

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
May 7, 2019**

SPR 19-05 REQUEST OF Z PROPERTIES FOR APPROVAL TO CONSTRUCT A NEW 4,528-SQUARE FOOT SINGLE-FAMILY HOME LOCATED AT 1204 N PARK AVENUE ON LAKE MAITLAND, ZONED R-1AAA.

Z Properties (representing the property owners) is requesting approval to construct a new, one-story, 4,528 square foot single-family home within the Twelve Oaks neighborhood located at 1204 N Park Avenue on Lake Maitland, zoned R-1AAA.

This property measures 16,592 square feet, and is currently vacant. The proposed one-story home will be total of 4,528 square feet, which yields a floor area ratio (FAR) of 27%, and is within the maximum 33% permitted. This new home will have impervious lot coverage of 6,343-square feet or 38%, which is within the maximum 50% permitted.

TREE PRESERVATION: The Code direction on water front lots is “to preserve existing trees to the degree reasonably possible.” Since this property was already developed with a single-family home that was demolished, this proposed home will be located in generally the same footprint, and will not require any removals of protected trees.

VIEW FROM THE LAKE: The Code direction is to minimize the height and extent of stem walls or retaining walls facing the lake. Generally, the policy is not to permit walls/swimming pool decks facing the lake in excess of three feet in height. The issues that we typically deal with about grades and pools decks/retaining walls are not present in this case.

VIEW OF NEIGHBORS: The Code direction is to minimize the degradation of traditional views across properties by new houses, additions, second story additions, etc. alongside property lines toward the lake that may block traditional views. The attached site plan shows the orientation of this home versus the adjacent homes. Due to the constraints of the shape of this lot and the required setbacks, the rear of this house will be closer to the lake than the home to the south, but still behind the 50-foot lakefront setback and with the one-story height of this proposed home it will not impede the views of the lake of the neighboring properties.

STORM WATER RETENTION: The zoning code requires retention of storm water so that storm water flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. Typically, this retention requirement is accomplished by the creation of a depressed swale area across the waterfront of about one foot in depth. The amount of impervious surface determines the need for the depth of the swale. The applicant is proposing a stormwater swale near the lakefront that is sized to meet the City’s code requirements.

CONSTRUCTION IMPACT: The access road to this Twelve Oaks neighborhood is a narrow, private roadway. Because of this, construction management is very important. As part of the permit process, a construction management plan will be required, and will need to pay careful attention to the parking of construction vehicles, delivery trucks, etc., as to

not prohibit the access to neighboring properties, and workers driving to the site should have offsite parking.

SUMMARY: Overall, the plans meet the intent of the lakefront review criteria. Staff does not see any significant concerns with the proposed home as presented.

STAFF RECOMMENDATION IS FOR APPROVAL subject to the Building Department approval of the construction management plan.



PROJECT LOCATION

1204 N Park Avenue

City of Winter Park
Florida



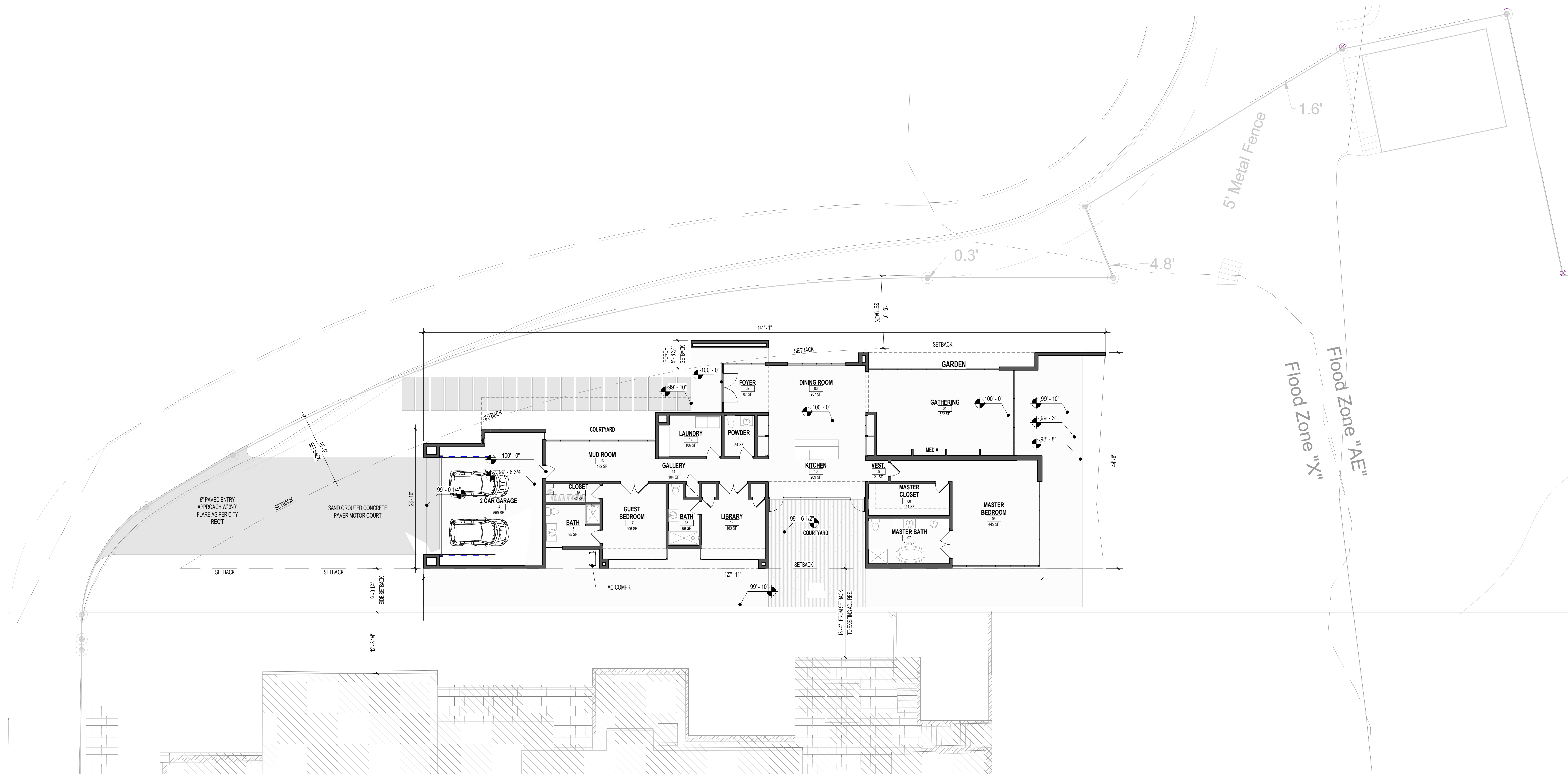
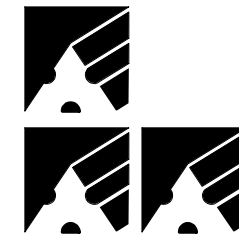


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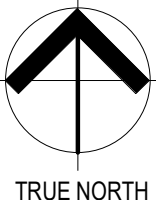




ARCHITECTURAL SITE PLAN

1" = 10'-0"

NOTE: THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE WIND LOAD REQUIREMENTS OF THE 2014 FLORIDA BUILDING CODE
RESIDENTIAL EXISTING SECTION R101 DESIGN CRITERIA AND INCLUDING ASCE 7-10
1. WIND SPEED= 139 MPH ULTIMATE WIND SPEED (V_{WIND}, 108 MP (V_{WIND})
2. RISK CATEGORY = CONSTRUCTION TYPE = SINGLE FAMILY RESIDENCE (V)
3. WIND EXPOSURE = CATEGORY C
4. INTERNAL PRESSURE COEFFICIENT FOR ENCLOSED BUILDINGS IS .18 AND HEIGHT AND EXPOSURE ADJUSTMENT COEFFICIENT IS 1.40



CODE COMPLIANCE

BUILDING
CONSTRUCTION SHALL BE IN ACCORDANCE W/ THE 2014 FLORIDA BUILDING CODE
RESIDENTIAL
ELECTRICAL
ALL ELECTRICAL SHALL BE IN ACCORDANCE W/ THE 2011 NATIONAL ELECTRICAL CODE
GAS
ALL GAS SHALL BE IN ACCORDANCE W/ THE 2014 FLORIDA BUILDING CODE GAS
MECHANICAL
ALL MECHANICAL SHALL BE IN ACCORDANCE W/ THE 2014 FLORIDA BUILDING CODE MECHANICAL
PLUMBING
ALL PLUMBING SHALL BE IN ACCORDANCE W/ THE 2014 FLORIDA BUILDING CODE PLUMBING CODE

SITE ANALYSIS

COVERAGE CALCULATIONS
PROPERTY ADDRESS: 1204 PARK AVENUE
EXISTING ZONING: R-1AA
CODES & REGULATIONS: 69'-0"
LOT AREA: 74,580 SF
IMPERVIOUS COVERAGE ALLOWED (50%): 37,290 SF
BUILDING COVERAGE INCLUDING PORCHES, DRIVE, WALKS, TERRACES, POOL, AND ASPADS: 37,290 SF
TOTAL IMPERVIOUS 50%: 37,290 SF
FLOOR AREA RATIO: 28.340 SF (38%)
ALLOWED: 4,528 SF (6%)
PROPOSED: 15'-0" MIN (VARIES)
SETBACKS: 15'-0" MIN (VARIES)
NORTH - FRONT (FROM PROPERTY LINE): 15'-0"
SOUTH - REAR: 15'-0"
WEST - SIDE: 32'-0" (WATER LINE)
BUILDING HEIGHT: 32'-0" (WATER LINE)
PROPOSED: 15'-0"
ALLOWED: 32'-0"

LEGAL DESCRIPTION
PARCELS
Beginning at the Southwest corner of said Lot 5, run thence North 0°33'25" East 129.16 feet along the Westerly boundary of said Lot 5 to the beginning of a curve, concave Southeastly and having a radius of 216.6 feet, run thence Northwesterly 5.00 feet along the arc of said curve and the Westerly boundary of said Lot 5 through a central angle of 0°45'33", thence leaving said curve, run North 89°58'12" East 1023 feet, more or less to the East boundary of said Lot 5, run thence South 1°34' feet, more or less, to the Southeast corner of said Lot 5, run thence South 89°58'12" West 1025 feet more or less, to the point of beginning.

PROPOSED DRAINAGE CALCULATIONS
- TOTAL IMPERVIOUS
- 1/8" DIA. FIRST 2" DRAINAGE
- 0.1 FEET OF RETENTION REQUIRED
- 0.1 FEET OF RETENTION PROVIDED

FRONT SETBACK IMPERVIOUS RATIO
AREA -5%
ALLOWED -5% (50%)
PROPOSED -5% (-%)

GENERAL NOTES

- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE W/ ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE W/ ALL APPLICABLE CODES & REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE JOBSITE PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL REPORT ALL DISCREPANCIES IN THE DRAWING AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD IN THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ARCHITECT.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWING ARE INTENDED TO BE TYPICAL, AND SHALL BE CONSIDERED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE. FOUNDATIONS ARE DESIGNED FOR A 2500 PSF SOIL BEARING CAPACITY. CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL INCORPORATE ALL NECESSARY LOCAL STATE/FEDERAL BUILDING, FIRE AND HANDICAP CODES INTO THE DESIGN AND BASE PROPOSAL FOR A COMPLETE TURNKEY PROJECT.
- PROJECT SHALL BE TURNED OVER TO TENANT IN CLEAN CONDITION W/ ALL TRASH AND DEBRIS REMOVED FROM SITE, ALL WINDOWS AND GLASS CLEAN, ALL HORIZONTAL SURFACES DUSTED AND CLEANED, AND ALL TOILET AND PLUMBING FIXTURES CLEAN AND IN GOOD WORKING ORDER.
- CONTRACTOR SHALL HALL ALL RUBBISH FROM SITE ON A REGULAR BASIS. DO NOT ALLOW TO ACCUMULATE.
- CONTRACTOR TO OBTAIN ALL PERMITS AND TO PAY FEES AND TAXES.
- DIMENSIONS INDICATED ON THE DRAWINGS IN REFERENCE TO EXISTING CONDITIONS ARE THE BEST AVAILABLE DATA OBTAINABLE, BUT ARE NOT GUARANTEED. BEFORE PROCEEDING IN ANY WORK THAT IS DEPENDANT UPON THE DATA INVOLVED, THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL DIMENSIONS, GRADES, LINES, LEVELS OR OTHER CONDITIONS OF LIMITATIONS AT THE SITE TO AVOID CONSTRUCTION ERRORS. IF ANY WORK IS PERFORMED BY THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS PRIOR TO ADEQUATE VERIFICATION OF APPLICABLE DATA, ANY RESULTANT EXTRA COST FOR ADJUSTMENT OF WORK AS REQUIRED TO CONFORM TO EXISTING LIMITATIONS, SHALL BE ASSUMED BY THE CONTRACTOR WITHOUT REIMBURSEMENT OR COMPENSATION BY THE OWNER.
- A DESIGNATED LOCATION FOR STORAGE OF CONSTRUCTION MATERIAL AND EQUIPMENT SHALL BE DETERMINED BY OWNER AND IDENTIFIED AT THE PRE-CONSTRUCTION MEETING.
- CONTRACTOR PERSONNEL ARE CONFINED TO AREAS OF BUILDING NECESSARY FOR COMPLETING THE WORK. FREE ACCESS TO ALL PARTS OF THE BUILDING IS NOT ALLOWED. ALL CONTRACTOR TOOL BOXES, CONTAINER, ETC., ARE SUBJECT TO OWNER'S INSPECTION. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING DELIVERY, RECEIVING, UNLOADING, STORING, SETTING IN PLACE, AND PROTECTING FROM DAMAGE ALL NEW EQUIPMENT BY THE CONTRACTOR. THIS SHALL ALSO APPLY TO ITEMS FURNISHED TO OWNER BY THE CONTRACTOR.
- ALL WIND LOAD CALCULATIONS & DESIGN CRITERIA ARE BASED ON A "ENCLOSED" STRUCTURE. ANY BREAK-OR PENETRATION, SUCH AS WINDOWS, DOORS, GARAGE DOORS, ETC., DURING STORM EVENT WILL COMPROMISE STRUCTURAL INTEGRITY.
- ALL DOOR AND WINDOW OPENINGS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION.
- ALL SHEAR WALLS MUST TRANSFER LOADS TO FLOOR JOISTS OR FOUNDATION.
- DIAPHRAGM SYSTEMS MUST BE ATTACHED TO END WALLS AND/OR SIDE WALLS.
- TRUSSES MUST BE CAPABLE OF TRANSFERRING LATERAL LOADS TO BEARING WALLS.
- TRUSSES, GIRDERS AND BEAM TIE DOWNS ARE SIZED PER UPLIFT REQUIREMENTS. ANY QUESTIONS AS TO SIZE, TYPE OR VALUE OF A WALL, STRAP OR CLIP SHOULD BE VERIFIED BY STRUCTURAL ENGINEER.
- ALL WINDOWS TO COMPLY W/ THE 2014 FLORIDA BUILDING CODE 139 MPH WIND LOAD REQUIREMENT.
- SUBCONTRACTORS SHALL VERIFY ALL APPLICABLE DIMENSIONS AND FUTURE LOCATIONS.
- ALL INTERIOR SLABS TO HAVE STEEL, TRIMMER, FINISH. ALL EXTERIOR SLABS TO HAVE MEDIUM BROOM FINISH.
- REFER TO TUBSHOWER MANUFACTURER FOR DRAIN LOCATION, PER OWNER'S SELECTION.
- ALL PLUMBING TO MEET LOCAL PLUMBING CODES.
- PROVIDE STUB-OUT FOR ICE MAKER AT REFRIGERATOR LOCATION, WINDOWS AND EXTERIOR DOORS SHALL COMPLY W/ SEC WIND LOAD REQUIREMENTS.
- USE GREASER/OD AT WET WALLS.
- PROVIDE BLOCKING AT 33"-36" AFF IN BATHROOM WALLS ABOVE WATER CLOSET, TUBSHOWER FAUCETS AND TUB SOAP DISH FOR FUTURE GRAB BARS.
- CONTRACTOR TO PROVIDE SITE ADDRESS PER SECTION R-318 OF THE 2014 FBCR.
- FOAM PLASTIC MATERIALS TO MEET THE REQUIREMENTS OF THE 2014 FBCR.
- PROTECTION OF WOOD DECAY TO MEET THE REQUIREMENTS OF THE 2014 FBCR.
- PROVIDE HANDICAP ACCESSIBILITY PER SECTION R-302 OF THE 2014 FBCR.
- TERMITE TREATING AND PROTECTION TO MEET THE REQUIREMENT OF SECTION R-318 OF THE 2014 FBCR.
- FINISHED FLOOR TO MINIMUM 2" ABOVE GRADE. FINISHED FLOOR TO MINIMUM 12" ABOVE CROWN OF ROAD.
- THIS STRUCTURE MEETS THE REQUIREMENTS OF THE 2014 FBCR.

TERMITE NOTES

R-318 TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITE/CODES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION (SEE SECTION 200, REGISTERED TERMITE/CODES). UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTION TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE W/ RULES AND LAWS ESTABLISHED BY FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES." CONSUMER SERVICES."

USE REGISTERED TERMITE/CODES OR OTHER APPROVED METHODS.

SOIL TREATMENTS FOR SUBTERRANEAN TERMITES.

PROTECTION TO BE DONE AFTER ALL EXCAVATION, BACKFILLING, AND COMPACTION IS COMPLETE.

DISTURBED SOIL TREATMENT MUST BE RETREATED.

TREATMENT SHALL BE PROTECTED FROM RAINFALL BY 6 MIL VAPOR BARRIER. IF RAINFALL OCCURS BEFORE BARRIER PLACEMENT, SOIL MUST BE RETREATED.

TREATMENT AROUND EXTERIOR OF FOUNDATION SHALL BE DONE AFTER REMOVAL OF CONCRETE OVER POLES OR ACCUMULATED MORTAR.

TREATMENT APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1 FOOT OF PRIMARY STRUCTURE SIDEWALLS. VERTICAL CHEMICAL BARRIER SHALL BE APPLIED PROMPTLY AFTER CONSTRUCTION COMPLETION (INCLUDING LAND-SCAPING AND IRRIGATION SPRINKLER INSTALLATION).

ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PER RULES AND LAWS ESTABLISHED FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

PROTECTIVE SLEEVES AROUND METALLIC PIPING PENETRATING CONCRETE. SLAB-ON-SLAB GRADE FLOORS SHALL NOT BE CELLULOSE-CONTAINING MATERIALS AND RECEIVE AN APPLICATION OF TERMITE/CODE IN ANNUAL SPACE BETWEEN SLEEVE AND PIPE.





COHEN RESIDENCE

29 E Hollow Rd. East Hampton, NY 11937

No	Issue	Date
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Oza Sabbeth Architects

SITE PLAN

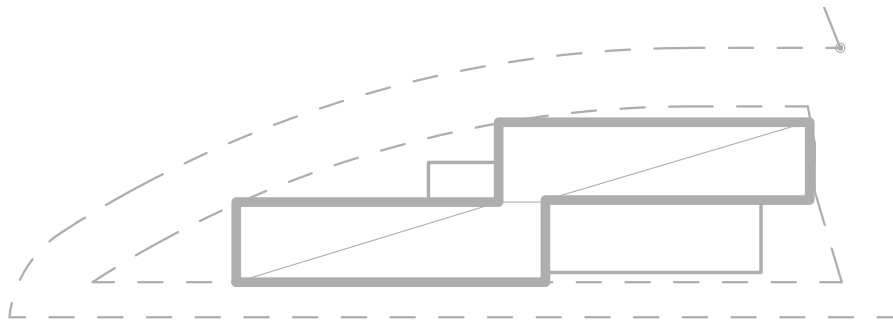
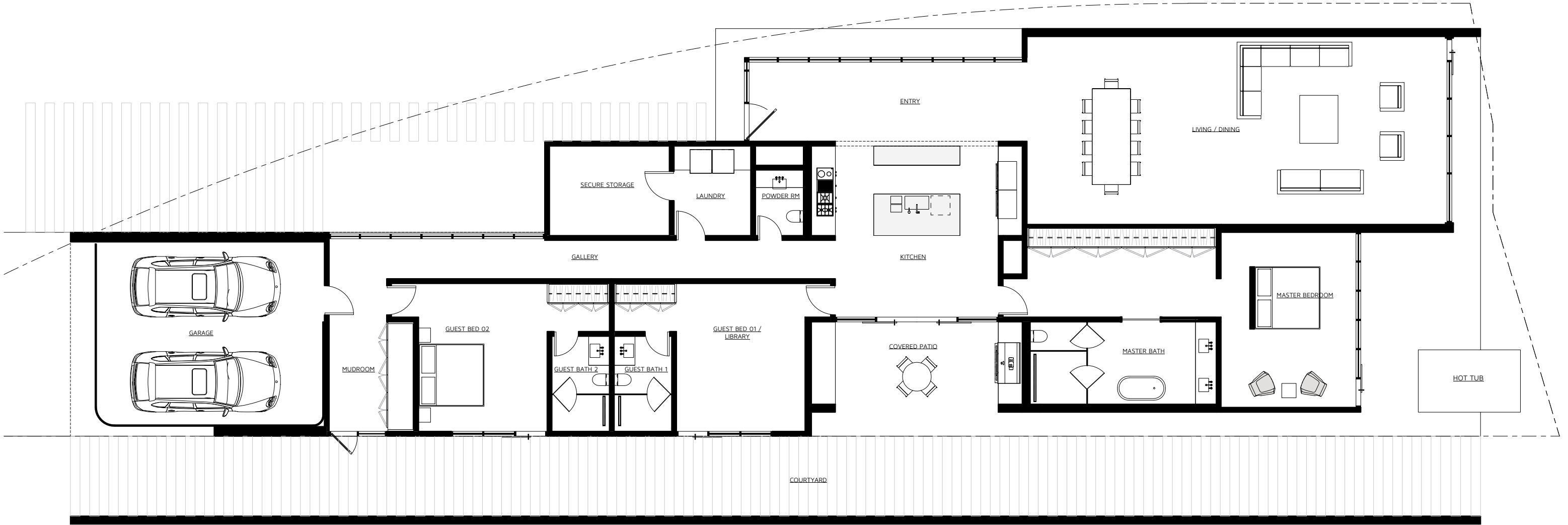
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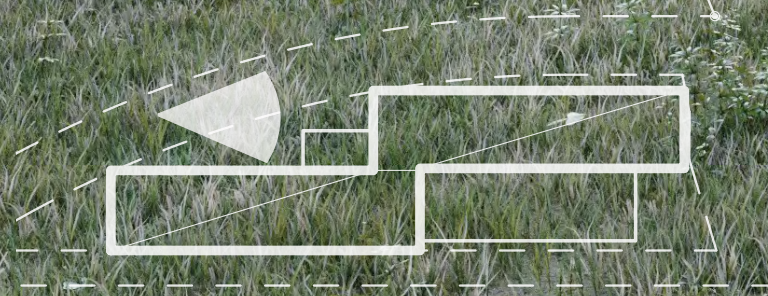
SCALE: 1" = 10'-0"

DATE: 02/13/18

DRAWN BY: Author

NOT ISSUED FOR CONSTRUCTION



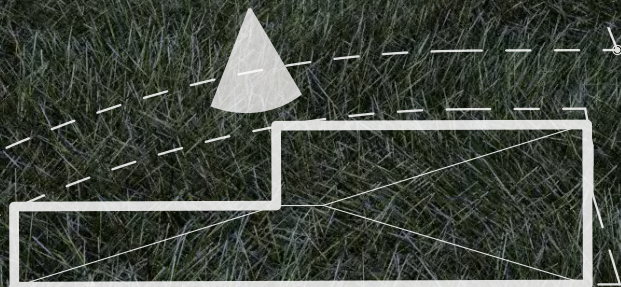


















**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
May 7, 2019**

SPR 19-04 REQUEST OF Z PROPERTIES FOR APPROVAL TO CONSTRUCT A NEW 5,314-SQUARE FOOT SINGLE-FAMILY HOME LOCATED AT 394 HENKEL CIRCLE ON LAKE VIRGINIA, ZONED R-1AAA.

Z Properties (representing the property owners) is requesting approval to construct a new, one-story, 5,314 square foot single-family home located at 394 Henkel Circle on Lake Virginia, zoned R-1AAA.

This property measures 45,144 square feet, and is currently developed with a single-family home that is to be demolished. The proposed one-story home will be total of 5,314 square feet, which yields a floor area ratio (FAR) of 12%, and is within the maximum 33% permitted. This new home will have impervious lot coverage of 10,555 square feet or 23%, which is within the maximum 50% permitted.

TREE PRESERVATION: The Code direction on water front lots is “to preserve existing trees to the degree reasonably possible.” There are several large oak trees and cypress trees near the lake on this large lot. The applicant has designed this home as to not require any removals of these significant trees.

VIEW FROM THE LAKE: The Code direction is to minimize the height and extent of stem walls or retaining walls facing the lake. Generally, the policy is not to permit walls/swimming pool decks facing the lake in excess of three feet in height. The issues that we typically deal with about grades and pools decks/retaining walls are not present in this case.

VIEW OF NEIGHBORS: The Code states that the lakefront setback shall be the average established by the adjacent lakefront properties within 200 feet of the subject property, or 50 feet, whichever is greater. This home will be significantly setback from the lakefront, at approximately 118-158 feet from the normal high water line. However, due to the substantial difference between the lakefront setback of the adjacent homes, the average setback is approximately 150 feet. The Code direction is to minimize the degradation of traditional views across properties by new houses, additions, second story additions, etc. alongside property lines toward the lake that may block traditional views. The P&Z Board does have the authority to approve setbacks less than the average determined. Staff does not see a concern with the lakefront setback proposed by the applicant, as it will not impede the existing views of the lake of the neighboring properties due to the extensive vegetation between each property line and the angle of the lakefront.

STORM WATER RETENTION: The zoning code requires retention of storm water so that storm water flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. Typically, this retention requirement is accomplished by the creation of a depressed swale area across the waterfront of about one foot in depth. The amount of impervious surface determines the need for the depth of the swale. The applicant is proposing a stormwater swale near the lakefront that is sized to meet the City's code requirements.

SUMMARY: Overall, the plans meet the intent of the lakefront review criteria. Staff does not see any significant concerns with the proposed home as presented.

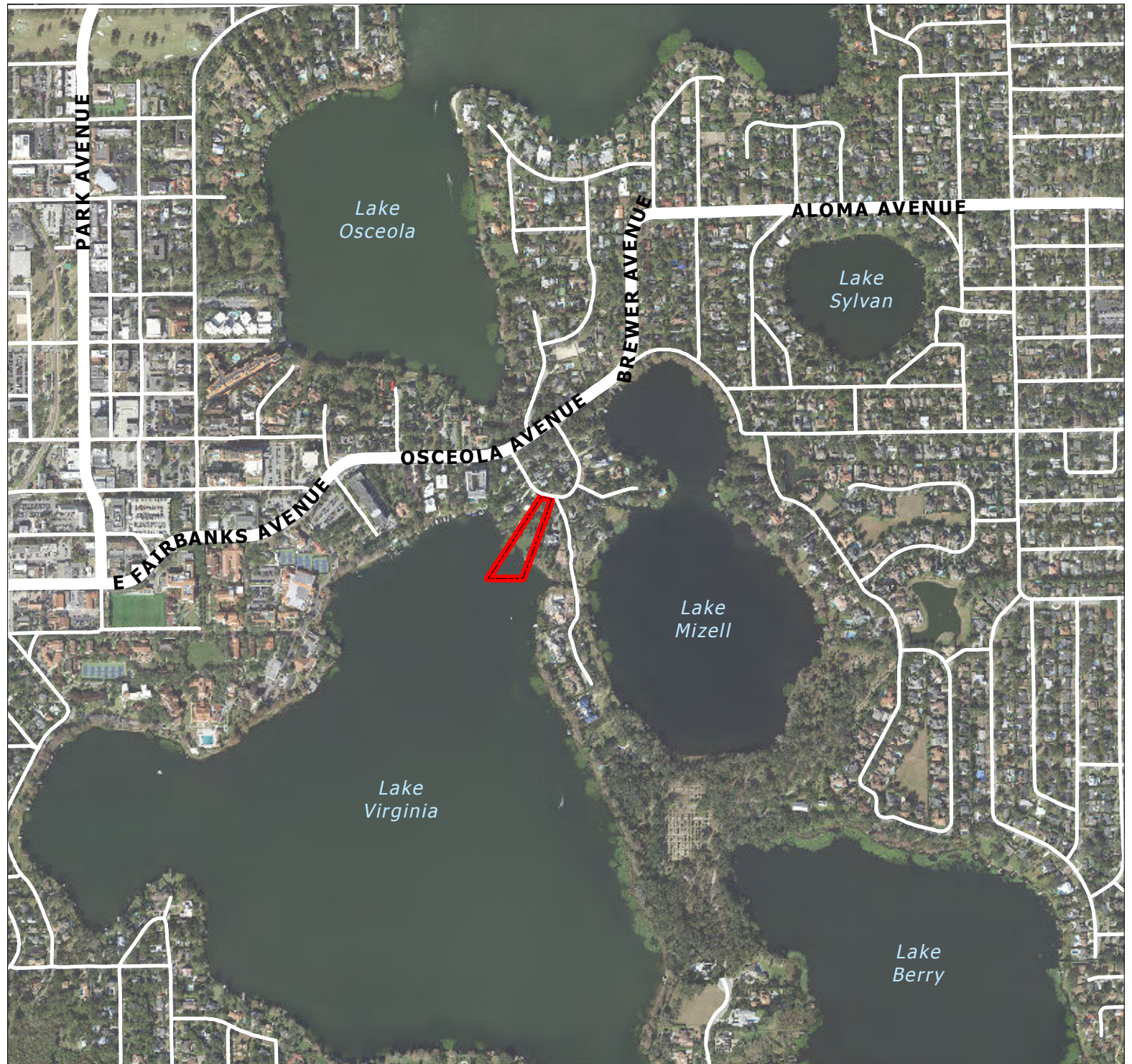
STAFF RECOMMENDATION IS FOR APPROVAL



PROJECT LOCATION

394 Henkel Circle

City of Winter Park
Florida





PROJECT LOCATION

394 Henkel Circle

City of Winter Park
Florida



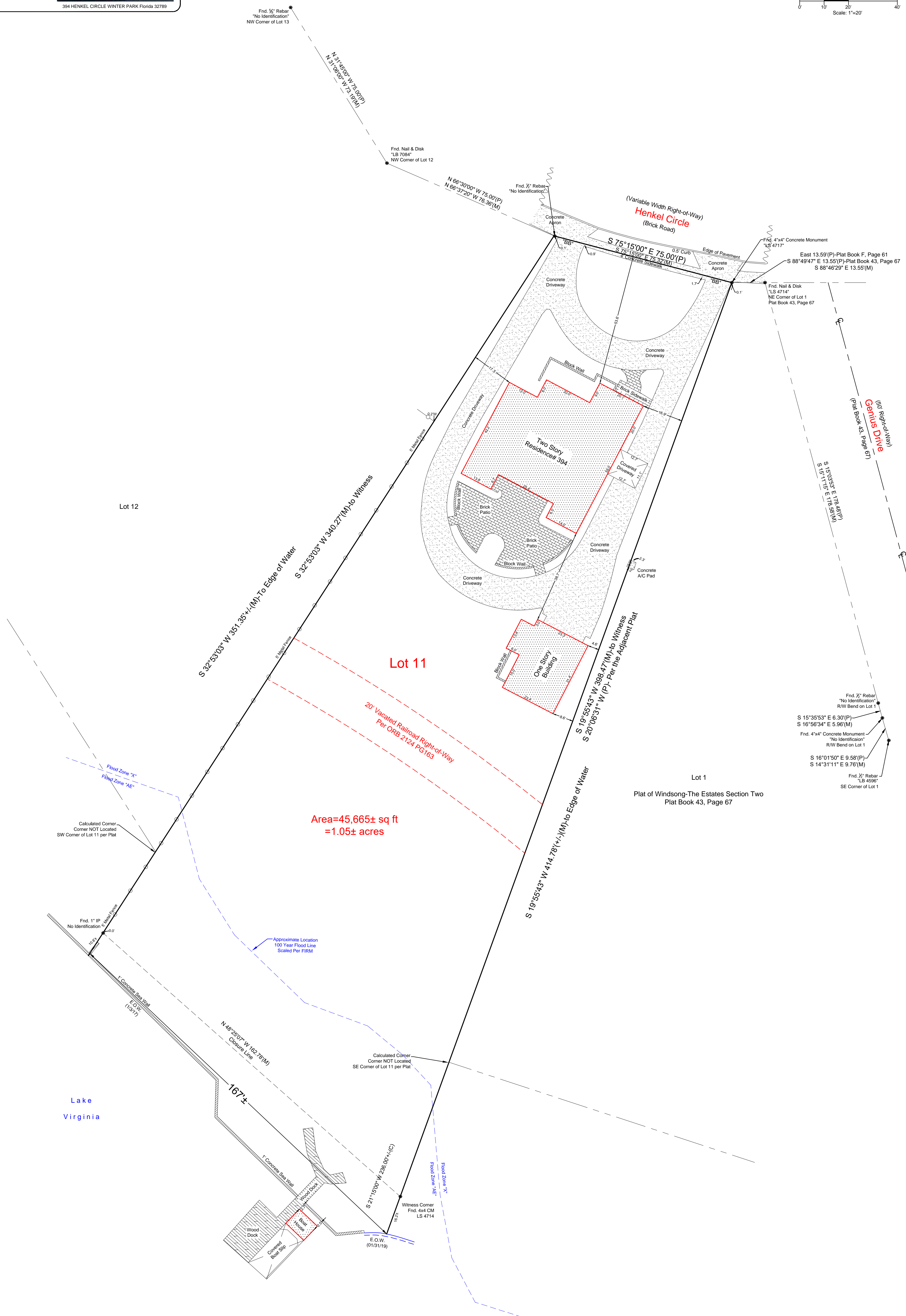
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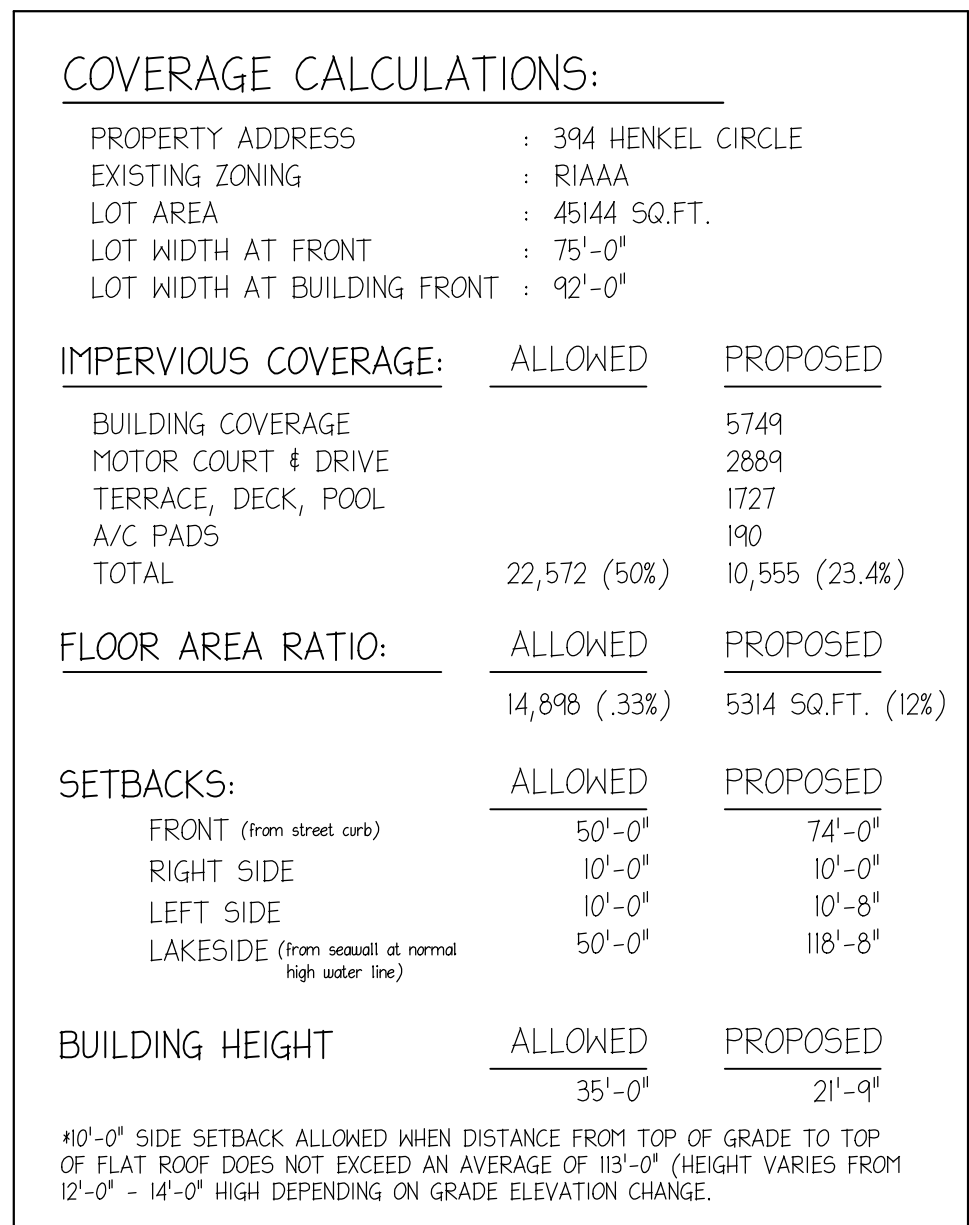
Flood Disclaimer: By performing a search with the local governing municipality or www.fema.gov the property appears to be located in zone X, AE. This Property was found in City of Winter Park, community number 120188, dated 09/25/2009.

CERTIFIED TO:
LAMONT GARBER AND LINDA GARBER; Z PROPERTIES



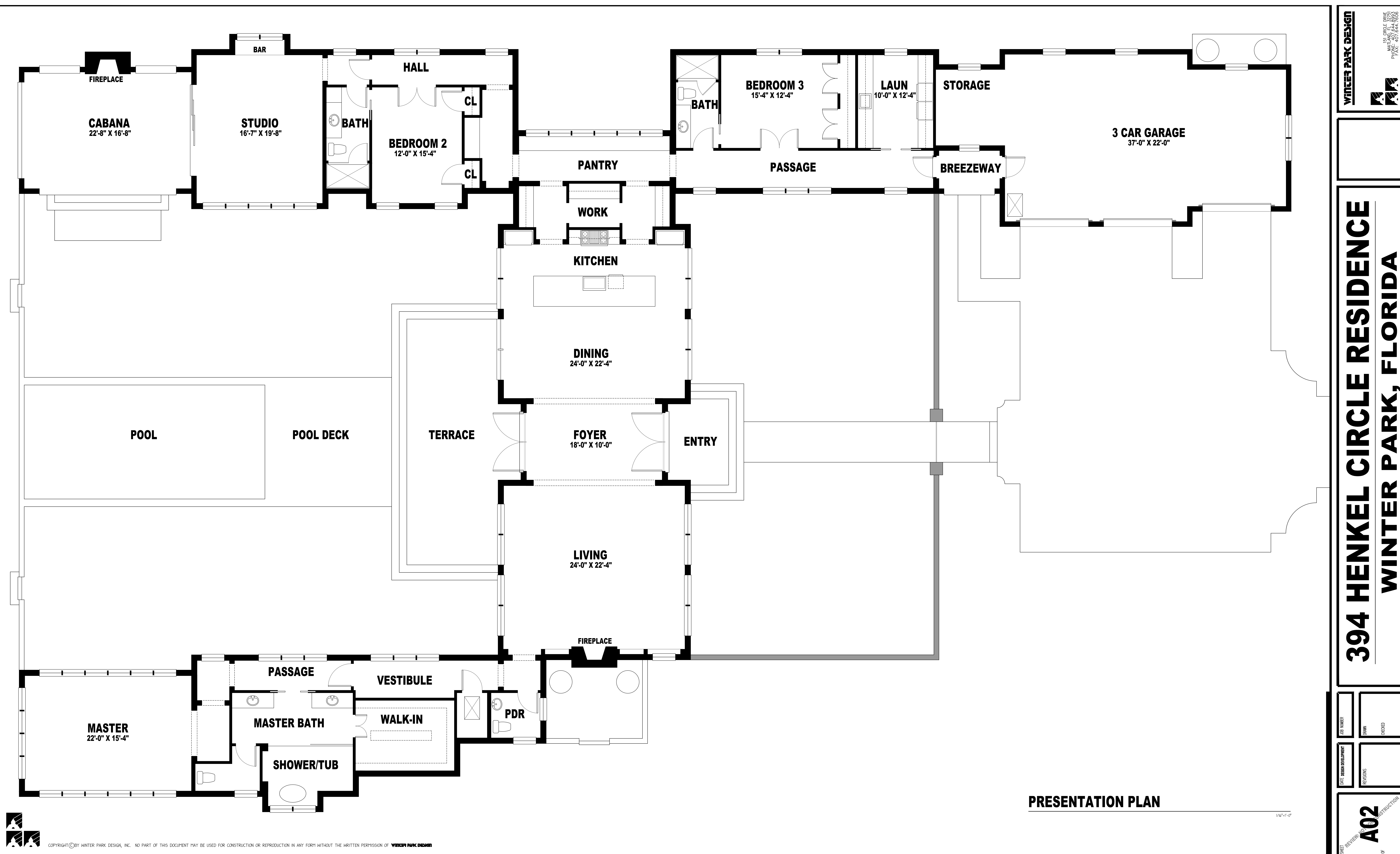
394 HENKEL CIRCLE WINTER PARK Florida 32789

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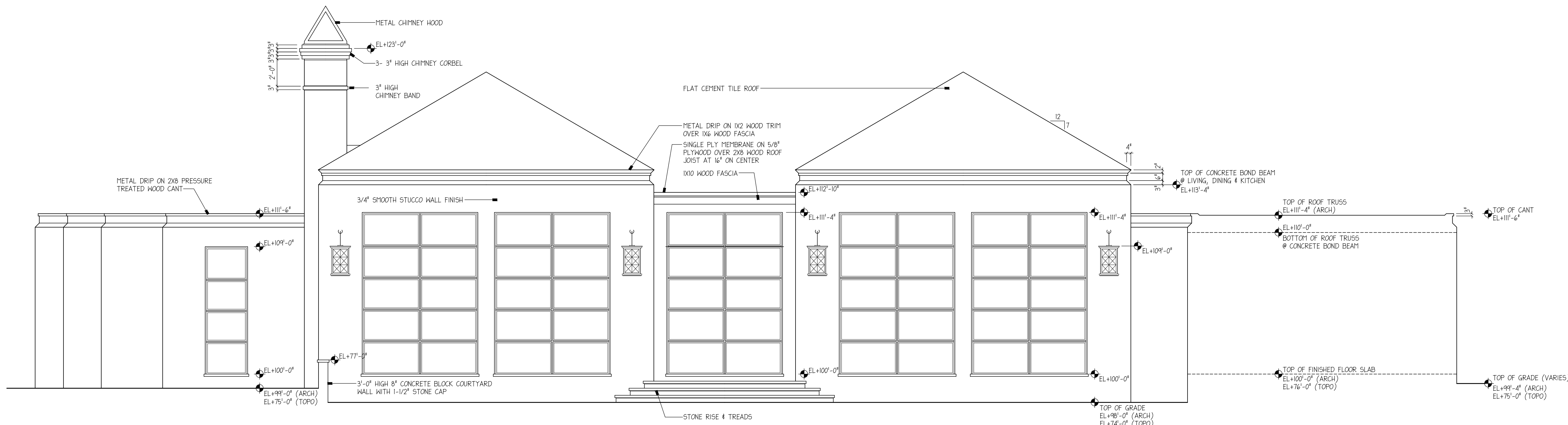
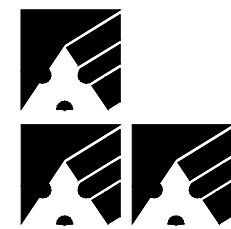


AREA TABULATIONS:	
LIVING	4376
GARAGE	938
TOTAL FAR	5314 SF
BREEZEWAY	45
CABANA	390
POOL/SUN TERRACE	1337
TOTAL	7086 SF

394 HENKEL CIRCLE RESIDENCE
WINTER PARK, FLORIDA



394 HENKEL CIRCLE RESIDENCE
WINTER PARK, FLORIDA



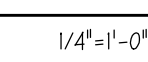
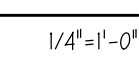
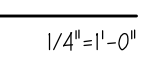
FRONT ELEVATION

1/4"=1'-0"



REAR ELEVATION

1/4"=1'-0"







394 HENKEL CIRCLE RESIDENCE
WINTER PARK, FLORIDA