

**CITY OF WINTER PARK  
PLANNING AND ZONING BOARD**

**Staff Report  
June 4, 2019**

**SPR 19-06** REQUEST OF JUSTIN AND LINDSAY VERMUTH FOR APPROVAL TO CONSTRUCT A 1,424 SQUARE FOOT TWO-STORY ADDITION TO THEIR SINGLE-FAMILY HOME LOCATED AT 725 BALMORAL ROAD ON LAKE BERRY, ZONED R-1AAA. VARIANCES ARE REQUESTED FOR THE SOUTHERN SIDE SETBACKS.

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Justin and Lindsay Vermuth (property owners) are requesting approval to construct a 1,424 square foot two-story addition to their foot single-family home located at 725 Balmoral Road which is located on Lake Berry, zoned R-1AAA.

This property measures 19,505 square feet, and this addition will increase the square footage of the home to 4,518 square feet. The total square footage of the home will yield a floor area ratio (FAR) of 23.2%, and is within the maximum 33% permitted. This new home will have impervious lot coverage of 7,369 square feet or 38%, which is within the maximum 50% permitted.

**TREE PRESERVATION:** The Code direction on water front lots is "to preserve existing trees to the degree reasonably possible." The location of the addition will not require any trees to be removed from the site.

**VIEW FROM THE LAKE:** The Code direction is to minimize the height and extent of stem walls or retaining walls facing the lake. Generally, the policy is not to permit walls/swimming pool decks facing the lake in excess of three feet in height. In this case, the swimming pool/deck is existing.

**VIEW OF NEIGHBORS:** The Code states that the lakefront setback shall be the average established by the adjacent lakefront properties within 200 feet of the subject property, or 50 feet, whichever is greater. The Code direction is to minimize the degradation of traditional views across properties by new houses, additions, second story additions, etc. alongside property lines toward the lake that may block traditional views. The proposed addition is located behind the average lakefront setback of the adjacent homes, and will not degrade the traditional lake views of the adjoining properties.

Based on the approximate 96 feet of width of this lot, the required setbacks are 12 feet to the first floor and 17 feet to the second floor. The applicant is requesting a minimal side setback variance to the southern second floor side setback requirements to keep this two-story addition in line with the existing first floor wall on the south side of the home. Due to the slight pie shape to this lot, the applicant is requesting a one inch to three-and-a-half inch setback variance on the south side of the lot. Due to the minimal encroachment into the side setback requirements, and the fact that it does not impact the lake views of the adjacent properties, staff does not see a concern with this request.

**STORM WATER RETENTION:** The zoning code requires retention of storm water so that storm water flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. Typically, this retention requirement is accomplished by the

creation of a depressed swale area across the waterfront of about one foot in depth. The amount of impervious surface determines the need for the depth of the swale. The applicant is proposing a stormwater swale near the lakefront that is sized to meet the City's code requirements.

**SUMMARY:** Overall, the plans meet the intent of the lakefront review criteria. Staff does not see any significant concerns with the proposed home as presented.

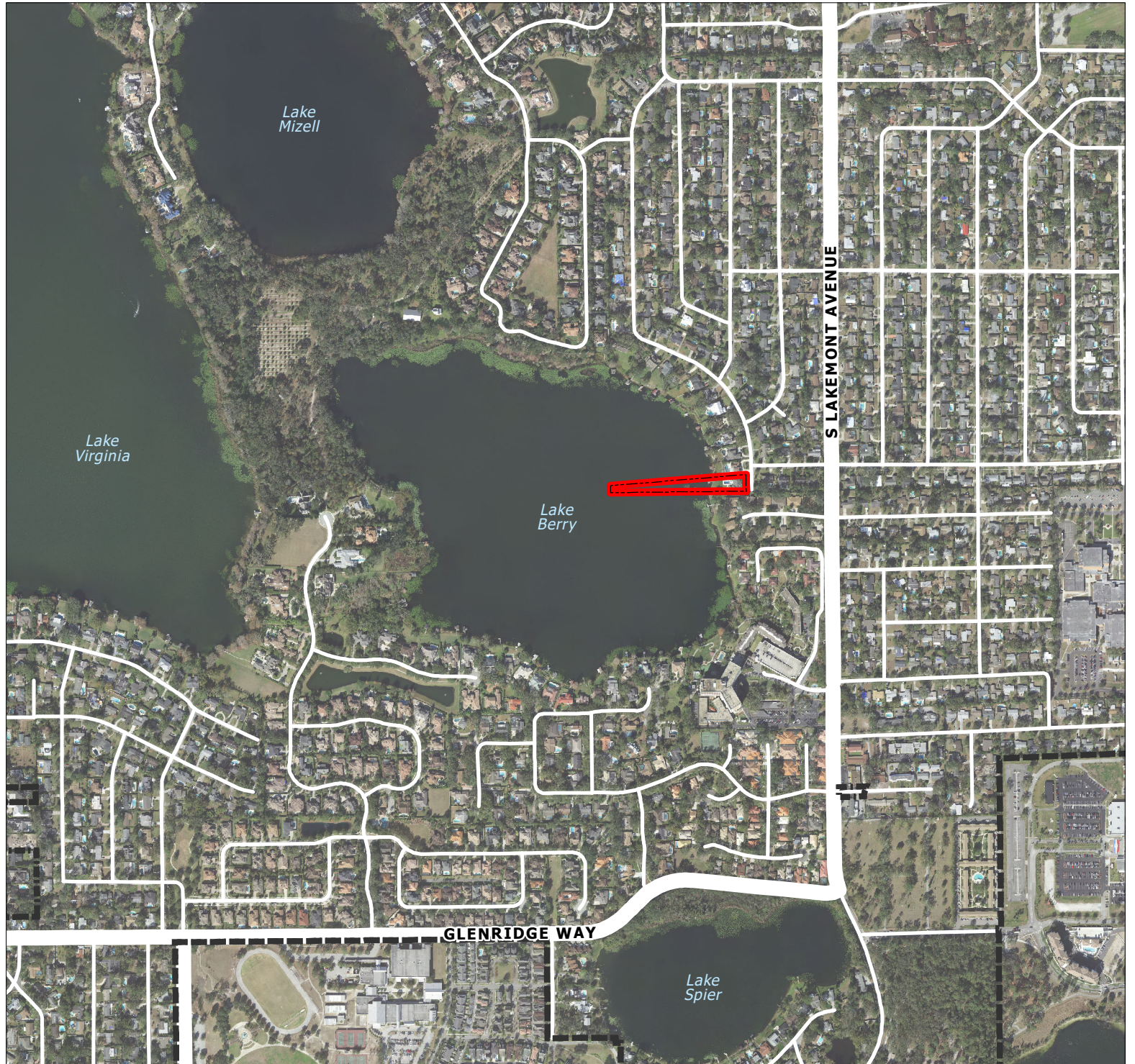
**STAFF RECOMMENDATION IS FOR APPROVAL**



## PROJECT LOCATION

**725 Balmoral Road**

City of Winter Park  
Florida





## PROJECT LOCATION

**725 Balmoral Road**

City of Winter Park  
Florida



# Topographic Survey

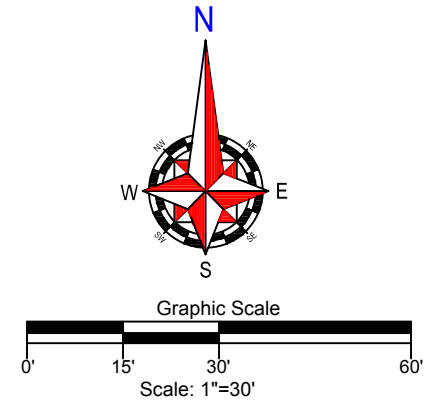
## Legal Description:

Lot 17, Block A, Kenilworth Shores Section Six, according to the plat thereof, as recorded in Plat Book V, Page 111, of the Public Records of Orange County, Florida

Flood Zone: X & AE Panel: 0255F  
Community Number: 12095C Date: 9/25/2009

### CERTIFIED TO:

Justin J. Vermuth Service First Title Agency, Inc.  
Bank of America, N.A. Chicago Title Insurance Company



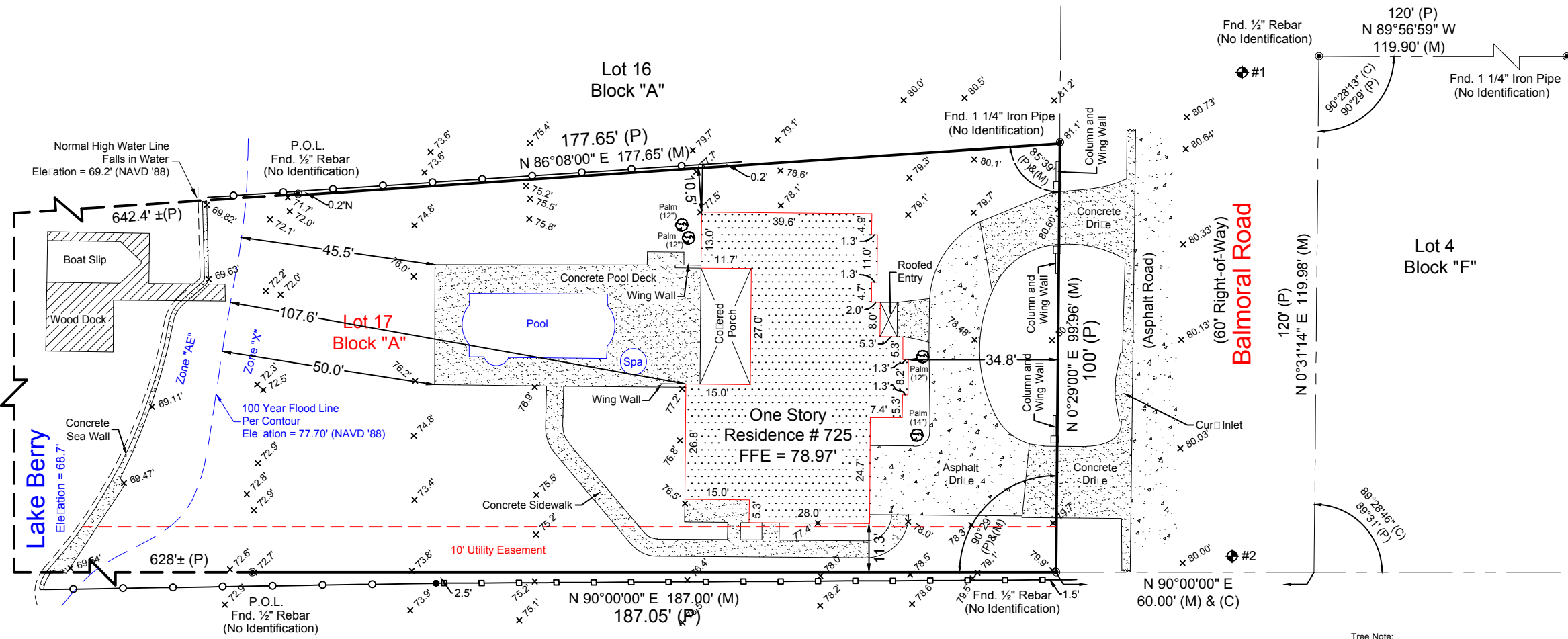
#### -Site Benchmark Information-

#1  
Set Nail & Disc "LB 7623" in Pavement  
Elevation: 80.77'

#2  
Set Nail & Disc "LB 7623" in Pavement  
Elevation: 79.98'

#### -Benchmark Information-

Orange County Datum  
(Elevations are based upon NAVD 88 Datum)



Not Platted

Tree Note:  
Palm - Denotes Tree Type  
(18") - Diameter of Tree measured at Chest Height

Revision: Added Spotshots - 04/12/19 - BMJ

Field Date: 12/3/15	Date Completed: 12/7/15
Drawn By: GLG	File Number: IS-25256

-Legend-			
C	- Calculated	PC	- Point of Curvature
CL	- Centerline	Pg.	- Page
CB	- Concrete Block	Pl.	- Planter
CM	- Concrete Monument	P.O.B.	- Point of Beginning
Conc.	- Concrete	P.O.L.	- Point on Line
D	- Description	PP	- Power Pole
DE	- Drainage Easement	PRM	- Permanent Reference Monument
Esmt.	- Easement	PT	- Point of Tangency
F.E.M.A.	- Federal Emergency Management Agency	R	- Radius
FFE	- Finished Floor Elevation	Rad.	- Radial
Fnd.	- Found	R&C	- Rebar & Cap
IP	- Iron Pipe	Rec.	- Recorded
L	- Length (Arc)	Rfd.	- Roofed
M	- Measured	Set	- Set 1/2" Rebar & Cap "LB 7623"
N&D	- Nail & Disk	Rear	- Rear Cap "LB 7623"
N.R.	- Non-Radial	Typ.	- Typical
ORB	- Official Records Book	UE	- Utility Easement
P	- Plat	WM	- Water Meter
P.B.	- Plat Book	Δ	- Delta (Central Angle)
□	- PVC Fence	○	- Chain Link Fence

**-Notes-**  
 Survey is Based upon the Legal Description Supplied by Client.  
 All existing Properties Deeds have NOT been Researched for Gaps, Overlaps and/or Hiatus.  
 Subject to any Easements and/or Restrictions of Record.  
 Bearing Basis shown hereon, is Assumed and Based upon the Line Denoted with a "BB".  
 Building Ties are NOT to be used to reconstruct Property Lines.  
 Fence Ownership is NOT determined.  
 Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.  
 Septic Tanks and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies.  
 Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be Construed to give ANY Rights or Benefits to Anyone Other than those Certified.  
 Flood Zone Determination Shown Hereon is Given as a Courtesy, and is Subject to Final Approval by F.E.M.A. This Determination may be affected by Flood Factors and/or other information NEITHER known by NOR given to this Surveying Company at the time of this Endeavor. Ireland & Associates Surveying Inc. and the signing surveyor assume NO Liability for the Accuracy of this Determination.

I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown. Based on Information furnished to Me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 5J-17.052 Florida Administrative Codes, Pursuant to Section 472.027 Florida Statutes.

*Patrick K. Ireland*  
 Patrick K. Ireland, PSM 6637, LB 7623  
 This Survey is intended ONLY for the use of Said-Certified Parties.  
 This Survey NOT VALID UNLESS signed and Embossed with Surveyor's Seal.

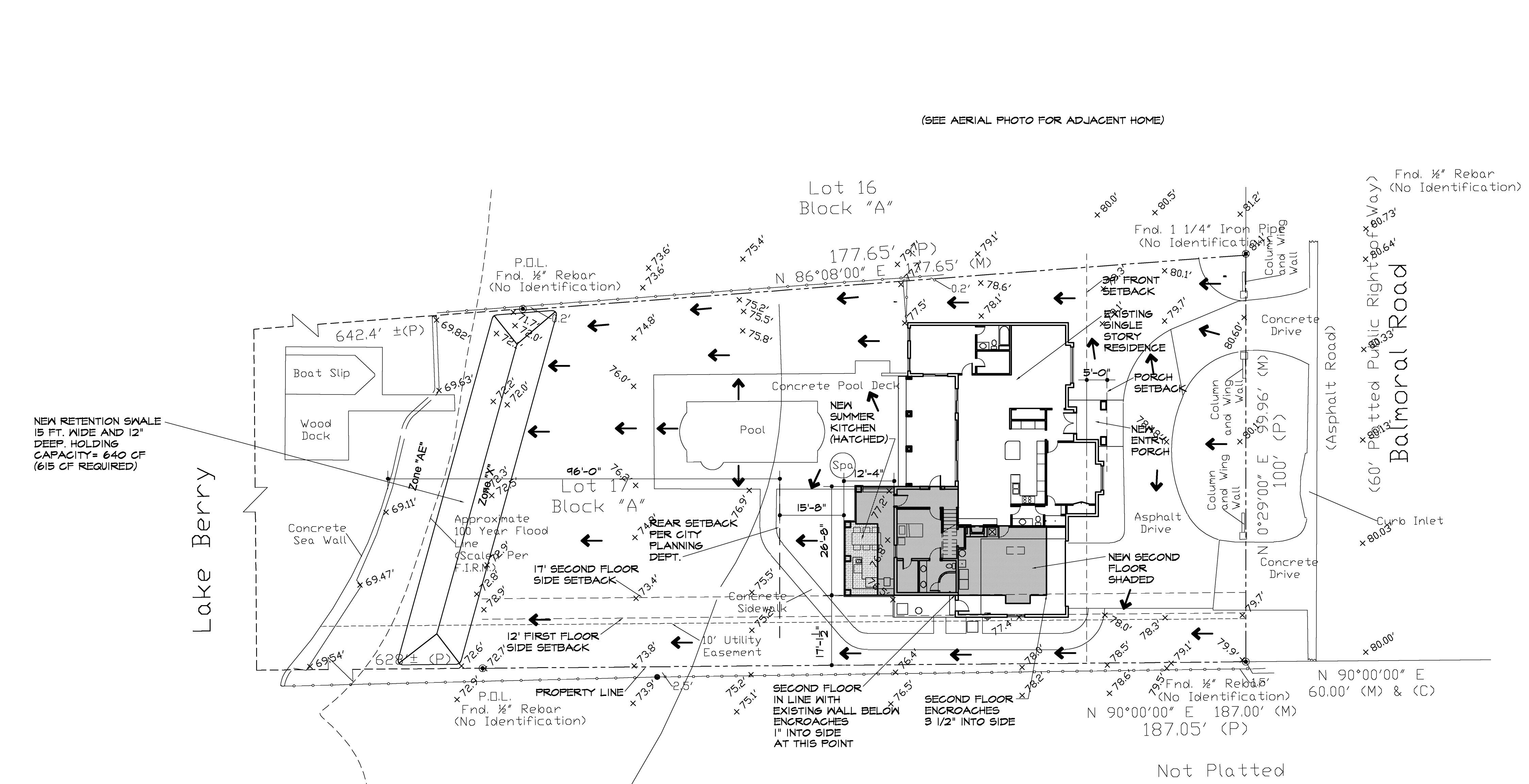
**Ireland & Associates Surveying, Inc.**  
 5725 Wayside Drive Suite 1002 Sanford, FL 32771  
 www.irelandsurveying.com  
 Office-407.678.3366 Fax-407.320.8165

REVISIONS:

**ALEX STONE ARCHITECT**  
P.O. BOX 940786  
MAITLAND, FLORIDA 32794-0786  
FLORIDA REGISTRATION: AR 0006199  
PHONE/ FAX: 407.539.0691 ASTONE99@AOL.COM  
WWW.ALEXSTONEARCHITECT.COM

CONSTRUCTION DOCUMENTS  
ADDITIONS AND RENOVATIONS FOR:  
**JUSTIN AND LINDSAY VERMUTH**  
125 BALMORAL ROAD  
WINTER PARK, FLORIDA 32789

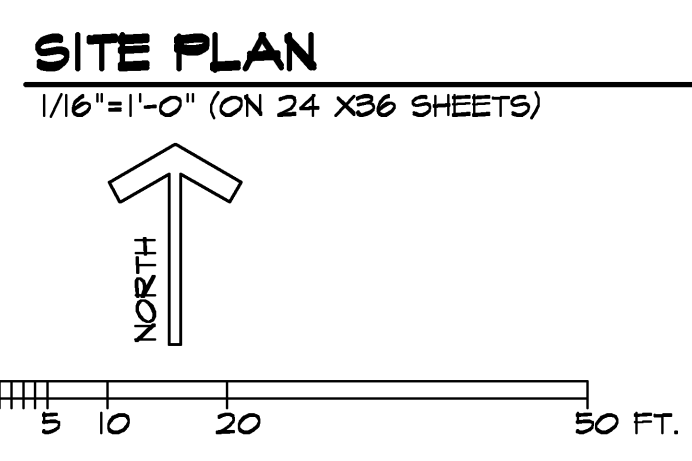
DATE:  
APRIL 23, 2019  
DRAWN BY:  
AWS  
JOB NO.  
450  
SEAL:  
  
SHEET:  
OF 5 SHEETS



(SEE AERIAL PHOTO FOR ADJACENT HOME)

Fnd. 1/2" Rebar  
(No Identification)

(SEE AERIAL PHOTO FOR ADJACENT HOME)



**AREA DATA TABLE**

LOT AREA: 19,505 SF

EXISTING FIRST FLOOR A/C AREA: 2155 SF GROSS  
NEW SECOND FLOOR A/C AREA: 454 SF  
TOTAL A/C AREA: 3109 SF GROSS

NEW SUMMER KITCHEN: 295 SF  
NEW BALCONY: 141 SF  
NEW FRONT PORCH: 34 SF NET

EXISTING GARAGE: 585 SF  
EXISTING FRONT PORCH: 31 SF  
EXISTING REAR PORCH: 324 SF

GROSS FLOOR AREA: 4518 SF  
FLOOR AREA RATIO: 4518/19,505= 23.2% (33% ALLOWED)

IMPERVIOUS AREA:

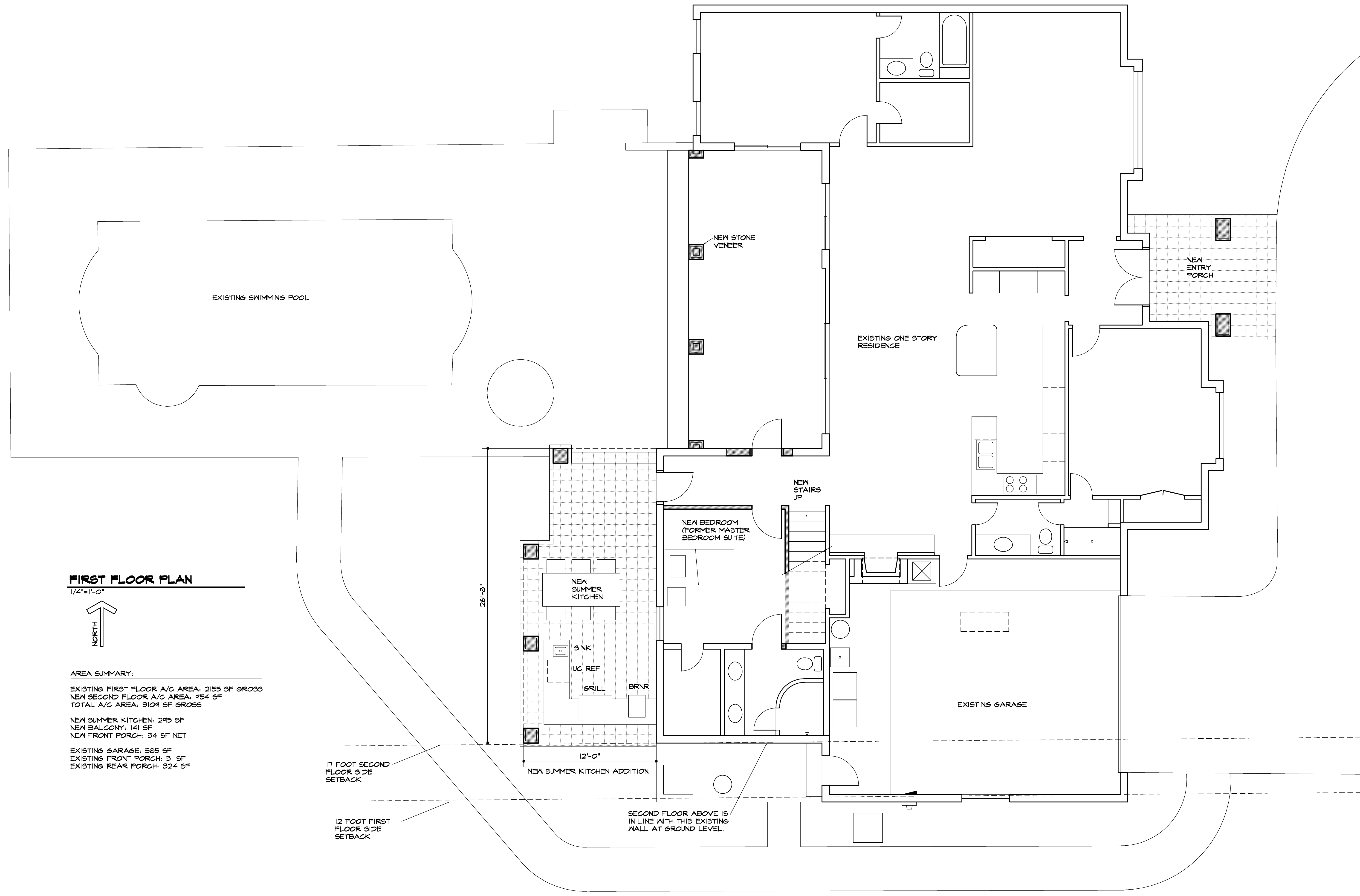
HOUSE AND PORCHES: 3424 SF  
DRIVEWAY: 1650 SF  
POOL, POOL DECK AND WALKS: 2295 SF  
TOTAL IMPERVIOUS AREA: 7369 SF OR 37.8% (50% ALLOWED)

FIRST INCH OF RAINFALL= 7369 SF/ 12= 615 CF REQUIRED  
CAPACITY OF SWALE AT LAKEFRONT: 640 CF PROVIDED

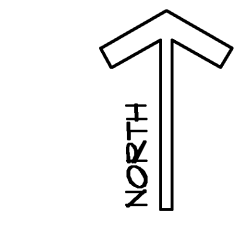
LOT COVERAGE: 3424 SF/ 19,505 SF= 17.6%

**LEGAL DESCRIPTION:**  
LOT 17, BLOCK A, KENILWORTH SHORES SECTION SIX, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK V, PAGE III, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

**SCOPE OF WORK:**  
NEW SUMMER KITCHEN AT FIRST FLOOR, NEW MASTER BEDROOM SUITE, BALCONY, LAUNDRY AND BONUS ROOM AT NEW SECOND FLOOR, NEW FRONT ENTRY PORCH.



**FIRST FLOOR PLAN**  
 1/4"=1'-0"



AREA SUMMARY:

EXISTING FIRST FLOOR A/C AREA: 2155 SF GROSS  
 NEW SECOND FLOOR A/C AREA: 954 SF  
 TOTAL A/C AREA: 3109 SF GROSS

NEW SUMMER KITCHEN: 295 SF  
 NEW BALCONY: 141 SF  
 NEW FRONT PORCH: 34 SF NET

EXISTING GARAGE: 525 SF  
 EXISTING FRONT PORCH: 31 SF  
 EXISTING REAR PORCH: 324 SF

17 FOOT SECOND FLOOR SIDE SETBACK

12 FOOT FIRST FLOOR SIDE SETBACK

NEW SUMMER KITCHEN ADDITION  
 12'-0"

26'-9"

SECOND FLOOR ABOVE IS IN LINE WITH THIS EXISTING WALL AT GROUND LEVEL.

REVISIONS:

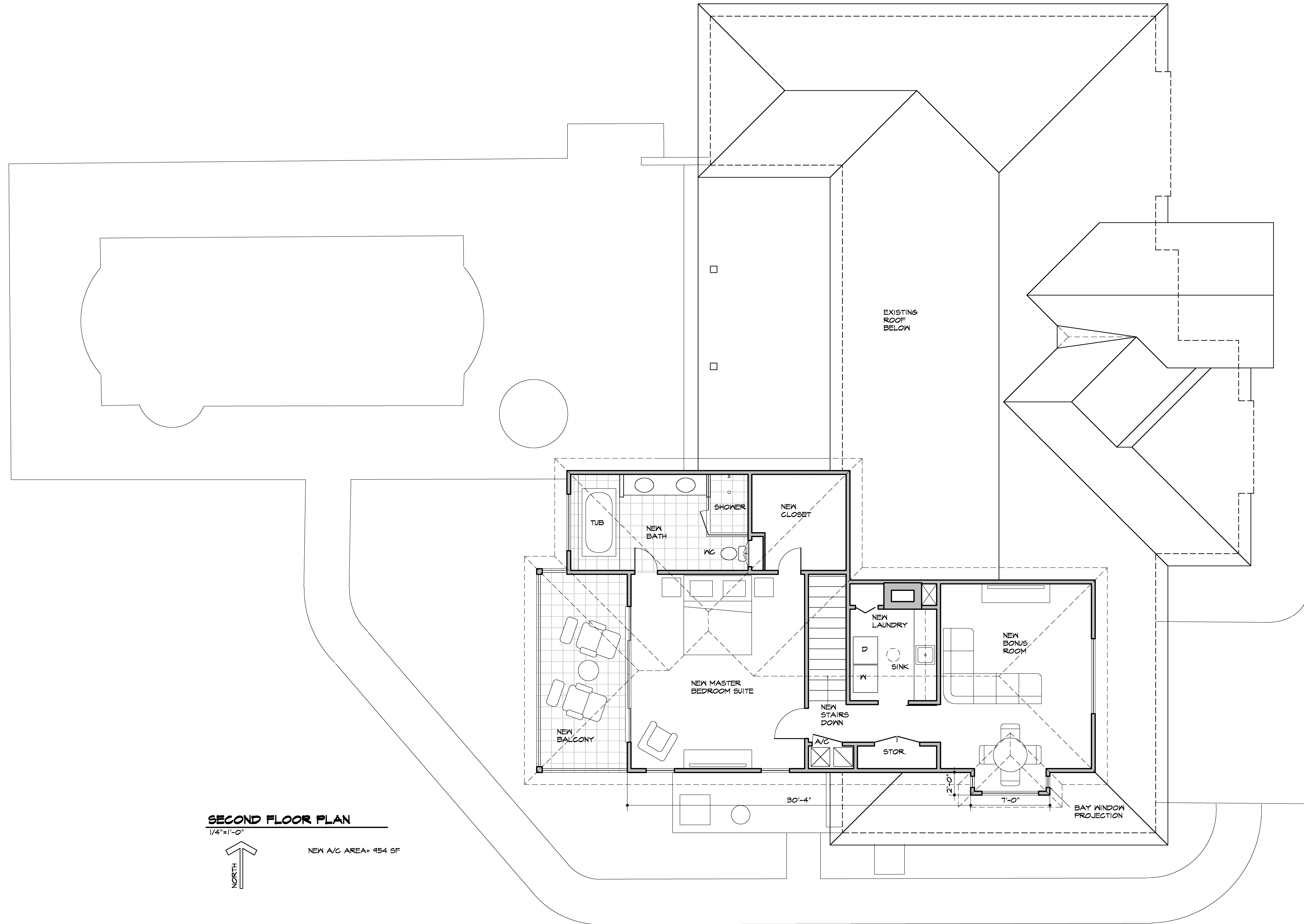
**ALEX STONE ARCHITECT**  
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MAITLAND, FLORIDA 32794-0786  
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PHONE/ FAX: 407.639.0691 . ASTONE999@AOL.COM  
WWW.ALEXSTONEARCHITECT.COM

CONSTRUCTION DOCUMENTS  
ADDITIONS AND RENOVATIONS FOR:  
**JUSTIN AND LINDSAY VERMUTH**  
125 BALMORAL ROAD  
WINTER PARK, FLORIDA 32789

DATE:  
APRIL 23, 2011  
DRAWN BY:  
AVS  
JOB NO.  
450

SEAL:

SHEET:  
**W**  
OF 5 SHEETS



**SECOND FLOOR PLAN**  
1/4"=1'-0"  
NORTH ↑  
NEW AVG AREA+ 454 SF



REVISIONS:

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CONSTRUCTION DOCUMENTS

ADDITIONS AND RENOVATIONS FOR:  
**JUSTIN AND LINDSAY VERMUTH**  
 125 BALMORAL ROAD  
 WINTER PARK, FLORIDA 32789

DATE:  
 APRIL 28, 2011

DRAWN BY:  
 AWS

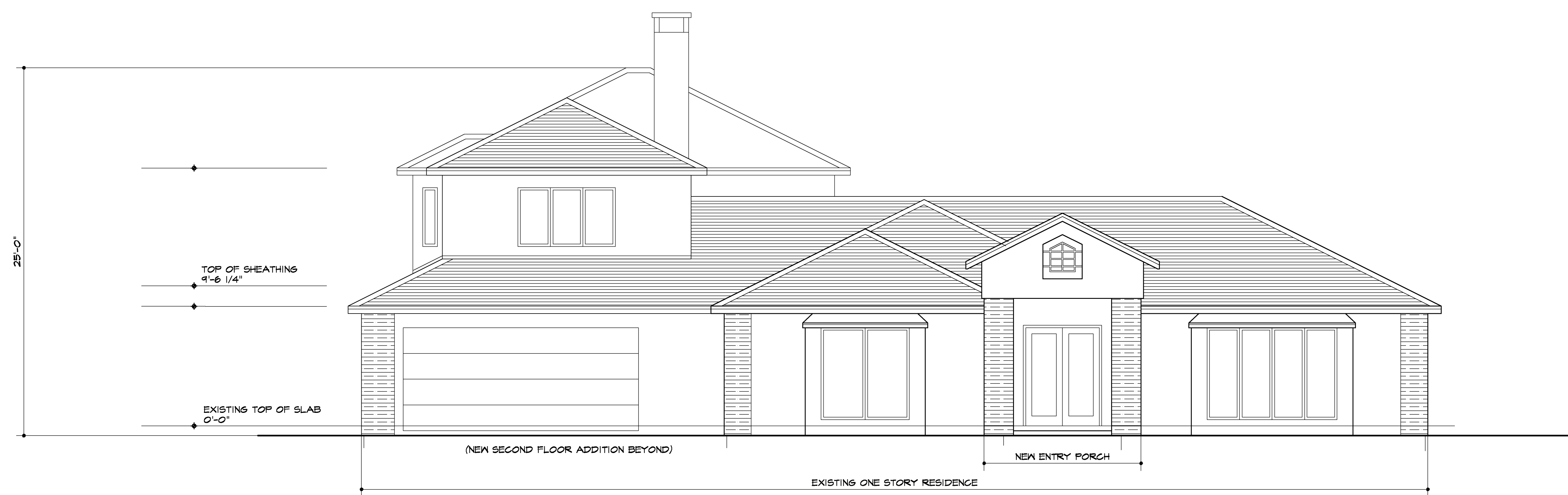
JOB NO.  
 450

SEAL:

SHEET:

**4**

OF 5 SHEETS



**EAST ELEVATION**  
 1/4"=1'-0"



**WEST ELEVATION**  
 1/4"=1'-0"

- MATERIALS:**
1. STUCCO WALLS TO MATCH EXISTING.
  2. STONE VENEER AN COLUMNS.
  3. GRAY ASPHALT SHINGLES TO MATCH EXISTING.
  4. ALUMINUM PICKET RAILING.
  5. WALLS TO BE PAINTED WHITE TO MATCH EXISTING.



**SOUTH ELEVATION**  
1/4"=1'-0"

**MATERIALS:**

1. STUCCO WALLS TO MATCH EXISTING.
2. STONE VENEER AT COLUMNS.
3. ASPHALT SHINGLES TO MATCH EXISTING.
4. ALUMINUM PICKET RAILING.

REVISIONS:

**ALEX STONE ARCHITECT**

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CONSTRUCTION DOCUMENTS

ADDITIONS AND RENOVATIONS FOR:  
**JUSTIN AND LINDSAY VERMUTH**  
 125 BALMORAL ROAD  
 WINTER PARK, FLORIDA 32789

DATE:  
 APRIL 28, 2011

DRAWN BY:  
 AMS

JOB NO.  
 450

SEAL:

SHEET:

**11**

OF 5 SHEETS

**CITY OF WINTER PARK  
PLANNING AND ZONING BOARD**

**Staff Report  
June 4, 2019**

**SPR 19-05**    REQUEST OF Z PROPERTIES FOR APPROVAL TO CONSTRUCT A NEW 4,245-SQUARE FOOT SINGLE-FAMILY HOME LOCATED AT 1204 N PARK AVENUE ON LAKE MAITLAND, ZONED R-1AAA.

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Z Properties (representing the property owners) is requesting approval to construct a new, one-story, 4,245 square foot single-family home within the Twelve Oaks neighborhood located at 1204 N Park Avenue on Lake Maitland, zoned R-1AAA.

This property previously received lakefront site plan approval from P&Z in October of 2017 for a two-story 5,465 square foot home. This home was never constructed, and now new buyers desire a single-story design. While this newly proposed home is smaller in size, due to the site plan changes and significant architectural style changes, this item must be brought back before P&Z for consideration.

Based on the property size of 16,592 square feet, the proposed 4,245 square foot one-story home yields a floor area ratio (FAR) of 26%, which is well within the maximum 33% FAR that is permitted. This new home will have impervious lot coverage of 6,270 square feet or 38%, which is also within the maximum 60% impervious area permitted for one-story homes.

Per P&Z's review of the standard lakefront criteria:

**VIEW OF NEIGHBORS:** The code states that the lakefront setback shall be the average established by the adjacent lakefront properties within 200 feet of the subject property, or a setback of 50 feet, whichever is greater. This application is a unique case, because there are no homes to the north of the property that front onto this same shoreline of Lake Maitland to use in the average setbacks. To the south, there is also a unique circumstance because the adjacent property at 1202 North Park Avenue has a nonconforming accessory structure building that sits approximately 12 feet from the lake. Per the code section cited below, the lakefront setback calculation is to include "accessory buildings". The other property, further to the south, at 1194 North Park Avenue is setback approximately 86 feet from the lake. Thus the average lakefront setback is approximately 49 feet which is less than the minimum required 50-foot setback.

Staff visited this property to get more information on these unique circumstances. The adjacent homeowners at 1202 North Park Avenue do not agree that their accessory structure should be included in the average, and that only the main residences should be used in the calculations. They also feel that this new home, as proposed which is approximately 17 feet closer to the lake than their swimming pool, and 40 feet closer to the lake than their main residence does not comply in that "views of water from adjoining properties will be unduly impaired".

The code direction is to minimize the degradation of traditional views across properties by new houses alongside property lines toward the lake that may block traditional views. The attached site plan and aerials show the orientation of this home versus the adjacent

homes. Due to the constraints of the shape of this lot and the desire for a one-story home, it is located closer to the lake than the home to the south, but still at or behind the 50-foot lakefront setback. Generally the precedent has been that property owners are allowed to build if they conform to the average lakefront setback but everything between the average lakefront setback and the minimum 50 foot setback is up to the discretion of the P&Z Board. However, the Zoning Code does say that the P&Z Board "may impose more restrictive requirements as necessary to accomplish the objectives" of the lakefront reviews. The P&Z Board then does have the authority to make judgment calls on the "impairment of lake views" but the code text also supports the ability of the applicant to build at the 50-foot setback.

**Sec. 58-87. Lakefront lots, canalfront lots, streamfront lots, wetlands, boathouses and docks.**

*(5) Structures on lakefront lots require the approval of the planning and zoning board prior to the issuance of a building permit. As conditions necessitate, the planning and zoning board or city commission may impose increased setbacks in concert with their waterfront review or conditional use authority as necessary to accomplish the objectives in this section. Structures in this context shall also include parking lots, driveways, swimming pools, cabanas, gazebos, screen enclosures, tennis courts and other accessory buildings.*

*(a) Setbacks - Single family/duplex. The setback from the water's ordinary high water elevation for single family and duplex buildings and any other accessory structures on those properties (other than boathouses, docks, over the water gazebos or retaining walls) shall be the average established by the adjacent water front properties within 200 feet of the subject property, or 50 feet, whichever is greater. The planning and zoning board shall have the authority to approve water front setbacks less than the average to a minimum of 50 feet in accordance with their water front review authority.*

The irony of the Code direction and effort by the P&Z Board to mitigate that "views of water from adjoining properties will not be unduly impaired" is that it only applies to buildings and does not apply to landscaping. So an owner can plant trees, hedges and bamboo and completely screen off a neighbor's view of the lake. They can plant the landscaping all the way down to the lake's edge.

In discussions with the applicant, they are in agreement to plant magnolia trees or bamboo down to the 50 foot setback so that the neighbor's will be looking at 'green' versus looking at building. They also commit that they will not plant such visually screening landscaping further down from the 50 foot setback to the lake's edge. That does then become a condition of approval that keeps that area open for preservation of lake views.

**TREE PRESERVATION:** The Code direction on water front lots is "to preserve existing trees to the degree reasonably possible." Since this property was already developed with a single-family home that was demolished, this proposed home will be located in generally the same footprint, and will not require any removal of protected trees.

**VIEW FROM THE LAKE:** The Code direction is to minimize the height and extent of stem walls or retaining walls facing the lake. Generally, the policy is not to permit walls/swimming pool decks facing the lake in excess of three feet in height. The issues that we typically deal with about grades and pools decks/retaining walls are not present in this case, as there is no land left for a swimming pool.

**STORM WATER RETENTION:** The zoning code requires retention of storm water so that storm water flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. Typically, this retention requirement is accomplished by the creation of a depressed swale area across the waterfront of about one foot in depth. The amount of impervious surface determines the need for the depth of the swale. The applicant is proposing a storm water swale near the lakefront that is sized to meet the City's code requirements.

**CONSTRUCTION IMPACT:** The access road to this Twelve Oaks neighborhood is a narrow, private roadway. Because of this, construction management is very important. As part of the permit process, a construction management plan will be required, and will need to pay careful attention to the parking of construction vehicles, delivery trucks, etc., as to not prohibit the access to neighboring properties, and workers driving to the site should have offsite parking.

**SUMMARY:** Overall, the plans meet the intent of the lakefront review criteria. Staff does not see any significant concerns with the proposed home as presented.

**STAFF RECOMMENDATION IS FOR APPROVAL subject to three conditions:**

- 1. The planting of a dense landscape screen of magnolia trees and or bamboo along the southern setback area of the lot ending at the 50 foot lakefront setback in order for the view of the building to be screened by landscaping.**
- 2. That there be no landscape plantings above three feet in height planting in the southern portion of the property from the 50 foot setback down to the lake's edge, and**
- 3. That the Building Department approve a construction management plan.**



**PROJECT LOCATION**

**1204 N Park Avenue**

City of Winter Park  
Florida





## PROJECT LOCATION

**1204 N Park Avenue**

City of Winter Park  
Florida



# Boundary Survey

## Legal Description:

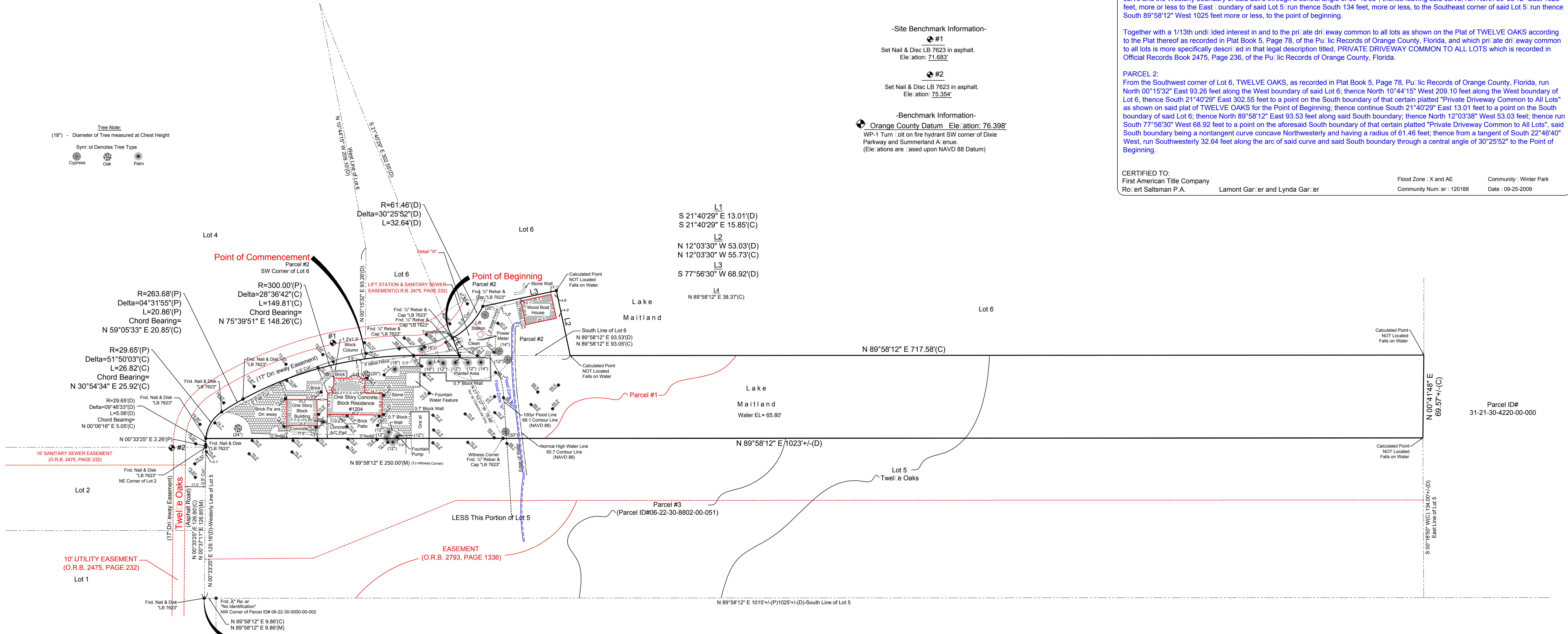
Parcel 1:  
 Lot 5, TWELVE OAKS, according to the Plat thereof as recorded in Plat Book 5, at Page 78, Public Records of Orange County, Florida.

LESS: Beginning at the Southwest corner of said Lot 5, run thence North 00°33'25" East 129.16 feet along the Westerly boundary of said Lot 5 to the beginning of a curve, concave Southeasterly and having a radius of 29.65 feet, run thence North easterly 5.06 feet along the arc of said curve and the Westerly boundary of said Lot 5 through a central angle of 09°46'33"; thence leaving said curve, run North 89°58'12" East 1023 feet, more or less to the East boundary of said Lot 5; run thence South 134 feet, more or less, to the Southeast corner of said Lot 5; run thence South 89°58'12" West 1025 feet more or less, to the point of beginning.

Together with a 1/13th undivided interest in and to the private driveway common to all lots as shown on the Plat of TWELVE OAKS according to the Plat thereof as recorded in Plat Book 5, Page 78, of the Public Records of Orange County, Florida, and which private driveway common to all lots is more specifically described in that legal description titled, PRIVATE DRIVEWAY COMMON TO ALL LOTS which is recorded in Official Records Book 2475, Page 236, of the Public Records of Orange County, Florida.

PARCEL 2:  
 From the Southwest corner of Lot 6, TWELVE OAKS, as recorded in Plat Book 5, Page 78, Public Records of Orange County, Florida, run North 00°15'32" East 93.26 feet along the West boundary of said Lot 6; thence North 10°44'15" West 209.10 feet along the West boundary of Lot 6, thence South 21°40'29" East 302.55 feet to a point on the South boundary of that certain platted "Private Driveway Common to All Lots" as shown on said plat of TWELVE OAKS for the Point of Beginning; thence continue South 21°40'29" East 13.01 feet to a point on the South boundary of said Lot 6; thence North 89°58'12" East 93.53 feet along said South boundary; thence North 12°03'38" West 53.03 feet; thence South 77°56'30" West 68.92 feet to a point on the aforesaid South boundary of that certain platted "Private Driveway Common to All Lots"; said South boundary being a nontangent curve concave Northwesterly and having a radius of 61.46 feet, thence from a tangent of South 22°40'40" West, run Southwesterly 32.64 feet along the arc of said curve and said South boundary through a central angle of 30°25'52" to the Point of Beginning.

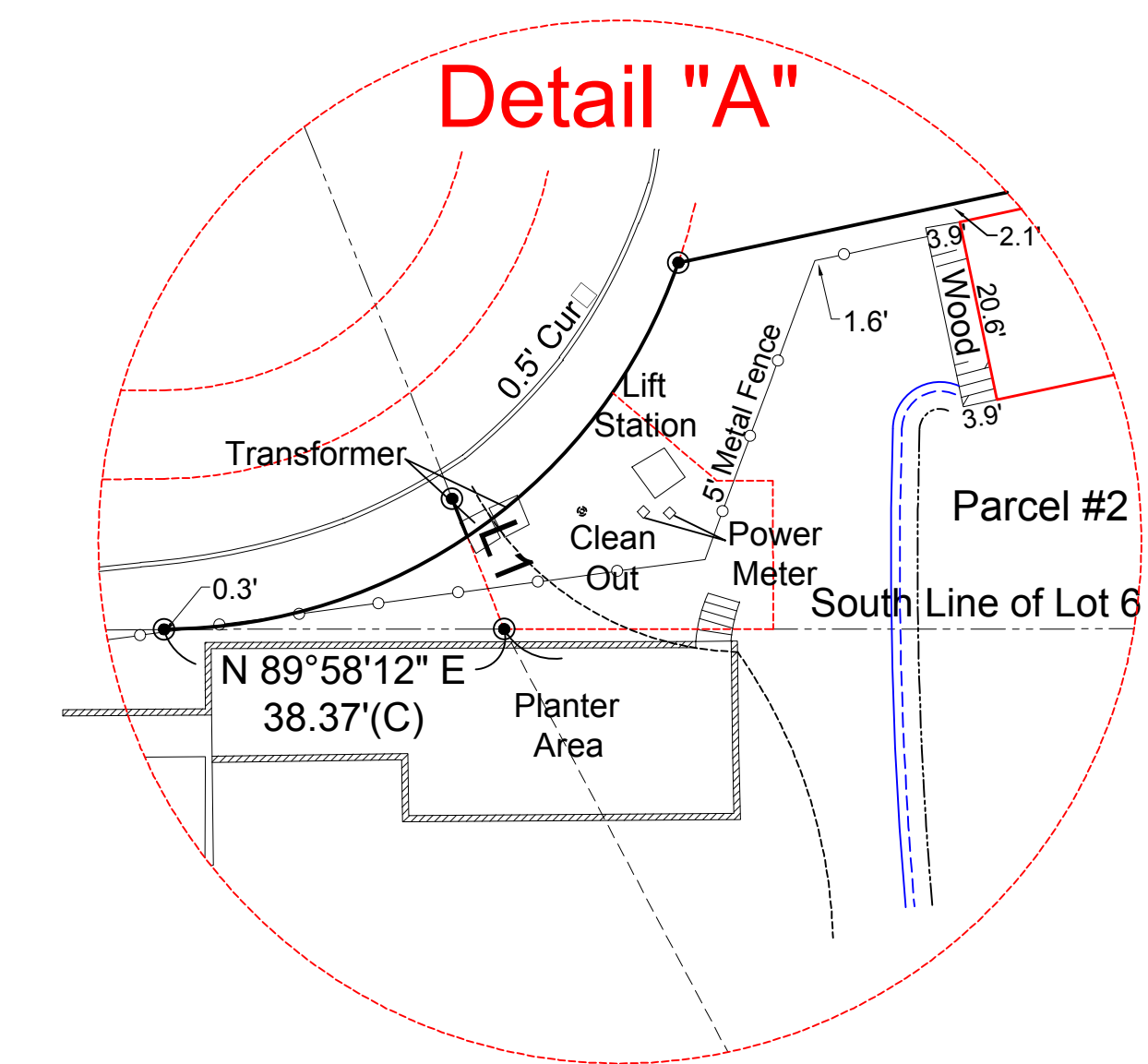
CERTIFIED TO:  
 First American Title Company  
 Robert Saltzman P.A. Lamont Garner and Lynda Garner  
 Flood Zone : X and AE  
 Community Number : 120188  
 Date : 09-25-2009



Issued by: First American Title Insurance Company  
 Plant File #: 2037-3802351  
 Agent File #:  
 Effective Date: June 30, 2017 8:00 A.M.  
 Schedule B - Section 2

- Not Applicable to the Survey
- Not Applicable to the Survey
- Plotted on Survey if Applicable
- Not Applicable to the Survey
- Not Applicable to the Survey
- Not Applicable to the Survey
- Not Applicable to the Survey
- Not Applicable to the Survey
- Plotted on Survey if Applicable
- Plotted on Survey if Applicable
- Plotted on Survey
- Subject to, Not Plotted
- Not Applicable to the Survey
- Subject to, Not Plotted
- Not Applicable to the Survey
- Not Applicable to the Survey
- Not Applicable to the Survey

Area Calculations for Parcel 1 and 2 (1204 N Park Avenue, Winter Park, FL)  
 Gross Total Land Area:  
 71,667 S. iare Feet or 1.6452 Acres more or less  
 Dry Land Area: (Calculated to Edge of Water as of August 31, 2016)  
 16,610 S. iare Feet or 0.3813 Acres more or less  
 Dry Land Area: (to the NHWL - 16,660.5 S. iare Feet or 0.382 Acres more or less  
 Total Impervious Surface Area:  
 5,332 S. iare Feet or 0.1226 Acres more or less



Field Date: 08-31-2016 | Date Completed: 4-25-2017  
 Drawn By: DJC | File Number: IS-31001

Revised: 05-29-19 - Revised Survey  
 Revised: 09-12-17 - Added Trees  
 Revised: 07-13-17 - Added Title Commitment Easements  
 Revised: 07-11-17 - Added Topographic Survey

Scale: 1"=40'

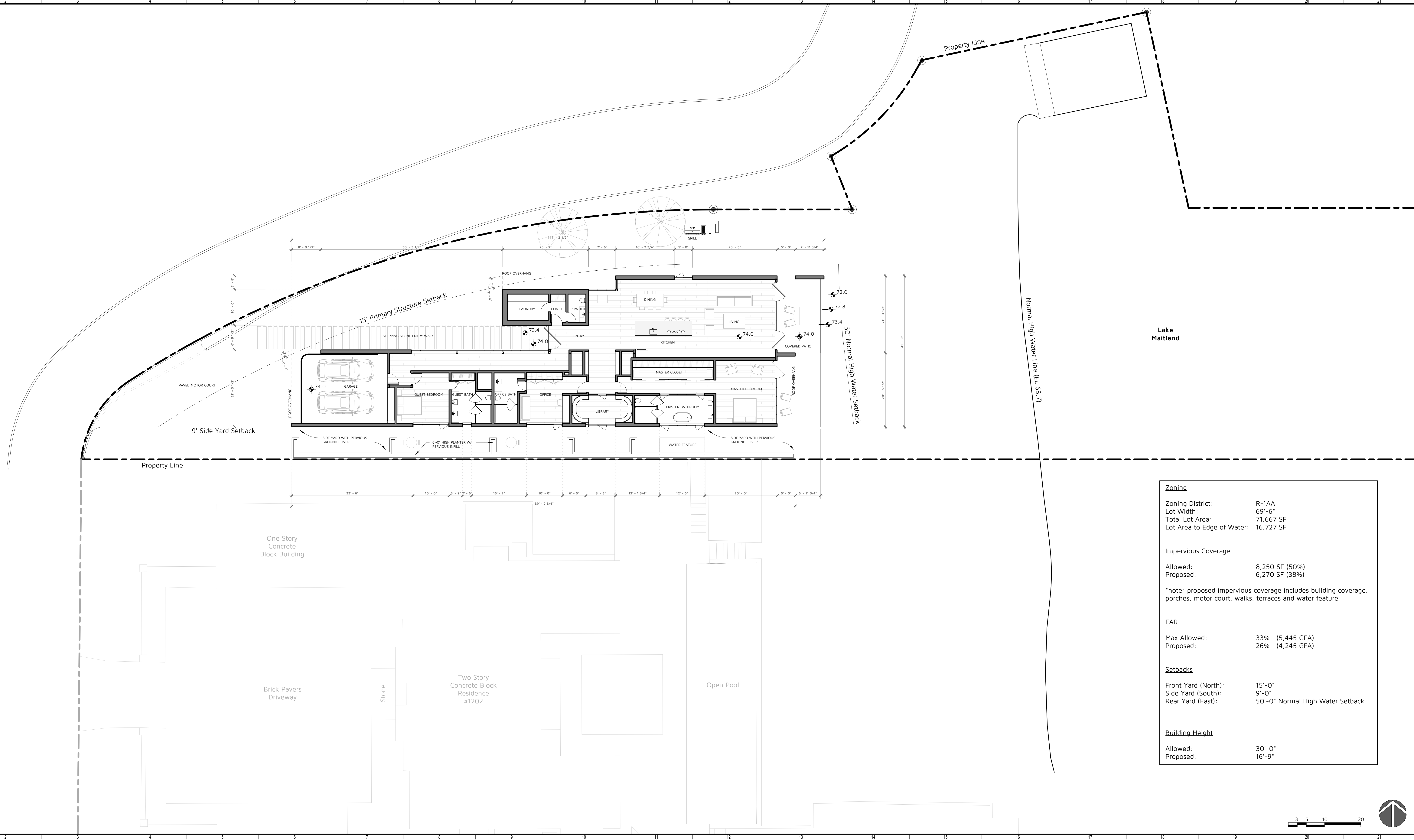
Office: 407.678.3366 | Fax: 407.320.8165



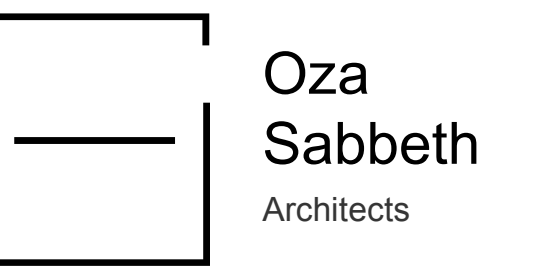
# COHEN RESIDENCE

1204 N Park Ave. Winter Park, FL 32789

No	Issue	Date



Zoning	
Zoning District:	R-1AA
Lot Width:	69'-6"
Total Lot Area:	71,667 SF
Lot Area to Edge of Water:	16,727 SF
Impervious Coverage	
Allowed:	8,250 SF (50%)
Proposed:	6,270 SF (38%)
*note: proposed impervious coverage includes building coverage, porches, motor court, walks, terraces and water feature	
FAR	
Max Allowed:	33% (5,445 GFA)
Proposed:	26% (4,245 GFA)
Setbacks	
Front Yard (North):	15'-0"
Side Yard (South):	9'-0"
Rear Yard (East):	50'-0" Normal High Water Setback
Building Height	
Allowed:	30'-0"
Proposed:	16'-9"



SITE PLAN

A001

SCALE: 1" = 10'-0"  
 DATE: 05/24/19  
 DRAWN BY: OSA

# COHEN RESIDENCE

1204 N Park Ave. Winter Park, FL 32789

No	Issue	Date
----	-------	------

**Oza Sabbeth Architects**

FLOOR PLAN

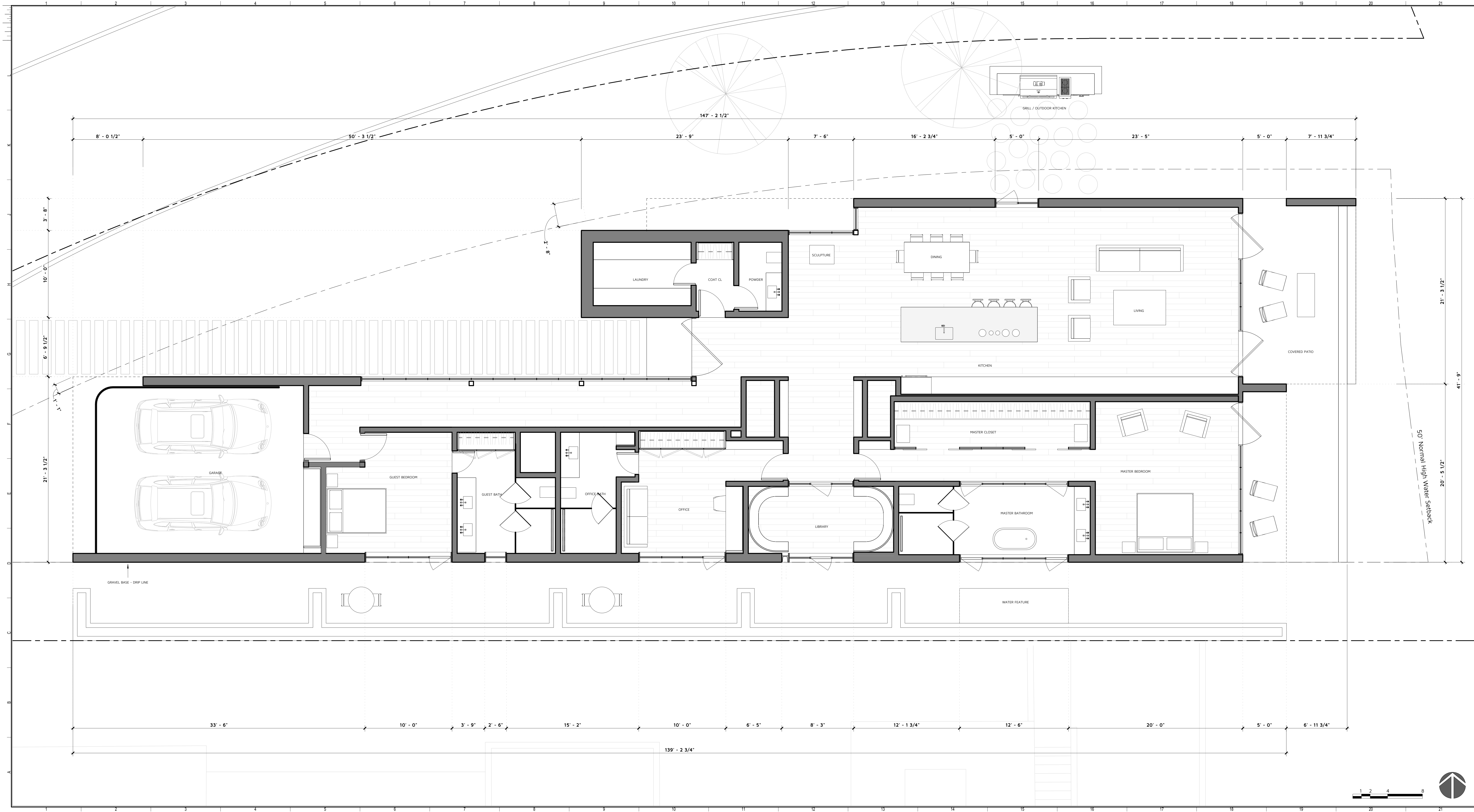
## A102

SCALE: 1/4" = 1'-0"

DATE: 05/21/19

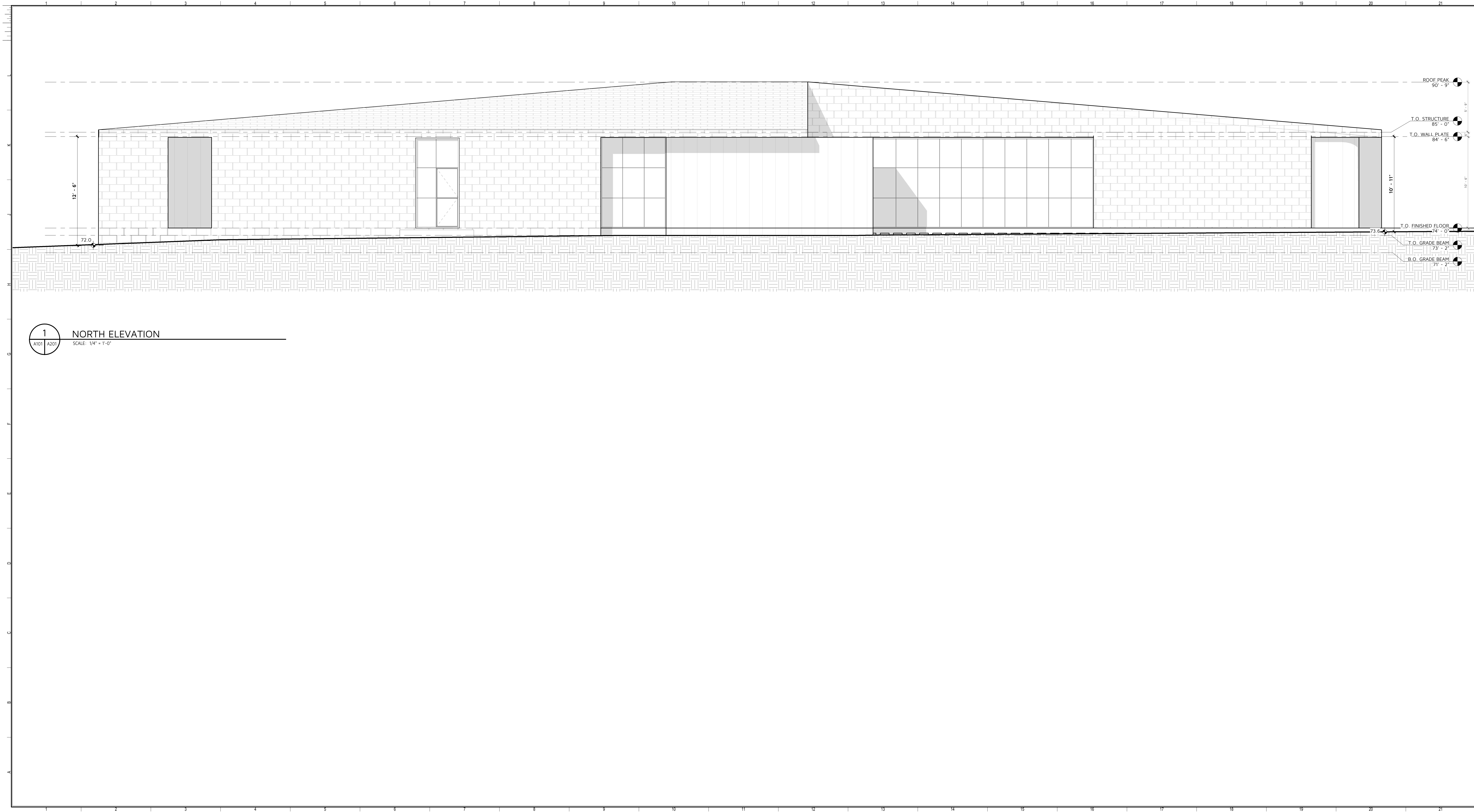
DRAWN BY: OSA

NOT ISSUED FOR CONSTRUCTION



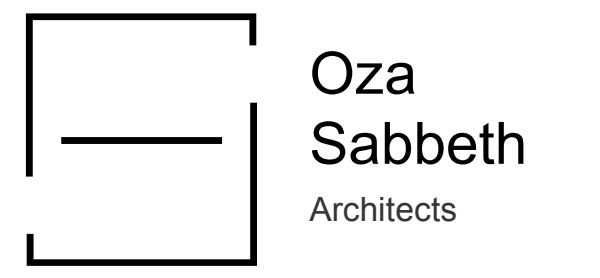
# COHEN RESIDENCE

1204 N Park Ave. Winter Park, FL 32789



1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

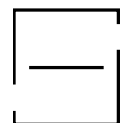
No	Issue	Date

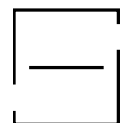


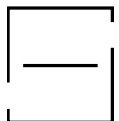
ELEVATIONS

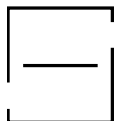
A201

SCALE:	1/4" = 1'-0"
DATE:	02/13/18
DRAWN BY:	Author















**CITY OF WINTER PARK  
PLANNING AND ZONING BOARD**

**Staff Report  
June 4, 2019**

**REQUEST OF IRA KITOGRAD FOR:** APPROVAL OF THE FINAL BUILDING ELEVATIONS AND LANDSCAPE PLAN FOR THE PROPOSED LIVE/WORK PROJECT AT 2600 TEMPLE DRIVE, ZONED OFFICE (O-2).

---

On January 28, 2019 the City Commission approved the conditional use for a new live/work project at 2600 Temple Drive, which is zoned office (O-2). A condition of that approval was "that the applicant come back before the P&Z Board with a specific landscape plan, detailed elevations of the building including articulation, and an addition of a sidewalk to the site plan along the front of the building connecting to Temple Trail."

The applicant is now satisfying the condition to come back before the P&Z Board. Attached are the building elevations and site plan from the January 2019 submittal, and the final architectural elevations as part of this submittal as well as the landscape plan.

The added sidewalk along the front of the building now provides a pedestrian connection to Temple Drive. The applicant has also shown all four elevations of the building. These updated building elevations have a more residential look and feel and in return are more compatible to the surrounding properties. The southern elevation is the side with the least design enhancement, but the applicant is proposing 25 gallon graceful bamboo trees placed every five to seven feet to screen this side of the building from the adjacent residential properties.

**Summary:** This condition for additional design enhancement and landscaping has worked to produce a more articulated and visually appealing building with added architectural elements and interest, as well as proper screening to the adjacent residential properties.

**STAFF RECOMMENDATION IS FOR APPROVAL with one condition:**

1. That since the units are going to be sold fee simple, and will require replatting of the parcel, there shall be a requirement to keep and maintain the vinyl fence and bamboo screening to the adjacent residential properties.



Courtesy Rick Singh, CFA, Orange County Property Appraiser




































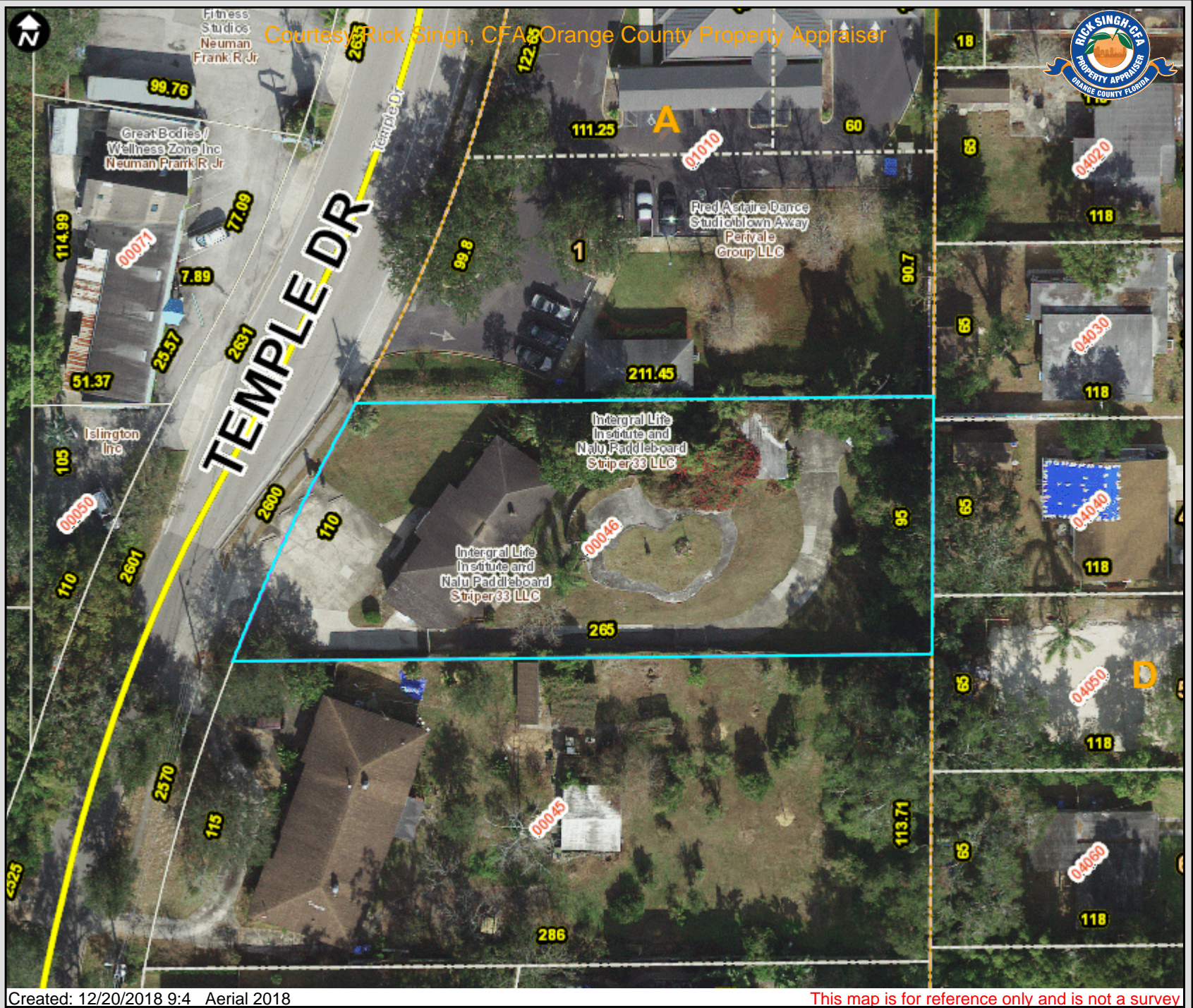
- Florida turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- One Way
- Brick Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial/Institutional
- Governmental/Institutional/Misc
- Commercial/Industrial Vacant Land
- Hydro
- Waste Land
- Agricultural Curtilage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- Block Number
- Lot Number
- Parcel Number
- Parcel Address
- Parcel Dimension



Created: 12/20/2018 9:3

This map is for reference only and is not a survey

-  Florida Turnpike
-  Interstate 4
-  Toll Road
-  Major Roads
-  Public Roads
-  Gated Roads
-  Road Under Construction
-  Proposed Road
-  US Road
-  State Road
-  County Road
-  One Way
-  Brick Road
-  Proposed SunRail
-  Block Line
-  Lot Line
-  Residential
-  Agriculture
-  Commercial/Institutional
-  Governmental/Institutional/Misc
-  Commercial/Industrial Vacant Land
-  Hydro
-  Waste Land
-  Agricultural Curtilage
-  County Boundary
-  Parks
-  Golf Course
-  Lakes and Rivers
-  E Block Number
-  6 Lot Number
-  06060 Parcel Number
-  3106 Parcel Address
-  111.9 Parcel Dimension



A LANDSPACE DESIGN BY



**SIGNATURE**  
LANDSCAPE CONTRACTORS

**2600 TEMPLE**



**2600 Temple Drive Winter Park, FL 32789**

2019



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LANDSCAPE CONTRACTORS

216 S Park Ave #2,  
Winter Park, FL 32789

PHONE  
(407) 622-0011

EMAIL  
contactus@signaturelandscapecontractors.com

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**Know what's below.  
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No.	Description	Date

**COVER**

Client Name	IBK
Date	5/10/2019
Drawn by	WV
Checked by	AS
Scale	<b>0</b>

NOT IN SCOPE

**TURF**  
Area  
5931 SF

**PLANTING SCHEDULE**

NAME/TYPE	REMARKS	QTY
OAK TREE	6-8" CALIPER WITH 25' SPREAD	7
PAUROTIS PALM	12'-0" - 14'-0" HEIGHT	2
VIBURNUM ODORATISSIMUM	10 GALLON PLANTED 36" O.C.	165
BOUGAINVILLEA	16'-0" - 18'-0" HEIGHT	1
GRACEFUL BAMBOO	25 GALLON PLANTED 5'-0" O.C.	30
JASMINE	QUANTITY IN TRAYS (1.5 SF EACH)	364
FASHION AZALEAS	7 GALLON PLANTED 12" O.C.	33
JAPANESE BOXWOODS	7 GALLON PLANTED 12" O.C.	75

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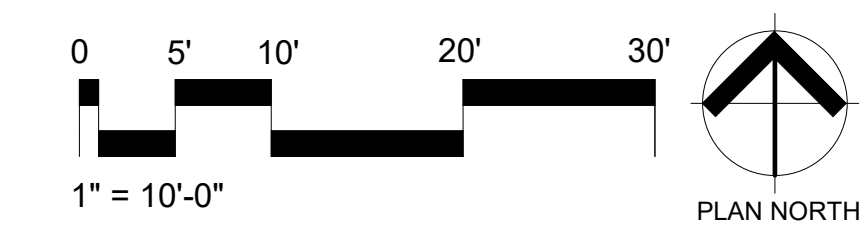
2600 Temple Drive  
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1 LANDSCAPE PLAN  
1" = 10'-0"



No.	Description	Date

**LANDSCAPE PLAN**

Client Name IBK  
 Date 5/10/2019  
 Drawn by WV  
 Checked by AS

1

Scale As indicated

5/11/2019 10:36:03 AM



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No.	Description	Date

RENDERING

Client Name	IBK
Date	5/10/2019
Drawn by	WV
Checked by	AS

2

Scale



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No.	Description	Date

**RENDERING**

Client Name	IBK
Date	5/10/2019
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Checked by	AS




  
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Date	5/10/2019
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Checked by	AS

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No.	Description	Date

**RENDERING**

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**5**

Scale



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SOUTH ELEVATION WITH NO LANDSCAPING

No.	Description	Date

RENDERING

Client Name	IBK
Date	5/10/2019
Drawn by	WV
Checked by	AS

6

Scale



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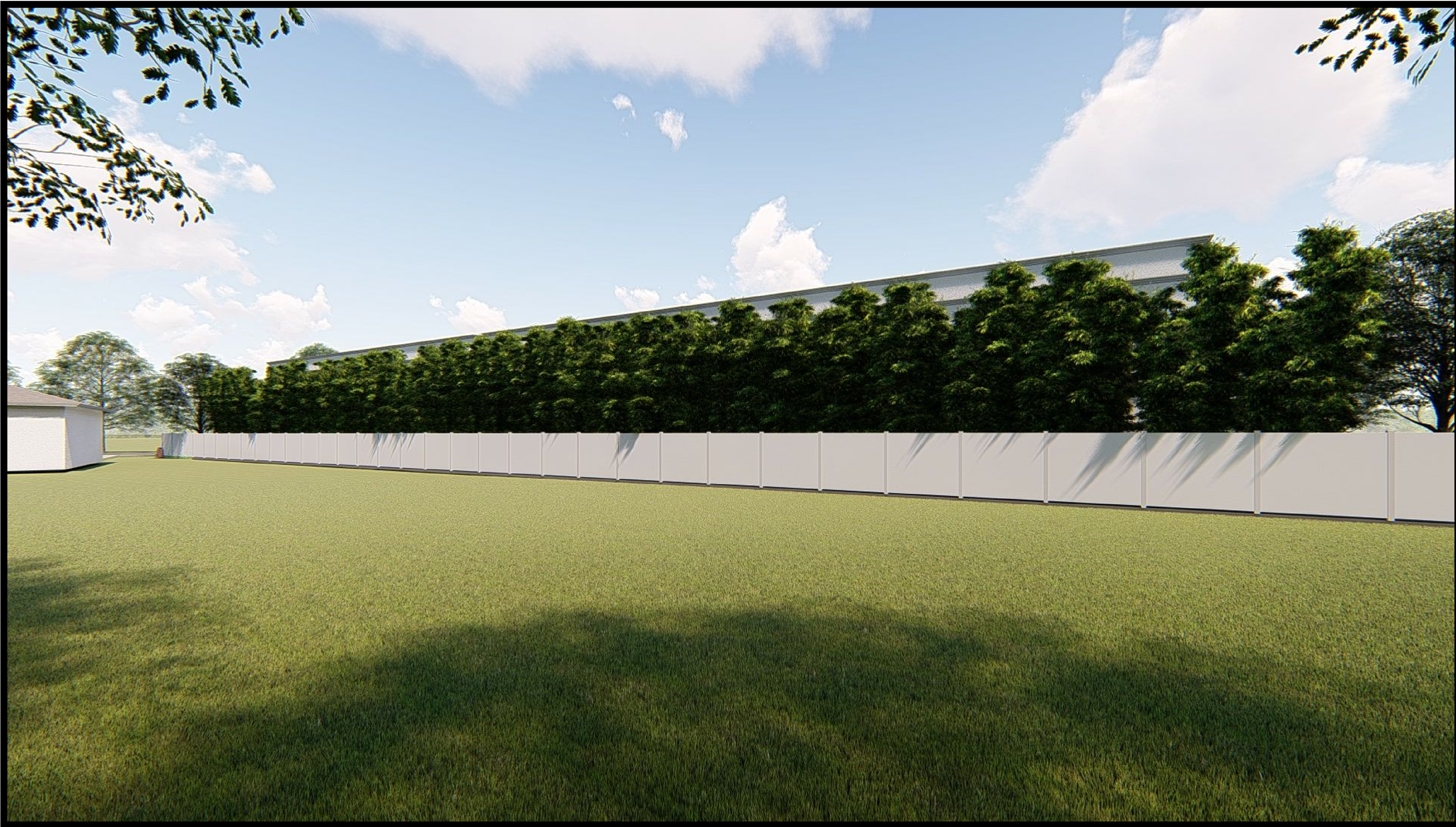
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SOUTH ELEVATION FULLY LANDSCAPED

No.	Description	Date

**RENDERING**

Client Name IBK

Date 5/10/2019

Drawn by WV

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**7**

Scale

5/11/2019 10:36:06 AM



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No.	Description	Date

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Checked by AS

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No.	Description	Date

**RENDERING**

Client Name	IBK
Date	5/10/2019
Drawn by	WV
Checked by	AS

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Scale

5/11/2019 10:36:08 AM

Elevation submitted January 2019

# 2600 TEMPLE DRIVE



# WINTER PARK, FLORIDA



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SHEET

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OF

DATE  
Nov 20 2018

REVISIONS

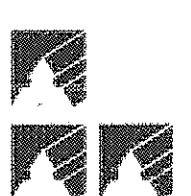
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2615

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JnH

CHECKED

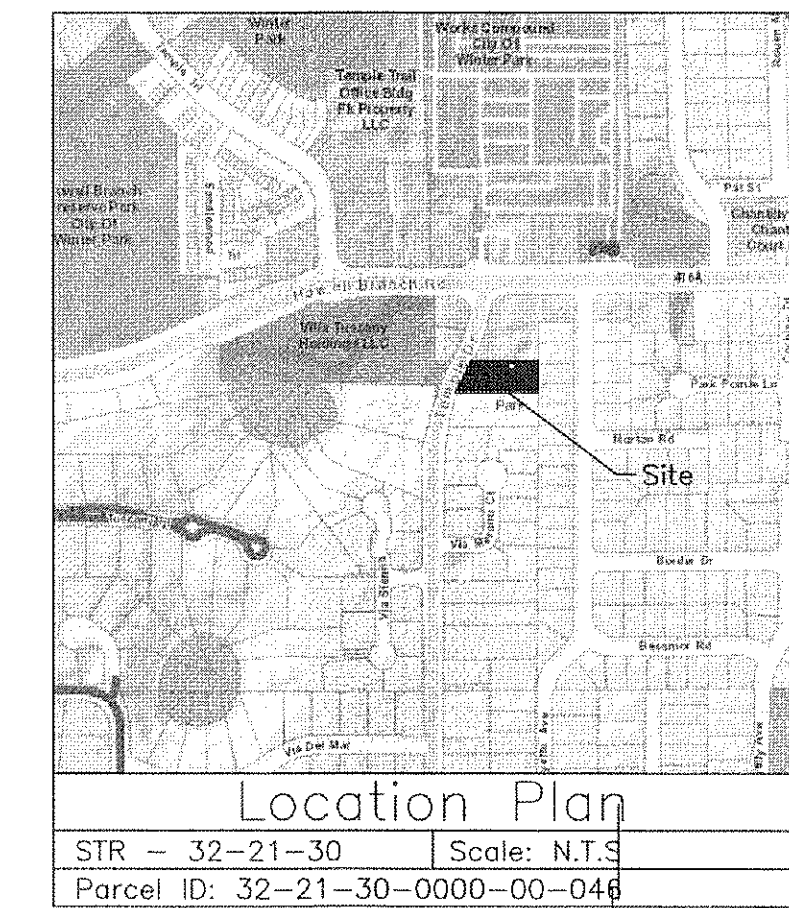
2600 TEMPLE DRIVE  
WINTER PARK, FLORIDA

WINTER PARK DESIGN



221 CIRCLE DRIVE  
MAITLAND, FL 32751  
PHONE: 407.644.5593  
FAX: 407.644.7806

# Temple Mixed Use Complex



Owner:  
Striper 33 LLC  
PO Box 878  
Winter Park, FL 32790-0878

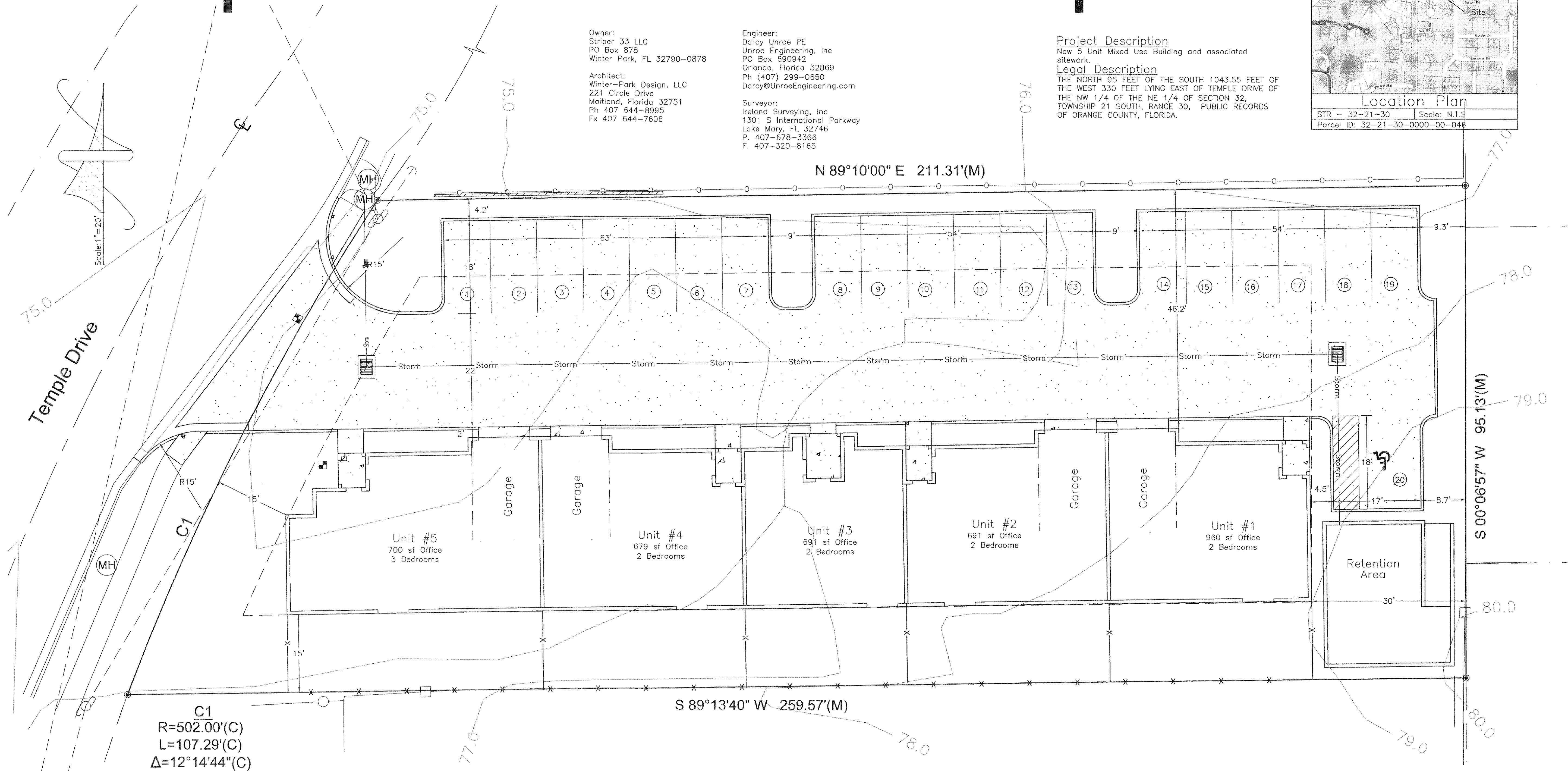
Architect:  
Winter-Park Design, LLC  
221 Circle Drive  
Maitland, Florida 32751  
Ph 407 644-8995  
Fx 407 644-7606

Engineer:  
Darcy Unroe PE  
Unroe Engineering, Inc  
PO Box 690942  
Orlando, Florida 32869  
Ph (407) 299-0650  
Darcy@UnroeEngineering.com

Surveyor:  
Ireland Surveying, Inc  
1301 S International Parkway  
Lake Mary, FL 32746  
P. 407-678-3366  
F. 407-320-8165

Project Description  
New 5 Unit Mixed Use Building and associated sitework.

Legal Description  
THE NORTH 95 FEET OF THE SOUTH 1043.55 FEET OF THE WEST 330 FEET LYING EAST OF TEMPLE DRIVE OF THE NW 1/4 OF THE NE 1/4 OF SECTION 32, TOWNSHIP 21 SOUTH, RANGE 30, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.



Legend

- |  |                       |  |                  |
|--|-----------------------|--|------------------|
|  | - Catch Basin         |  | - New Pavement   |
|  | - Mitered End Section |  | - New Concrete   |
|  | - Manhole             |  | - Silt Fence     |
|  | - Cleanout            |  | - Waterline      |
|  | - Hydrant             |  | - Storm Sewer    |
|  | - Ex. Elevation       |  | - Sanitary Sewer |
|  |                       |  | - New Elevation  |

Site Statistics

General Information  
Total Site Area 0.50 Ac (22,542 sf)  
Future Land Use - Office/Professional  
Zoning Classification - O-2  
Dwelling Units - 5 DU  
Proposed Density - 10 du/ac  
Building Office GFA - 3,721 sf  
New Commercial FAR - 0.17

<u>Setbacks</u>	<u>Required</u>	<u>Provided</u>
Front (ft)	15.0'	30.0'
Side (ft)	5.0'	30.0'

Site Plan submitted January 2019

#	Date	Description

**UNROE ENGINEERING, INC**  
Civil Engineering/Planning/Scientific Evaluation  
PO Box 690942, Orlando, FL 32869-0942  
Business Authorization Number: EB 00066579 ph (407) 299-0650

**MASTER SITE PLAN**  
**Temple Mixed Use Complex**  
2600 Temple Drive, Winter Park, Florida 32789

DP	Drawn
DP	Checked
1"=20'	Scale
12/03/18	Date
TMU-C0	File
Dwg. No.	<b>C0</b>
1	of 1



**CITY OF WINTER PARK  
PLANNING AND ZONING BOARD**

**Staff Report  
June 4, 2019**

**REQUEST OF VILLA TUSCANY HOLDINGS LLC FOR:** SUBDIVISION APPROVAL TO DIVIDE THE PROPERTY AT 1298 HOWELL BRANCH ROAD ON LAKE TEMPLE, ZONED R-3, INTO FOUR LAKEFRONT LOTS, TO BE DEVELOPED AS SINGLE-FAMILY LOTS.

---

One year ago, in June 2018, Villa Tuscany Holdings LLC (property owner) received subdivision approval from the City Commission to divide the property located at 1298 Howell Branch Road into four lots, each to be developed with single-family homes. However, now the property owner desires to change the layout of the four lots and since the layout is significantly different, a subsequent approval is necessary. The zoning of this property is R-3.

This was the location of several Conditional Use requests for a memory care facility (Villa Tuscany), which were not approved by the City Commission. As a result, the property owner decided to subdivide the property for future single-family home development.

**Project Site and Proposed Lot Dimensions:** Per the applicant's survey, the entire property is 3.777 acres in size. Of that total land area, there are 2.41 acres (104,979 square feet) of land above the Ordinary High Water (OHW) elevation of 66.6 feet (NAVD 88 datum). The OWH elevation defines the ordinary or normal reach of water during the high-water season. The term "ordinary" excludes floods and other extraordinary high water events, but includes the average or normal reach of high water of each year. The remaining 1.367 acres (59,546 square feet) are comprised of water bodies, either as actual water or shoreline below the OWH elevation. The larger waterbody in the southwestern portion of the lot is Lake Temple, and the smaller waterbody in the northeastern portion of the lot is a remnant sinkhole with no name.

The proposed lot dimensions are as follows:

Lot #1 – 20,037 square feet (0.46 acre) and 264 feet of lot width;

Lot #2 – 12,632 square feet (0.29 acre) and 70 feet of lot width;

Lot #3 – 13,068 square feet (0.30 acre) and 80.8 feet of lot width;

Lot #4 – 59,241 square feet (1.36 acre) and 341.6 feet of lot width.

During the City's review process of subdivisions or lot split requests, there are two criteria that are reviewed. First is the 'Zoning Test' as to conformance with the zoning criteria. The next is the 'Comprehensive Plan Test' which is conformance to the neighborhood character.

**Zoning Test:** To create a single family lot in the R-3 zoning, the minimum size required is 50 feet of lot width and 6,000 square feet of lot area. The proposed lots are all in excess of those requirements. Thus, this request exceeds the R-3 lot dimension standards, and no variances are requested.

**Comprehensive Plan Test:** The practice outlined in the Comprehensive Plan and the Subdivision Code (attached) is to look at the surrounding neighborhood to compare lot sizes. The Code dictates that the review area is within a 500-foot radius of the subject property, and is limited to those properties in the "same zoning". There are no other single-family properties within 500 feet that are zoned R-3.

However, this is to be a single-family development and there are homes within this neighborhood with single-family zoning (see attached map). The average lot size from this 41 home survey is 20,361 square feet, and the median lot area is 14,070 square feet. Thus, in this case, the lot sizes proposed are similar to the average lot size within the 500-foot radius.

**Development Plans:** The applicant has provided conceptual site plan layouts of new homes to indicate that the buildable areas are sufficient for single-family homes. However, the specific plans, layout, elevations, etc. will not be developed until the lots are sold to builders. It is important to point out that while these lots are zoned R-3, the applicant is in agreement to comply with the normal single-family zoning development standards with respect to setbacks, floor area ratio, building articulation, etc.

**Traffic/Mobility Impacts:** In terms of traffic impact for the proposed homes, according to the Institute of Transportation Engineers (I.T.E.) data, the traffic generation/car trips per day for these homes will be approximately 38 daily trips. This is less than the 80 daily trips anticipated for the previously proposed memory care facility.

Access to the proposed lots, into and out of this property was an issue in the initial staff reviews. Access driveways to each individual lot presented safety concerns given sight lines, speed of traffic, U-turns necessary, etc. As a result, these four lots will use a private access easement/common driveway. All traffic is to enter and exit on Howell Branch Road via the signalized intersection at Temple Trail and Howell Branch Road, onto the roadway with 30,600 cars a day. Utilizing access at the traffic light will insure safe turning movements into and out of the property. The traffic signal upgrades will be done at the applicant's expense.

**Lakefront Review:** All of these lots are lakefront lots on Lake Temple, which per Section 58-87 of the Zoning Code, requires that all new homes and major construction be reviewed and approved by the Planning and Zoning Board at a public hearing following notice. If approved, the applicant plans to market these lots to single-family home builders who would present their specific plans including site plans and lakefront elevations to the P&Z Board. The P&Z Board's review focuses on tree preservation, storm water retention, accommodating the plans to the grade of the lot and maintaining lake views. The setbacks for single-family homes are a minimum of 50 feet from the OHW elevation of Lake Temple. Typically, homes are further back than the minimum 50-foot setback in order to provide space for a swimming pool.

**Tree Preservation:** This vacant property is covered with trees of all types and sizes. The City's code requires identification of the trees nine inches in diameter or greater. The applicant has previously submitted a tree survey. That will be used as each individual lot comes in for approval of their development/house plans by the P&Z Board. At that time, the home builder will need to work with the city's Urban Forestry

department on the plans for removal and preservation. Generally, the trees that need to be removed in order to build the home, swimming pool, drives and such can be removed, but each individual house plan involves a negotiation with Urban Forestry especially if removal of a specimen tree is involved.

**Technical Advisory Committee Comments:** During the review by other city departments, the site plan was revised, per the comments from the various departments to the form submitted. The Public Works Department has also asked for an easement for those sections of the sidewalk along Howell Branch Road that encroach upon this property, as well as a drainage easement over the weir or control structure between these two water bodies in case maintenance work is required. The applicant is in agreement with those requests. Other comments from Public Works related to the traffic signal upgrades have been agreed to by the applicant. Similarly, the sanitary sewer lift station necessary for this project will be designed to meet city specifications.

Per the City Attorney, there will need to be a formal plat recorded along with a Homeowners Association in order to implement the approvals and conditions as well as provide for the maintenance of the common driveway and sanitary sewer lift station.

The applicant is not asking for approval of a subdivision wall along Howell Branch Road frontage for a privacy and sound buffer. However, staff fully expects that the eventual builder will want to pursue that option. Those plans for the any wall will require City Commission approval and there are specifications in the subdivision regulations on heights allowed, design, etc.

**Applicable Codes:** The applicable Comprehensive Plan policy and Subdivision Code section governing lot splits are on the following page.

**Summary:** The request meets all of the R-3 zoning requirements for lot sizes, and no variances are requested. The neighbors will be provided an opportunity to review and comment on the specific house plans as they come in to be reviewed and approved by the P&Z Board, as lakefront lots. The applicant is in agreement that these lots will be developed per the single-family zoning rules, just like the surrounding single family lots.

**STAFF RECOMMENDATION IS FOR APPROVAL of the Subdivision request to divide the property at 1298 Howell Branch Road into four lakefront lots, as presented subject to the following conditions to be approved in form and content on the formal plat by the City Attorney:**

- 1. That approval require implementation via a formal plat approved by the City to establish the common driveway access rights, to dedicate the access rights to the City other than that provided for by the common driveway and that it provide for a Homeowners Association in order to provide for the continual maintenance of the common driveway and sanitary sewer lift station.**
- 2. That the plat set forth the commitments to develop each lot in conformance with the single family zoning development standards.**
- 3. That the plat dedicates to the City, the easements requested by Public Works.**

- 4. That the plat provides an easement area for a future privacy wall or landscape buffer area along the Howell Branch Road frontage.**
- 5. That the traffic signals upgrades necessary for the traffic light at Temple Trail and Howell Branch Road be at the development's expense.**
- 6. That new potable water and fire flow infrastructure be constructed including fire hydrant(s) as needed within 300 feet travel distance to all sides of all three homes which must be completed at the development's expense prior to the issuance of the building permit for the construction of the first new home.**

## **RELEVANT COMPREHENSIVE PLAN POLICY:**

**Policy 1-3.6.8: Subdivision of Land and Lot Splits for Non-Lakefront Single Family and Low Density Multi-Family Property.** The City shall consider approving subdivision and lot split applications, which are not lakefront properties and which are not estate lots in areas designated single family, low density or multi-family residential, when the proposed new lots are designed at size and density consistent with the existing conditions in the surrounding neighborhood within a radius of five hundred (500) feet.

## **ARTICLE VI. - SUBDIVISION AND LOT CONSOLIDATION REGULATIONS**

### **Sec. 58-377. - Conformance to the comprehensive plan.**

(a) In the City of Winter Park, as a substantially developed community, the review of lot splits, lot consolidations, plats, replats or subdivisions within developed areas of the city shall insure conformance with the adopted policies of the comprehensive plan as a precedent to the conformance with other technical standards or code requirements.

(b) In existing developed areas and neighborhoods, all proposed lots shall conform to the existing area of neighborhood density and layout. The proposed lot sizes, widths, depths, shape, access arrangement, buildable areas and orientation shall conform to the neighborhood standards and existing conditions. This provision is specifically intended to allow the denial or revision by the city of proposed lot splits, lot consolidations, plats, replats or subdivisions when those are not in conformance with the existing neighborhood density or standards, even if the proposed lots meet the minimum technical requirements of the zoning regulations.

(c) In determining the existing area or neighborhood density and standards, for the consideration of lot splits, plats, replats or subdivision of other than estate lots or lakefront lots, the planning and zoning commission and city commission shall consider the frontage and square foot area of home sites and vacant properties with comparable zoning within an area of 500-foot radius from the proposed subdivision.

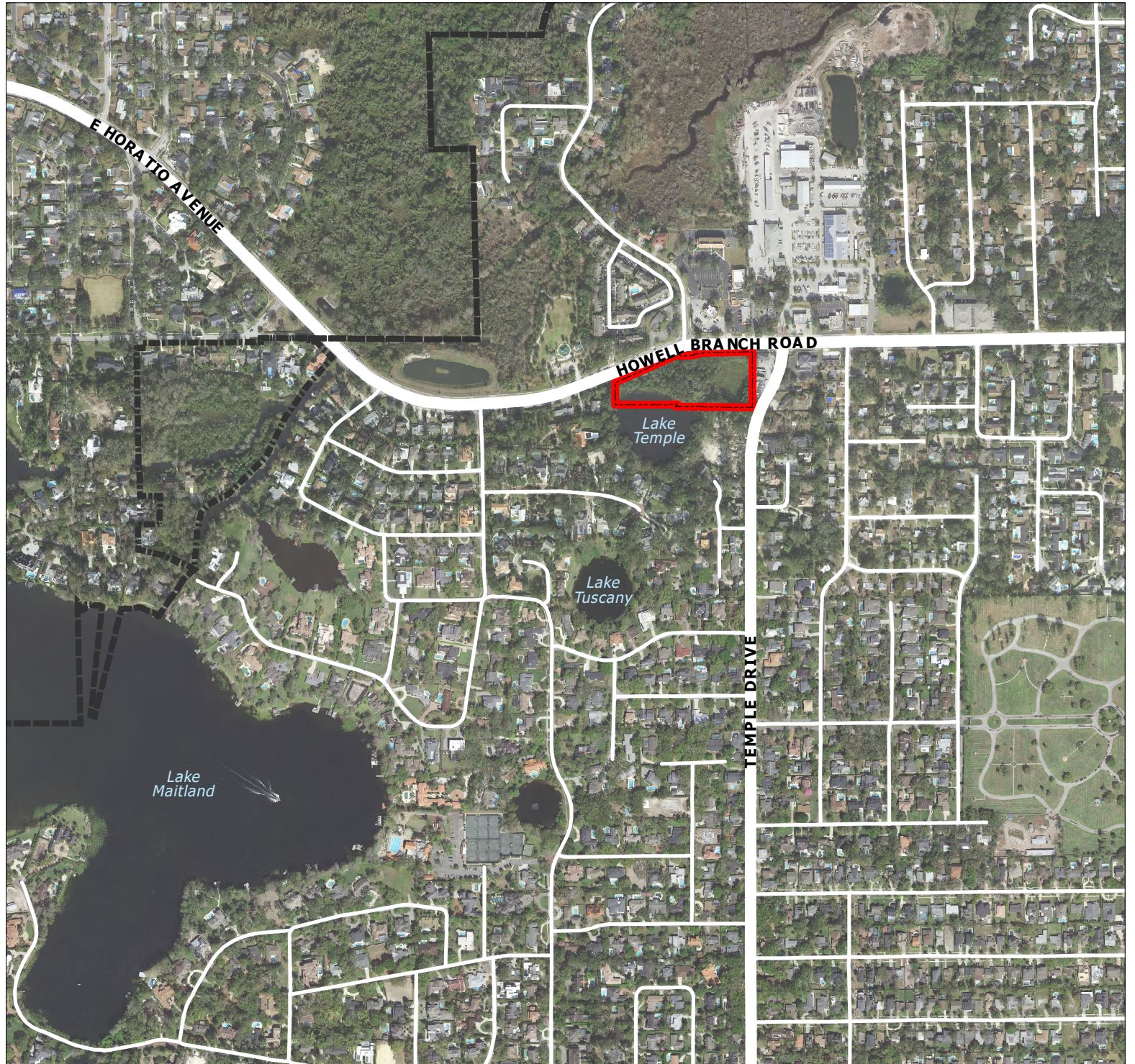
(d) In order to implement the policies of the comprehensive plan, the city commission may also impose restrictions on the size, scale, and style of proposed building, structures, or other improvements. This provision shall enable the city commission to impose restrictions on the size, height, setback, lot coverage, impervious area or right-of-way access such that proposed building and other improvements match the dimension and character of the surrounding area or neighborhood.



## PROJECT LOCATION

1298 Howell Branch Road

City of Winter Park  
Florida





## PROJECT LOCATION

1298 Howell Branch Road

City of Winter Park  
Florida





## COMPREHENSIVE PLAN TEST

**1298 Howell Branch Rd**

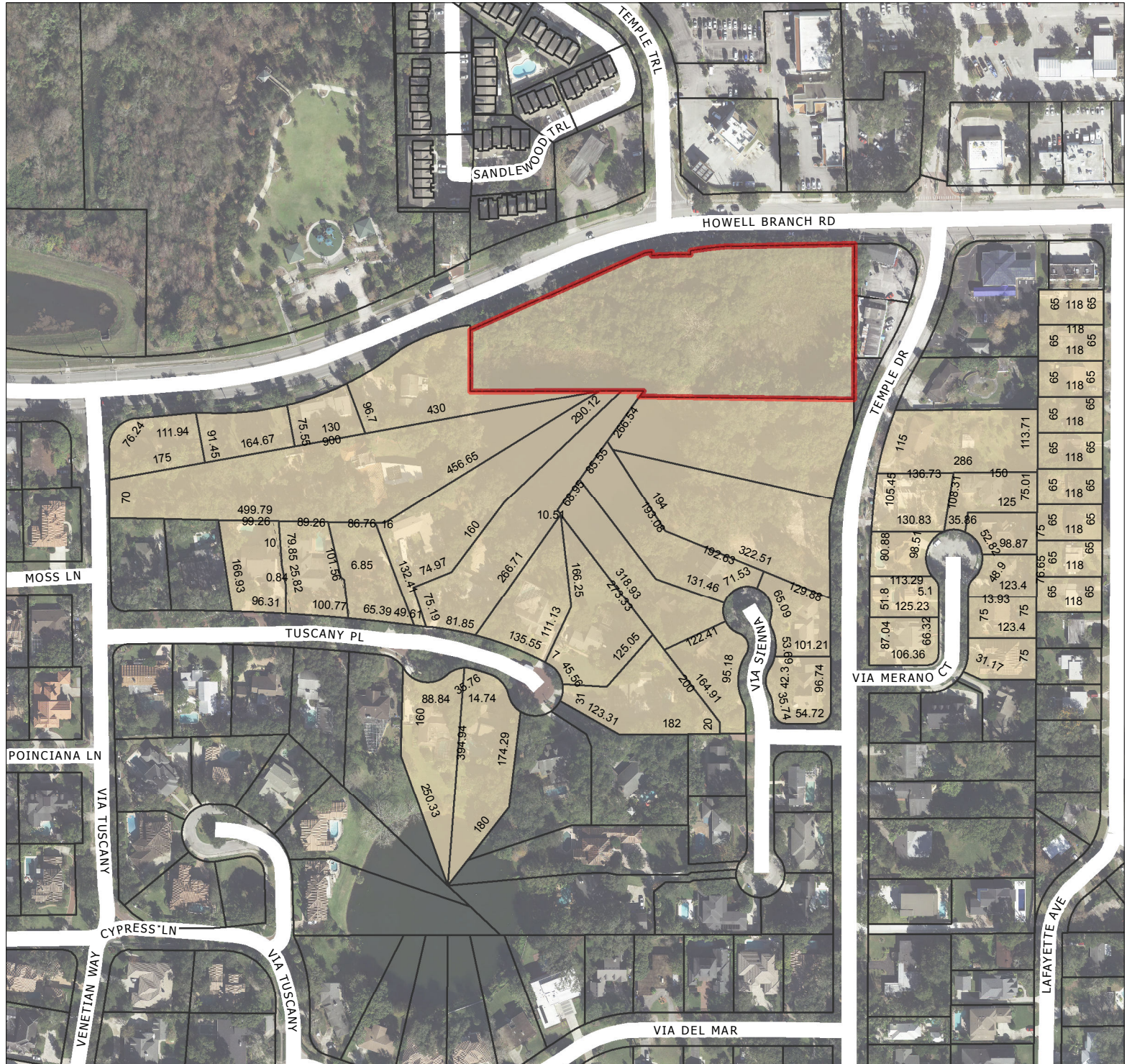
City of Winter Park  
Florida

### LEGEND

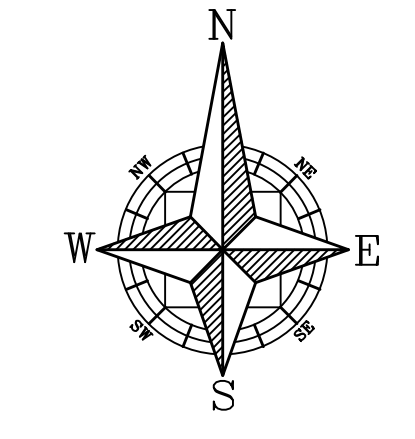
- Subject Site
- Single-Family Lots Within 500' of Site (41 total)

### NOTES

Average Lot Size = 20,361 sq ft  
Median Lot Size = 14,070 sq ft



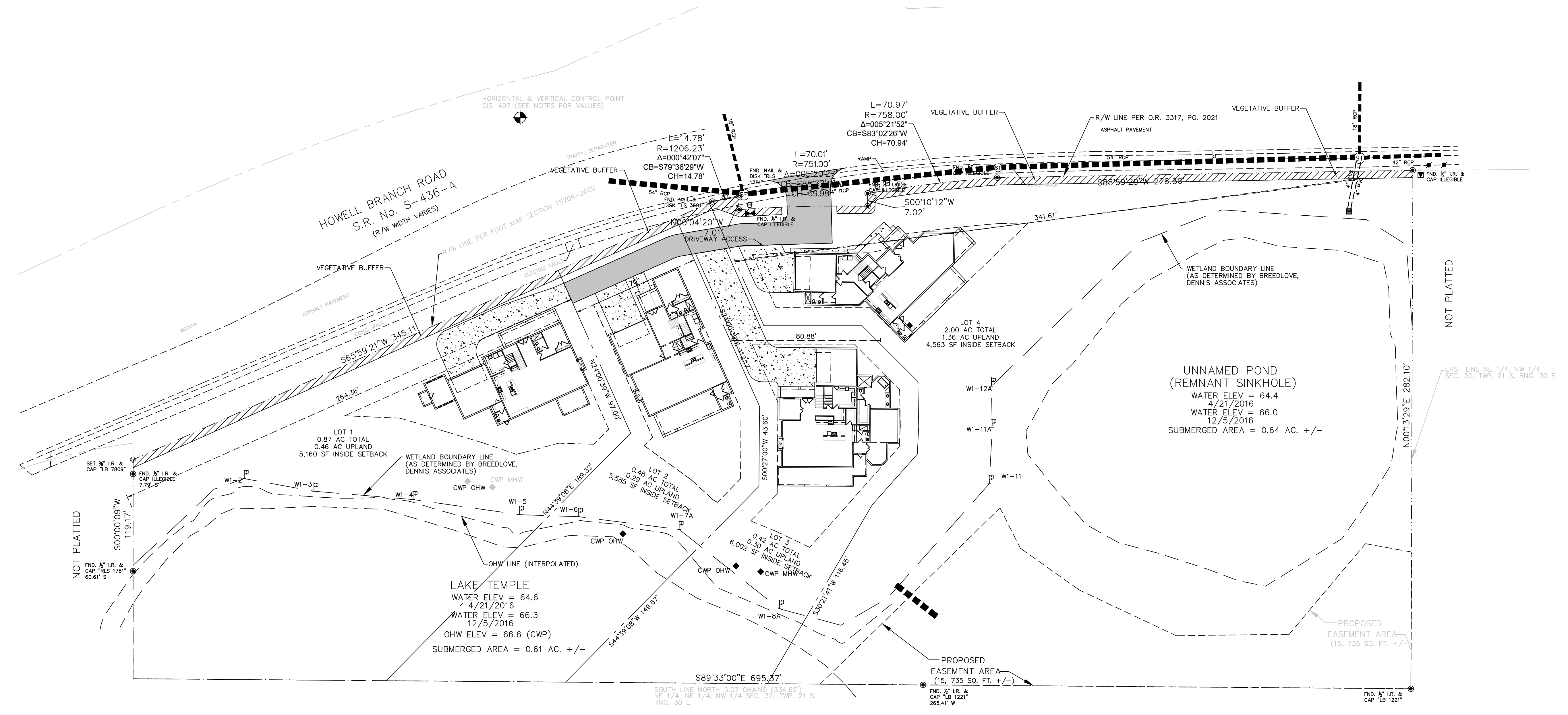




GRAPHIC SCALE  
( IN FEET )  
1 inch = 30 ft.

**SITE LEGEND**

- SITE BOUNDARY LINE ————
- CENTER LINE OF ROAD ————
- EASEMENT LINE ————
- EDGE OF PAVEMENT LINE ————
- PROPOSED PROPERTY LINE ————
- PROPOSED SETBACK LINE ————



**HOWELL BRANCH PROJECT  
SITE PLAN  
WINTER PARK, FLORIDA**

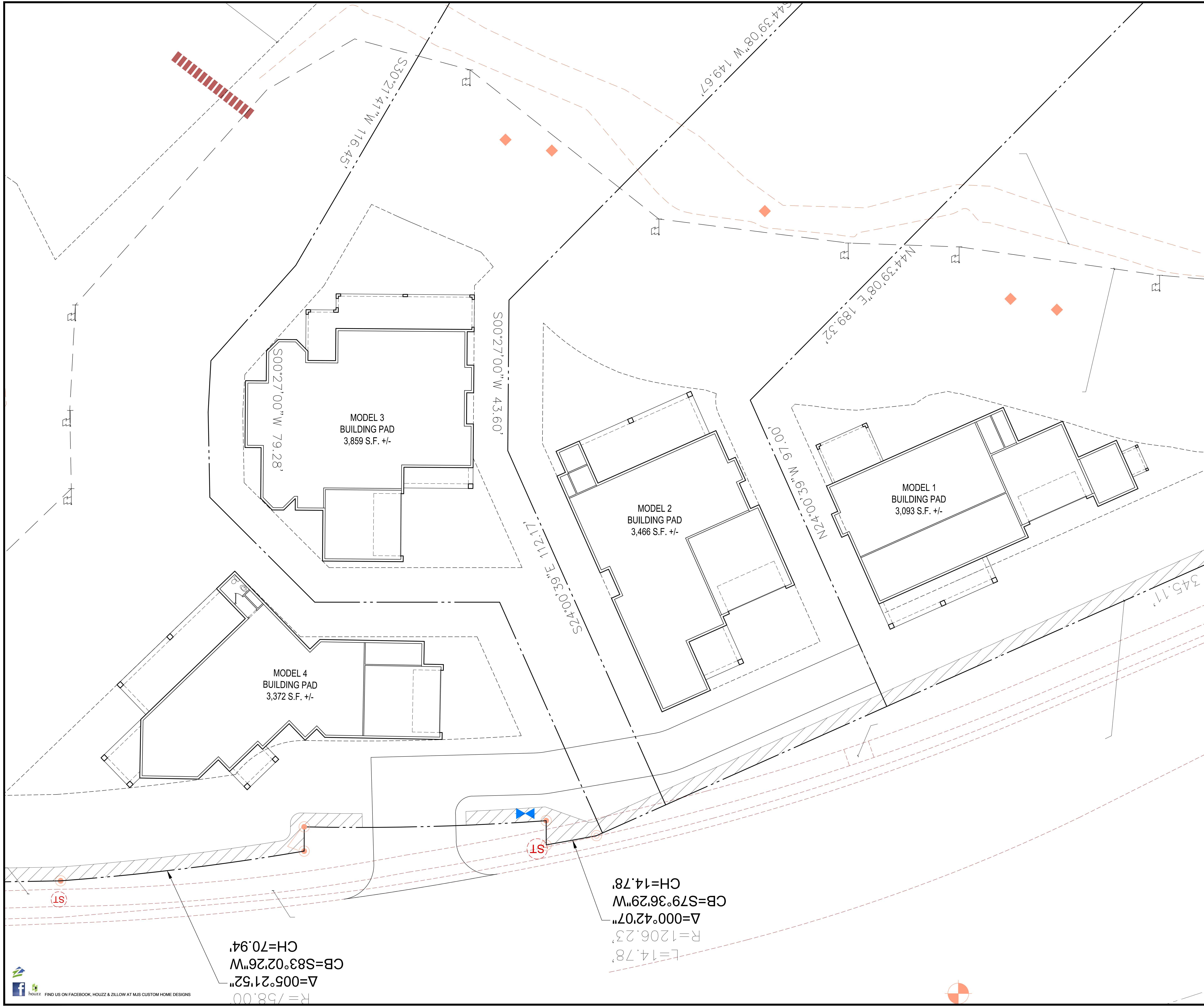
NO.	DATE	REVISION / ISSUE DATE	BY	LMP

**RCE CONSULTANTS, LLC**  
617 Arvera Drive  
Altamonte Springs, FL 32701  
Phone No. 407-453-8633  
larry@rceconsultants.com

**Engineer of Record**

Laurence Pollner  
#56974  
RCE CONSULTANTS, LLC  
Certificate of Authorization 29307

PROJECT #:  
XX-2019  
DRAWN: LMP CHECKED: LMP  
APRIL, 2019  
SCALE:  
1"=30'  
**C-1**  
SHEET:  
**SITE PLAN**



**GENERAL NOTES KEY:**

THIS IS NOT A SURVEY. MJS, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY. THE OWNER AND CONTRACTOR ARE TOTALLY RESPONSIBLE FOR PLACING THE BUILDING ON THE PROPERTY.

POOL DESIGN AND LOCATION SHOWN ARE ONLY SUGGESTED. THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR FINAL POOL DESIGN AND LOCATION.

LANDSCAPING DESIGN BY OTHERS.

MJS, INC. ASSUMES NO RESPONSIBILITY FOR SEPTIC DESIGN OR LOCATION. SEPTIC IF SHOWN ON PLANS IS PER BUILDER OR OWNER REQUIREMENTS. SEPTIC SYSTEMS ARE TO BE DESIGNED AND LOCATED PER DEPT. OF HEALTH REQUIREMENTS OR AS PER GOVERNING CODES.

NOTE:  
THE DRAINAGE MUST BE DIRECTED TOWARDS A DRAINAGE EASEMENT WITH A POSITIVE OUTFALL OR TO THE ROADWAY R/W. INCREASE OR CREATION OF "WATER PONDING" TO ADJACENT PROPERTIES IS PROHIBITED.

NOTE:  
PROPOSED IMPROVEMENTS WILL HAVE MINIMAL IMPACT TO EXISTING RUNOFF DRAINAGE PATTERNS. NO FILL WILL BE IMPORTED TO SITE EXCEPT FOR RESIDENCE FOUNDATION.

**DON BOLDEN ENG., Inc.**  
 Don Bolden, P.E.  
 Florida Registration #47524  
 Certificate of Authorization #26030  
 P.O. Box 530763  
 Debary, FL 32735

**MJS**  
 250 N. Wymore Rd. Suite# B  
 Winter Park, FL 32789  
 Ph: (407) 629-6711  
 custom home design  
 DESIGNERS - PLANNERS www.mjshomedesigns.com

**A I B**

**GOBA**  
 GREATER ORLANDO BUILDERS ASSOCIATION

**Howell Branch Project**  
 Howell Branch Rd.  
 Winter Park, FL

**Tolaris Homes LLC.**  
 690 Lake Forest Blvd.  
 Sanford, FL 32771  
 (407) 322-5853  
 www.tolarishomes.com

ISSUE DATE	03-01-19
REVISIONS	
PROJECT:	xxxx-xx
SCALE:	AS NOTED
DRAWN BY:	JML & RLJ
DESIGNED BY:	MJS

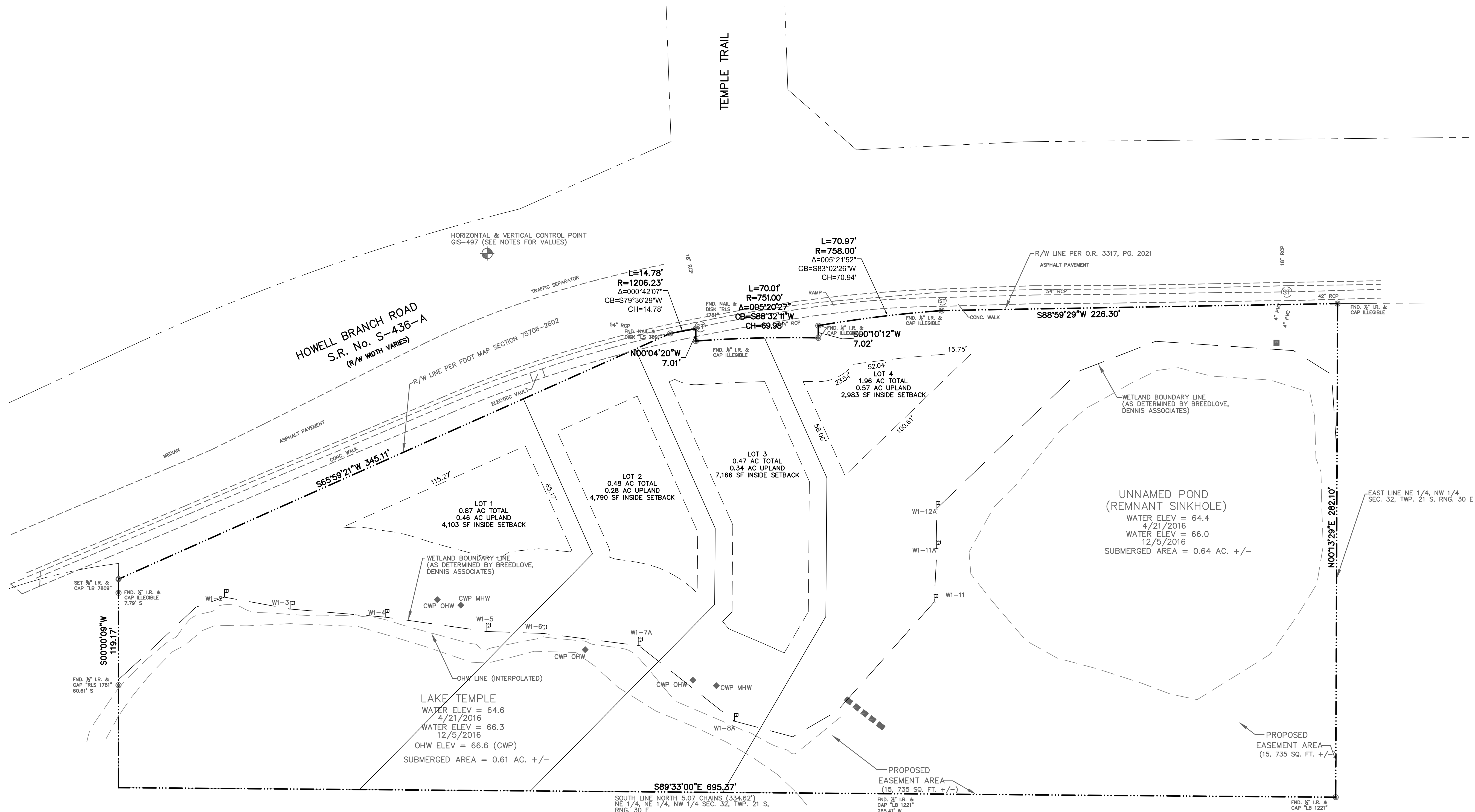
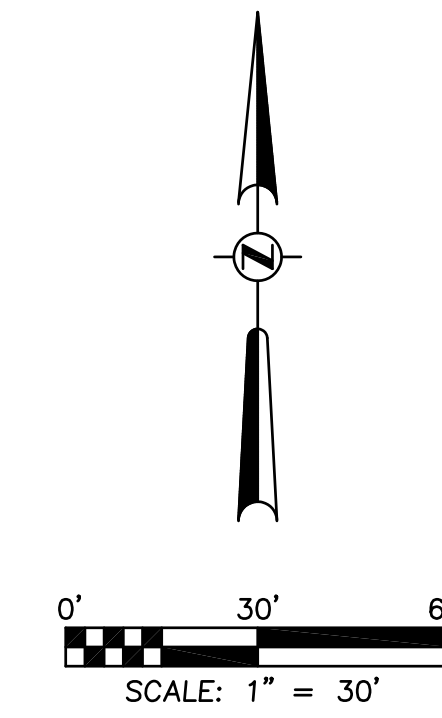
**Site Layout**  
 SCALE: 1" = 10'-0"

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# Original Subdivision Layout as approved June 2018

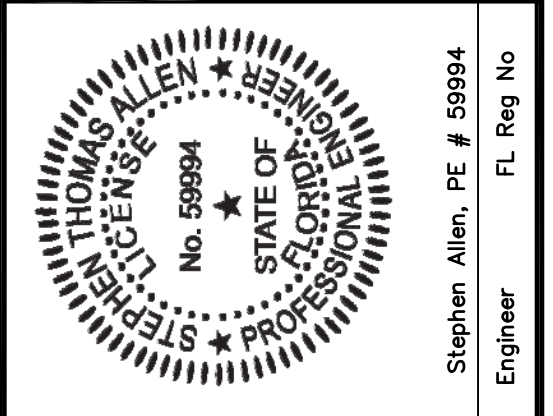
## SITE LEGEND

- SITE BOUNDARY LINE
- CENTER LINE OF ROAD
- EASEMENT LINE
- EDGE OF PAVEMENT LINE
- PROPOSED PROPERTY LINE
- PROPOSED SETBACK LINE



Revisions	Date	Description	By
4			
3			
2			
1			
#			

VILLA TUSCANY HOLDINGS, LLC	Project No. 211-001	Drawn By STA	Date 02/01/18
CivilCorp Engineering, Inc. 630 N Wynore Rd, Ste 310 Maitland, FL 32751 Phone: 407-516-6437 Certificate of Authorization No. 29390	Scale 1" = 30'		



1298 HOWELL BRANCH RD WINTER PARK, FL	PROJECT NAME
PRELIMINARY SITE PLAN	SHEET NAME
SHEET NO. <b>C-1</b>	