

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
January 8, 2019**

SPR 19-01 REQUEST OF ORLANDO HOLDINGS GROUP FOR APPROVAL TO CONSTRUCT A NEW, TWO-STORY, 4,653 SQUARE FOOT, SINGLE-FAMILY HOME LOCATED AT 550 COUNTRY CLUB DRIVE ON LAKE KILLARNEY, ZONED R-2.

Orlando Holdings Group (contract purchaser) is requesting site plan approval to construct a new two-story, 4,653 square-foot, single-family home at 550 Country Club Drive, which is located on Lake Killarney, and is zoned R-2. This property is also known as Lot 6 of the Lake Killarney Shores replat that was approved by the Commission on April 9, 2018. A copy of the plat is attached.

The non-submerged portion of the property measures 9,104 square feet. The proposed two-story home will be total of 4,653 square feet, which yields a Floor Area Ratio (FAR) of 51%, which is within the maximum 55% allowed for an R-2 lot. This new home will have impervious lot coverage of 4,228 square feet or 46%, which is within the maximum 65% allowed for an R-2 lot.

TREE PRESERVATION: The Code direction on water front lots is "to preserve existing trees to the degree reasonably possible." The applicant is proposing to save the 23 inch cypress tree near the lakefront.

VIEW FROM THE LAKE: The Code direction is to minimize the height and extent of stem walls or retaining walls facing the lake. Generally, the policy is not to permit walls/swimming pool decks facing the lake in excess of three feet in height. The issues that we typically deal with about grades and pools decks/retaining walls are not present in this case due to the fact that the lot is relatively flat.

VIEW OF NEIGHBORS: The Code direction is to minimize the degradation of traditional views across properties by new houses, additions, second story additions, etc. alongside property lines toward the lake that may block traditional views. During the replat of this Lake Killarney Shores subdivision, as the Board may recall, there was significant discussion about the lake front views of the adjoining neighbors to this subdivision, and this is the second lakefront site plan approval for the lakefront properties within this subdivision.

The Zoning Code states that the lakefront setback of structures "shall be the average established by the adjacent water front properties within 200 feet of the subject property, or 50 feet, whichever is greater". During the replat, the applicant and the adjoining property owners agreed that the lakefront average will be established by the setback of the existing homes along the lake within 200 feet of each request (even though they have subsequently been demolished). Staff has determined that the average lakefront setback is 78.2 feet from the normal high water elevation (see attached analysis).

This applicant/builder is proposing a 70 foot setback from the lake to the home, and a 50 foot setback to the pool deck. While, the Code defines structures to include swimming

pools and pool decks, the swimming pool/deck being at the existing grade does not impair lakefront views. However, the two-story home can impact lake views and therefore, the applicant is requesting a lakefront setback variance of 8.2 feet from the City's calculations.

The applicant has provided a letter signed by the developer/owner of the Lake Killarney replat properties nearest to this lot and also signed by the nearest affected (non-developer owned property) neighbor to this lot (owner of 612 Country Club Drive), that states an agreed-upon building setback of 70 feet from the lake, and pool setback range of the agreed-upon building setback to 50 feet. P&Z has the authority to approve lakefront setbacks less than the average determined by staff above to a minimum of 50 feet, in accordance with their lakefront review authority.

That attached letter will be the basis for the lakefront building setbacks for this as well as the other lakefront lots, as it involves agreement by all affected parties. Staff does not see a major concern with the 8.2 foot building setback variance to allow the building to be 70 feet from the lakefront.

STORM WATER RETENTION: The zoning code requires retention of storm water so that storm water flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. Typically, this retention requirement is accomplished by the creation of a depressed swale area across the waterfront of about one foot in depth. The amount of impervious surface determines the need for the depth of the swale. The applicant is proposing roof drains and storm pipes that connect to a storm water swale near the lakefront that is sized to meet code requirements.

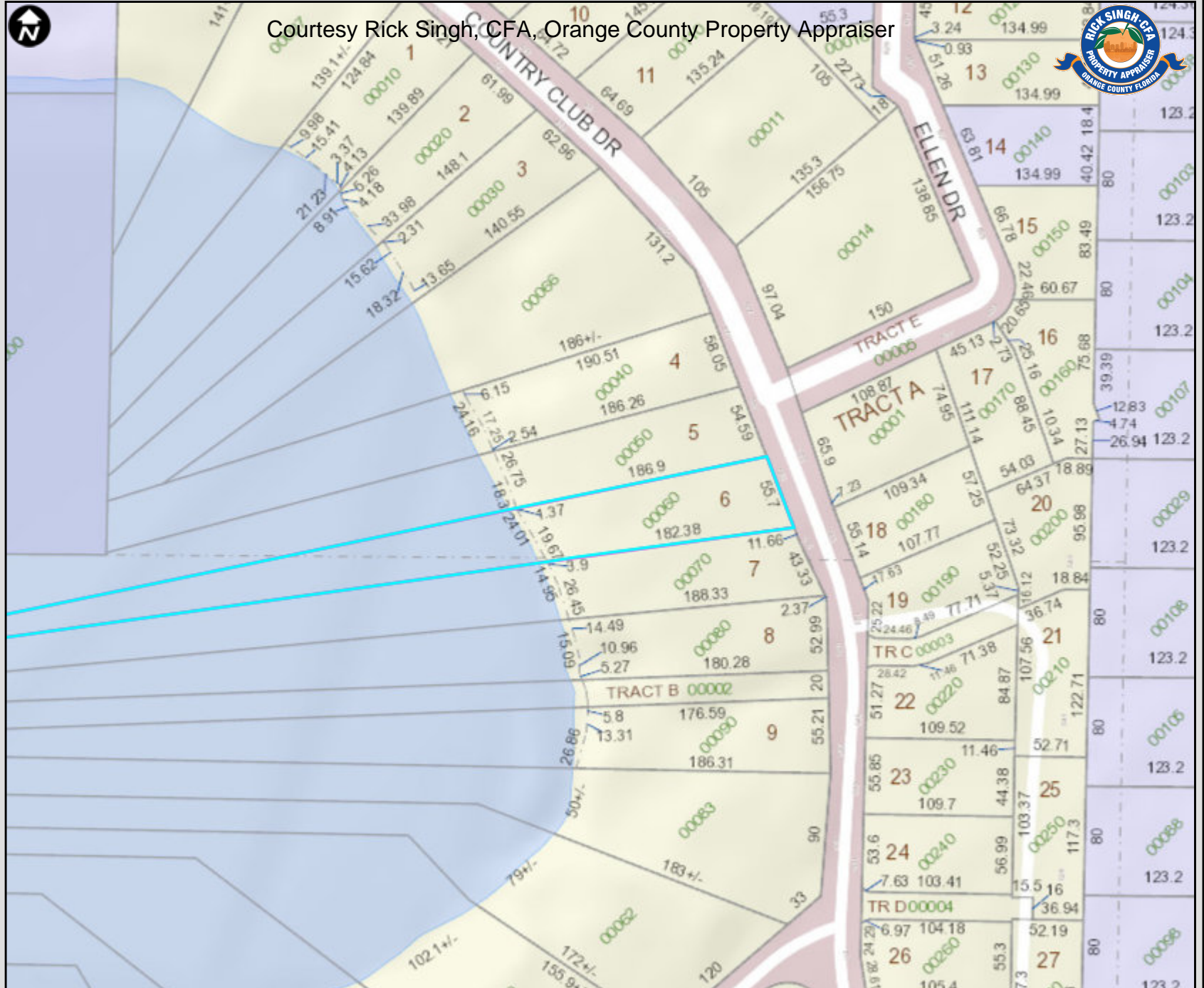
SUMMARY: Overall, the plans meet the intent of the lakefront review criteria. Staff does not see any significant concerns with the proposed home as presented based upon concurrence with the lakefront setbacks.

STAFF RECOMMENDATION IS FOR APPROVAL

Courtesy Rick Singh, CFA, Orange County Property Appraiser



- Florida Turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- One Way
- Brick Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial/Institutional
- Governmental/Institutional/Misc
- Commercial/Industrial Vacant Land
- Hydro
- Waste Land
- Agricultural Curtilage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- Block Number
- Lot Number
- Parcel Number
- Parcel Address
- Parcel Dimension



Created: 12/20/2018 8:34

This map is for reference only and is not a survey



Courtesy Rick Singh, CFA, Orange County Property Appraiser

- Florida Turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- One Way
- Brick Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial/Institutional/Governmental/Institutional/Misc
- Commercial/Industrial/Vacant Land
- Hydro
- Waste Land
- Agricultural Curtilage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- Block Number
- Lot Number
- Parcel Number
- Parcel Address
- Parcel Dimension



Created: 12/20/2018 8:35 Aerial 2018

This map is for reference only and is not a survey

EXISTING 23"
CYPRESS TREE TO REMAIN

50' POOL SETBACK

POOL AND DECK

70' HOUSE SETBACK

7' SIDE SETBACK

S 80° 56' 03" W 182.38'

S 77° 06' 29" W 186.90'

2-STORY, CONC. BLOCK
AND WOOD FRAME
SINGLE FAMILY RESIDENCE

COND. AND PADS

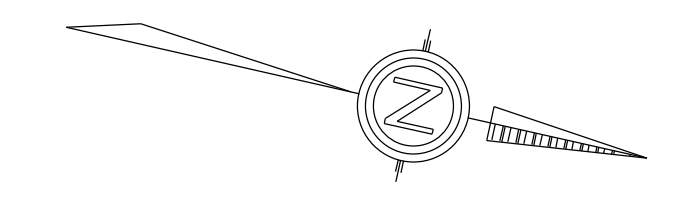
5' GARAGE SETBACK

7' SIDE SETBACK

BRICK PAVER DRIVE

S 22° 14' 49" E 55.70'

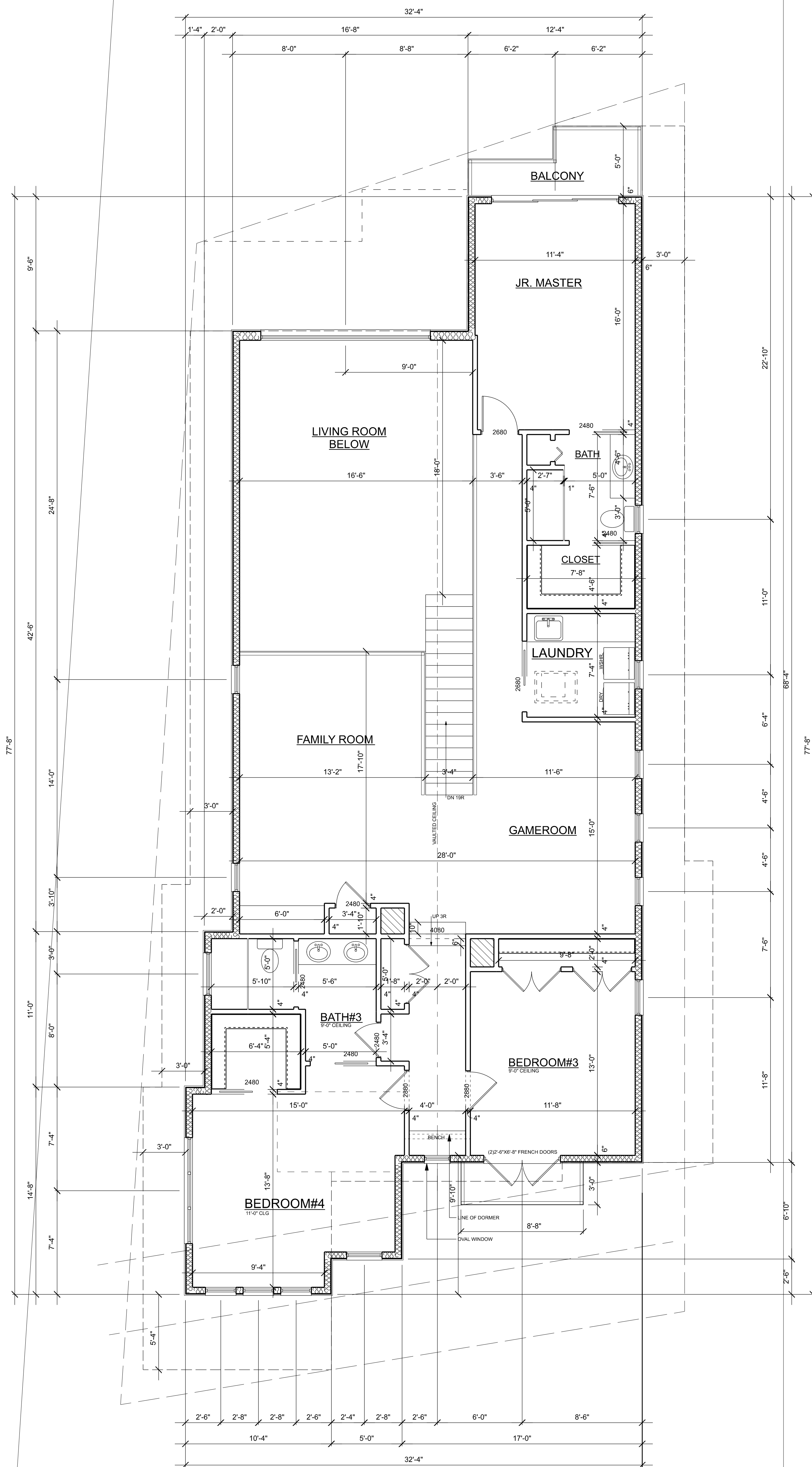
SITE PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR A/C	2095 SF
SECOND FLOOR A/C	2060 SF
(INCLUDES 2-STORY LR)	(450 SF)
TOTAL A/C	4155 SF
GARAGE/STORAGE	498 SF
TOTAL F.A.R.	4653 SF
FRONT PORCH	170 SF
COVERED LANAI	145 SF
BALCONY	45 SF
TOTAL UNDER ROOF	5013 SF

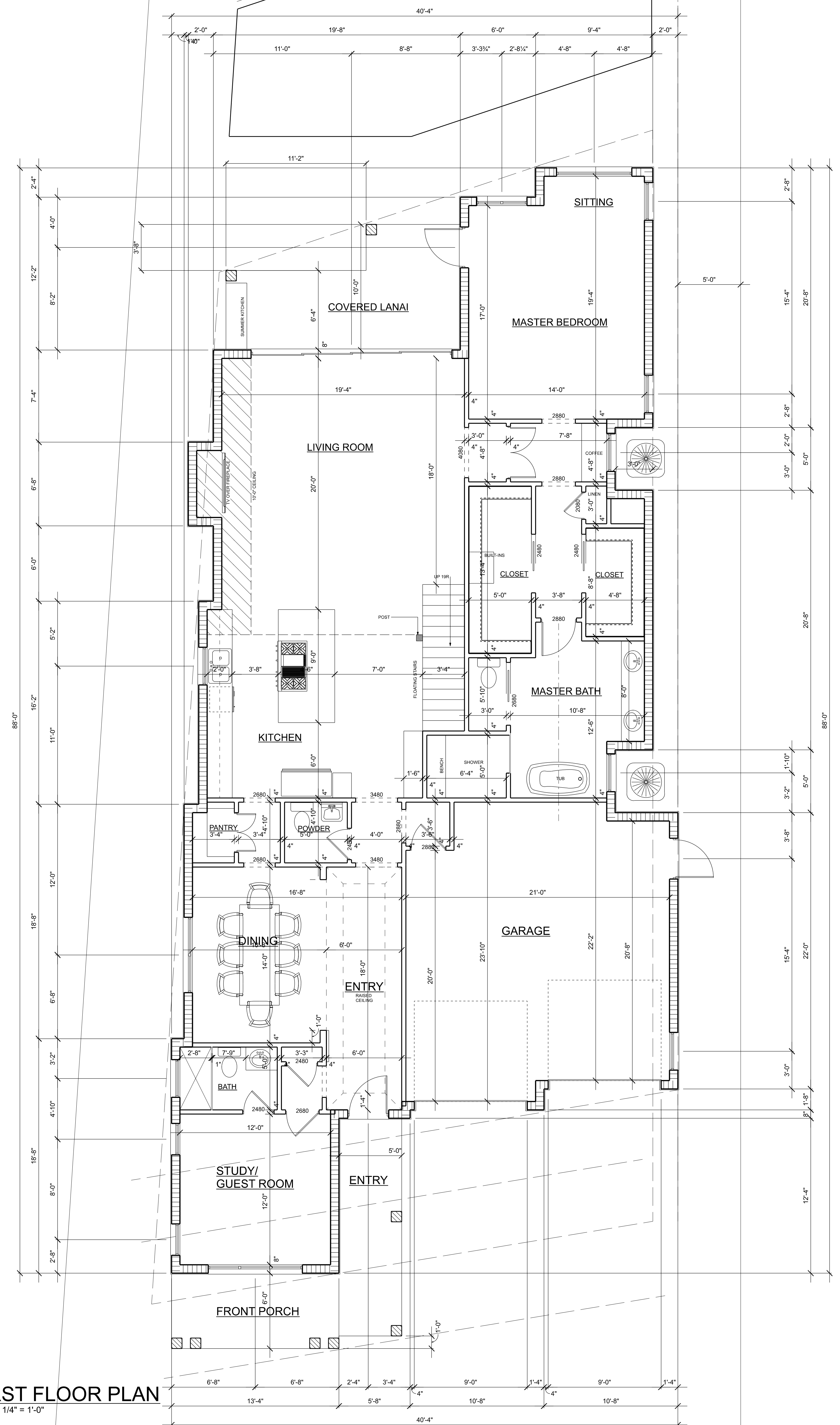
LOT AREA	9104 SF
SETBACKS	
FRONT	25'
REAR	70'
SIDE HOUSE	7'
SIDE-2ND FLOOR	10'
SIDE-GARAGE	5'
ALLOWED IMPERVIOUS	4562 SF
PROPOSED IMPERVIOUS (BELOW)	
HOUSE COVERAGE	2908 SF
DRIVE/WALK	722 SF
POOL/DECK	580 SF
A/C PADS	18 SF
TOTAL LOT COVERAGE	4228 SF

DRAWN: CMG
DATE: 12/12/18

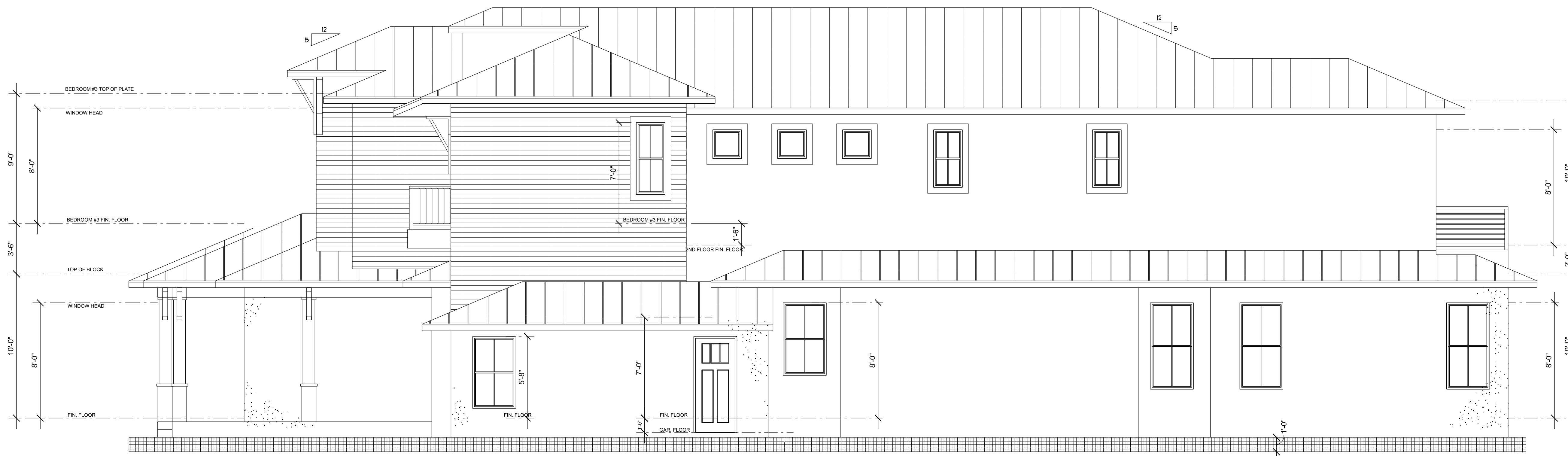


SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

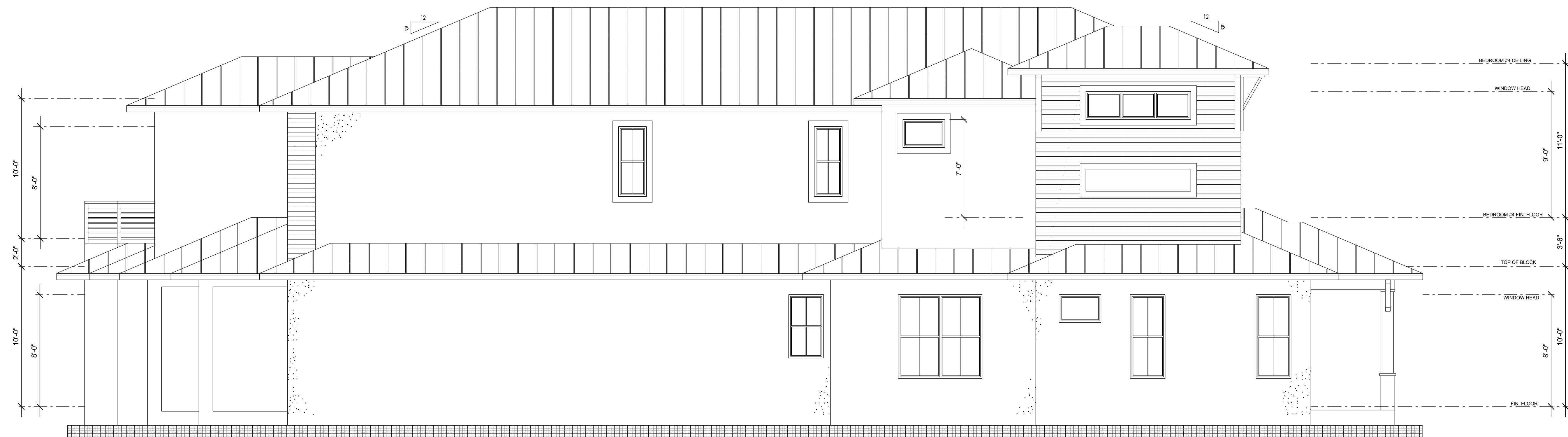
FIRST FLOOR A/C	2095 SF
SECOND FLOOR A/C	2060 SF
(INCLUDES 2-STORY LR (400 SF))	
TOTAL A/C	4155 SF
GARAGE/STORAGE	498 SF
TOTAL F.A.R.	4653 SF
FRONT PORCH	170 SF
COVERED LANAI	145 SF
BALCONY	45 SF
TOTAL UNDER ROOF	5013 SF



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



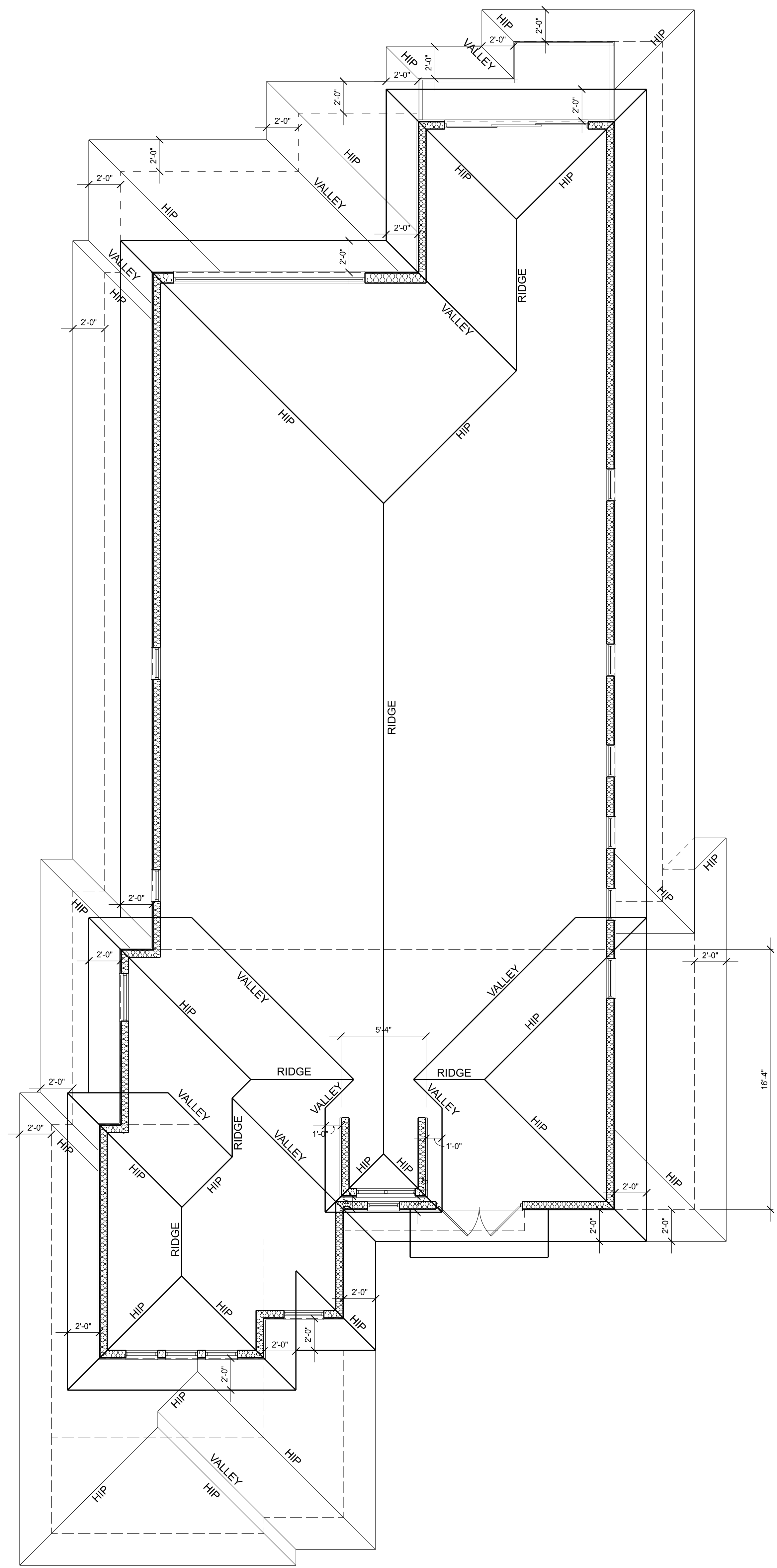
LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



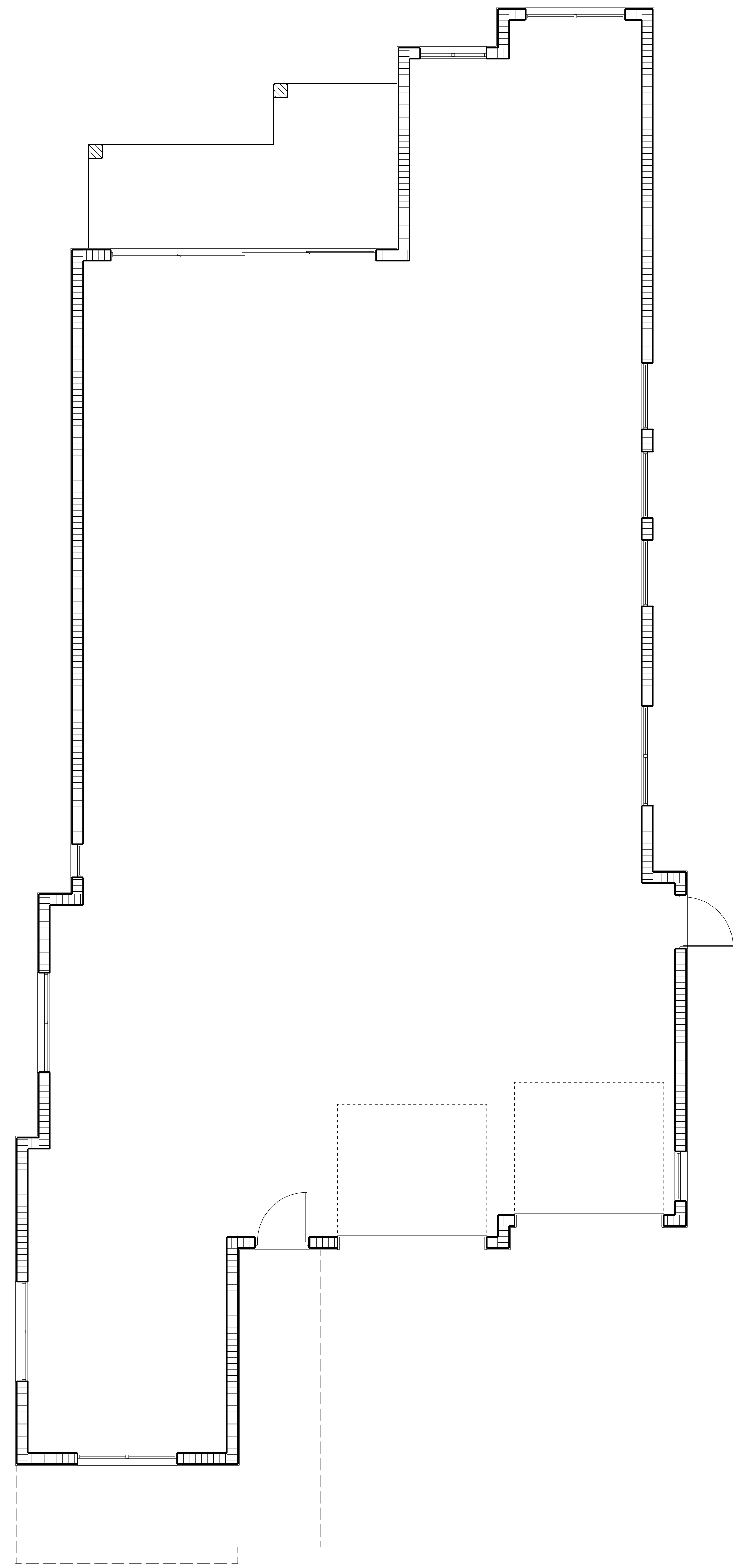
REAR ELEVATION
SCALE: 1/4" = 1'-0"



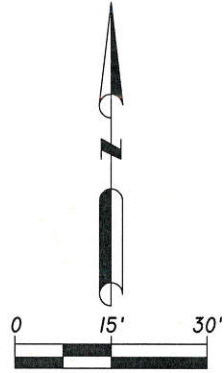
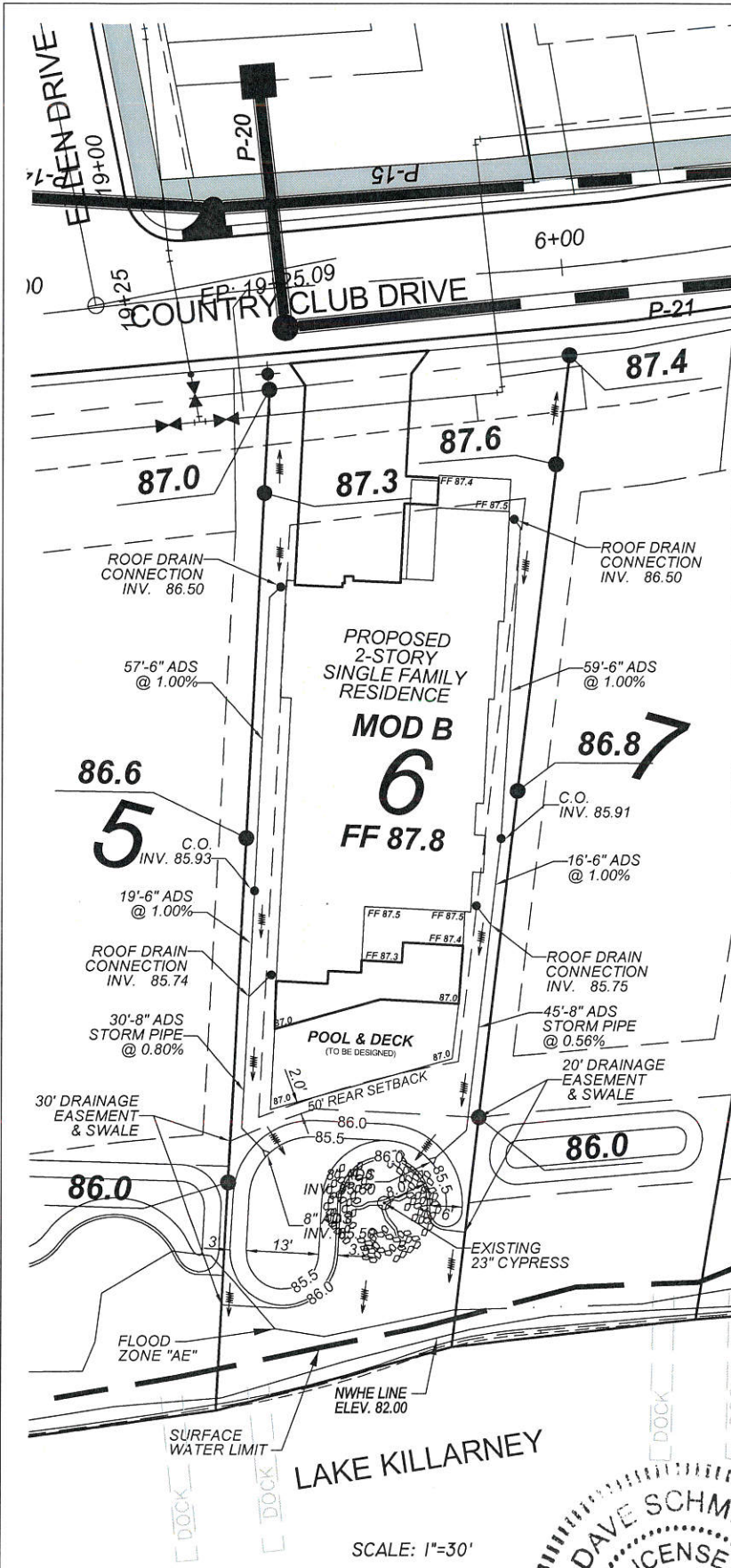
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



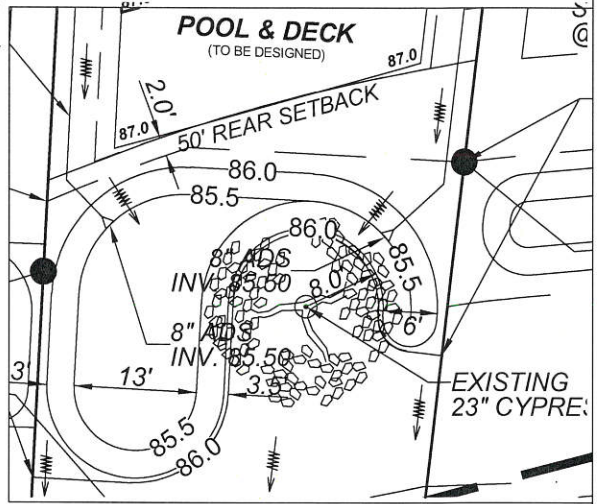
ROOF PLAN
SCALE: 1/4" = 1'-0"



PRECAST LINTEL PLAN
SCALE: 1/4" = 1'-0"



SCALE: 1"=30'
SURVEY DATUM: NAVD 88



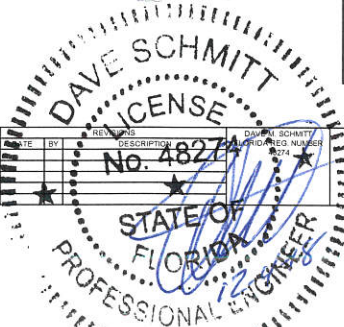
REAR SETBACK ENLARGEMENT
SCALE: 1"=20'

NOTE:
2ND STORY ROOF WILL RUNOFF TO 1ST
STORY ROOF, THEN BE COLLECTED BY
GUTTERS.

LOT 6 YARD SWALE CALCULATIONS

Basin:	Lot 6
Swale Shape:	Trapezoidal
Front Slope (H:V)	3 : 1
Back Slope (H:V)	3 : 1
Bottom Width (ft):	13
Swale Depth (ft):	0.5
Cross-sectional Area (sf):	8
Swale Length (ft):	60
Provided WQV (cf):	480
Provided WQV (Ac-ft)	0.011
Required WQV:	0.007 OK

IMPERVIOUS LOT AREA = 4526 S.F.



DRAINAGE MODIFICATION
LOT 6 - LAKE KILLARNEY
CITY OF WINTER PARK, FLORIDA

DATE: NOVEMBER 2018
PROJECT NO. DR-1
DRAWN BY: SLS
CHECKED BY: OMS
SCALE: 1"=30'
SHEET: 1 OF 1

F:\D1\CAD\Projects\Final\DR-1 - 1 LOT 6 DRAIN MOD PLAN.dwg, 12/4/2018 12:25:33 PM

DSI
DAVE SCHMITT
ENGINEERING, INC.
12301 LAKE UNDERHILL ROAD
SUITE 241
CIRLEWOOD, FL 32826
407-207-9088 FAX 407-207-9089
Certification of Authorization #27471

SCALE: 1"=30'

LAKE KILLARNEY SHORES

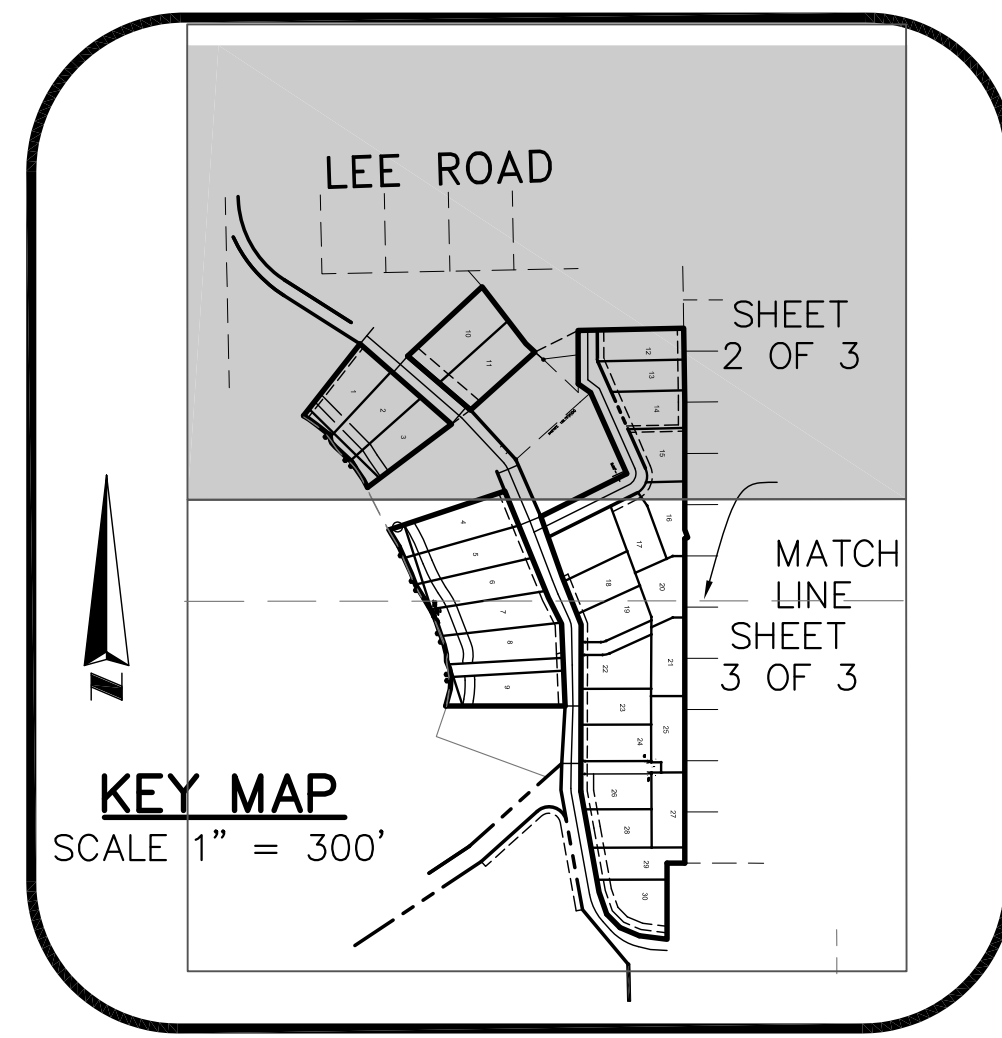
SHEET 2 OF 3

PLAT BOOK

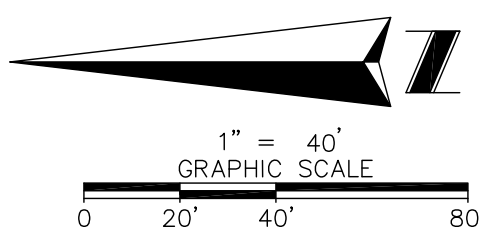
PAGE

BEING A REPLAT OF PORTIONS OF LOTS 1 AND 4, LORD'S SUBDIVISION, AS RECORDED IN PLAT BOOK P, PAGE 89,
OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, SECTION 1, TOWNSHIP 22 SOUTH, RANGE 29 EAST
CITY OF WINTER PARK, ORANGE COUNTY, FLORIDA

NOTE:
FOR LEGAL DESCRIPTION AND NOTES SEE SHEET 1 OF 3.



Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord
C1	4.17'	10.00'	023°53'31"	S12°05'08"E	4.14'
C2	30.56'	20.00'	087°32'23"	S19°44'18"W	27.67'
C3	22.46'	30.00'	042°53'42"	S02°35'03"E	21.94'
C4	20.65'	30.00'	039°25'45"	S38°34'40"W	20.24'
C5	45.84'	30.00'	087°32'23"	S19°44'18"W	41.51'
C6	2.61'	25.00'	005°59'07"	N46°06'31"W	2.61'
C7	12.60'	36.00'	020°02'52"	N33°03'59"W	12.53'
C8	4.11'	200.00'	001°10'42"	S21°26'01"E	4.11'
C23	31.78'	160.18'	011°21'59"	N30°43'49"W	31.72'
C24	28.83'	145.18'	011°22'36"	N30°55'42"W	28.78'
C25	47.26'	254.94'	010°37'21"	N27°00'29"W	47.20'
C26	50.50'	269.94'	010°43'06"	N27°04'43"W	50.42'
C27	31.73'	288.20'	006°18'28"	N28°47'38"W	31.71'
C28	33.27'	273.20'	006°58'38"	N29°12'50"W	33.25'
C29	3.24'	10.00'	018°35'05"	S09°25'55"E	3.23'
C30	0.93'	10.00'	005°18'27"	S21°22'40"E	0.93'
C31	2.73'	30.00'	005°12'57"	N60°54'01"E	2.73'

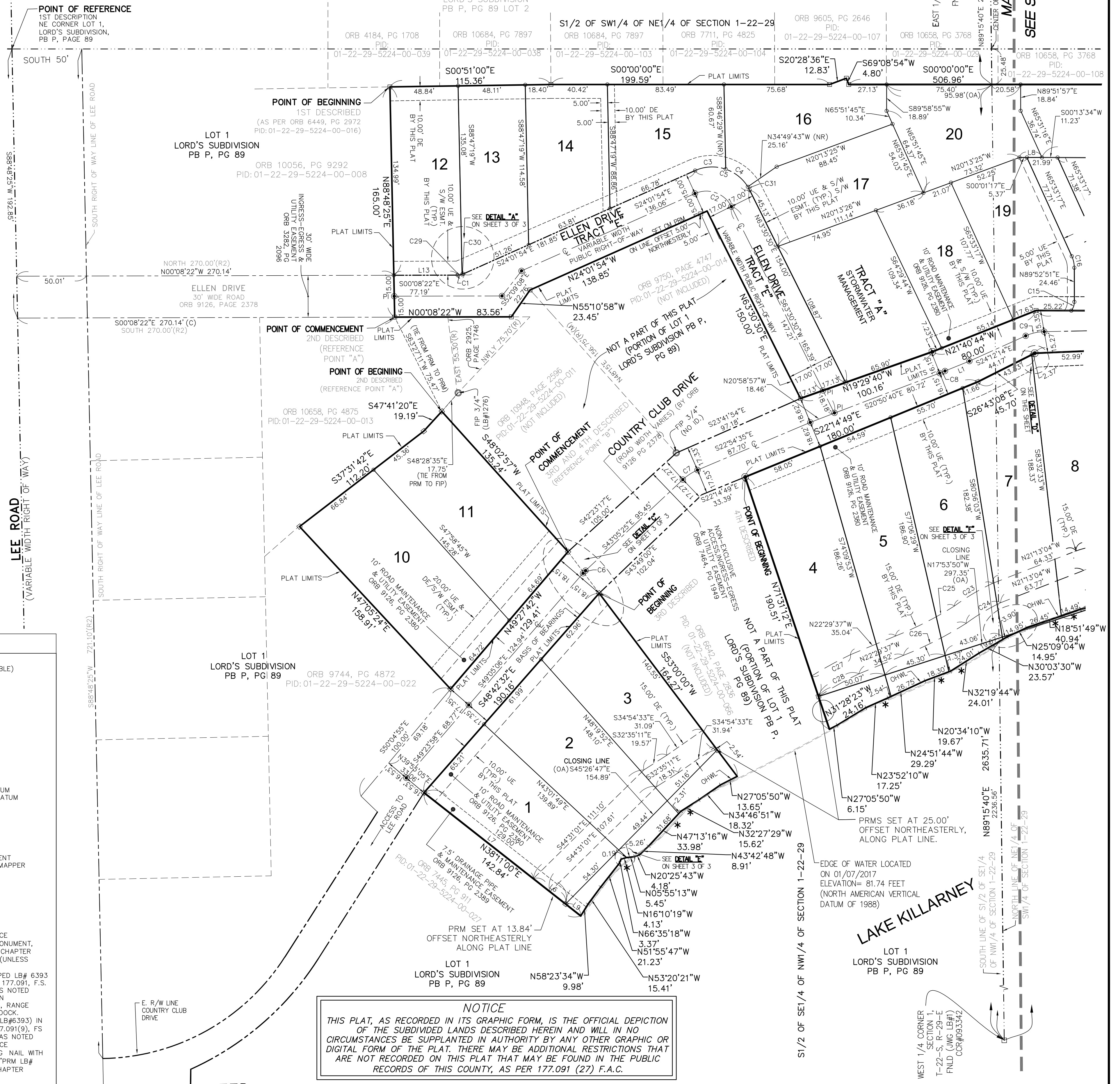


Line Table		
Line #	Direction	Length
L1	S22°01'22"E	18.87'
L5	N86°49'37"W	26.07'
L6	N38°11'00"E	29.39'
L7	N38°11'00"E	99.61'
L8	S00°01'17"E	16.12'
L9	N38°11'00"E	13.84'
L13	S00°08'22"E	45.70'



LEGEND

- (C) CALCULATED DATA
- C# CURVE NUMBER (SEE CURVE TABLE)
- CB CHORD BEARING
- CCR CERTIFIED CORNER RECORD
- CHD CHORD LENGTH
- C# CENTER LINE
- CM CONCRETE MONUMENT
- DE DRAINAGE EASEMENT
- ID IDENTIFICATION
- EW EDGE OF WATER
- F.A.C. FLORIDA ADMINISTRATIVE CODE
- FIP FOUND IRON PIPE
- FNLD FOUND NAIL AND DISK
- FPC FLORIDA POWER CORPORATION
- L# LINE NUMBER (SEE LINE TABLE)
- LB# LICENSE BUSINESS NUMBER
- LS LICENSED SURVEYOR
- NAVD NORTH AMERICAN VERTICAL DATUM
- NGVD NATIONAL GEODETIC VERTICAL DATUM
- (NR) NON RADIAL
- OHWL ORDINARY HIGH WATER LINE
- ORB OFFICIAL RECORDS BOOK
- PB PLAT BOOK
- PC POINT OF CURVATURE
- PG PAGE
- PI POINT OF INTERSECTION
- PRM PERMANENT REFERENCE MONUMENT
- PSM PROFESSIONAL SURVEYOR AND MAPPER
- PT POINT OF TANGENCY
- (R2) PER ORB 9126, PAGE 2378
- R/W RIGHT OF WAY
- SEC SECTION
- S/W SIDEWALK
- ESMT. SIDEWALK EASEMENT
- TYP. TYPICAL
- UE UTILITY EASEMENT
- SET PRM (PERMANENT REFERENCE MONUMENT) 4"x4" CONCRETE MONUMENT, LB#6393 IN ACCORDANCE WITH CHAPTER 177.091, F.S. FOUND CONCRETE MONUMENT AS NOTED OTHERWISE (NOTED)
- SET PCP NAIL AND DISK, STAMPED LB# 6393 IN ACCORDANCE WITH CHAPTER 177.091, F.S. FOUND CONCRETE MONUMENT AS NOTED OTHERWISE (NOTED)
- ✕ INDICATES CHANGE OF DIRECTION
- 29-27-27 SECTION, TOWNSHIP, RANGE PROPOSED LOCATION OF BOAT DOCK
- SET 1/2" IRON ROD AND CAP (LB#6393) IN ACCORDANCE WITH CHAPTER 177.091(9), F.S. FOUND IRON PIPE MOUNTMENT AS NOTED OTHERWISE (NOTED)
- SET PRM (PERMANENT REFERENCE MONUMENT) 1/8" DIAMETER MAG. NAIL WITH 1 1/4" BRASS DISK INSCRIBED "PRM LB# 6393" IN ACCORDANCE WITH CHAPTER 177.091(8), FLORIDA STATUTES.



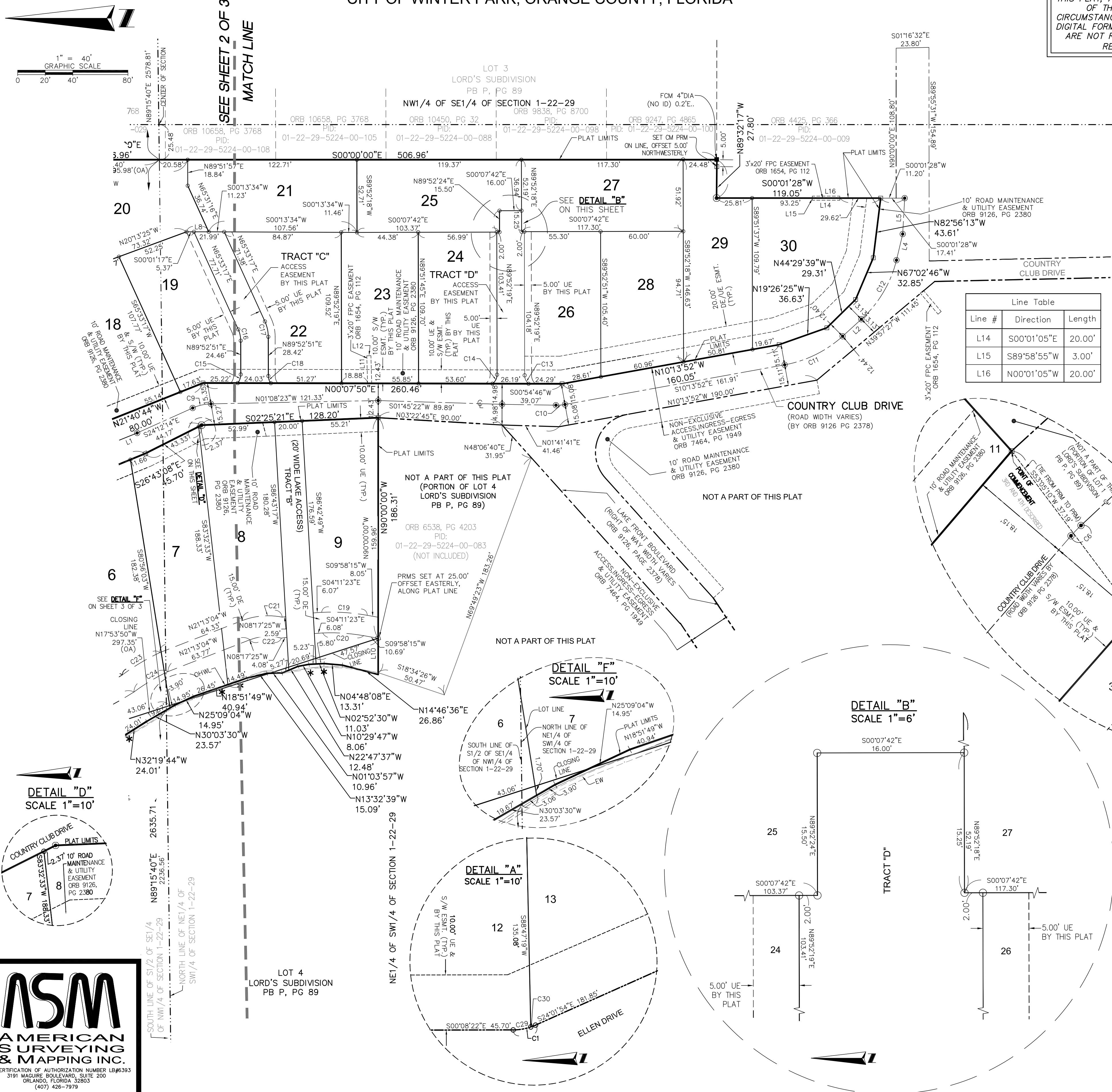
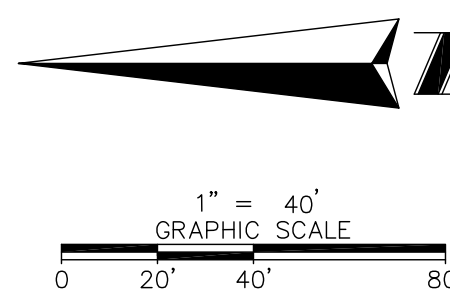
NOTICE
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AS PER 177.091 (27) F.A.C.

LAKE KILLARNEY SHORES

BEING A REPLAT OF PORTIONS OF LOTS 1 AND 4, LORD'S SUBDIVISION, AS RECORDED IN PLAT BOOK P, PAGE 89, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, SECTION 1, TOWNSHIP 22 SOUTH, RANGE 29 EAST CITY OF WINTER PARK, ORANGE COUNTY, FLORIDA

NOTE:
FOR LEGAL DESCRIPTION AND NOTES SEE SHEET 1 OF 3.
FOR LEGEND SEE SHEET 2 OF 3.

NOTICE
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AS PER 177.091 (27) F.A.C.



Curve Table

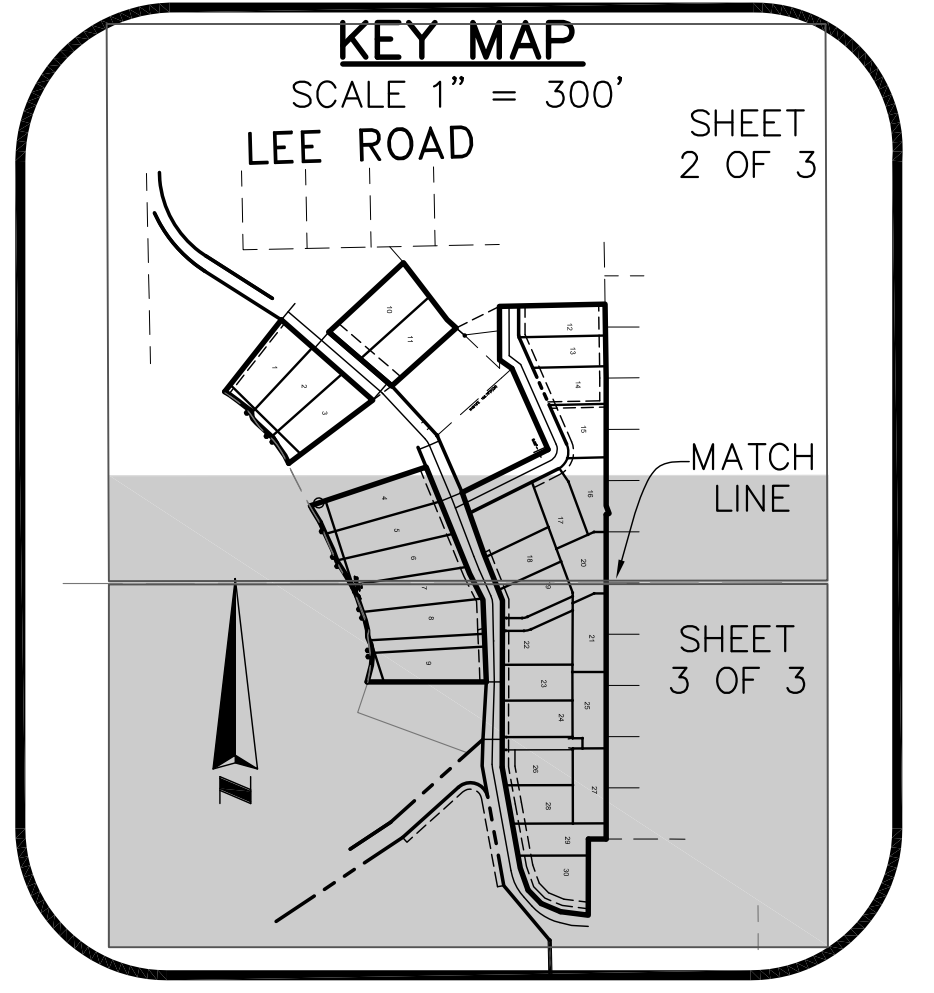
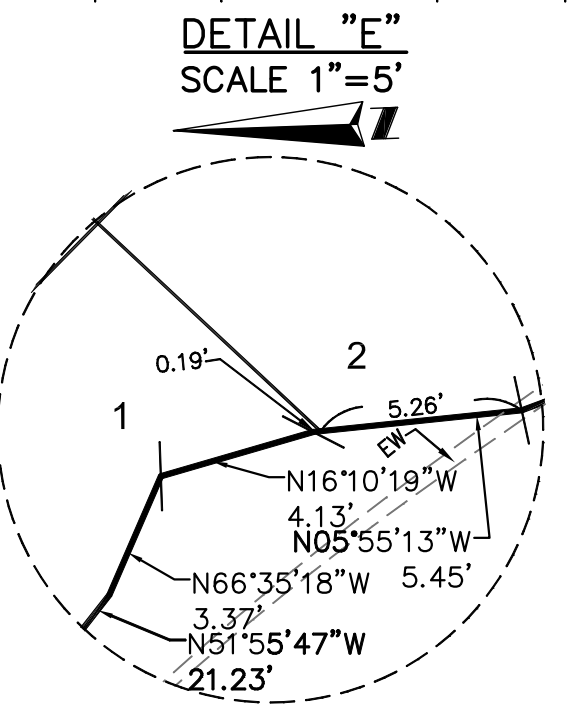
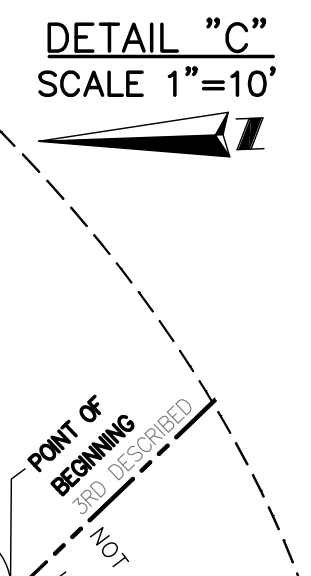
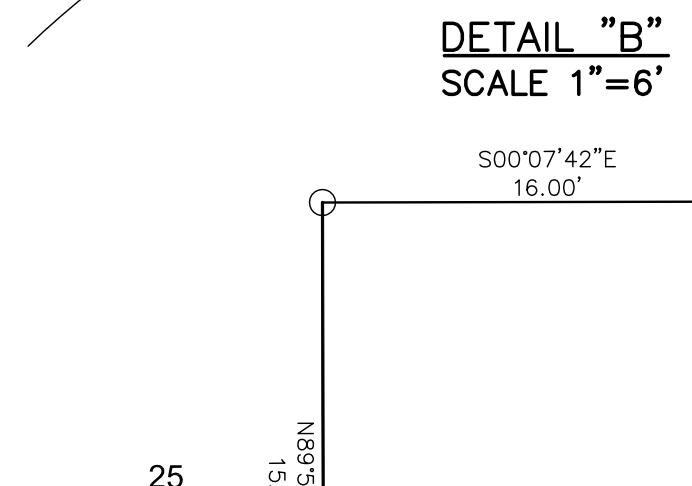
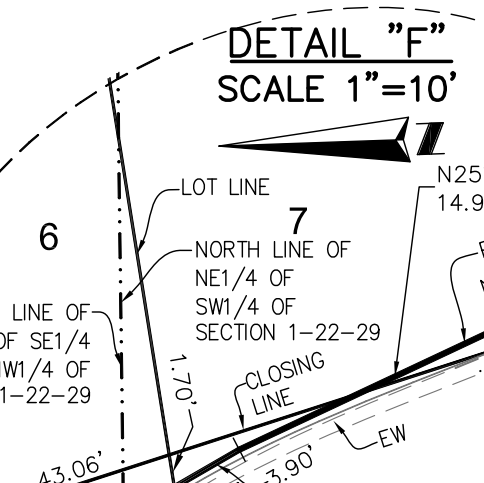
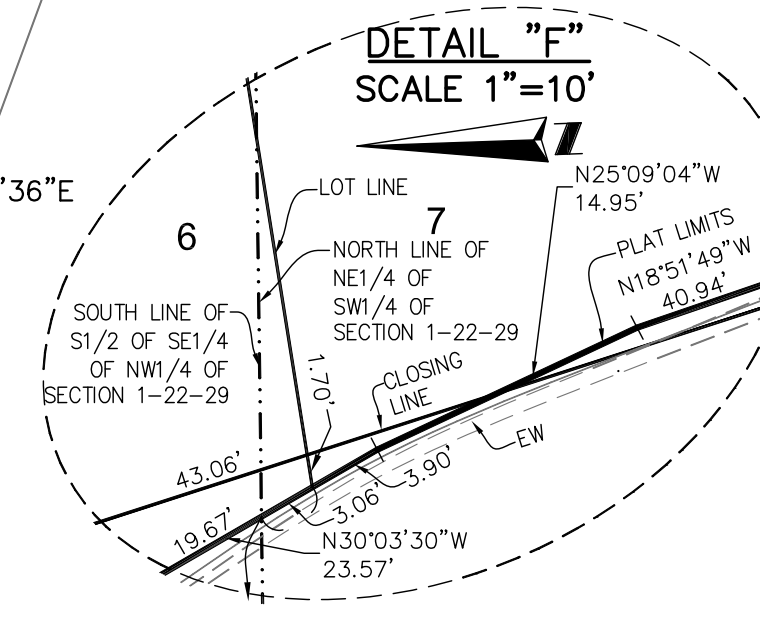
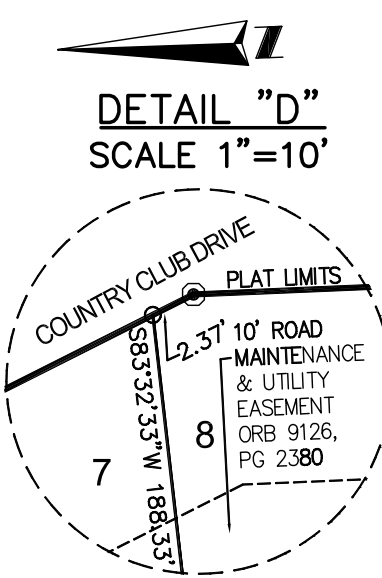
Curve #	Length	Radius	Delta	Chord Bearing	Chord
C1	4.17'	10.00'	023°53'31"	S12°05'08"E	4.14'
C6	2.61'	25.00'	005°59'07"	N46°06'31"W	2.61'
C9	13.69'	34.00'	023°30'50"	N12°40'18"W	13.59'
C10	6.61'	34.00'	011°08'38"	S04°39'33"E	6.60'
C11	47.47'	85.00'	031°59'54"	S26°13'49"E	46.86'
C12	51.01'	85.00'	034°22'53"	S59°25'12"E	50.24'
C13	6.97'	7.94'	050°20'50"	S65°09'53"W	6.75'
C14	7.63'	7.99'	054°44'04"	S62°49'27"E	7.35'
C15	6.79'	9.99'	038°54'32"	S70°39'53"E	6.66'
C16	8.49'	20.03'	024°17'24"	N77°43'04"E	8.43'
C17	11.46'	27.00'	024°19'34"	N77°43'04"E	11.38'
C18	5.64'	8.00'	040°25'01"	S70°43'46"W	5.53'
C19	33.33'	152.51'	012°31'13"	N03°44'48"E	33.26'
C20	29.83'	137.51'	012°25'52"	N03°47'28"E	29.78'
C21	29.27'	52.26'	032°05'10"	N04°48'58"W	28.89'
C22	23.19'	37.26'	035°39'47"	N02°57'42"W	22.82'
C29	3.24'	10.00'	018°35'05"	S09°25'55"E	3.23'
C30	0.93'	10.00'	005°18'27"	S21°22'40"E	0.93'

Line Table

Line #	Direction	Length
L14	S00°01'05"E	20.00'
L15	S89°58'55"W	3.00'
L16	N00°01'05"W	20.00'

Line Table

Line #	Direction	Length
L2	N42°13'46"W	18.37'
L4	N76°36'39"W	19.06'
L5	N86°49'37"W	26.07'
L6	N38°11'00"E	29.39'
L8	S00°01'17"E	16.12'
L10	N90°00'00"W	26.35'
L11	N88°18'01"E	20.00'
L12	S01°41'59"E	3.00'



Existing Buildings Inside and Within 200' of Killarney Shores

Property Address	Existing Setback (ft)
638 Country Club Drive	52
632 Country Club Drive	50
624/626 Country Club Drive	51.8
618/620 Country Club Drive	75.6
612 Country Club Drive	79.7
604/606 Country Club Drive	71.4
600/602 Country Club Drive	55
532/534 Country Club Drive	85.8
524 Country Club Drive	99.5
518 Country Club Drive	85.5
605 Lakefront Boulevard	50
595 Lakefront Boulevard	45

Existing Lakefront Setback Averages within 200' Per Lot

Lot 1

Property Address	Existing Setback (ft)
612 Country Club Drive	79.7
618/620 Country Club Drive	75.6
624/626 Country Club Drive	51.8
632 Country Club Drive	50
638 Country Club Drive	52
Average	61.82

Lot 2

Property Address	Existing Setback (ft)
604/606 Country Club Drive	71.4
612 Country Club Drive	79.7
618/620 Country Club Drive	75.6
624/626 Country Club Drive	51.8
632 Country Club Drive	50
638 Country Club Drive	52
Average	63.4

Lot 3

Property Address	Existing Setback (ft)
604/606 Country Club Drive	71.4
612 Country Club Drive	79.7
618/620 Country Club Drive	75.6
624/626 Country Club Drive	51.8
632 Country Club Drive	50
Average	65.7

Lot 4

Property Address	Existing Setback (ft)
600/602 Country Club Drive	55
604/606 Country Club Drive	71.4
612 Country Club Drive	79.7
618/620 Country Club Drive	75.6
Average	70.4

Lot 5

Property Address	Existing Setback (ft)
524 Country Club Drive	99.5
600/602 Country Club Drive	55
604/606 Country Club Drive	71.4
612 Country Club Drive	79.7
618/620 Country Club Drive	75.6
Average	76.2

Lots 6 & 7

Property Address	Existing Setback (ft)
518 Country Club Drive	85.5
524 Country Club Drive	99.5
600/602 Country Club Drive	55
604/606 Country Club Drive	71.4
612 Country Club Drive	79.7
Average	78.2

Lot 8

Property Address	Existing Setback (ft)
605 Lakefront Boulevard	50
518 Country Club Drive	85.5
524 Country Club Drive	99.5
600/602 Country Club Drive	55
604/606 Country Club Drive	71.4
Average	72.3

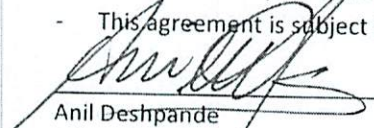
Lot 9

Property Address	Existing Setback (ft)
605 Lakefront Boulevard	50
518 Country Club Drive	85.5
532/534 Country Club Drive	85.8
600/602 Country Club Drive	55
595 Lakefront Boulevard	45
Average	64.3

Letter of Agreement

Lake Killarney, LLC (the Developer of Lake Killarney Shores) and David Robold (owner of 612 and 518 Country Club Drive, Winter Park, 32789) agree to the following regarding the setbacks and characteristics of the homes to be built on Lake Killarney as part of the Lake Killarney Shores development:

- Lot 1: Rear Setback 60'
- Lot 2: Rear Setback 61'
- Lot 3: Rear setback of 70' on the side adjacent to 612 Country Club Drive. Front setback reduced to 20'. Pool will be located furthest from 612 Country Club Drive and shall be at an elevation even to or recessed below ground level to avoid obstruction of views from 612 Country Club Drive.
- Lot 4: Rear setback 70'. Front setback reduced to 20'. Pool will be placed furthest from 612 Country Club Drive to avoid obstruction of views from 612 Country Club Drive.
- Lots 5-8: Rear setback of 70'.
- Lot 9: Rear setback of 85'. Front setback reduced to 20'. Pool will be located furthest from 518 Country Club Drive and shall be even to or recessed below ground level to avoid obstruction of views from 518 Country Club Drive.
- Pools can be placed between the agreed rear setback and the 50' lakefront setback.
- Pools on lots 3, 4, 8, and 9 will be at an elevation even to or recessed below ground level as necessary to insure those backyards are not at higher elevation compared to 612 and 518 Country Club Drive.
- Solid fence or privacy fence shall not extend beyond the rear corners of the house indoor living area at rear setback line. Beyond that point, the fence will be see-through picket fence.
- There will be no pool enclosures, cabanas, summer-kitchens, or similar type construction in the pool area or beyond the rear corners of the house indoor living area.
- Underground utilities will be attached to 518 and 612 Country Club Drive at no additional cost.
- All curbing will be replaced along right-of-way.
- Speed humps will be located in right-of-way north of the intersection of Country Club Drive and Lake Front Drive. However, they will not obstruct ingress/egress to the driveways located at 518 and 612 Country Club Drive.
- This agreement is subject to final approval by the Winter Park City Commission.


Anil Deshpande
Lake Killarney, LLC
5401 S. Kirkman Road, Suite 640
Orlando, Florida 32819

Date: 9/6/2018


David Robold
612 Country Club Drive
Winter Park, Florida 32789

Date: 9-11-18

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
January 8, 2019**

SPR 19-02 REQUEST OF FRANK HILD FOR APPROVAL TO CONSTRUCT A NEW, ONE-STORY, 3,552 SQUARE FOOT, SINGLE-FAMILY HOME LOCATED AT 2815 WRIGHT AVENUE ON LAKE FOREST, ZONED R-1A.

Frank Hild (property owner) is requesting site plan approval to construct a new, one-story, 3,552 square-foot, single-family home at 2815 Wright Avenue, which is located on Lake Forest, and is zoned R-1A.

The buildable area of this property measures approximately 11,647 square feet, and is occupied by an existing single-family home that is to be demolished. The proposed one-story home will be total of 3,552 square feet, which yields a Floor Area Ratio (FAR) of 31%. This new home will have impervious lot coverage of 4,735 square feet or 41%. Both the FAR and impervious coverages are within the maximum the code permits, which are 38% and 50%, respectively.

TREE PRESERVATION: The Code direction on water front lots is "to preserve existing trees to the degree reasonably possible." The applicant has met onsite with the city's Urban Forestry Department to discuss the two oak trees that are planned to be removed. The Urban Forestry Department has approved removing these two trees, and the remaining trees onsite are to be saved.

VIEW FROM THE LAKE: The Code direction is to minimize the height and extent of stem walls or retaining walls facing the lake. Generally, the policy is not to permit walls/swimming pool decks facing the lake in excess of three feet in height. This lot does have some grade drop, but the house and rear deck have been designed as to not exceed the three foot height rule.

VIEW OF NEIGHBORS: The Code direction is to minimize the degradation of traditional views across properties by new houses, additions, second story additions, etc. alongside property lines toward the lake that may block traditional views. This home will be constructed behind the 50 foot lakefront setback, and will not block the lake views of the adjoining properties. The applicant is requesting a front setback variance of 44.5 feet in lieu of the required 48 feet to move the home further away from the 50 foot lakefront setback and the large grade drop near the rear of the property. The owners of both adjoining properties to the east and west have provided letters of approval of this variance.

STORM WATER RETENTION: The zoning code requires retention of storm water so that storm water flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. Typically, this retention requirement is accomplished by the creation of a depressed swale area across the waterfront of about one foot in depth. The amount of impervious surface determines the need for the depth of the swale. The

applicant is proposing a berm near the lakefront which, in combination with the slope of the lot, will retain the storm water and meets the code requirements.

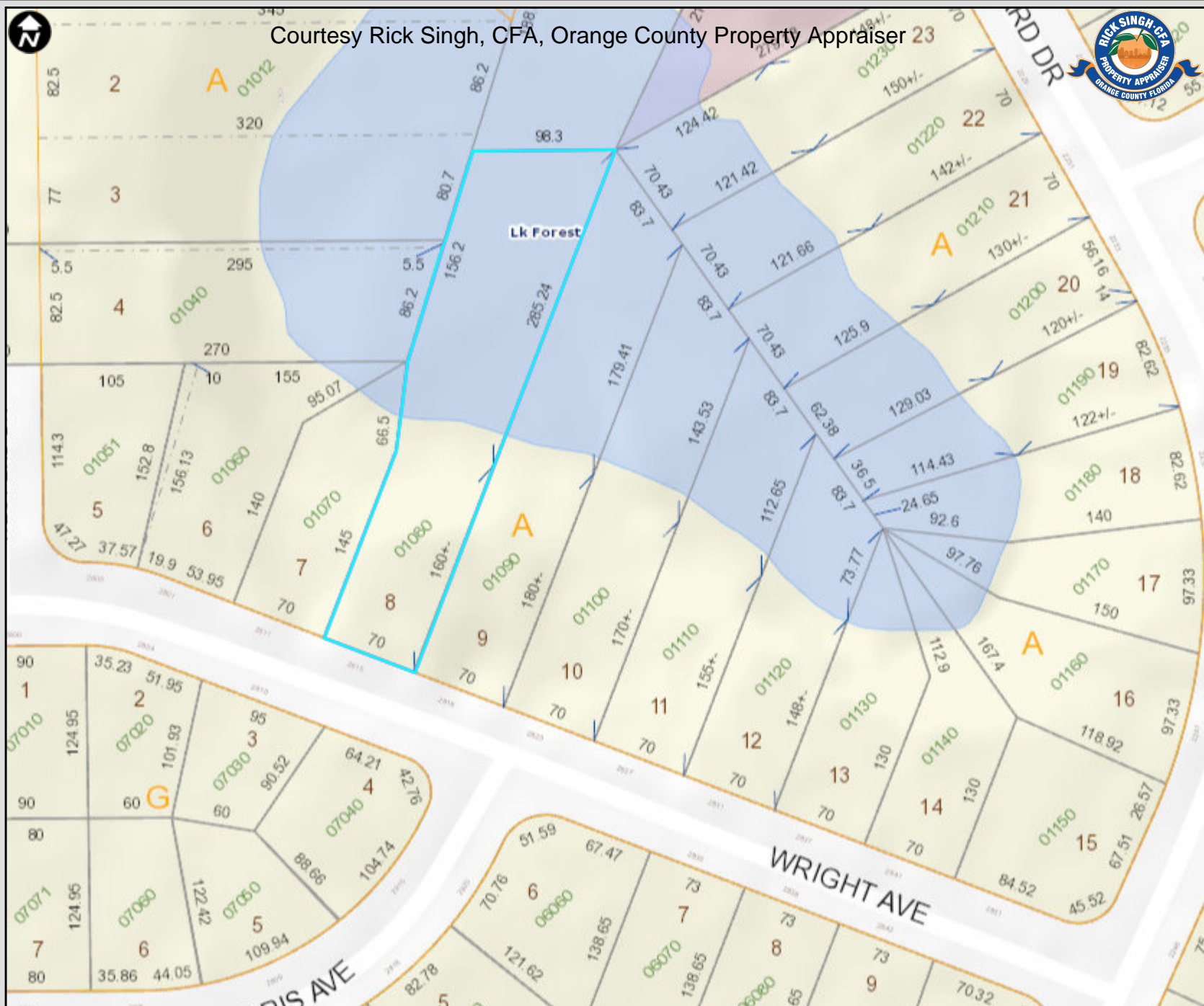
SUMMARY: Overall, the plans meet the intent of the lakefront review criteria. Staff does not see any significant concerns with the proposed home as presented.

STAFF RECOMMENDATION IS FOR APPROVAL

Courtesy Rick Singh, CFA, Orange County Property Appraiser



- Florida Turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- One Way
- Brick Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial/Institutional
- Governmental/Institutional/Misc
- Commercial/Industrial/Vacant Land
- Hydro
- Waste Land
- Agricultural Curtilage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- Block Number
- Lot Number
- Parcel Number
- Parcel Address
- Parcel Dimension



Created: 12/20/2018 8:24

This map is for reference only and is not a survey

Courtesy Rick Singh, CFA, Orange County Property Appraiser



- Florida turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- One Way
- Brick Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial/Institutional
- Governmental/Institutional/Misc
- Commercial/Industrial Vacant Land
- Hydro
- Waste Land
- Agricultural Curtilage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- E Block Number
- 6 Lot Number
- 06060 Parcel Number
- 3106 Parcel Address
- 111.9 Parcel Dimension



Created: 12/20/2018 8:24 Aerial 2018

This map is for reference only and is not a survey

BOUNDARY SURVEY

DESCRIPTION (As Furnished)

LOT 8, BLOCK A, LAKE FOREST PARK, according to the plat thereof as recorded in Plat Book S, Page 20 of the Public Records of Orange, Florida,

LOT 24 BLOCK A

N87°21'19"E 96.07'(c)
S89°18'20"W 98.3'(p)

LOT 23
BLOCK A

LOT 3
BLOCK A

156.20'(p)

LAKE FOREST

LOT 4
BLOCK A

N16°51'30"E

LOT 8
BLOCK A

LOT 9
BLOCK A

WITNESS MONUMENT
FOUND 1/2" IRON ROD &
CAP STAMPED LB # 4596
EDGE OF WATER IS 5' N.

FOUND 4" X 4"
CONCRETE MONUMENT
NO IDENTIFICATION

END OF FENCE
IS 0.6' W. (OFF)

LOT 7
BLOCK A

RES #
2811

FENCE CORNER
IS 0.1' E. (ON)

FOUND 4" X 4"
CONCRETE MONUMENT
NO IDENTIFICATION

WRIGHT AVENUE
60' PLATTED RIGHT OF WAY
18' ASPHALT ROADWAY

DRIVE

FOUND 1" IRON PIPE &
CAP STAMPED LB # 3778

FOUND 1" IRON PIPE
& CAP NOT LEGIBLE

FOUND 5/8" IRON ROD &
CAP STAMPED LB # 6724

WITNESS MONUMENT
FOUND 1" IRON PIPE &
CAP STAMPED LB # 3778
FENCE CORNER IS
0.8' N. AND 1.0' E.
EDGE OF WATER IS 22' N.

RES #
2823

RES #
2807

RES #
2811

RES #
2819

RES #
2819

RES #
2819

RES #
2819

RES #
2819

RES #
2819

RES #
2819

RES #
2819

RES #
2819

RES #
2819

RES #
2819

RES #
2819

RES #
2819

RES #
2819

RES #
2819

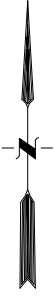
RES #
2819

RES #
2819

RES #
2819

RES #
2819

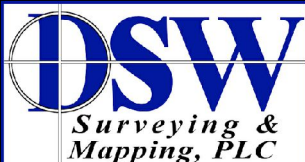
SCALE: 1" = 40'



Based on the FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, Orange County, Florida, Community Panel Number 120188 0255 F, last dated 09/25/2009, it appears from a scaling of said map that the land described hereon is shown to be in Zone "X", (AREA OF MINIMAL FLOODING)
Said FEMA map is not a Survey and no responsibility is taken for the information contained in or the accuracy of the above referenced map.

- This Plat represents a Boundary Survey of the description as furnished DSW Surveying and Mapping, PLC. per client's instruction and makes no claims regarding ownership or rights of possession.
- Bearings shown hereon are based on the SOUTH line of Lot 8, Block A, Being N 69°08'33" W, PER PLAT.
- This surveyor has not searched the public records or abstracted the land shown hereon for easements, right of ways, covenants and restrictions or other pertinent documents which may be found in the public records of this county. This research was not included in the scope of services of this firm.
- The relative distance accuracy for boundary dimensions shown hereon is in excess of 1 Foot in 10,000 Feet.
- Underground improvements and utilities have not been located.
- This survey performed by DSW Surveying and Mapping, PLC. is for the singular use by the clients named hereon for the express stated purpose listed hereon. This drawing is not legally binding without my signature and original raised embossed seal. No third party is authorized to use this drawing in any way, and this surveyor shall not be held liable for damages resulting from the unauthorized or illegal executions or attempts at circumventing prescribed laws or professional fee payments. All plats, reports, notes, plans, specifications, computer files, field notes or data, other documents and instruments prepared by this firm as instruments of service shall remain the property of this firm. This firm shall retain all common law, statutory and other reserved rights, including the copyright thereto. The original of this drawing remains the property of DSW Surveying and Mapping, PLC.
- Building ties, Fence ties, Etc. are not to be used as a way to reconstruct boundary line location.

**** PLEASE VISIT OUR WEBSITE: WWW.DSWSURVEYS.COM ****



PROFESSIONAL SURVEYORS AND MAPPERS
CERTIFICATION OF AUTHORIZATION #LB7945
4500 ORANGE BOULEVARD, SUITE 1000
SANFORD, FLORIDA 32771
Phone: (352) 735-3796
JOB NO. 18.1018 Sheet 1 of 1

REVISIONS AND ADDITIONS

05-09-18	TOPOGRAPHICAL SURVEY & TREE LOCATION
05-17-18	ADD PLATTED EDGE OF WATER
05-23-18	ADD NEIGHBORING RESIDENCES AS REQUESTED

LEGEND:

○	= Light Pole	☼	= Fire Hydrant
△	= Delta (Intersection Angle)	■	DENOTES CONCRETE
R	= Radius	WF	= Wood Fence
L	= Arc Length	(M)	= Measured
U.E.	= Utility Easement	CBW	= Concrete Block Wall
PC	= Point of Curvature	PI	= Point of Intersection
PT	= Point of Tangency	CNF	= Corner Not Found
PB	= Plat Book	OHUL	= Overhead Utility Lines
PG (S)	= Page(s)	POB	= Point of Beginning
PRC	= Point of Reverse Curvature	POC	= Point of Commencement
CLF	= Chain Link Fence	(D)	= Per Description
A/C	= Air Conditioner	BSL	= Building Setback Line
R/W	= Right-Of-Way	○	= Denotes Utility Pole
PCC	= Point of Compound Curvature	⊙	= Well
(P)	= Per Plat	⊗	= Water Meter
⊙	= Centerline	⊠	= Covered
COL	= Column	CNA	= Corner Not Accessible
TYP	= Typical	(C)	= Calculated
RP	= Radius Point	D.U.E.	= Drainage & Utility Easement
(R)	= Radial		
(NR)	= Non Radial		
BFE	= Base Flood Elevation		

DRAWING: 18.1018-2b SURVEY DATE: 05/09/18

INTENDED DISPLAY SCALE: 1" = 40' DRAWN: HSY

EXPECTED USE OF THIS LAND: RESIDENTIAL PURPOSES

IT IS CERTIFIED THAT THE SURVEY REPRESENTED HEREON MEETS OR EXCEEDS THE STANDARDS OF PRACTICE AS SET FORTH IN CHAPTER 5-17 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

Douglas S. Willis
DOUGLAS S. WILLIS, Florida Registration # 5984 FOR THE FIRM:

NOTE:
ELEVATIONS SHOWN
HEREON ARE BASED ON
ORANGE COUNTY BENCH MARK
#BM-09-045 ELEVATION 108.54' NAVD 88

CERTIFIED TO:
CLARKSON CONCEPTS, INC.



60' PLATTED RIGHT OF WAY
18' ASPHALT ROADWAY

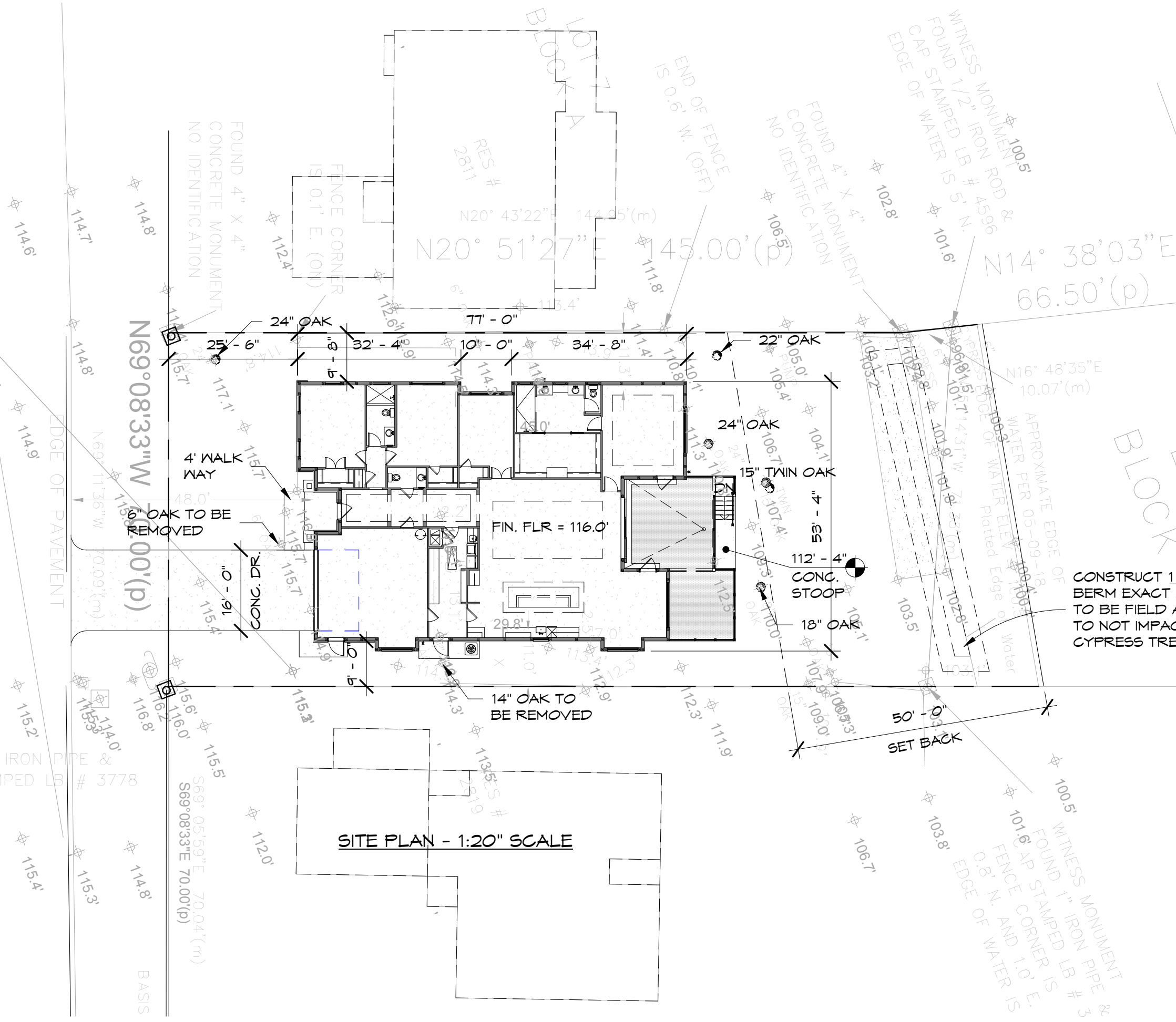
WRIGHT AVENUE

N69°08'33"W
70.00'(p)

BASIS

S69°05'59"E 70.04'(m)
S69°08'33"E 70.00'(p)

SITE PLAN - 1:20" SCALE



FOUND 4" X 4" CONCRETE MONUMENT NO IDENTIFICATION

FENCE CORNER IS 0.1' E. (ON)

RES # 2811

END OF FENCE IS 0.6' W. (OFF)

FOUND 4" X 4" CONCRETE MONUMENT NO IDENTIFICATION

WITNESS MONUMENT FOUND 1/2" IRON ROD & CAP STAMPED LB # 4596 EDGE OF WATER IS 5' N.

N14° 38' 03" E 66.50'(p)

N16° 48' 35" E 10.07'(m)

CONSTRUCT 1 FEET HIGH BERM EXACT LOCATION TO BE FIELD ADJUSTED TO NOT IMPACT EXISTING CYPRESS TREES

FOUND 1" IRON PIPE & CAP STAMPED LB # 3778

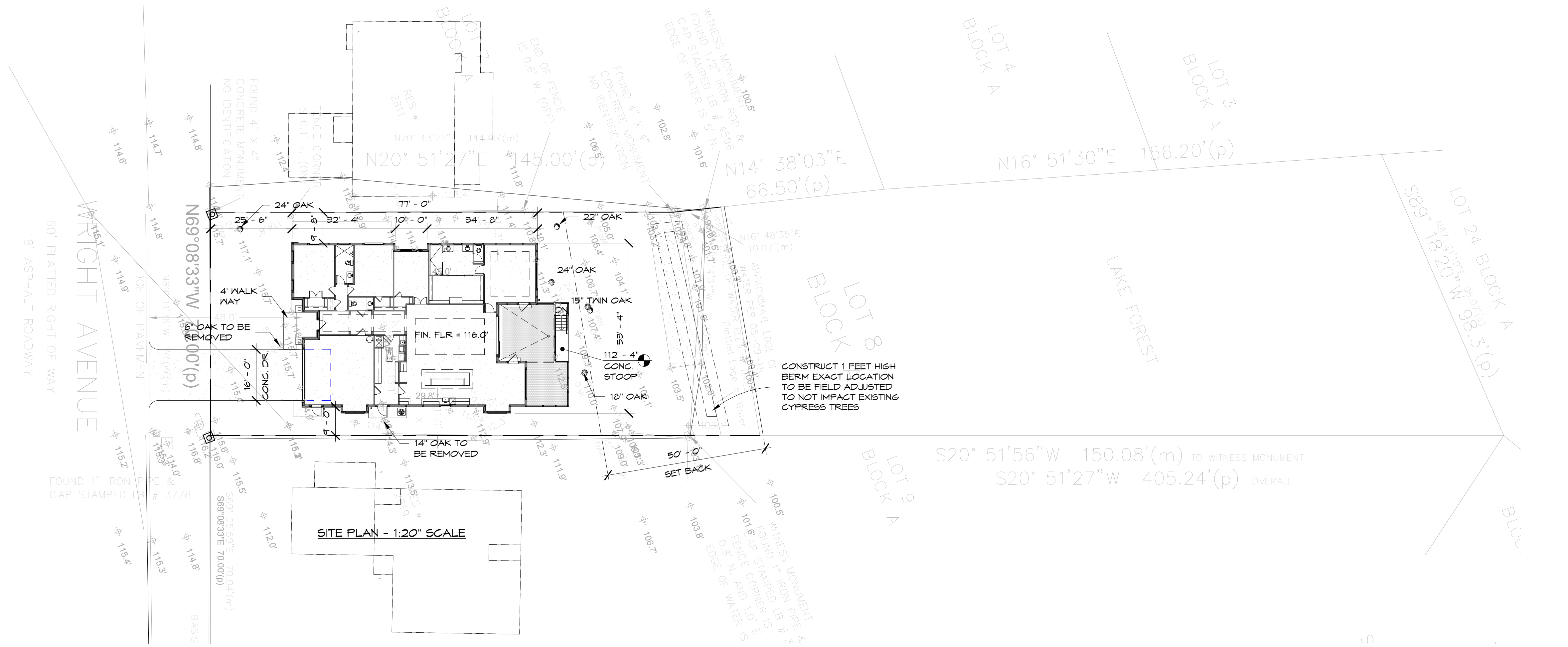
WITNESS MONUMENT FOUND 1" IRON PIPE & CAP STAMPED LB # 3778 FENCE CORNER IS 0.8' N. AND 1.0' E. EDGE OF WATER IS

LOT 4
BLOCK A

LOT 8
BLOCK

LOT 6
BLOCK A

S20° 51' 56" W
S20° 51'



SITE PLAN
1" = 20'-0"

FLOOR AREA RATIOS:

TOTAL LOT AREA:	31,336 SF
BUILDING FAR:	
FLOOR AREA:	3,033 SF
1 CAR GARAGE:	519 SF
TOTAL:	3,552 SF
MAX ALLOWED:	5,200 SF
MAX ALLOWED:	(43%)
PROVIDED:	(40.51%)

PERVIOUS/ IMPERVIOUS RATIOS:

IMPERVIOUS AREA	11,647 SF
MAIN HOUSE, CONCRETE DRIVEWAY AND CONCRETE PADS	4,735 SF
PERVIOUS AREA	6,912 SF
IMPERVIOUS SURFACE RATIO 4,735 SF / 11,647 SF= 40.6	
TOTAL IMPERVIOUS RATIO:	50% MAX ALLOWED

FRONT YARD LANDSCAPE COVERAGE:

TOTAL FRONT YARD:	1,750 SF
PROVIDED COVERAGE	1,325 SF
MINIMUM COVERAGE =	50%
PROVIDED COVERAGE =	75%

PROJECT: RESIDENCE PLANS FOR
2815 WRIGHT AVE WINTER PARK FL.
SHEET TITLE: SITE PLAN
PROJECT ISSUED FOR: STATUS

ARCHITECT FL. REG. AR 9601

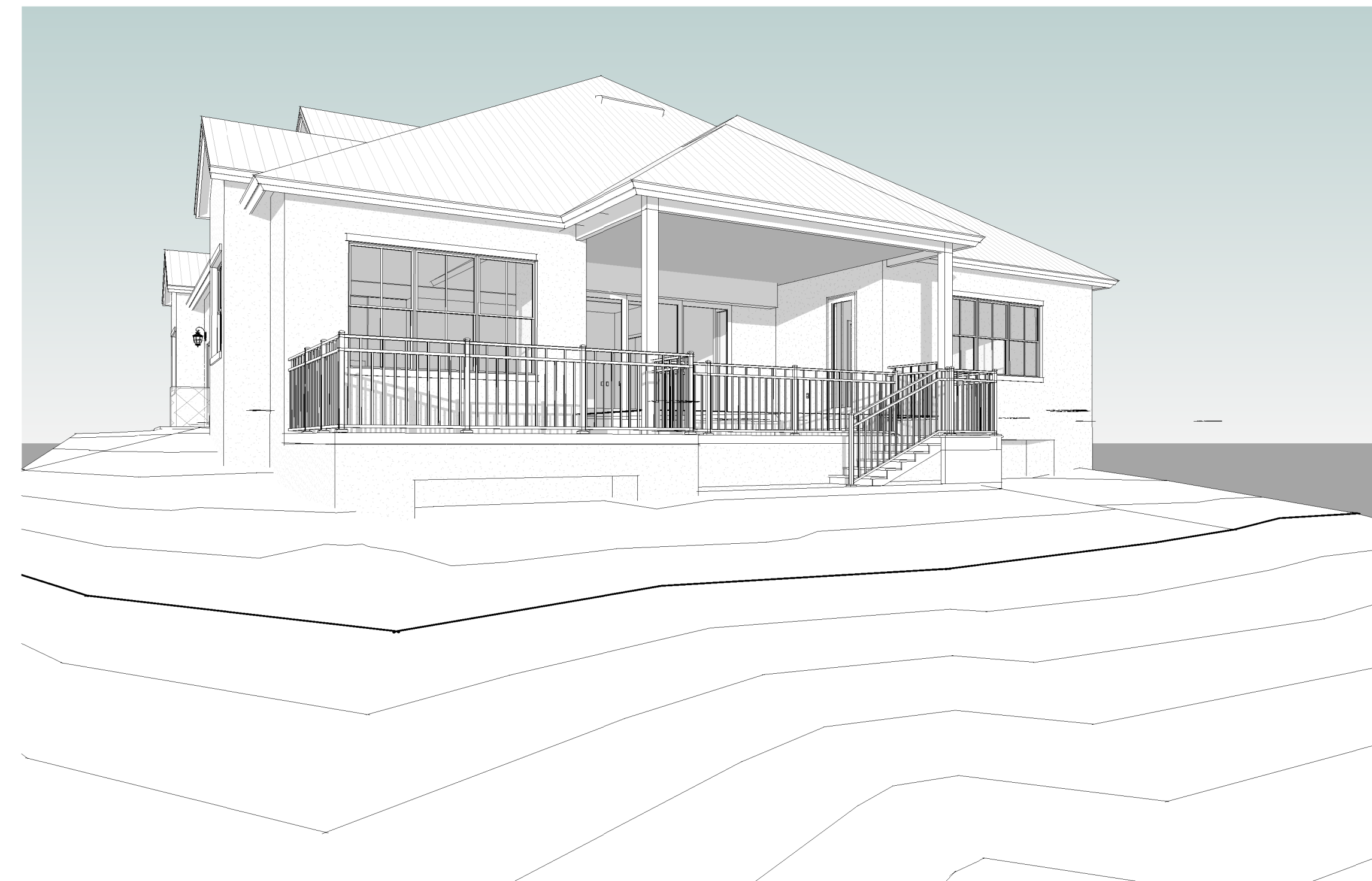
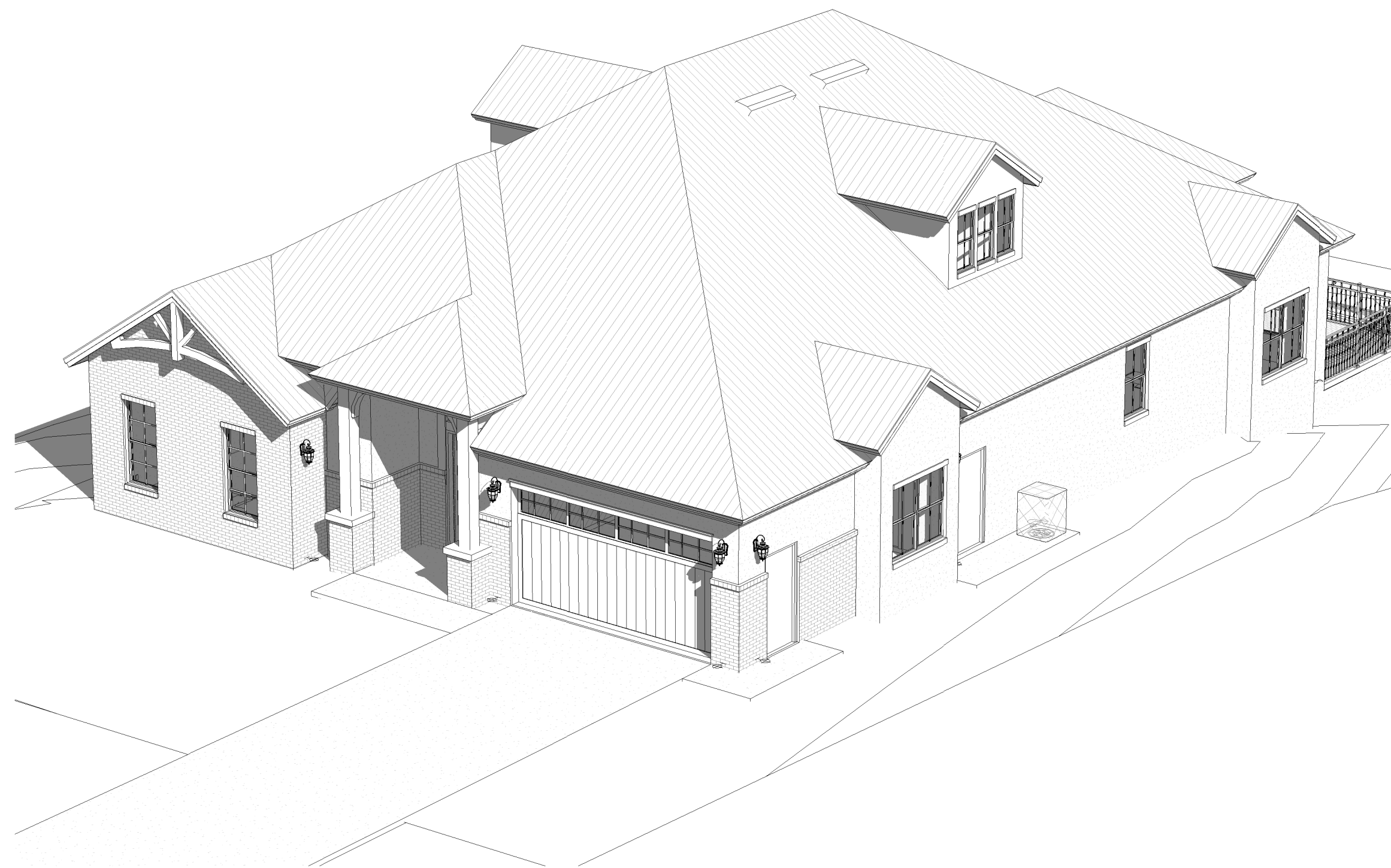
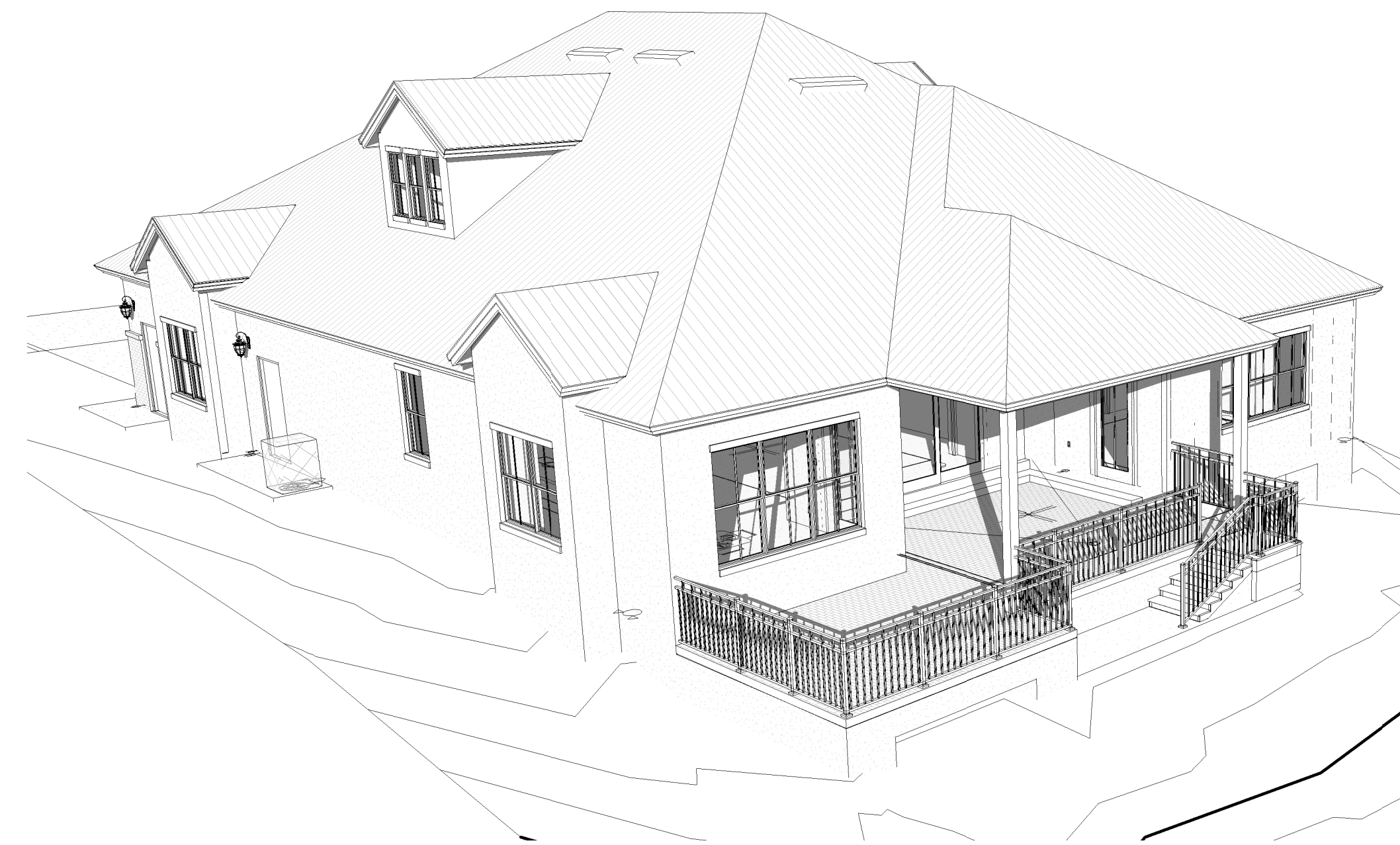
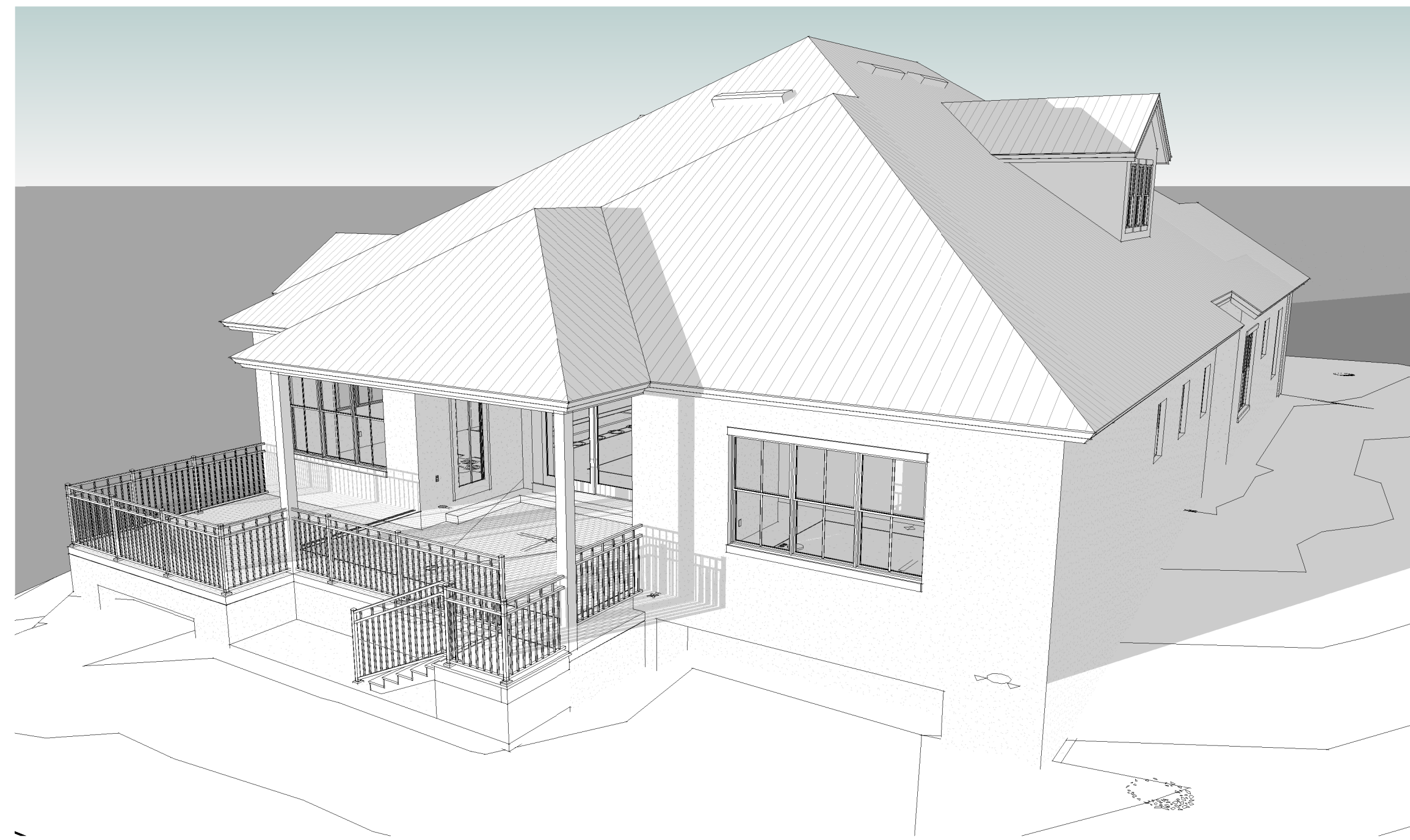
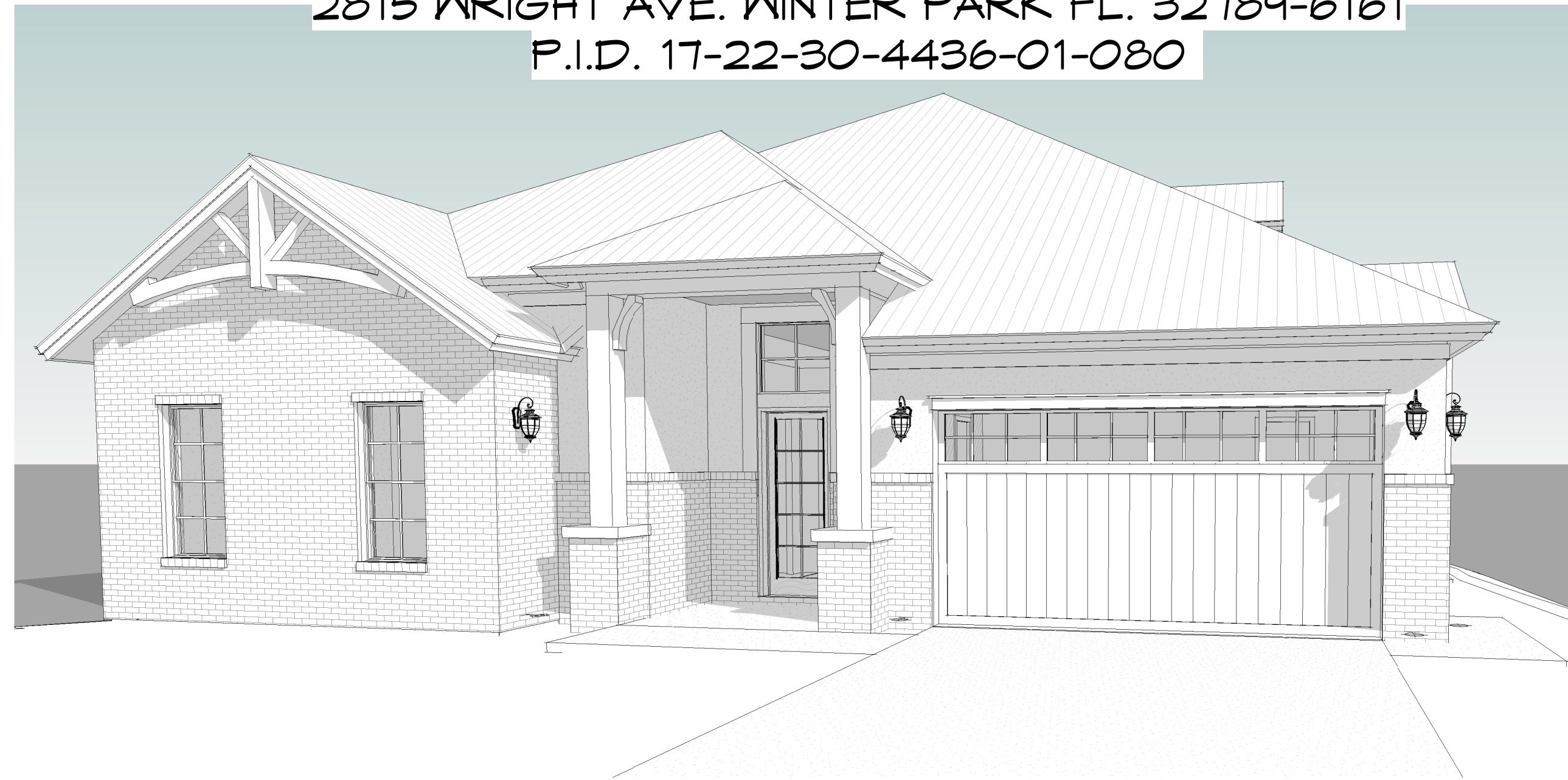
DATE:

No.	Description	Date

PROJECT NUMBER	On File
SCALE	AS SHOWN
DATE	11/15/17
DRAWN BY:	Author
CHECKED BY:	Checker
SHEET	

A100

NEW RESIDENCE PLANS AT:
 2815 WRIGHT AVE. WINTER PARK FL. 32789-6161
 P.I.D. 17-22-30-4436-01-080



SHEET INDEX		
Sheet Number	Sheet Name	Current Revision Date
A001	COVER SHEET	
A002	GENERAL NOTES AND SCHEDULES	
A100	SITE PLAN	
A101	FOUNDATION PLAN	
A102	SCHEDULES AND NOTES	
A103	FLOOR DIMENSION PLAN	
A104	FLOOR FINISH PLAN	
A105	ROOF FRAMING PLAN	
A106	ROOF PLAN	
A107	FRONT- REAR ELEVATIONS	
A108	SIDE ELEVATIONS	
A109	WALL SECTIONS	
A301	STEM FOUNDATION DETAILS	
A302	FRAMING DETAILS	
A303	FRAMING DETAILS	
A304	WINDOWS AND DOOR DETAILS	
A305	WINDOW WRAP-FLASHING DETAILS	
A400	ELECTRICAL PLAN	

JOHN D. YOUNGMAN
 ARCHITECT AR 9601

421 East SR 454, Suite 1015,
 Longwood, Florida 32750
 PH: 407-471-0000
 FAX: 407-767-8246
 johnyoungman@hotmail.com

COPYRIGHT ©
 JOHN YOUNGMAN, ARCHITECT.
 THIS OR ANY OTHER DOCUMENT SHALL NOT
 BE COPIED, ALTERED, REPRODUCED WITH OUT
 THE WRITTEN CONSENT
 OF JOHN YOUNGMAN, ARCHITECT.

DIMENSION NOTE:
 WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE
 OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY
 AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS
 OF THE JOB AND THE ARCHITECT OF RECORD MUST
 BE NOTIFIED IN WRITING OF ANY VARIATION FROM THE
 DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING
 ON THESE PLANS.

CONSTRUCTION TYPE/CLASSIFICATION:
 TYPE V-B, UNPROTECTED, UNSPRINKLER
 GROUP R-3 RESIDENTIAL (SINGLE FAMILY)

LOAD CALCULATION CRITERIA:
 FLOOR LIVE LOAD: 40 PSF
 ROOF LIVE LOAD: 20 PSF
 STAIR LIVE LOAD: 40 PSF
 BALCONY LIVE LOAD: 40 PSF
 WIND LOAD: PER FBC, 2011 RESIDENTIAL
 6TH EDITION 140 MPH REGION
 (SEE BELOW)

ARCHITECTURAL DRAWINGS:
 THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE THE
 REQUIREMENTS OF THE FLORIDA BUILDING CODE 2011,
 CHAPTER 16, STRUCTURAL LOADS.
 IN ACCORDANCE WITH SECTION 1606, THE FOLLOWING WIND
 LOAD REQUIREMENTS WERE EMPLOYED IN THE DESIGN OF THE
 STRUCTURE.

BASIC WIND SPEED: (3 SECOND GUST) 140-MPH
 BUILDING CATEGORY II, ENCLOSED
 IMPORTANCE FACTOR 1.00
 WIND EXPOSURE B
 INTERNAL PRESSURE COEFFICIENT: ± 0.18
 DESIGN PRESSURE FOR COMPONENTS & CLADDING
 (WORST CASE CONDITION):
 WINDOWS/DOORS: +25.9 PSF -34.7 PSF
 SLIDING GLASS DOORS: +25.9 PSF -34.7 PSF
 GARAGE DOORS: +25.9 PSF -29.0 PSF

ALL CONNECTIONS HAVE BEEN CHECKED TO WITHSTAND ALL
 APPLICABLE LOADS.

AREA TABULATIONS	
Name	Area (SF)
LIVING AREA	3033
2 CAR GARAGE	519
REAR PORCH	322
COVERED ENTRY	53
TOTAL UNDER ROOF	3927

TO THE BEST OF MY KNOWLEDGE,
 THESE CONTRACT DOCUMENTS, PREPARED UNDER MY DIRECT
 SUPERVISION, COMPLY WITH THE APPLICABLE MINIMUM
 BUILDING CODE REQUIREMENTS AND FIRE SAFETY
 STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN
 ACCORDANCE WITH CHAPTERS 553 AND 633 OF THE FLORIDA
 STATUTES.

PROJECT: RESIDENCE PLANS FOR
 2815 WRIGHT AVE WINTER PARK FL.
 SHEET TITLE: COVER SHEET
 PROJECT #2017 FOR: STATUS

ARCHITECT FL. REG. AR 9601

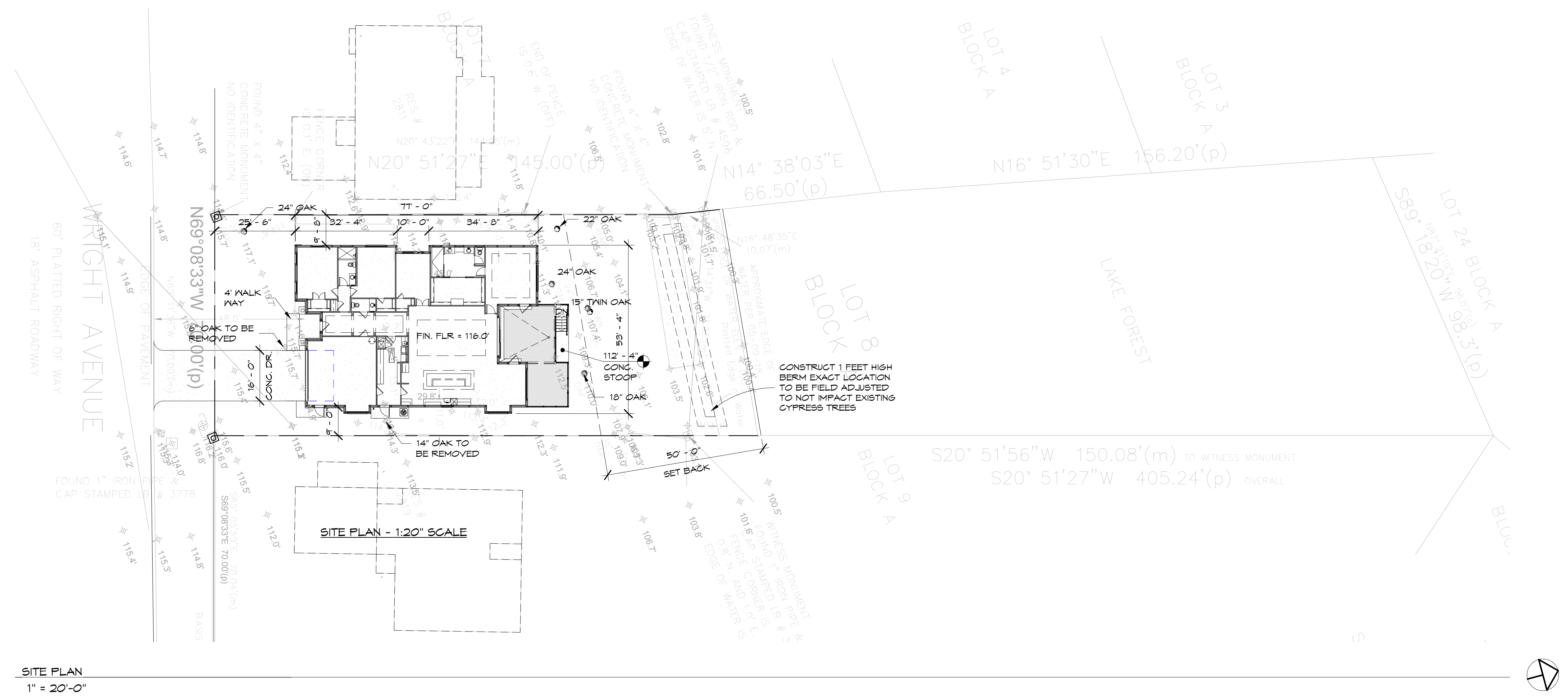
DATE:

No.	Description	Date

PROJECT NUMBER: On File
 SCALE: AS SHOWN
 DATE: 11/15/17
 DRAWN BY: RCARRION
 CHECKED BY: JY/ RC
 SHEET:

A001

COPYRIGHT ©
 JOHN YOUNGMAN, ARCHITECT.
 THIS OR ANY OTHER DOCUMENT SHALL NOT
 BE COPIED, ALTERED, REPRODUCED WITH OUT
 THE WRITTEN CONSENT
 OF JOHN YOUNGMAN, ARCHITECT.



SITE PLAN
 1" = 20'-0"

PROJECT: RESIDENCE PLANS FOR
 2815 WRIGHT AVE WINTER PARK FL.
 SHEET TITLE: SITE PLAN
 PROJECT ISSUED FOR: STATUS

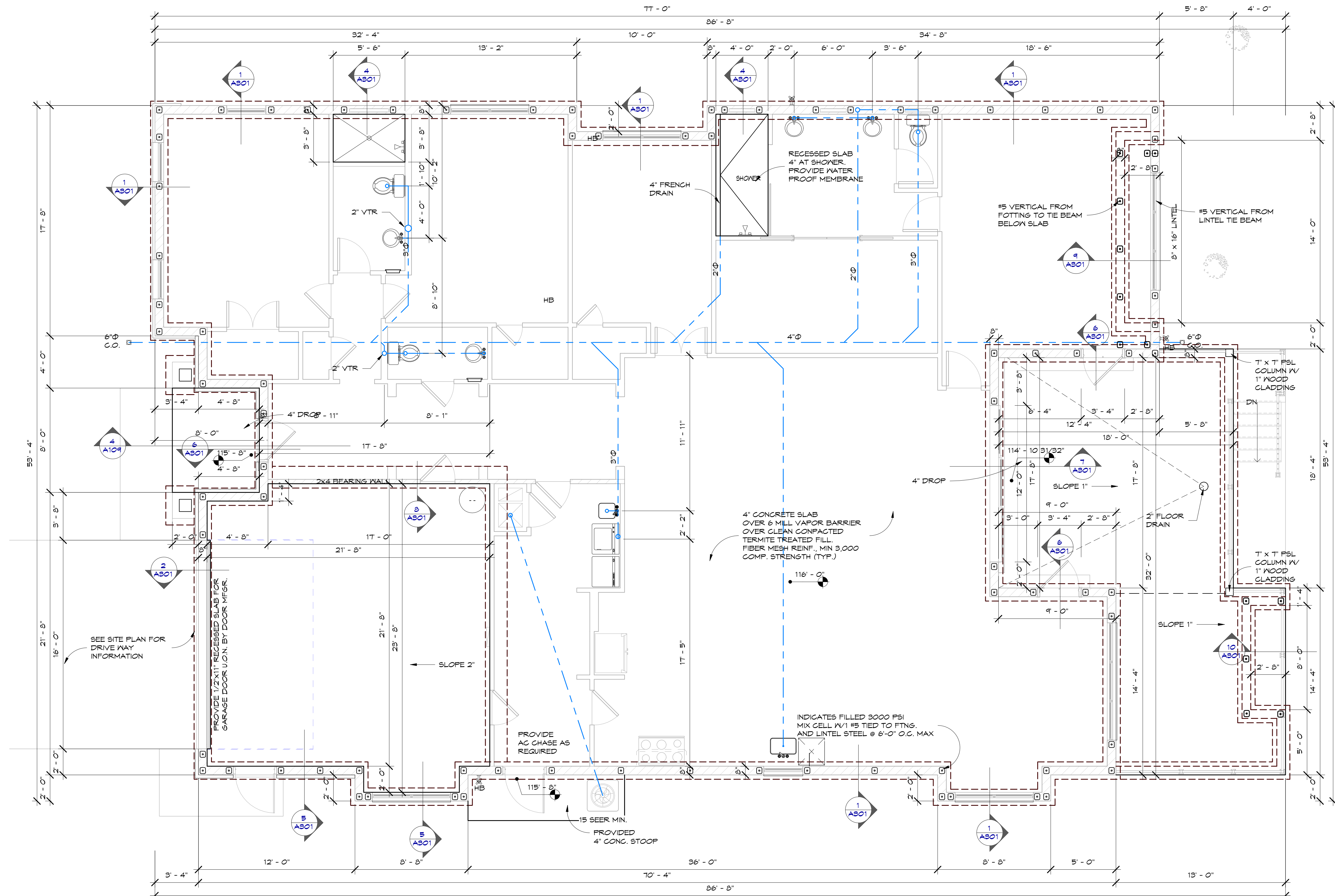
ARCHITECT FL. REG. AR 9601

DATE:

No.	Description	Date

PROJECT NUMBER: On File
 SCALE: AS SHOWN
 DATE: 11/15/17
 DRAWN BY: Author
 CHECKED BY: Checker
 SHEET:

A100



FOUNDATION PLAN
1/4" = 1'-0"

FOOTING SCHEDULE					
Area	Volume	Height	Elev. From Fin Flr.	Width	Comments
51 SF	10.96 CF	8"	112'-4"	1'-4"	
10 SF	1.78 CF	8"	112'-4"	1'-4"	
34 SF	7.11 CF	8"	112'-4"	1'-4"	
10 SF	1.78 CF	8"	112'-4"	1'-4"	
148 SF	32.94 CF	8"	112'-4"	1'-4"	
10 SF	1.78 CF	8"	112'-4"	1'-4"	
34 SF	7.11 CF	8"	112'-4"	1'-4"	
8 SF	1.39 CF	8"	112'-4"	1'-4"	
20 SF	4.15 CF	8"	111'-4"	1'-4"	
58 SF	12.44 CF	8"	112'-4"	1'-4"	
38 SF	8.00 CF	8"	112'-4"	1'-4"	
78 SF	16.90 CF	8"	112'-4"	1'-4"	
47 SF	10.21 CF	8"	112'-4"	1'-4"	
8 SF	1.49 CF	8"	110'-4"	1'-4"	
12 SF	2.37 CF	8"	110'-4"	1'-4"	
54 SF	12.14 CF	8"	110'-4"	1'-4"	
10 SF	1.78 CF	8"	111'-0"	1'-4"	
18 SF	2.96 CF	8"	110'-4"	1'-4"	
74 SF	16.15 CF	8"	112'-4"	1'-4"	

FOOTING SCHEDULE					
Area	Volume	Height	Elev. From Fin Flr.	Width	Comments
10 SF	1.78 CF	8"	112'-4"	1'-4"	
44 SF	9.49 CF	8"	112'-4"	1'-4"	
10 SF	1.78 CF	8"	112'-4"	1'-4"	
128 SF	28.15 CF	8"	112'-4"	1'-4"	
70 SF	15.11 CF	8"	112'-4"	1'-4"	
15 SF	2.96 CF	8"	112'-4"	1'-4"	
18 SF	3.96 CF	8"	112'-4"	1'-4"	
16 SF	3.26 CF	8"	112'-4"	1'-4"	
36 SF	7.96 CF	8"	119'-8"	1'-4"	
23 SF	4.74 CF	8"	112'-4"	1'-4"	
82 SF	11.26 CF	8"	111'-0"	1'-4"	
14 SF	2.61 CF	8"	110'-4"	1'-4"	
11 SF	2.01 CF	8"	110'-4"	1'-4"	
41 SF	8.74 CF	8"	111'-1"	1'-4"	
16 SF	2.92 CF	8"	111'-0"	1'-4"	
10 SF	1.93 CF	8"	111'-0"	1'-4"	
18 SF	3.96 CF	8"	111'-0"	1'-4"	
80 SF	16.84 CF	8"	111'-4"	1'-4"	
20 SF	4.15 CF	8"	111'-4"	1'-4"	
64 SF	14.81 CF	8"	111'-4"	1'-4"	

4" SLAB SCHEDULE			
Material: Area	Material: Volume	Type	Comments
2879 SF	959.56 CF	4" Conc Slab	MAIN HOUSE CONCRETE SLAB
774 SF	258.04 CF	4" Conc Slab	MAIN HOUSE CONCRETE SLAB
508 SF	164.37 CF	4" Conc Slab	REAR COVERED PORCH CONCRETE SLAB With Paver Finish
478 SF	154.30 CF	4" Conc Slab	GARAGE CONCRETE SLAB
508 SF	42.34 CF	4" Conc Slab	REAR COVERED PORCH CONCRETE SLAB With Paver Finish
73 SF	24.44 CF	4" Conc Slab	MAIN HOUSE CONCRETE SLAB
53 SF	17.78 CF	4" Conc Slab	MAIN HOUSE CONCRETE SLAB
47 SF	15.96 CF	4" Conc Slab	MAIN HOUSE CONCRETE SLAB
5320 SF	1646.98 CF		

TAKE OFF IS ESTIMATE ONLY AND DO NOT INCLUDE FOOTING TAKE OFF. CONTRACTOR TO VERIFY PER FOUNDATION PLANS.

NOTE:
SOIL TREATMENT NOTE:
SOIL WILL TREATED FOR TERMITES AS PER SECTION 2304 OF THE FLORIDA BUILDING CODE (FBC 2011 6th EDITION)

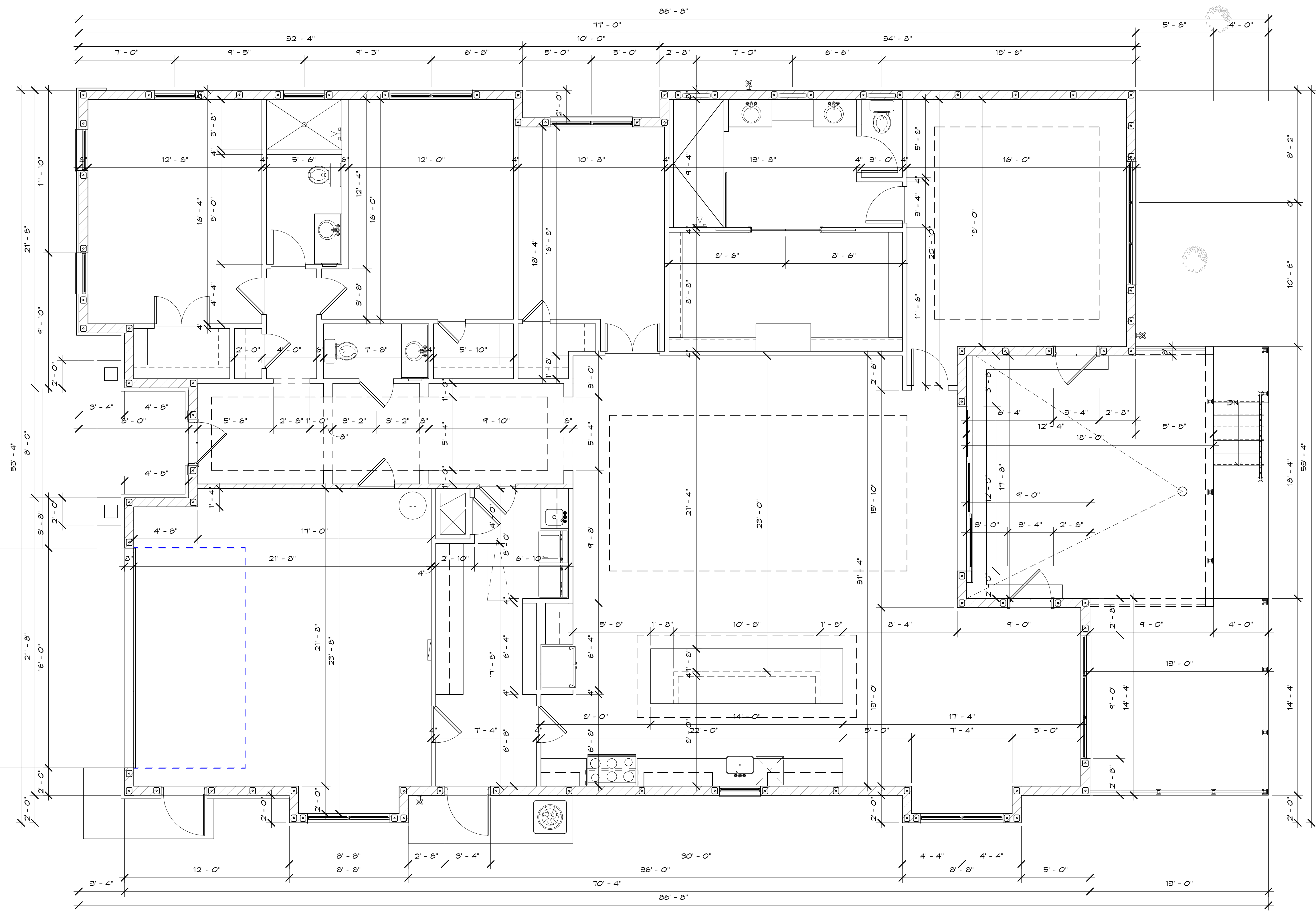
NOTE:
ANY PIPE THAT PASSES THROUGH A FOUNDATION WALL SHALL BE PROVIDED WITH A PIPE SLEEVE PIPE THAT SHALL BE BUILT INTO THE FOUNDATION WALL. SUCH SLEEVE SHALL BE TWO PIPE SIZES GREATER THAN THE PIPE PASSING THROUGH THE WALL.

ALL CONCRETE TO BE MIN. 3000 PSI SLABS TO BE FIBER MESH REINF.

**RESIDENCE PLANS FOR
2815 WRIGHT AVE WINTER PARK FL.
FOUNDATION PLAN**

PROJECT NUMBER: **On File**
 SCALE: **AS SHOWN**
 DATE: **11/15/17**
 DRAWN BY: **RCARRION**
 CHECKED BY: **JY/RC**
 SHEET:

No.	Description	Date



**RESIDENCE PLANS FOR
2815 WRIGHT AVE WINTER PARK FL.**

SHEET TITLE
FLOOR DIMENSION PLAN

PROJECT NUMBER FOR STATUS

ARCHITECT FL. REG. AR 9601

DATE:

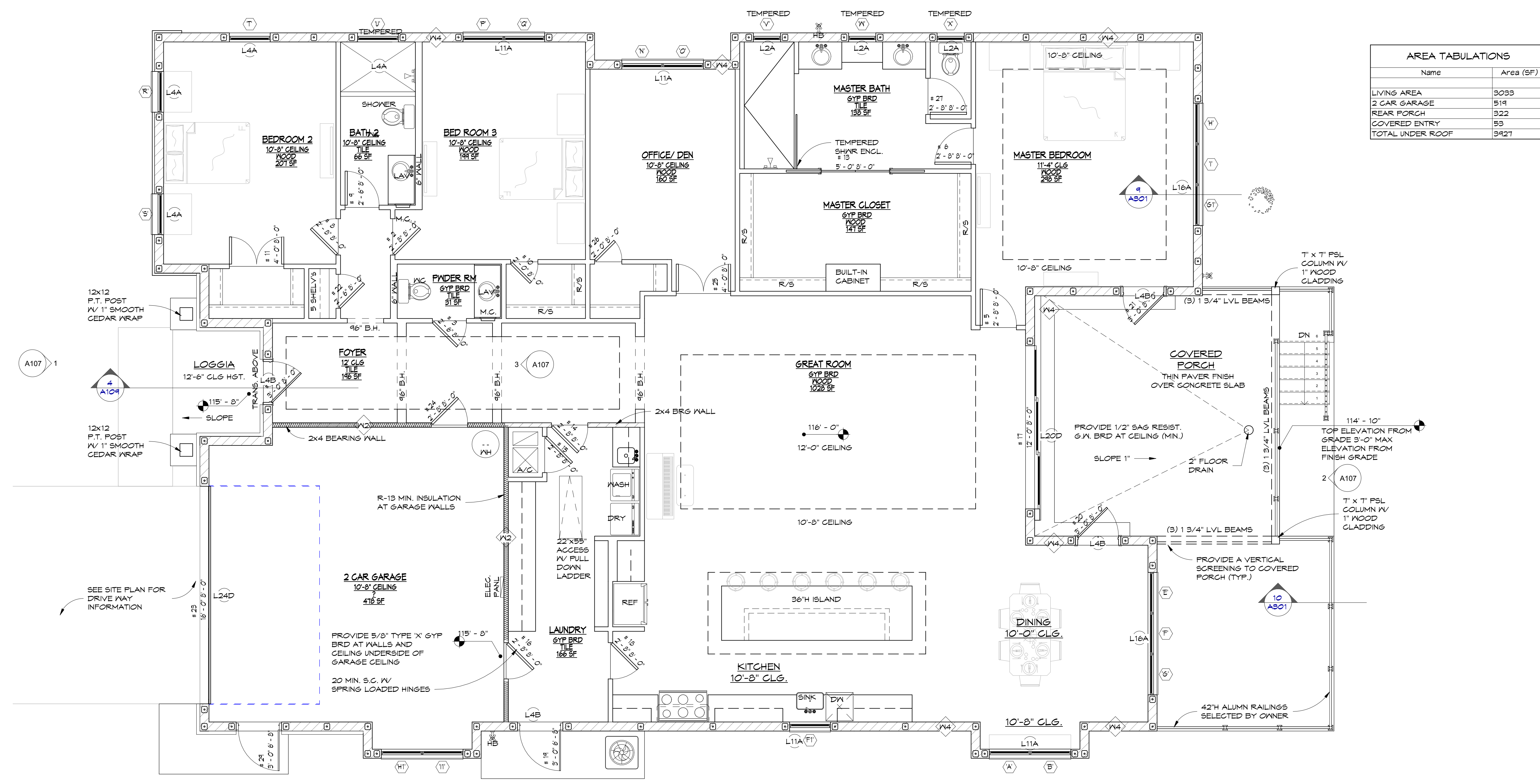
No.	Description	Date

PROJECT NUMBER	On File
SCALE	AS SHOWN
DATE	11/15/17
DRAWN BY:	RCARRION
CHECKED BY:	JY/ RC
SHEET	

FLOOR DIMENSION PLAN
1/4" = 1'-0"

AREA TABULATIONS	
Name	Area (SF)
LIVING AREA	3093
2 CAR GARAGE	519
REAR PORCH	322
COVERED ENTRY	53
TOTAL UNDER ROOF	3927

COPYRIGHT © JOHN YOUNGMAN ARCHITECT. THIS OR ANY OTHER DOCUMENT SHALL NOT BE COPIED, ALTERED, REPRODUCED OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF JOHN YOUNGMAN ARCHITECT.



AREA TABULATIONS	
Name	Area (SF)
LIVING AREA	3033
2 CAR GARAGE	519
REAR PORCH	322
COVERED ENTRY	53
TOTAL UNDER ROOF	3927

FLOOR FINISH PLAN
 1/4" = 1'-0"

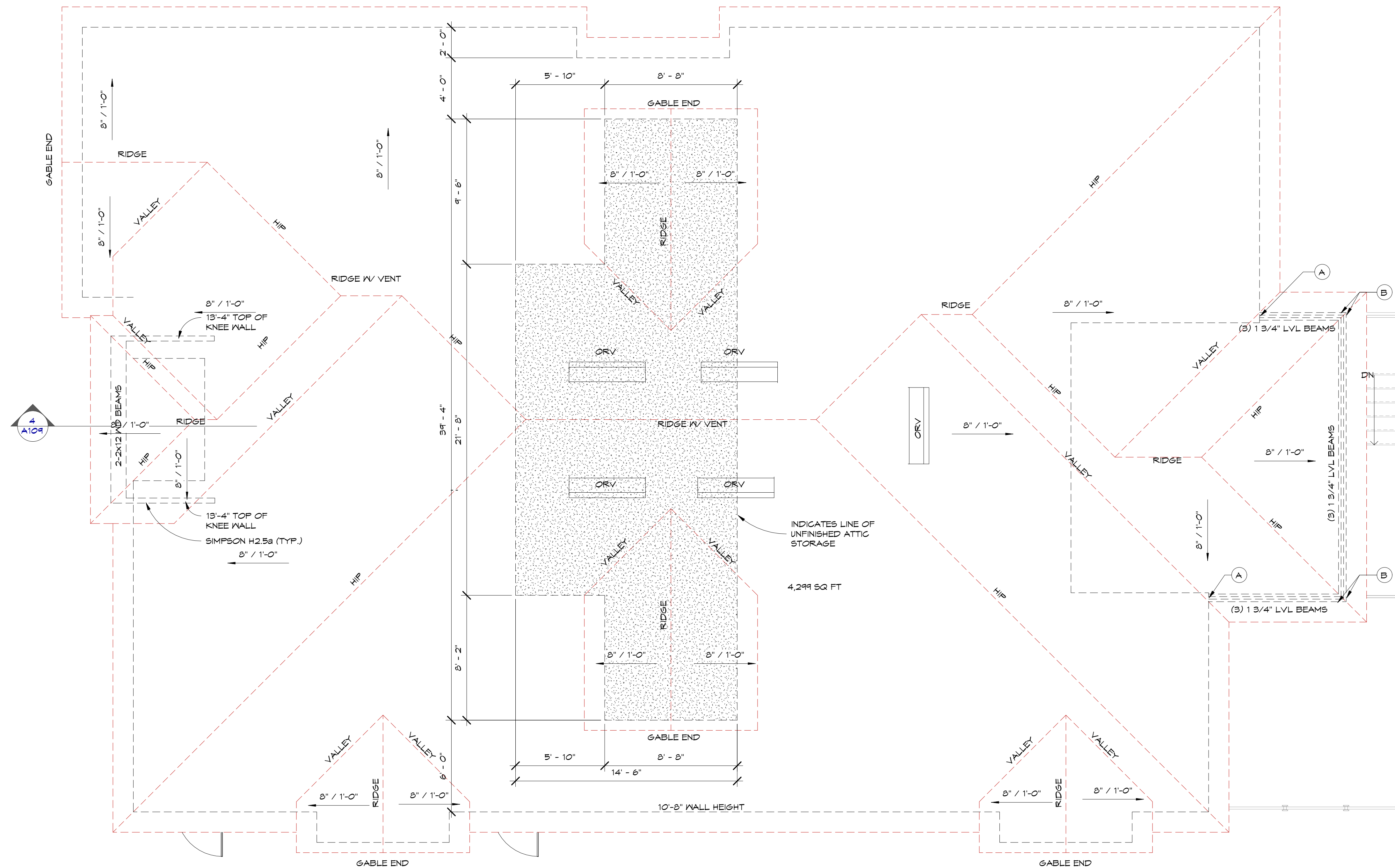
- GENERAL NOTES:**
- 1.) CODES
 - 1.1 FLORIDA BUILDING CODE 2017 RESIDENTIAL, SECTIONS R402.2 & R606
 - 1.2 FLORIDA BUILDING CODE 2017 RESIDENTIAL 6TH EDITION SECTIONS 1901.2 & 2101
 - 1.3 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-02).
 - 1.4 AMERICAN SOCIETY OF CIVIL ENGINEERS MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE 7-02).
 - 2.) CONCRETE:
 - 2.1 CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS:
 - 2.1.1 PRE-CAST W/STANDARD REINFORCEMENT-4000 PSI
 - 2.1.2 PRE-CAST W/PRESTRESS REINFORCEMENT-6000 PSI
 - 2.1.3 GROUT PER ASTM C476 - 3000 PSI W/ MAX. 3/8" AGGREGATE, 8" TO 11" SLUMP.
 - 2.2 REINFORCING BARS:
 - 2.2.1 STEEL PLACED IN PRECAST LINTEL AT TIME OF FABRICATION ASTM A615 (GRADE 60)
 - 2.2.2 STEEL IN LINTEL AND KNOCKOUT BLOCK (PLACED IN FIELD) ASTM A615 (GRADE 40).
 - 2.3 PRESTRESS STRANDS ASTM A416 T-WIRE, STRESS RELIEVED 270 KSI
 - 2.4 DETAIL REINFORCEMENT IN ACCORDANCE WITH ACI 315.
 - 2.5 CONCRETING OPERATIONS SHALL COMPLY WITH ACI STANDARDS.
 - 3.) MASONRY:
 - 3.1 DESIGN AND CONSTRUCTION SHALL CONFORM TO THE SPECIFICATION OF THE NATIONAL CONCRETE MASONRY ASSOCIATION AND ACI 530-02.
 - 3.2 MINIMUM MASONRY UNIT STRENGTH: FM 1500 PSI.
 - 3.3 MORTAR SHALL BE TYPE S.
 - 4.) STRUCTURAL:
 - 4.1 SAFE LOAD VALUES ARE BASED ON LINTELS HAVING A BEARING OF 8" (WITH A MINIMUM ACCEPTABLE BEARING OF 4" PER FLORIDA BUILDING CODE, 2017 RESIDENTIAL, SECTION R606.13 OR FLORIDA BUILDING CODE 2017 BUILDING, SECTION 2104.13

ABBREVIATIONS
 NOMINAL WIDTH/HEIGHT OF LINTEL
 — PLAIN OR SOLID LINTEL
 [8/16-P-TU/TL]
 No. OF ADDITIONAL #5 BARS IN UPPER OR LOWER LINTEL CAVITY
 NOTE:
 SEE LINTEL SCHEDULES FOR CLEAR SPAN AND LINTEL LENGTH AS REQUIRED BY OPENING LENGTH

PROJECT: RESIDENCE PLANS FOR
 2815 WRIGHT AVE WINTER PARK FL.
 SHEET TITLE: FLOOR FINISH PLAN
 PROJECT ISSUED FOR: STATUS

No.	Description	Date

PROJECT NUMBER: On File
 SCALE: AS SHOWN
 DATE: 11/15/17
 DRAWN BY: RCARRION
 CHECKED BY: JY/RC
 SHEET:



ROOF FRAMING PLAN
1/4" = 1'-0"

PLAN NOTES:

- A - SIMPSON HUCQ616-SDS IW (14-SDS 1/4" x 2 1/2" x 2 CMU)
- B - SIMPSON LSTA18 EA, SIDE OF BEAM AND COLUMN

TRUSS NOTES:

1. SPECIALITY ENGINEER FOR PRE-ENGINEERED WOOD TRUSSES SHALL BE A FLORIDA REGISTERED ENGINEER AND SIGNED AND SEALED SHOP DRAWINGS, INCLUDING CALCULATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND ERECTION. PRE-ENGINEERED WOOD TRUSSES SHALL BE DESIGNED IN CONFORMANCE WITH F.B.C., LATEST EDITION.
2. SHOP DRAWINGS SHALL INCLUDE TEMPORARY BRACING FOR ERECTION AND HANDLING AND PERMANENT BRACING AS REQUIRED BY SPECIALITY ENGINEER.
- TRUSS FABRICATOR SHALL PREPARE A FRAMING LAYOUT INDICATING THE LOCATION AND OTHER INFORMATION DEEMED PERTINENT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER TRUSS HANDLING AND PROPER TEMPORARY AND ERECTION BRACING.
4. PERMANENT BRACING AS INDICATED ON DRAWINGS SHALL BE MINIMUM 2X4 DIMENSION LUMBER WITH 2-16d NAILS IN EACH TRUSS. UNLESS OTHERWISE INDICATED, ADDITIONAL BRACING AS REQUIRED OR RECOMMENDED BY THE TRUSS DESIGNER OR FABRICATOR SHALL BE INCLUDED AND INSTALLED.
5. TRUSS FABRICATOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRUSS DIMENSIONS WITH FIELD CONDITIONS PRIOR TO FABRICATION. NOTIFY ARCHITECTS IN WRITING IF ANY ADJUSTMENTS TO DRAWING DIMENSIONS ARE REQUIRED.
6. PROVIDE HURRICANE ANCHORS/HANGERS PER GOVERNING CODE AND REGULATIONS AND AS INDICATED ON THE DRAWINGS.

NAILING SCHEDULE

*ROOF	1/2" PLYWOOD SHEATHING PANEL (APA RATED GD) @ EDGES :2d RING SHANK NAILS @ 4" O.C. @ INTERMEDIATE SUPPORT :2d RING SHANK NAILS @ 6" O.C.
*FLOOR	3/4" T & G PLYWOOD 10d NAILS @ 6" O.C. @ ALL SUPPORTS

* PROVIDE 2x6 BLOCKING @ UNSUPPORTED JOINTS

NOTE:
SEE BUILDING AND SECTIONS FOR
ADDITIONAL CONNECTOR INFORMATION
NOT SHOWN ON ROOF FRAMING

PROJECT: RESIDENCE PLANS FOR
2815 WRIGHT AVE WINTER PARK FL.
SHEET TITLE: ROOF FRAMING PLAN
PROJECT ISSUED FOR: STATUS

ARCHITECT FL. REG. AR 9601

DATE:

No.	Description	Date

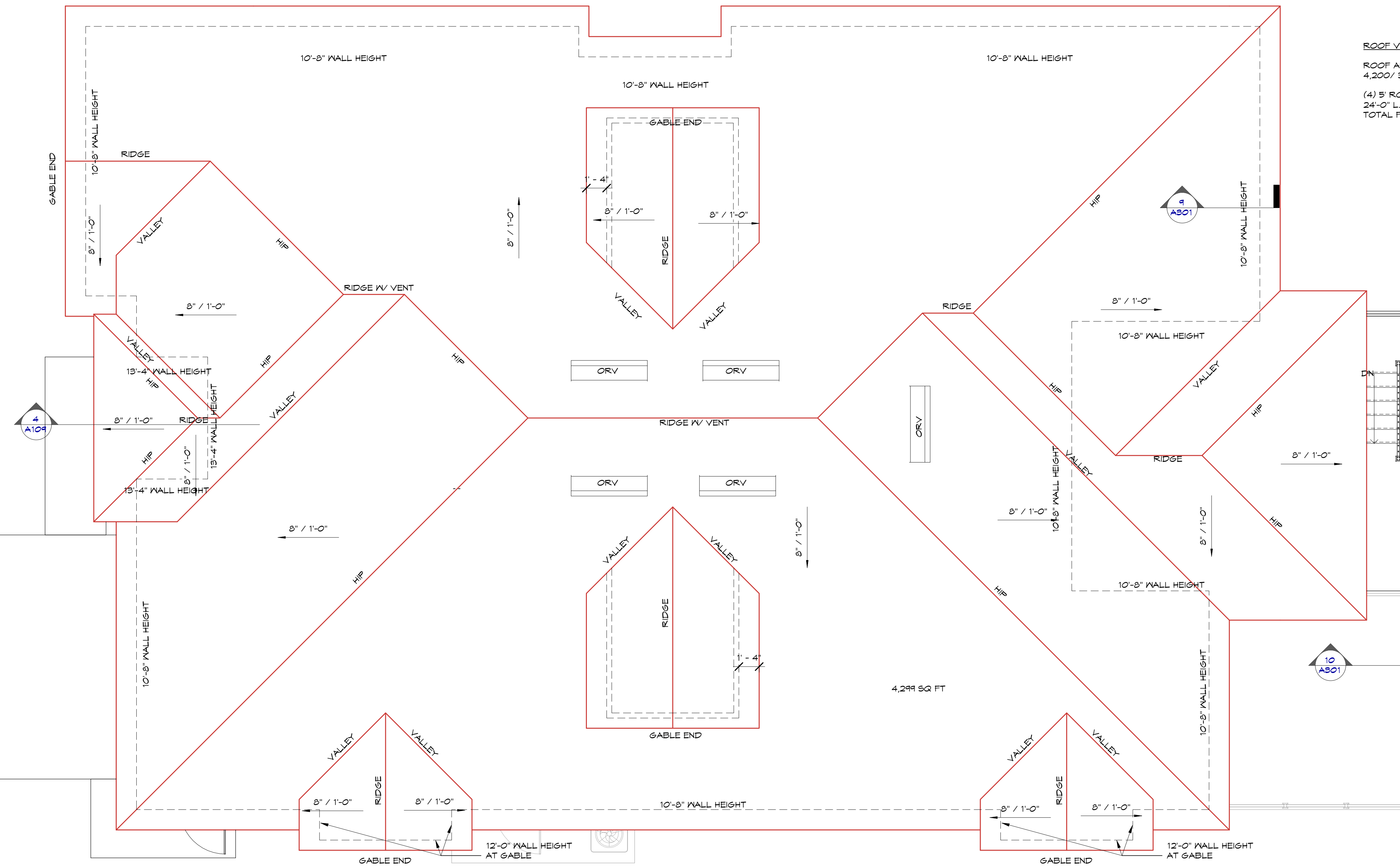
PROJECT NUMBER	On File
SCALE	AS SHOWN
DATE	11/15/17
DRAWN BY:	RCARRION
CHECKED BY:	JY/ RC
SHEET	

A105

ROOF VENTILATION CALCULATIONS:

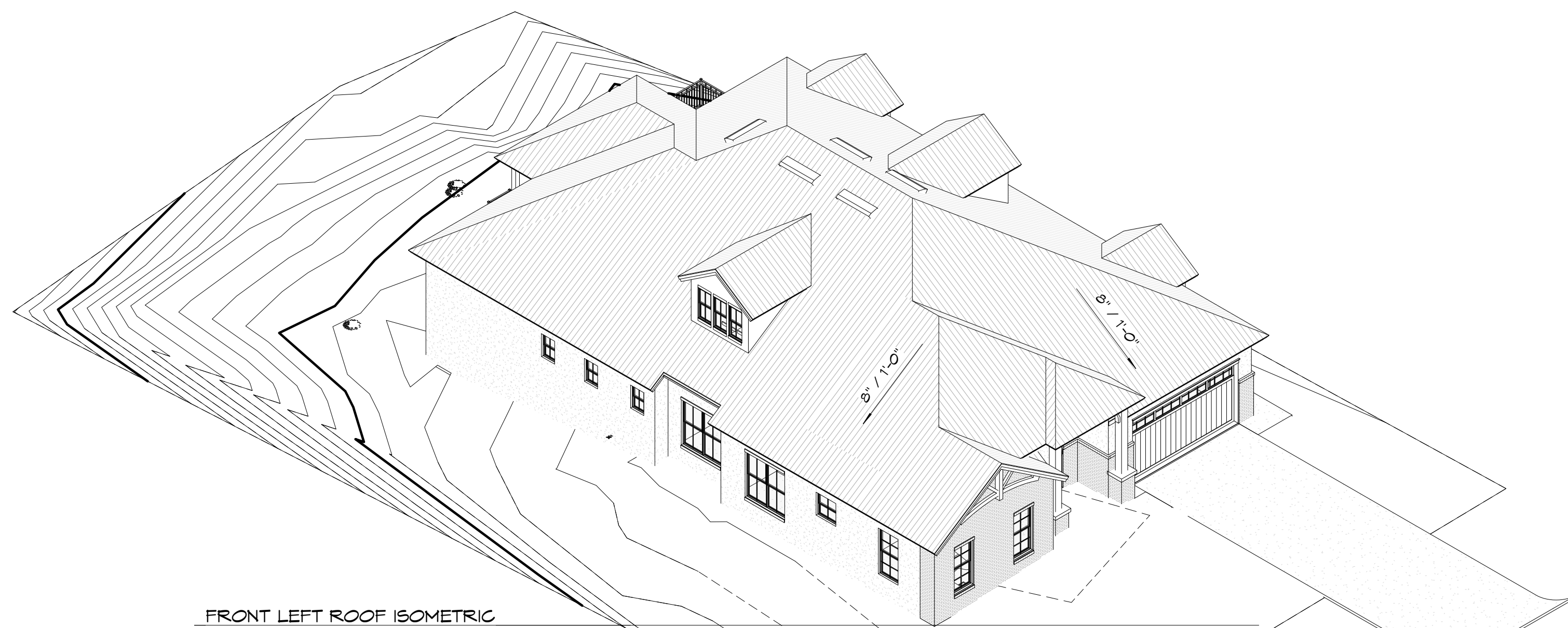
ROOF AREA: 4,200 SQ. FT.
4,200 / 300 / 2 = 7 SQ. FT. (REQ'D)

(4) 5' ROOF VENTS @ .42 SF = 3.68 SQ. FT.
24'-0" L.F. RIDGE VENT @ .15 SQ. FT./L.F. = 3.6 SQ. FT.
TOTAL FREE AREA PROVIDED = 7 SQ. FT. > 7.28 SQ. FT.



4,299 SQ FT

ROOF PLAN
1/4" = 1'-0"



FRONT LEFT ROOF ISOMETRIC

NAILING SCHEDULE	
*ROOF	1/2" PLYWOOD SHEATHING PANEL (APA RATED CD) @ EDGES :3d RING SHANK NAILS @ 4" O.C. @ INTERMEDIATE SUPPORT :3d RING SHANK NAILS @ 6" O.C.
*FLOOR	3/4" T&G PLYWOOD 10d NAILS @ 6" O.C. @ ALL SUPPORTS
* PROVIDE 2x6 BLOCKING @ UNSUPPORTED JOINTS	

INSULATION VALUES		
INSULATION LOCATIONS	LOCATION TYPE/ THICKNESS	MFGR'S. R-VALUE
INTERIOR WALLS	N/A	N/A
AREAS UNDER A/C	R-30 FIBERGLASS BATTING	R-30
COMMON WALLS	R-11 FIBERGLASS BATTING (BOTH SIDES)	R-11
HOUSE AND GARAGE	R-11 FIBERGLASS BATTING	R-11
EXTERIOR WALLS CMU	R-14 FOAM BLOCK WALLS	14
EXTERIOR WALLS FRAMED	R-13 FIBERGLASS	R-13

PROJECT: RESIDENCE PLANS FOR
2815 WRIGHT AVE WINTER PARK FL.
SHEET TITLE: ROOF PLAN
PROJECT ISSUED FOR: STATUS

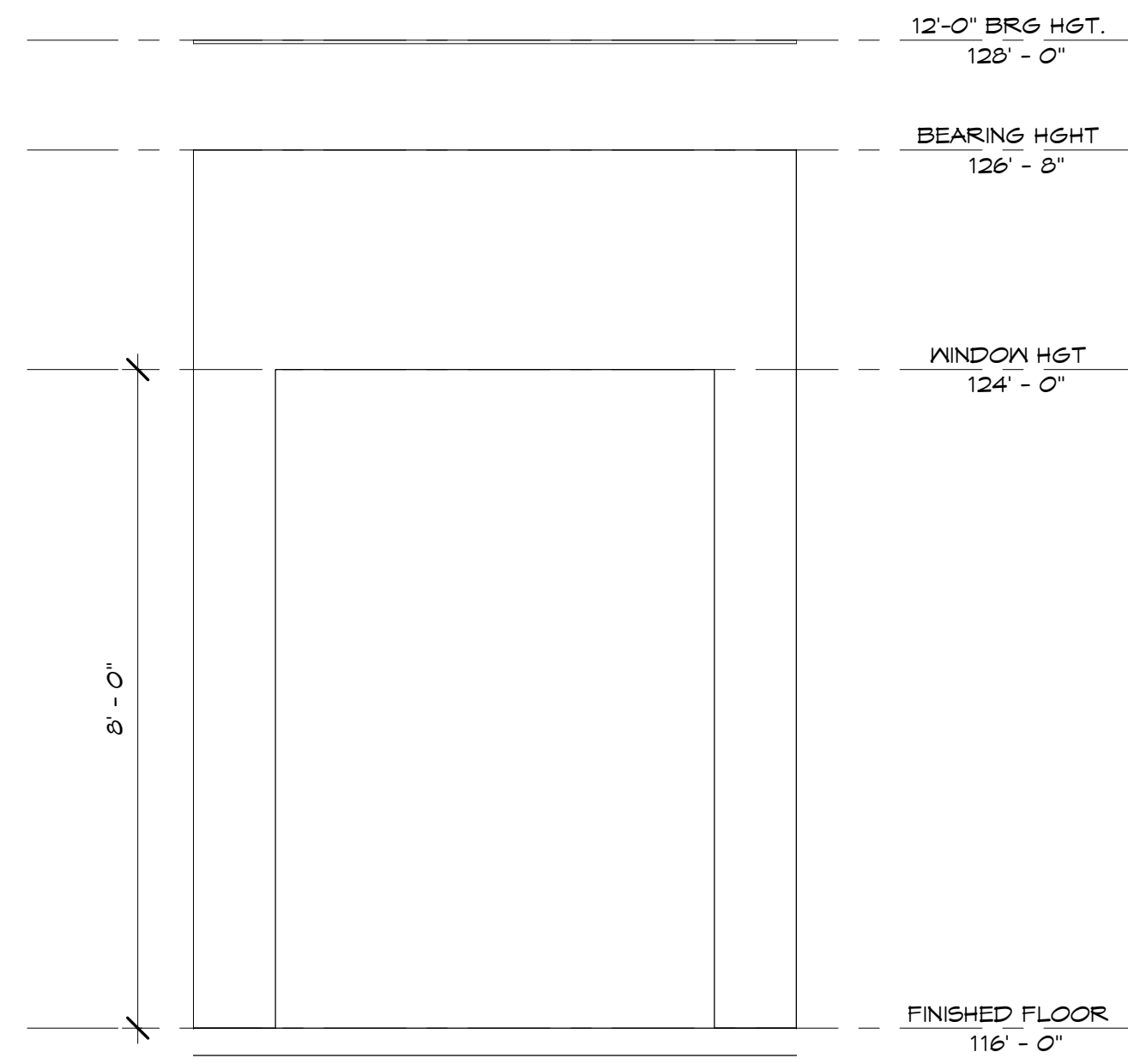
ARCHITECT FL. REG. AR 9601

DATE:

No.	Description	Date

PROJECT NUMBER: On File
SCALE: AS SHOWN
DATE: 11/15/17
DRAWN BY: RCARRION
CHECKED BY: JY/ RC
SHEET:

A106



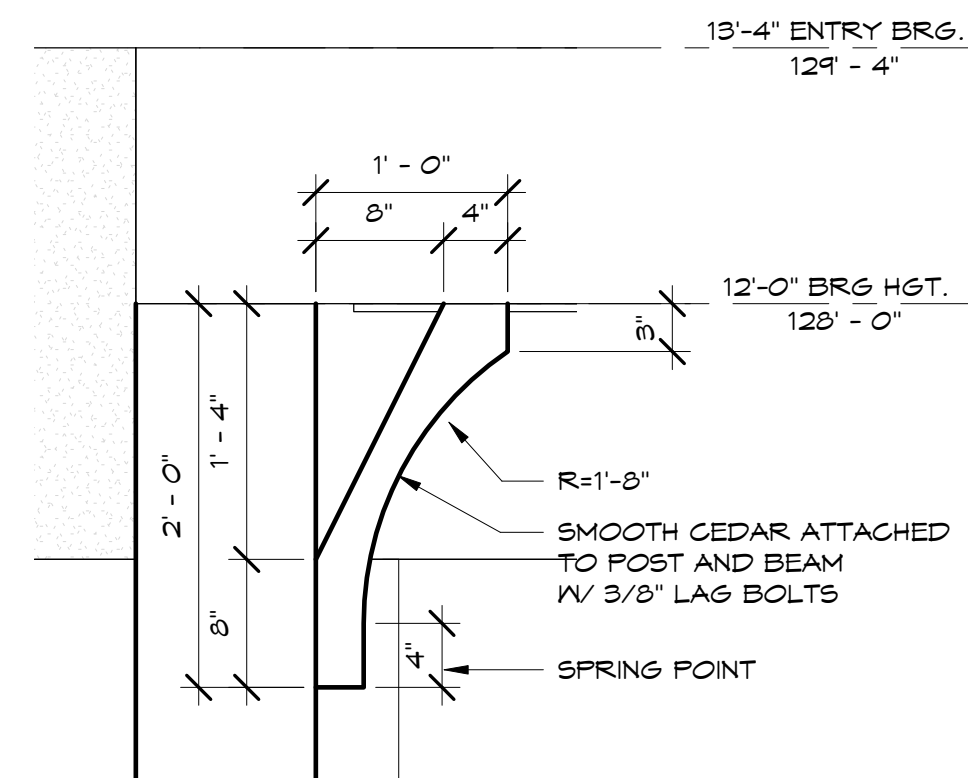
3 INTERIOR ELEVATION AT BULK HEAD

A107 SCALE: 1/2" = 1'-0"
REF. SHEET: A104



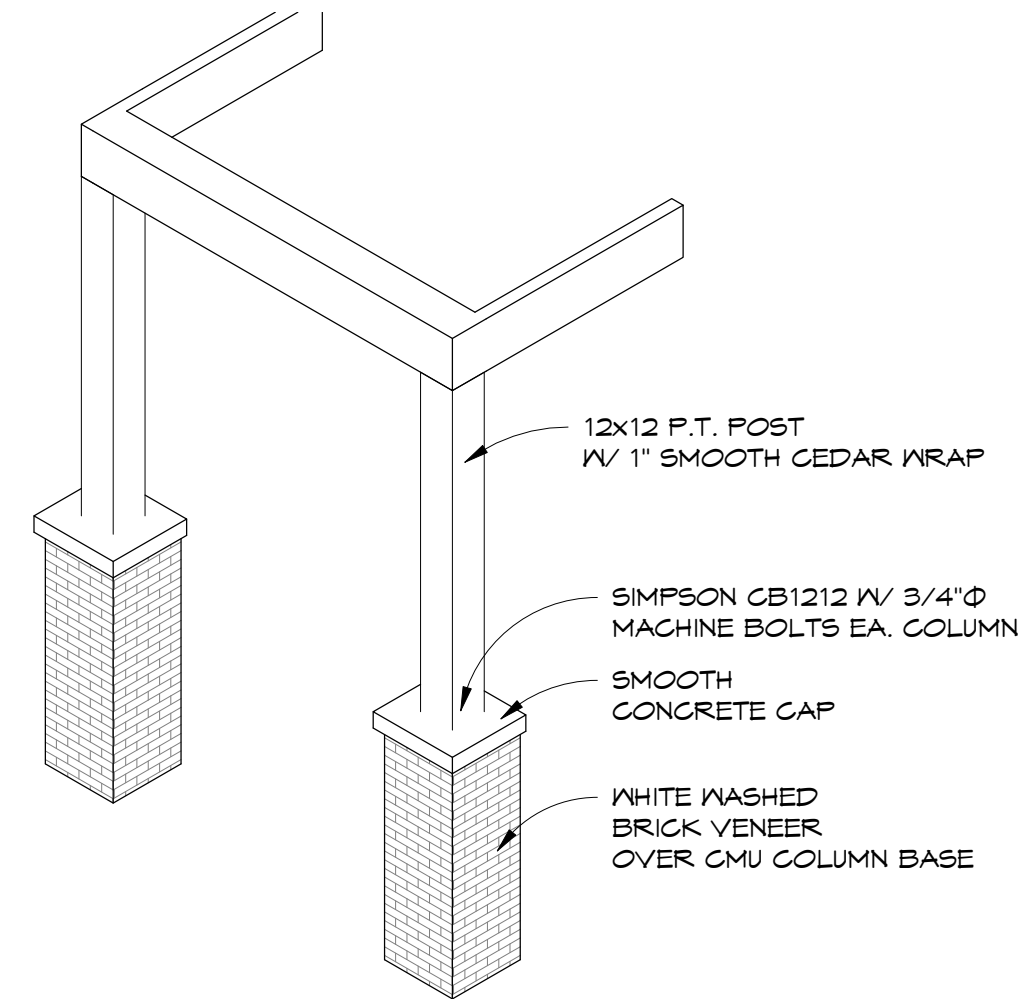
FRONT ELEVATION

1/4" = 1'-0"



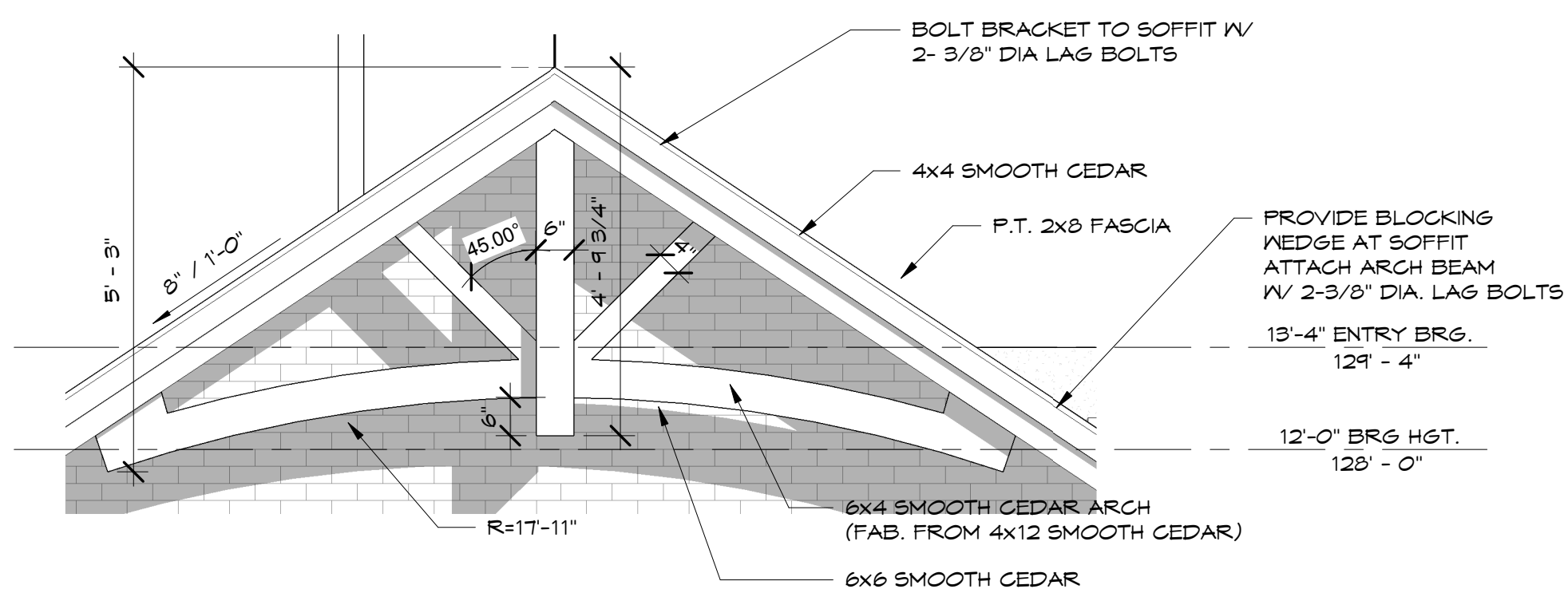
4 ENTRY BRACKET DETAIL

A107 SCALE: 1" = 1'-0"
REF. SHEET: A107



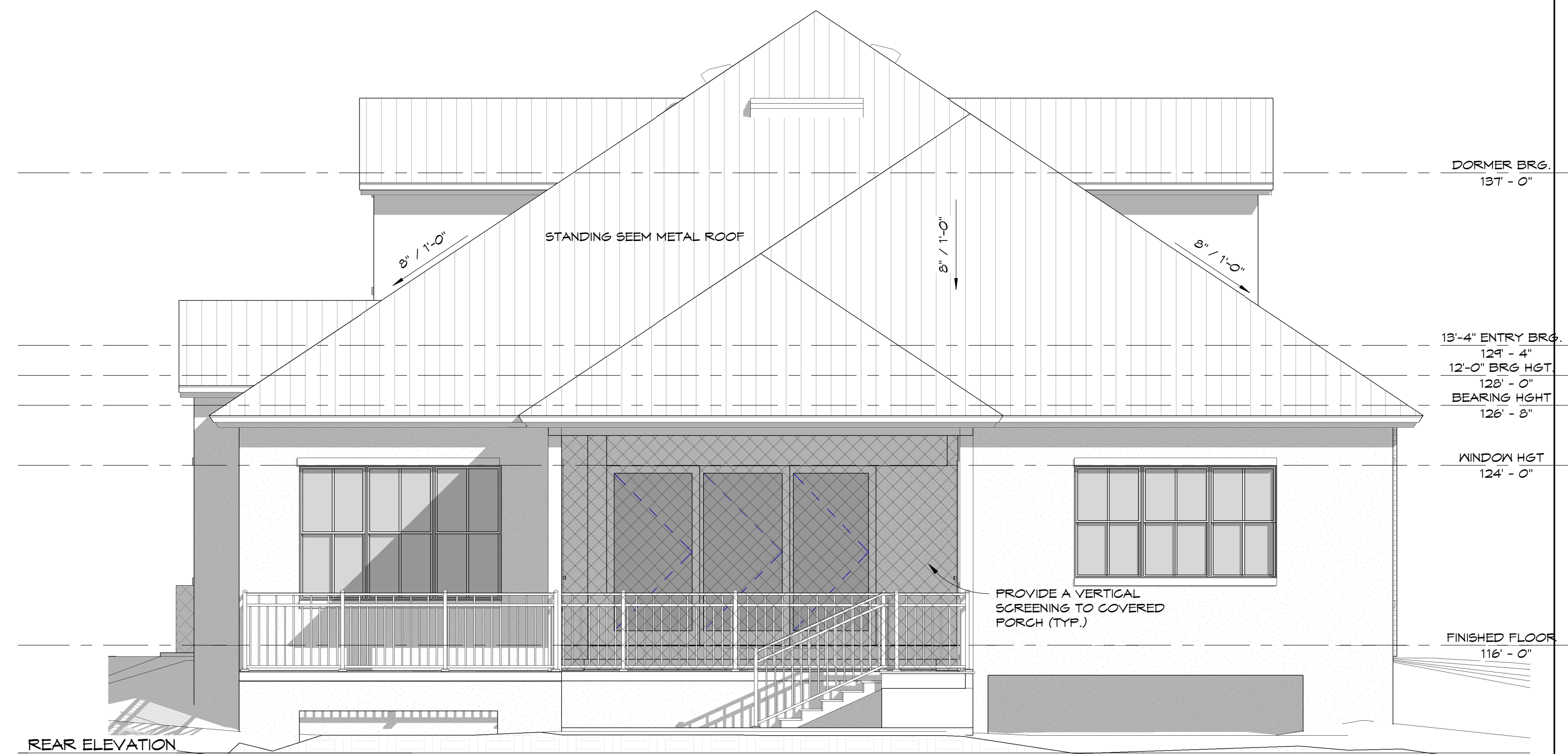
6 COLUMN AND BEAM ISOMETRIC

A107 SCALE:
REF. SHEET:



5 GABLE BRACKET DETAIL

A107 SCALE: 1/2" = 1'-0"
REF. SHEET: A107



REAR ELEVATION

1/4" = 1'-0"

RESIDENCE PLANS FOR
2815 WRIGHT AVE WINTER PARK FL.
FRONT- REAR ELEVATIONS

PROJECT NUMBER: On File
SCALE: AS SHOWN
DATE: 11/15/17
DRAWN BY: RCARRION
CHECKED BY: JY/ RC
SHEET: A107

No.	Description	Date

No.	Description	Date

PROJECT NUMBER	On File
SCALE	AS SHOWN
DATE	11/15/17
DRAWN BY:	RCARRION
CHECKED BY:	JY/ RC
SHEET	



LEFT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"

Ruth Osborne
2819 Wright Ave.
Winter Park, FL. 32789

Allison McGillis
Senior Planner
City of Winter Park
Planning and Community Development
401 Park Avenue South
Winter Park, FL. 32789
407.599.3348
amcgillis@cityofwinterpark.org

Re: Hild Rebuild at 2815 Wright Avenue 32789

Dear Ms. McGillis

My name is Ruth Osborne, property owner of 2819 Wright Ave, Winter Park, FL. 32789. I am the neighbor immediately adjacent to the east of Frank and Jamie Hild's property at 2815 Wright Ave., Winter Park, FL. 32789.

The Hild's informed me of their plan to rebuild their home and provided me the site plan design attached to this correspondence, as well as the set of design drawings. It is my understanding this is the design the Hild's are submitting to Winter Park Planning for lakefront review and to Winter Park Permitting.

I reviewed the site plan and design documents and walked the 2815 Wright Ave site to compare the existing construction to the future construction. Based on that review and verbal representations made during the walk-through of the property and its perimeter, I have no objection to the following future conditions at 2815 Wright Ave:

1. The location of the rear walls, covered porch and uncovered porch, including a vertical retractable screen at the outside walls of the covered porch. Based upon the currently site plans, I do not anticipate that these planned future conditions will obstruct my view;
2. The location of the west side front of house at a front setback of approximately 44.5', which is less than the required front setback of 48'. I understand this will allow the future west front of house to be in the same location as the existing front of garage on the existing home.

3. The air conditioning outside unit being on the east side of the future 2815 Wright Ave as depicted in the attached site plan.

Please do not hesitate to contact me at 407-619-5958.

Sincerely,



cc: Kris Stenger, Permitting via Mr. and Mrs. Hild

Jodi Beauregard
P.O.A. for Jane Beauregard
40 Coweta Court
Elijay, GA. 30540
706-889-1328

Allison McGillis
Senior Planner
City of Winter Park
Planning and Community Development
401 Park Avenue South
Winter Park, FL. 32789
407.599.3348

Re: Hild Rebuild at 2815 Wright Avenue 32789

Dear Ms. McGillis

My name is Jodi Beauregard, Power of Attorney for my mother Jane F. Beauregard, who is the property owner of 2811 Wright Ave, Winter Park, FL. 32789. We are the neighbors immediately adjacent to the west of Frank and Jamie Hild's property at 2815 Wright Ave., Winter Park, FL. 32789.

The Hild's informed us of their plan to rebuild their home and provided us the site plan design attached to this correspondence, as well as the set of design drawings. It is my understanding this is the design the Hild's are submitting to Winter Park Planning for lakefront review and to Winter Park Permitting.

We reviewed the site plan and design documents and walked the 2815 Wright Ave site to compare the existing construction to the future construction. Based on that review I have no objection to the following future conditions at 2815 Wright Ave:

1. The location of the rear walls, covered porch and uncovered porch, including a vertical retractable screen at the outside walls of the covered porch. These planned future conditions do not obstruct my view;
2. The location of the west side front of house at a front setback of approximately 44.5', which is less than the required front setback of 48'. I understand this will allow the

future west front of house to be in the same location as the existing front of garage on the existing home.

3. The air conditioning outside unit being on the east side of the future 2815 Wright Ave as depicted in the attached site plan.

Please do not hesitate to contact me at 706-889-1328.

Sincerely,

A handwritten signature in cursive script that reads "Jodi Beauregard".

cc: Chris Beauregard (woodenpride@gmail.com) (281-642-4127)

Kris Stenger, Permitting via Mr. and Mrs. Hild

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
January 8, 2019**

REQUEST OF ROLLINS COLLEGE FOR: CONDITIONAL USE APPROVAL TO BUILD A NEW 250,000 SQUARE FOOT DORMITORY WITH APPROXIMATELY 500 BEDS IN THE SAME GENERAL LOCATION OF MCKEAN HALL. THE REQUEST ALSO INCLUDES A NEW ON-CAMPUS PARKING GARAGE ON THE PROPERTY AT THE SOUTH WEST CORNER OF FAIRBANKS AVENUE AND OLLIE AVENUE, WITH UP TO FIVE LEVELS AND UP TO 850 PARKING SPACES, ALL ON THE ROLLINS COLLEGE CAMPUS AT 1000 HOLT AVENUE, ZONED PQP.

Rollins College is requesting Conditional Use approval to build a new 250,000 square foot dormitory with approximately 500 beds in the same general location of McKean Hall and to construct a new on-campus parking garage on the property located at the southwest corner of Fairbanks Avenue and Ollie Avenue with up to five levels and up to 850 parking spaces. Rollins College is seeking final conditional use approval for the dormitory project and preliminary conditional use for the parking garage.

Project Descriptions:

New Dormitory Project: The Conditional Use request for the new dormitory beds is motivated by the goal of Rollins College to increase the number of full-time undergraduate students living on-campus. Currently the freshman and sophomores live on-campus and for the most part, juniors and seniors live in off-campus housing. The added dorm rooms from this project will enable the junior class to reside on-campus providing a greater percentage of students taking part in the full on-campus experience of educational, athletic and social activities.

The new dormitory building will be located in the same area as the existing 5-story McKean Hall dormitory and the Physical Plant facilities. The project will be constructed around the existing McKean Hall, so that it can stay in use for students during construction, and then demolished, opening up that ground area for the internal courtyard and swimming pool amenity. The design has respected the lakefront location and topography of the land, as well as the city code by locating only a 3-story dorm component closest to the lake at the required 75 foot setback and then locating the taller components of 4-5 stories as the project moves away from the lakefront. Most importantly, the design layout preserves all of the large mature lakefront cypress trees thereby keeping almost a total visual screen of the buildings when viewed from the lake or across the lake.

New Parking Garage: Shifting the junior class on-campus will increase the number of permanent cars parked all-day versus just parked during classes, etc. Also, to have parking more convenient for both students and visitors to campus activities, Rollins College has decided to build a parking garage structure on the site of the current surface

on-campus parking lot at the corner of Fairbanks Avenue and Ollie Avenue. Unlike the detailed submittal for the Dormitory project, this request is preliminary or conceptual.

A preliminary conditional use approval means that the College has the entitlements to build the a parking garage but the specific plans and designs (height and size) and appearance of the garage, along with the landscape and lighting plans will come back through the P&Z Board and City Commission for a final approval. The request has been advertised for up to 4-stories/5 levels but the current thinking is that it is more likely to be 3-stories/4 levels. Both Rollins College and the City are invested in the form, function and appearance of any parking garage. The City has very comprehensive Parking Garage Design standards and together with the desire of Rollins College for an attractive image, that aspect should not be of issue. However, there are grade design issues, as the site drops down toward the lake, improvements needed to Ollie Avenue for the added traffic and the interface with the current access road into the College. Those details need further definition and thus the final design will be on a future agenda when resolved.

Dormitory Setbacks and Height: The dormitory location is a challenging site because there is a significant rise in existing grade as one moves from the lakefront up to the portions of the buildings furthest from the lake. Challenging for the architectural design because of the need to provide transition between these ground and upper floor levels, as the site rises. Challenging also because the city code limits building heights to 35 feet, at the proposed 75 foot lakefront setback but allows a transition up to 55 feet on the campus on the portions of the development site further removed from the lake. The city code also allows additional height for parapet walls (5 feet) and elevator/stair tower and mechanical features (10 feet). Thus, the proposed building program is a mix of 3, 4 and 5 story elements, with the lowest heights closest to the lake. However, no part of the overall dormitory project is taller than the height of the existing McKean Hall.

The dormitory elements closest to the lake, at the 75 foot setback, are at 35 feet in height to the roof eve. The design is keeping the roof slope/pitch and character as consistent with the campus Mediterranean architectural style and to the top of some small roof sections is one extra foot in height. While this is technically a variance, these are very small sections of the roof pitch (shown in red on the plan page) above the 35 feet but there are numerous cypress trees that cover the lakefront making this invisible to anyone looking from or across the lake.

Tree Preservation and Removal: Rollins College has made concerted efforts in the past 10+ years to remove the aging and declining Laurel Oak tree population on campus and aggressively replant the campus with new Live Oak trees and other diverse species such as the original pine trees. This is the same transition process that the City is dealing with along our city roadways. However, when any portion of the campus is proposed for redevelopment, there are then young healthy trees that were installed around the previous structures. In this case, 41 trees of a mixture of oaks and pines which were planted by Rollins in the last decade are proposed for removal due to the larger size of this dormitory facility.

However, all of the 31 healthy existing trees (mostly large mature cypress trees) that are located in the lakefront areas of the development site are being preserved. These cypress trees are important because they will provide a visual screen for virtually the entire project when viewed from the lake or lakefront homes across the lake. The project also contemplates landscape berm screening for the parking service court.

Storm Water Retention: These facilities will use a combination of surface retention swales in the open space areas and an underground storm water exfiltration system that will meet the requirements of the St. John River Water Management District as well as City Code.

Comprehensive Plan Guidance: The following Comprehensive Plan policies provide guidance for this matter. In summary, they say that the City should allow for the use of Institutional land use to assist the non-profit entities in the City to expand and redevelop provided that the scale, and density are compatible with the location.

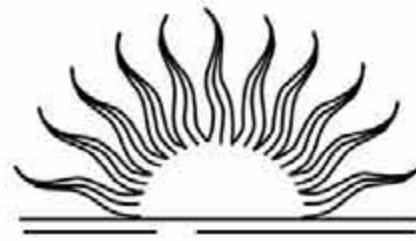
Policy 1-2.4.18: New Institutional Facilities. Since any new institutional facilities or expansions can only occur through Conditional Uses or Future Land Use Map changes, these proposed types of facilities such as public governmental buildings, schools, colleges or universities, public utility facilities, public parking lots, churches, museums, libraries, retirement and nursing homes, hospitals and non-profit community service facilities (excluding private clubs and lodges) may be exempted from policies in this element which discourages land use plan map changes so that appropriate future sites may be established that shall provide these public services and benefits.

Policy 1-2.4.19: Ensure Compatibility of New Community Institutional Facilities. New community facility uses or expansions shall be permitted only when those facilities or uses are compatible with the character of the surrounding area, and when there is minimal additional impact over that possible by existing land use, for such factors as traffic, parking, noise, height and size of the facilities.

Policy 1-2.4.20: Redevelopment of Rollins College. The City shall strive to accommodate the enhancement and redevelopment of the Rollins College campus to the extent that such redevelopment is compatible with the height and density of surrounding properties.

Summary and Recommendation: The staff has been impressed with the detail of the design program for the Dormitory project, especially given the dynamics of the sloping site and lakefront locale. The architectural product will have great visual appeal with alternating building heights, varied design elements, plentiful building articulation, etc. Locating a new parking garage on-campus will make parking more convenient for all students, staff and visitors and reduce the pedestrian safety issues crossing Fairbanks Avenue. Shifting parking from the SunTrust garage to this on-campus garage may also free up parking in that location for other uses.

Staff Recommendation is for FINAL APPROVAL of the Conditional Use for the Dormitory Project, as presented and for PRELIMINARY APPROVAL of the Parking Garage.



ROLLINS

NEW COLLEGE DORMITORY

C.U.P. SUBMITTAL

NOVEMBER 9, 2018

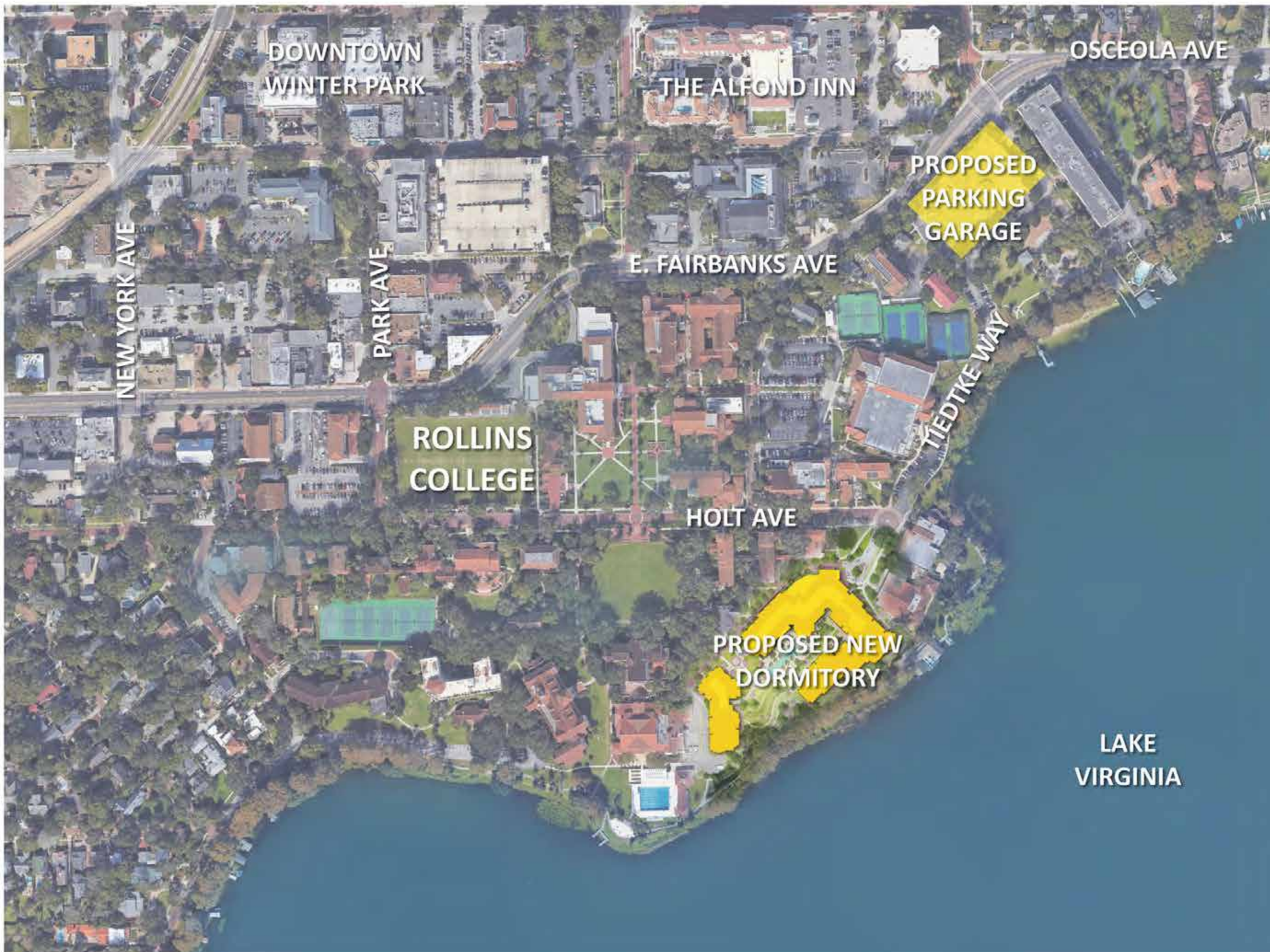


SHEET INDEX		
SHEET NO.	SHEET NAME	DATE
CS001	COVER SHEET	11/9/2018
MP001	REGIONAL MAP	11/9/2018
MP002	NEIGHBORHOOD PLAN	11/9/2018
MP003	OVERALL MASTER PLAN	11/9/2018
C100	TOPOGRAPHICAL SURVEY	11/9/2018
C200	EXISTING CONDITIONS PLAN	11/9/2018
C300	DRAINAGE BASIN MAP	11/9/2018
C400	GRADING AND DRAINAGE PLAN	11/9/2018
L000	ILLUSTRATIVE SITE PLAN	11/9/2018
L002	ILLUSTRATIVE SITE PLAN	11/9/2018
L003	ILLUSTRATIVE SITE PLAN	11/9/2018
L100	TREE PROTECTION & REMOVAL PLAN	11/9/2018
L101	TREE PROTECTION & REMOVAL PLAN	11/9/2018
L102	TREE PROTECTION & REMOVAL PLAN	11/9/2018
L200	LAYOUT PLAN	11/9/2018
L201	LAYOUT PLAN	11/9/2018
L202	LAYOUT PLAN	11/9/2018
L300	PLANTING PLAN	11/9/2018
L301	PLANTING PLAN	11/9/2018
L302	PLANTING PLAN	11/9/2018
A001	AERIAL PERSPECTIVE	11/9/2018
A002	LAKE VIEW PERSPECTIVE	11/9/2018
A003	MAIN ENTRY TO BUILDING 1	11/9/2018
A004	POOL VIEW 1	11/9/2018
A005	POOL VIEW 2	11/9/2018
A006	SITE PLAN	11/9/2018
A007	OVERALL PROJECT PLAN	11/9/2018
A008	FIRST FLOOR PLAN	11/9/2018
A009	SECOND FLOOR PLAN	11/9/2018
A010	THIRD FLOOR PLAN	11/9/2018
A011	FOURTH FLOOR PLAN	11/9/2018
A012	FIFTH FLOOR PLAN	11/9/2018
A013	ROOF PLAN	11/9/2018
A014	BUILDING ELEVATIONS	11/9/2018
A015	BUILDING ELEVATIONS	11/9/2018
A016	BUILDING ELEVATIONS	11/9/2018
A017	BUILDING ELEVATIONS	11/9/2018
A018	BUILDING ELEVATIONS	11/9/2018
A019	BUILDING SECTIONS	11/9/2018
A020	5TH LEVEL COMPARITIVE ANALYSIS	11/9/2018
A021	3D VIEWS	11/9/2018
A022	3D VIEWS	11/9/2018
A023	REALATIONSHIP OF BUILDING DESIGN TO SETBACK	11/9/2018
A024	EXISTING CONDITIONS	11/9/2018



landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
COVER SHEET		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/09/2018	
Drawn by		
Checked by		
CS001		
State		



RS
 ROB SCHAEFFER
 VISUALIZATION
 AND PLANNING
 407.288.7188
 www.rs-vp.com
 100 W. Winter Park Ave., 100
 Winter Park, Florida 32789

RSVP

POULOS & BENNETT

CRJA IBI

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
	ROLLINS COLLEGE	
	NEW DORMITORY	
	REGIONAL MAP	
	C.U.P. SUBMITTAL	
Project number:	10001	
Date:	11/09/2018	
Drawn by:		
Checked by:		
	MP001	
Scale:		



landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
NEIGHBORHOOD PLAN		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/09/2018	
Drawn by		
Checked by		
MP002		
Scale		



RS ROB SCHAEFFER
VISUALIZATION
AND PLANNING
487.288.7188
rs@rsvp.com
100 W. HOWARD AVE. SUITE 100
ORLANDO, FLORIDA 32809

RSVP

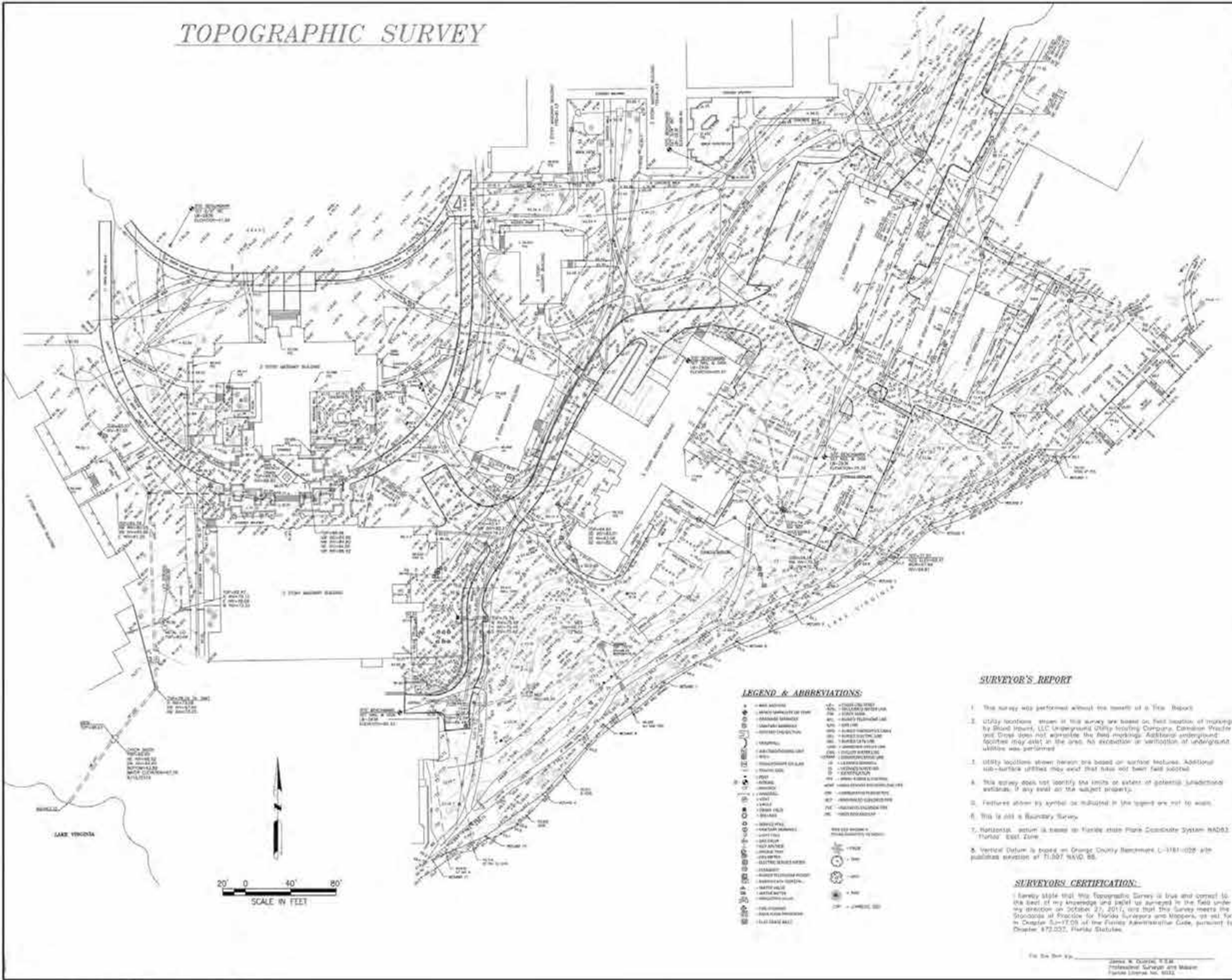
POULOS & BENNETT

CRJA **IBI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
OVERALL MASTER PLAN		
C.U.P. SUBMITTAL		
Project number:	10001	
Date:	11/09/2018	
Drawn by:		
Checked by:		
MP003		
Scale:		

TOPOGRAPHIC SURVEY



CPC
CARNAHAN PROCTOR & CROSS
 604 COURTLAND STREET SUITE 101
 ORLANDO, FLORIDA 32804
 CERTIFICATE OF AUTHORIZATION # 2708
 LAND DEVELOPMENT
 SURVEYING
 CONSTRUCTION ENGINEERING INSPECTION

RS ROB SCHAEFFER
 VISUALIZATION
 AND PLANNING
 ART, 244, 7444
 888-948-1000
 www.rs-vp.com
 701 N. WINDY ROAD SUITE 100
 AUSTIN, TEXAS 78702

RSVP

POULOS & BENNETT

CRJA **IBI**
 landscape architects

SURVEYOR'S REPORT

- This survey was performed without the benefit of a Title Report.
- Utility locations shown in this survey are based on field location of markings by Blueprint, LLC Underground Utility Locating Company, Carleton Proctor and Cross does not guarantee the field markings. Additional underground utilities may exist in the area. No excavation or verification of underground utilities was performed.
- Utility locations shown herein are based on surface features. Additional sub-surface utilities may exist that have not been field located.
- This survey does not identify the limits or extent of potential jurisdictional wetlands, if any exist on the subject property.
- Features shown by symbol or indicated in the legend are not to scale.
- This is not a Boundary Survey.
- Horizontal datum is based on Florida State Plane Coordinate System NAD83 Florida East Zone.
- Vertical Datum is based on Orange County Benchmark L-3181-0226 and published revision of TUGOT NAVD 88.

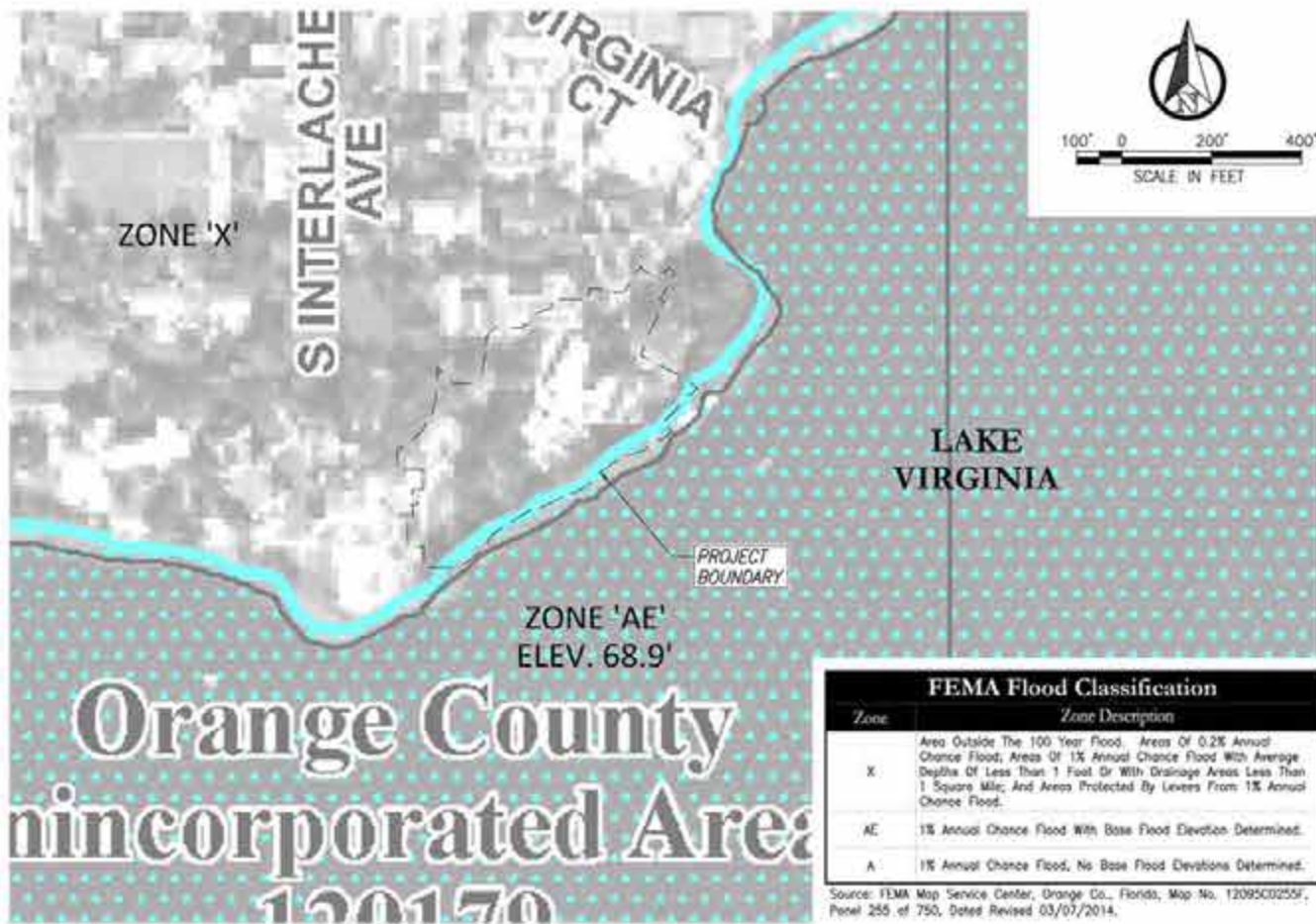
SURVEYOR'S CERTIFICATION:

I hereby state that this Topographic Survey is true and correct to the best of my knowledge and belief as ascertained in the field under my direction on October 27, 2017, and that this Survey meets the Standards of Practice for Florida Surveyors and Mappers, set out forth in Chapter 35-77.05 of the Florida Administrative Code, pursuant to Chapter 472.007, Florida Statutes.

For the Surveyor: James W. Doolittle, R.S.M.
 Professional Surveyor and Mapper
 Florida License No. 6532

Revised	By	Date	Reason
	JWQ	10-27-2017	AS SHOWN

Revision Schedule		
Revision Number	Revision Description	Revision Date
	Rollins College SE Campus Area	
	Orange County	
	TOPOGRAPHIC SURVEY	
C.U.P. SUBMITTAL		
Project number:	18-181	
Date:	11/01/2018	
Drawn by:	DM	
Checked by:	RLA	
C100		
Scale:	1" = 40'-0"	



FLOODPLAIN MAP



SOILS MAP



AERIAL MAP



EXISTING ZONING & FUTURE LAND USE MAP



Revision Schedule		
Revision Number	Revision Description	Revision Date

ROLLINS COLLEGE
NEW DORMITORY
EXISTING CONDITIONS PLAN

C.U.P. SUBMITTAL
Project number: 18-181
Date: 11/01/2018
Drawn by: DM
Checked by: RLA

C200

Scale: 1" = 200'-0"



LEGEND

- BASIN LINE
- [Diagonal Hatching] EXISTING BASIN MILLS MEMORIAL
- [Diagonal Hatching] EXISTING BASIN 2
- [Cross-hatching] OFFSITE COMPENSATION BASIN
- [White] BASIN 100
- [Dotted] BASIN 200
- [Grey] R-TANKS UNDERGROUND STORAGE/EXFILTRATION SYSTEM

STORMWATER MANAGEMENT:
 ONSITE STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY OF WINTER PARK AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SRWMD) CRITERIA. THE STORMWATER MANAGEMENT SYSTEM SHALL PROVIDE WATER QUALITY TREATMENT AND ATTENUATION THROUGH AN UNDERGROUND STORAGE/EXFILTRATION SYSTEM.

CRITERIA

WATER QUALITY:
 BASED UPON A PRE-APPLICATION MEETING WITH SRWMD STAFF ON MARCH 8TH 2018, THE PROJECT WILL BE REQUIRED TO PROVIDE WATER QUALITY TREATMENT VOLUMES FOR THE NEWLY PROPOSED IMPERVIOUS AREAS.

1. SRWMD CRITERIA FOR UNDERGROUND OFFLINE SYSTEM REQUIRES THE RETENTION OF 1.25-INCH OF RUNOFF FROM THE IMPERVIOUS AREAS.
2. CITY OF WINTER PARK CRITERIA FOR UNDERGROUND SYSTEMS REQUIRES 2.00-INCH OF WATER QUALITY VOLUME FOR SUBSURFACE RETENTION.

SINCE THE CITY WINTER PARK CRITERIA IS MORE STRINGENT, THE CITY CRITERIA WILL GOVERN ATTENUATION.

BASED UPON A PRE-APPLICATION MEETING WITH SRWMD STAFF ON MARCH 8TH 2018, THE PROJECT WILL REQUIRE ATTENUATION VOLUMES FOR ALL IMPERVIOUS AREA IN EXCESS OF THAT WHICH CURRENTLY EXISTS WITHIN THE REDEVELOPMENT PROJECT LIMITS.

AS SUCH, FOR ALL IMPERVIOUS AREA IN EXCESS OF THAT WHICH CURRENTLY EXISTS WITHIN THE REDEVELOPMENT PROJECT LIMITS, THE POST DEVELOPMENT PEAK RUNOFF RATE SHALL BE AT OR BELOW THE EXISTING PEAK RUNOFF RATE FOR THE 25-YEAR/24-HOUR DESIGN STORM EVENT (3.6-INCHES OF RAINFALL).

SINCE THE PROPOSED IMPERVIOUS AREA FOR THE PROJECT IS LESS THAN THE EXISTING IMPERVIOUS AREA, ATTENUATION WOULD NOT BE REQUIRED FOR THIS PROJECT.

METHODOLOGY

THE PROPOSED STORMWATER MANAGEMENT SYSTEM CONSISTS OF AN UNDERGROUND STORMWATER STORAGE SYSTEM WHICH IS SIZED TO PROVIDE THE REQUIRED WATER QUALITY TREATMENT VOLUME ONLY. THE STORMWATER SYSTEM SHALL RECOVER THE WATER QUALITY VOLUME VIA INFILTRATION INTO THE GROUND. RUNOFF IN EXCESS OF THE REQUIRED WATER QUALITY VOLUME WILL BYPASS THE SYSTEM ULTIMATELY DISCHARGING INTO LAKE WINDING. THE BOTTOM OF THE UNDERGROUND STORMWATER SYSTEM WILL BE SET A MINIMUM OF 2- FEET ABOVE THE SEASONAL HIGH GROUND WATER ELEVATION AS ESTABLISHED BY THE GEOTECHNICAL ENGINEER IN THE GEOTECHNICAL ENGINEERING REPORT.

THE CONTRIBUTING AREAS TO THE STORMWATER MANAGEMENT SYSTEM ARE DESCRIBED BELOW:

EXISTING BASIN MILLS MEMORIAL (SRWMD PERMIT NO. 44453-15)
 CONSIST OF 0.24 ACRES OF IMPERVIOUS AREA CURRENTLY DISCHARGING TO A DRY RETENTION POND FOR WATER QUALITY. CONSTRUCTED WITH THE MILLS MEMORIAL PROJECT, THE DRY RETENTION POND WILL BE ELIMINATED FROM THE MILLS MEMORIAL PROJECT. TO COMPENSATE FOR THE DELETION OF THIS TREATMENT VOLUME FOR THE MILLS MEMORIAL PROJECT, RUNOFF FROM AN OFFSITE BASIN IDENTIFIED AS OFFSITE COMPENSATION BASIN (0.32 ACRES OF IMPERVIOUS AREA) WILL BE ROUTED TO THE PROPOSED UNDERGROUND STORAGE/EXFILTRATION SYSTEM.

EXISTING BASIN 2 (SRWMD PERMIT NO. 44453-2)
 THIS BASIN CONSIST OF 1.79 ACRES OF IMPERVIOUS AREA CURRENTLY DISCHARGING TO AN EXISTING DRY RETENTION POND FOR WATER QUALITY. THIS POND WILL BE IMPACTED BY THE REDEVELOPMENT. THE EXISTING COLLECTION AND CONVEYANCE SYSTEM FOR THIS BASIN WILL REMAIN AND WILL BE RE-ROUTED TO THE PROPOSED UNDERGROUND STORAGE/EXFILTRATION SYSTEM.

BASIN 100
 THIS BASIN INCLUDES 2.53 ACRES OF IMPERVIOUS AREA. RUNOFF FROM BASIN 100 IS CONVEYED TO THE PROPOSED UNDERGROUND STORAGE/EXFILTRATION SYSTEM VIA AN UNDERGROUND STORMWATER CONVEYANCE SYSTEM CONSISTING OF DRAINAGE INLETS AND PIPES.

BASIN 200
 THE BASIN INCLUDES 0.33 ACRES OF IMPERVIOUS AREA THAT CANNOT FEASIBLY BE ROUTED TO THE PROPOSED UNDERGROUND STORAGE/EXFILTRATION SYSTEM. ALTHOUGH RUNOFF FROM THIS BASIN DISCHARGES UNTREATED IN THE PRE CONDITION, THE PROPOSED UNDERGROUND STORAGE/EXFILTRATION SYSTEM IS DESIGNED TO PROVIDE TREATMENT FOR THIS BASIN BY PROVIDING OVERTREATMENT OF THE RUNOFF FROM BASIN 100 TO A HIGHER LEVEL THAN SRWMD RULES REQUIRE.

R-TANK UNDERGROUND STORAGE/EXFILTRATION SYSTEM

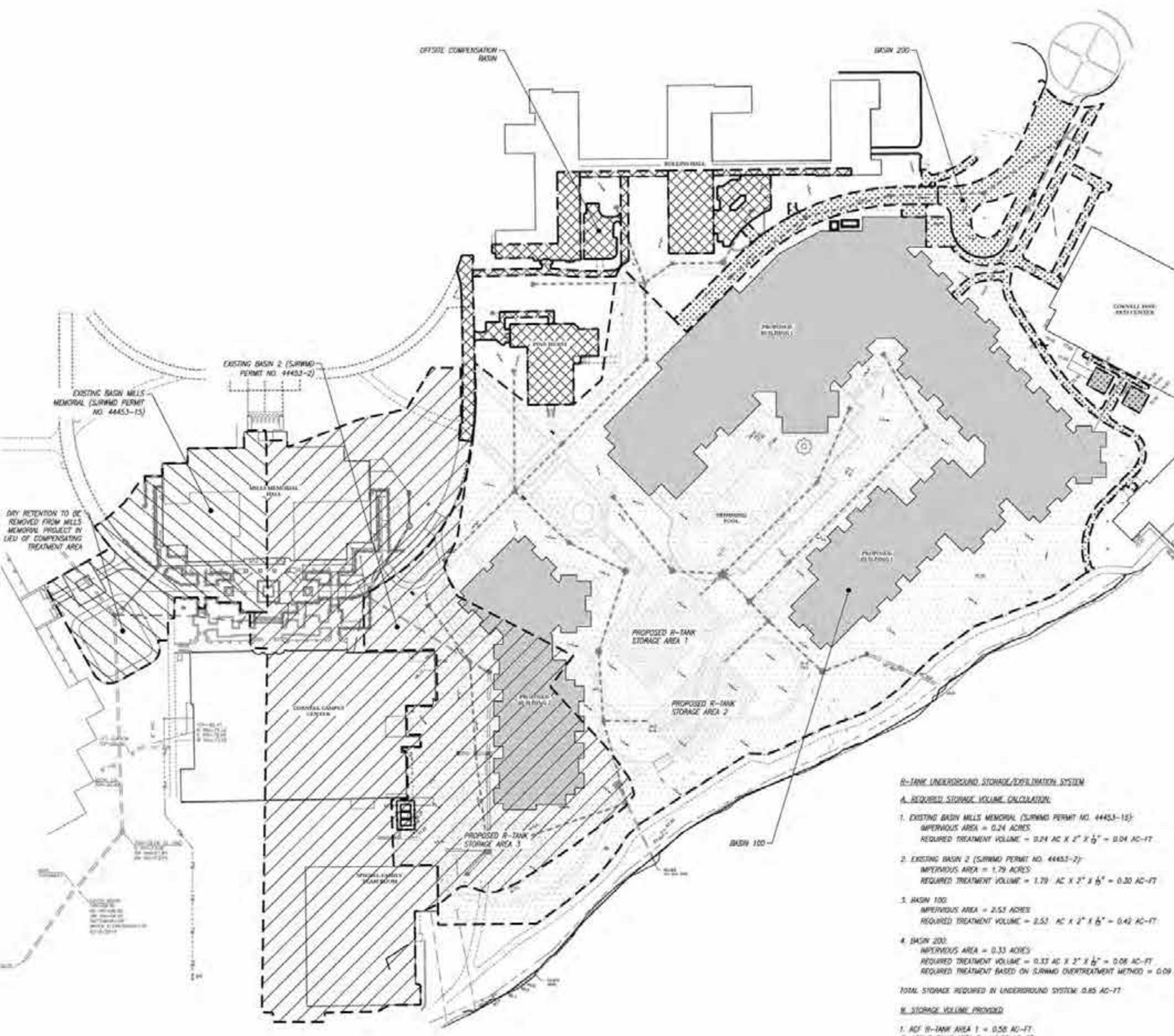
A. REQUIRED STORAGE VOLUME CALCULATION:

1. EXISTING BASIN MILLS MEMORIAL (SRWMD PERMIT NO. 44453-15)
 IMPERVIOUS AREA = 0.24 ACRES
 REQUIRED TREATMENT VOLUME = $0.24 \text{ AC} \times 2" \times \frac{1}{16}" = 0.04 \text{ AC-FT}$
2. EXISTING BASIN 2 (SRWMD PERMIT NO. 44453-2)
 IMPERVIOUS AREA = 1.79 ACRES
 REQUIRED TREATMENT VOLUME = $1.79 \text{ AC} \times 2" \times \frac{1}{16}" = 0.20 \text{ AC-FT}$
3. BASIN 100
 IMPERVIOUS AREA = 2.53 ACRES
 REQUIRED TREATMENT VOLUME = $2.53 \text{ AC} \times 2" \times \frac{1}{16}" = 0.42 \text{ AC-FT}$
4. BASIN 200
 IMPERVIOUS AREA = 0.33 ACRES
 REQUIRED TREATMENT VOLUME = $0.33 \text{ AC} \times 2" \times \frac{1}{16}" = 0.08 \text{ AC-FT}$
 REQUIRED TREATMENT BASED ON SRWMD OVERTREATMENT METHOD = 0.09 AC-FT

TOTAL STORAGE REQUIRED IN UNDERGROUND SYSTEM 0.85 AC-FT

B. STORAGE VOLUME PROVIDED:

1. 1 AC² R-TANK AREA 1 = 0.58 AC-FT
 2. 1 AC² R-TANK AREA 2 = 0.22 AC-FT
 3. 1 AC² R-TANK AREA 3 = 0.09 AC-FT
- TOTAL STORAGE PROVIDED IN UNDERGROUND SYSTEM = 0.89 AC-FT



RS ROB SCHAEFFER
 VISUALIZATION
 AND PLANNING
 ART. 244.7589

RSVP
 1800@rsvp.com
 408.742.0200
 100 W. Central Blvd. Ste. 325
 Winter Park, Florida 32789

POULOS & BENNETT

CRJA | BI
 landscape architects

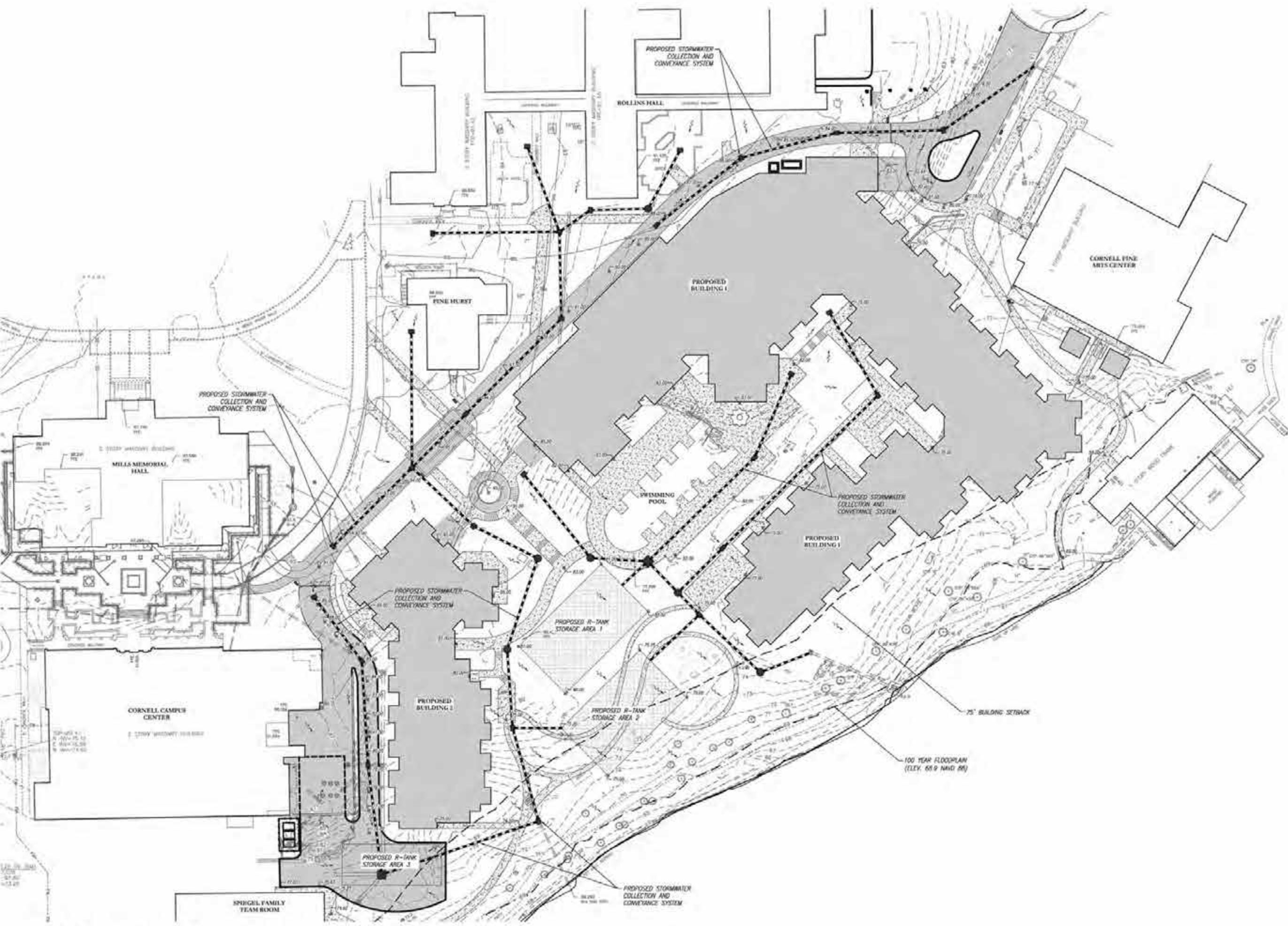
Revision Schedule		
Revision Number	Revision Description	Revision Date

ROLLINS COLLEGE
NEW DORMITORY
DRAINAGE BASIN MAP

C.U.P. SUBMITTAL

Project number: 18-181
 Date: 11/01/2018
 Drawn by: DM
 Checked by: RLA

C300
 Scale: 1" = 40'-0"



Revision Schedule

Revision Number	Revision Description	Revision Date

ROLLINS COLLEGE
 NEW DORMITORY
 GRADING AND DRAINAGE
 PLAN
 C.U.P. SUBMITTAL

Project number: 18-181
 Date: 11/01/2018
 Drawn by: DM
 Checked by: RLA

C400
 Scale: 1" = 30'-0"

1 GRADING AND DRAINAGE PLAN
 1" = 30'-0"



1 ILLUSTRATIVE SITE PLAN - A
SCALE: 1" = 20'-0"



KEY PLAN
SCALE: 1" = 100'-0"

RS ROB SCHAEFFER
VISUALIZATION
AND PLANNING
483.284.1888
rs@rsvp.com
www.rsvp.com
700 W. HOWARD STREET, SUITE 100
ANN ARBOR, MICHIGAN 48106

POULOS & BENNETT

CRJA **BI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
ILLUSTRATIVE SITE PLAN		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/01/2018	
Drawn by	Author	
Checked by	Checker	
L000		
Scale	AS NOTED	



1 ILLUSTRATIVE SITE PLAN - B
SCALE: 1" = 20'-0"



KEY PLAN
SCALE: 1" = 100'-0"

RS
ROB SCHAEFFER
VISUALIZATION
AND PLANNING
RSVP
407.284.7389
708@rsvp.com
www.rsvp.com
100 W. Central Blvd. Ste. 100
Winter Park, Florida 32789

POULOS & BENNETT

CRJA **BI**
landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
ILLUSTRATIVE SITE PLAN		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/01/2018	
Drawn by	Author	
Checked by	Checker	
L001		
Scale	AS NOTED	



1 ILLUSTRATIVE SITE PLAN - C

SCALE: 1" = 20'-0"



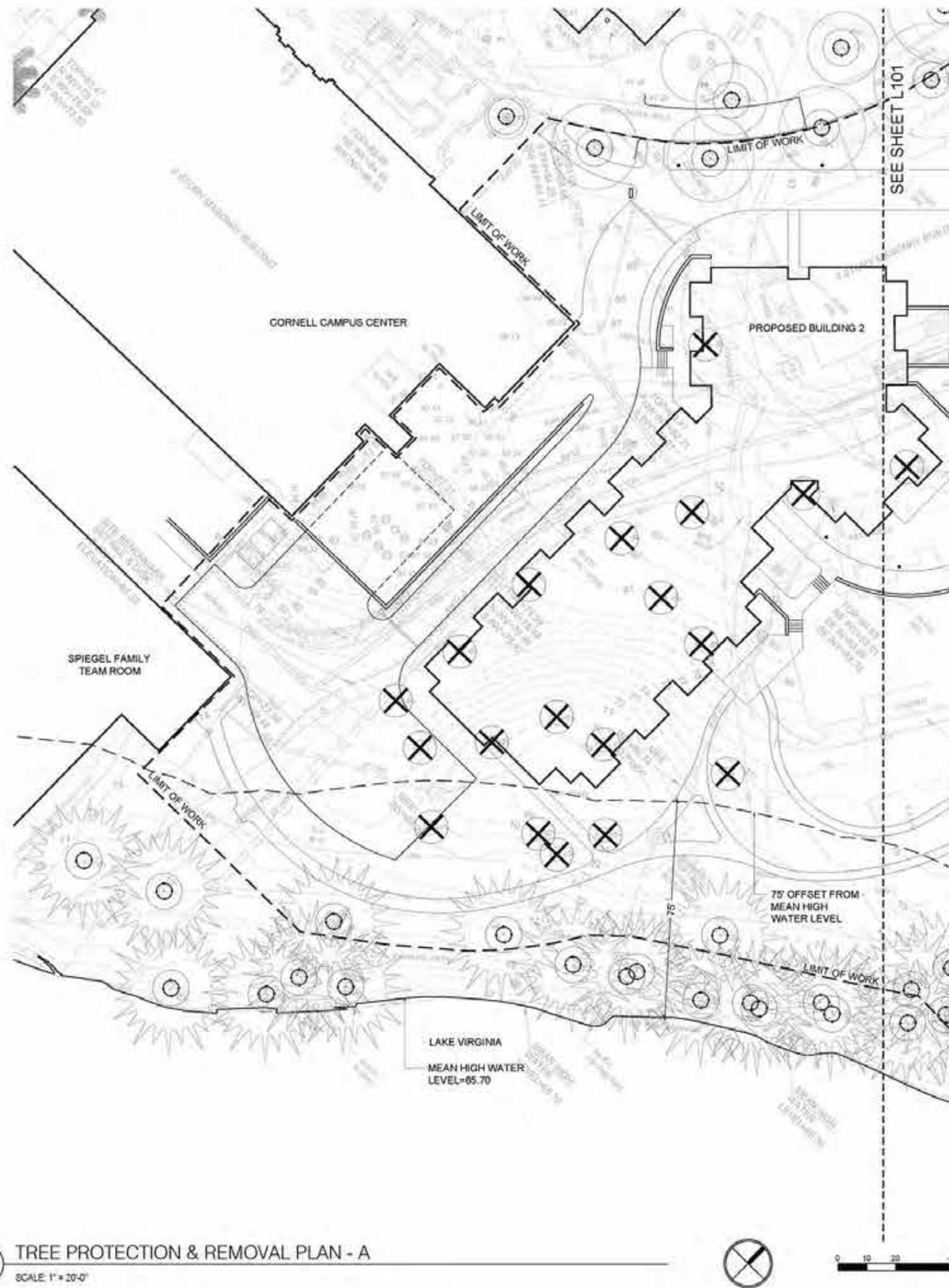
KEY PLAN

SCALE: 1" = 100'-0"



landscape architects

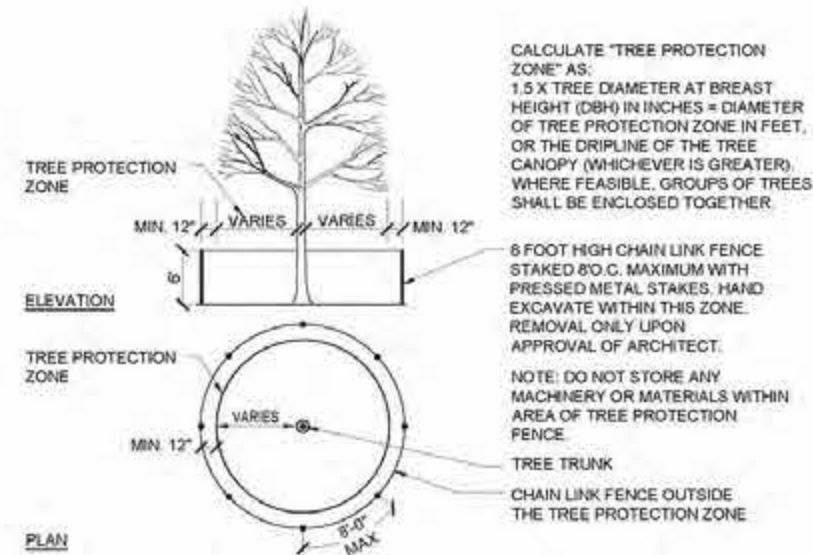
Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
ILLUSTRATIVE SITE PLAN		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/01/2018	
Drawn by	Author	
Checked by	Checker	
L002		
Scale	AS NOTED	



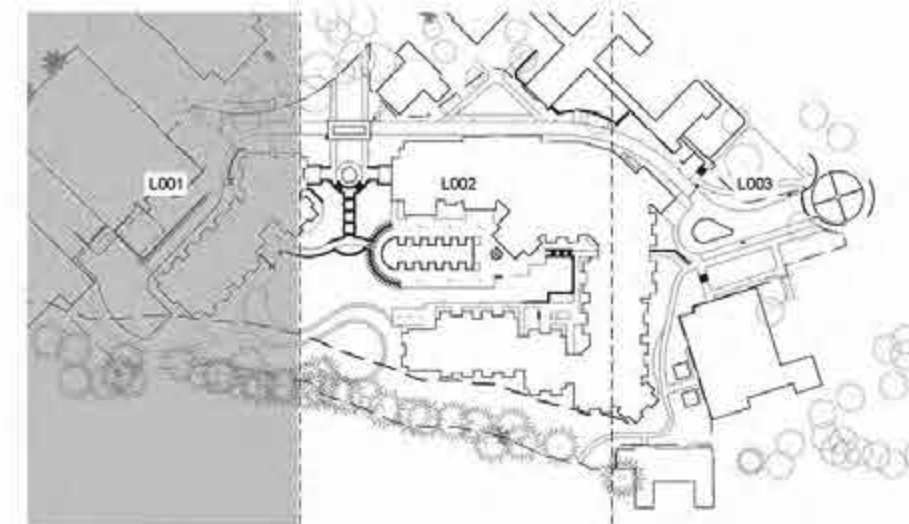
1 TREE PROTECTION & REMOVAL PLAN - A
SCALE: 1" = 20'-0"

TREE PROTECTION & REMOVAL LEGEND

- REMOVE AND DISPOSE EXISTING TREE
- PRESERVE AND PROTECT EXISTING TREE TO REMAIN



2 TREE PROTECTION
SCALE NTS

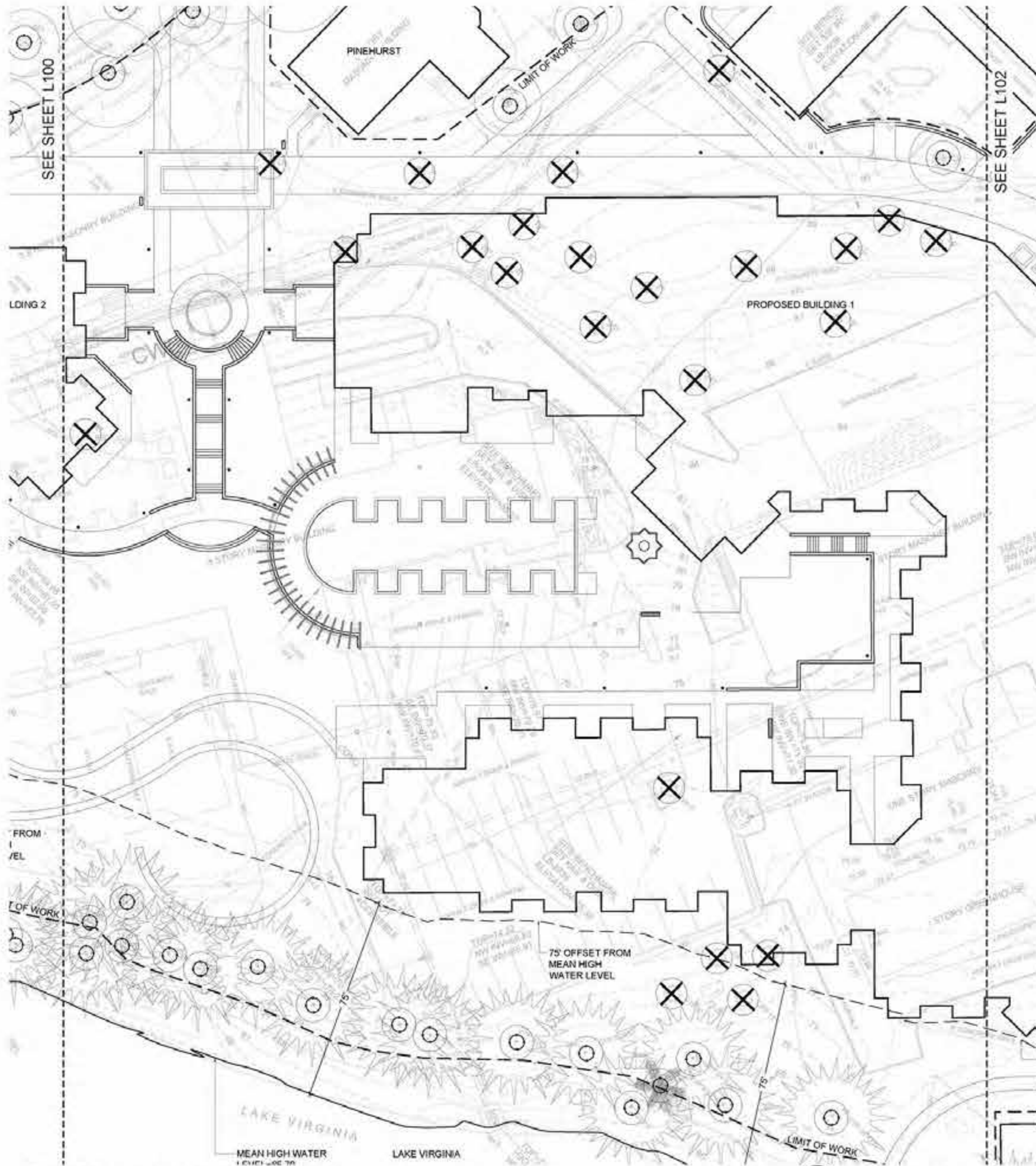


KEY PLAN
SCALE: 1" = 100'-0"





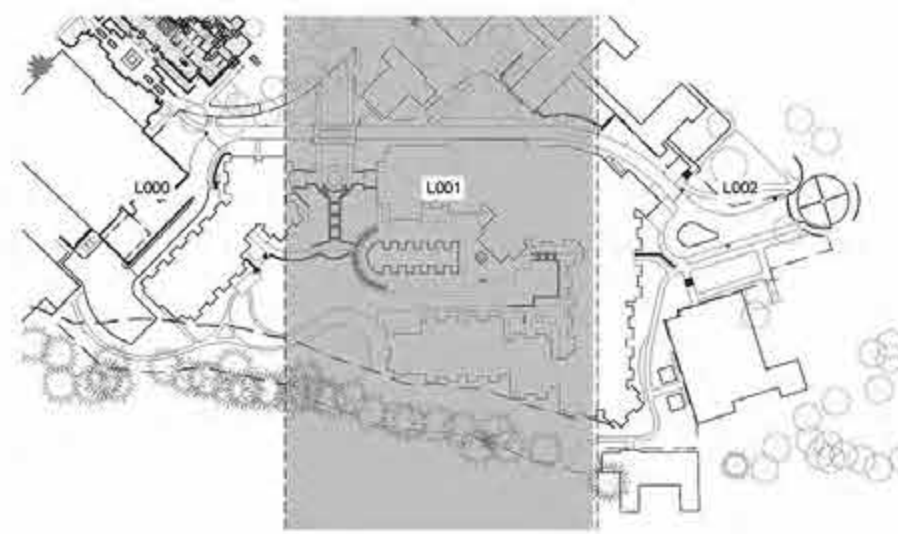
landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
TREE PROTECTION & REMOVAL PLAN		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/01/2018	
Drawn by	Author	
Checked by	Checker	
L100		
Scale	AS NOTED	



TREE PROTECTION & REMOVAL LEGEND

-  REMOVE AND DISPOSE EXISTING TREE
-  PRESERVE AND PROTECT EXISTING TREE TO REMAIN



1 TREE PROTECTION & REMOVAL PLAN - B
SCALE: 1" = 20'-0"



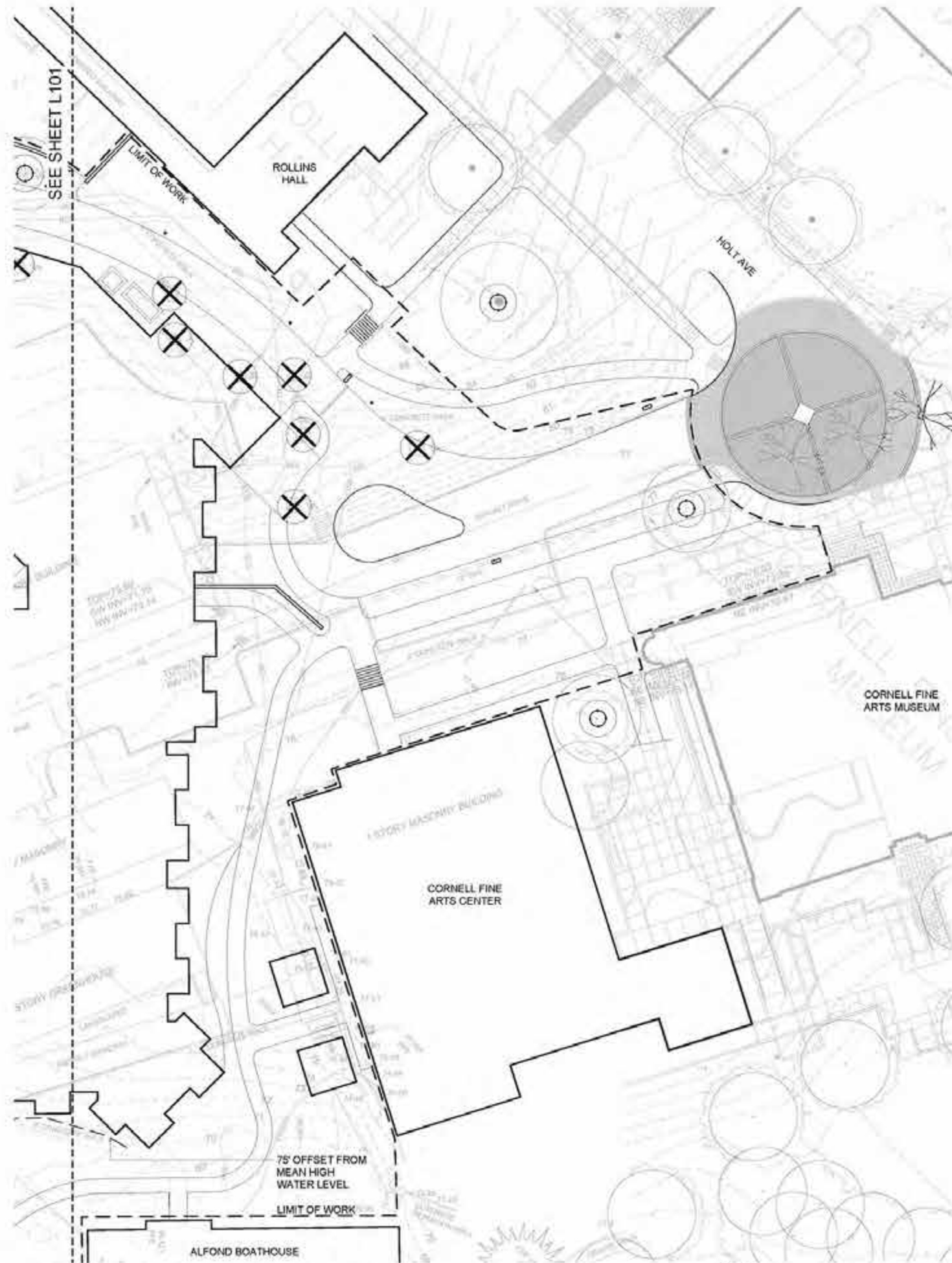
KEY PLAN
SCALE: 1" = 100'-0"

RS
ROB SCHAEFFER
VISUALIZATION
AND PLANNING
RSVP
407.264.7509
rob@rsvp.com
www.rsvp.com
100 Alton Road, Suite 125
Winter Park, Florida 32789

POULOS & BENNETT



CRJA **BI**
landscape architects

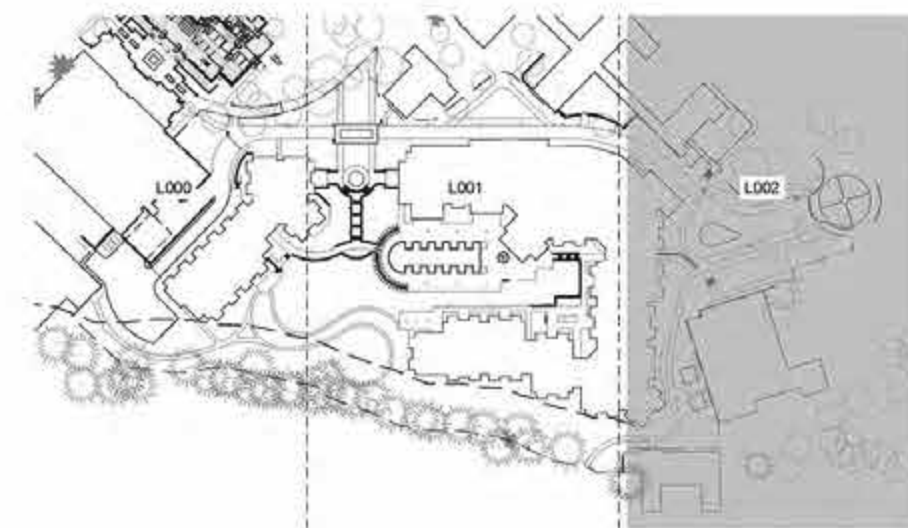
Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
TREE PROTECTION & REMOVAL PLAN		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/01/2018	
Drawn by	Author	
Checked by	Checker	
L101		
Scale	AS NOTED	



1 TREE PROTECTION & REMOVAL PLAN - C
SCALE: 1" = 20'-0"

TREE PROTECTION & REMOVAL LEGEND

-  REMOVE AND DISPOSE EXISTING TREE
-  PRESERVE AND PROTECT EXISTING TREE TO REMAIN

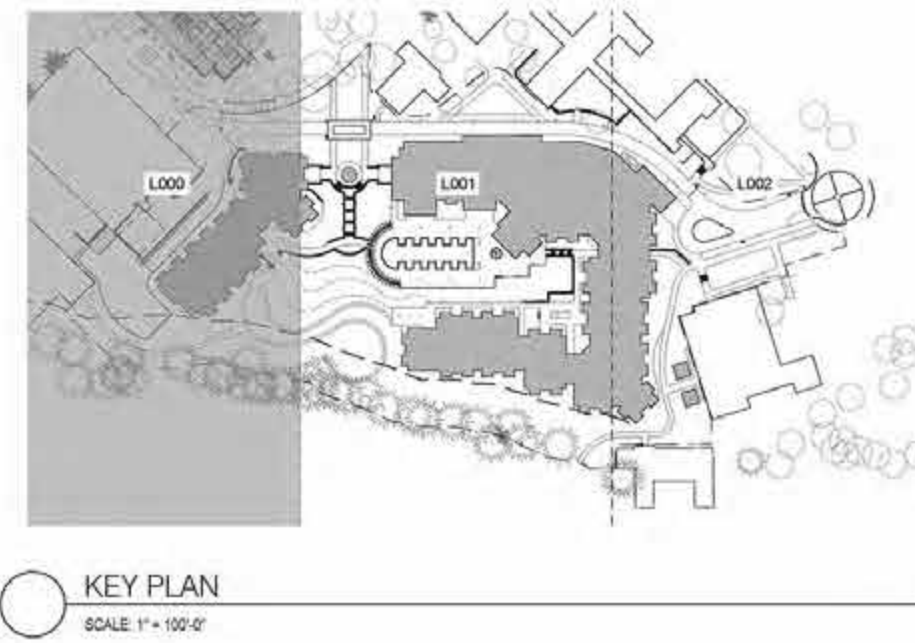
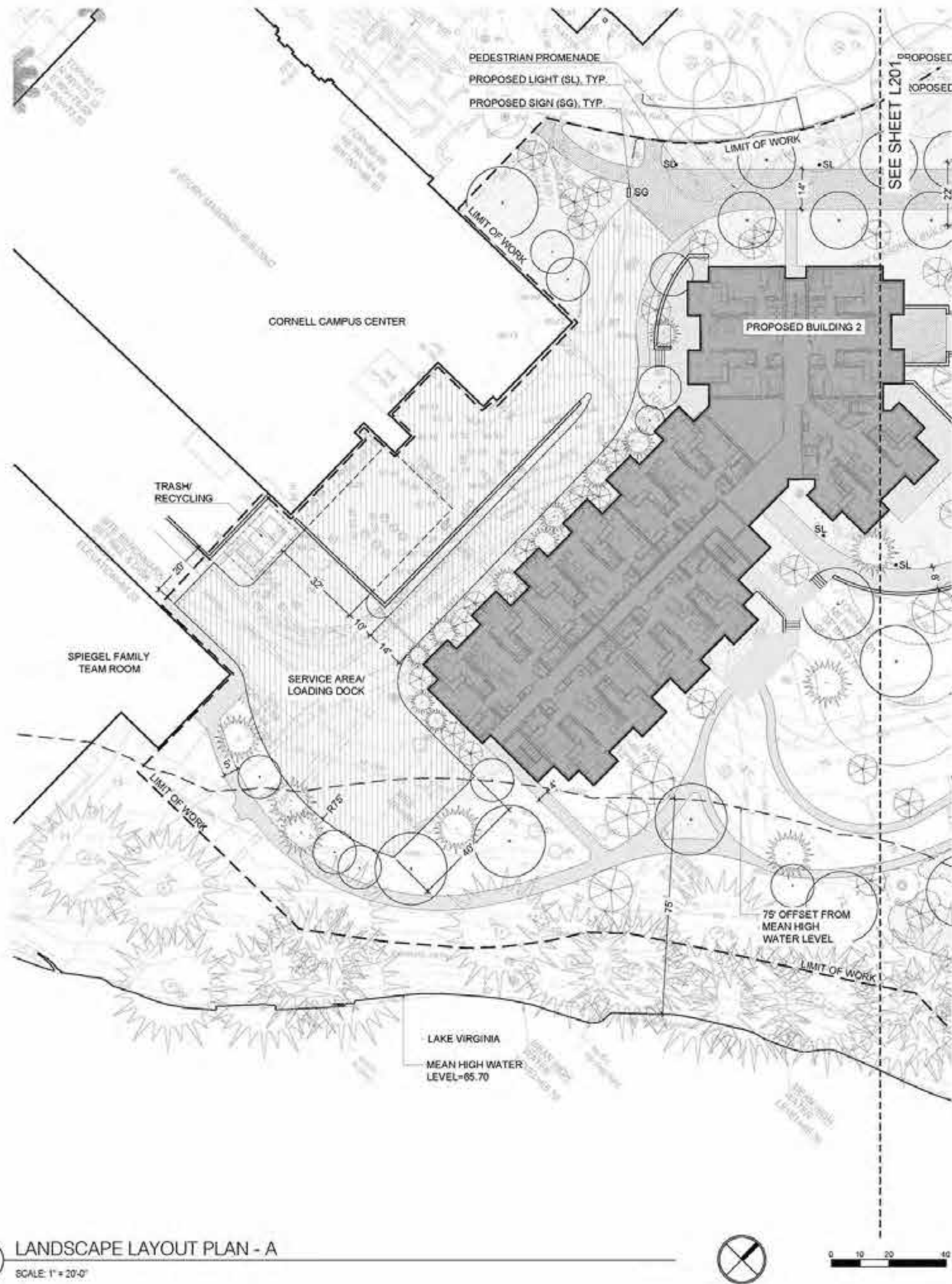


KEY PLAN
SCALE: 1" = 100'-0"



landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
TREE PROTECTION & REMOVAL PLAN		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/01/2018	
Drawn by	Author	
Checked by	Checker	
L102		
Scale	AS NOTED	



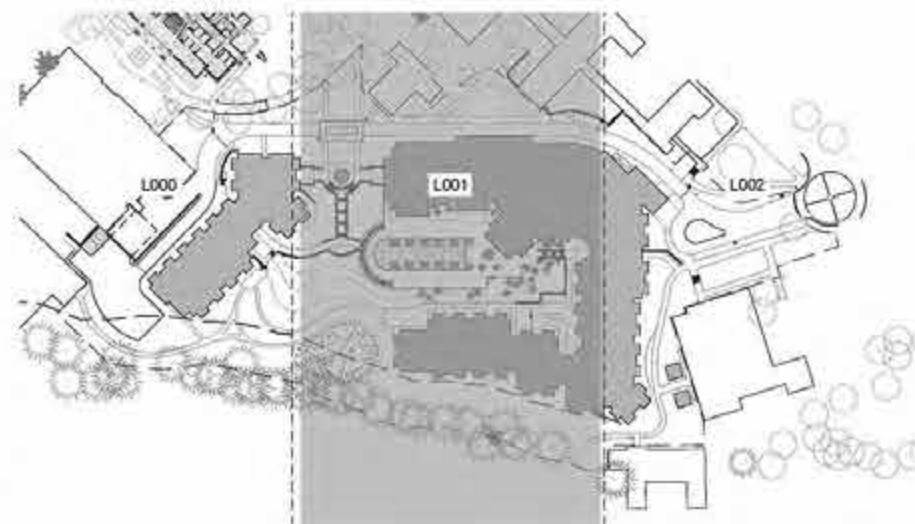
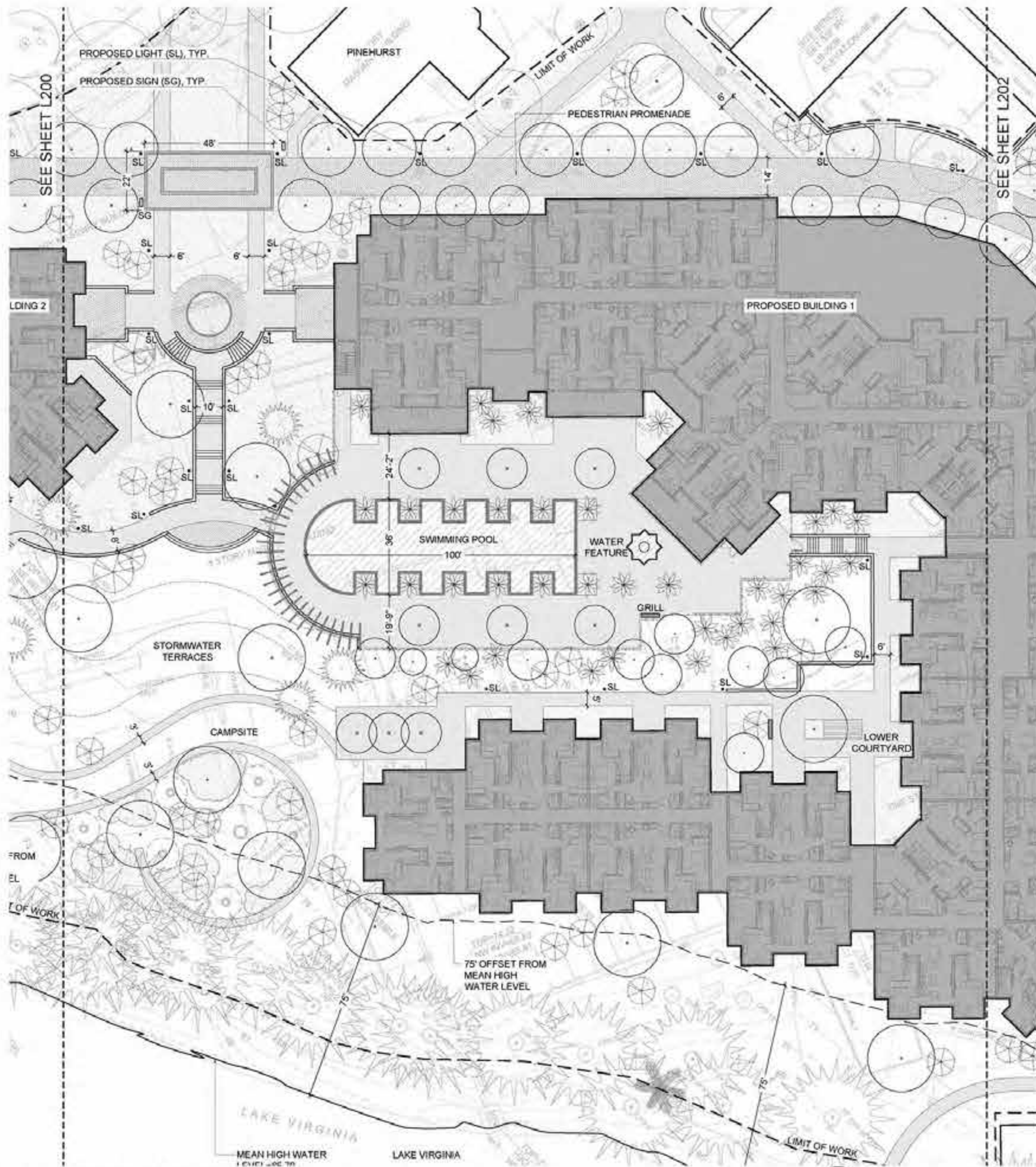
RS
ROB SCHAEFFER
VISUALIZATION
AND PLANNING
RSVP
487.284.7989
rob@rsvp.com
www.rsvp.com
100 acornor road ste. 125
winter park, florida 32789

POULOS & BENNETT

CRJA **BI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY LAYOUT PLAN		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/01/2018	
Drawn by	Author	
Checked by	Checker	
L200		
Scale	AS NOTED	



1 LANDSCAPE LAYOUT PLAN - B
SCALE: 1" = 20'-0"

KEY PLAN
SCALE: 1" = 100'-0"

RS ROB SCHAEFFER
VISUALIZATION
AND PLANNING
487.284.7889
rob@rsvp.com
www.rsvp.com
100 acornwood ct. 125
winter park, florida 32789

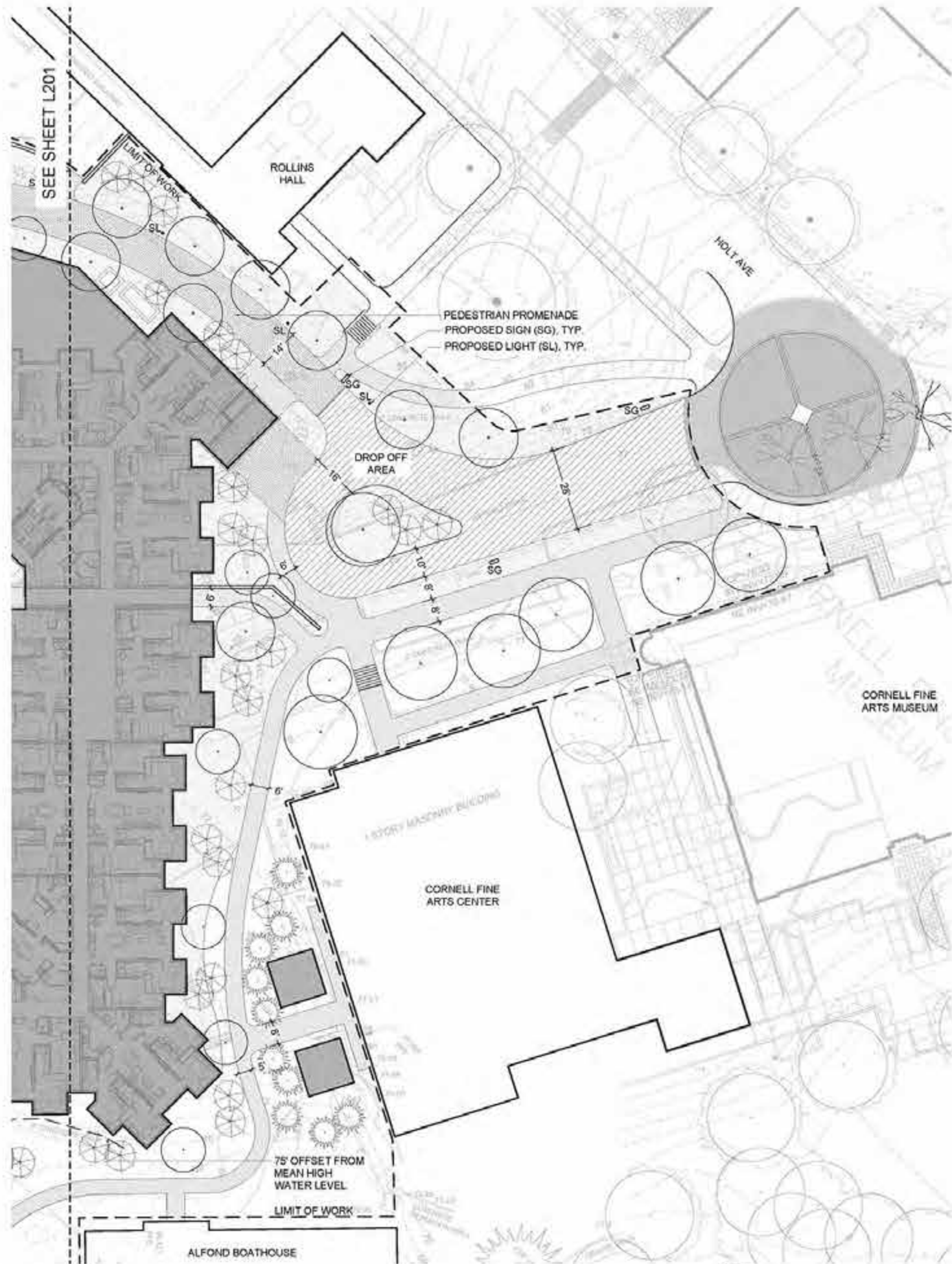
RSVP

POULOS & BENNETT

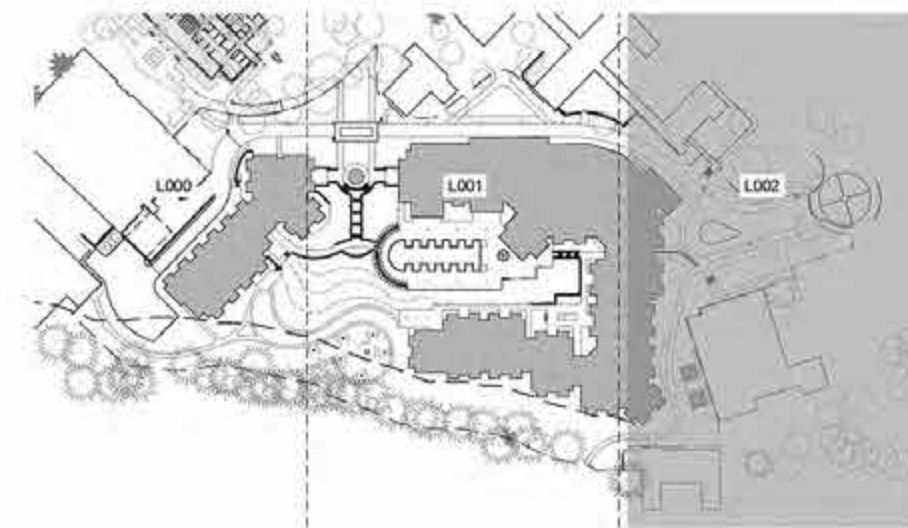
CRJA **BI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY LAYOUT PLAN		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/01/2018	
Drawn by	Author	
Checked by	Checker	
L201		
Scale	AS NOTED	



1 LANDSCAPE LAYOUT PLAN - C
SCALE: 1" = 20'-0"

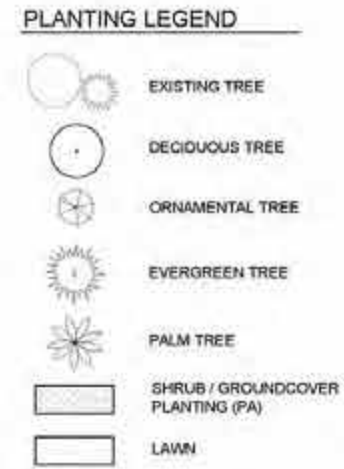
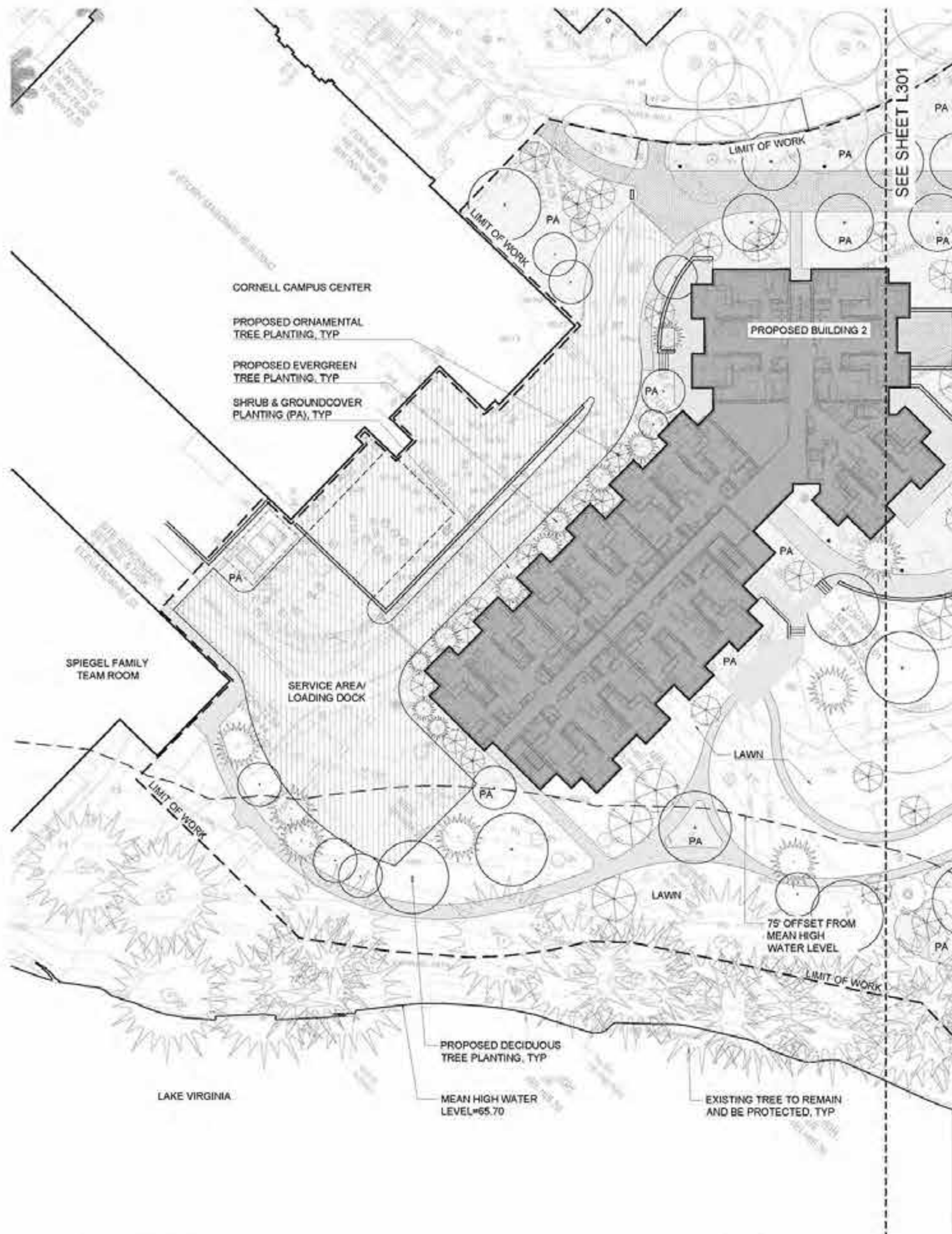


KEY PLAN
SCALE: 1" = 100'-0"



landscape architects

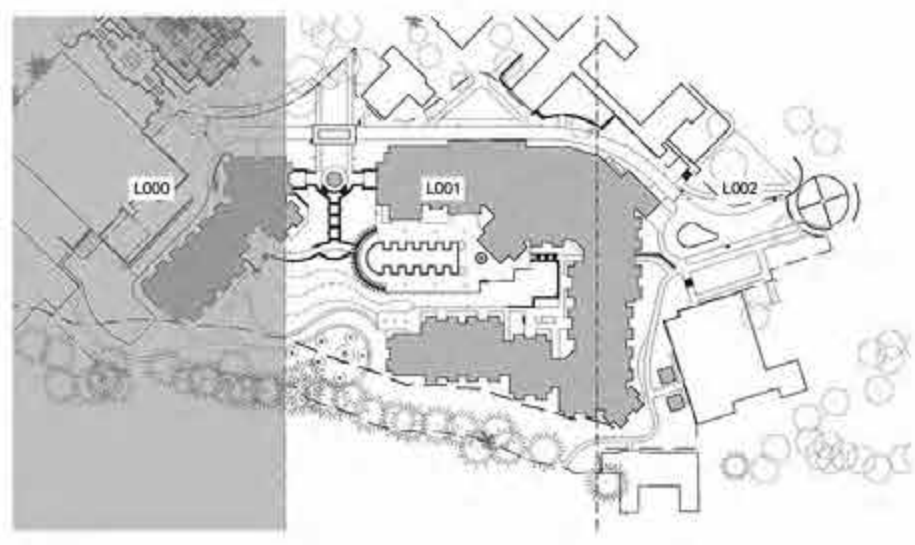
Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY LAYOUT PLAN		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/01/2018	
Drawn by	Author	
Checked by	Checker	
L202		
Scale	AS NOTED	



REPRESENTATIVE PLANT LIST

SYM	BOTANICAL NAME	COMMON NAME	REMARKS / SPACING
TREES			
ACE RUB	Acer rubrum	Red Maple	-
MAG GRA	Magnolia grandiflora	Southern Magnolia	-
QUE VIR	Quercus virginiana	Live Oak	-
PALMS			
PHO SFE	Phoenix spp.	Date Palm	-
SAB PAL	Sabal palmetto	Cabbage Palm	-
ORNAMENTAL TREES			
LAG IND	Lagerstroemia indica	Crape Myrtle	-
MAG GLG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	-
SHRUBS			
PHI XAN	Philodendron 'Xanadu'	Philodendron	-
RHO SPP	Rhododendron spp.	Rhododendron	-
VIB SPP	Viburnum spp.	Viburnum	-
GROUND COVER			
UR MUS	Liriope muscari	Lilyart	-

1 PLANTING PLAN - A
SCALE: 1" = 20'-0"



KEY PLAN
SCALE: 1" = 100'-0"

RS ROB SCHAEFFER
VISUALIZATION
AND PLANNING
RSVP
487.284.7500
rsvp@rsvp.com
www.rsvp.com
190 W. Monte Dora Ave., 125
Winter Park, Florida 32789

POULOS & BENNETT

CRJA **BI**
landscape architects

Revision Schedule

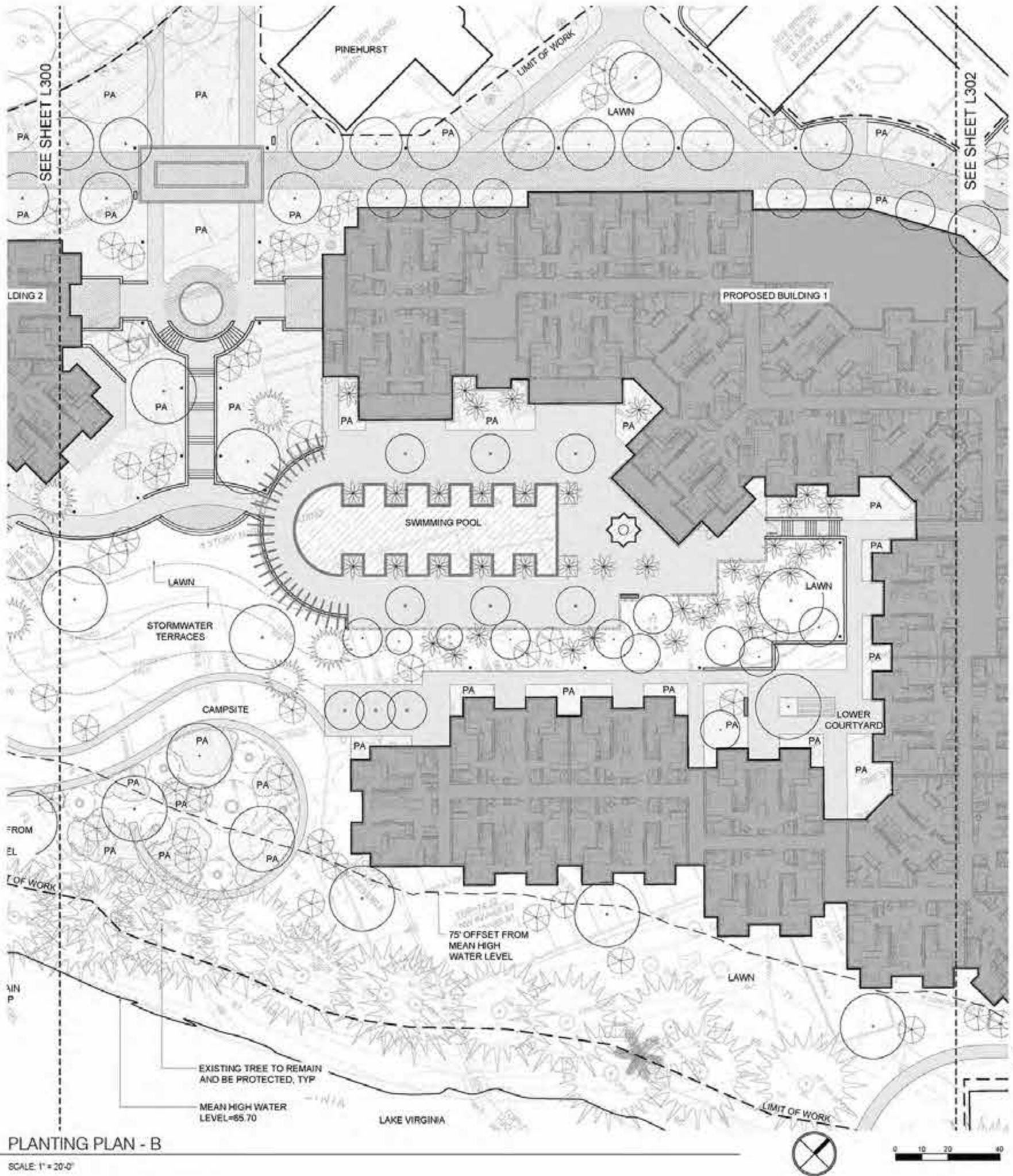
Revision Number	Revision Description	Revision Date

ROLLINS COLLEGE
NEW DORMITORY
PLANTING PLAN
C.U.P. SUBMITTAL

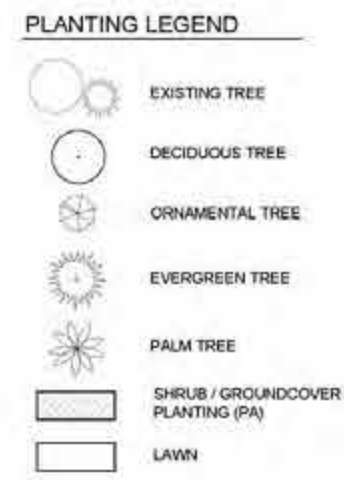
Project number	18001
Date	11/01/2018
Drawn by	Author
Checked by	Checker

L300

Scale AS NOTED

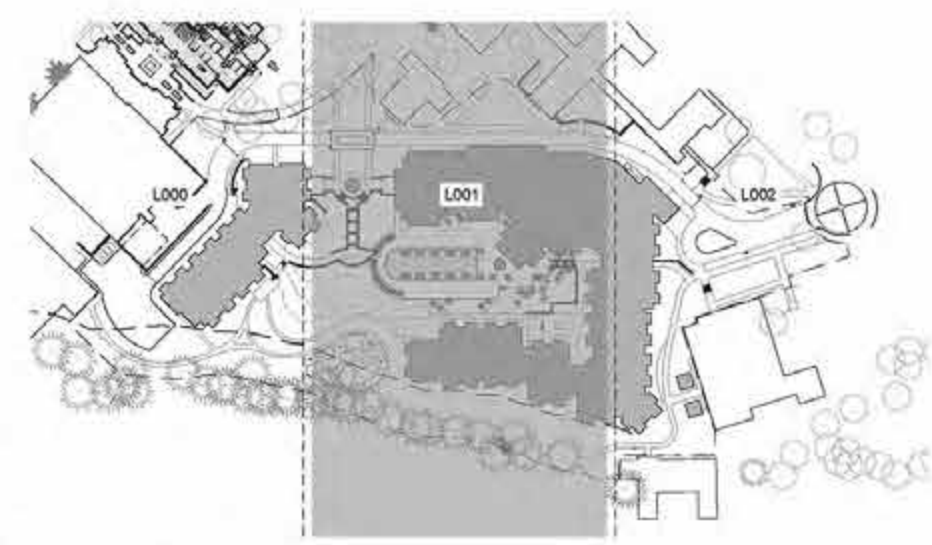


1 PLANTING PLAN - B
SCALE: 1" = 20'-0"



REPRESENTATIVE PLANT LIST

SYM	BOTANICAL NAME	COMMON NAME	REMARKS / SPACING
TREES			
ACE RUB	Acer rubrum	Red Maple	-
MAG GRA	Magnolia grandiflora	Southern Magnolia	-
CUE VIR	Quercus virginiana	Live Oak	-
PALMS			
PHO SPE	Phoenix spp.	Date Palm	-
SAB PAL	Sabal palmetto	Cabbage Palm	-
ORNAMENTAL TREES			
LAG IND	Lagerstroemia indica	Crape Myrtle	-
MAG GLG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	-
SHRUBS			
PHI XAN	Philodendron 'Xanadu'	Philodendron	-
RHO SPP	Rhododendron spp.	Rhododendron	-
VIB SPP	Viburnum spp.	Viburnum	-
GROUNDCOVER			
LIR MUS	Liriope muscari	Lilyturf	-



KEY PLAN
SCALE: 1" = 100'-0"

RS ROB SCHAEFFER
VISUALIZATION
AND PLANNING
487.284.7309
rob@rsvp.com
www.rsvp.com
100 S. Moore Blvd. Ste. 125
Winter Park, Florida 32789

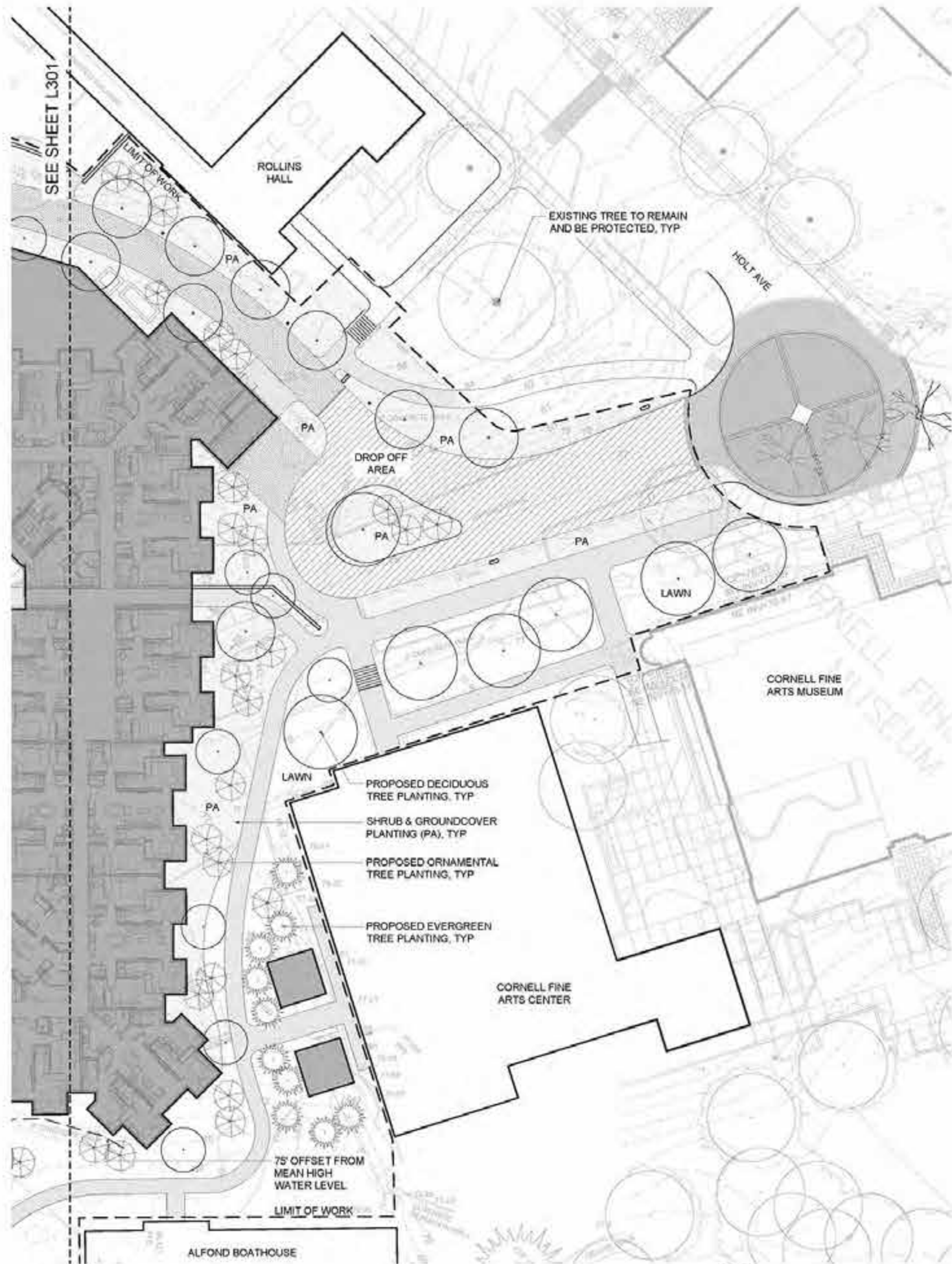
RSVP

POULOS & BENNETT

CRJA **BI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
PLANTING PLAN		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/01/2018	
Drawn by	Author	
Checked by	Checker	
L301		
Scale	AS NOTED	

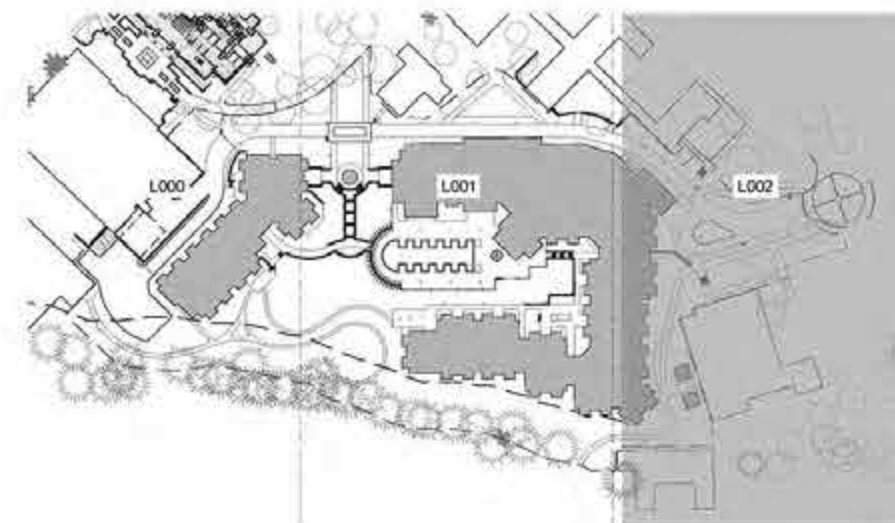


1 PLANTING PLAN - C
SCALE: 1" = 20'-0"

PLANTING LEGEND



REPRESENTATIVE PLANT LIST			
SYM	BOTANICAL NAME	COMMON NAME	REMARKS / SPACING
TREES			
ACE RUB	<i>Acer rubrum</i>	Red Maple	-
MAG GRA	<i>Magnolia grandiflora</i>	Southern Magnolia	-
QUE VIR	<i>Quercus virginiana</i>	Live Oak	-
PALMS			
PHO SFE	<i>Phoenix spp.</i>	Date Palm	-
SAB PAL	<i>Sabal palmetto</i>	Cabbage Palm	-
ORNAMENTAL TREES			
LAG IND	<i>Lagerstroemia indica</i>	Crape Myrtle	-
MAG GLG	<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	-
SHRUBS			
PHI XAN	<i>Philodendron 'Xanadu'</i>	Philodendron	-
RHO SPP	<i>Rhododendron spp.</i>	Rhododendron	-
VIB SPP	<i>Viburnum spp.</i>	Viburnum	-
GROUND COVER			
UR MUS	<i>Liriope muscari</i>	Lilyart	-



KEY PLAN
SCALE: 1" = 100'-0"



landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY PLANTING PLAN		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/01/2018	
Drawn by	Author	
Checked by	Checker	
L302		Scale AS NOTED



BEFORE

AFTER

RS
 ROB SCHAEFFER
 VISUALIZATION
 AND PLANNING
RSVP
 407.289.7188
 info@rsvp.com
 100 W. Morse Blvd. #105
 Winter Park, Florida 32789

POULOS & BENNETT

CRJA **IBI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
AERIAL PERSPECTIVE		
C.U.P. SUBMITTAL		
Project number:	18001	
Date:	11/09/2018	
Drawn by:		
Checked by:		
A001		
Scale:		



BEFORE



AFTER

RS
 ROB SCHAEFFER
 VISUALIZATION
 AND PLANNING
 407.289.7188
 rsh@rsvp.com
 www.rsvp.com
RSVP
 100 W. Morse Blvd. #100
 Winter Park, Florida 32789

POULOS & BENNETT

CRJA **IBI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
LAKE VIEW		
PERSPECTIVE		
C.U.P. SUBMITTAL		
Project number:	18001	
Date:	11/09/2018	
Drawn by:		
Checked by:		
A002		
Scale:		



RS
 ROB SCHAEFFER
 VISUALIZATION
 AND PLANNING
 407.289.7188
 info@rsvp.com
 100 W. Morse Blvd. Ste. 100
 Winter Park, Florida 32789

POULOS & BENNETT

CRJA **IBI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
MAIN ENTRY TO BUILDING 1		
C.U.P. SUBMITTAL		
Project number:	18001	
Date:	11/09/2018	
Drawn by:		
Checked by:		
A003		
Scale:		



RS
 ROB SCHAEFFER
 VISUALIZATION
 AND PLANNING
 487.288.7188
 www.rsvisual.com

POULOS & BENNETT

CRJA **IBI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
POOL VIEW 1		
C.U.P. SUBMITTAL		
Project number:	18001	
Date:	11/09/2018	
Drawn by:		
Checked by:		
A004		
Scale:		



RS
 ROB SCHAEFFER
 VISUALIZATION
 AND PLANNING
 407.289.7188
 rsh@rsvp.com
 www.rsvp.com
 100 W. Morse Blvd. #100
 Winter Park, Florida 32789

POULOS & BENNETT

CRJA **IBI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
POOL VIEW 2		
C.U.P. SUBMITTAL		
Project number:	18001	
Date:	11/09/2018	
Drawn by:		
Checked by:		
A005		
Scale:		

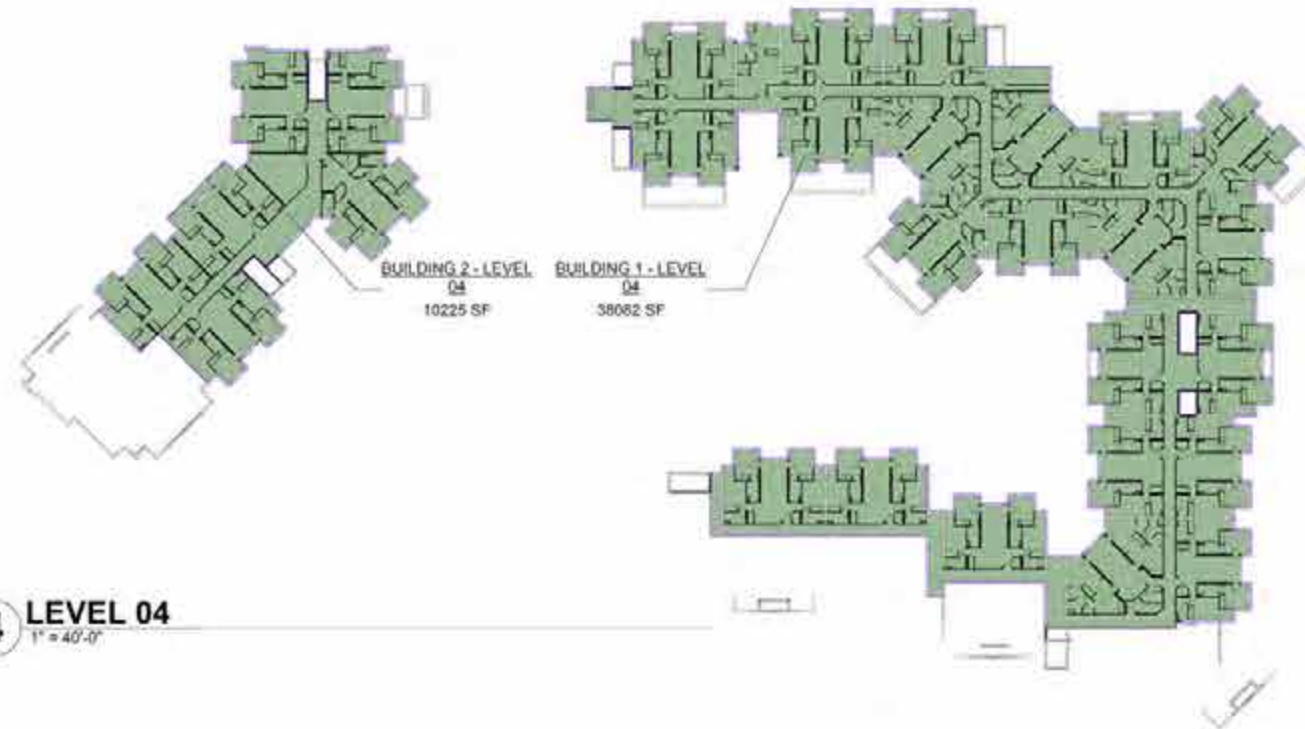
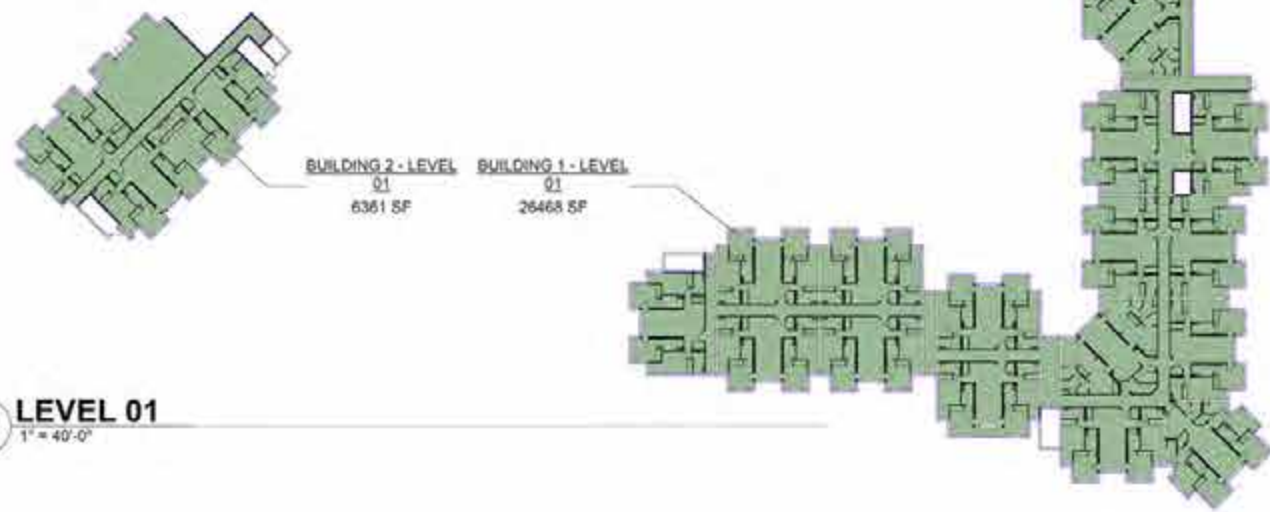


1 SITE PLAN
1" = 30'-0"

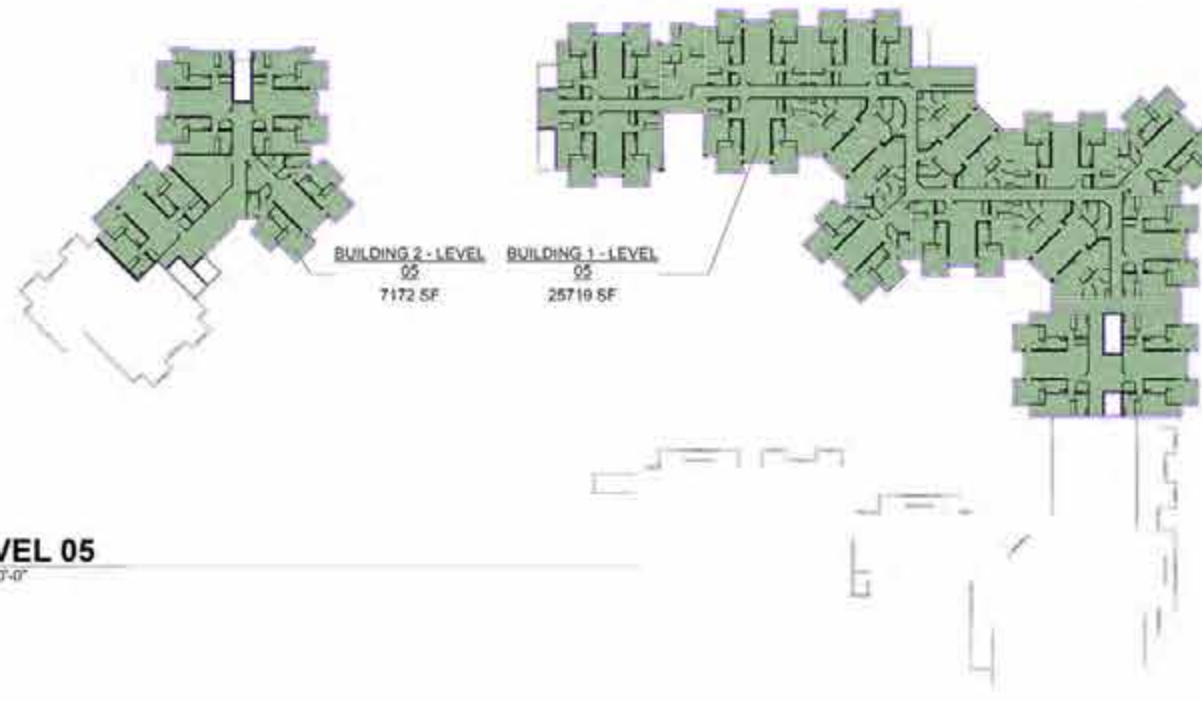


landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
SITE PLAN		
C.U.P. SUBMITTAL		
Project number:	10001	
Date:	11/09/2018	
Drawn by:		
Checked by:		
A006		
Scale:		1" = 30'-0"



4 LEVEL 04
1" = 40'-0"



5 LEVEL 05
1" = 40'-0"



1 LEVEL 01
1" = 40'-0"

2 LEVEL 02
1" = 40'-0"

3 LEVEL 03
1" = 40'-0"

Area Schedule (Cross Building)	
Name	Area
LEVEL 01	
BUILDING 1 - LEVEL 01	26468 SF
BUILDING 2 - LEVEL 01	6361 SF
LEVEL 02	
BUILDING 2 - LEVEL 02	11779 SF
BUILDING 1 - LEVEL 02	52072 SF
LEVEL 03	
BUILDING 2 - LEVEL 03	13698 SF
BUILDING 1 - LEVEL 03	46154 SF
LEVEL 04	
BUILDING 2 - LEVEL 04	10225 SF
BUILDING 1 - LEVEL 04	38082 SF
LEVEL 05	
BUILDING 2 - LEVEL 05	7172 SF
BUILDING 1 - LEVEL 05	25719 SF
	237729 SF

RS ROB SCHAEFFER
VISUALIZATION
AND PLANNING
487.288.7888
rs@rsvp.com
100 W. Main Street, 110
Lawrence Park, Fort Lee NJ 07024

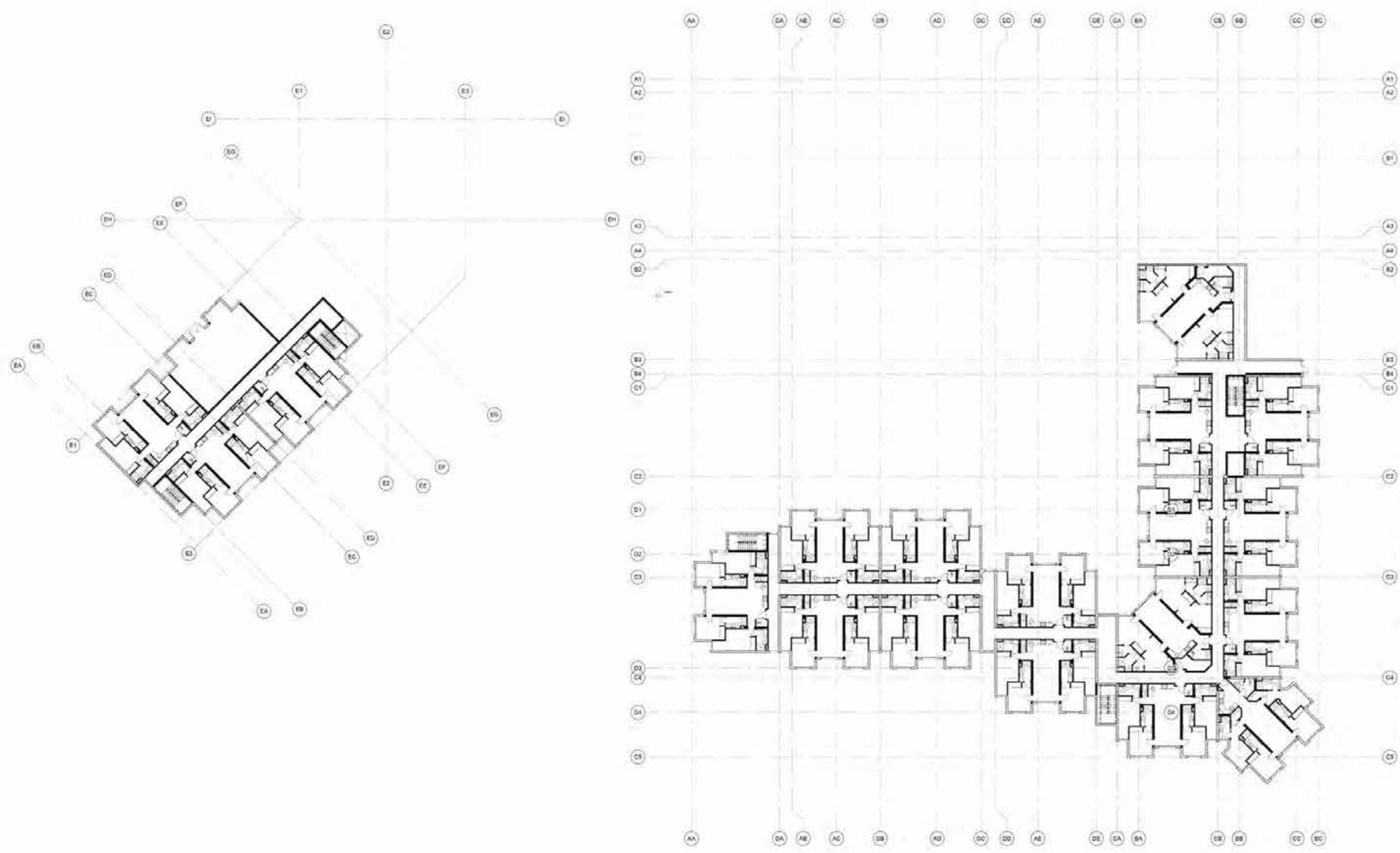
RSVP

POULOS & BENNETT

CRJA **IBI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
OVERALL PROJECT PLAN		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/09/2018	
Drawn by		
Checked by		
A007		
Scale	1" = 30'-0"	



1 OVERALL PLAN - LEVEL 01
 1" = 20'-0"

RS
 ROB SCHAEFFER
 VISUALIZATION
 AND PLANNING
 407.286.7388
 info@rsvp.com
 100 N. Morse Blvd. Ste. 125
 Winter Park, Florida 32789

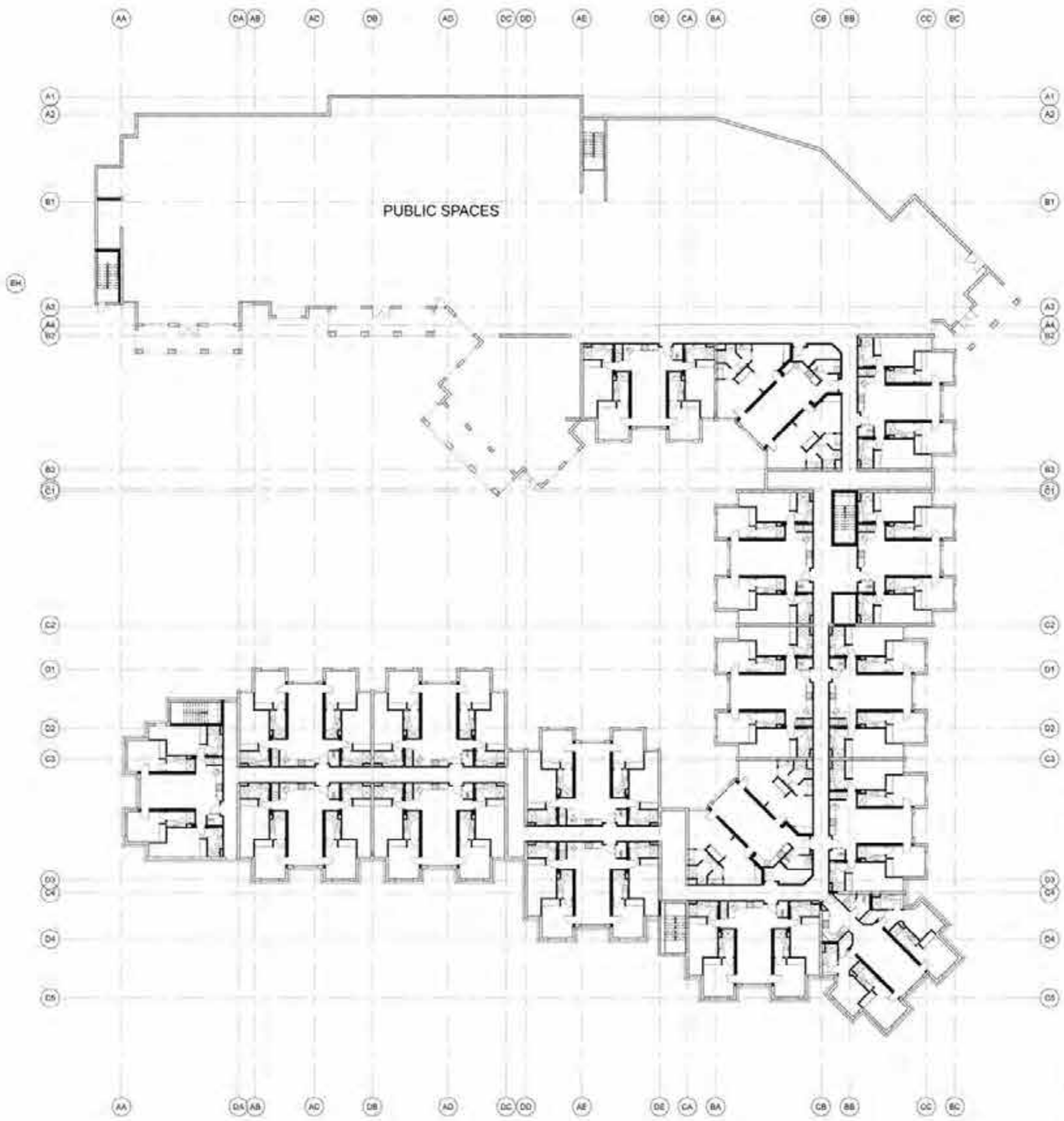
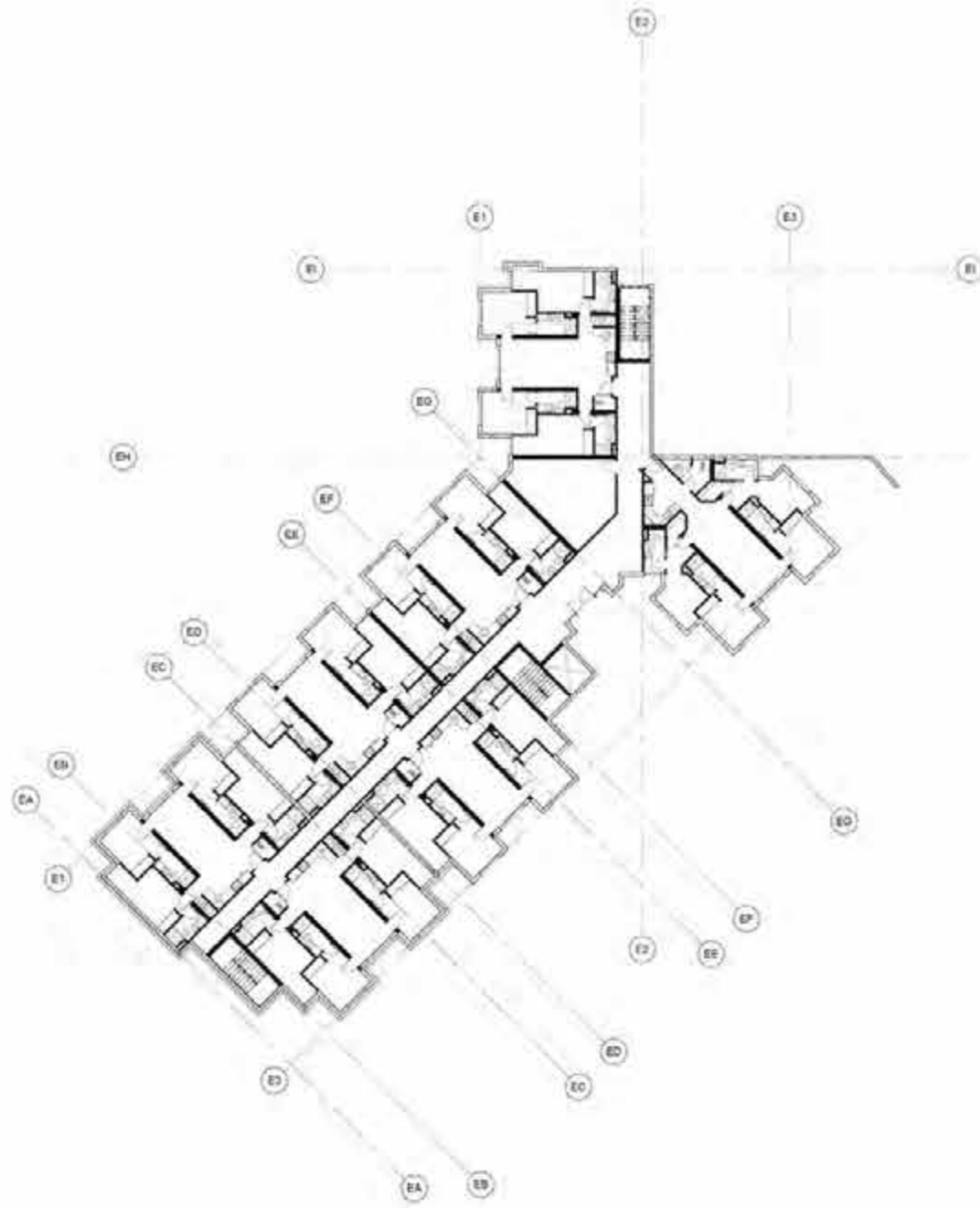
RSVP

POULOS & BENNETT

CRJA **IBI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE NEW DORMITORY FIRST FLOOR PLAN C.U.P. SUBMITTAL		
Project number	10001	
Date	11/09/2018	
Drawn by		
Checked by		
A008		
Scale	1" = 20'-0"	



1 OVERALL PLAN - LEVEL 02
1" = 20'-0"

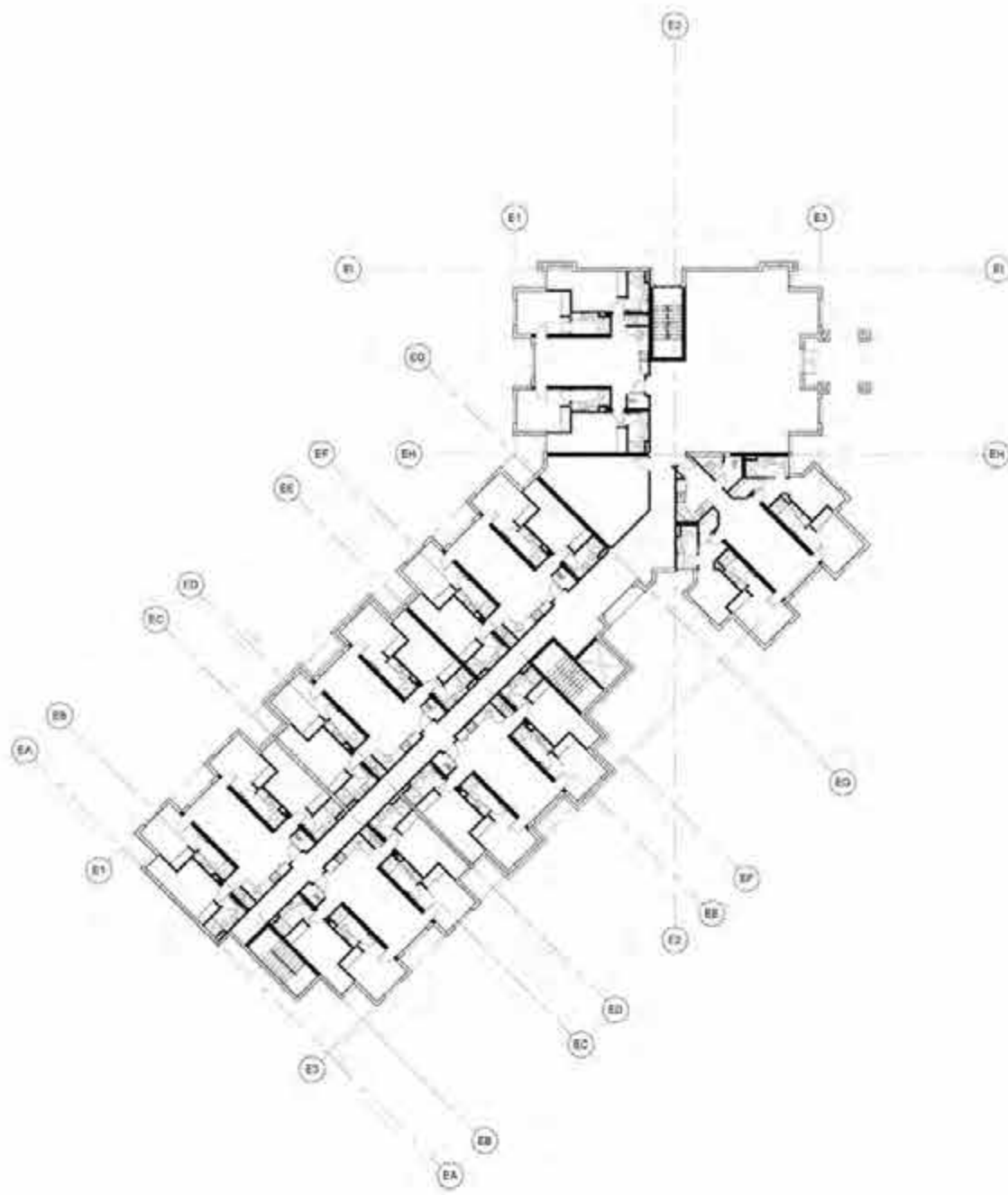
RS
ROB SCHAEFFER
VISUALIZATION
AND PLANNING
887.288.7188
rsc@rsvp.com
100 W. North West Ave., 12th
Floor, Suite 1200
Atlanta, GA 30308

RSVP

POULOS & BENNETT

CRJA | **IBI**
landscape architects

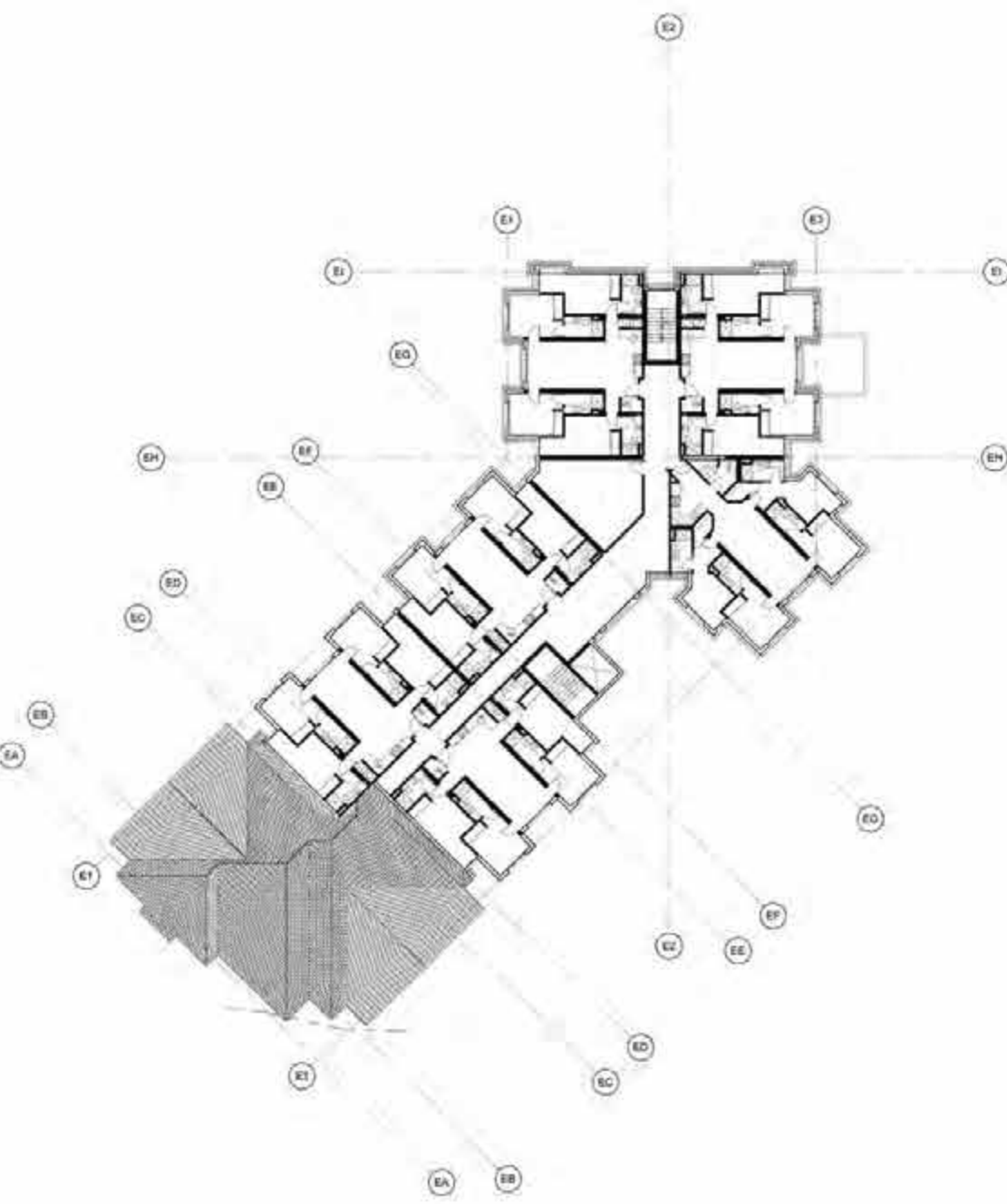
Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
SECOND FLOOR PLAN		
C.U.P. SUBMITTAL		
Project number:	18001	
Date:	11/09/2018	
Drawn by:		
Checked by:		
A009		
Sheet:	1" = 20'-0"	



landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
THIRD FLOOR PLAN		
C.U.P. SUBMITTAL		
Project number:	18001	
Date:	11/09/2018	
Drawn by:		
Checked by:		
A0010		
Sheet		1" = 20'-0"

1 OVERALL PLAN - LEVEL 03
1" = 20'-0"



1 OVERALL PLAN - LEVEL 04
 1" = 20'-0"

RS
 ROB SCHAEFFER
 VISUALIZATION
 AND PLANNING
 487.244.7199
 info@rsvp.com
 100 W. North West Ave., 100
 West Park, Atlanta, GA 30308

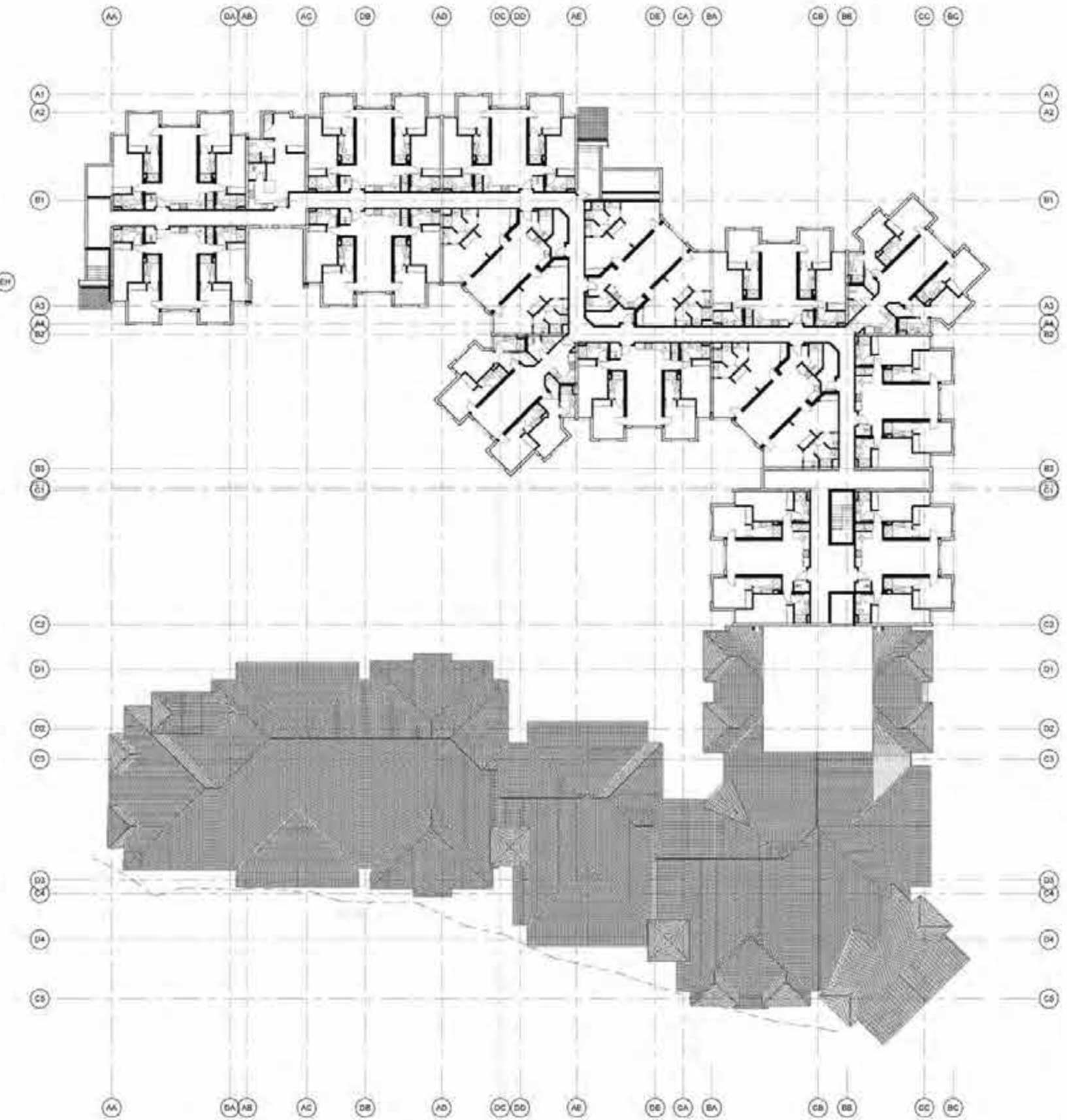
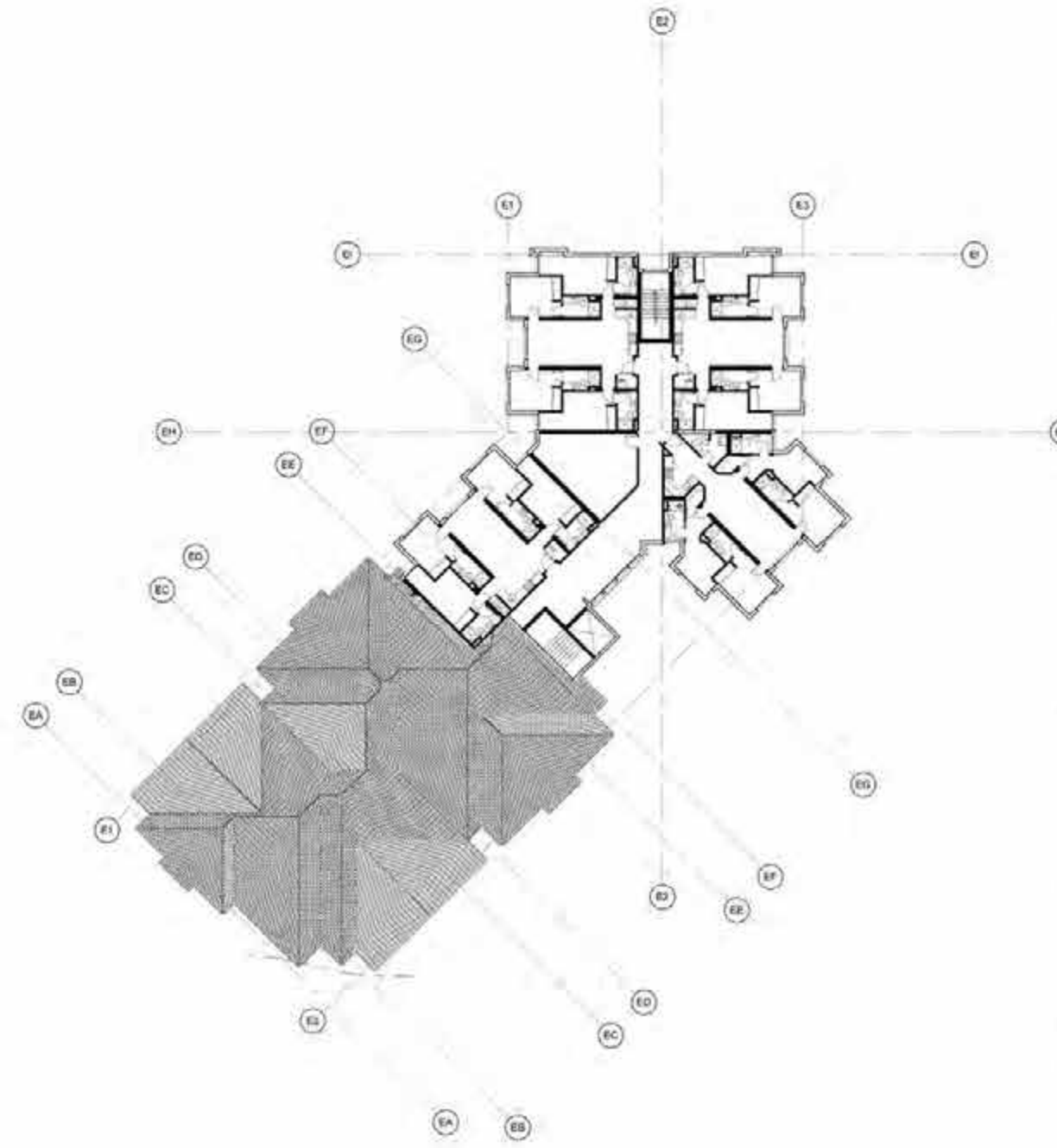
RSVP

POULOS & BENNETT

CRJA **IBI**

landscape architects

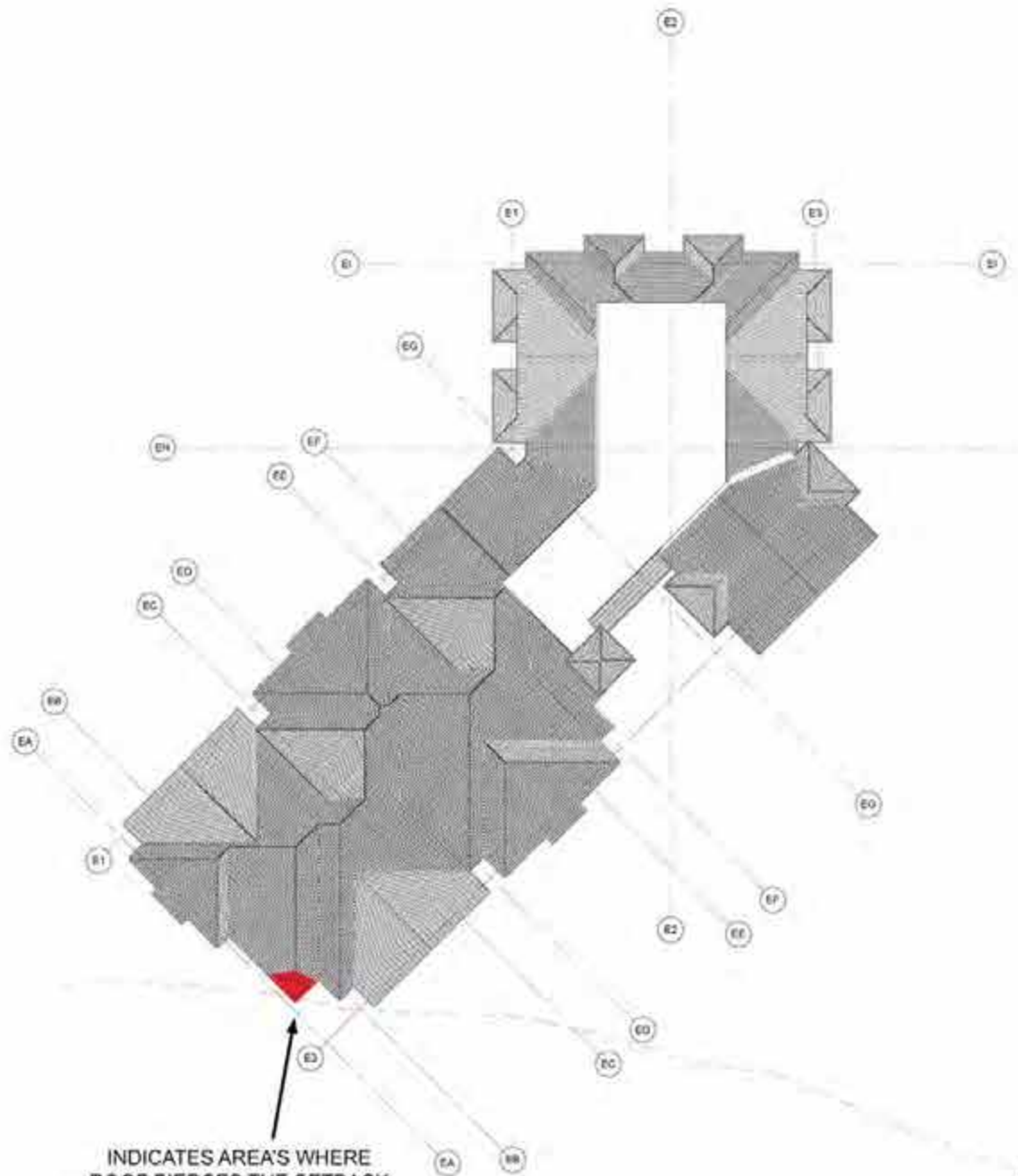
Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
FOURTH FLOOR PLAN		
C.U.P. SUBMITTAL		
Project number:	18001	
Date:	11/09/2018	
Drawn by:		
Checked by:		
A0011		
Scale:	1" = 20'-0"	



Logos for Rob Schaeffer Visualization and Planning (RSVP), Poulos & Bennett, and CRJA | BI landscape architects.

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
FIFTH FLOOR PLAN		
C.U.P. SUBMITTAL		
Project number:	18001	
Date:	11/09/2018	
Drawn by:		
Checked by:		
A0012		
Scale:	1" = 20' 0"	

1 OVERALL PLAN - LEVEL 05
1" = 20' 0"



INDICATES AREA'S WHERE ROOF PIERCES THE SETBACK ENVELOPE, REFER TO "SETBACK ENVELOPE" EXHIBIT FOR 3D VIEW (TYP)

1 OVERALL PLAN - ROOF
1" = 20'-0"

RS ROB SCHAEFFER
VISUALIZATION
AND PLANNING
487.288.7388
rsvp@rsvp.com
100 W. North Blvd., Ste. 105
Worland Park, Sandy, UT 84070

RSVP

POULOS & BENNETT

CRJA **IBI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
ROOF PLAN		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/09/2018	
Drawn by		
Checked by		
A0013		
Scale	1" = 20'-0"	



2 BUILDING 1 ELEVATION - EAST
3/32" = 1'-0"



1 BUILDING 1 ELEVATION - SOUTH
3/32" = 1'-0"

RS
ROB SCHAEFFER
VISUALIZATION
AND PLANNING
RSVP
407.288.7188
rob@rsvp.com
100 W. Morse Blvd. #100
Weston Park, Florida 32789

POULOS & BENNETT

CRJA **IBI**
landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
BUILDING ELEVATIONS		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/09/2018	
Drawn by		
Checked by		
A0014		
Scale	1" = 10'-0"	



1 BUILDING 1 ELEVATION - NORTH
3/32" = 1'-0"



2 BUILDING 1 ELEVATION - WEST
3/32" = 1'-0"

RS
ROB SCHAEFFER
VISUALIZATION
AND PLANNING
RSVP
487.288.7188
rob@rsvp.com
www.rsvp.com
300 W. Morse Blvd. #200, 335
West Park, Florida 33170

POULOS & BENNETT

CRJA **IBI**

landscape architects

Revision Schedule

Revision Number	Revision Description	Revision Date

ROLLINS COLLEGE
NEW DORMITORY
BUILDING ELEVATIONS
C.U.P. SUBMITTAL

Project number: 18001
Date: 11/09/2018
Drawn by:
Checked by:
A0015
Scale: 1" = 10'-0"



3 BUILDING 1 COURTYARD
ELEVATION - SOUTH
3/32" = 1'-0"



2 BUILDING 1 COURTYARD
ELEVATION - EAST
3/32" = 1'-0"



1 BUILDING 1 COURTYARD
ELEVATION - NORTH
3/32" = 1'-0"

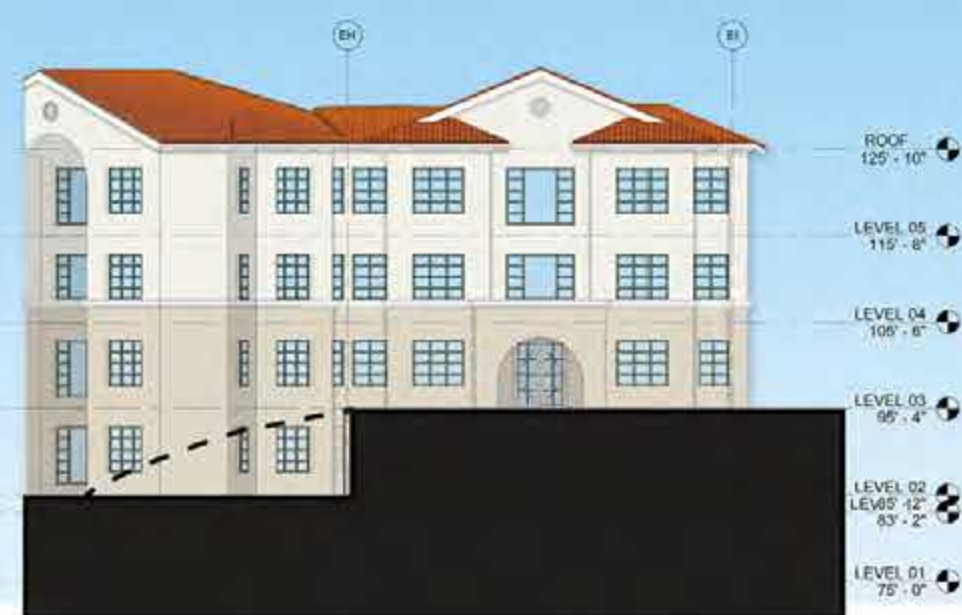


landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
BUILDING ELEVATIONS		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/09/2018	
Drawn by		
Checked by		
A0016		
Scale	1" = 10'-0"	



1 BUILDING 2 ELEVATION - EAST
3/32" = 1'-0"



2 BUILDING 2 ELEVATION - NORTH 1
3/32" = 1'-0"



3 BUILDING 2 ELEVATION - NORTH 2
3/32" = 1'-0"



Revision Schedule

Revision Number	Revision Description	Revision Date

ROLLINS COLLEGE

NEW DORMITORY

BUILDING ELEVATIONS

C.U.P. SUBMITTAL

Project number: 18001

Date: 11/09/2018

Drawn by:

Checked by:

A0017

Scale: 1" = 10'-0"



1 BUILDING 2 ELEVATION - WEST
3/32" = 1'-0"

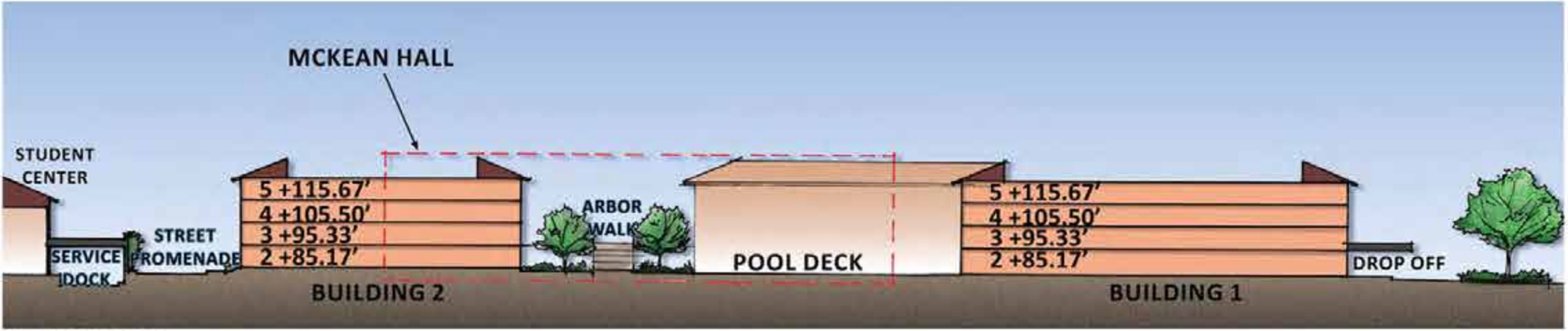


2 BUILDING 2 ELEVATION - SOUTH
3/32" = 1'-0"

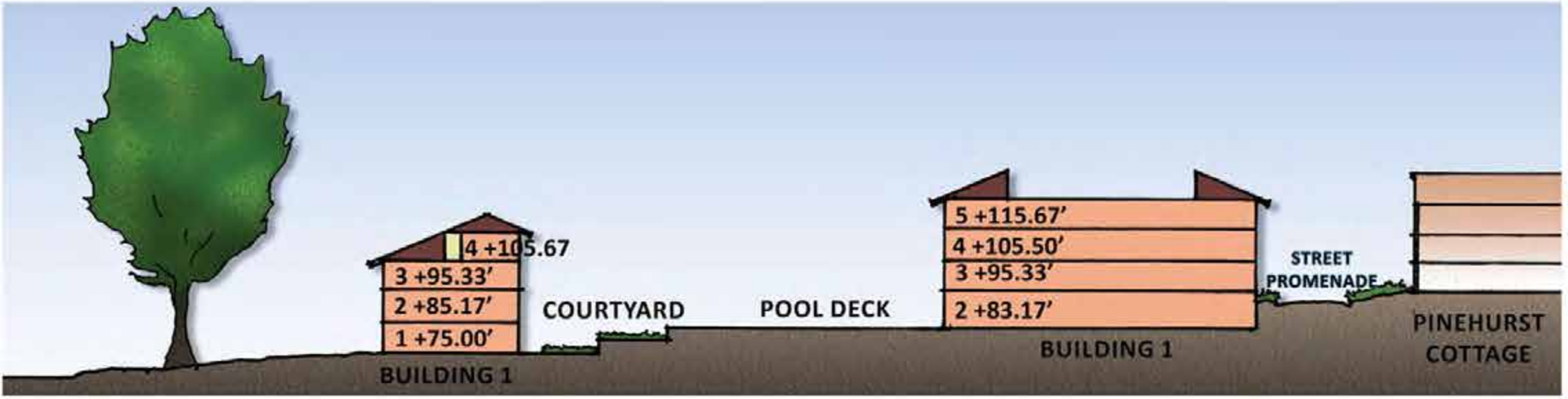


landscape architects

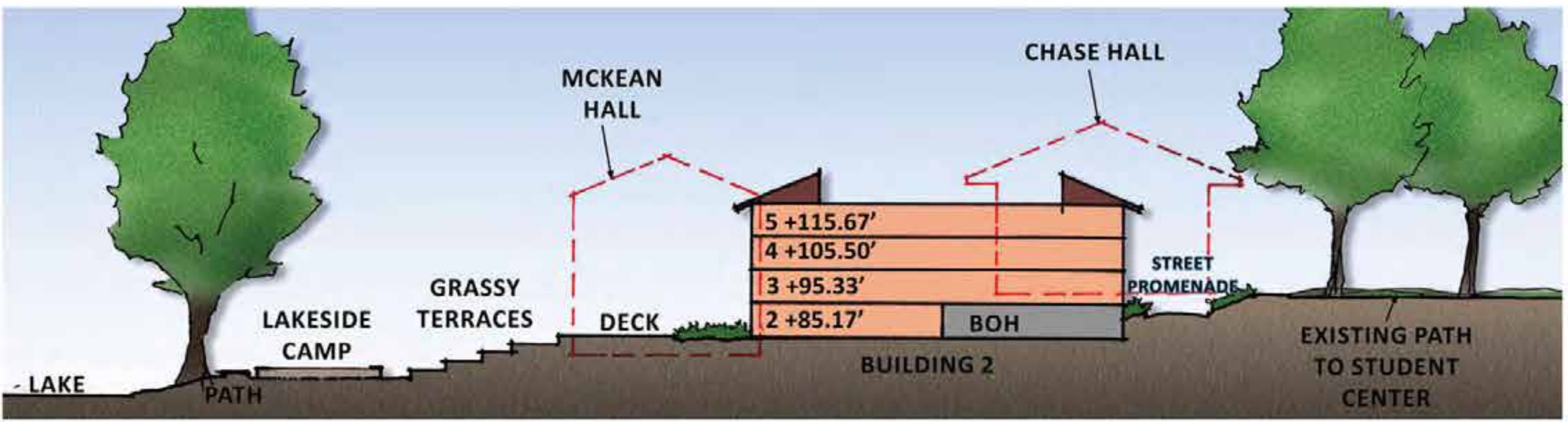
Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
BUILDING ELEVATIONS		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/09/2018	
Drawn by		
Checked by		
A0018		
Scale	1" = 10'-0"	



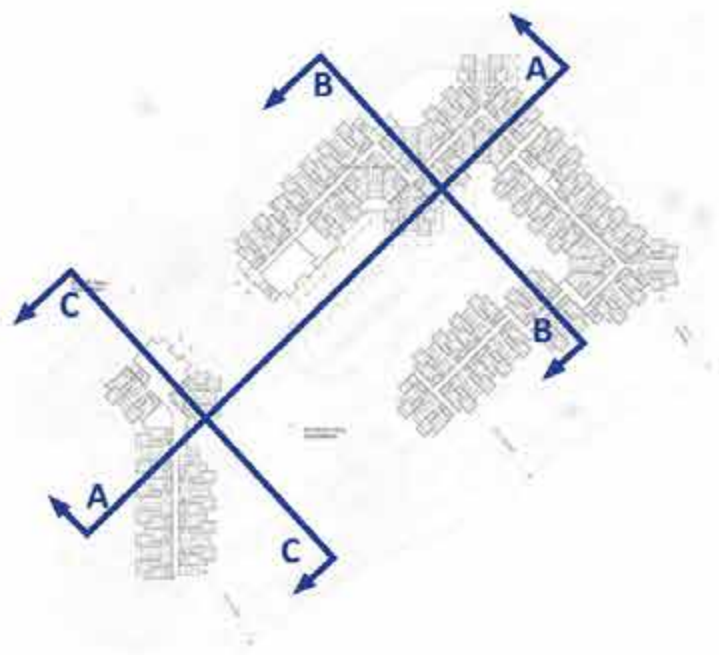
SITE SECTION A



SITE SECTION B



SITE SECTION C



SECTION KEY PLAN

RS ROB SCHAEFFER
VISUALIZATION
AND PLANNING
487.288.7388
rs@rsvp.com
www.rsvp.com
100 W. HOWE BLVD. #100
DUNEDIN, FLORIDA 33500

RSVP

POULOS & BENNETT

CRJA **IBI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
BUILDING SECTION		
C.U.P. SUBMITTAL		
Project number	18001	
Date	11/09/2018	
Drawn by		
Checked by		
A0019		
Scale		



NEW BUILDING AT ELEVATION 139 TO TOP OF ROOF

MCKEAN HALL 5TH LEVEL AT ELEVATION 140 (EST.) TO TOP OF ROOF

NEW BUILDING AT ELEVATION 139 TO TOP OF ROOF

MCKEAN 5 STORY LINE

MCKEAN 5 STORY LINE

RS ROB SCHAEFFER
VISUALIZATION
AND PLANNING
487.288.7188
rob@rsvp.com
100 W. HOWARD BLVD. #100
ORLANDO, FLORIDA 32801

RSVP

POULOS & BENNETT

CRJA **IBI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
5TH LEVEL		
COMPARATIVE ANALYSIS		
C.U.P. SUBMITTAL		
Project number	10001	
Date	11/09/2018	
Drawn by		
Checked by		
A0020		
Scale		



5 LAKE VIEW NORTH

RS
 ROB SCHAEFFER
 VISUALIZATION
 AND PLANNING
 487.289.7188
 rsh@rsvp.com
 www.rsvp.com
 100 W. Forest Blvd. Ste. 110
 Winter Park, Florida 32789

POULOS & BENNETT

CRJA **IBI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
3D VIEWS		
C.U.P. SUBMITTAL		
Project number:	18001	
Date:	11/09/2018	
Drawn by:		
Checked by:		
A0021		
Scale:		



1 LAKE VIEW SOUTH

RS
 ROB SCHAEFFER
 VISUALIZATION
 AND PLANNING
RSVP
 487.289.7188
 info@rsvp.com
 100 W. Morse Blvd. #105
 Winter Park, Florida 32789

POULOS & BENNETT

CRJA **IBI**

landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
3D VIEWS		
C.U.P. SUBMITTAL		
Project number:	18001	
Date:	11/09/2018	
Drawn by:		
Checked by:		
A0022		
Scale:		



BUILDING 2 NORTH ELEVATION - SETBACK DETAIL

RS
 ROB SCHAEFFER
 VISUALIZATION
 AND PLANNING
RSVP
 407.288.7388
 www.rsvp.com
 100 W. HOWARD ST. SUITE 100
 TAMPA, FLORIDA 33604

POULOS & BENNETT

CRJA **IBI**
 landscape architects

Revision Schedule		
Revision Number	Revision Description	Revision Date
ROLLINS COLLEGE		
NEW DORMITORY		
RELATIONSHIP OF BUILDING DESIGN TO SETBACK		
C.U.P. SUBMITTAL		
Project number	10001	
Date	11/09/2018	
Drawn by		
Checked by		
A0023		
State		

MCKEAN HALL IS A 5 STORY BUILDING....



**WITH A PARKING LOT, SERVICE TRUCK ACCESS, AND
MAINTENANCE YARD FACING LAKE VIRGINIA**



landscape architects

Revision Schedule

Revision Number	Revision Description	Revision Date

ROLLINS COLLEGE

NEW DORMITORY

EXISTING CONDITIONS

C.U.P. SUBMITTAL

Project number: 18001

Date: 11/09/2018

Drawn by:

Checked by:

A0024

State:

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
January 8, 2019**

REQUEST OF IRA KITOGRAD FOR: CONDITIONAL USE APPROVAL FOR A TWO-STORY OFFICE AND RESIDENTIAL MIXED USE PROJECT CONSISTING OF FIVE OFFICE SUITES TOTALING 3,770 SQUARE FEET OF TOTAL OFFICE SPACE ON THE GROUND FLOOR AND FIVE RESIDENTIAL UNITS ON THE SECOND FLOOR AT 2600 TEMPLE DRIVE, ZONED OFFICE (O-2).

This public hearing involves a Conditional Use request for a two-story office and residential mixed use project consisting of five office suites totaling 3,770 square feet on the first floor, and five residential units on the second floor for the property located at 2600 Temple Drive, zoned O-2. The O-2, office zoning district, allows for residential units on the second floor with a Conditional Use.

Site & Context: The entire 2600 Temple Drive property measures 0.52 acres, and is zoned O-2, office. This property is surrounded by commercial properties to the north along Howell Branch Road and residential properties to the south. This office property provides a logical land use transition between the two land uses. The office zoning district permits residential units with a Conditional Use when they are located on the second floor, as the applicant is proposing. Based on the seventeen units per acre maximum density, the maximum units permitted is eight, and the applicant is proposing five units.

Proposed Project: The modern term for the concept that the applicant is proposing is called live-work units. The five office suits are to be independently connected to the five residential units above them. The live-work units will then be sold as fee simple ownership so that the owner can live on the second floor and have an office on the first floor. To the extent that a "subdivision approval" is required for the type of ownership, then this process provides that approval. This fee simple/replat marketing approach is what is typical on most live-work projects. The difference between this scenario and the other mixed-use projects throughout the city where there is office/retail on the first floor and residential above, is the independent stairwell connection each office unit will have to the second floor residential unit. Typical mixed-use projects do not have this internal connection. This will be the first true live-work project in the city.

The project size totals approximately 12,950 square feet for the combined office and residential units. The five office units total 3,771 square feet. The residential units range from approximately 1,000 to 1,600 square feet in size. Each residential unit has a one-car garage and yard space with a five foot wall in the rear for a buffer to the residential units to the south.

The floor area ratio (FAR) for this project is 57.6%. The O-2 zoning code states that when residential units are included on the second floor, the FAR may be up to 60%, but the maximum FAR for the nonresidential (office) use is limited to 45%. With the 3,771 total

square footage of office space proposed, this request meets those requirements. The project meets the remaining code requirements with respect to height, setbacks, stormwater, impervious coverage, etc.

The city looks at the proposed locations of electric transformers/backflow preventers and trash bin areas. Special attention needs to be paid to the placement of these items and how they can be screened from view. This is often difficult since they are required to be up at street front locations. As these plans are not final engineering drawings, these items are not shown on the site plan. If these items are to be placed at a location where they were visible from the street or adjacent properties, this would quickly diminish the visual appeal of the development. There are conditions recommended to address these circumstances.

Parking Requirements: Per code, the parking required for this project is the sum of the requirements for each use, meaning that one space per 250 square feet of office space is required and 2.5 spaces are required for each residential unit. The total parking required is 28 parking spaces, and 24 spaces are provided. The site plan has 20 surface parking spaces and units 1, 2, 4 and 5 have a one-car garage. It appears that two cars could fit tandem in the garage since the garage spans the depth of the unit (32 feet long), adding four more spaces. However, the code states that required parking spaces need to be able to be accessed independently.

With the city's recent adoption of updates to the parking code for mixed use projects and shared parking based on the Urban Land Institute's Methodology for Shared Parking, there is some flexibility in parking requirements for this type of project. Since this is a live-work project, the idea is that the person living on the second floor only needs to walk downstairs to work, and does not require an additional parking space. The other condition may exist that the person living on the second floor rents out the bottom office floor to a third party. In that case, the idea is that the residents would leave for work and the office users would occupy those same parking spaces. In either scenario, there are extra parking spaces if the office user were to have multiple clients at a given time for a meeting. By following the strict definition of the code, the applicant would need a parking variance of four parking spaces, but staff feels that the mix of uses in this project justifies the number of parking spaces proposed.

Other Items from Departmental Review: During the departmental review of this project, the Fire and Building Departments informed the applicant of multiple building and fire codes that would need to be followed that were not shown on the submittal package to make this project work. It is important to note that this request satisfies the zoning approval and entitlements needed for this project and does not supersede any building or fire code requirements.

Summary: The key word within our Conditional Use code standards is "compatibility". This project is located adjacent to the commercial properties along Howell Branch, and provides mix of office/residential uses between that and the residential properties to the south. It provides an adequate transition, and has an attractive architectural appearance that is compatible with the surrounding properties.

STAFF RECOMMENDATION IS FOR APPROVAL with the following conditions:

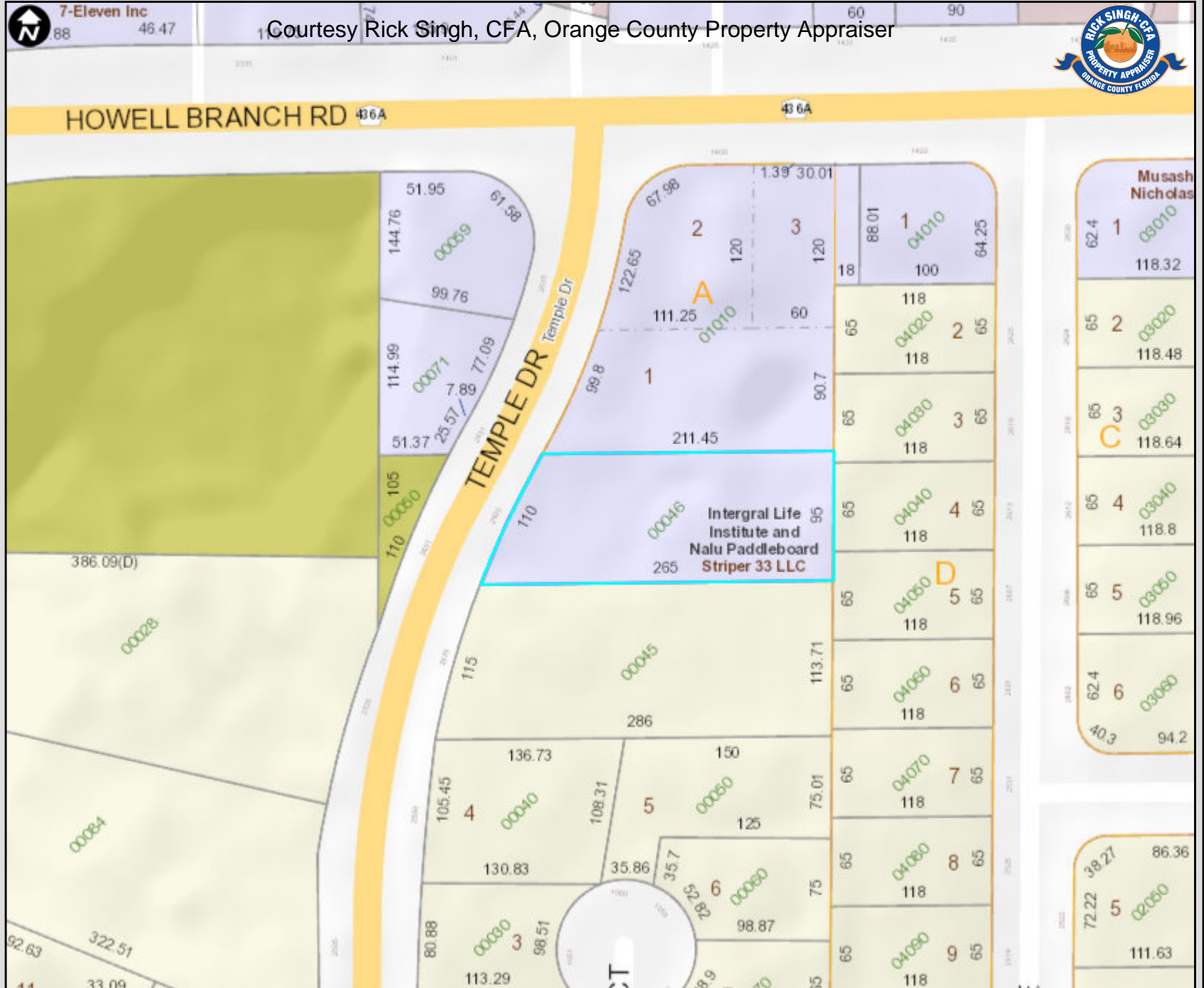
- 1. That any electric transformers/backflow preventers, or trash bins shall be located where not visible from a public street or adjacent properties, and shall also be landscaped so as to be effectively screened from view.**

7-Eleven Inc
88 46.47

Courtesy Rick Singh, CFA, Orange County Property Appraiser




































- Florida Turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- One Way
- Brick Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial/Institutional
- Governmental/Institutional/Misc
- Commercial/Industrial Vacant Land
- Hydro
- Waste Land
- Agricultural Curtilage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- Block Number
- Lot Number
- Parcel Number
- Parcel Address
- Parcel Dimension



Created: 12/20/2018 9:3

This map is for reference only and is not a survey

-  Florida Turnpike
-  Interstate 4
-  Toll Road
-  Major Roads
-  Public Roads
-  Gated Roads
-  Road Under Construction
-  Proposed Road
-  US Road
-  State Road
-  County Road
-  One Way
-  Brick Road
-  Proposed SunRail
-  Block Line
-  Lot Line
-  Residential
-  Agriculture
-  Commercial/Institutional
-  Governmental/Institutional/Misc
-  Commercial/Industrial Vacant Land
-  Hydro
-  Waste Land
-  Agricultural Curtilage
-  County Boundary
-  Parks
-  Golf Course
-  Lakes and Rivers
-  E Block Number
-  6 Lot Number
-  06060 Parcel Number
-  3106 Parcel Address
-  111.9 Parcel Dimension



2600 Temple Drive Project

Greetings Members of the City of Winter Park Planning and Zoning Board, City Commissioners, Mayor, City of Winter Park Building Zoning & Planning Departments and Residents of Winter Park.

My name is Ira Kitograd, I am 25-year Winter Park resident, father of three, and Builder of numerous iconic homes in the City. I have personally been involved in over 100 projects and consider Winter Park my home.

Allow me to introduce my newest project located at 2600 Temple Drive. The project is located at the Northern most end of Temple Drive and Howell Branch Road very close to the Maitland/Winter Park border.

The current existing structures consist of several buildings that are older and poorly designed. There were several businesses which included a rehabilitation therapy center, a landscape company that included storage of commercial trucks and irrigation and drainage equipment. Additionally, also present an insulated building used for climate-controlled storage.

The new proposed project will consist of five attached two-story townhomes. Each of the townhomes will be designed to contain small professional offices with a conference room and reception area located on the first floor. The second-floor area will consist of a two-bedroom residence with direct access to a private garage.

The project is ideally located will provide a seamless transition from the commercial businesses located adjacent to the North, and the residential community located to the South. The design, placement, and orientation of the project has been strategically planned to provide for the parking area to be located adjacent to the existing commercial business parking area and provide for a landscaped buffer to the South residential areas.

The inspiration for this concept is to provide local Winter Park resident professionals an opportunity to have a live-in/workplace environment offering more affordable pricing than the traditionally higher priced offices and residential property located within the city.

Some noteworthy elements of the new project include:

- The project meets current Winter Park Zoning and Building regulations and will not require any variances
- The proposed design is significantly less than the allowable Floor Area Ratio (FAR) and maximum density
- Adequate parking is provided
- Provides an opportunity for working professionals to legally live and work out of their primary residence
- Designed to be a considerably lower price alternative to traditional costly Winter Park real estate pricing.

- Professionally designed and landscaped by a local Winter Park resident living and building in the City for over 25 years
- Replaces an older, unsightly office building with aesthetically pleasing building located at one of the gateway entrances to the city

2600 TEMPLE DRIVE



WINTER PARK, FLORIDA

WINTER PARK DESIGN



2211 ORCHARD DRIVE
WINTER PARK, FLORIDA 32789
PHONE: 407-844-5893
FAX: 407-844-7888

2600 TEMPLE DRIVE
WINTER PARK, FLORIDA

JOB NUMBER
3815

DRAWN
JSH

CHECKED

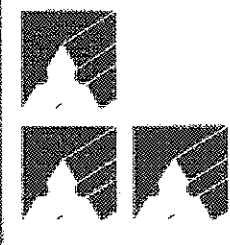
DATE
Nov 20 2016

REVISIONS

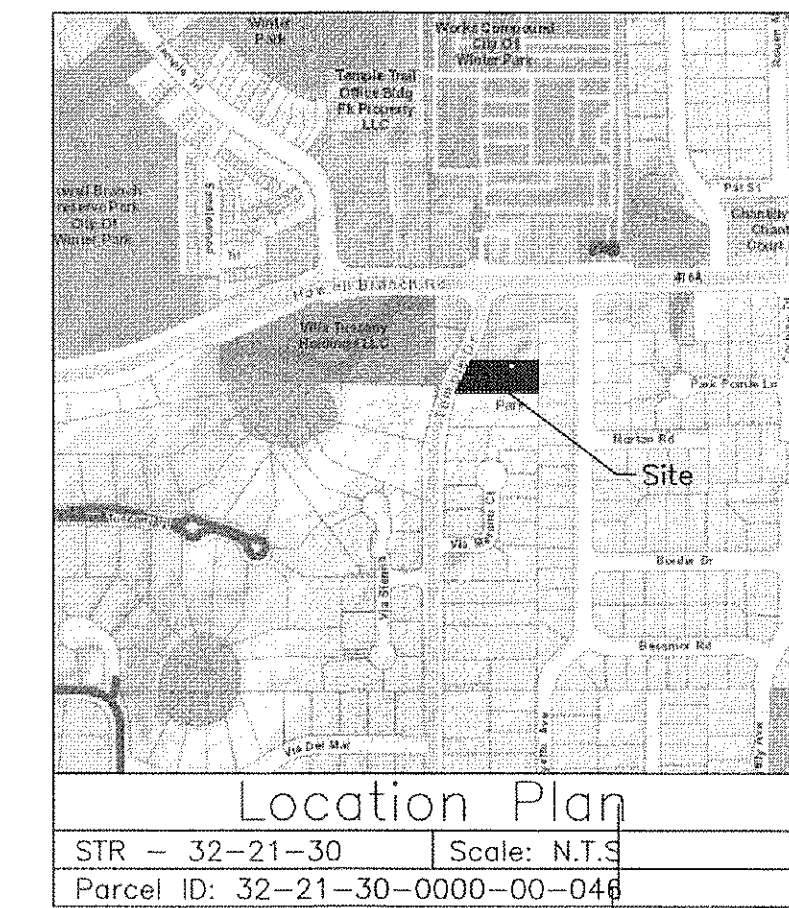
CS

SHEET

OF



Temple Mixed Use Complex



Owner:
Striper 33 LLC
PO Box 878
Winter Park, FL 32790-0878

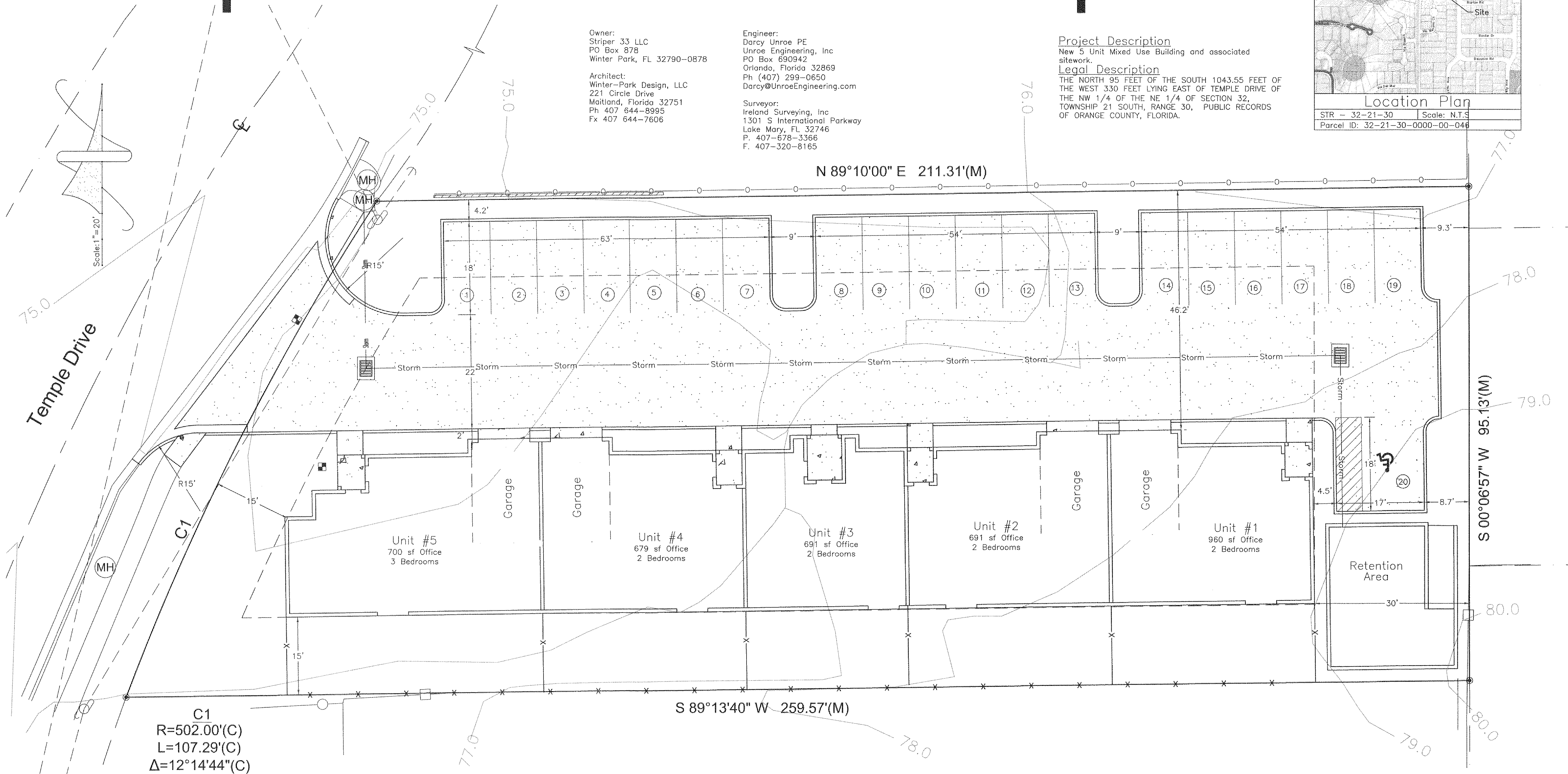
Architect:
Winter-Park Design, LLC
221 Circle Drive
Maitland, Florida 32751
Ph 407 644-8995
Fx 407 644-7606

Engineer:
Darcy Unroe PE
Unroe Engineering, Inc
PO Box 690942
Orlando, Florida 32869
Ph (407) 299-0650
Darcy@UnroeEngineering.com

Surveyor:
Ireland Surveying, Inc
1301 S International Parkway
Lake Mary, FL 32746
P. 407-678-3366
F. 407-320-8165

Project Description
New 5 Unit Mixed Use Building and associated sitework.

Legal Description
THE NORTH 95 FEET OF THE SOUTH 1043.55 FEET OF THE WEST 330 FEET LYING EAST OF TEMPLE DRIVE OF THE NW 1/4 OF THE NE 1/4 OF SECTION 32, TOWNSHIP 21 SOUTH, RANGE 30, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.



Legend

- | | | | |
|--|-----------------------|--|------------------|
| | - Catch Basin | | - New Pavement |
| | - Mitered End Section | | - New Concrete |
| | - Manhole | | - Silt Fence |
| | - Cleanout | | - Waterline |
| | - Hydrant | | - Storm Sewer |
| | | | - Sanitary Sewer |
- Ex. Elevation New Elevation

Site Statistics

General Information	
Total Site Area	0.50 Ac (22,542 sf)
Future Land Use	- Office/Professional
Zoning Classification	- O-2
Dwelling Units	- 5 DU
Proposed Density	- 10 du/ac
Building Office GFA	- 3,721 sf
New Commercial FAR	- 0.17
Setbacks	
Required	Provided
Front (W)	15.0'
Side (N)	15.0'
Side (S)	15.0'
Rear (E)	30.0'

UNROE ENGINEERING, INC
Civil Engineering/Planning/Scientific Evaluation
PO Box 690942, Orlando, FL 32869-0942
Business Authorization Number: EB 0006579 ph (407) 299-0650

MASTER SITE PLAN
Temple Mixed Use Complex
2600 Temple Drive, Winter Park, Florida 32789

DP	Drawn
DP	Checked
1"=20'	Scale
12/03/18	Date
TMU-C0	File
Dwg. No.	
C0	
1 of 1	

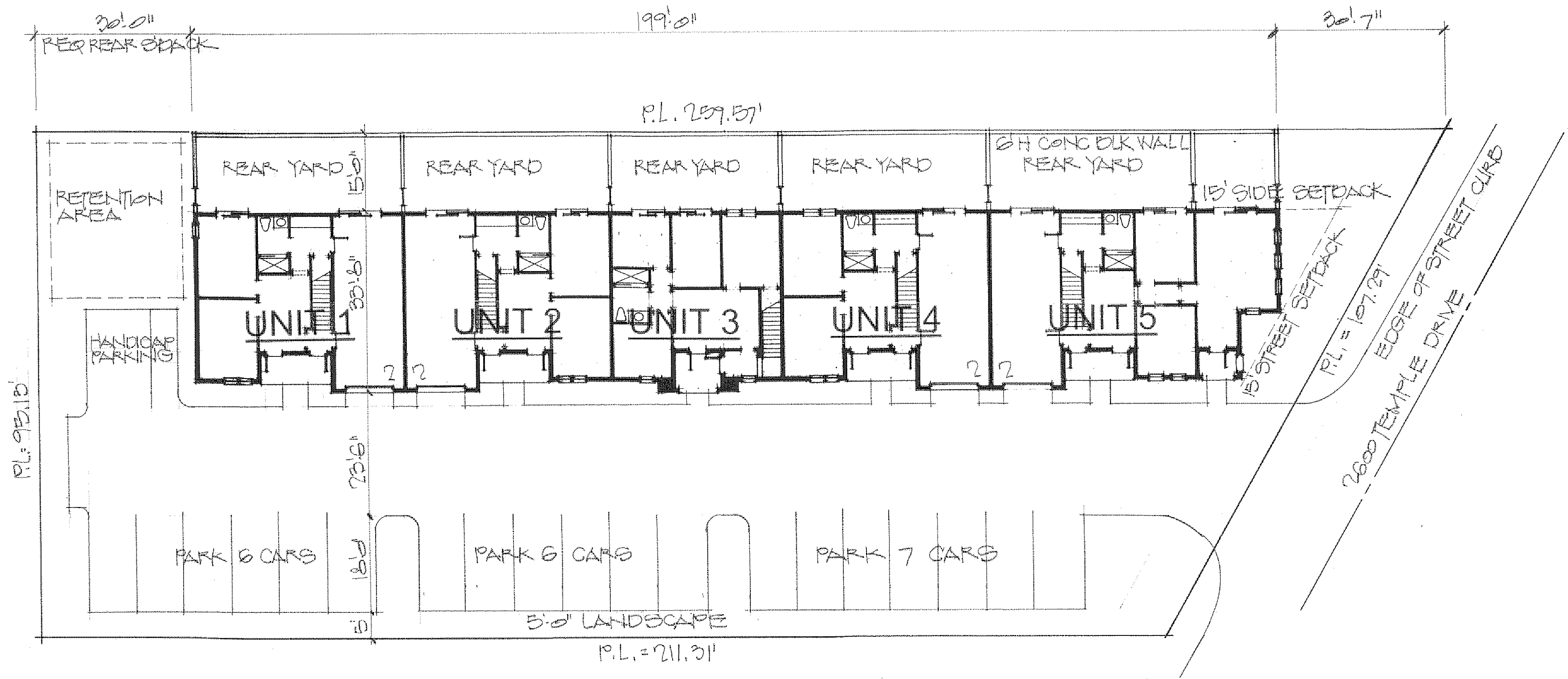
BUILDING AREA	
UNIT 1	
First Floor	1,266 SF
Second Floor	1,266 SF
TOTAL	2,532 SF
UNIT 2	
First Floor	1,256 SF
Second Floor	1,256 SF
TOTAL	2,512 SF
UNIT 3	
First Floor	1,037 SF
Second Floor	1,037 SF
TOTAL	2,074 SF
UNIT 4	
First Floor	1,256 SF
Second Floor	1,256 SF
TOTAL	2,512 SF
UNIT 5	
First Floor	1,659 SF
Second Floor	1,659 SF
TOTAL	3,318 SF
TOTAL BUILDING AREA	
Unit 1	2,532
Unit 2	2,512
Unit 3	2,074
Unit 4	2,512
Unit 5	3,318
TOTAL	12,948 SF
TOTAL OFFICE AREA	
Units 1,2,3,4,& 5	3,771 SF

REQUIRED PARKING	
Apartments 1,2,3,4,& 5	: 10 Spaces
Office 1,2,3,4 & 5	: 15 Spaces
3,771 SF + 250	: 15 Spaces
Total Spaces Required	: 25 Spaces
Total Spaces Provided	: 27 Spaces



STREET ELEVATION
 1/4"=1'-0"

AREA CALCULATIONS	
Address	: 2600 Temple Drive
Lot Area	: 22,542 SF
FAR Allowed	: 13,525 SF (60%)
FAR Proposed	: 12,998 SF (57.6%)
UNIT AREA	
First Floor	Second Floor
Unit 1	
Entry	: 70
Garage	: 472
Stair	: 78
Office	: 646
Total	: 1,266 SF
Unit 2	
Entry	: 70
Garage	: 4,472
Stair	: 78
Office	: 636
Total	: 1,256 SF
Unit 3	
Entry	: 85
Stair	: 95
Office	: 857
Total	: 1,037 SF
Unit 4	
Entry	: 70
Garage	: 472
Stair	: 78
Office	: 636
Total	: 1,256 SF
Unit 5	
Entry	: 113
Garage	: 472
Stair	: 78
Office	: 996
Total	: 1,659 SF

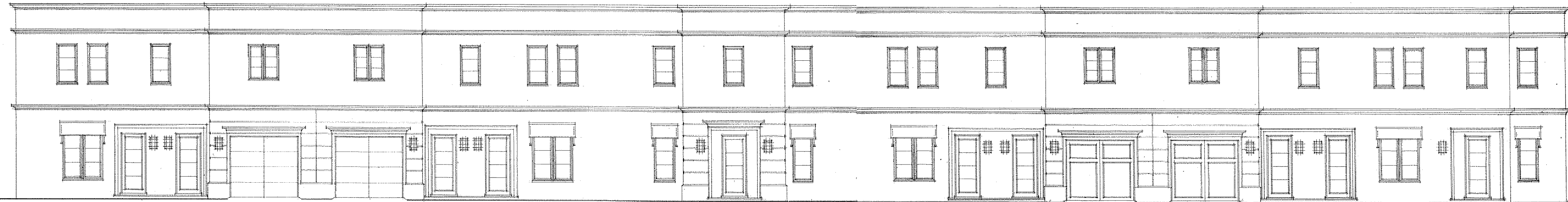


LEGAL DESCRIPTION
 THE NORTH 95 FEET OF THE SOUTH 1,043.55 FEET OF THE WEST 330 FEET LYING EAST OF TEMPLE DRIVE OF THE NW 1/4 OF SECTION 32, TOWNSHIP 21 SOUTH, RANGE 30, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

SITE PLAN
 1/16"=1'-0"

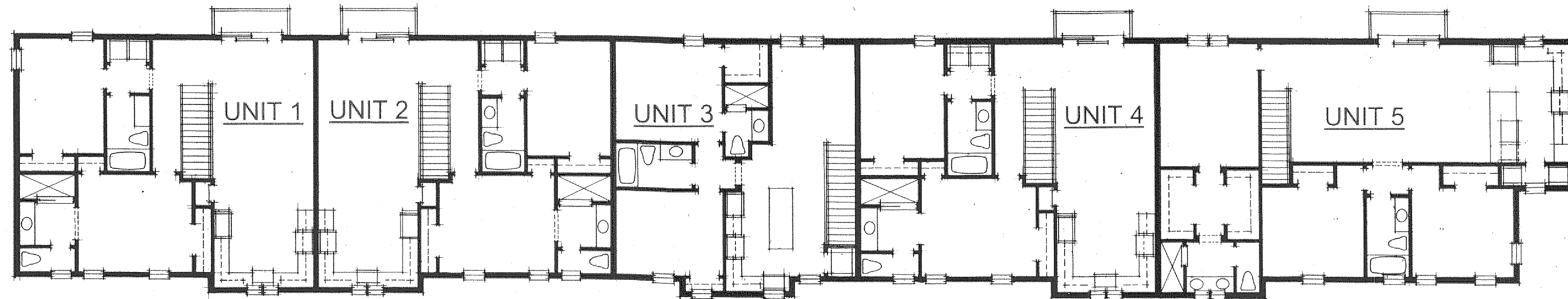
2600 TEMPLE DRIVE
 WINTER PARK, FLORIDA

DATE	NOV 20 2018	REVISIONS	
JOB NUMBER	2018	DRAWN	RGH
		CHECKED	



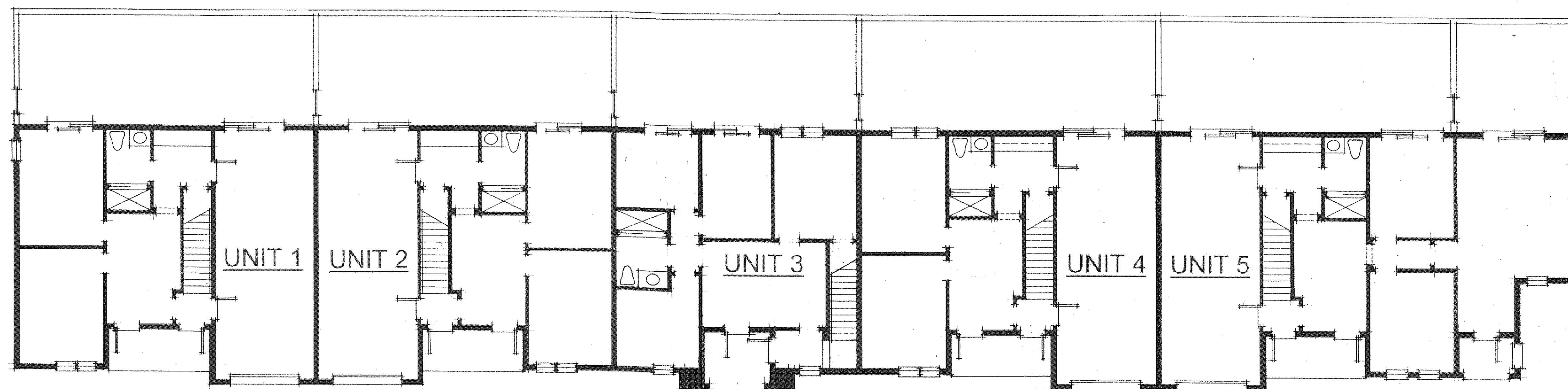
NORTH ELEVATION

1/8" = 1'-0"



SECOND FLOOR PLAN

1/8" = 1'-0"



FIRST FLOOR PLAN

1/8" = 1'-0"

WINTER PARK DESIGN



271 ORACLE DRIVE
WINTER PARK, CO 80197
PHONE: 970.844.8888
FAX: 970.844.7888

2600 TEMPLE DRIVE
WINTER PARK, FLORIDA

JOB NUMBER
2515

DRAWN
Rgh
CHECKED

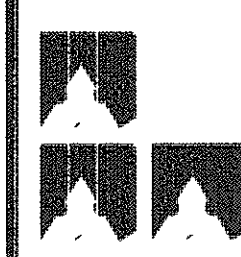
DATE
Nov 20 2013

REVISIONS

2

SHEET

5

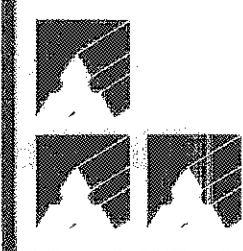


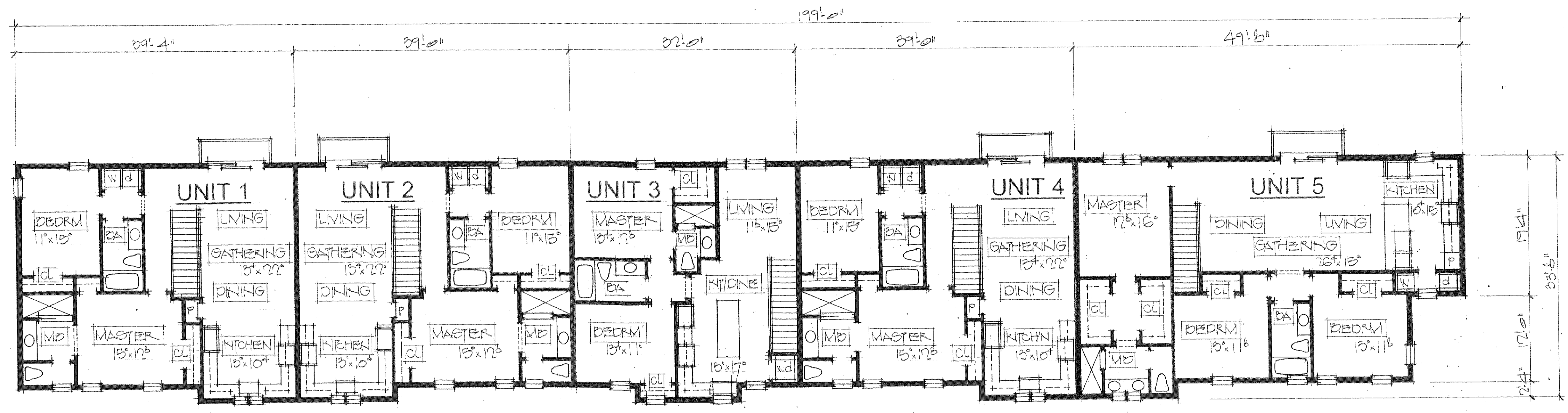


NORTH ELEVATION FRONT PORTION

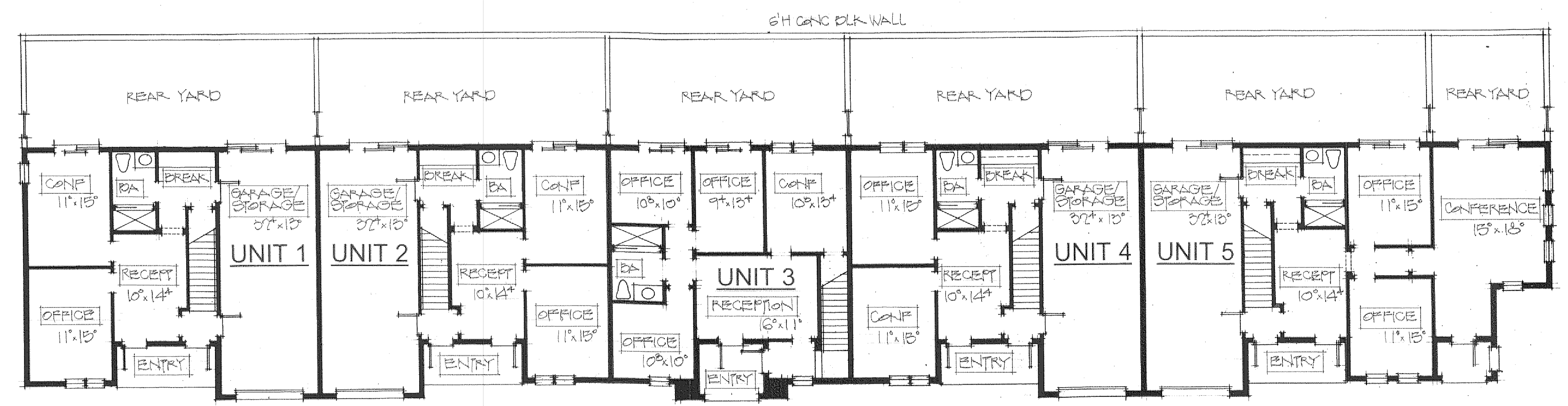


NORTH ELEVATION REAR PORTION





SECOND FLOOR PLAN
 1/8" = 1'-0"



FIRST FLOOR PLAN
 1/8" = 1'-0"

2600 TEMPLE DRIVE
 WINTER PARK, FLORIDA

JOB NUMBER	2615
DRAWN	Rgt
CHECKED	
DATE	NOV 20 2013
REVISIONS	