uffect W. Hustefor

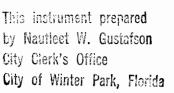
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RECORDED & RECORD VERIFIEL

for

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County Comptroller, Orange Co., Fit.







401 South Park Avenue • Winter Park, Florida 32789

407-599-3324 • planning@cityofwinterpark.org cityofwinterpark.org

Planning & Community Development

Planning & Zoning Board Staff Report for July 9, 2019 Meeting

CU#19-08 REQUEST OF THE MAYFLOWER RETIREMENT COMMUNITY TO: AMEND THEIR PRELIMINARY CONDITIONAL USE APPROVAL AND PROVIDE FOR FINAL CONDITIONAL USE APPROVAL FOR EXPANSIONS OF THE MAYFLOWER RETIREMENT COMMUNITY AT 1620 MAYFLOWER COURT AND 2141 OAKHURST AVENUE.

Background: The Mayflower Retirement Community is seeking to amend their Preliminary Conditional Use approval granted in January 2018. The new proposal is for an alternate design and layout of the proposed project and to satisfy the conditions of approval for the Final Conditional Use approval for the first phase of the development.

In January 2018 the Mayflower Retirement Community received Comprehensive Plan Future Land Use and Zoning changes to add the 2141 Oakhurst Avenue property to their campus and also received Preliminary Conditional Use approval to expand the Mayflower Retirement Community to include a 3-story health care (skilled nursing) building, a one-story, memory care building, a one-story, one-story clubhouse, and 40 new villa units in four separate three-story buildings, on the combined property at 1620 Mayflower Court and 2141 Oakhurst Avenue with the following conditions:

- 1. That the Mayflower Retirement Community explore options to create a northeast connector trail on the Mayflower Retirement Center property of 12 feet wide with a three-foot buffer on each side, consistent with the proposed St. Andrews Trail, as recommended by the Transportation Advisory Board.
- 2. That the Project receive a subsequent approval from the P&Z Board on a fence and landscape plan for the project including the 50-foot perimeter buffer area which utilizes a combination of new trees in the buffer area, cypress trees around the new ponds and those ponds bordering other properties; other landscaping features and fencing to provide a visual and sound buffer for the privacy of the adjoining residences and Gallery Condos.
- 3. In consideration of the multi-year length of the construction period, that the Mayflower limit the hours of construction to no later than 6:00 pm.
- 4. That the Project receive a subsequent approval from the P&Z Board on the final storm water design of the project, once fully vetted by City staff.

P&Z Board action: In order to satisfy part of Condition #2 and Condition #4, the Mayflower returned to the P&Z Board on August 14, 2018. Per Condition #2, since the truck traffic involved in the dredge and fill activity would be visible to some of the residents of the adjacent Gallery Condos, the Mayflower received approval of the screening and landscape buffering for that portion of the project. Then in satisfaction of Condition #4 the storm water design plans that had been approved by the St. John River Water Management

District and also thoroughly vetted by City staff were also then approved by the P&Z Board with the following action:

Approval of the Storm Water design and the Landscape/Screening plans for the Gallery Condominiums to include installation of a six foot beige vinyl privacy fence along the southern border of the construction access road, infill of podocarpus hedge in the gaps in the existing landscape buffer on the north shoreline area that exists today and planting of 10 new cypress trees along the 400 feet of the north water's edge of the retention pond, spaced every 40 feet concurrent with the start of the construction activity.

Mayflower's Current 2019 Request: There are two site plan/project changes being requested at this time:

 Consolidation of the three-story Health Care building (skilled nursing) and one-story Memory Care building into a single four-story, 84,842 square foot Resident Care building. This is similar in size to the estimated range (78,789 sf – 88,900 sf) for the previously two separate buildings.

The new Resident Care building is located in the northeast corner of the project site which is the location furthest away from any other residential neighbors. The building height is shown at 55 feet to the top of the roof, which is consistent with the height permitted by the site's R-4 zoning.

 Addition of another Residential Lakeside Home building. The previous approval allowed four, three-story residential buildings with ten units in each building (forty total units). This amendment would allow one additional or fifth, three-story building of ten units (fifty total units). Each building remains the same size at 24,854 square feet in size and 35 feet in height.

The combined building/project size totals from above, together with the 9,496 sq. ft. new Clubhouse and 6,500 sq. ft. maintenance building is a total of 225,108 sq. ft. of new construction, which on this 17.5-acre project site is a floor area ratio (FAR) of 29.5%. That number is well under the permitted FAR in R-2/R-3 and R-4 zonings on the site, which have maximum FAR's of 55%, 110% and 200% respectively.

The Mayflower has operated since 1989 with 240 apartments, 31 traditional assisted living units and 60 skilled nursing beds. In 1996, the 28 existing villa homes were built for new residents. This proposed expansion maintains the 60 skilled nursing beds, provides 22 new traditional assisted living units and 22 new memory care beds, and adds the 50 new apartment units.

Wetland Impacts Project: All of this 17.5-acre project site, is an isolated section of the Crane Strand wetland. The Comprehensive Plan policy from the Conservation Element below specifically states that this is the only wetland within the City where wetland disruption can occur.

Policy 5-2.4.4: Protection of Wetlands The City's protection of all wetlands in the City (except for the remaining isolated sections of the Crane Strand wetland) including adjacent environmentally sensitive lands shall be to prohibit any building and structures within fifty (50) feet of all designated wetlands. No fill disturbance or development may occur within this fifty (50) foot buffer protection zone.

Several decades ago, the Crane Strand wetland was a functioning wetland environment. Drainage ditches that were constructed in the 1950's changed the hydrological function of the wetland by letting it drain and dry-out versus its previous wetland swampy condition. Due to that condition, there were muck fires that occurred in this wetland area in the 1960's-1970's. The subsequent construction of the Interlachen Golf Course eliminated 83% of the Crane Strand wetland.

The authority on determinations for the preservation or destruction of wetlands is within the jurisdiction of the St. Johns River Water Management District (SJRWMD) and the US. Army Corps of Engineers. They have determined that this wetland area can be utilized for development because of its isolated nature and because it has become overrun with exotic/nuisance vegetation (potato vine, etc.) The philosophy of the SJRWMD and Army Corps of Engineers is to preserve major wetland tracts that are functional as wetlands and wildlife habitat. The formula is 10:1, meaning that developers must buy and preserve 10 acres for each acre they destroy within the same drainage basin.

The Mayflower has already received approvals from the SJRWMD and US Army Corps of Engineers for this project. Mitigation has already been purchased from the Econlockhatchee River Mitigation Bank. Those permits allow utilization of this portion of the remaining Crane Strand wetland in order to preserve functioning wetlands elsewhere.

Storm Water Retention: This project will have a combination of surface ponds that will meet the requirements of the St. John River Water Management District as well as City Code. The surface ponds function both for retention for the new impervious surfaces and also for compensating storage for the wetland destruction. That is the reason they are sized as big as shown. The storm water ponds also add a nice visual aesthetic to the project. The pond closest to the adjoining single family residences also provides a buffer.

Traffic/Parking/Construction Impacts: While there is a significant amount of new construction (in square feet), the net increases in traffic generation are not significant. The net traffic increases will only be the daily employees serving the skilled nursing/assisted living and memory care residents, plus visitors to them, and the approximately 80 residents living in the 50 new villa/apartments. The construction traffic activity is limited per the original approval to 8:00 am to 6:00 pm only on weekdays due to the noise associated with those activities.

The plans show 195 new parking spaces to be created in the ring road around the new facilities. There also is parking provided in enclosed garages on the ground floor of the Residential Lakeside Home buildings. There is a surplus of parking provided above the Code requirements, which is intentional. The reason is to solve the current complaint about not having enough on-site parking and also to beautify the front of the existing main Mayflower building by reducing some parking for more green space.

Satisfaction of the Condition Regrading the Perimeter Landscape Buffer to the Eastern Neighborhoods:

As a benefit to both the adjacent residential neighbors to the west and the residents of the new Mayflower units, an extensive landscape buffer is planned within the 50-foot perimeter setback area (that remains zoned single family). On the property boundary, the plans show a six-foot perimeter powder coated metal picket fence for security of their property to the adjoining residences and streets to the west.

For the landscaping buffer, the plans show an extensive bamboo screen along the property line for the southern portion of the site so that the adjacent neighbors will not be seeing the Lakeside Residential buildings, parking lot, or the maintenance building and also viceversa so that the Mayflower residents are not looking at the homes and streets and yards. The bamboo is supplemented by shade trees planted 60 feet apart on center. In the middle and northern sections of the site where the pond is located and other open spaces, the bamboo is eliminated so that the exterior residents can look into the property and enjoy the natural views. The plan does show perimeter plantings of shade trees and understory trees to compliment the vistas.

The landscape plan offers five different types of shade trees and three different varieties of understory trees. In order to have more certainty for the adjacent homeowners and with the concurrence of the City Arborist, there will be a condition limiting the new trees adjacent to the neighborhood to an even split of Live Oaks, Magnolias and to just use Crepe Myrtles (different colors) for the sole understory plantings. The Mayflower is free to decide on the diversity of plantings on the balance of their project.

Satisfaction of the Bike Path Condition of Approval: At the suggestion of the City's Transportation Advisory Board, the P&Z Board and the City Commission included a condition to the original approval requiring the Mayflower to "explore options to create a northeast connector trail on the Mayflower Retirement Center property of 12 feet wide with a three-foot buffer on each side, consistent with the proposed St. Andrews Trail, as recommended by the Transportation Advisory Board".

The Mayflower has offered that 15-foot-wide easement through the southwest corner portion of their property to help create this bike/pedestrian path link. This easement will connect between Lander Road and Suffield Drive. Bikes and pedestrians will be able to cross Aloma Avenue safely at the traffic light at St. Andrews, and then use the sidewalk along Aloma Avenue for the section to Lander Road. At the north end of Lander Road is a city property that provides a connection with the easement from the Mayflower to connect to the cul-de-sac at the end of Suffield Drive. Bikes and pedestrians can then travel through the neighborhood streets that are lightly traveled connecting to Lakemont Avenue. The goal of this connection through the neighborhood is to create a safe route for children to get to Lakemont Elementary.

As shown on the attached exhibit, "Easement Request with Bike/Pedestrian Plan", this condition of approval was an alternative request to the 2010 Bike/Pedestrian Circulation Plan, as to not bisect the Mayflower property. The goal of the 2010 Bike/Ped plan was to create an alternative route for school children, cyclists and pedestrians to having to use Aloma and Lakemont for access. Aloma Ave and Lakemont Ave do not have adequate facilities to provide safe routes to Lakemont Elementary, the YMCA, parks and to the bike facilities located along Palmer Ave that provide connectivity into the heart of Winter Park. This condition of approval was attached to the original CU because of its consistency with the city's Comprehensive Plan goals and policies to enhance connectivity throughout the city and put pedestrians and cyclists before the car (see attached list of supporting Comp Plan policies).

In addition to that 15-foot wide easement in the southwest corner of the Mayflower property, planning staff is also requesting a second 15-foot wide easement in the northwest portion of the site (see attached exhibit "Easement Request"). This secondary easement completes the original intent of this 'northeast connector' which continues this safe and convenient connection for children to not only get to Lakemont Elementary, but creates a safe connection to the YMCA, Phelps Park and the existing bike/pedestrian facilities on

Palmer Avenue. In order to accomplish this goal entirely there will also need to be future easements that the city will work to obtain.

Staff understands that the Mayflower is not in favor of granting this second bike path easement. However, since this Mayflower expansion cannot be built without this CU approval, this is ultimately the city's only opportunity to get this connection, meeting a number of Comprehensive Plan goals. The purpose of a CU request is to ensure that such activities and projects requested by an applicant are in conformance with the Comprehensive Plan policies, and that they do not result in lack of compatibility and the character of the surrounding area. The code states that conditions may be imposed regarding the manner in which the entire conditional use property is developed and used and the city may impose restrictions otherwise not applicable by other typical land development codes as part of the conditional use approval. Furthermore, it states that such conditions may also require infrastructure improvements for transportation, mobility, water, sewer, storm water and such. Therefore, staff feels that these two easement requests that are located within the project's 50-foot wide buffer area are a justifiable condition that is consistent with the city's Comprehensive Plan and do not cause any adverse impact to the developer. The City is simply requesting easement on land that would otherwise be undeveloped. The City would construct the bike paths and would provide adequate fencing and screening to address the concerns of the applicant. The City Commission has approved the inclusion of bike/pedestrian paths in two recent Conditional Use approvals; the Gay Road Office project and the Raindancer car wash, so this condition is consistent with recent practices.

Staff Summary and Recommendation: Overall, the planning staff is recommending APPROVAL of amended site plan or project layout and Final Conditional Use. All that is changing from the Preliminary CU approval is combining the two health care facilities into one building and adding one additional residential building of 10 more units. The traffic generation from all of these proposed uses is very low and does not impact any other properties, as all access is via Mayflower Court and Aloma Avenue.

The Mayflower has also satisfied the conditions of approval outlined from the Preliminary Conditional Use. The storm water and compensating drainage plan were approved by P&Z on August 18, 2018. The fencing and landscape buffering plans submitted accomplish the function desired as a privacy and visual screen.

Letter from the Gallery Condominiums: Please note the letter from the Gallery Condos supporting this project. They are however, asking for changes to a previous condition of approval to leave the color of the privacy fence up to their future mutual decision and for the addition of irrigation installed by the Mayflower which they feel is critical to the viability of the agreed upon landscape screening. Those requests seem to make sense to the planning staff.

STAFF RECOMMENDATION is for APPROVAL with two conditions:

- 1. Provide irrigation pursuant to the request of the Gallery Condos and provide that the perimeter trees be equally split between Live Oaks and Magnolias with Crepe Myrtles (different colors) as the understory plantings.
- 2. That in order to be consistent with the city's Comprehensive Plan goals to increase connectivity, the Mayflower grant the city two 15-foot wide easements for future bike/pedestrian paths as shown in the attached exhibit "Easement Request".

Relevant Comprehensive Plan Goals, Policies and Objectives that support the easement requests:

OBJECTIVE 1-1.2: Development Scale Encourage development that fosters pedestrian connectivity, appropriate design and landscaping with building mass and scale.

GOAL 2-1: BALANCED TRANSPORTATION SYSTEM The City of Winter Park desires to ensure a balanced and safe transportation system that promotes a walkable, bicycle-friendly environment that encourages transit as well as ensures efficiencies along the roadway network.

OBJECTIVE 2-1.1: Safe & Balanced Multimodal System The City shall create a Mobility Plan that promotes and supports the broad transportation needs of the community.

Policy 2-1.1.1: Multimodal Activities The City defines mobility as the provision of multiple opportunities or choices in transportation modes for travel within and to/from the City through a multi-modal transportation system. The general hierarchy of modes is 1) walking, 2) bicycling, 3) transit (bus and rail), and 4) private vehicles. The primary focus or overall mobility strategy is on the minimum provision of facilities for all modes and the connectivity based upon the mode hierarchy. Where adequate facilities exist for all modes, the City will prioritize enhancing the quality and integration of the facilities based upon the mode hierarchy.

Policy 2-1.1.3: Provide a Bicycle Circulation System The City, in partnership with Orange and Seminole Counties, MetroPlan Orlando, and other local and state agencies, will continue to plan, fund and construct a network of bicycle facilities as depicted in the Winter Park Pedestrian and Bicycle Circulation Plan as amended, to increase the non-motorized transportation system.

Policy 2-1.1.7: Support the Development of a Regional Trails System The City will coordinate with MetroPlan Orlando, the Cities of Orlando and Maitland, and Counties of Orange and Seminole to identify, program, and fund pedestrian and multiuse trails within the City limits as part of a regional trails system. In particular, bicycle facilities in the City shall connect to regional facilities, including connections between the Dinky Line Trail and trails within Mead Gardens, and the Cady Way Trail and the Cross Seminole Trail.

GOAL 2-2: SAFE TRANSPORTATION NETWORK Winter Park seeks to create a safe transportation system for all modes of travel.

OBJECTIVE 2-2.1: Safety For All Modes Of Transportation The City shall provide the safest possible transportation network using all means necessary including development review, technology and redesign.

Policy 2-2.1.1: Transportation Safety The Winter Park Police Department will provide crash summary reports each quarter to the Transportation Advisory Board and City Staff. If determined appropriate by City staff, a study will be initiated to identify potential strategies (i.e., engineering, enforcement, education or technology) to address the safety issues associated with the crashes.

Policy 2-2.1.2: Pedestrian & Bicycle Safety The City will annually review the FDOT Safety Office Geographic Information System Crash Query Tool to identify locations with multiple

pedestrian or bicycle crashes and initiate studies to identify potential improvements to improve the safety for pedestrians and cyclist where warranted.

OBJECTIVE 2-3.1: Innovative Transportation Infrastructure The City will embrace innovative transportation infrastructure to ensure that travel is safe and efficient, through prioritization of pedestrians, bicyclists and transit users.

OBJECTIVE 6-3.4: Interconnect Park System with Recreation & Transportation Trails and Paths The City shall provide a park and open space system to interconnect parks by pedestrian and bicycle path lanes.

Policy 6-3.4.1: Link Parks & Public Open Space The City shall provide bikeways, where possible and where public safety permits, to link open space and parks both internally and regionally to Winter Park. New park location and design should take into consideration the presence or feasibility to the park with other City facilities via bicycle paths and lanes.

Policy 6-3.4.2: Cady Way Trail The City shall support the interconnection of the Cady Way Trail with other regional trail systems.

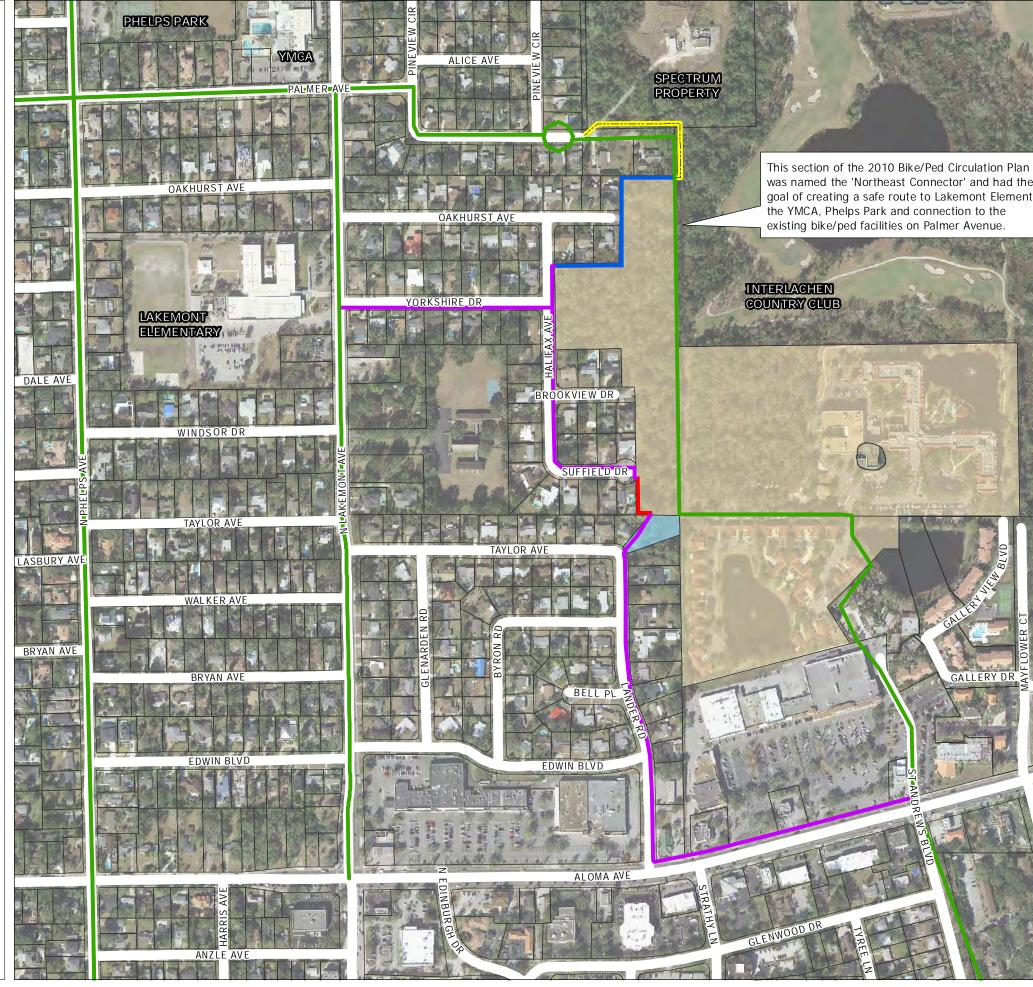


MAYFLOWER RETIREMENT CENTER Easement Request with Bike/Ped Plan

City of Winter Park Florida

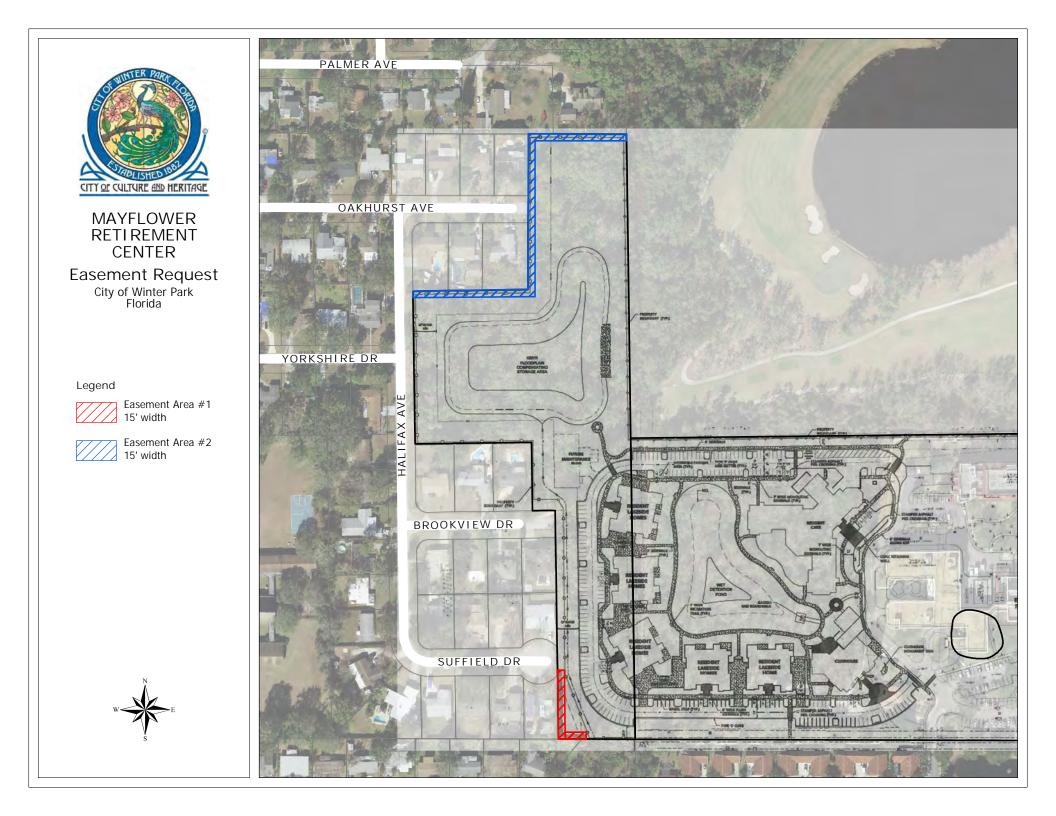
Legend





was named the 'Northeast Connector' and had the goal of creating a safe route to Lakemont Elementary,

GALLERY DR



Conditional Use Plan

Issued for **City of Winter Park Approval**

Date Issued Latest Issue May 1, 2019

Issue June 10, 2019

The Mayflower Retirement Center

City of Winter Park, Florida Parcel IDs: 04-22-30-0000-00-112 04-22-30-0000-00-005

Owner/Applicant

The Mayflower Retirement Center, Inc. 1620 Mayflower Court Winter Park, Florida 32792 P 407.672.1620

LEGAL DESCRIPTIONS:

PARCEL ID 04-22-30-0000-00-112

The East 1/2 of the Northwest 1/4 of Section 4, Township 22 South, Range 30 East, Orange County, Florida, less the North 1580 feet. Together with the following easements: (i) an easement for signage over the property described in the Sign Easement Agreement, dated August 8, 1985, and recorded in Official Records Book 3675, Page 1134; (ii) a non-exclusive drainage easement reserved in a Warranty Deed dated November 30, 1983, and recorded in Official Records Book 3448, Page 1575; (iii) a non-exclusive easement for ingress, egress and utilities as set forth in an Easement dated November 30, 1983 and recorded in Official Records Book 3448, Page 1584, Public Records of Orange County, Florida; and (iv)easements for ingress. Egress, utilities and drainage as reserved in a Warranty Deed dated December 6. 1983, and recorded in Official Records Book 3451, Page 700.

PARCEL ID 04-22-30-0000-00-005

The North 1/2 of the North 1/2 of the Southwest 1/4 of the Northwest 1/4 (less the North 125 feet of the West 213 feet and less part thereof in Lakemont Avenue on the West) and less part platted as PARK MANOR, FIRST ADDITION, according to the plat thereof as recorded in Plat Book W, Page 139, Public Records of Orange County, Florida, said property lying in Section 4, Township 22 South, Range 30 East.

ALSO:

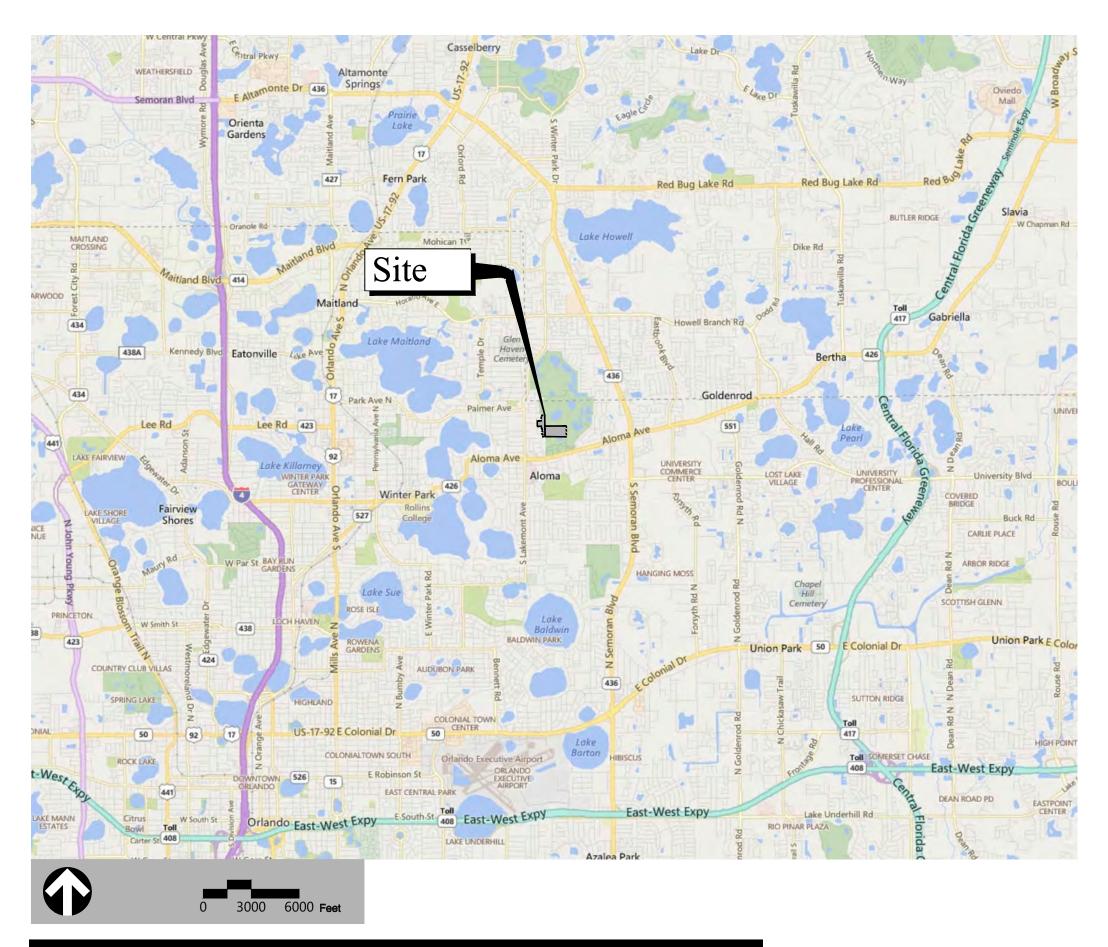
LESS:

The South ½ of the North ½ of the Southwest ¼ of the Northwest ¼ (less part platted PARK MANOR, according to the plat thereof as recorded in Plat Book T, Page 142, Public Records of Orange County, Florida, and less part platted PARK MANOR, FIRST ADDITION, according to the plat thereof as recorded in Plat Book W, Page 139, Public Records of Orange County, Florida, said property lying in Section 4, Township 22 South, Range 30 East. ALSO:

The West ¹/₂ of the Southeast ¹/₄ of the Southwest ¹/₄ of the Northwest ¹/₄ (less part platted PARK MANOR, FIRST ADDITION, according to the plat thereof as recorded in Plat Book W, Page 139, Public Records of Orange County, Florida, said property lying in Section 4, Township 22 South, Range 30 East. ALSO:

The East ½ of the Southeast ¼ of the Southwest ¼ of the Northwest ¼ (less part platted PARK MANOR, FIRST ADDITION, according to the plat thereof as recorded in Plat Book W, Page 139, Public Records of Orange County, Florida, and less begin at the Northeast corner of Lot 3, Block E, Park Manor, First Addition, according to the plat thereof as recorded in Plat Book W, Page 139, Public Records of Orange County, Florida, run South 89 degrees 02 minutes 05 seconds West 150 feet, thence North 89 degrees 57 minutes 55 seconds West 25 feet to the Southeast corner of Lot 3, thence North 00 degrees 02 minutes 05 seconds East 150 feet to the point of beginning, said property lying in Section 4, Township 22 South, Range 30 east.

Begin at the Northeast corner of Lot 2, Block "C", PARK MANOR FIRST ADDITION, as recorded in Plat Book "W", Page 139, Public Records of Orange County Florida, run South 89 degrees 02 minutes 30 seconds East 100 feet along the South Right of Way of Oak Hurst Avenue, as shown on said plat; thence South 0 degrees 57 minutes 30 seconds West, 145.90 feet; thence N 89 degrees 57 minutes 55 seconds West 100.01 feet to the Southeast corner of said Lot 2, Block "C", thence N 0 degrees 57 minutes 30 seconds East 147.51 feet point of beginning.



Sheet Index

No.		Drawing Title	Latest Issue
	C-1 - C-2	Existing Conditions Plan	June 10, 2019
	C-3	Master Site Plan	June 10, 2019
	C-4	Master Grading & Drainage Plan	June 10, 2019
	C-5	Master Utility Plan	June 10, 2019
	L-1	Landscape Plan	June 10, 2019
	L-2	Landscape Schedule and Notes	June 10, 2019

Reference Sheets				
No.	Drawing Title	Latest Issue		
A-1 - A-10	Building Elevations	June 10, 2019		



225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
Certificate of Authorization
Number FL #3932

Community Planner, Civil Engineer, Surveyor & Landscape Architect VHB

225 E. Robinson St., Suite 300 Orlando, Florida 32801 P 407.839.4006 · F 407.839.4008

Geotech

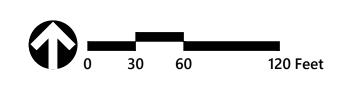
Terracon Consultants, Inc. 1675 Lee Road Winter Park, Florida 32789 P 407.740.6110 · F 407740.6112

Issued for: City of Winter Park Approval

DATE: June 10, 2019







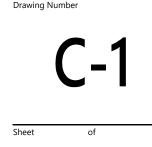
The Mayflower **Retirement Center**

Winter Park, Florida

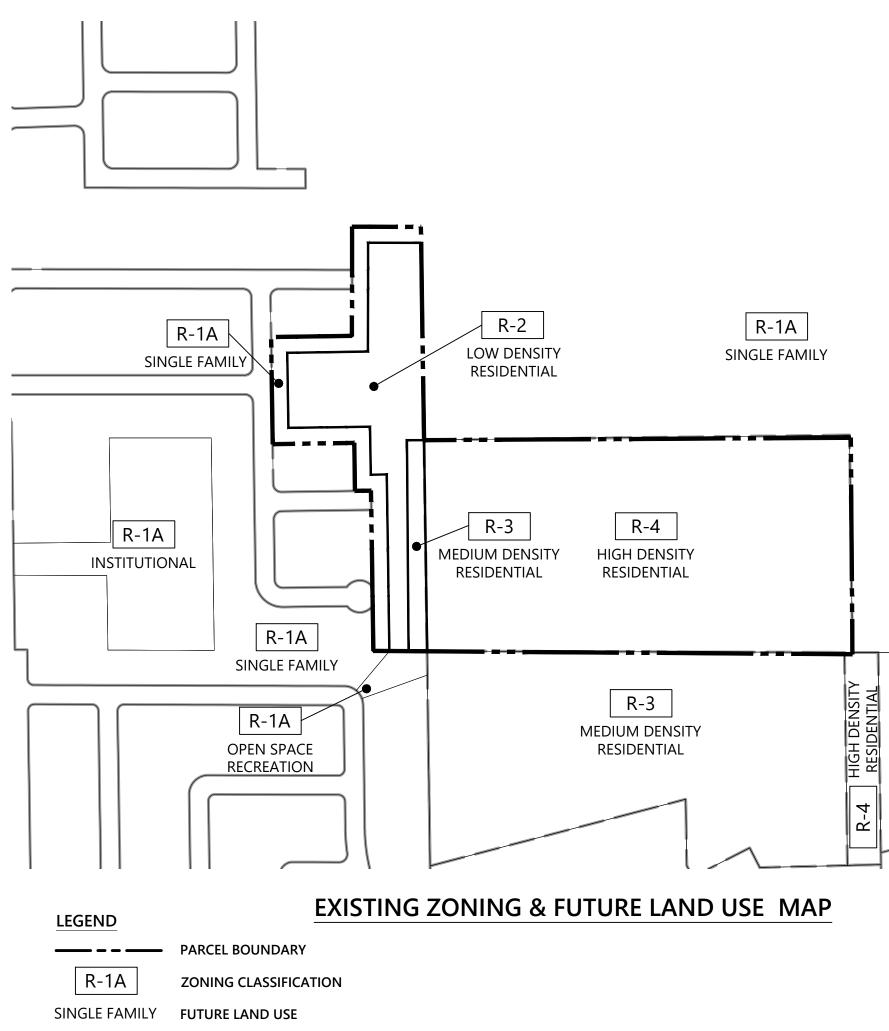
No.	Revision	Date	Appv
1	Submit to the City of Winter Park	05/01/2019	
2	Resubmit to the City of Winter Park	06/10/2019	
Design	ed by JLB	Checked by JR	ιH
Issued	for	Date	
Со	nditional Use Plan	May 1, 201	

Vertical Datum NGVD 1929
Drawing Title

Existing Conditions Plan



DATE: Jun. 10, 2019 62643.00





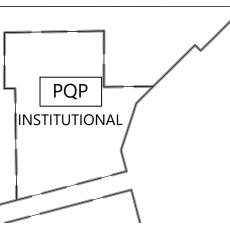
AERIAL & EXISTING LAND USE

CODE DESCRIPTION 1300 FLUCFCS SOURCE: SJRWMD, 2009

LEGEND

----- PARCEL BOUNDARY

------ FLUCFCS LIMITS



1200RESIDENTIAL, MEDIUM DENSITY1300RESIDENTIAL, HIGH DENSITY 1500RESIDENTIAL, HIGH DENSITY1700INSTITUTIONAL1820GOLF COURSES5300RESERVOIRS-PITS, RETENTION PONDS, DAMS6170MIXED WETLAND HARDWOODS



LEGEND ------ SOILS BOUNDARY

ZONE A **OAKHURST AVE** YORKSHIRE DR **ZONEA** ZONE A ZONE X INARDEN RD RD ANDE NO i wata

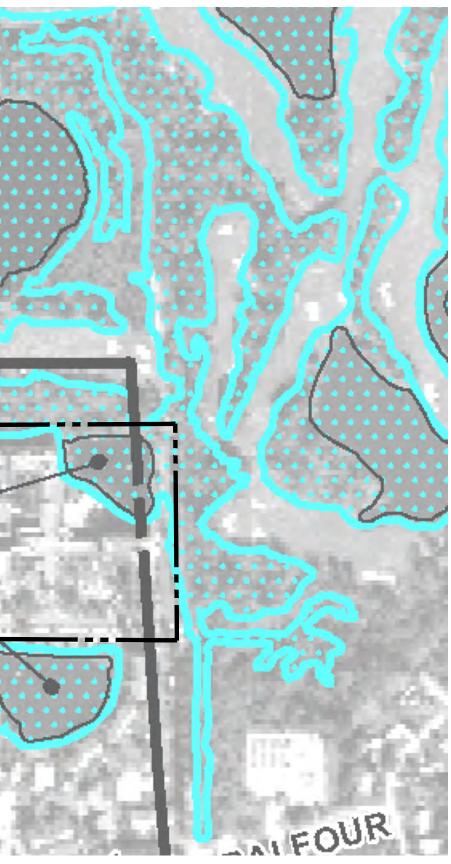
LEGEND ----- PARCEL BOUNDARY

FLOODPLAIN MAP

FLOOD PRONE AREA + + +

<u>Floodplain Source:</u> FIRM Panel Number 12095C0255F Map Revised September 25, 2009

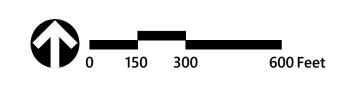
SOIL CODE DESCRIPTION SAMSULA-HONTOO-BASINGER ASSOCIATION, DEPRESSIONAL* SMYRNA-URBAN LAND COMPLEX 41 45 99 WATER * INDICATES HYDRIC SOIL BASED ON INFORMATION FOUND IN THE HYDRIC SOILS OF FLORIDA HANDBOOK, MARCH 2000 SOIL SOURCE: ORANGE COUNTY GIS DATA



LEGEND

ZONE A Base Flood Elevations not determined ZONE AE Base Flood Elevations determined Special Flood Hazard Areas Subject to Innundation by the 1% Annual Chance Flood Event





The Mayflower **Retirement Center**

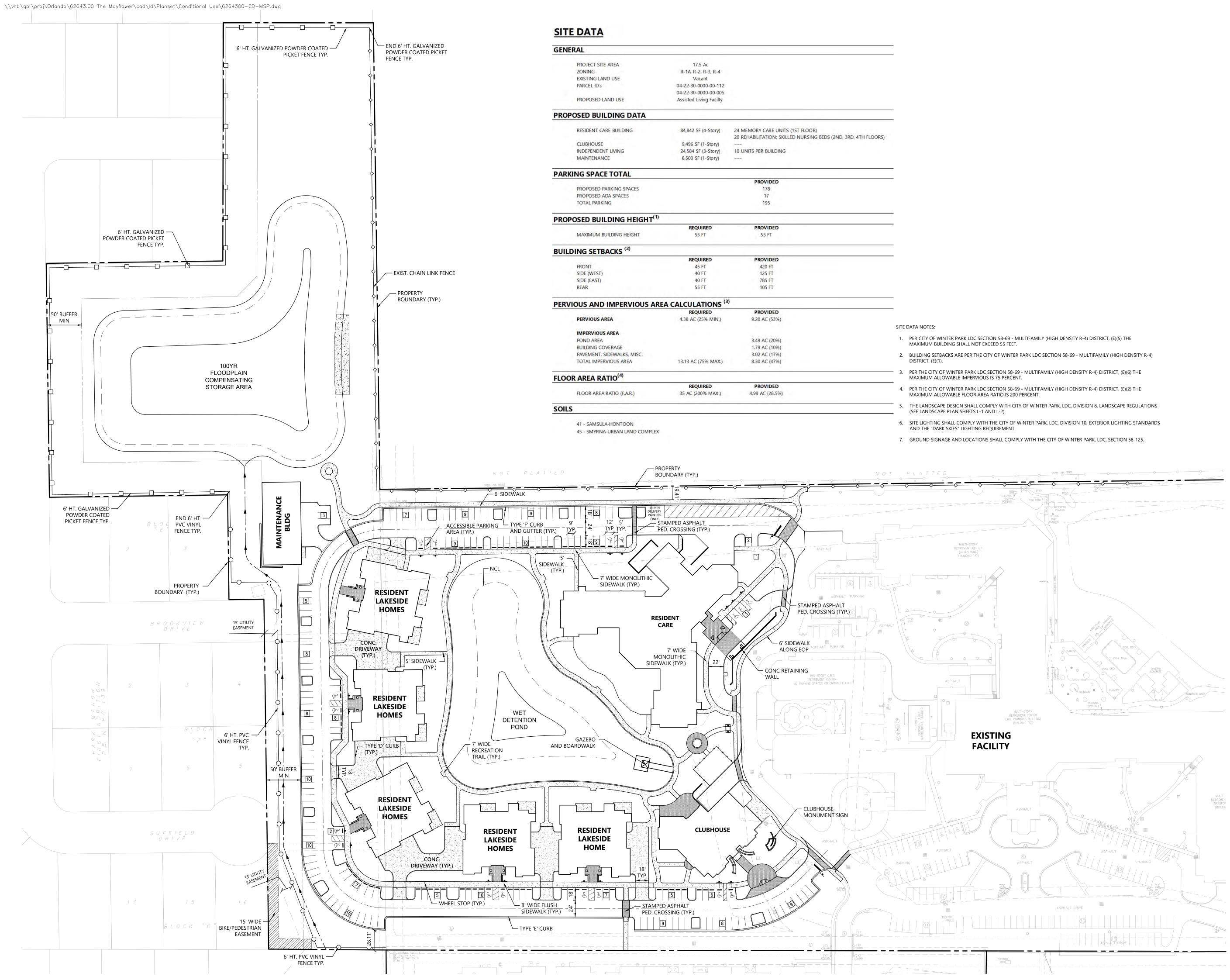
Winter Park, Florida

No.	Revision	Date	Appvd
1	Submit to the City of Winter Park	05/01/2019	
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Design	ad by	Checked by	
Design	JLB	,	RH
Issued		Date	
Co	nditional Use Plan	May 1, 201	

Vertical Datum NGVD 1929 Drawing Title

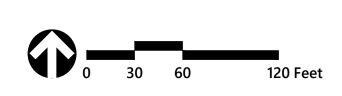
Existing Conditions Plan





1.00			
	PROJECT SITE AREA	17.5 Ac	
	ZONING	R-1A, R-2, R-3, R-4	
	EXISTING LAND USE	Vacant	
	PARCEL ID's	04-22-30-0000-00-112	
		04-22-30-0000-00-005	
	PROPOSED LAND USE	Assisted Living Facilty	
PROP	OSED BUILDING DATA		
	RESIDENT CARE BUILDING	84,842 SF (4-Story)	24 MEMORY CARE UNITS (1ST FLOOR) 20 REHABILITATION; SKILLED NURSING BEDS (2ND, 3RD, 4TH FLOORS)
	CLUBHOUSE	9,496 SF (1-Story)	
	INDEPENDENT LIVING	24,584 SF (3-Story)	10 UNITS PER BUILDING
	MAINTENANCE	6,500 SF (1-Story)	
PARK	ING SPACE TOTAL		
	The second state of the second se		PROVIDED
	PROPOSED PARKING SPACES		178
	PROPOSED ADA SPACES		17
	TOTAL PARKING		195
PROP	OSED BUILDING HEIGHT ⁽¹⁾		
		REQUIRED	PROVIDED
	MAXIMUM BUILDING HEIGHT	55 FT	55 FT
BUILD	DING SETBACKS (2)		
		REQUIRED	PROVIDED
	FRONT	45 FT	420 FT
	SIDE (WEST)	40 FT	125 FT
	SIDE (EAST)	40 FT	785 FT
	REAR	55 FT	105 FT
PERV	IOUS AND IMPERVIOUS AR	EA CALCULATIONS)
		REQUIRED	PROVIDED
	PERVIOUS AREA	4.38 AC (25% MIN.)	9.20 AC (53%)
	IMPERVIOUS AREA		
	POND AREA		3.49 AC (20%)
	BUILDING COVERAGE		1.79 AC (10%)
	PAVEMENT, SIDEWALKS, MISC.		3.02 AC (17%)
	TOTAL IMPERVIOUS AREA	13.13 AC (75% MAX.)	8.30 AC (47%)
FLOO	R AREA RATIO ⁽⁴⁾		
	and the second second second	REQUIRED	PROVIDED
	FLOOR AREA RATIO (F.A.R.)	35 AC (200% MAX.)	4.99 AC (28.5%)

Legend DECORATIVE PAVERS CONC. PAVEMENT

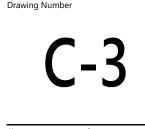


The Mayflower **Retirement Center**

Winter Park, Florida

No.	Revision	Date	Appvd
1	Submit to the City of Winter Park	05/01/2019	
2	Resubmit to the City of Winter Park	06/10/2019	
Desian	ed by JLB	Checked by JR	ц
sesign		11	11
	for	Date	
Issued	nditional Use Plan	Date May 1	, 2019

Master Site Plan



date: ____Jun. 10, 2019___

Project Number 62643.00



225 E. Robinson Street

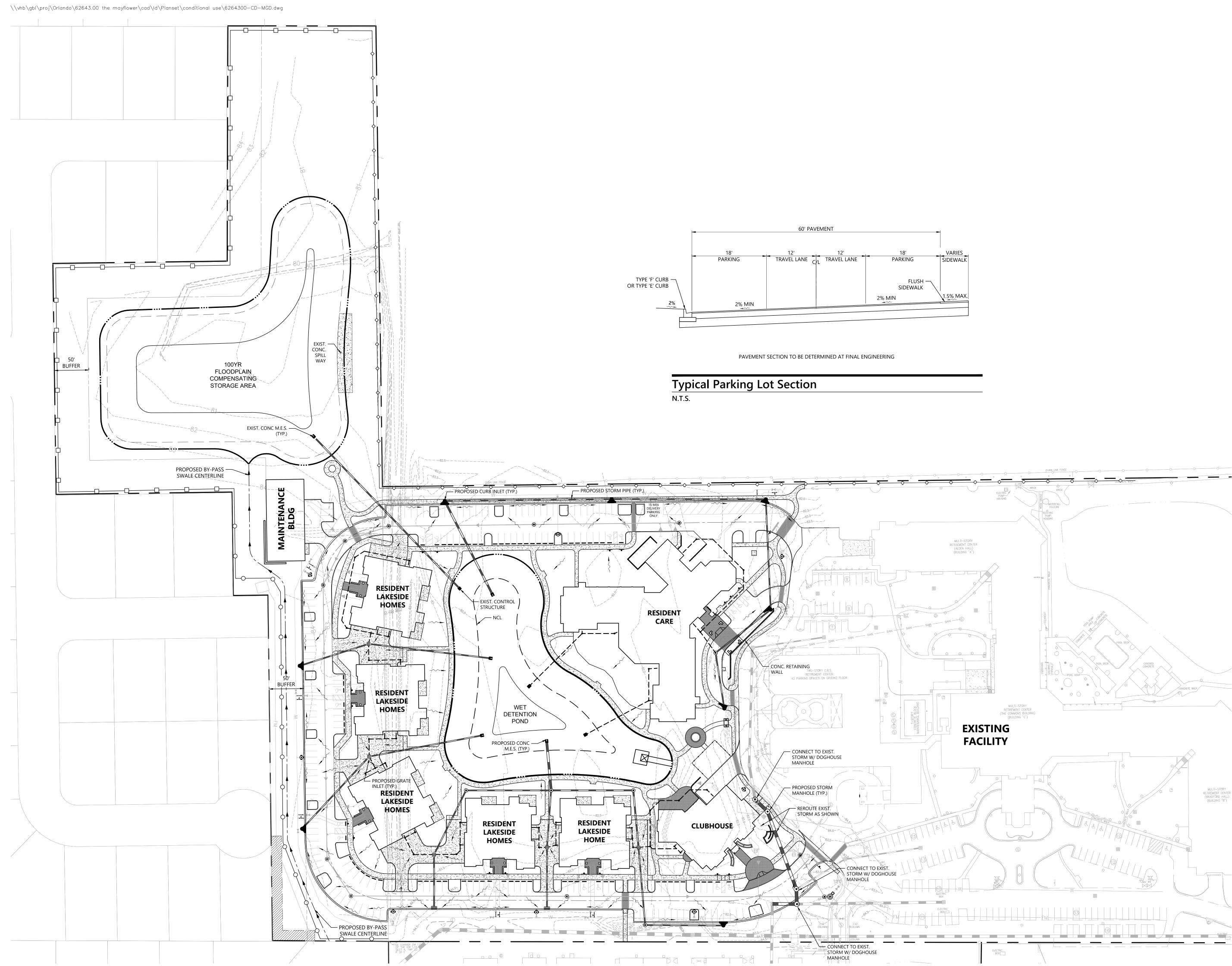
Certificate of Authorization

Orlando, FL 32801

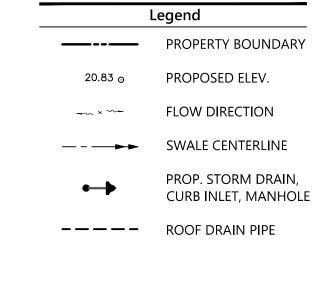
Number FL #3932

407.839.4006

Suite 300









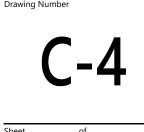
The Mayflower **Retirement Center**

Winter Park, Florida

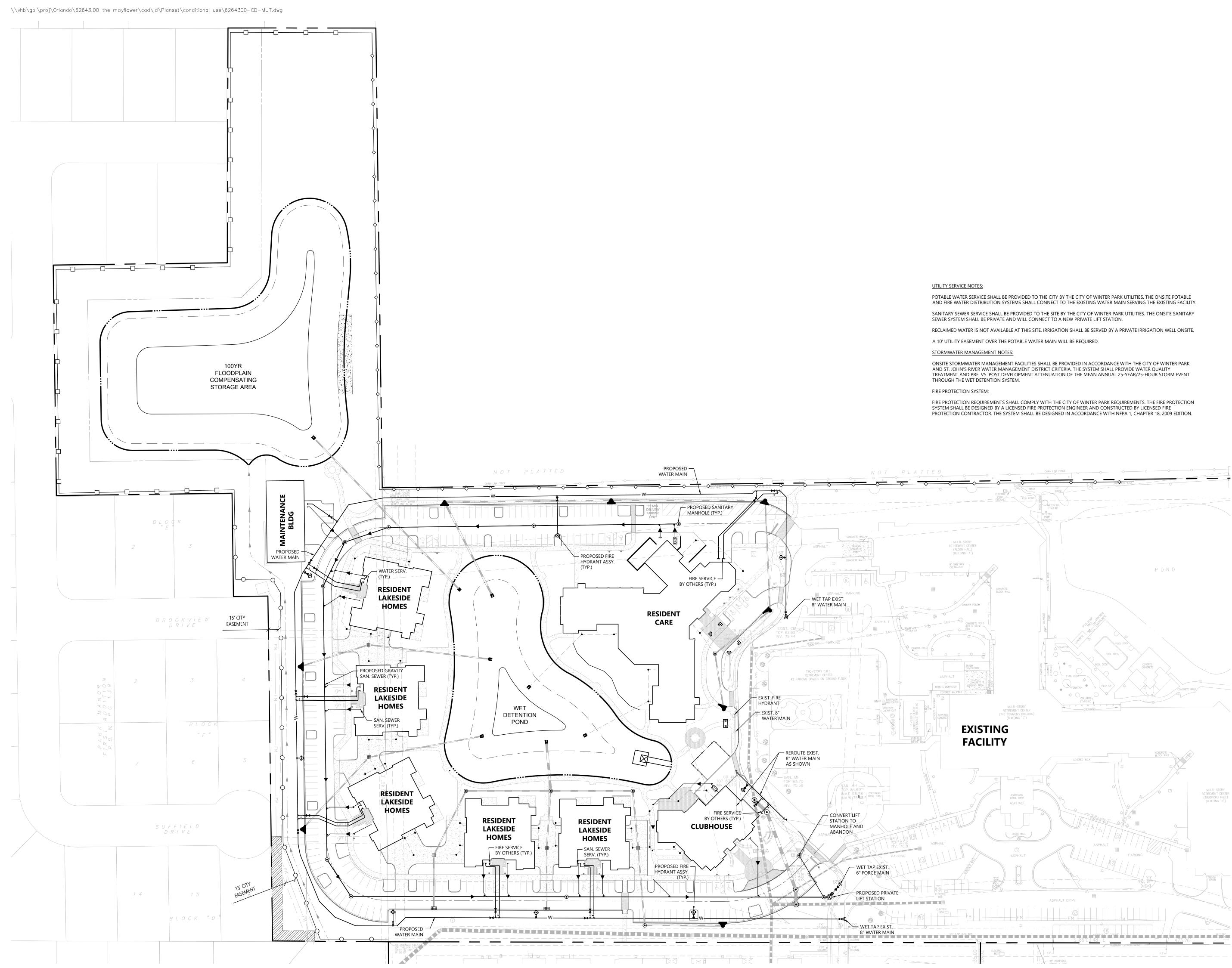
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Design	ied by	Checked by	
g.	JLB	JRI	Η
Issued	for	Date	
Co	nditional Use Plan	May 1,	2019

Vertical Datum NGVD 1929
Drawing Title

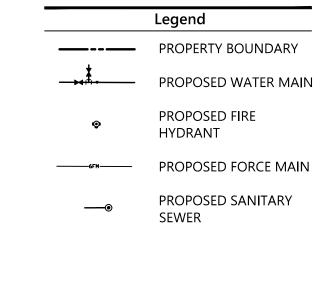
Master Grading & Drainage Plan



James R. Hoffman, P.E. P.E. # 75623 Project Number DATE: _____Jun. 10, 2019 62643.00









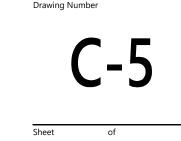
The Mayflower **Retirement Center**

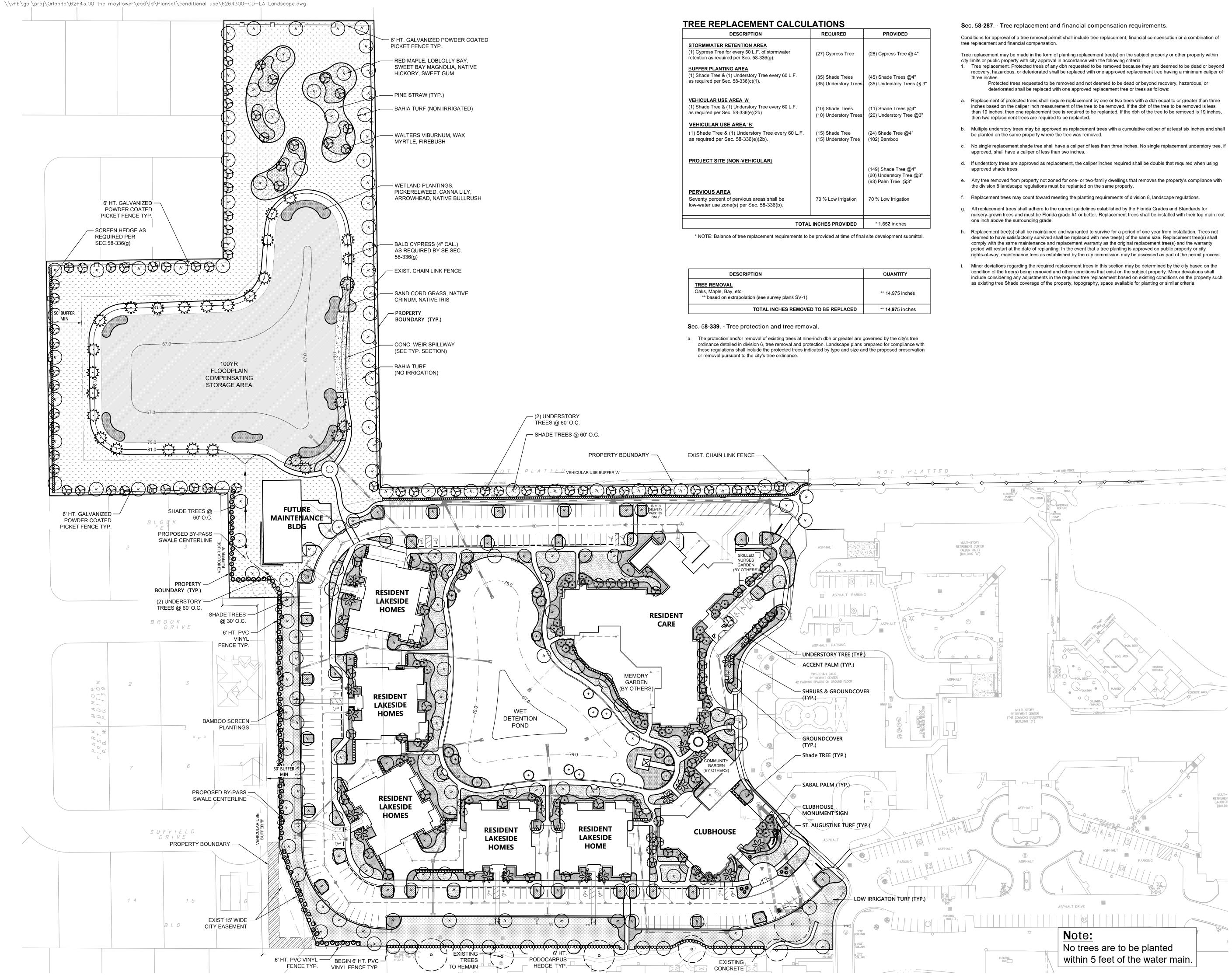
Winter Park, Florida

Со	nditional Use Plan	May	1, 2019
Issued	for	Date	
	JLB	JF	RH
Design	ed by	Checked by	
2	Resubmit to the City of Winter Park	06/10/2019	
1	Submit to the City of Winter Park	05/01/2019	
No.	Revision	Date	Appvd

Vertical Datum NGVD 1929 Drawing Title

Master Utility Plan





DESCRIPTION	REQUIRED	PROVIDED
STORMWATER RETENTION AREA (1) Cypress Tree for every 50 L.F. of stormwater retention as required per Sec. 58-336(g).	(27) Cypress Tree	(28) Cypress Tree @ 4"
BUFFER PLANTING AREA (1) Shade Tree & (1) Understory Tree every 60 L.F. as required per Sec. 58-336(c)(1).	(35) Shade Trees (35) Understory Trees	(45) Shade Trees @4" (35) Understory Trees @ 3"
VEHICULAR USE AREA 'A' (1) Shade Tree & (1) Understory Tree every 60 L.F. as required per Sec. 58-336(e)(2b).	(10) Shade Trees (10) Understory Trees	(11) Shade Trees @4" (20) Understory Tree @3"
VEHICULAR USE AREA 'B'		
(1) Shade Tree & (1) Understory Tree every 60 L.F. as required per Sec. 58-336(e)(2b).	(15) Shade Tree (15) Understory Tree	(24) Shade Tree @4" (102) Bamboo
PROJECT SITE (NON-VEHICULAR)		
		(149) Shade Tree @4" (60) Understory Tree @3" (93) Palm Tree @3"
PERVIOUS AREA		
Seventy percent of pervious areas shall be low-water use zone(s) per Sec. 58-336(b).	70 % Low Irrigation	70 % Low Irrigation
ΤΟΤΑ	L INCHES PROVIDED	* 1,65 2 inches





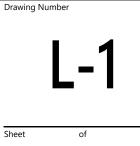
The Mayflower **Retirement Center**

Winter Park, Florida

No.	Revision	Date	Арри
1	Submit to the City of Winter Park	05/01/2019	
2	Resubmit to the City of Winter Park	06/10/2019	
Design	ed by	Checked by	
	JLB	J	RH
Issued	for	Date	
Conditional Use Plan		May 1, 201	

Vertical Datum NGVD 1929

Preliminary Landscape Plan

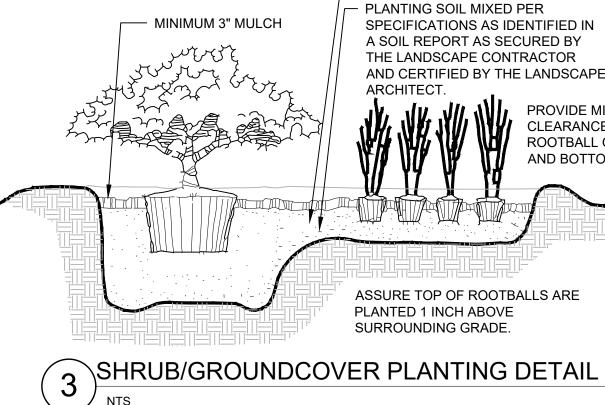


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PLAN ⁻	ΓL	.EG	END	
TREES		WATER	COMMON NAME / BOTANICAL NAME CONT CAL SIZE	<u>QTY</u>
+	(Y) (Y) (N) (Y) (Y)	USE (L) (L) (L) (L) (L)	CANOPY TREESSouthern Live Oak / Quercus virginianaB&B4"Cal16` Ht., 8` Spd. 6' CT.Shumard Oak / Quercus schumardiiB&B4"Cal16` Ht., 8` Spd. 6' CT.Allee Elm / Ulmus parvifolia 'Allee'B&B4"Cal14` Ht., 8` Spd. 6' CT.Southern Magnolia / Magnolia grandifloraB&B4"Cal14` Ht., 8` Spd. 6' CT.Red Maple / Acer rubrumB&B4"Cal14` Ht., 8` Spd. 6' CT.	211
A D D	(Y) (Y) (Y)	(L) (L) (L)	Sycamore / Platanus occidentalisB&B4"Cal14` Ht., 8` Spd. 6' CT.Bald Cypress / Taxodium distichumB&B4"Cal14` Ht., 7` Spd. 4' CT.Weeping Willow / Salix babylonicaB&B4"Cal14` Ht., 8` Spd. 6' CT.	18
	(Y)	(L)	Bald Cypress / Taxodium distichum B&B 4"Cal 14` Ht., 7` Spd. 4' CT.	28
E. Martin	(Y)	(L)	Bambusa textilis var. Gracilis / Bamboo`Slender Weavers` 15 gal 15` Ht., 4` Spd. (12 canes)	102
	ORY	TREES		<u>QTY</u>
Ø	(N) (N) (N)	(L) (L) (M)	Ligustrum / Ligustrum japonicum B&B 3"Cal 8' Ht.x10' Spd. 'Tuscarora' Crape Myrtle / Lagestroemia indica 30 gal 9"Cal 8' Ht., 5' Spd. 3' CT. Purple Trumpet Tree / Tabebuia impetiginosia B&B 3"Cal 16' Ht., 14' Spd. 4' CT.	115
PALMS				<u>QTY</u>
- Siz	(N)	(L)	Indian Date Palm / Phoenix sylvestris B&B 8` -12' C.T.	21
Man AN MAN	(Y)	(L)	Sabal Palm / Sabal palmettoB&B8` -12' C.T.	72
SHRUBS				QTY
\bigcirc	(N)	(L)	Podocarpus / Podocarpus macrophyllus 7 gal 36" Ht., 24" Spd., 30" o.c.	217
\bigcirc	(Y) (N)	(L) (M)	Walter`s Viburnum / Viburnum obovatum7 gal36" Ht., 24" Sp30" o.c.Sweet Viburnum / Viburnum odoratissiumum7 gal36" Ht., 24" Spd.,30" o.c.	397
SHRUBS /	GRO	UNDCC	DVER	QTY
	(3,3,2,3,2,3,2,2,3,3,3,3,3,3,3,3,3,3,3,3	(L) (M) (L) (L) (L) (L) (L) (L) (L)	White Indian Hawthorn / Raphilolepsis indica3 gal15" Ht., 18" Spd.30" o.c.Coontie / Zamia floridana3 gal15" Ht., 18" Spd.24" o.c.Fringe Flower / Loropetalum chinensis3 gal15" Ht., 18" Spd.30" o.c.Gold Mound Duranta / Duranta erecta `Gold Mound`3 gal15" Ht., 18" Spd.30" o.c.Thryalis / Galphimia gracilis3 gal18" Ht., 24" Spd.30" ocFire Bush / Hamelia patens `Compacta`3 gal18" Ht., 24" Spd.30" ocDwarf Burford Holly / Ilex cornuta `Dwarf Burford`3 gal24" Ht., 24" Spd.30" ocDwarf Yaupon / Ilex vomitoria `Stokes Dwarf`3 gal18" Ht., 18" Spd.24" ocPetite Red Ixora / Ixora `Petite Red`3 gal15" Ht., 18" Spd.24" ocPink Muhly / Muhlenbergia capillaris1 gal18" Ht., 18" Spd.24" ocDwarf Fakahatchee Grass / Tripsacum floridanum1 gal18" Ht., 18" Spd.24" oc	6,300
	(N) (N) (N) (N)	(L) (L) (L) (L)	Blue Pacific Juniper / Juniperus conferta3 gal8" Ht., 24" Spd30" o.c.Flax Lily / Dianella tasmanica `Variegata`1 gal15" Ht. x 15" Spd.24" ocLiriope / Liriope muscari1 gal1 gal12" Ht. x 12" Spd.18" ocConfederate Jasmine / Trachelospermum jasminoides 1 gal18" Ht. x 24" Spd.18" oc	3,500
WETLAND	PLAN	NTS		<u>QTY</u>
	(Y) (Y)	(L) (L)	Sandcord Grass / Spartina bakeri 1 gal 18" Ht., 18" Spd. 24" oc Soft-Stem Bulrush / Scirpus validus Bareroot 18" Ht., 18" Spd. 24" oc	3,400
SOD				<u>QTY</u>
	(N)	(H)	St. Augustine (Stenotaphtum secundatum 'Floratam') [Irrigated]	30,800
	(N)	(N/A)	Bahia (Paspalum notatum') [Irrigated-Low]	40,600
¥ ¥ ¥ ¥	(N)	(N/A)	Bahia (Paspalum notatum') [Non-Irrigated]	153,250

- THE LANDSCAPE ARCHITECT.
- OBLIGATIONS. 3. THE CONTRACTOR SHALL INTERFACE WITH OTHER WORK BEING PERFORMED BY OTHER CONTRACTORS. IT IRRIGATION SHALL BE DESIGNED AND INSTALLED TO CONFORM WITH WINTER PARK LAND WILL BE NECESSARY FOR THE CONTRACTOR TO COORDINATE AND SCHEDULE ACTIVITIES, WHERE DEVELOPMENT CODE OF ORDINANCES, DIVISION 9, SECTION 58-348 OF THIS CODE. NECESSARY, WITH OTHER CONTRACTORS AND THEIR SUBCONTRACTORS. THE LANDSCAPE CONTRACTOR THE IRRIGATION SYSTEM WILL BE PERMANENT FOR THE PURPOSE OF ESTABLISHING ALL SHALL INSURE THAT THEIR WORK DOES NOT IMPACT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS. 5. PLANT MATERIAL ON SITE. 4. PRIOR TO PLANTING INSTALLATION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIALS AND MAKE ARRANGEMENTS WITH THE LANDSCAPE ARCHITECT AND INSTALLATION OF PLANT MATERIAL SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 6. OWNER'S REPRESENTATIVE TO REVIEW AND MUTUALLY FIELD TAG AGREED UPON PLANT MATERIALS AT 24-8
- LEAST ONE (1) WEEK PRIOR TO DELIVERY TO SITE. 5. ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. ALL CONTAINER AND TREE CALIPER SIZES ARE MINIMUM. CONTAINER OR CALIPER SIZE MAY BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZE SPECIFIED.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING EXISTING VEGETATION AS REQUIRED AND PREPARING PLANTING AREAS PRIOR TO INSTALLATION OF PLANT MATERIALS. 7. THE LANDSCAPE CONTRACTOR SHALL TEST PROJECT SOILS TO VERIFY THAT THE SOILS ON-SITE ARE PLANTERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE LOCATION, AND PROCUREMENT OF EXISTING ON-SITE SOIL SAMPLES WITH THE LANDSCAPE ARCHITECT. REPRESENTATIVE SAMPLES SHALL BE SUBMITTED TO A CERTIFIED TESTING LABORATORY FOR ANALYSIS. THE FINDINGS, TOGETHER WITH RECOMMENDATIONS FOR AMENDING THE SOILS SHALL BE REVIEWED AND APPROVED BY THE OWNER, LANDSCAPE ARCHITECT, AND OWNER'S REPRESENTATIVE PRIOR TO DELIVERY AND INSTALLATION OF
- AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRIES ACCEPTABLE FOR PROPER GROWTH OF PLANT MATERIALS AND ADEQUATE DRAINAGE IN PLANT BEDS AND (HTTP://WWW.DOACS.STATE.FL.US/PI/PUBS.HTML). SEVENTY PERCENT OF PERVIOUS AREAS SHALL BE LOW-WATER USE ZONE(S) WITH THE ALLOWANCE FOR WATERING CONTAINER PLANTINGS ANYTIME WITH LOW-VOLUME IRRIGATION ON A SEPARATE IRRIGATION ZONE ON A SEPARATE CONTROLLER PROGRAM. LOW-WATER USE ZONES SHALL BE ON A SEPARATE IRRIGATION ZONE(S). SEE DIVISION 9, IRRIGATION REGULATIONS, FOR SPECIFIC REQUIREMENTS. PLANT MATERIALS AT THE JOB
- 8. THE LANDSCAPE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL SOIL DEPTH AND DRAINAGE IN ALL PLANT BEDS AND PLANTERS. EXCAVATION OF COMPACTED FILL SHALL BE ACCOMPLISHED TO INSURE PROPER SOIL DEPTH AND DRAINAGE. 9. ALL PLANTING BEDS SHALL BE STAKED IN ACCORDANCE WITH THE PLANS AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL PROVIDE STAKES OR IRRIGATION FLAGS TO LOCATE THE EDGES OF ALL SHRUB AND GROUNDCOVER PLANT BEDS AND INDIVIDUAL TREES AND PALMS. IF EXISTING CONDITIONS DO NOT ALLOW THE DESIGN TO BE LAID OUT AS SHOWN, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.ALL PROPOSED TREES SHALL BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED OUTLINES SHALL NOT BE OBSTRUCTED AND SHALL BE SMOOTH AND FLOWING. IF TREES ARE LOCATED OUTSIDE PLANTING BEDS IN GRASS AREAS, MAINTAIN A MINIMUM THREE FEET 3' WIDE OFFSET TO ALLOW FOR MOWERS TO
- MANEUVER. 10. THE PLANT QUANTITIES SHOWN ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK.
- 11. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXTENT OF GRASSING WORK IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING GRASS IN THE AREAS SHOWN ON THE PLAN IN SUFFICIENT QUANTITY TO PROVIDE FULL COVERAGE. ADDITIONAL GRASS REQUIRED WILL BE ADJUSTED BASED ON A SQUARE FOOTAGE UNIT PRICE. AREAS TO BE GRASSED SHALL BE AMENDED PER SOLIS REPORT TO PROVIDE REQUIRED NUTRIENTS AND SOIL PH OF BETWEEN 6.0 AND 7.0.
- 12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PLANTS, SPACED AS SPECIFIED ON THE PLANT LIST. WHEN INSTALLING SHRUBS IN PLANTING BEDS, SPACING OF MATERIAL SHALL TAKE PRECEDENCE OVER QUANTITY OF MATERIALS INDICATED FOR PLANTING AREAS. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF SUCH SITUATIONS ARISE. SHRUB AND GROUNDCOVER SPACING IS GENERALLY INDICATED ON THE PLANT LIST FOR ALL 'MASS PLANTINGS'. ACCENT SHRUBS AND TREES THAT ARE NOT PART OF MASS PLANTINGS SHALL BE SPACED AS SHOWN ON THE PLANS.
- 13. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY AND PLUMB CONDITION OF ALL INSTAL.LED PLANT MATERIALS. THE CONTRACTOR SHALL REMOVE ALL STAKING MATERIALS THE END OF THE GROW-IN PERIOD AND DISPOSE OFFSITE. 14. ALL PLANTING BEDS SHALL BE TOP-DRESSED WITH A 3" LAYER OF MULCH AS SPECIFIED. ALL TREES SHALL HAVE A 3" THICK MULCH RING PLACED AROUND THE BASE OF THE TRUNK. THE LANDSCAPE SCOPE OF
- WORK INCLUDES MULCHING AS AN INTEGRAL PART THE PROJECT. 15. ALL PLANT MATERIALS SHALL RECEIVE ADEQUATE WATERING BY THE LANDSCAPE CONTRACTOR AS REQUIRED UNTIL THE LANDSCAPE IRRIGATION SYSTEM IS FULLY OPERATIONAL AND UNTIL FINAL
- ACCEPTANCE BY OWNER. 16. ALL EXISTING PLANT BEDS TO REMAIN WITHIN THE CONSTRUCTION LIMIT LINE SHALL BE LEFT UNDISTURBED. EXISTING TREES TO REMAIN, AS NOTED ON THE DRAWINGS, SHALL BE LEFT UNDISTURBED AND PROTECTED BY WOODEN BARRICADES ERECTED AT THE PERIMETER OF THE TREE DRIP-LINE (S). NO VEHICLE SHALL TRAVERSE THIS AREA NOR SHALL ANY STORAGE OF MATERIALS OR EQUIPMENT BE PERMITTED WITHIN THE AREA OF THE TREE DRIP-LLNE(S). ANY EXISTING PLANT BEDS OR TREES DAMAGED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED BY THE RESPONSIBLE PARTY AT THEIR OWN EXPENSE 17. NO TREES SHALL BE PLANTED WITHIN DESIGNATED UTILITY CORRIDORS, PUBLIC RIGHT OF WAY NOR ANY PLANTS LOCATED WITHIN FOUR FEET (4') OF ANY SWALE CENTERLINE IDENTIFIED ON THE DRAWINGS. FIELD ADJUST AS NECESSARY AND REVIEW ADJUSTMENTS WITH THE LANDSCAPE ARCHITECT PRIOR TO
- INSTALLATION. OFF-SITE ON A DAILY BASIS AT NO ADDITIONAL COST TO THE OWNER.
- 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AND EXCAVATED BACKFILL 19. SEE LANDSCAPE SPECIFICATIONS FOR FURTHER REQUIREMENTS.

LANDSCAPE IRRIGATION NOTE



GENERAL LANDSCAPE NOTES

1. ALL ON-SITE EXISTING CONDITIONS INCLUDING SURFACE AND SUBSURFACE UTILITIES, GRADES, DIMENSIONS AND SOIL CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS. THE CONTRACTOR SHALL BECOME FAMILIAR WITH ALL PLANS PREPARED BY OTHERS THAT AFFECT THE LANDSCAPE AND IRRIGATION WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF

- 2. EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, FURNISHINGS AND EXISTING PLANTING AREAS TO REMAIN INCLUDING LAWN. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY THAT MAY OCCUR AS A RESULT OF NEGLIGENCE IN THE EXECUTION OF THE CONTRACTOR'S WORK.

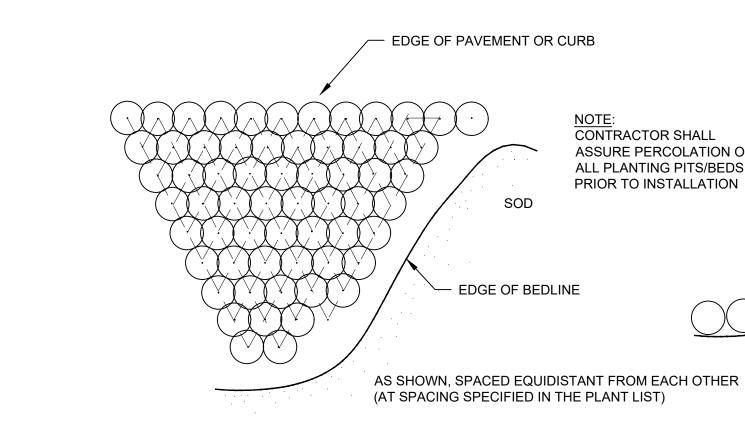
1. AN IRRIGATION SYSTEM PROVIDING 100% COVERAGE TO ALL LANDSCAPE AREAS IS TO BE INSTALLED AND BE FULLY OPERATIONAL PRIOR TO THE INSTALLATION OF ANY SPECIFIED PLANT MATERIALS. THE OPERATION TIMES AND DURATIONS SHALL BE SCHEDULED TO PROVIDE NORMAL WATER REQUIREMENTS BASED ON PLANT MATERIAL TYPE, (I.E. TREES, SHRUBS, GROUNDCOVERS, AND SOD) PER WINTER PARK LAND DEVELOPMENT CODE (DIVISION 9, SECTION 58-351) AND SHALL INSTALL MAINTAIN AND OPERATE A RAIN SENSOR DEVICE OR SWITCH THAT OVERRIDES THE IRRIGATION SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED. (DIVISION 9, SECTION 58-323)

WINTER PARK LANDSCAPE CODE NOTES

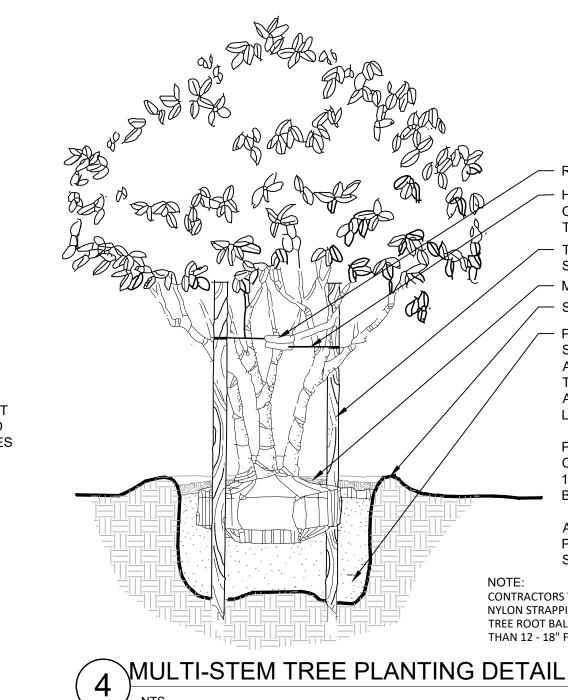
- 1. ALL EXISTING INVASIVE EXOTIC PLANTS, AS LISTED ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S INVASIVE PLANT SPECIES LIST, SHALL BE REMOVED FINAL LANDSCAPE PLAN SHALL CONFORM TO THE "FLORIDA FRIENDLY" AND WILL BE
- CONSISTENT WITH WINTER PARK CODE SEC. 58. THIS LANDSCAPE PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH WINTER PARK LAND DEVELOPMENT CODE, SECTION 58. THE INSTALLED LANDSCAPING SHALL BE MAINTAINED IN COMPLIANCE WITH THIS CODE. A DEED RESTRICTION WILL BE INCLUDED WITH THE HOMEOWNER'S ASSOCIATION DOCUMENTS THAT OUTLINES THE MAINTENANCE
- AN IRRIGATION PLAN SHALL BE SUBMITTED AT TIME OF FINAL PLAN SUBMITTAL THAT WILL PROVIDE 100% HEAD-TO-HEAD COVERAGE OF ALL TREES, SHRUB AND GROUNDCOVER AREAS.(SEC 58-348).
- ALL LANDSCAPE MATERIAL SHALL BE IN CONFORMANCE WITH THE STANDARDS FOR 8. "FLORIDA NO. 1" OR BETTER AS ESTABLISHED IN THE LATEST FLORIDA GRADES AND STANDARDS MANUAL FOR NURSERY PLANTS BY STATE OF FLORIDA DEPARTMENT OF
- 10. ALL LANDSCAPE MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND VIABLE STATE AFTER ISSUANCE OF THE CERTIFICATE OF OCCUPANCY
- 11. STORMWATER RETENTION AREAS NOT SCREENED FROM VIEW FROM ANY PUBLIC RIGHT-OF-WAY BY A BUILDING OR WALL SHALL BE SCREENED BY A HEDGE MAINTAINED AT A FOUR-FOOT HEIGHT INSTALLED IN A LANDSCAPE AREA A MINIMUM OF FOUR FEET IN WIDTH. IN ADDITION, A CYPRESS TREE OF AT LEAST FOUR-INCH DIAMETER SHALL BE PLANTED WITHIN THE STORMWATER RETENTION AREA FOR EACH 50 LINEAR FEET OF THE STORMWATER RETENTION AREA.
- 12. FOLLOWING THE COMPLETION OF THE INSTALLATION OF ALL LANDSCAPING AS REQUIRED BY THESE REGULATIONS, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED AS-BUILT LANDSCAPE PLAN PORTRAYING LANDSCAPE MATERIALS AS INSTALLED AND CERTIFY IN WRITING WITH A SIGNED AND SEALED LETTER TO THE CITY THAT THE LANDSCAPING HAS BEEN INSTALLED PURSUANT TO THE APPROVED LANDSCAPE PLAN AND THAT ANY SUBSTITUTIONS OR DELETIONS OF PLANT MATERIALS WERE APPROVED AND ACCEPTED PRIOR TO INSTALLATION BY THE PARKS DIRECTOR OR HIS DESIGNEE.

LANDSCAPE CONSTRUCTION DETAIL NOTE

1. ALL CONSTRUCTION DETAILS ARE CONCEPTUAL AND SUBJECT TO REVIEW AND MODIFICATION DURING APPROVAL OF FINAL CONSTRUCTION PLANS







NTS

REINFORCED RUBBER HOSE HEAVY DUTY NYLON STRAPS OR EQUAL FROM CENTRAL TRUNK TO THREE STAKES THREE 2"x4"x8' P.T. WOOD STAKES

- MINIMUM 3" MULCH
- SOIL BERM

PLANTING SOIL MIXED PER SPECIFICATIONS AS IDENTIFIED IN A SOIL REPORT AS SECURED BY THE LANDSCAPE CONTRACTOR AND CERTIFIED BY THE LANDSCAPE ARCHITECT

PROVIDE MINIMUM PIT CLEARANCE AROUND ROOTBALL 12" ALL SIDES AND 6" UNDER BOTTOM.

ASSURE TOP OF ROOTBALL IS PLANTED 1 TO 2 INCHES ABOVE SURROUNDING GRADE.

CONTRACTORS TO REMOVE ALL NON-BIODEGRADABLE NYLON STRAPPING OR ROPPING FROM ATOP OF PLANTED TREE ROOT BALLS. MULCH NOT PLACED ANY CLOSER THAN 12 - 18" FROM TRUNKS OF NEWLY PLANTED TREES

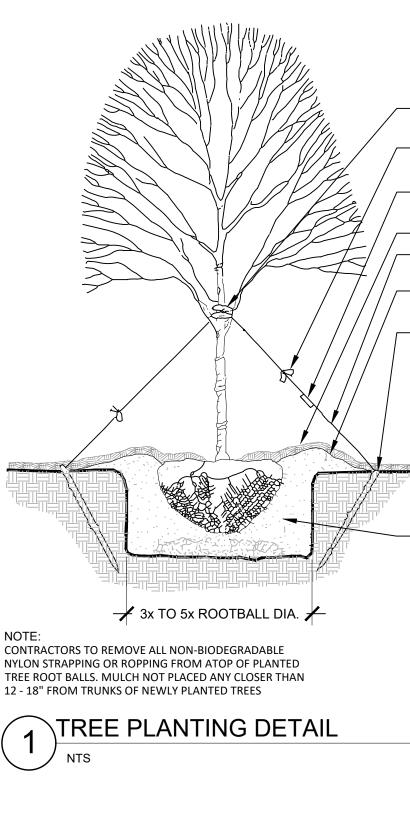
- MINIMUM 12" DEPTH OF PLANTING SOIL IN GROUNDCOVER PLANTING BEDS PLANTING SOIL MIXED PER SPECIFICATIONS AS IDENTIFIED IN A SOIL REPORT AS SECURED BY

THE LANDSCAPE CONTRACTOR AND CERTIFIED BY THE LANDSCAPE ARCHITECT PROVIDE MINIMUM PIT

CLEARANCE AROUND ROOTBALL OF 6" SIDES AND BOTTOM

ASSURE TOP OF ROOTBALLS ARE

PLANTED 1 INCH ABOVE SURROUNDING GRADE.



CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS/BEDS PRIOR TO INSTALLATION

THE PERIMETER OF ALL CURVED PLANTING BEDS SHALL BE PLANTED WITH A ROW OF SHRUBS AS SHOWN IN THE PLANS AND AT THE SPACING SHOWN IN THE PLANT LIST

INTERIOR PORTIONS OF EACH BED SHALL BE PLANTED AT APPROPRIATE SPACING ACCORDING TO THIS PLANT SPACING DETAIL.

REINFORCED RUBBER

WHITE FLAG ABOVE

TURNBUCKLE MIN. 3

MINIMUM 3" MULCH

STRAP OR EQUAL

2"x4"x2'-6" WOOD

STAKE FLUSH WITH

PLANTING SOIL MIXED

IDENTIFIED IN A SOIL

THE LANDSCAPE

CONTRACTOR AND

CERTIFIED BY THE

PER SPECIFICATIONS AS

REPORT AS SECURED BY

LANDSCAPE ARCHITECT

PROVIDE MINIMUM PIT

CLEARANCE AROUND

ROOTBALL 12" ALL SIDES

AND 6" UNDER BOTTOM.

ROOTBALL IS PLANTED

SURROUNDING GRADE

TO 2 INCHES ABOVE

ASSURE TOP OF

HEAVY DUTY NYLON

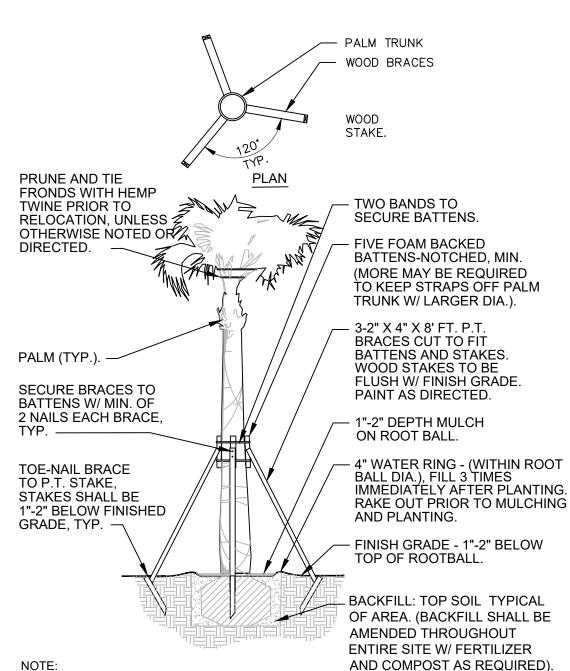
TURNBUCKLE

HOSE

PLACES

SOIL BERM

GROUND



NOTE: CONTRACTORS TO REMOVE ALL NON-BIODEGRADABLE NYLON STRAPPING OR ROPPING FROM ATOP OF PLANTED TREE ROOT BALLS. MULCH NOT PLACED ANY CLOSER THAN 12 - 18" FROM TRUNKS OF NEWLY PLANTED TREES

5 PALM BRACING DETAIL NTS

225 E. Robinson Street Suite 300 Orlando, FL 32801 407.839.4006 Certificate of Authorization Number FL #3932

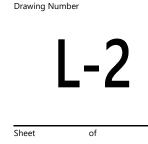
The Mayflower **Retirement Center**

Winter Park, Florida

Со	nditional Use Plan	May 1	, 2019
Issued	for	Date	
-	JLB	JR	Н
Design	ed by	Checked by	
2	Resubmit to the City of Winter Park	06/10/2019	
1	Submit to the City of Winter Park	05/01/2019	
No.	Revision	Date	Appvd.

Vertical Datum NGVD 1929 Drawing Title

Landscape Schedule & Notes

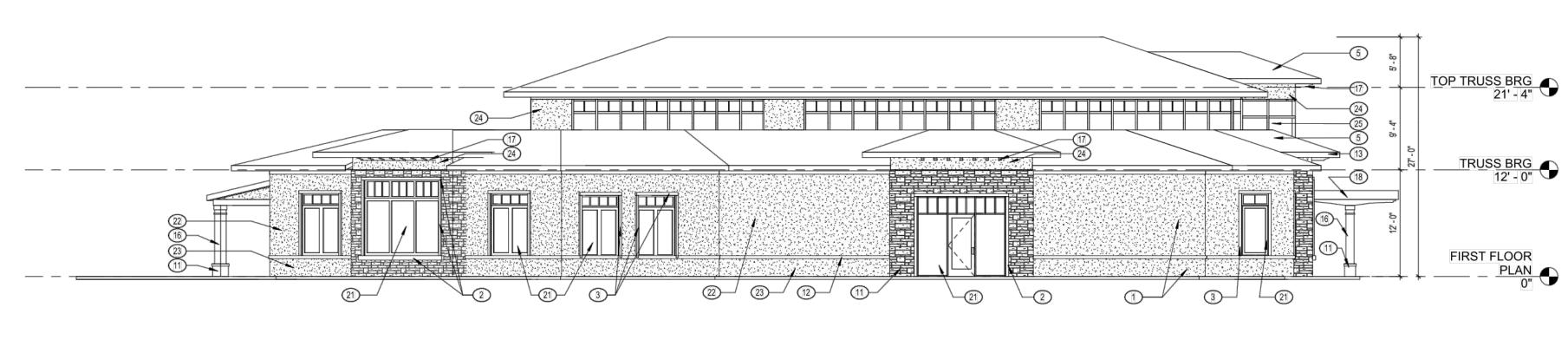


date: <u>Jun. 10, 2019</u>

62643.00

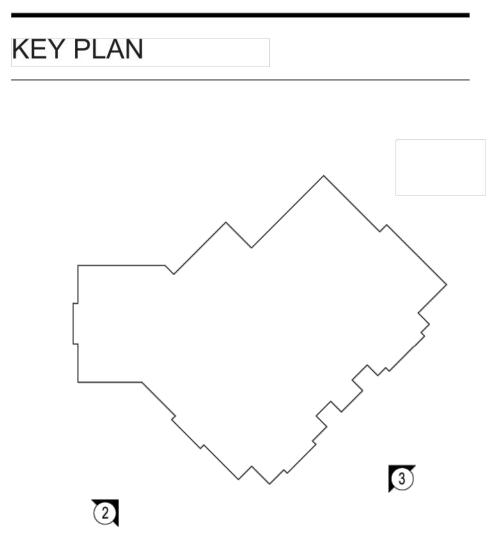


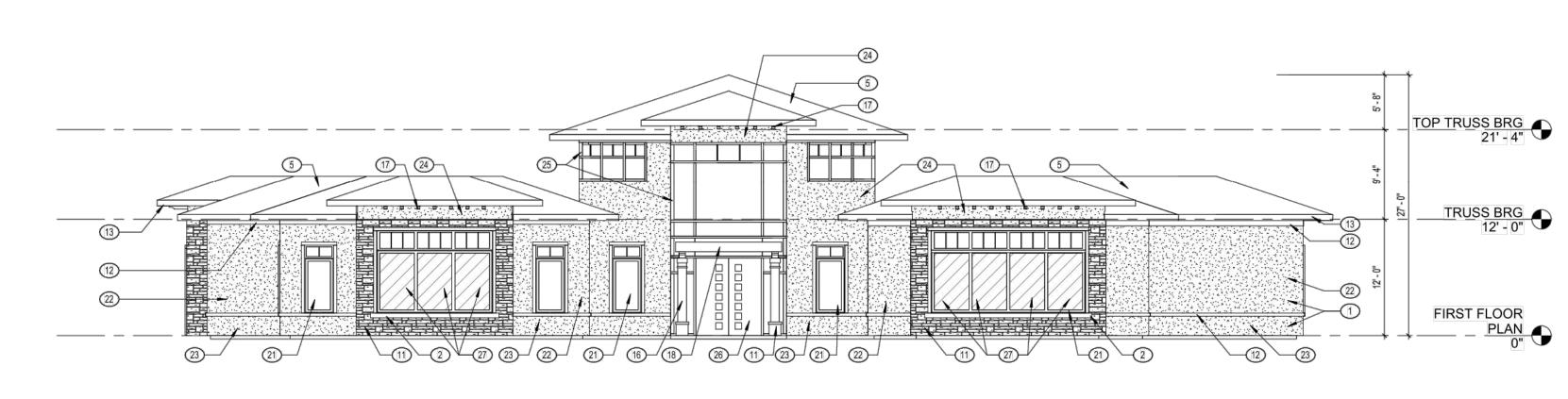
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2 SOUTH WEST ELEVATION





MAYFLOWER ELEVATIONS CLUBHOUSE





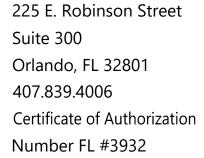
KEY NOTES

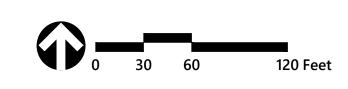
- 1 STUCCO FINISH
- 2 PRECAST CONCRETE TRIM
- 3 STUCCO TRIM
- 4 METAL LOUVER
- 5 CONCRETE TILE ROOF
- 6 METAL GUTTER
- 7 METAL DOWNSPOUT 8 ALUMINUM RAIL SYSTEM
- 9 NANA WALL
- (10) CONTROL JOINT
- 11 APPLIED STONE
- 12 STUCCO BAND
- 13 CPVC FACIA TRIM
- (14) CPVC TRIM
- 15 CPVC SHEET
- (16) CPVC COLUMN COVER
- (17) CUSTOM POLYURETHANE RAFTER TAILS
- (18) EXTRUDED ALUMINUM CANOPY
- (19) CAST IRON BOOT, CONNECT TO STORM SEWER, SEE CIVIL
- 20 FINISH GRADE
- 21) ALUMINUM STOREFRONT, DARK BRONZE
- 22 STUCCO COLOR 1
- 23 STUCCO COLOR 2
- 24) STUCCO COLOR 3
- 25 CURTAIN WALL, DARK BRONZE
- 26 STAINED WD DOORS
- 27 SPANDREL PANEL
- (28) STANDING SEAM METAL ROOF



32'







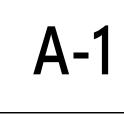
The Mayflower **Retirement Center**

Winter Park, Florida

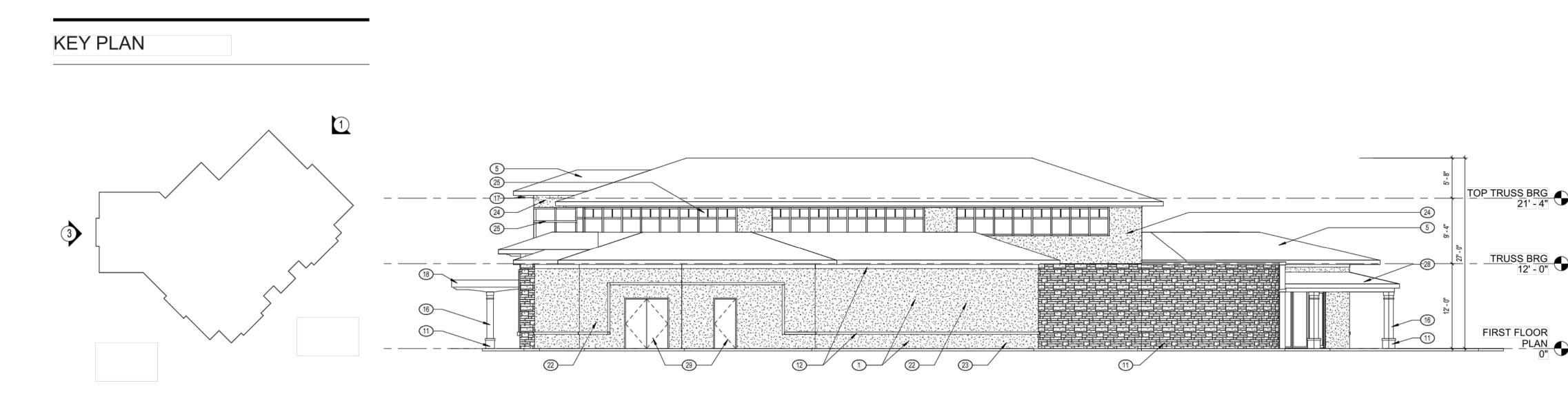
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No.	Revision	Date	Appvd

Vertical Datum NGVD 1929 Drawing Title

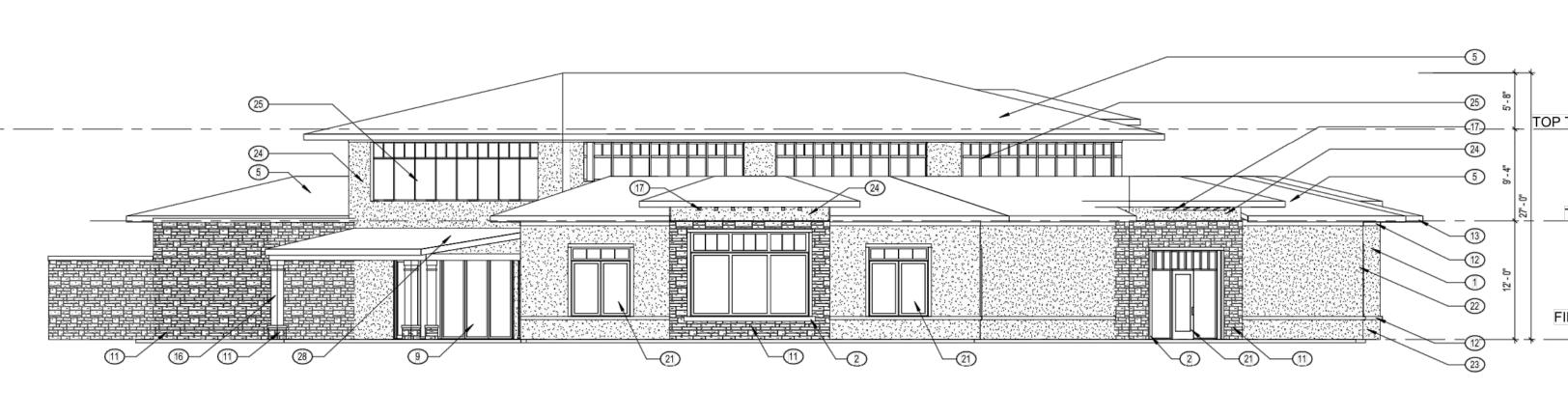
Building Elevations



Drawing Numl











MAYFLOWER ELEVATIONS CLUBHOUSE



K	EY NOTES
) STUCCO FINISH
(2)	PRECAST CONCRETE TRIM
3) STUCCO TRIM
(4)) METAL LOUVER
5	CONCRETE TILE ROOF
6) METAL GUTTER
$\overline{7}$) METAL DOWNSPOUT
8	ALUMINUM RAIL SYSTEM
9) NANA WALL
(10	CONTROL JOINT
(11	APPLIED STONE
(12) STUCCO BAND
(13	CPVC FACIA TRIM
(14) CPVC TRIM
(15	CPVC SHEET
(16	CPVC COLUMN COVER
17	CUSTOM POLYURETHANE RAFTER TAILS
(18) EXTRUDED ALUMINUM CANOPY
(19	CAST IRON BOOT, CONNECT TO STORM SEWER, SEE CIVIL
20) FINISH GRADE
(21	ALUMINUM STOREFRONT, DARK BRONZE
(22) STUCCO COLOR 1
(23) STUCCO COLOR 2
24) STUCCO COLOR 3
25	CURTAIN WALL, DARK BRONZE

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(21)	ALUMINU
(22)	OTUCCO

- 26 STAINED WD DOORS
- 27 SPANDREL PANEL
- (28) STANDING SEAM METAL ROOF

TOP TRUSS BRG 21' - 4"

TRUSS BRG 12' - 0"

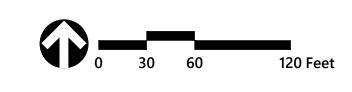
FIRST FLOOR

32'

16'

8'





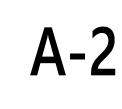
The Mayflower **Retirement Center**

Winter Park, Florida

Со	nditional Use Plan	May 1	, 2019
Issued	for	Date	
	JLB	JR	Η
Design	ed by	Checked by	
2		00/10/2019	
2	Resubmit to the City of Winter Park	06/10/2019	
1	Submit to the City of Winter Park	05/01/2019	
No.	Revision	Date	Appvd

Vertical Datum NGVD 1929
Drawing Title

Building Elevations

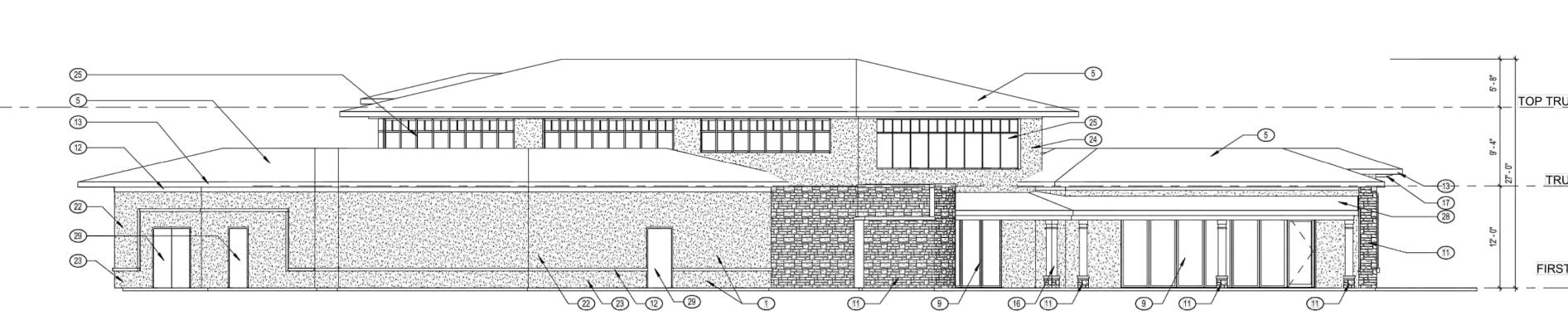


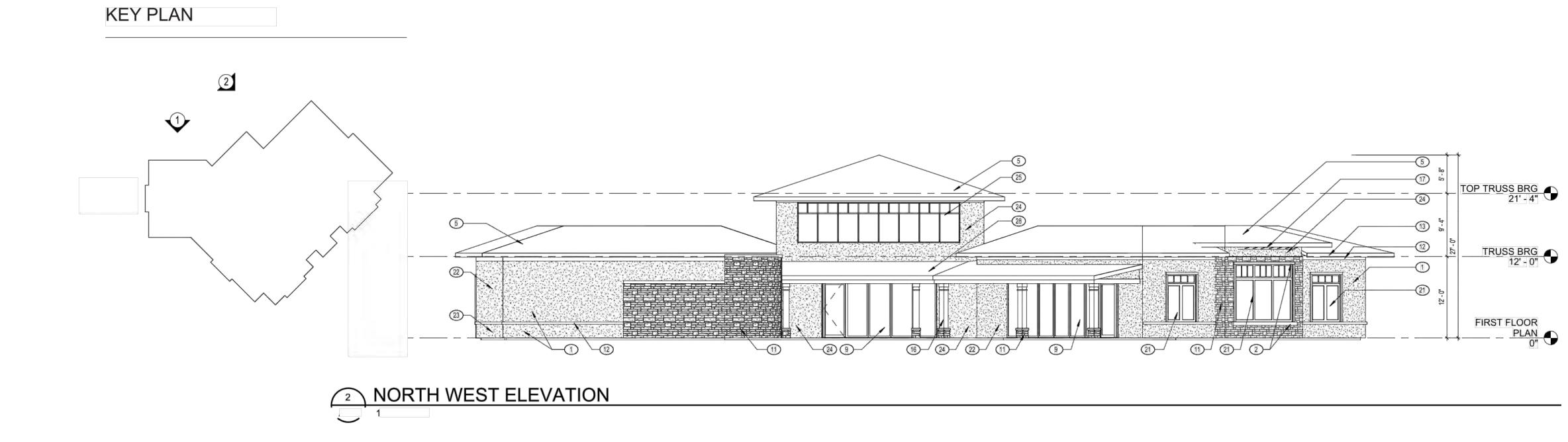
Drawing Number



<u>NORTH ELEVATION</u>

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MAYFLOWER ELEVATIONS CLUBHOUSE





KEY NOTES 1 STUCCO FINISH 2 PRECAST CONCRETE TRIM 3 STUCCO TRIM 4 METAL LOUVER 5 CONCRETE TILE ROOF 6 METAL GUTTER 7 METAL DOWNSPOUT TOP TRUSS BRG 21' - 4" 9 NANA WALL (10) CONTROL JOINT (11) APPLIED STONE 12 STUCCO BAND 13 CPVC FACIA TRIM 14 CPVC TRIM 15 CPVC SHEET (16) CPVC COLUMN COVER (17) CUSTOM POLYURETHANE RAFTER TAILS (18) EXTRUDED ALUMINUM CANOPY (19) CAST IRON BOOT, CONNECT TO STORM SEWER, SEE CIVIL 20 FINISH GRADE 21) ALUMINUM STOREFRONT, DARK BRONZE 22 STUCCO COLOR 1 23 STUCCO COLOR 2 24) STUCCO COLOR 3

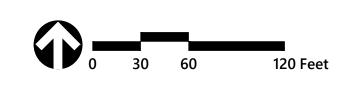
- 25 CURTAIN WALL, DARK BRONZE
- 26 STAINED WD DOORS
- 27 SPANDREL PANEL
- (28) STANDING SEAM METAL ROOF

TOP TRUSS BRG 21' - 4"

TRUSS BRG 12' - 0"



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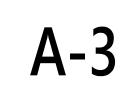
The Mayflower **Retirement Center**

Winter Park, Florida

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Design	ed by	Checked by	
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Vertical Datum NGVD 1929 Drawing Title

Building Elevations

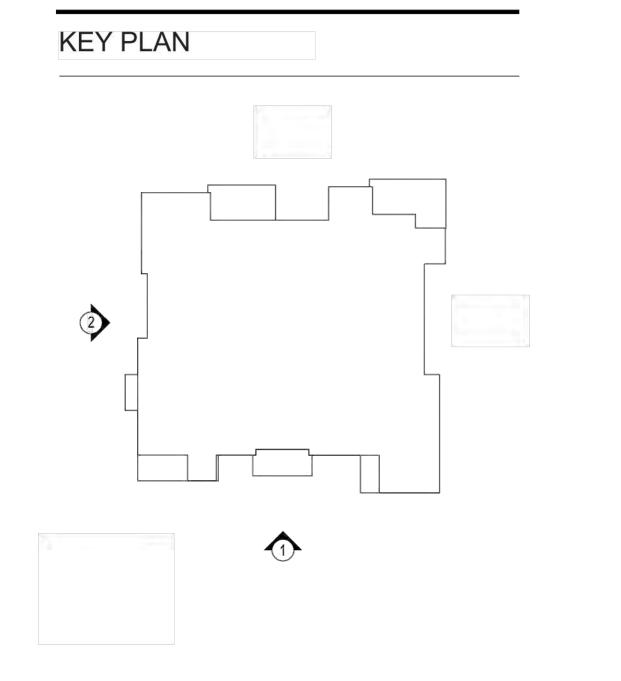


Drawing Numb

62643.00









MAYFLOWER ELEVATIONS LAKESIDE HOMES





Suite 300

Orlando, FL 32801

Number FL #3932

Certificate of Authorization

407.839.4006

KEY NOTES

- 1 STUCCO FINISH
- 2 METAL COPING
- 3 STUCCO TRIM
- METAL LOUVER
- 5 CONCRETE TILE ROOF
- 6 METAL GUTTER
- METAL DOWNSPOUT
- 8 ALUMINUM RAIL SYSTEM
- 9 ALUMINUM SCREEN SYSTEM
- (10) CONTROL JOINT
- (1) OVERHEAD DOOR
- 12 STUCCO BAND
- 13 PVC FASCIA TRIM
- 14 PVC RAKE TRIM
- 15 PVC SHEET
- (16) CPVC COLUMN COVER
- (17) CUSTOM POLYURETHANE RAFTER TAILS
- (18) VINYL WINDOWS
- (19) CAST IRON BOOT, CONNECT TO STORM SEWER, SEE CIVIL
- 20 FINISH GRADE
- 21) ALUMINUM STOREFRONT
- 22) STUCCO COLOR 1
- 23) STUCCO COLOR 2
- 24) STUCCO COLOR 3

0 30 60 120 Feet

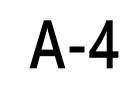
The Mayflower Retirement Center

Winter Park, Florida

Со	nditional Use Plan	May 1	, 2019
Issued	for	Date	
	JLB	JR	RH
Design	ed by	Checked by	
2	Resubmit to the City of Winter Park	06/10/2019	
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No.	Revision	Date	Appvd.

Vertical Datum NGVD 1929 Drawing Title

Building Elevations



date: ____Jun. 10, 2019___

Drawing Numbe

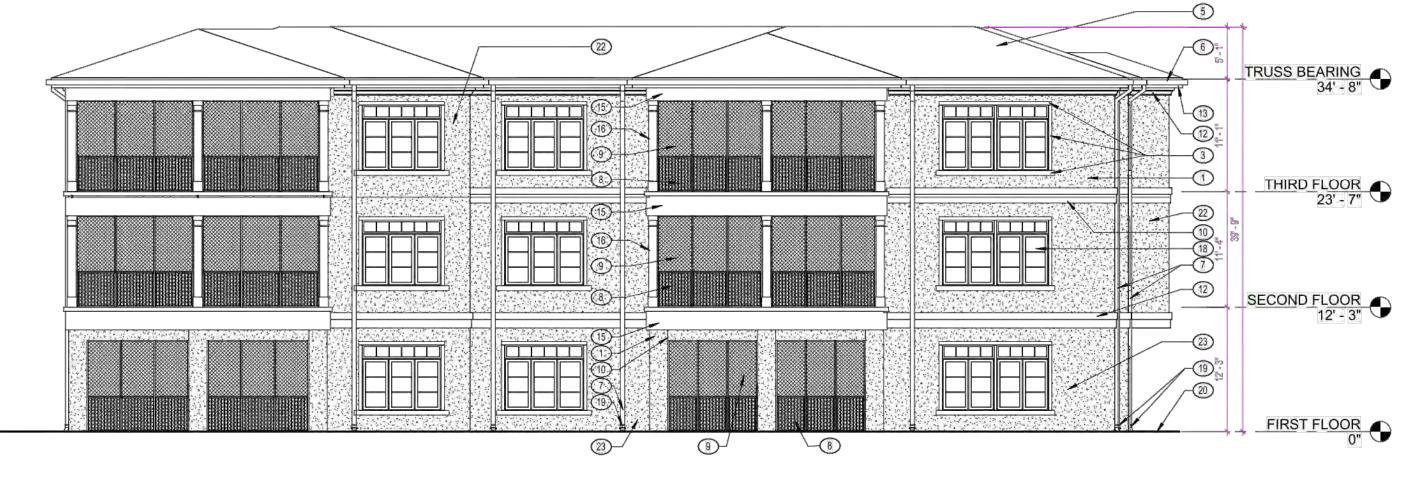


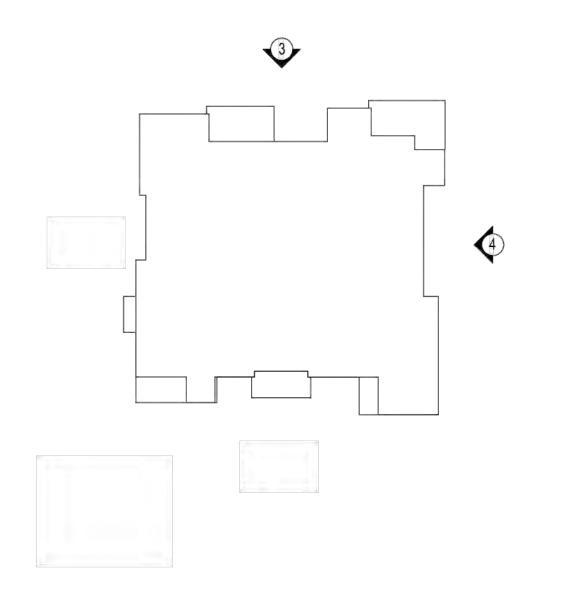
32'

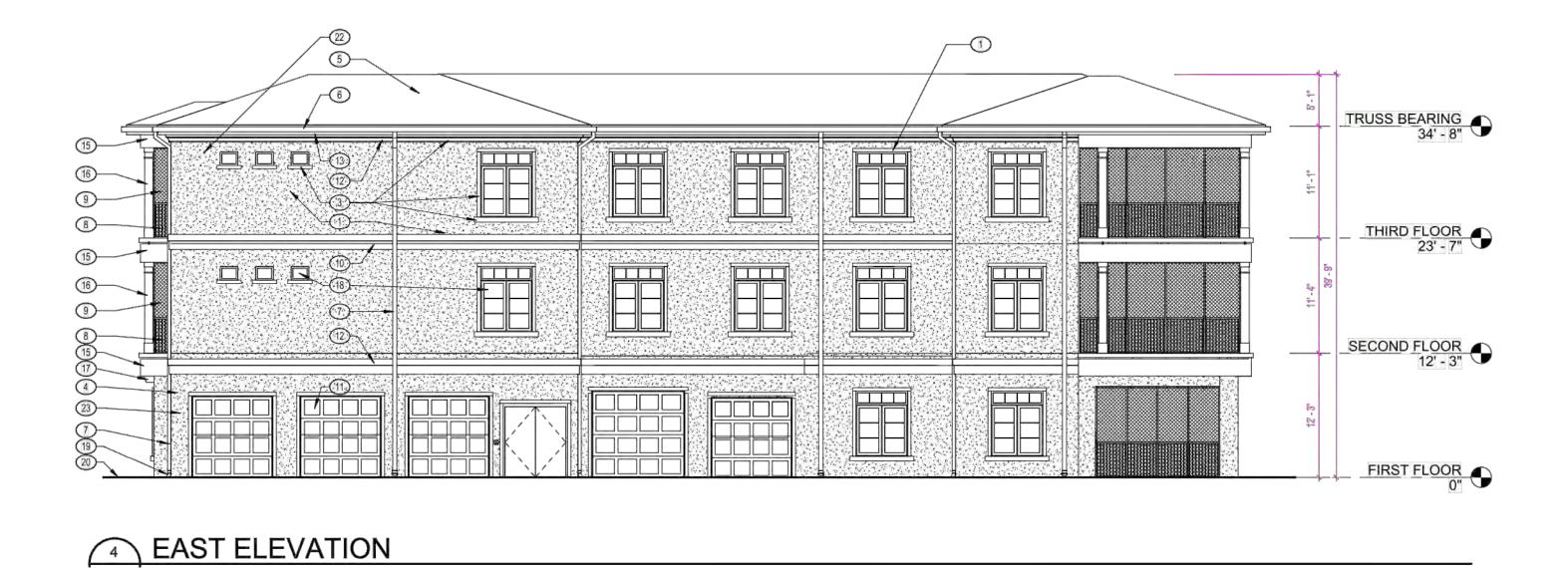




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KEY PLAN

MAYFLOWER ELEVATIONS LAKESIDE HOMES

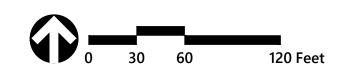




KEY NOTES

1 STUCCO FINISH 2 METAL COPING 3 STUCCO TRIM 4 METAL LOUVER 5 CONCRETE TILE ROOF 6 METAL GUTTER 7 METAL DOWNSPOUT 8 ALUMINUM RAIL SYSTEM 9 ALUMINUM SCREEN SYSTEM (10) CONTROL JOINT 11 OVERHEAD DOOR 12 STUCCO BAND 13 PVC FASCIA TRIM 14 PVC RAKE TRIM 15 PVC SHEET (16) CPVC COLUMN COVER (17) CUSTOM POLYURETHANE RAFTER TAILS 18 VINYL WINDOWS (19) CAST IRON BOOT, CONNECT TO STORM SEWER, SEE CIVIL 20 FINISH GRADE 21) ALUMINUM STOREFRONT 22 STUCCO COLOR 1 23 STUCCO COLOR 2 24) STUCCO COLOR 3

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Certificate of Authorization
Number FL #3932



The Mayflower Retirement Center

Winter Park, Florida

Со	nditional Use Plan	May 1	, 2019
Issued	for	Date	
	JLB	JR	H
Design	ed by	Checked by	
-			
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No.	Revision	Date	Appvd.

Vertical Datum NGVD 1929 Drawing Title

Building Elevations

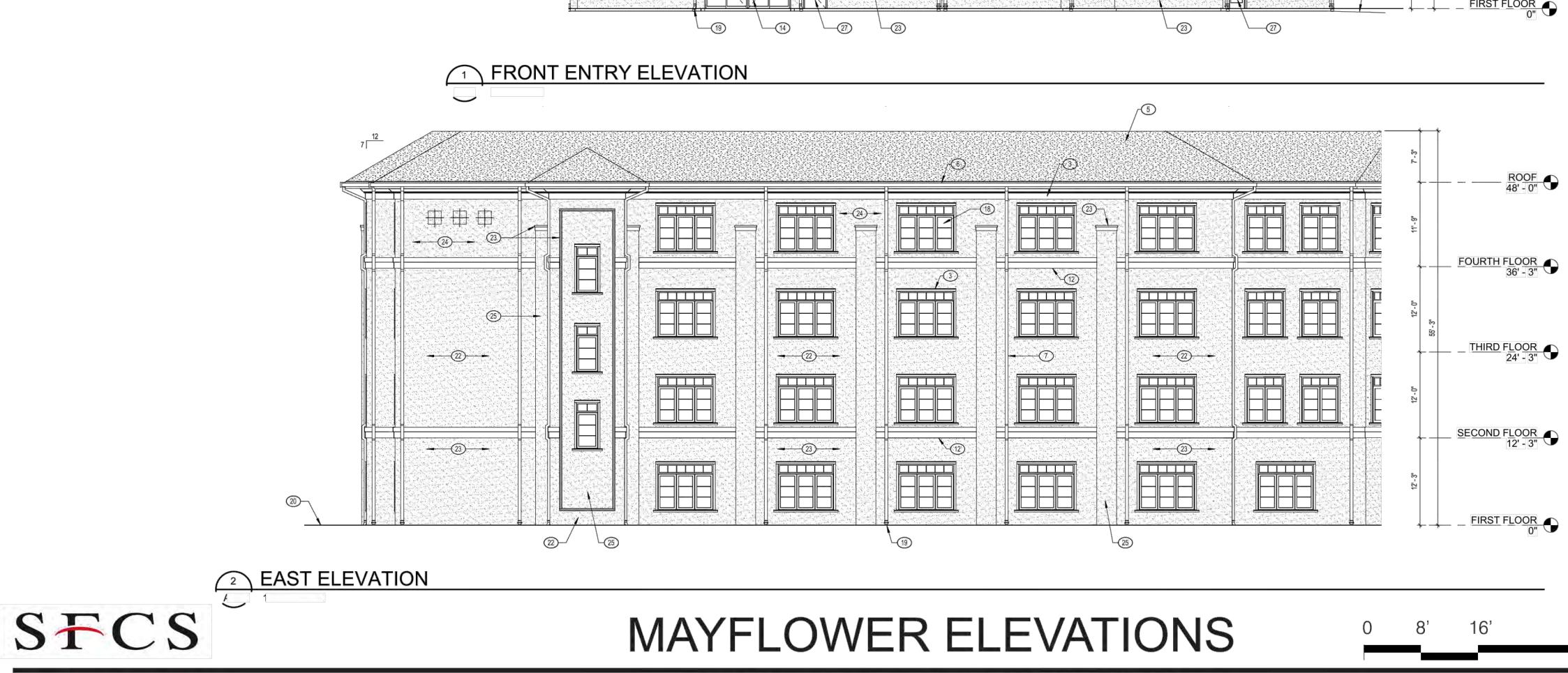


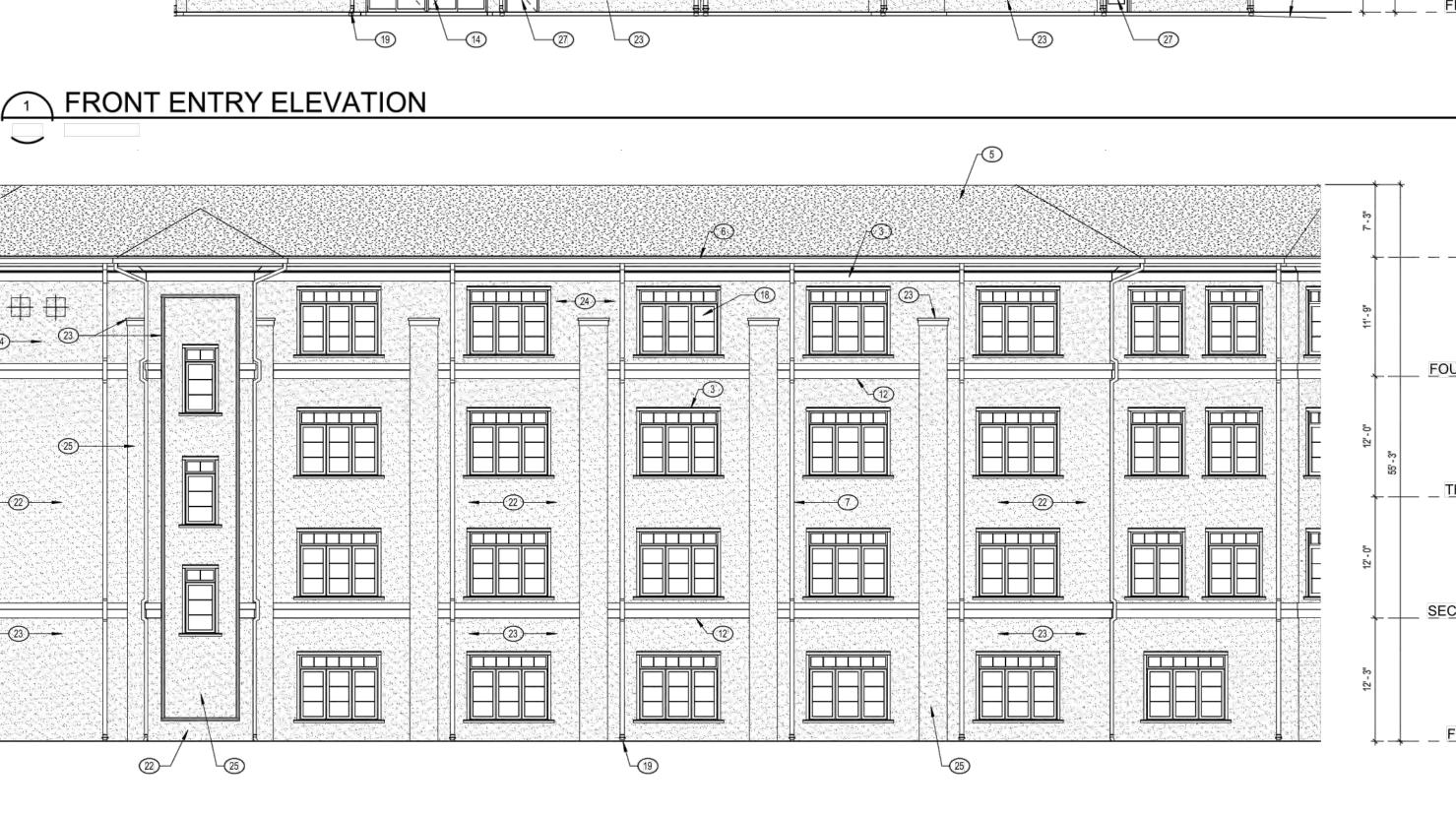
DATE: Jun. 10, 2019

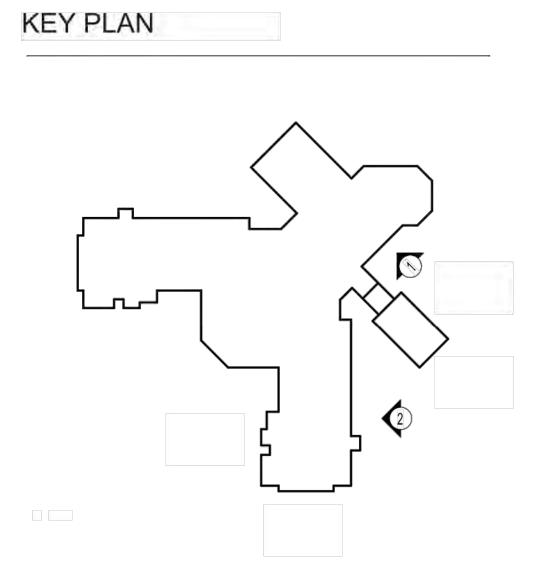
Drawing Numbe

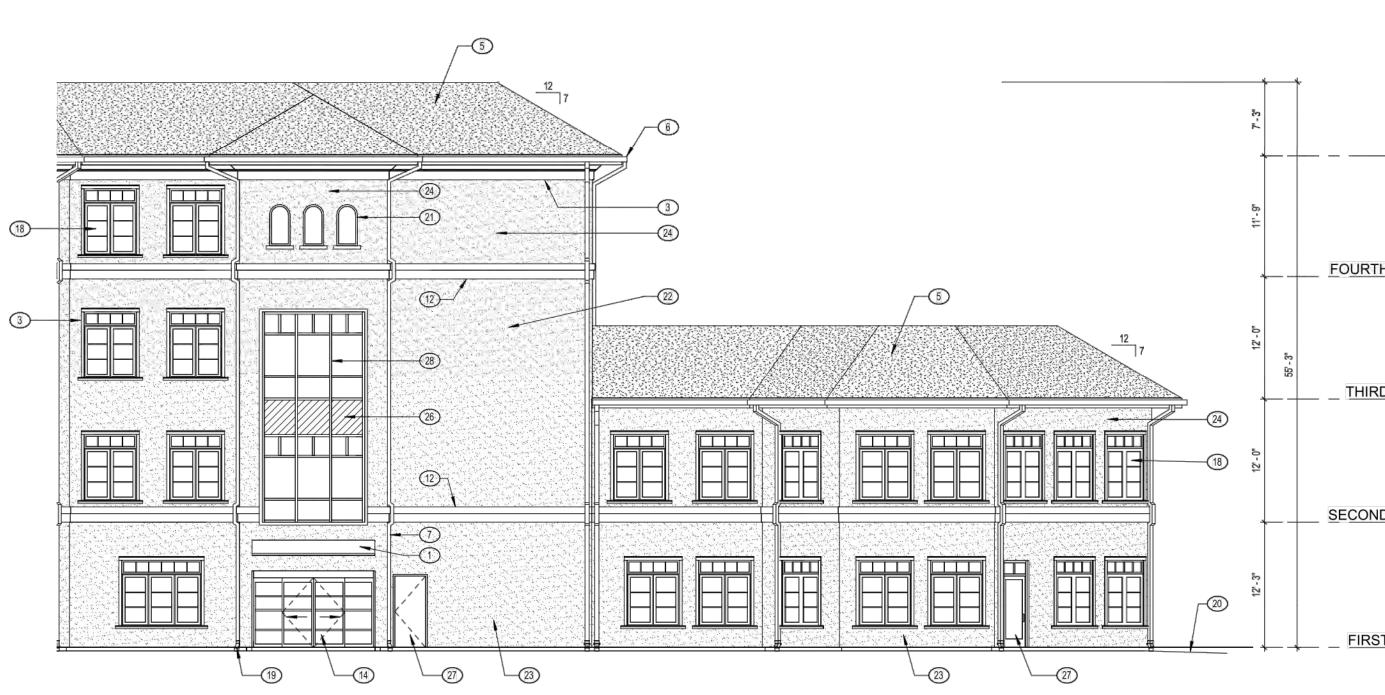
32'











RESIDENT CARE BUILDING

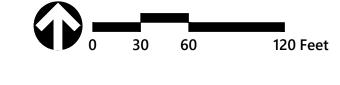


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	KEY NOTES
ROOF	1 STUCCO FINISH
8' 0"	2 METAL COPING
	3 STUCCO TRIM
	4 METAL LOUVER
	5 CONCRETE TILE ROOF
_OOR	6 METAL GUTTER
	7 METAL DOWNSPOUT
	8 CPVC RAIL SYSTEM
	9 LANDSCAPE FENCING
	(10) CONTROL JOINT
4' - 3" 🛡	(11) OVERHEAD DOOR
	12 STUCCO BAND
	13 PVC FASCIA TRIM
	AUTOMATIC ENTRANCE DOOR
_O <u>OR</u> 2' - 3"	15 PVC SHEET
	(16) CPVC COLUMN COVER
	(17) CUSTOM POLYURETHANE RAFTER TAILS
	(18) VINYL WINDOWS
	(19) CAST IRON BOOT, CONNECT TO STORM SEWER, SEE CIVI
0"	20 FINISH GRADE
	21) ALUMINUM STOREFRONT, DARK BRONZE
	22 STUCCO COLOR 1
	23) STUCCO COLOR 2
	24) STUCCO COLOR 3
	25) STUCCO COLOR 4
	26 SPANDREL PANEL
	27) SCHEDULED DOOR
ROOF	28 ALUMINUM CURTAINWALL, DARK BRONZE
8' - 0"	
6' - 3" 🛡	
LOOR 24' - 3"	

THE MAYFLOWER

32'



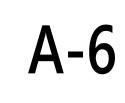
The Mayflower **Retirement Center**

Winter Park, Florida

	nditional Use Plan	May 1	1 201
ssued	for	Date	
	JLB	JF	RH
Design	ed by	Checked by	
2	Resubmit to the City of Winter Park	06/10/2019	
1	Submit to the City of Winter Park	05/01/2019	
No.		Date	Арру

Vertical Datum NGVD 1929 Drawing Title

Building Elevations

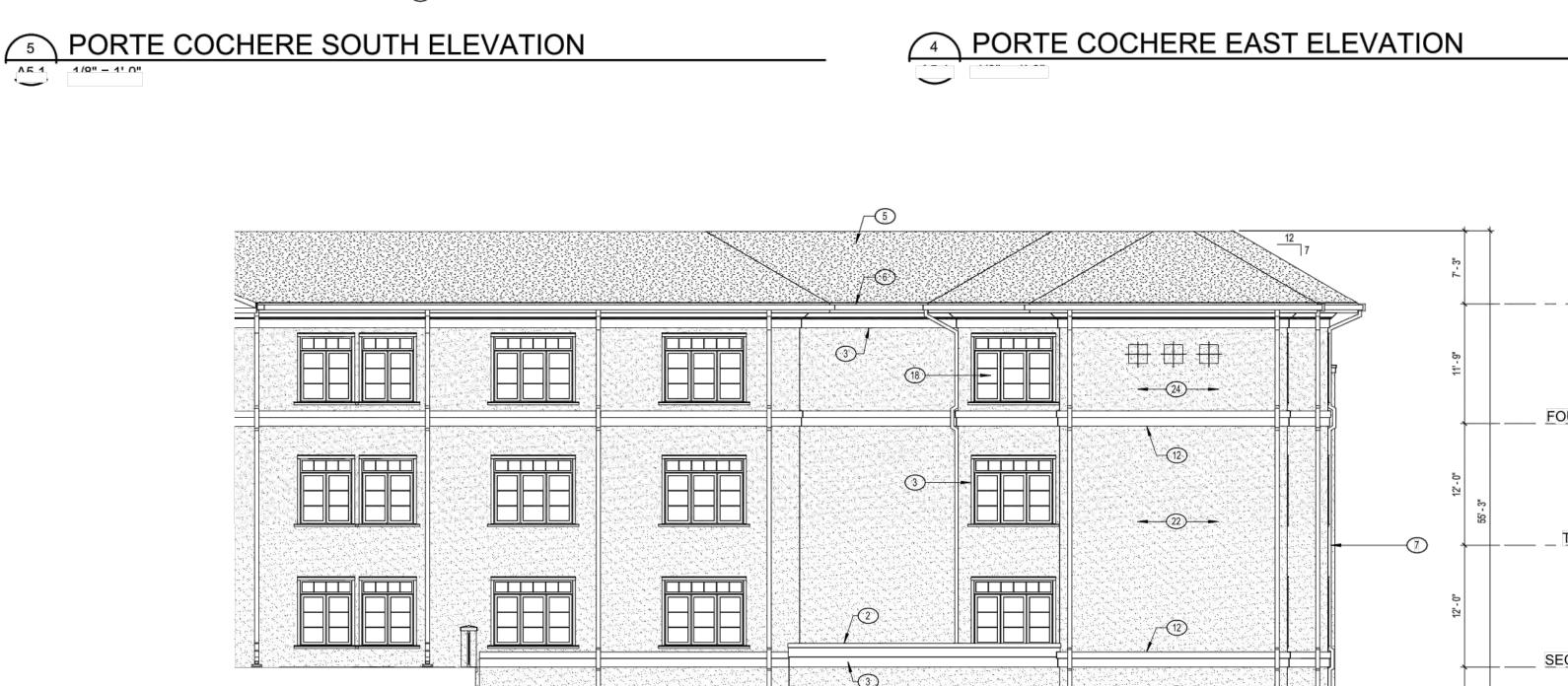


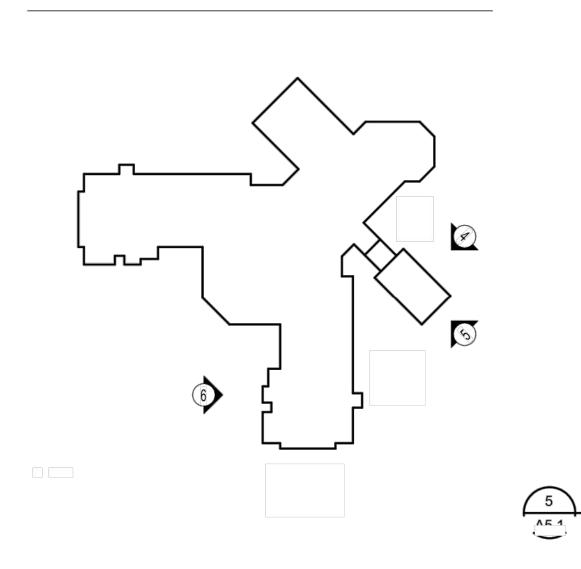
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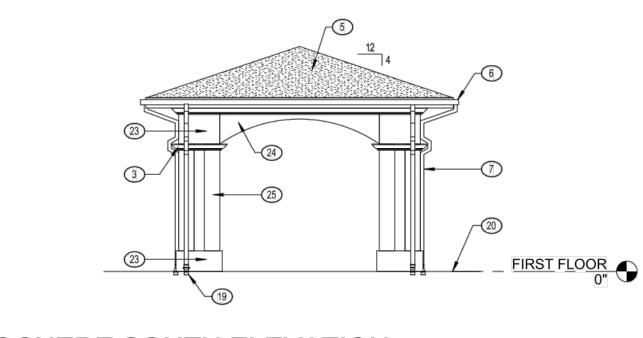




1/2" - 1' 0"



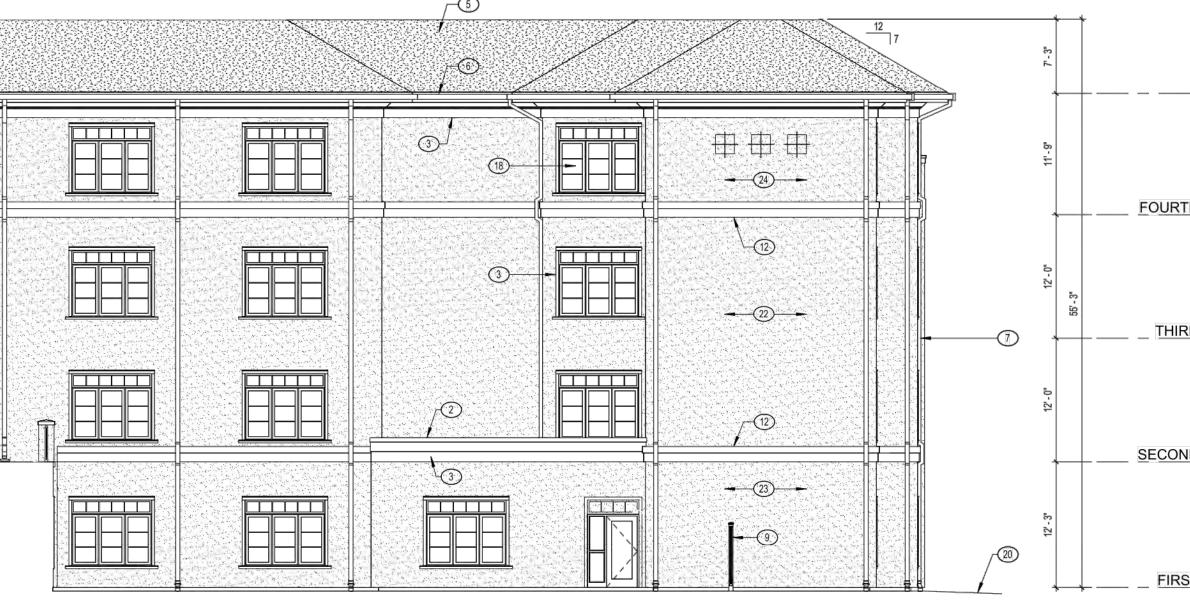


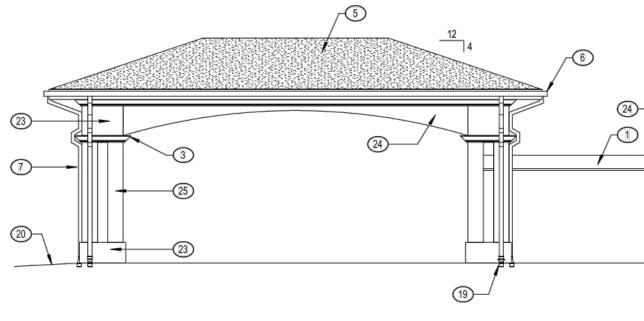


KEY PLAN

MAYFLOWER ELEVATIONS **RESIDENT CARE BUILDING**

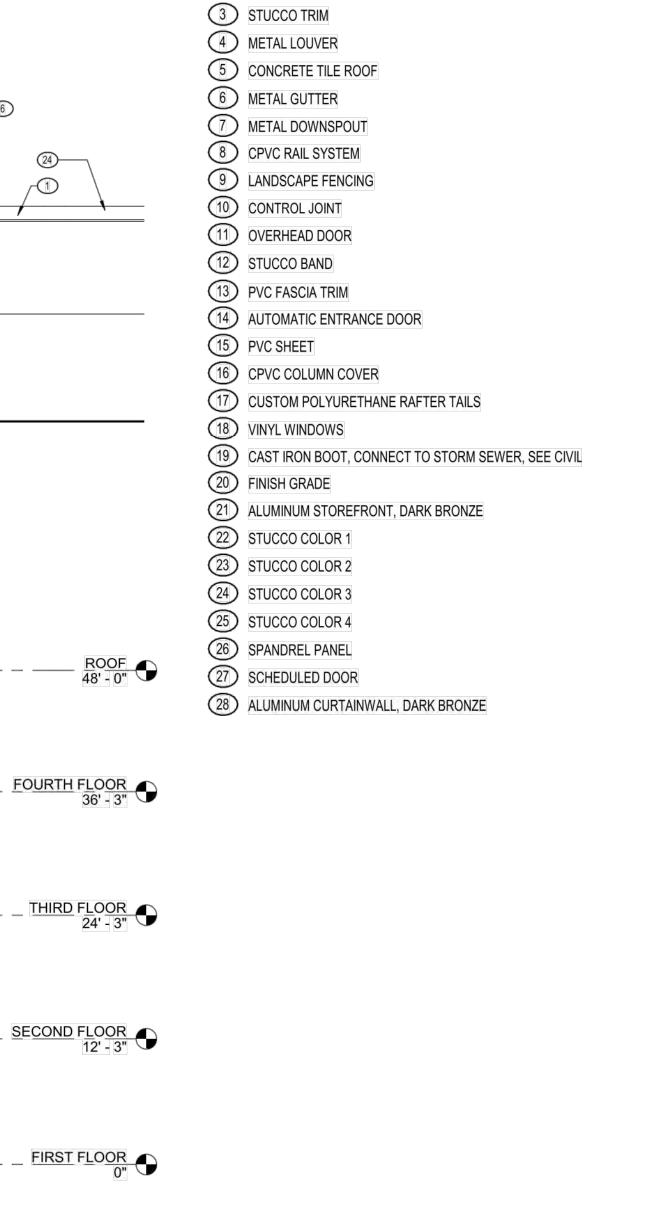








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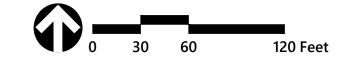
THEMAYFLOWER

32'

KEY NOTES

1 STUCCO FINISH

2 METAL COPING



The Mayflower **Retirement Center**

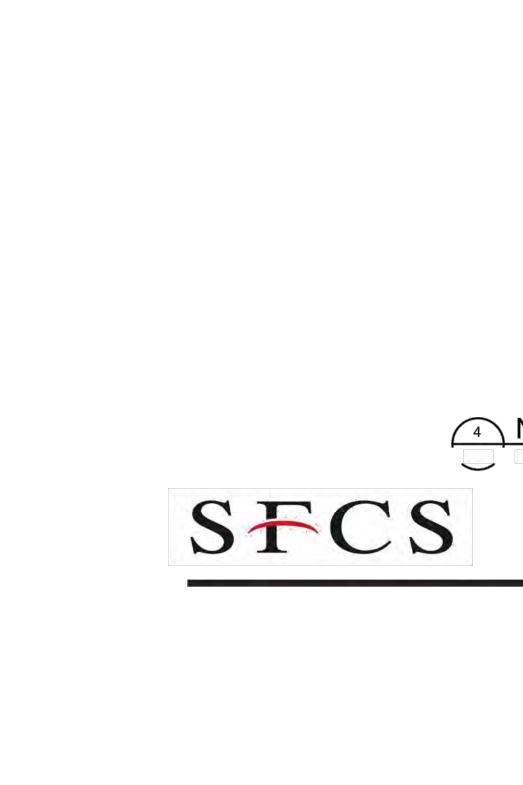
Winter Park, Florida

Со	nditional Use Plan	May 1	, 2019
Issued	for	Date	
	JLB	JR	КH
Design	ed by	Checked by	
	-		
2	Resubmit to the City of Winter Park	06/10/2019	
1	Submit to the City of Winter Park	05/01/2019	
No.	Revision	Date	Appvo

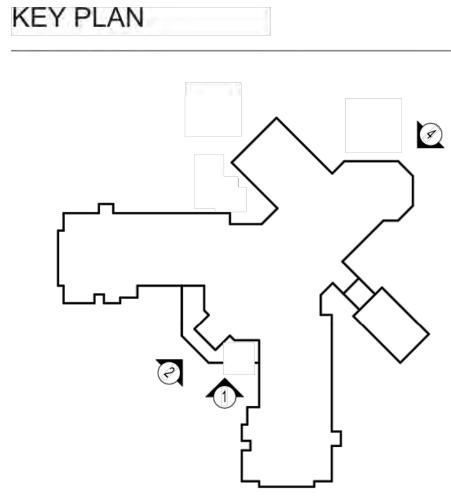
Vertical Datum NGVD 1929 Drawing Title

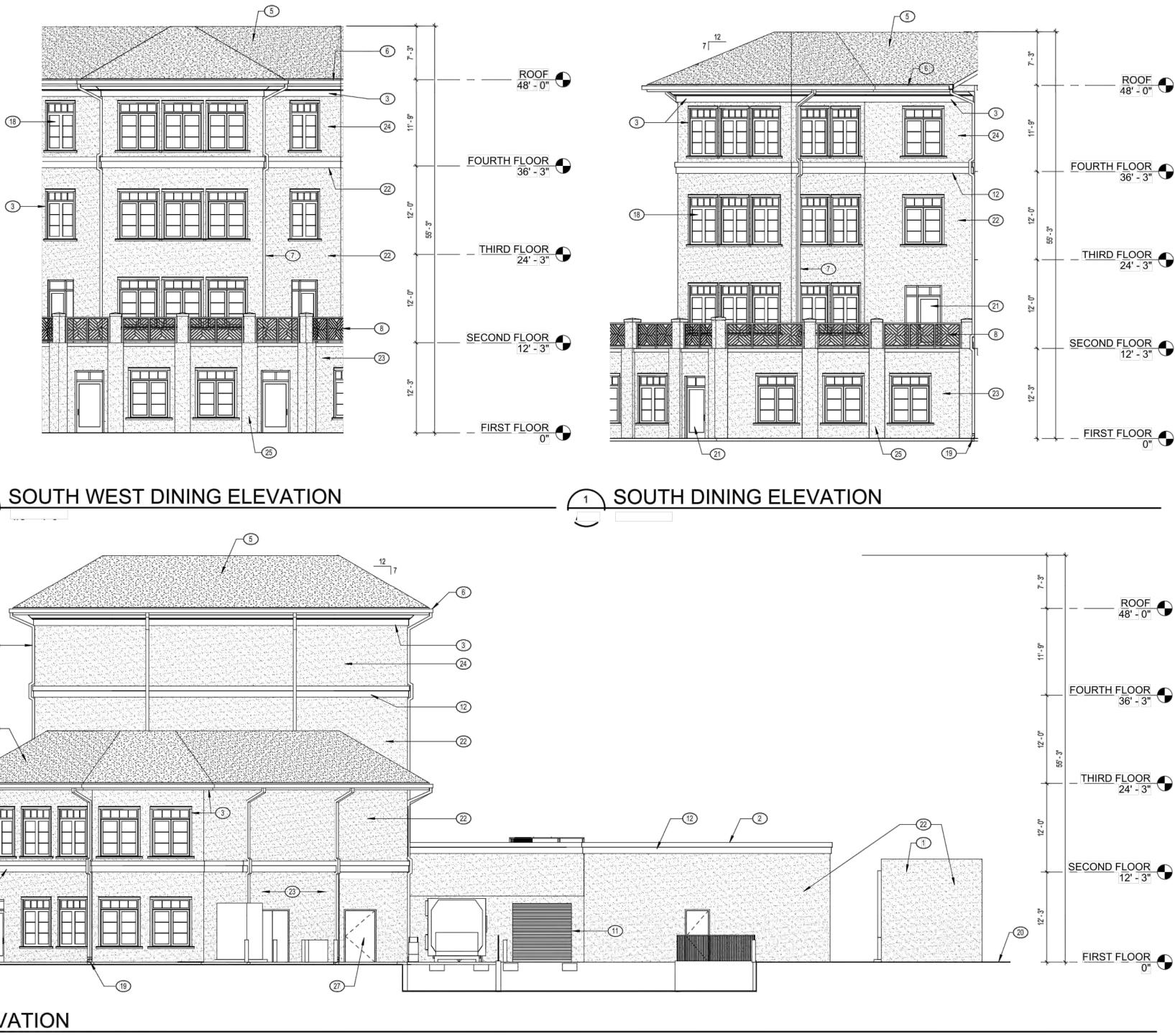
Building Elevations











MAYFLOWER ELEVATIONS **RESIDENT CARE BUILDING**

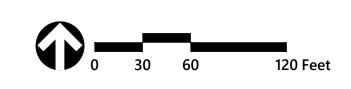


225 E. Robinson Street Suite 300 Orlando, FL 32801 407.839.4006 Certificate of Authorization Number FL #3932

	KEY NOTES
ROOF 48' - 0"	1 STUCCO FINISH
	2 METAL COPING
	3 STUCCO TRIM
	4 METAL LOUVER
8TH FLOOR 36' - 3"	5 CONCRETE TILE ROOF
30 - 3	6 METAL GUTTER
	METAL DOWNSPOUT
	B CPVC RAIL SYSTEM
RD FLOOR	
24' - 3"	(10) CONTROL JOINT
	(11) OVERHEAD DOOR
	(12) STUCCO BAND
	13 PVC FASCIA TRIM
ND FLOOR 12' - 3"	(14) AUTOMATIC ENTRANCE DOOR
	(15) PVC SHEET
	(16) CPVC COLUMN COVER
	(17) CUSTOM POLYURETHANE RAFTER TAILS
RST FLOOR 0"	(19) CAST IRON BOOT, CONNECT TO STORM SEWER, SEE CIVIL
	(20) FINISH GRADE
	(21) ALUMINUM STOREFRONT, DARK BRONZE
	(22) STUCCO COLOR 1
	(23) STUCCO COLOR 2
	(24) STUCCO COLOR 3
	(25) STUCCO COLOR 4
	(26) SPANDREL PANEL
ROOF 48' - 0"	(27) SCHEDULED DOOR
	(28) ALUMINUM CURTAINWALL, DARK BRONZE
TH FLOOR 36' - 3"	
RD FLOOR 24' - 3"	
ND FLOOR 12' - 3"	

6'	32'





The Mayflower **Retirement Center**

Winter Park, Florida

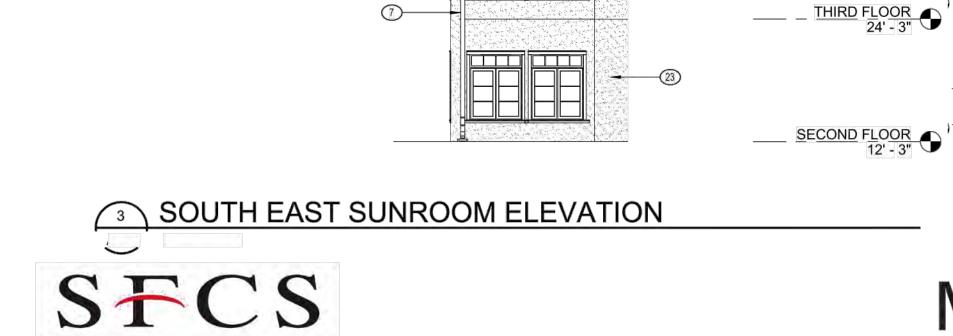
	nditional Use Plan	May 1	, 2019
ssued	for	Date	
	JLB	JR	H
Design	ed by	Checked by	
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No.	Revision	Date	Аррус

Vertical Datum NGVD 1929
Drawing Title

Building Elevations



Drawing Numbe



(18)-

(12)-

3-

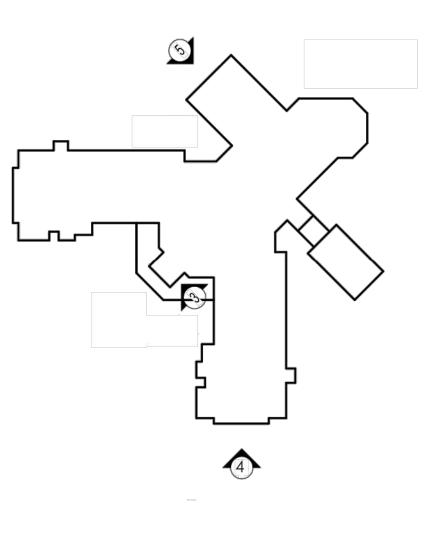
-(5)

-(24)

- 22

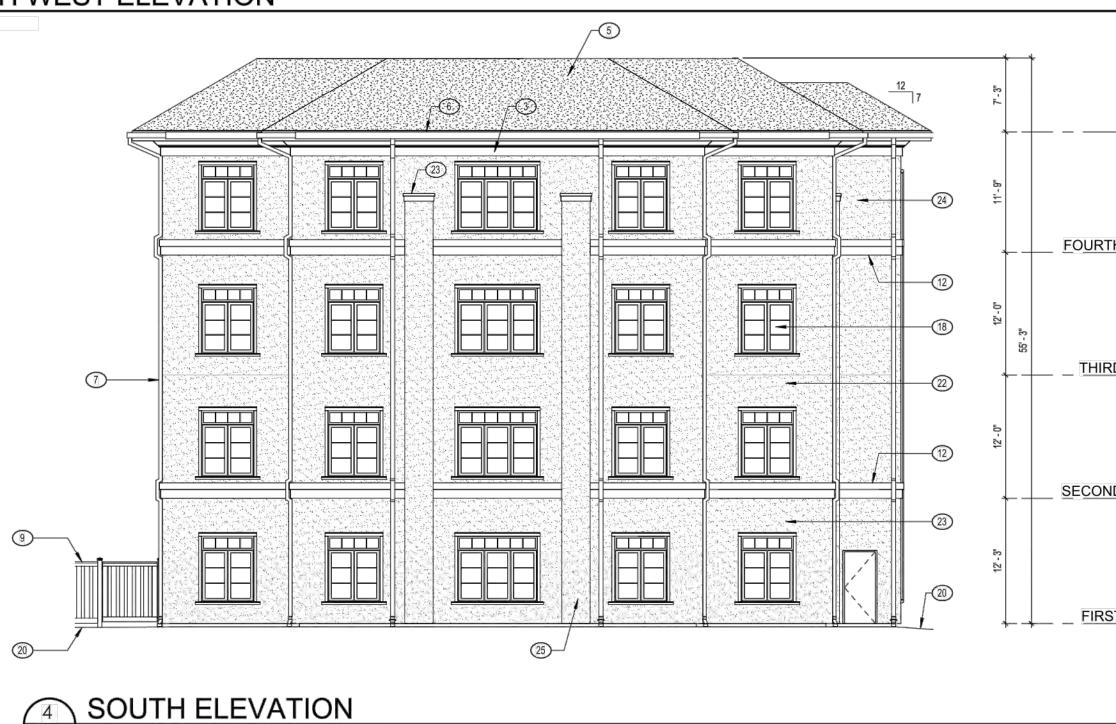
ROOF 48' - 0"

 $\frac{\text{FOURTH FLOOR}}{36' - 3"} \oplus$

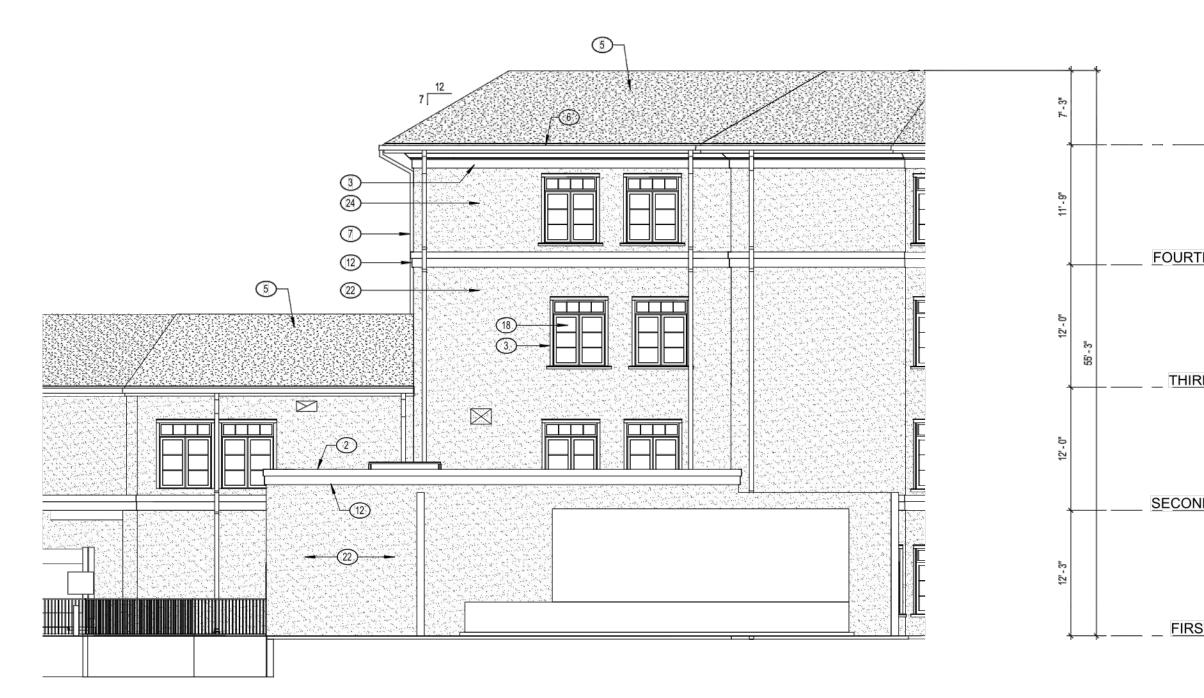


KEY PLAN

MAYFLOWER ELEVATIONS **RESIDENT CARE BUILDING**



5 NORTH WEST ELEVATION





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 STUCCO FINISH METAL COPING STUCCO TRIM METAL LOUVER CONCRETE TILE ROOF METAL GUTTER METAL DOWNSPOUT CPVC RAIL SYSTEM LANDSCAPE FENCING CONTROL JOINT OVERHEAD DOOR STUCCO BAND STUCCO BAND PVC FASCIA TRIM AUTOMATIC ENTRANCE DOOR PVC SHEET CPVC COLUMN COVER VINYL WINDOWS
 3 STUCCO TRIM 4 METAL LOUVER 5 CONCRETE TILE ROOF 6 METAL GUTTER 7 METAL DOWNSPOUT 8 CPVC RAIL SYSTEM 9 LANDSCAPE FENCING 10 CONTROL JOINT 11 OVERHEAD DOOR 12 STUCCO BAND 13 PVC FASCIA TRIM 14 AUTOMATIC ENTRANCE DOOR 15 PVC SHEET 16 CPVC COLUMN COVER 17 CUSTOM POLYURETHANE RAFTER TAILS 18 VINYL WINDOWS
 METAL LOUVER CONCRETE TILE ROOF METAL GUTTER METAL DOWNSPOUT CPVC RAIL SYSTEM LANDSCAPE FENCING CONTROL JOINT OVERHEAD DOOR STUCCO BAND STUCCO BAND PVC FASCIA TRIM AUTOMATIC ENTRANCE DOOR PVC SHEET CPVC COLUMN COVER VINYL WINDOWS
 CONCRETE TILE ROOF METAL GUTTER METAL DOWNSPOUT CPVC RAIL SYSTEM LANDSCAPE FENCING CONTROL JOINT CONTROL JOINT OVERHEAD DOOR STUCCO BAND STUCCO BAND PVC FASCIA TRIM AUTOMATIC ENTRANCE DOOR PVC SHEET CPVC COLUMN COVER CUSTOM POLYURETHANE RAFTER TAILS VINYL WINDOWS
 METAL GUTTER METAL DOWNSPOUT CPVC RAIL SYSTEM LANDSCAPE FENCING CONTROL JOINT CONTROL JOINT OVERHEAD DOOR STUCCO BAND PVC FASCIA TRIM AUTOMATIC ENTRANCE DOOR PVC SHEET CPVC COLUMN COVER CUSTOM POLYURETHANE RAFTER TAILS VINYL WINDOWS
 METAL DOWNSPOUT CPVC RAIL SYSTEM LANDSCAPE FENCING CONTROL JOINT OVERHEAD DOOR STUCCO BAND STUCCO BAND PVC FASCIA TRIM AUTOMATIC ENTRANCE DOOR PVC SHEET CPVC COLUMN COVER CUSTOM POLYURETHANE RAFTER TAILS VINYL WINDOWS
 8 CPVC RAIL SYSTEM 9 LANDSCAPE FENCING 10 CONTROL JOINT 11 OVERHEAD DOOR 12 STUCCO BAND 13 PVC FASCIA TRIM 14 AUTOMATIC ENTRANCE DOOR 15 PVC SHEET 16 CPVC COLUMN COVER 17 CUSTOM POLYURETHANE RAFTER TAILS 18 VINYL WINDOWS
 9 LANDSCAPE FENCING 10 CONTROL JOINT 11 OVERHEAD DOOR 12 STUCCO BAND 13 PVC FASCIA TRIM 14 AUTOMATIC ENTRANCE DOOR 15 PVC SHEET 16 CPVC COLUMN COVER 17 CUSTOM POLYURETHANE RAFTER TAILS 18 VINYL WINDOWS
 (10) CONTROL JOINT (11) OVERHEAD DOOR (12) STUCCO BAND (13) PVC FASCIA TRIM (14) AUTOMATIC ENTRANCE DOOR (15) PVC SHEET (16) CPVC COLUMN COVER (17) CUSTOM POLYURETHANE RAFTER TAILS (18) VINYL WINDOWS
 OVERHEAD DOOR STUCCO BAND PVC FASCIA TRIM AUTOMATIC ENTRANCE DOOR PVC SHEET CPVC COLUMN COVER CUSTOM POLYURETHANE RAFTER TAILS VINYL WINDOWS
 12 STUCCO BAND 13 PVC FASCIA TRIM 14 AUTOMATIC ENTRANCE DOOR 15 PVC SHEET 16 CPVC COLUMN COVER 17 CUSTOM POLYURETHANE RAFTER TAILS 18 VINYL WINDOWS
 13 PVC FASCIA TRIM 14 AUTOMATIC ENTRANCE DOOR 15 PVC SHEET 16 CPVC COLUMN COVER 17 CUSTOM POLYURETHANE RAFTER TAILS 18 VINYL WINDOWS
 AUTOMATIC ENTRANCE DOOR PVC SHEET CPVC COLUMN COVER CUSTOM POLYURETHANE RAFTER TAILS VINYL WINDOWS
 15 PVC SHEET 16 CPVC COLUMN COVER 17 CUSTOM POLYURETHANE RAFTER TAILS 18 VINYL WINDOWS
 (16) CPVC COLUMN COVER (17) CUSTOM POLYURETHANE RAFTER TAILS (18) VINYL WINDOWS
17 CUSTOM POLYURETHANE RAFTER TAILS 18 VINYL WINDOWS
(18) VINYL WINDOWS
(19) CAST IRON BOOT, CONNECT TO STORM SEWER, SEE CIVIL
20 FINISH GRADE
21) ALUMINUM STOREFRONT, DARK BRONZE
22 STUCCO COLOR 1
23 STUCCO COLOR 2
24 STUCCO COLOR 3
25 STUCCO COLOR 4
26 SPANDREL PANEL
27) SCHEDULED DOOR
28 ALUMINUM CURTAINWALL, DARK BRONZE

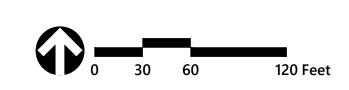
THIRD FLOOR 24' - 3"

SECOND FLOOR 12' - 3"

32' 16'

8





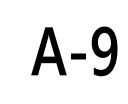
The Mayflower **Retirement Center**

Winter Park, Florida

No.	Revision	Date	Appv
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Design	ed by	Checked by	
	JLB	JI	RH
ssued	for	Date	
Со	nditional Use Plan	May	1, 201

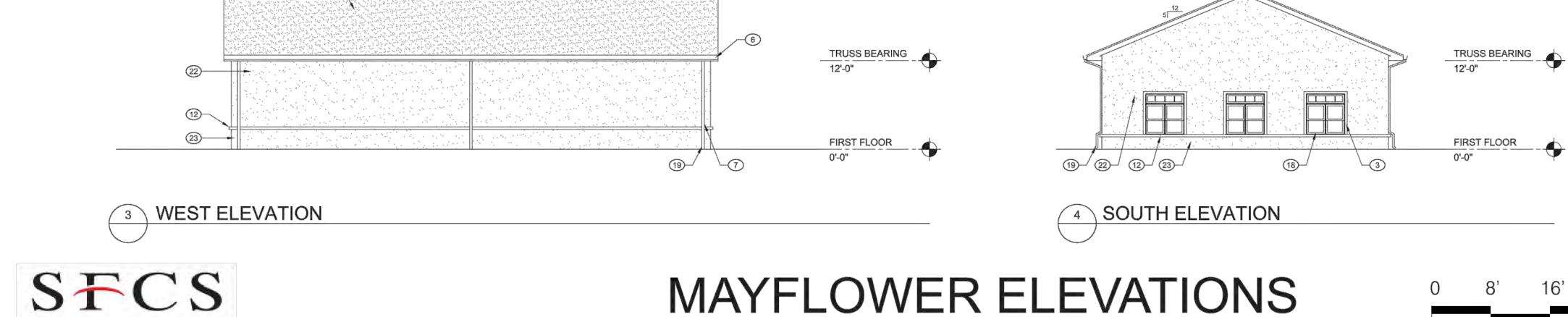
Vertical Datum NGVD 1929 Drawing Title

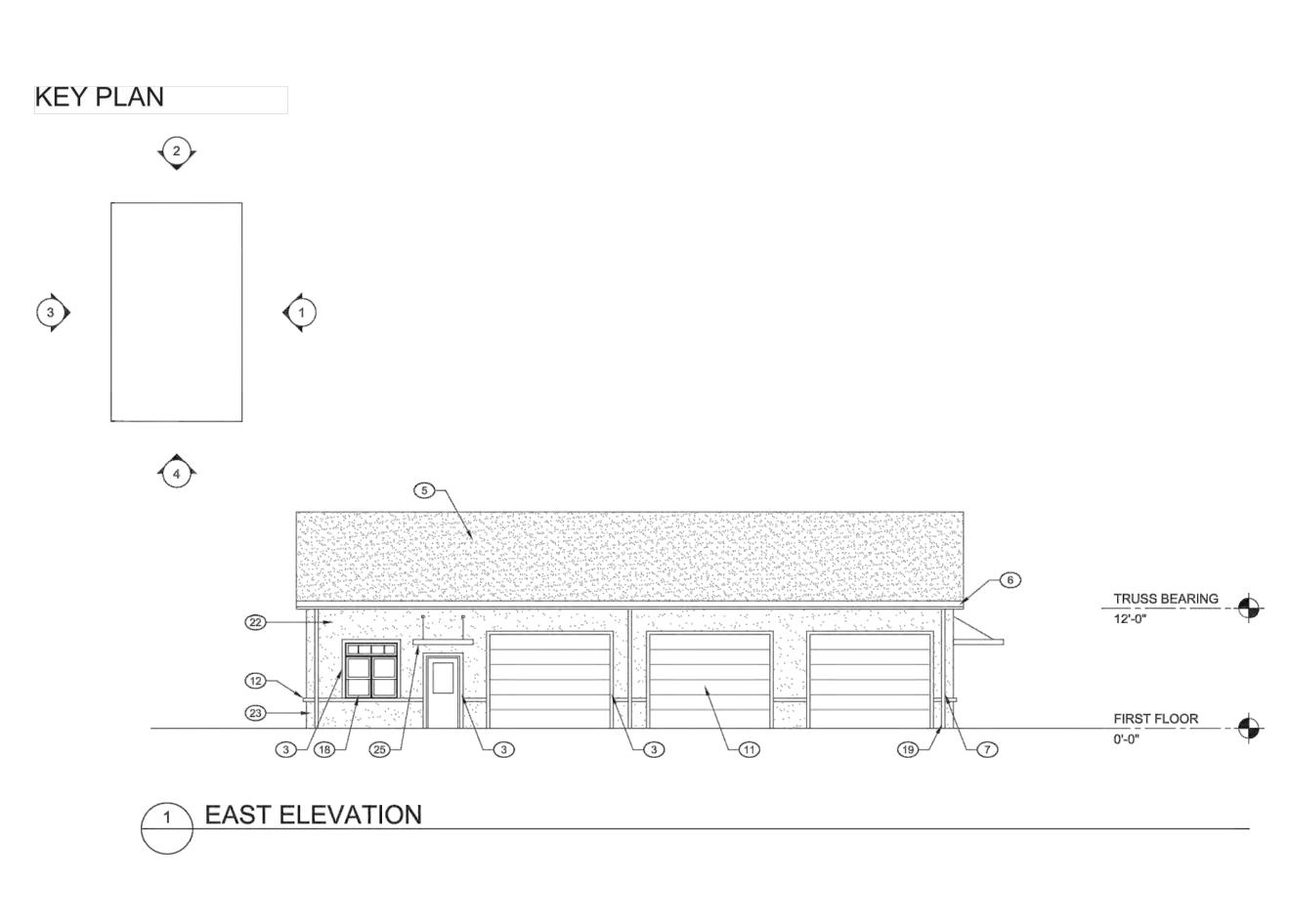
Building Elevations



Drawing Number

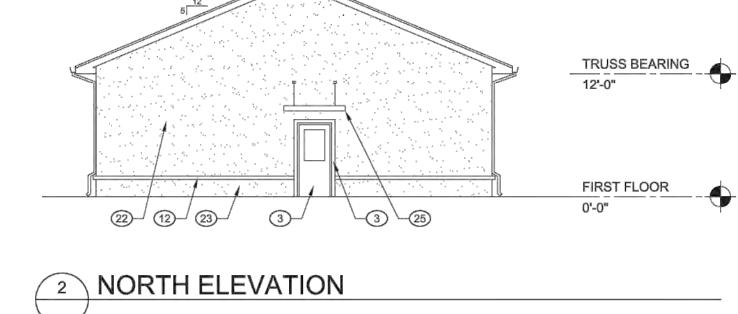
Project Number 62643.00





5

MAINTENANCE BUILDING





KEY NOTES

22) STUCCO COLOR 1

23) STUCCO COLOR 2

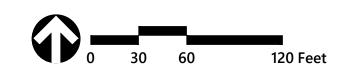
24) STUCCO COLOR 3

32'

25 EXTRUDED ALUMINUM CANOPY

1 STUCCO FINISH 2 METAL COPING 3 STUCCO TRIM METAL LOUVER 5 CONCRETE TILE ROOF 6 METAL GUTTER 7 METAL DOWNSPOUT 8 CPVC RAIL SYSTEM 9 LANDSCAPE FENCING (10) CONTROL JOINT (11) OVERHEAD DOOR 12 STUCCO BAND 13 PVC FASCIA TRIM (14) AUTOMATIC ENTRANCE DOOR 15 PVC SHEET (16) CPVC COLUMN COVER (17) CUSTOM POLYURETHANE RAFTER TAILS 18 VINYL WINDOWS (19) CAST IRON BOOT, CONNECT TO STORM SEWER, SEE CIVIL 20 FINISH GRADE 21) ALUMINUM STOREFRONT, DARK BRONZE

225 E. Robinson Street Suite 300 Orlando, FL 32801 407.839.4006 Certificate of Authorization Number FL #3932



The Mayflower Retirement Center

Winter Park, Florida

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	for	Date	
	JLB	JR	Н
Desigr	ned by	Checked by	
2	Resubmit to the City of Winter Park	06/10/2019	
1	Submit to the City of Winter Park	05/01/2019	
No.	Revision	Date	Арру

Vertical Datum NGVD 1929 Drawing Title

Building Elevations



Drawing Number

62643.00

Project Numbe

date: Jun. 10, 2019

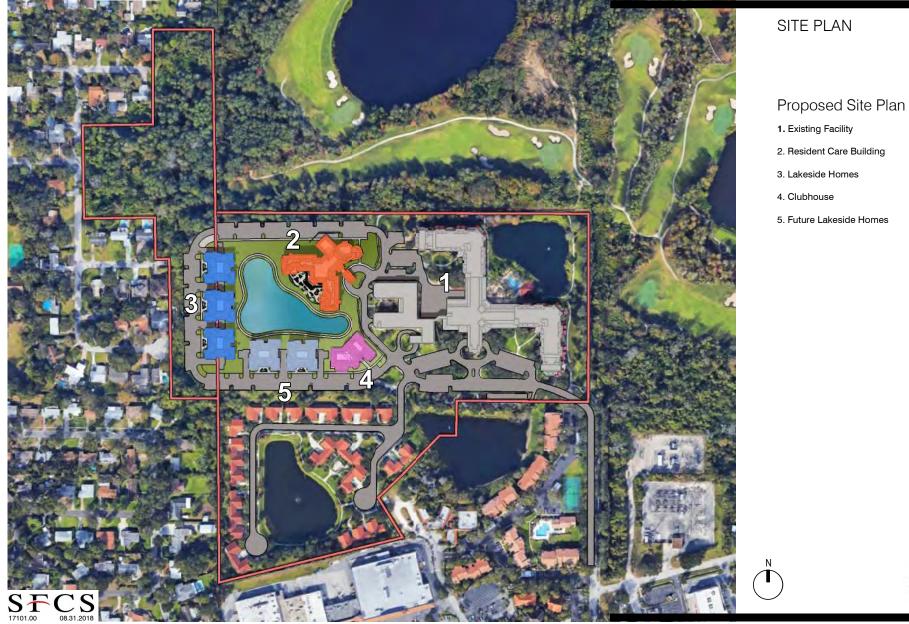




EXISTING SITE PLAN 3.7

Existing Conditions





3.8





North Elevation



THE MAYFLOWER

West Elevation



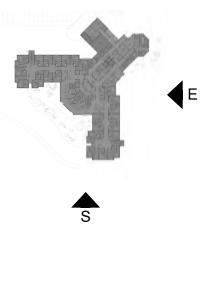


East Elevation



RESIDENT CARE **3.15** BUILDING

East Elevation





South Elevation





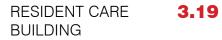
RESIDENT CARE **3.18** BUILDING

Perspective Views









Perspective Views







RESIDENT CARE **3.20** BUILDING

Bird's Eye View looking Northeast









Elevation B



А

SF CS 17101.00 08.31.2018





THE MAYFLOWER

Elevation D







LAKESIDE HOMES 3.42

Perspective Views





North-East Elevation





3.45

NE

NW

North-West Elevation

S C S 17101.00 08.31.2018





South-East Elevation







CLUBHOUSE **3.49**

Perspective Views





Bird's Eye View - Phase I

CLUBHOUSE



3.50

S C S 17101.00 08.31.2018



June 28, 2019

Dear Planning and Zoning Board:

On behalf of the Mayflower Retirement Center and its residents (the "Mayflower"), please consider this letter as the Mayflower's objection to the City's recent request for an additional bike path easement across the Mayflower's property. For reference, we have enclosed the most recent map detailing the City's request. The objectionable easement that staff has requested is shown on the map in blue and is labelled "Easement Area #2."

As the City is aware, the Mayflower is undergoing an expansion of its campus to include up to five new independent living buildings as well as a new health center. These new features will serve the City and its residents by offering newer, state-of-the-art independent living units and health care facilities, and much needed memory care neighborhoods in the health center. The expansion will also greatly increase the base for the City's tax revenue. There is no doubt this expansion will be of great benefit to both the Mayflower and the City.

In early 2018, the City amended zoning ordinances and approved preliminary conditional use for the expansion. In reliance on the zoning changes and preliminary conditional use approval, the Mayflower acquired the property to the west of the existing campus (known as the "Bidwell Property") and continued planning the expansion. The City also issued permits for the Mayflower to start site work, which has been ongoing for about six months.

At the City's request, the Mayflower explored options concerning a bike path connector through the Mayflower's property. As part of this consideration, the Mayflower recognized that there would be significant safety and security concerns posed by a public bike path running through its campus. The Mayflower also considered the general decrease in desirability of the Mayflower to potential residents resulting from a public bike path on campus. The Mayflower is intentionally isolated for the safety and enjoyment of our residents, all of whom specifically came to the Mayflower as an oasis. For obvious reasons then, many, if not all, of the Mayflower's residents oppose a bike path on campus. Given these issues, the Mayflower worked with its engineer and architect to propose a bike path connector easement that accommodates the City's desire for a possible bike path connector in the future with the Mayflower's current and ongoing need to ensure its campus is the safe and secure oasis promised to its residents.

The result of that process is the easement shown on the enclosed map in red and is titled "Easement Area #1." Going above and beyond what the City requested, without any legal

obligation to do so, and wanting to be a good neighbor, the Mayflower agreed to offer that Easement Area #1 to the City. Easement Area #1 permits the connections of existing City rights of way (Taylor Ave. and Suffield Dr.) to accommodate a future bike path. This was offered and appeared to be acceptable to the City in 2018.

City staff, however, has now asked for a second easement across the Mayflower's property. The recent request for the additional Easement Area #2, is objectionable for many reasons, including the following:

- The Mayflower has already satisfied the condition the City imposed by exploring bike path connector options, and the Mayflower has exceeded the condition by offering Easement Area #1.
- (2) The City currently has no plan firmly in place for a bike path connector. Even if there was a plan in place, Easement Area #2 is not necessary for such connector. Easement Area #1 already proposes to connect two existing rights of way to accomplish the desired bike path connector. As for Easement Area #2, it is not clear what more it would provide that Easement Area #1 and the many other existing rights-of-way available (including Hallifax Ave, Yorkshire Dr, and Oakhurst Ave) do not already provide to the City. Indeed, Easement Area #2 appears to dead end into a wooded area belonging to Interlachen Country Club. There is no readily apparent need for Easement Area #2.
- (3) Easement Area #2 requires consent from several other parties who either have not consented or are not likely to consent, including the residents on Oakhurst Avenue (the bike path would go through their back yards). Similarly, if Easement Area #2 was intended to be part of some other connecting easements as opposed to a dead end, Interlachen Country Club, Brighthouse Networks, and the neighbors who own the flag lot at the end of Palmer Ave. would also need to consent to connecting easements. Easement Area #2 would be of no import if those parties did not also consent to bike path easements. The Mayflower is not aware of any such consent.
- (4) As expressed above, the concept of a bike path running through the Mayflower's campus not only creates a significant safety and security issue, it also has the potential to drastically decrease the desirability of the Mayflower to future residents. Easement Area #1 was created with that in mind and crosses a very limited portion of the Mayflower's property. Easement Area #2, however, is proposed to run across the entire northern boundary of the Bidwell Property. The possibility of a public bike path of this size on the Mayflower's campus may cause concern to future prospective residents, and seems likely to undermine the purpose of the expansion and hinder the Mayflower's ability to market and sell the new units created by the expansion.
- (5) Easement Area #2 interferes with the landscaping plan for the expansion. When and if the City were to build a bike path in the future over Easement Area #2, the mature trees and hedges that line the Bidwell Property to beautify the expansion project for our adjacent neighbors would have to be cut down.

(6) When and if the City were to build a bike path in the future over Easement Area #2, additional and substantial security measures would need to be put in place to prevent trespassing into the Mayflower's campus. Such measures would include a high fence lining the length of Easement Area #2, which is multiple times longer than the offered Easement Area #1.

For these reasons, the Mayflower objects to the City's request for Easement Area #2. The Mayflower has enjoyed being a longstanding partner with the City and looks forward to the bright future ahead for its relationship with the City. This is especially true as the Mayflower continues through its exciting expansion. Thank you for considering these issues, and we hope that you will conclude, as we have, that Easement Area #2 should not be required to be included in the Mayflower's plans for its expansion.

Sincerely,

tatkrim

Steven A. Kramer President & CEO

1620 Mayflower Court • Winter Park, Florida 32792 Phone: (407) 672-1620 • Toll-Free: (800) 228-6518 • Fax: (407) 671-6336 www.themayflower.com THE GALLERY @ WINTER PARK 600 Gallery Drive Winter Park, FL 32792

City Commission/Planning and Zoning Board:

On behalf of the Gallery Condominiums, we send this letter of support for the applications of the Mayflower Retirement Community to revise their plans for the expansions of their Health Care and Living Facilities. The Mayflower has been a good neighbor to the Gallery Condominiums and they have worked with us to address the impacts of this construction.

At the earlier City meetings in 2018, we also supported the Mayflower's expansion plans. Our concerns were the visual buffering of their property from our Condo units, which look out toward the Mayflower over our common retention pond. To that end, the Mayflower has installed the requested new cypress trees. The Mayflower has installed a construction privacy fence, (per the approval conditions) to be replaced with a permanent vinyl fence once construction is complete. Again, (per the approval conditions) the Mayflower will install new hedges and landscaping, as needed, to fill in the gaps along the boundary of the retention pond; using existing landscape where possible.

The Gallery's oversight in requesting landscape and screening was neglecting to ask for irrigation. Without irrigation, it is doubtful that the new landscape will survive and that north shore of the retention pond is far too distant from the Gallery's irrigation system. As the pictures below show, the landscaping lake edge dies out in dry conditions but thrives once the rains come. The Gallery would like to look at green throughout the year rather than the cycle of brown to green to brown to green.







Thus, the one request of the Gallery Condominiums is to add "irrigation" to the existing Condition of Approval (as shown in red) to read:

APPROVAL of the Storm Water design and the Landscape/Screening plans for the Gallery Condominiums to include installation of a six foot vinyl privacy fence (color to be mutually agreeable or green) along the southern border of the construction access road, infill of podocarpus hedge in the gaps in the existing landscape buffer on the north shoreline area that exists today; installation of irrigation for the landscaping along the northshore area and planting of 10 new cypress trees along the 400 feet of the north water's edge of the retention pond, spaced every 40 feet concurrent with the start of the construction activity.

Thank you for your consideration of this request.

Gallery Condominiums



401 South Park Avenue • Winter Park, Florida 32789

407-599-3324 • planning@cityofwinterpark.org cityofwinterpark.org

Planning & Community Development

Planning & Zoning Board Staff Report for July 9, 2019 Meeting

AP#19-01 **REQUEST TO APPEAL THE INTERPRETATION AND DETERMINATION** OF THE BUILDING AND ZONING **OFFICIAL:** REGARDING THE DETERMINATION INTERPRETATION AND THAT NONCONFORMING ACCESSORY STRUCTURES ARE TO BE UTILIZED IN DETERMINING THE AVERAGE LAKEFRONT SETBACK (SEC. 58-87) AS PART OF THE CONSIDERATIONS BY THE PLANNING AND ZONING BOARD IN LAKEFRONT PLAN REVIEWS, PARTICULARLY AS APPLIED TO THE JUNE 4, 2019 APPROVAL AT 1204 N, PARK AVENUE.

Background: The City has received an appeal pursuant to Section 58-94 of the Zoning Code contesting the City's interpretation and determination that accessory structures should not be counted when determining average lakefront setbacks per Section 58-87, if such structures are nonconforming per Section 58-64.

On June 4, 2019, the City Planning and Zoning Board approved a new one-story house at 1204 N. Park Avenue pursuant to the lakefront regulations of Section 58-87. Attached is the letter of Appeal from attorney Rebecca Wilson representing the adjacent homeowners at 1216 N. Park Avenue. Also attached is the response providing the City's official interpretation.

In summary, the appeal is based on the Nonconforming Code text 58-64 (a) that says "nonconformities shall not be ... used as grounds for adding other structures or to allow uses prohibited elsewhere in the same districts". The City's position is that this sentence of 58-64(a)(1), City Code is expressing an intent to not justify permitting the construction of a new structure that is prohibited by the Zoning Code based on the existence of a non-conforming structure. Section 58-87(d)(5)(a), City Code provides for a measurement of the average existing structures and accessory structures within 200 feet of the subject property; it does not state to exclude from such calculation non-conforming structures or accessory structures. Further, regardless of the outcome of that calculation, the P&Z Board has the authority to approve a setback from the lake's ordinary high water elevation of 50 feet or greater.

In accordance with the general rules of code interpretation [Sec. 1-2, City Code –*Generally* (1)], the more specific code provision controls over the more general code provision. Section 58-87(d)(5)(a), City Code is very specific to the issue of how to calculate an average of setbacks for giving the P&Z Board guidance on establishing proposed structures' setbacks from the lake's ordinary high water elevation for the purposes of achieving the lakefront review objectives stated in Section 58-87(a), City Code. On the other hand, Section 58-64(a)(1), City Code is a rather general statement of intent.

It is the City's interpretation that Section 58-64(a)(1), City Code does not prohibit the use of an existing legally non-conforming structures located within 200 feet of a property that is the subject of a lakefront review for purposes of calculating the average setback from the water's ordinary high water elevation pursuant to Section 58-87(d)(5)(a), City Code, since the new structure to be considered for approval is and must be conforming to the Zoning Code. In order words, there is no conflict between using an existing non-conforming structure in such average setback calculation if the existing non-conforming structure is not being used to justify the construction of another non-conforming structure.

Further, regardless of the result of the average setback calculation, the P&Z Board has the authority to approve a setback from the lake of 50 feet or more. Thus, even if a structure not conforming to the current Zoning Code lake setback requirement is used in the calculation of average setbacks within 200 feet of the subject property, so long as the P&Z Board imposes a 50 feet setback or greater from the water's ordinary high water elevation, the proposed new structure is conforming to the Zoning Code for purposes of such setback requirement.

If a situation arises where an applicant was attempting to establish a lakefront setback that would be closer to the lake's ordinary high water elevation than the Zoning Code permits, Section 58-64(a)(1), City Code can be used as justification for denying the requested non-conforming setback.

Appeal Process: Based on the outcome of the P&Z Board's decision, either party may further appeal your decision to the City Commission. That action is not mandatory. It is at the discretion of either party whether to pursue a further appeal to the City Commission. If either party chooses to do that, then there is separate public notice process required.

STAFF RECOMMENDATION IS TO SUPPORT THE CITY'S INTERPRETATION

M. REBECCA WILSON

rebecca.wilson@lowndes-law.com 215 North Eola Drive, Orlando, Florida 32801-2028 T: 407-418-6250 | F: 407-843-4444 MAIN NUMBER: 407-843-4600

TH MERITAS® LAW FIRMS WORLDWIDE

June 10, 2019

Randy B. Knight, City Manager City of Winter Park 401 Park Avenue South Winter Park, FL 32789-4386

Re: Zoning Official Interpretation

Dear Randy:

This firm represents Paul and Layne Missigman with respect to their home located at 1202 N. Park Avenue. On May 30, 2019 the City posted the Staff Report for SPR 19-05 Request of Z Properties for Approval to Construct a New 4,245 square foot single family home located at 1204 N. Park Avenue on Lake Maitland, Zond R-1AAA. In the staff report, staff took the position that:

- City Code Section 58-64(a)(1) does not apply to Lakefront review;
- Section 58-87 statement that "the setback from the water's ordinary high water elevation . . . shall be the average established by the adjacent waterfront properties within 200 feet of the subject property or 50 feet, whichever is greater" requires that the setback of the closest structure to the lake is used and not the average of the setback for the width of the Lot; and
- Section 58-87(d)(5) requires non-conforming structures to be included in the required calculation of 58-87(d)(5)(a) for adjacent lots.

The staff report was presented at the June 4, 2019 Planning and Zoning Board meeting. Planning and Zoning Board heard our concerns about the misinterpretation of Section 58-64 and Section 58-87. Planning and Zoning Board agreed with Staff's interpretation. Accordingly, consistent with City Code Section 58-94, my client is an aggrieved party who wishes to appeal the Staff's interpretation of Section 58-64 and Section 58-87 to the City Commission. Please respond with the date of the hearing and the "fee" prescribed by the City Commission to cover the administrative costs of such an appeal.



Randy B. Knight June 10, 2019 Page 2

Very truly yours

M. Rebecca Wilson

MRW/nle

cc: Kurt Ardaman, Esq. Dan Langley, Esq. Bronce Stephenson Jeff Briggs



401 South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax cityofwinterpark.org

Building & Permitting Services

VIA EMAIL (rebecca.wilson@lowndes-law.com)

M. Rebecca Wilson

215 North Eola Drive,

Orlando, Florida 32801-2028

RE: Zoning Official Interpretation Appeal related to determination of lakefront setback at 1204 N. Park Avenue

Dear Ms. Wilson:

The City is in receipt of your June 10, 2019 letter stating the intent of your clients to appeal a written interpretation made in a Staff Report for SPR 19-05 relating to property located at 1204 N. Park Avenue heard during the June 4, 2019 Planning and Zoning Board (P&Z Board) meeting. As the City's Building and Zoning Official, I am responding to your correspondence.

I respectfully submit your letter is not an accurate summary of the Staff Report or of the position taken by the City staff during the June 4, 2019 Planning and Zoning Board meeting. Further, the written Staff Report that you reference does not specifically address Section 58-64(a)(1), City Code and the arguments that you are making in your June 10, 2019 letter and the verbal discussions that occurred at the June 4, 2019 Planning and Zoning Board meeting concerning the interaction between Section 58-64(a)(1) and the provisions of Section 58-87, City Code. In summary, the Staff Report does not address in writing all matters that are the subject of your appeal.

However, as a matter of courtesy, I will accept your June 10, 2019 letter as a request for a written interpretation from me on such issues raised in your letter. Further, I will process your request as an appeal of the written interpretation on such matters addressed herein for a hearing before the Planning and Zoning Board at their first meeting next scheduled 20 days after filing of this appeal with payment of applicable fee. As stated in Section 58-94(a) & (b), City Code, appeals of written interpretations of the Building and Zoning Official go to the Planning and Zoning Board and not directly to the City Commission.

Decisions of the Planning and Zoning Board under their lakefront plan review authority are final under the Zoning Code, and action taken to overturn their decision must be taken to Orange County Circuit Court.

The relevant portions of Section 58-64(a)(1) and Section 58-87, City Code cited in your letter state:

Sec. 58-64. - Nonconforming lots, nonconforming uses and nonconforming structures.

(a) Purpose and intent.

(1) Within the zoning districts established by this article or amendments that may later be adopted here exist: (a) lots; (b) structures, and (c) uses of land and structures which were lawful before this article was passed or amended but which would be prohibited, regulated or restricted under the terms of this article or future amendment. **It is the intent of this article that nonconformities shall not** be enlarged upon, expanded or extended, nor **be used as grounds for adding other structures** or to allow uses **prohibited elsewhere in the same district**.

Sec. 58-87. Lakefront lots, canalfront lots, streamfront lots, wetlands, boathouses and docks.

(a) Purpose and intent. It is the intent of this section to insure that buildings and structures on canalfront lots, lakefront lots and streamfront lots are not constructed or placed such that boating hazards will be created, that construction shall be compatible with the natural grade of the property, that water pollution from stormwater runoff and other sources will be minimized, that views of water from adjoining properties will not be unduly impaired, that existing trees shall be preserved to the degree reasonably possible and the appearance of the property and the shore when viewed from the water will be kept as natural as reasonably possible. The city's lakes, canals and streams are among the city's greatest assets, and it is in the public interest to require that their aesthetic appeal and water quality be maintained and enhanced when possible.

(b) Building plans.

(1) A building permit shall not be issued for any new structure or building, addition to any existing structure or building, fence or wall or significant change to an existing property on a lakefront, canalfront or streamfront lot until satisfactory building plans are reviewed and approved that are deemed in compliance with the objectives established in the aforementioned purpose and intent. The planning department shall review all such plans and provide a recommendation to the planning and zoning board.

(d) Other structures on lakefront, canalfront or streamfront lots. The following standards shall apply to all construction on lakefront, canalfront or streamfront lots:

(5) Structures on lakefront lots require the approval of the planning and zoning commission prior to the issuance of a building permit. As conditions necessitate, the planning and zoning commission or city commission may impose increased setbacks in concert with their waterfront review or conditional use authority as necessary to accomplish the objectives in this section. Structures in this context shall also include swimming pools, cabanas, gazebos, screen enclosures, tennis courts and other accessory buildings.

(a) Setbacks - Single family/duplex. The setback from the lake's ordinary high water elevation for single family and duplex buildings and any other accessory structures on those properties (other than boathouses, docks, over the water gazebos or retaining walls) shall be the average established by the adjacent lakefront properties within 200 feet of the subject property, or 50 feet, whichever is greater. The planning and zoning commission shall have the authority to approve lakefront and canal front setbacks less than the average to a minimum of 50 feet in accordance with their lakefront review authority.

The last sentence of 58-64(a)(1), City Code is expressing an intent to not justify permitting the construction of a new structure that is prohibited by the Zoning Code based on the existence of a non-conforming structure. Section 58-87(d)(5)(a), City Code provides for a measurement of the average existing structures and accessory structures within 200 feet of the subject property; it does not state to exclude from such calculation non-conforming structures. Further, regardless of the outcome of that calculation, the P&Z Board has the authority to approve a setback from the lake's ordinary high water elevation of 50 feet or greater.

In accordance with the general rules of code interpretation [Sec. 1-2, City Code –*Generally* (1)], the more specific code provision controls over the more general code provision. Section 58-87(d)(5)(a), City Code is very specific to the issue of how to calculate an average of setbacks for giving the Planning and Zoning Board guidance on establishing proposed structures' setbacks from the lake's ordinary high water elevation for the purposes of achieving the lakefront review objectives stated in Section 58-87(a), City Code. On the other hand, Section 58-64(a)(1), City Code is a rather general statement of intent.

It is my interpretation that Section 58-64(a)(1), City Code does not prohibit the use of an existing legally non-conforming structure located within 200 feet of a property that is the subject of a lakefront review for purposes of calculating the average setback from the water's ordinary high water elevation pursuant to Section 58-87(d)(5)(a), City Code, since the new structure to be considered for approval is and must be conforming to the Zoning Code. In other words, there is no conflict between using an existing non-conforming structure in such average setback calculation if the existing non-conforming structure is not being used to justify the construction of another non-conforming structure.

Further, regardless of the result of the average setback calculation, the Planning and Zoning Board has the authority to approve a setback from the lake of 50 feet or more. Thus, even if a structure not conforming to the current Zoning Code lake setback requirement is used in the calculation of average setbacks within 200 feet of the subject property, so long as the Planning and Zoning Board imposes a 50 feet setback or greater from the water's ordinary high water elevation, the proposed new structure is conforming to the Zoning Code for purposes of such setback requirement.

As another example of application of the lakefront setback determination, consider those lakefront homes built within the minimum 50 foot setback prior to the current Zoning Code. When a new home is proposed alongside one of these older existing nonconforming homes, it has always been the practice to average in the setback of those homes, and if determined to be less than 50 feet from the ordinary high water line, then the 50 foot minimum overrides the average lakefront setback similar to the situation be covered in this Zoning Code determination.

If a situation arises where an applicant were attempting to establish a lakefront setback that would be closer to the lake's ordinary high water elevation than the Zoning Code permits, Section 58-64(a)(1), City Code can be used as justification for denying the requested non-conforming setback.

Given the clarity provided in this written interpretation, please let me know if you wish to withhold filing this zoning interpretation appeal.

Respectfully,

George Wiggins, CBO Director of Building & Permitting Service Winter Park Building and Zoning Official

C: Randy Knight, City Manager Kurt Ardaman, City Attorney Dan Langley, Deputy City Attorney Bronce Stephenson, Director of Planning & Community Development Jeff Briggs, Planning Manager