

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
August 14, 2018**

SPR 18-06 REQUEST OF FIFTH DIMENSION ARCHITECTURE FOR: APPROVAL TO CONSTRUCT A NEW, TWO-STORY, 9,532 SQUARE FOOT, SINGLE-FAMILY HOME LOCATED AT 401 LAKEWOOD DRIVE ON LAKE OSCEOLA, ZONED R-1AAA.

Fifth Dimension Architecture (representing the property owner) is requesting site plan approval to construct a new two-story, 9,532 square-foot, single-family home at 401 Lakewood Drive, which is located on Lake Osceola, and is zoned R-1AAA.

The non-submerged portion of the property measures 37,220 square feet, and is developed with a single-family home that is to be demolished. The proposed two-story home will be total of 9,532 square feet, which yields a floor area ratio (FAR) of 25.6%, which is within the maximum 33%. This new home will have impervious lot coverage of 9,490 square feet or 25.5%, which is within the maximum 50%.

TREE PRESERVATION: The Code direction on water front lots is "to preserve existing trees to the degree reasonably possible." The proposed home is being constructed in roughly the same location as the existing home, so no trees are being removed as part of this request.

VIEW FROM THE LAKE: The Code direction is to minimize the height and extent of stem walls or retaining walls facing the lake. Generally, the policy is not to permit walls/swimming pool decks facing the lake in excess of three feet in height. The issues that we typically deal with about grades and pools decks/retaining walls are not present in this case due to the fact that the lot is relatively flat.

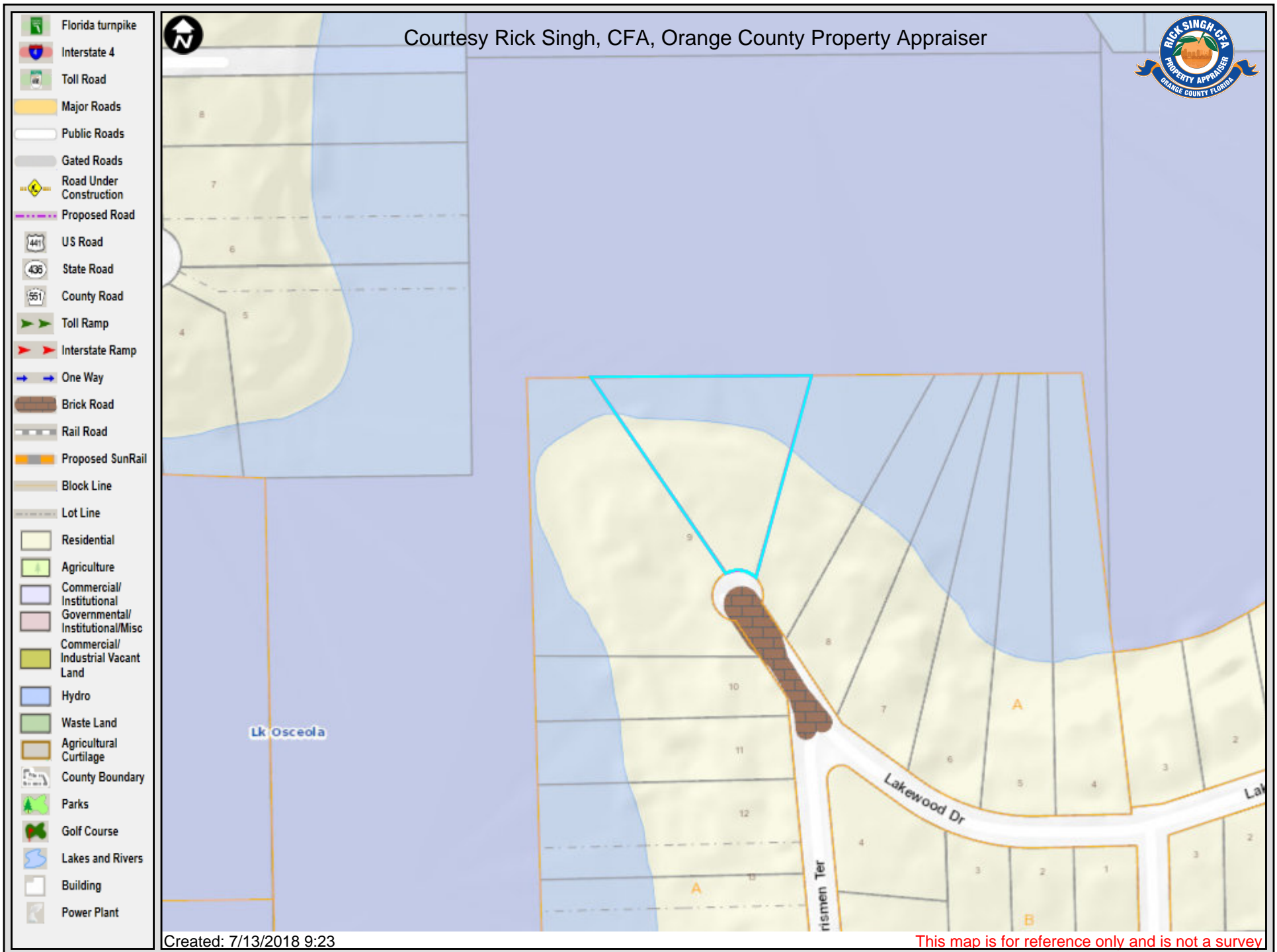
VIEW OF NEIGHBORS: The Code direction is to minimize the degradation of traditional views across properties by new houses, additions, second story additions, etc. alongside property lines toward the lake that may block traditional views. The attached plans show the orientation of the proposed home versus the existing homes on either side. This home will be constructed at roughly the 50 foot lakefront setback, which is further back than the existing home which currently extends into the 50 foot lakefront setback. The west adjoining lot has an expansive lake frontage and is oriented so that this proposed home will not impede their lake views. This home will extend past the rear of the east adjoining home, however due to the pie-shaped nature of this lot and the orientation of the adjoining home, it will not impede the lake views of the east adjoining property.

STORM WATER RETENTION: The zoning code requires retention of storm water so that storm water flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. Typically, this retention requirement is accomplished by the creation of a depressed swale area across the waterfront of about one foot in depth. The amount of impervious surface determines the need for the depth of the swale. The

applicant is proposing keep the existing stormwater swale near the lakefront, which is sized to meet the City's code requirement throughout the property.

SUMMARY: Overall, the plans meet the intent of the lakefront review criteria. Staff does not see any significant concerns with the proposed home as presented.

STAFF RECOMMENDATION IS FOR APPROVAL





OVERCHUCK RESIDENCE

401 Lakewood Drive, Winter Park, FL 32789

NOT FOR CONSTRUCTION
07/13/2018



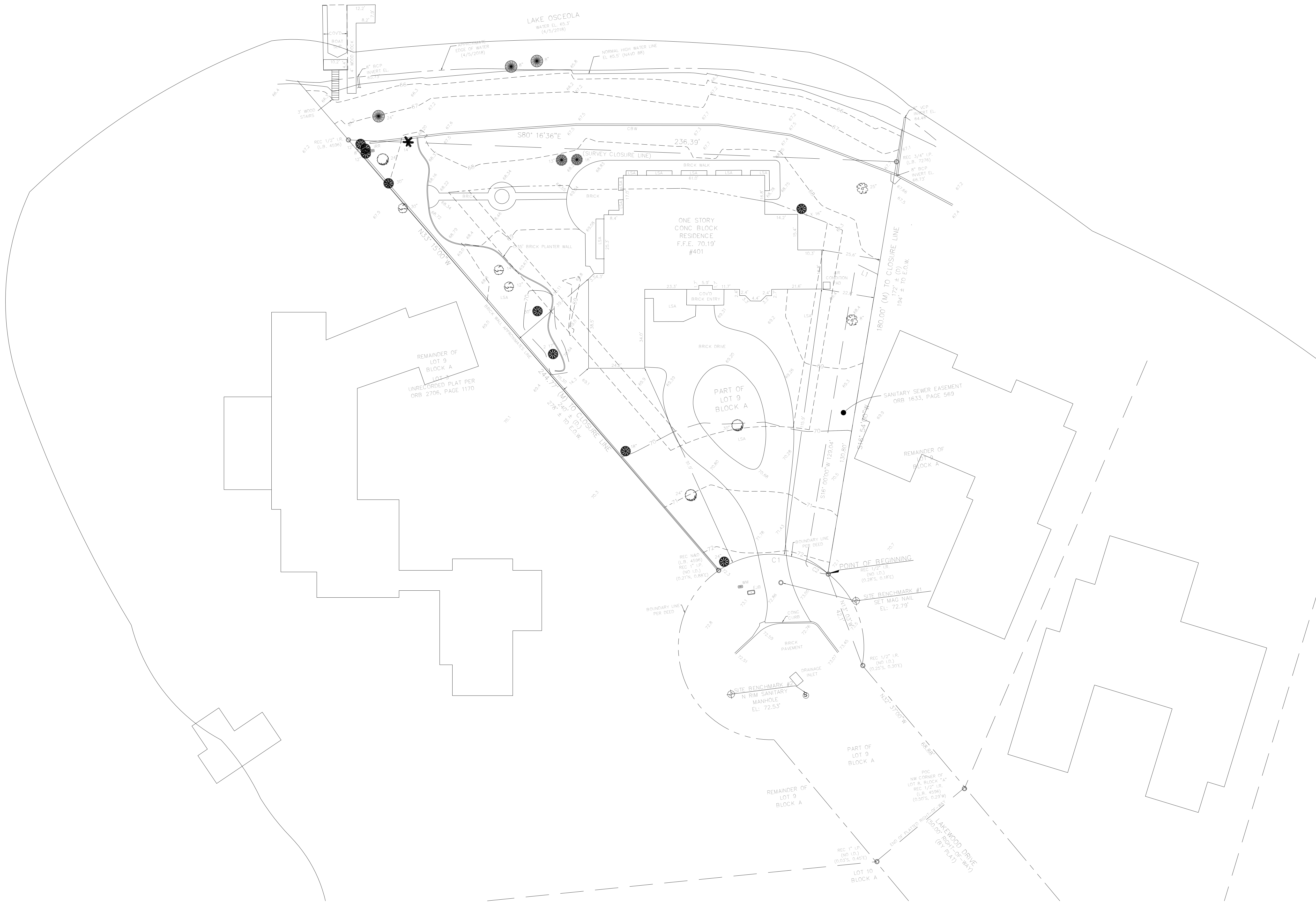
5 FIFTH DIMENSION
ARCHITECTURE & INTERIORS LLC

OVERCHUCK RESIDENCE

John and Natacha Overchuck

REVISIONS	
NO.	DATE

PROJ. NO.	18062
DATE	07/13/2018
SHEET NAME	COVER SHEET
SHEET NO.	GN-001



PRELIMINARY

FOR INTERIM REVIEW ONLY.
NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION.

5 FIFTH
DIMENSION

ARCHITECTURE & INTERIORS LLC

OVERCHUCK RESIDENCE

401 Lakewood Drive, Winter Park, FL 32789

NOT FOR CONSTRUCTION

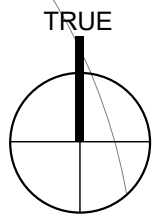
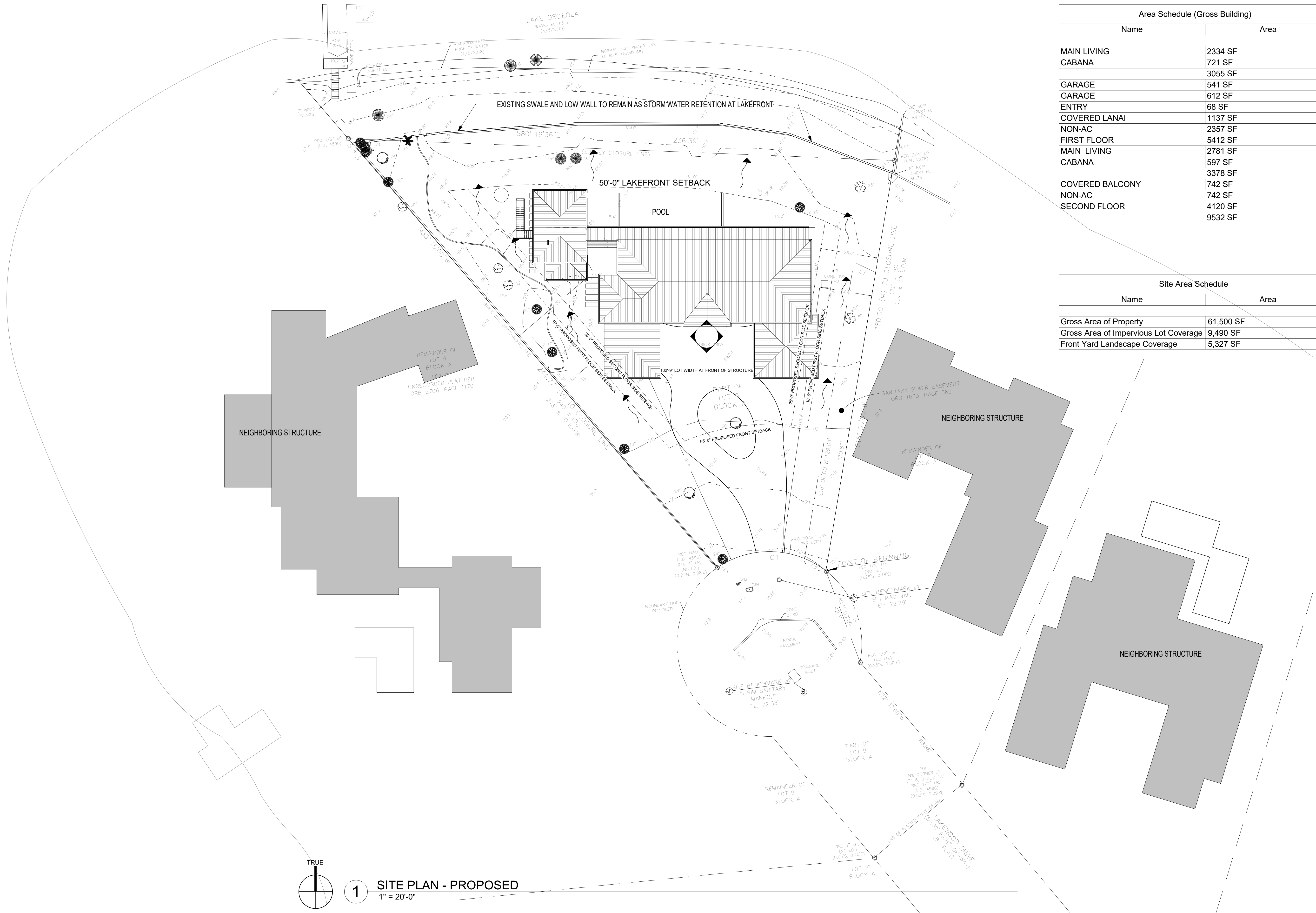
REVISIONS	
NO.	DATE

PROJ. NO. 18062

DATE 07/13/2018

SHEET NAME EXISTING SITE PLAN

SHEET NO. A-001



1

SITE PLAN - PROPOSED
1" = 20'-0"

LEGAL DESCRIPTION:

OSCEOLA SHORES SECTION 3 S/87 FROM NW COR LOT 8 BLK A RUN N 32 DEG W 68.88 FT N 13 DEG W 42.1 FT TO POB RUN NWLY ALONG CURVE 47.06 FT N 33 DEG W 240 FT M/L TO LAKE ELY ALONG LAKE TO A POINT N 16 DEG E FROM POB RUN S 16 DEG W 172 FT M/L TO POB

Area Schedule (Gross Building)	
Name	Area
MAIN LIVING	2334 SF
CABANA	721 SF
	3055 SF
GARAGE	541 SF
GARAGE	612 SF
ENTRY	68 SF
COVERED LANAI	1137 SF
NON-AC	2357 SF
FIRST FLOOR	5412 SF
MAIN LIVING	2781 SF
CABANA	597 SF
	3378 SF
COVERED BALCONY	742 SF
NON-AC	742 SF
SECOND FLOOR	4120 SF
	9532 SF

Site Area Schedule	
Name	Area
Gross Area of Property	61,500 SF
Gross Area of Impervious Lot Coverage	9,490 SF
Front Yard Landscape Coverage	5,327 SF

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OR CONSTRUCTION.

5 FIFTH DIMENSION
ARCHITECTURE & INTERIORS LLC

OVERCHUCK RESIDENCE

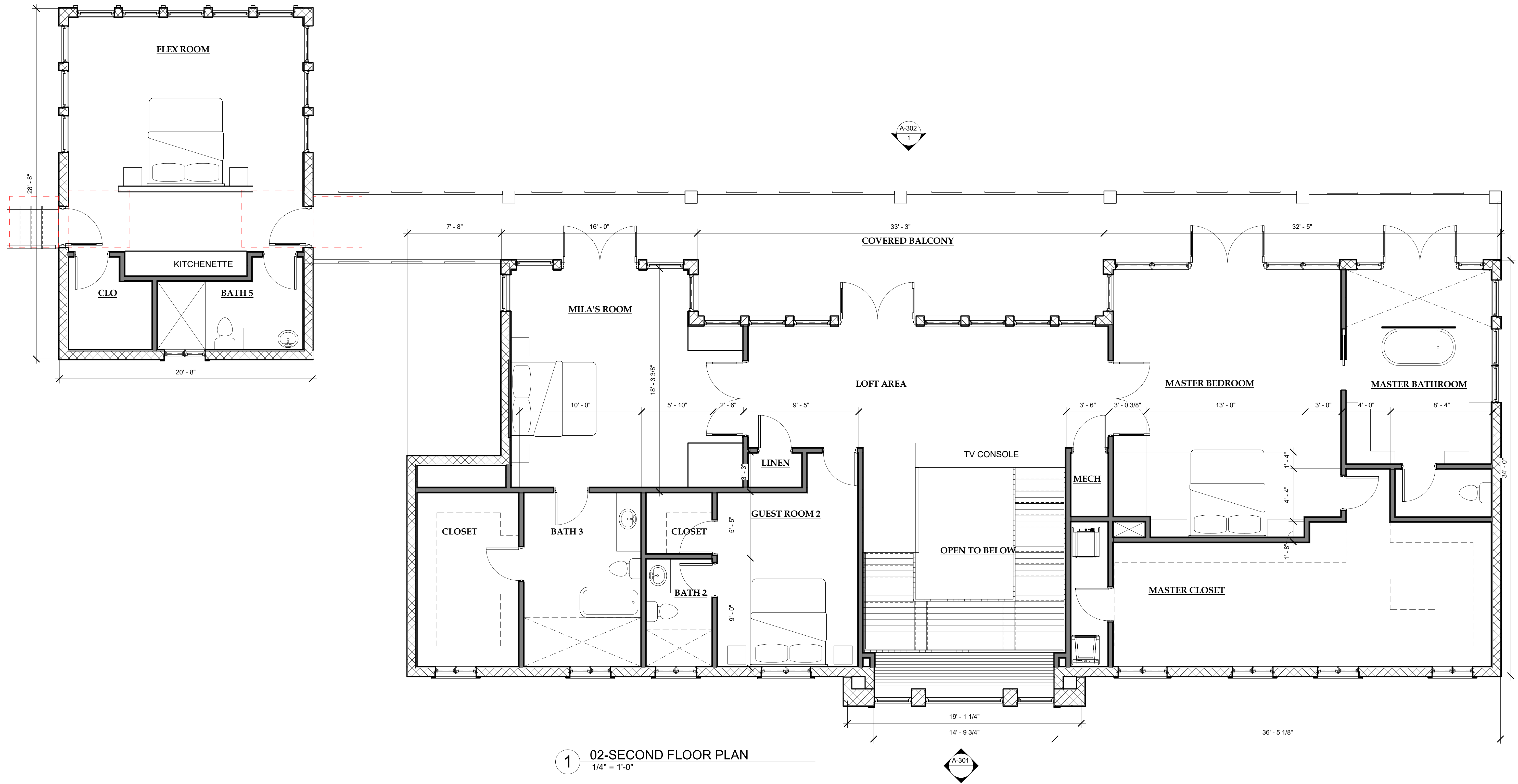
401 Lakewood Drive, Winter Park, FL 32789
NOT FOR CONSTRUCTION

REVISIONS

NO.	DATE

PROJ. NO. 18062
DATE 07/13/2018
SHEET NAME ARCHITECTURAL SITE PLAN

SHEET NO. A-000



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OR CONSTRUCTION.**

**FIFTH
DIMENSION**
ARCHITECTURE & INTERIORS LLC

OVERCHUCK RESIDENCE

NOT FOR CONSTRUCTION

VISIONS

NO.	DATE
-----	------

ROJ. NO.

18062
DATE

07/13/2018

HEET NAME
SECOND FLOOR PLAN

SHEET NO.

A-203

GENERAL NOTES - EXTERIOR ELEVATIONS

- 1 PAINT ALL EXPOSED METAL THAT IS NOT SPECIFIED OR INDICATED TO RECEIVE A FACTORY FINISH.
2 REFER TO PLANS AND SCHEDULES FOR DOOR AND WINDOW TYPES AND SIZES.
3 ALL EXPOSED FLASHING SHALL BE FACTORY FINISHED BY MANUFACTURER / SUPPLIER OR MATERIAL WHICH IS BEING FLASHED.

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5TH
DIMENSION

ARCHITECTURE & INTERIORS LLC

OVERCHUCK RESIDENCE

401 Lakewood Drive, Winter Park, FL 32789

NOT FOR CONSTRUCTION

REVISIONS
NO. DATE

FIRST FLOOR
SITE PLAN
DATE

PROJ. NO. 18062

07/13/2018

SHEET NAME
EXTERIOR ELEVATIONS

SHEET NO.

A-301

7/13/2018 3:13:55 PM

TOP OF ROOF
32' - 0"

SECOND FLOOR
14' - 0"

T.O.W. GARAGE
10' - 8"

FIRST FLOOR
0"

COPPER GUTTER
STUCCO - PAINTED
WHITE DOVE BY
BENJAMIN MOORE
(TYP)

STANDING SEAM METAL ROOF

BRONZE COLOR - ALUMINUM
CLAD WINDOW (TYP)

BRONZE COLOR - ALUMINUM
CLAD DOOR (TYP)

WOOD STAIRCASE

2 WEST ELEVATION
1/4" = 1'-0"

TOP OF ROOF
32' - 0"

SECOND FLOOR
14' - 0"

FIRST FLOOR
0"

STANDING SEAM METAL ROOF
COPPER GUTTER
STUCCO - PAINTED
WHITE DOVE BY
BENJAMIN MOORE
(TYP)

BRONZE COLOR - ALUMINUM
CLAD WINDOW (TYP)

BRONZE COLOR - ALUMINUM
CLAD DOOR (TYP)

1 SOUTH ELEVATION
1/4" = 1'-0"



- GENERAL NOTES - EXTERIOR ELEVATIONS**
- 1 PAINT ALL EXPOSED METAL THAT IS NOT SPECIFIED OR INDICATED TO RECEIVE A FACTORY FINISH.
 - 2 REFER TO PLANS AND SCHEDULES FOR DOOR AND WINDOW TYPES AND SIZES.
 - 3 ALL EXPOSED FLASHING SHALL BE FACTORY FINISHED BY MANUFACTURER / SUPPLIER OR MATERIAL WHICH IS BEING FLASHED.

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5TH DIMENSION
ARCHITECTURE & INTERIORS LLC

2 EAST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

OVERCHUCK RESIDENCE

401 Lakewood Drive, Winter Park, FL 32789
NOT FOR CONSTRUCTION

REVISIONS	
NO.	DATE

PROJ. NO. 18062
DATE 07/13/2018
SHEET NAME EXTERIOR ELEVATIONS

SHEET NO. A-302



FRONT PERSPECTIVE



REAR PERSPECTIVE



REAR PERSPECTIVE



REAR PERSPECTIVE

PRELIMINARY

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OR CONSTRUCTION.

5TH DIMENSION
ARCHITECTURE & INTERIORS LLC

OVERCHUCK RESIDENCE

401 Lakewood Drive, Winter Park, FL 32789
NOT FOR CONSTRUCTION

REVISIONS	
NO.	DATE

PROJ. NO.	18062
DATE	07/13/2018
SHEET NAME	EXTERIOR RENDERINGS
SHEET NO.	A-303

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
August 14, 2018**

SPR 18-04 REQUEST OF JEFF BAUMANN FOR: APPROVAL TO CONSTRUCT A NEW TWO-STORY, 11,366 SQUARE FOOT SINGLE-FAMILY HOME LOCATED AT 1150 NORTH PARK AVENUE ON LAKE MAITLAND, ZONED R-1AAA.

The owners of 1150 North Park Avenue are requesting site plan approval to construct a new two-story, 11,366 square foot single-family home on their property which is located on Lake Maitland, and is zoned R-1AAA.

This property measures 34,549 square feet, and was previously occupied by a single-family home that was demolished. The proposed two-story home will be total of 11,366 square feet, which yields a floor area ratio (FAR) of 32.9%. This new home will have impervious lot coverage of 14,407 square feet or 41.7%. Both the FAR and impervious ratios are within the Code maximums.

TREE PRESERVATION: The Code direction on water front lots is "to preserve existing trees to the degree reasonably possible." Two trees are being removed as part of this request. The City's Urban Forester met onsite with the applicant's design team to discuss the two trees being removed. One magnolia tree and one 72 inch oak tree within the building footprint are planned to be removed. The Urban Forester stated that both trees are decaying and can be removed.

VIEW FROM THE LAKE: The Code direction is to minimize the height and extent of stem walls or retaining walls facing the lake. Generally, the policy is not to permit walls/swimming pool decks facing the lake in excess of three feet in height. This lot has a significant grade drop of about ten (10) feet from front of the house to the lakeside of the swimming pool. Therefore, managing that grade drop throughout the length of the home and on the side yards took careful planning.

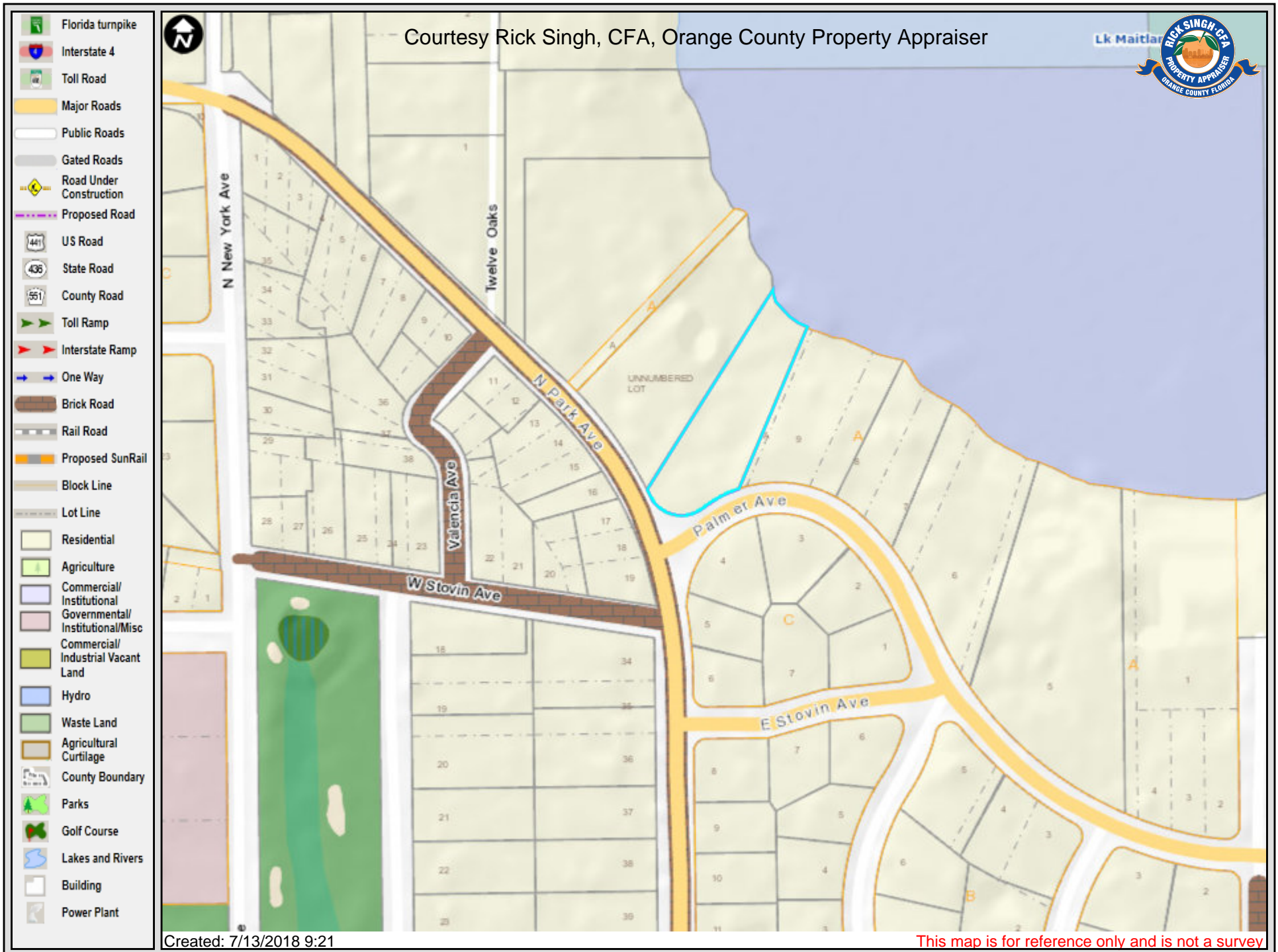
Due to this, a majority of the house (on both sides) is proposed entirely at the second floor setbacks due to the differential in grade from the finished floor elevation (77 feet) and the existing natural grade on the sides of the home. There are also several steps down from the home to the pool deck and additional steps down to a seating area off of the pool deck. Therefore, the pool and deck do not exceed the three foot height rule from existing grade.

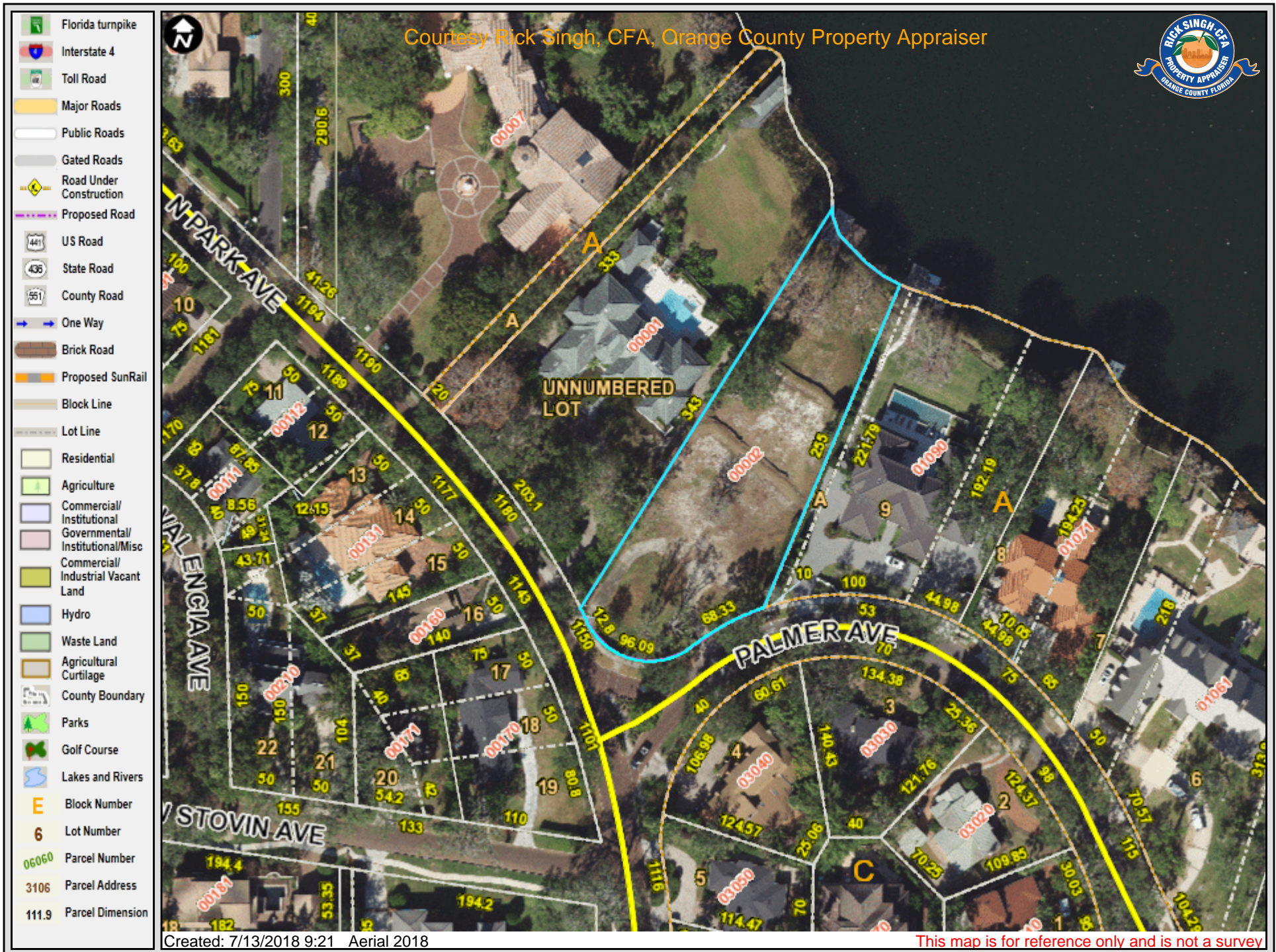
VIEW OF NEIGHBORS: The Code direction is to minimize the degradation of traditional views across properties by new houses, additions, second story additions, etc. alongside property lines toward the lake that may block traditional views. The attached aerial photograph shows the location of the adjoining homes. The proposed home will be constructed behind the 50 foot lakefront setback, at generally the same location as the adjoining homes, as to not impede either property's lake view.

STORM WATER RETENTION: The zoning code requires retention of storm water so that storm water flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. Typically, this retention requirement is accomplished by the creation of a depressed swale area across the waterfront of about one foot in depth. The amount of impervious surface determines the need for the depth of the swale. The applicant is proposing two stormwater retention swales in the front of the home and one swale near the lakefront that are sized to meet the City's code requirement throughout the property.

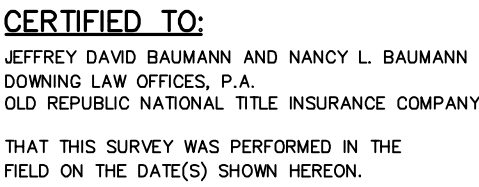
SUMMARY: Overall, the plans meet the intent of the lakefront review criteria. Staff does not see any significant concerns with the proposed home as presented.

STAFF RECOMMENDATION IS FOR APPROVAL





Begin At An Iron Pipe Set At The Southeast Corner Of Lot "A", Block "A", As Shown On A Plat Entitled "ROBERT DHU MACDONALD PARK REPLAT" OF LOT "A", BLOCK "A", Of Winter Park, Orange County, Florida, And Recorded In Plat Book Q, Page 69, Public Records Of Orange County, Florida, Thence Southwesterly Along The Northwesterly Side Line Of Eben Holden Drive, (Now Palmer Avenue), On A Curve To The Left With A Radius Of 193 Feet, 68.33 Feet To A Concrete Monument; Thence Westerly Along Eben Holden Drive, (Now Palmer Avenue), On A Curve To The Right With A Radius Of 54 Feet, 96.09 Feet To An Iron Pipe; Thence Northwesterly Along The Easterly Side Line Of East Park Avenue, On A Curve To The Left With A Radius Of 657.6 Feet 12.80 Feet To An Iron Pipe; Thence North 32 Degrees 31 Minutes East 343 Feet More Or Less To The Shore Of Lake Maitland, Thence Southeasterly Along The Shore Of Lake Maitland 86 Feet More Or Less To The Easterly Side Line Of Said Lot "A"; Thence South 23 Degrees 09 Minutes West 255 Feet More Or Less, To Point Of Beginning.



HLSM, LLC

Henrich-Luke-Swaggerty-Menard
Professional Surveyors & Mappers

Licensed Business No. 7276
794 Big Tree Drive, Suite 108
Longwood, Florida 32750
P. (407) 647-7346
F. (407) 982-7166

REVISIONS

Rev. _____	Date: _____
Rev. _____	Date: _____
Rev. _____	Date: _____
Rev. RECERTIFICATION	Date: 11/21/17

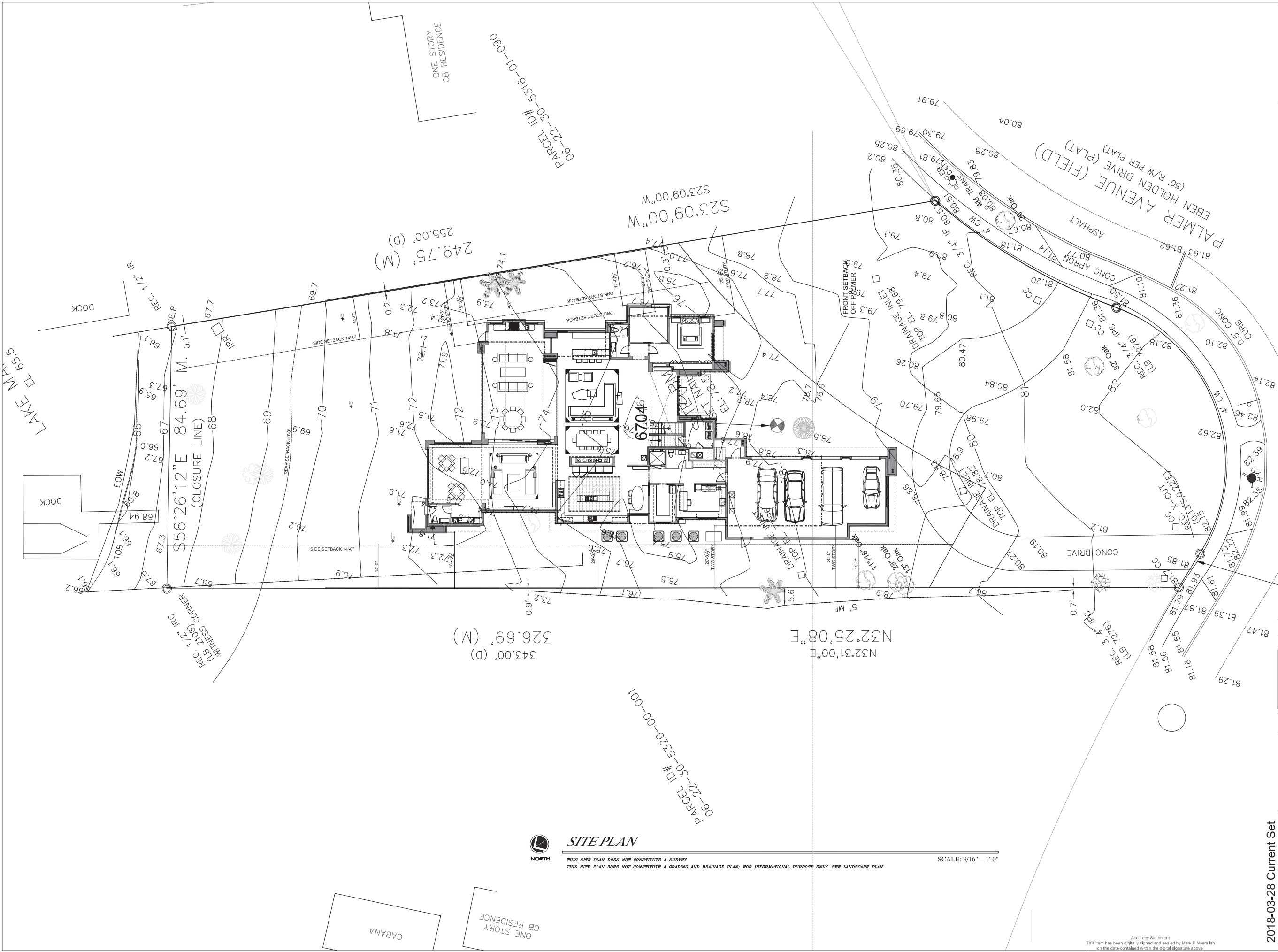
THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

Job No: H-732
Field Date: 8/29/17
Drawn By: JJR
Field By: ME/TH
Scale: 1"=30'

William F. Menard
Professional Surveyor & Mapper
Florida Registration #5625

1. The lands as shown hereon lie within Section 06, Township 22 S., Range 30 E., Orange County, Florida.
2. This survey represents a survey made on the ground under the supervision of the signing surveyor, unless otherwise noted.
3. Underground improvements or underground foundations have not been located except as noted.
4. This survey does not reflect or determine ownership.
5. No title data has been provided to this surveyor unless otherwise noted.
6. Bearings shown hereon are assumed relative to the east line of property, said bearing being S23°09'00"W per deed.
7. Elevations shown hereon are based on Site benchmarks per plan relative to NAVD 88. As provided by the client
9. Legal Description per document number 20160484947, Orange County, Florida public records.
10. According to the Federal Insurance Rate Map, this property lies in Zones "AE" and "X", Community Panel number 12095C0255 F, Dated: 9/25/2009.
11. No field work was performed on the date of recertification.

\\SERVER\Projects\Robert Dhu MacDonald Park\dwg\Lot A Bik A.dwg



SITE PLAN

THIS SITE PLAN DOES NOT CONSTITUTE A SURVEY
THIS SITE PLAN DOES NOT CONSTITUTE A GRADING AND DRAINAGE PLAN; FOR INFORMATIONAL PURPOSE ONLY. SEE LANDSCAPE PLAN

SCALE: 3/16" = 1'-0"

Accuracy Statement
This item has been digitally signed and sealed by Mark P Nasrallah on the date contained within the digital signature above.
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies

2018-03-28 Current Set

SHEET NO

not valid without signature & seal

A CUSTOM RESIDENCE FOR:
Jeff & Nancy Baumann

1150 N. Park Ave
Winter Park, Florida
0622-30-5220-00-002

DATE	DRAWN BY	CT	MIN	AM	DATE	CT	MIN	AM
1415	1415	1415	1415	1415	1415	1415	1415	1415

2018-02-15

NASRALLAH
Architectural Group Inc

3920 Edgewater Drive, Suite 101
Ph: 407-647-0938 FL 32804
email: Mark@nasrallah.com
AA26001471

DATE	MARK	REMARK	BY
2018-11-11			

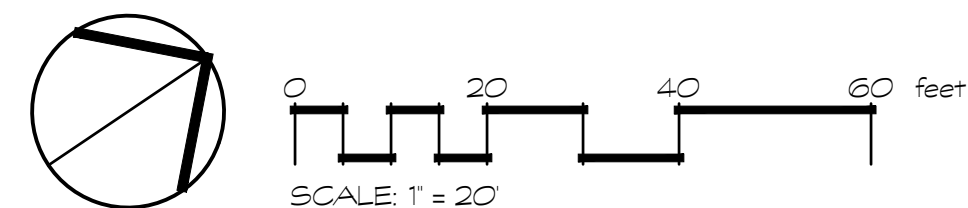
When provided on these drawings, all measurements are in feet and inches unless otherwise noted. All dimensions are to be verified on the ground. The client is responsible for providing accurate information. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client.



Total	2,563.3	1,281.7
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Symbols Legend		Abbreviations:	
	Proposed Contour	BS	Bottom of Stairs
	Existing Contour	BW	Bottom of Wall
	Normal High Water Line	CB	Catch Basin
	Flood Line	C	Center Line
	Building Set Back(s)	DI	Drain Inlet
	Utility Easements	FPE	Finish Floor Elevation
	Property Line	FG	Finish Grade
		Ex	Existing
		HP	High Point
		LP	Low Point
		N-WL	Normal High Water Line
		PC	Pool Coping
		PL	Planting
		SC	Spa Coping
		TBR	To Be Removed
		TS	Top of Stairs
		TW	Top of Wall

<u>MITIGATION TREES</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>CONT</u>	<u>REMARKS</u>
MX	1	Magnolia	Magnolia spp.	EX	To Be Removed
QV	1	Southern Live Oak	Quercus virginiana	72'	To Be Removed



SYMBOL	DESCRIPTION
0-01	Contractor shall familiarize himself/herself with existing site conditions prior to initiating construction. All existing site roads, parking lots, curbs, utilities, sewers and other elements to remain shall be fully protected from any damage unless otherwise noted.
0-02	Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and other elements and coordinate with the owner's representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
0-03	Report any discrepancies between the construction drawings and field conditions to the owner's representative immediately. Follow the owner's representative's instructions on resolving any discrepancies.
0-04	Contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the contractor's own work.
0-05	Contractor shall provide all necessary safety measures during construction operations to protect the public according to all applicable codes and recognized local practices.
0-06	Contractor shall coordinate access and staging areas with the owner's representative.
0-07	Contractor shall be responsible for all erosion control/protection by locally approved means and maintaining erosion controls already in place. Contractor shall adhere to all governing codes and requirements.
0-08	Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and legally deposited off-site daily. All materials, products and equipment shall be stored in an organized fashion as directed by owner's representative.
0-09	Contractor to coordinate his work with the work of the other contractors working on this project. The Contractor shall verify the condition and completeness of all work performed by others in relation to his/her project work responsibilities including the checking of existing elevations or structures prior to initiating construction. The Contractor shall immediately notify the owner's representative if any of these site conditions are incomplete, missing or damaged. Any adjustments required to the condition, completeness and /or elevation of this work shall be performed by others.

1-06 All provided quantities are for estimation purposes only. The contractor &/or supplier is responsible for field verifying all quantities prior to installation.

<u>SYMBOL</u>	<u>DESCRIPTION</u>
2-01	The contractor shall familiarize himself/herself with the project prior to bidding the work.
2-02	The contractor shall be responsible for all earthwork and site grading necessary to achieve the finished grades noted on the grading plans according to the specifications.
2-03	Contractor shall install all drainage structures shown on plans and bring any discrepancies in grades and locations to the immediate attention of the owner's representative.
2-04	Some underground utilities, conduit, sleeves, drainage pipes, etc., have been previously installed or are scheduled for future installation by others. Contractor shall coordinate and work closely with other contractors, trades, and the owner's representative to avoid damage to these underground utilities and at grade elements. Any damages shall be reported immediately to owner's representative. Any damage caused by the contractor shall be replaced at no cost to the owner.
2-05	Finished grade in landscape planting areas shall be 3" below the finished elevations shown for all hardscape area.
2-06	All utilities, sleeves, manholes, outfall structures, swales, and other structures or topographical features shall be field staked and verified prior to construction. Notify owner's representative of any existing utility which appears to need to be raised to match finished grades shown in the drawings, prior to performing any work in the area.
2-07	All fill required shall be clean, well draining soil. Fill shall be clean and free of all deleterious material and any other material harmful to plant growth such as rocks (larger than 2" dia.), compacted clay, roadbed or surfacing material, muck, roots, branches, etc.
2-08	Contours for earth mounds shall be smooth, continuous arcs. Side slopes shall be smooth and even in transition and void of depressions and surface irregularities.
2-09	Refer to project Civil Engineer/Structural Engineer for specification on earthwork.

GENERAL NOTES

SYMBOL	DESCRIPTION
0-01	Contractor shall familiarize himself/herself with existing site conditions prior to initiating construction. All existing site roads, parking lots, curbs, utilities, sewers and other elements to remain shall be fully protected from any damage unless otherwise noted.
0-02	Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and other elements and coordinate with the owner's representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
0-03	Report any discrepancies between the construction drawings and field conditions to the owner's representative immediately. Follow the owner's representative's instructions on resolving any discrepancies.
0-04	Contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the contractor's own work.
0-05	Contractor shall provide all necessary safety measures during construction operations to protect the public according to all applicable codes and recognized local practices.
0-06	Contractor shall coordinate access and staging areas with the owner's representative.
0-07	Contractor shall be responsible for all erosion control/protection by locally approved means and maintaining erosion controls already in place. Contractor shall adhere to all governing codes and requirements.
0-08	Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and legally deposited off-site daily. All materials, products and equipment shall be stored in an organized fashion as directed by owner's representative.
0-09	Contractor to coordinate his work with the work of the other contractors working on this project. The Contractor shall verify the condition and completeness of all work performed by others in relation to his/her project work responsibilities including the checking of existing elevations or structures prior to initiating construction. The Contractor shall immediately notify the owner's representative if any of these site conditions are incomplete, missing or damaged. Any adjustments required to the condition, completeness and /or elevation of this work shall be performed by others.

HARDSCAPE NOTES

SYMBOL	DESCRIPTION
1-01	Contractor shall familiarize himself/herself with existing site conditions prior to initiating construction. All existing site roads, parking lots, curbs, utilities, sewers and other elements to remain shall be fully protected from any damage unless otherwise noted.
1-02	All pavement shall be staked in the field using layout geometry indicated on the site layout plans or as instructed and approved by the owner's representative prior to construction. Alignment may be adjusted to accommodate existing drain inlets, manholes, or other site elements.
1-03	See site grading plans for pavement elevations. Match grades with existing conditions.
1-04	General limits of construction are noted on the drawings unless otherwise noted. Unless otherwise noted, the limit of work shall end at the face of each building &/or Property Line.
1-05	Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and other elements and coordinate with the owner's representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
1-06	All provided quantities are for estimation purposes only. The contractor &/or supplier is responsible for field verifying all quantities prior to installation.

GRADING NOTES

SYMBOL	DESCRIPTION
2-01	The contractor shall familiarize himself/herself with the project prior to bidding the work.
2-02	The contractor shall be responsible for all earthwork and site grading necessary to achieve the finished grades noted on the grading plans according to the specifications.
2-03	Contractor shall install all drainage structures shown on plans and bring any discrepancies in grades and locations to the immediate attention of the owner's representative.
2-04	Some underground utilities, conduit, sleeves, drainage pipes, etc., have been previously installed or are scheduled for future installation by others. Contractor shall coordinate and work closely with other contractors, trades, and the owner's representative to avoid damage to these underground utilities and at grade elements. Any damages shall be reported immediately to owner's representative. Any damage caused by the contractor shall be replaced at no cost to the owner.
2-05	Finished grade in landscape planting areas shall be 3" below the finished elevations shown for all hardscape area.
2-06	All utilities, sleeves, manholes, outfall structures, swales, and other structures or topographical features shall be field staked and verified prior to construction. Notify owner's representative of any existing utility which appears to need to be raised to match finished grades shown in the drawings, prior to performing any work in the area.
2-07	All fill required shall be clean, well draining soil. Fill shall be clean and free of all deleterious material and any other material harmful to plant growth such as rocks (larger than 2' dia.), compacted clay, roadbed or surfacing material, muck, roots, branches, etc.
2-08	Contours for earth mounds shall be smooth, continuous arcs. Side slopes shall be smooth and even in transition and void of depressions and surface irregularities.
2-09	Refer to project Civil Engineer/Structural Engineer for specification on earthwork excavation and fill and compaction requirements in structural and non-structural areas.

Trees To Be Removed

MITIGATION TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	REMARKS
MX	1	Magnolia	Magnolia spp.	EX	To Be Removed
QV	1	Southern Live Oak	Quercus virginiana	72	To Be Removed

PAVING LEGEND

SYMBOL	POOL AREA DESCRIPTION
P-101	Pool Deck Paving
P-102	Ipe Deck
SYMBOL	MOTOR COURT & DRIVEWAY DESCRIPTION
P-201	Concrete Driveway
P-202	12" Concrete Band
P-203	8" Turf Strip
P-204	3' x16' & 3' x20' Concrete Bands
SYMBOL	PATIOS & WALKWAYS DESCRIPTION
P-301	Patio Area Paving
P-302	2'-8"x6' & 2'-8"x8' Concrete Stepping Stones

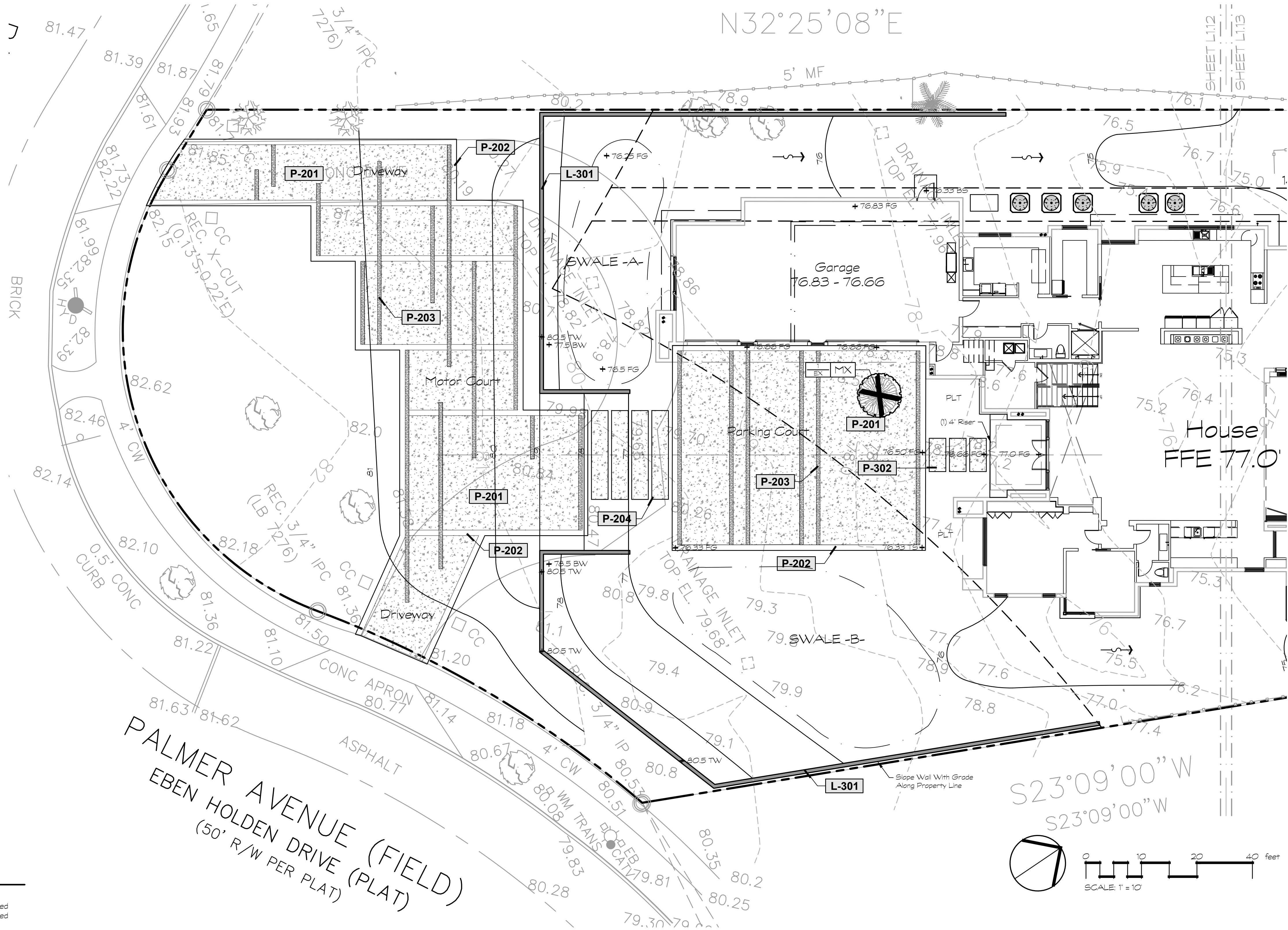
SITE FURNISHINGS

SYMBOL	FURNITURE DESCRIPTION	QTY	DETAIL
S-201	Built-in Bench		
SYMBOL	FIRE PLACES DESCRIPTION	QTY	DETAIL
S-301	Fire Feature		
SYMBOL	SCULPTURE DESCRIPTION	QTY	DETAIL
S-501	Sculpture on Raised Plinth		
SYMBOL	WALLS DESCRIPTION		
L-301	8" Wide Landscape Wall, Height Varies		
L-302	12" Planter Wall, Height Varies		
L-303	Catch Basin		

WALL LEGEND

GRADING LEGEND

Symbols Legend	Abbreviations:
Proposed Contour	BS Bottom of Stairs
Existing Contour	BV Bottom of Wall
Normal High Water Line	CB Catch Basin
Flood Line	CL Center Line
Building Set Back(s)	DI Drain Inlet
Utility Easements	RFE Finish Floor Elevation
Property Line	FG Finish Grade
Proposed Spot Elevation	E Existing
Existing Spot Elevation	HP High Point
Direction of Slope	LP Low Point
	NHWL Normal High Water Line
	PC Pool Coping
	PLT Planting
	SC Spa Coping
	TBR To Be Removed
	TS Top of Stairs
	TW Top of Wall



SYMBOL	DESCRIPTION
0-01	Contractor shall familiarize himself/herself with existing site conditions prior to initiating construction. All existing site roads, parking lots, curbs, utilities, sewers and other elements to remain shall be fully protected from any damage unless otherwise noted.
0-02	Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and other elements and coordinate with the owner's representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
0-03	Report any discrepancies between the construction drawings and field conditions to the owner's representative immediately. Follow the owner's representative's instructions on resolving any discrepancies.
0-04	Contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the contractor's own work.
0-05	Contractor shall provide all necessary safety measures during construction operations to protect the public according to all applicable codes and recognized local practices.
0-06	Contractor shall coordinate access and staging areas with the owner's representative.
0-07	Contractor shall be responsible for all erosion control/protection by locally approved means and maintaining erosion controls already in place. Contractor shall adhere to all governing codes and requirements.
0-08	Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and legally deposited off-site daily. All materials, products and equipment shall be stored in an organized fashion as directed by owner's representative.
0-09	Contractor to coordinate his work with the work of the other contractors working on this project. Contractor shall verify the condition and completeness of all work performed by others in relation to his/her project work responsibilities including the checking of existing elevations or structures prior to initiating construction. The Contractor shall immediately notify the owner's representative if any of these site conditions are incomplete, missing or damaged. Any adjustments required to the condition, completeness and /or elevation of this work shall be performed by others.

<u>SYMBOL</u>	<u>DESCRIPTION</u>
1-01	Contractor shall familiarize himself/herself with existing site conditions prior to initiating construction. All existing site roads, parking lots, curbs, utilities, sewers and other elements to remain shall be fully protected from any damage unless otherwise noted.
1-02	Layout plans shall be staked in the field using layout geometry indicated on the site layout plans or as instructed and approved by the owner's representative prior to construction. Alignment may be adjusted to accommodate existing drain inlets, manholes, or other site elements.
1-03	See site grading plans for pavement elevations. Match grades with existing conditions.
1-04	General limits of construction are noted on the drawings unless otherwise noted. Unless otherwise noted, the limit of work shall end at the face of each building &/or Property Line.
1-05	Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and other elements and coordinate with the owner's representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
1-06	All provided quantities are for estimation purposes only. The contractor &/or supplier is responsible for field verifying all quantities prior to installation.

SYMBOL DESCRIPTION	
2-01	The contractor shall familiarize himself/herself with the project prior to bidding the work.
2-02	The contractor shall be responsible for all earthwork and site grading necessary to achieve the finished grades noted on the grading plans according to the specifications.
2-03	Contractor shall install all drainage structures shown on plans and bring any discrepancies in grades and locations to the immediate attention of the owner's representative.
2-04	Some underground utilities, conduit, sleeves, drainage pipes, etc., have been previously installed or are scheduled for future installation by others. Contractor shall coordinate and work closely with other contractors, trades, and the owner's representative to avoid damage to these underground utilities and at grade elements. Any damages shall be reported immediately to owner's representative. Any damage caused by the contractor shall be replaced at no cost to the owner.
2-05	Finished grade in landscape planting areas shall be 3" below the finished elevations shown for all hardscape area.
2-06	All utilities, sleeves, manholes, outfall structures, swales, and other structures or topographical features shall be field staked and verified prior to construction. Notify owner's representative of any existing utility which appears to need to be raised to match finished grades shown in the drawings, prior to performing any work in the area.
2-07	All fill required shall be clean, well draining soil. Fill shall be clean and free of all deleterious material and any other material harmful to plant growth such as rocks (larger than 2" dia.), compacted clay, roadbed or surfacing material, muck, roots, branches, etc.
2-08	Contours for earth mounds shall be smooth, continuous arcs. Side slopes shall be smooth and even in transition and void of depressions and surface irregularities.
2-09	Refer to project Civil Engineer/Structural Engineer for specification on earthwork excavation and fill and compaction requirements in structural and non-structural areas.

<u>MITIGATION TREES</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>CONT</u>	<u>REMARKS</u>
MX	1	Magnolia	Magnolia spp.	EX	To Be Removed
QV	1	Southern Live Oak	Quercus virginiana	72"	To Be Removed

<u>SYMBOL</u>	<u>POOL AREA DESCRIPTION</u>
P-101	Pool Deck Paving
P-102	Ipe Deck
<u>SYMBOL</u>	<u>MOTOR COURT & DRIVEWAY DESCRIPTION</u>
P-201	Concrete Driveway
P-202	12" Concrete Band
P-203	8" Turf Strip
P-204	3' x16' & 3' x20' Concrete Bands
<u>SYMBOL</u>	<u>PATIOS & WALKWAYS DESCRIPTION</u>
P-301	Patio Area Paving
P-302	2'-8"x6" & 2'-8"x9" Concrete Stepping Stones

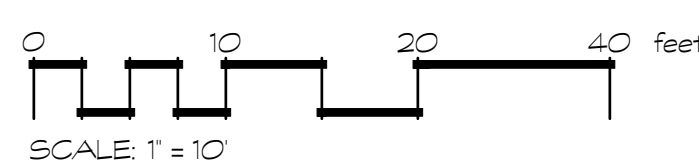
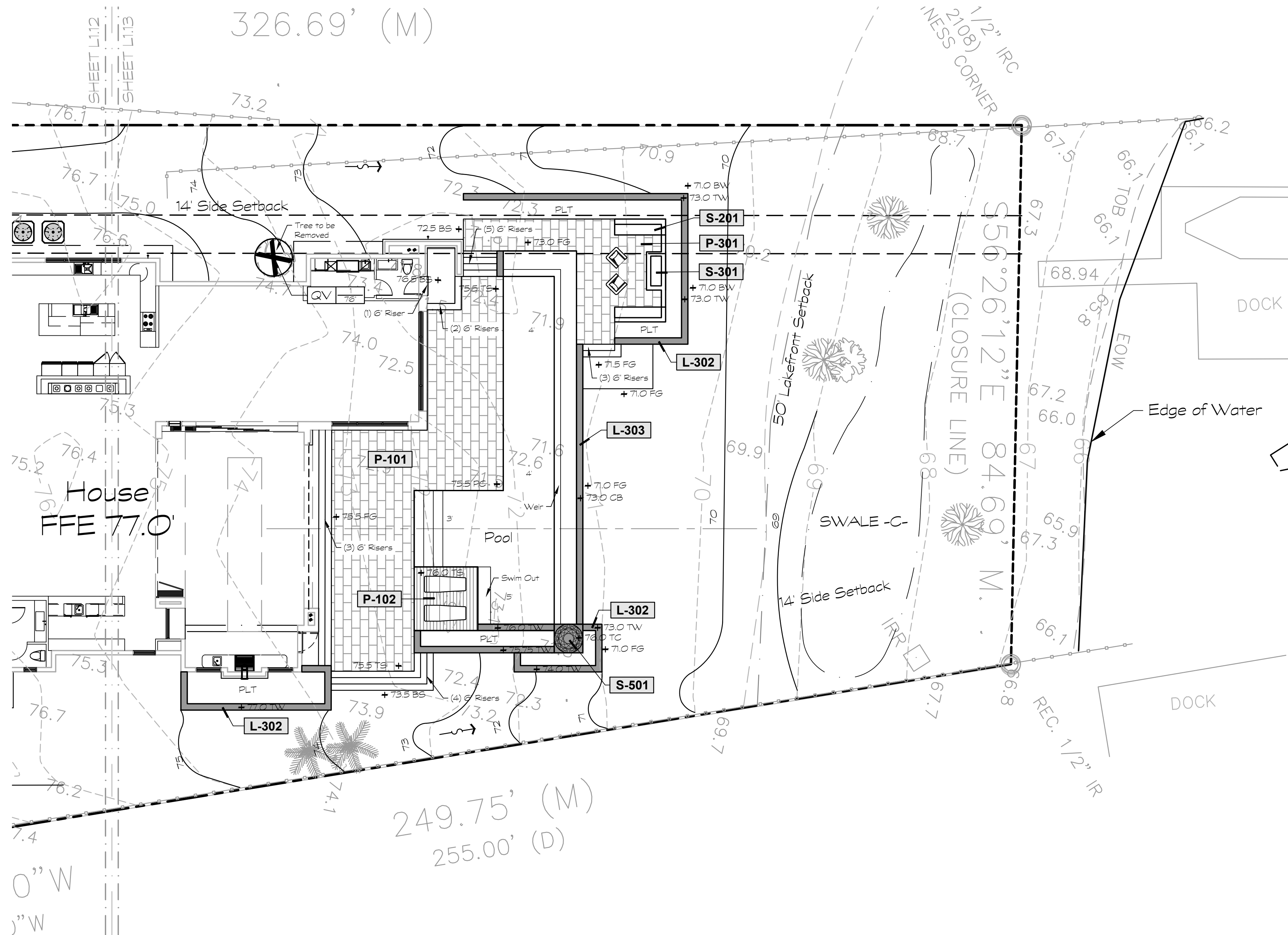
<u>SYMBOL</u>	<u>FURNITURE DESCRIPTION</u>	<u>QTY</u>	<u>DETAIL</u>
S-201	Built-in Bench		

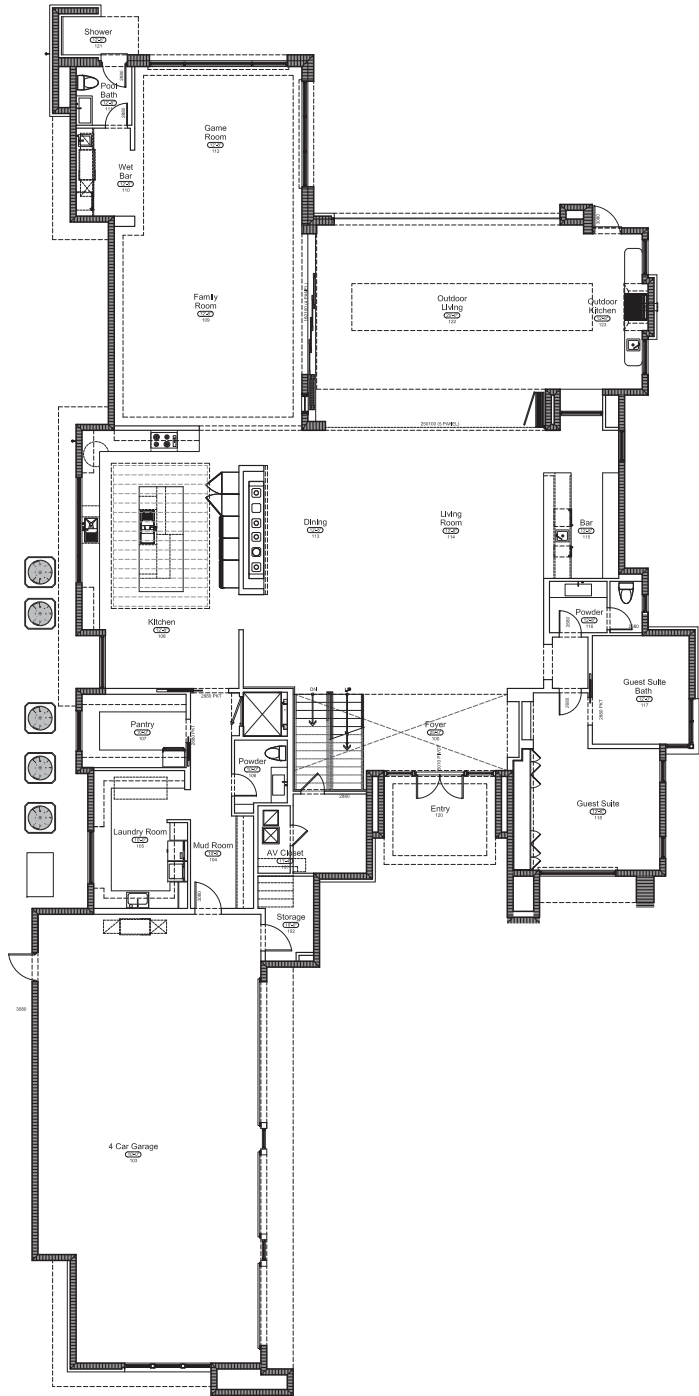
<u>SYMBOL</u>	<u>FIRE PLACES DESCRIPTION</u>	<u>QTY</u>	<u>DETAIL</u>
S-301	Fire Feature		

<u>SYMBOL</u>	<u>SCULPTURE DESCRIPTION</u>	<u>QTY</u>	<u>DETAIL</u>
S-501	Sculpture on Raised Plinth		

<u>SYMBOL</u>	<u>WALLS</u> <u>DESCRIPTION</u>
L-301	8" Wide Landscape Wall, Height Varies
L-302	12" Planter Wall, Height Varies
L-303	Catch Basin

<u>Symbols Legend</u>	<u>Abbreviations:</u>
	Proposed Contour
	Existing Contour
	Normal High Water Line
	Flood Line
	Building Set Back(s)
	Utility Easements
	Property Line
	Proposed Spot Elevation
	Existing Spot Elevation
	Direction of Slope
	BS Bottom of Stairs
	BW Bottom of Wall
	CB Catch Basin
	CL Center Line
	DI Drain Inlet
	FFE Finish Floor Elevation
	FG Finish Grade
	E Elevation
	HP High Point
	LP Low Point
	NHWL Normal High Water Line
	PC Pool Coping
	PLT Planting
	SC Spot Coping
	TBR To Be Removed
	TS Top of Stairs
	TW Top of Wall

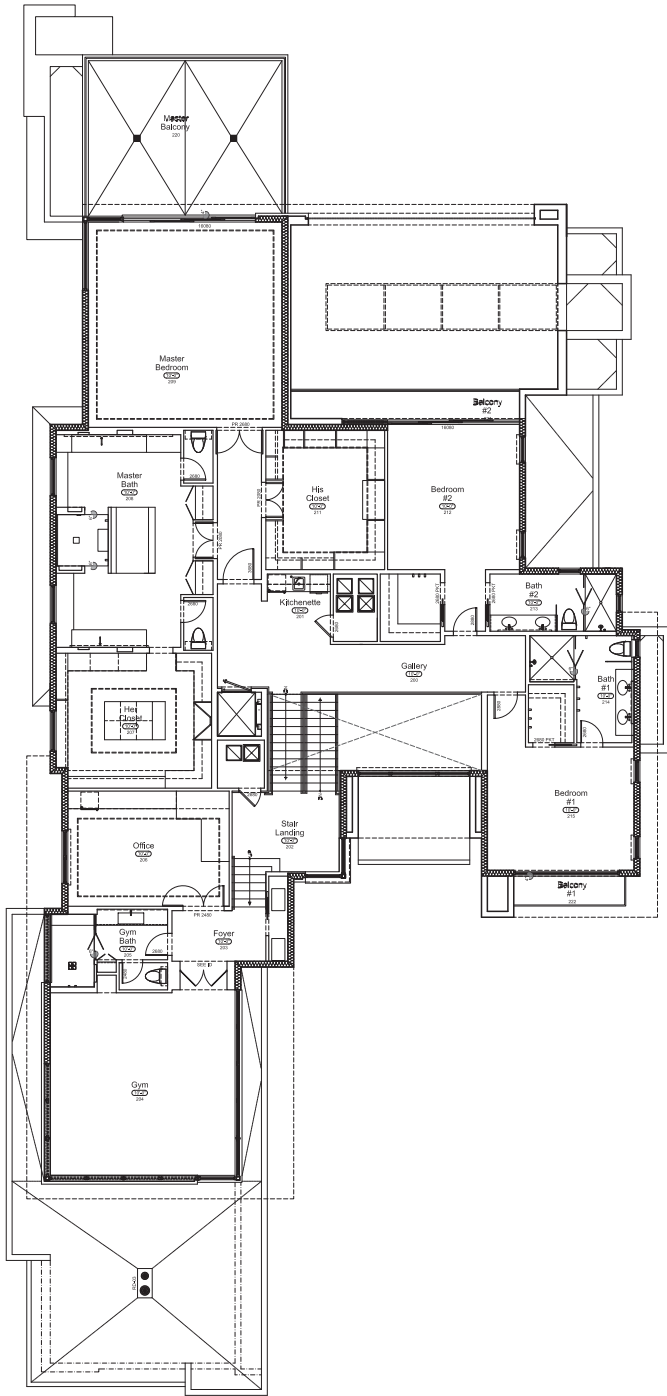




1
A1.0

LEVEL 01 - FLOOR PLAN

SCALE: 1/8" = 1' - 0"



2
A1.0

LEVEL 02 - FLOOR PLAN

SCALE: 1/8" = 1' - 0"

BUILDING AREA CALCULATIONS (NON-FAR)			
	CONDITIONED AREA	NON-CONDITIONED AREA	AREA NOT UNDER ROOF
1ST LEVEL			
MAIN HOUSE	4,340 SF		
4 CAR GARAGE / STORAGE		1,412 SF	
COVERED ENTRY		147 SF	
COVERED REAR PATIO		864 SF	
2ND LEVEL			
MAIN HOUSE	4,152 SF		
MASTER BALCONY (REAR)			433 SF
COVER REAR BACONY		106 SF	
AREA SUBTOTALS	8,492 SF	2,719 SF	433 SF
TOTAL CONSTRUCTED AREA UNDER ROOF	11,211 SF		

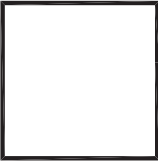
BUILDING AREA CALCULATIONS FAR			
	CONDITIONED AREA	NON-CONDITIONED AREA	AREA NOT UNDER ROOF
1ST LEVEL			
MAIN HOUSE	4,340 SF		
4 CAR GARAGE / STORAGE		1412 SF	
COVERED ENTRY		147 SF (NIS)	
COVERED REAR PATIO		364 SF (864 - 500)	
2ND LEVEL			
MAIN HOUSE	4340 SF		
MASTER BALCONY (REAR)			433 SF (NIS OPEN)
COVER FRONT ENTRY (+17'-6")		147 SF	
COVER REAR PATIO (+17'-6")		733 SF	
AREA SUBTOTALS	8,680 SF FAR	2,656 SF FAR	433 SF
TOTAL FAR AREA	11,336 SF FAR		

FAR SUMMARY

Only at Winter Park	
LOT AREA	34,548 S.F.
MAX FAR = 33% BASE LOT AREA	11,401 S.F.
TOTAL FAR CONSTRUCTED SPACE	11,366 S.F.
ACTUAL FAR = X % LOT AREA	32.9%

Accuracy Statement
This item has been digitally signed and sealed by Mark P Nasrallah on the date contained within the digital signature above. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies

2018-03-28 Current Set



A
1.0
SHEET NO

not valid without
signature & seal

Mark P. Nasrallah
Fla. Reg. AR 0008136

A CUSTOM RESIDENCE FOR:
Jeff & Nancy Baumann

1150 N. Park Ave
Winter Park, Florida
0622-30-5520-00-002

DATE	DRAWN BY	CT. AM. AM	DATE	CT. AM. AM
2018-02-15	CT. AM. AM	CT. AM. AM	2018-02-15	CT. AM. AM

NASRALLAH
Architectural Group Inc

3920 Edgewater Drive, Suite 101
Tampa, FL 33604
Ph: 407-647-0938 Fax: 407-647-2499
email: Mark@nasrallah.com
AA26001471

DATE	MARK	REMARK	BY
2018-11-11			

When a building is being changed, all new construction shall be identified by a different color and all existing construction shall be identified by a different color. All changes shall be identified by a different color and all existing construction shall be identified by a different color. All changes shall be identified by a different color and all existing construction shall be identified by a different color.









Rendered Model

July 3, 2018 ■ Baumann Residence

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
August 14, 2018**

SPR 18-13 REQUEST OF NASRALLAH ARCHITECTURAL GROUP, INC. FOR: APPROVAL TO CONSTRUCT A NEW, TWO-STORY, 8,664 SQUARE FOOT, SINGLE-FAMILY HOME LOCATED AT 1400 NORTH NEW YORK AVENUE ON LAKE MAITLAND, ZONED R-1AAA.

Nasrallah Architectural Group, Inc. (representing the property owner) is requesting site plan approval to construct a new two-story, 8,664 square-foot, single-family home at 1400 North New York Avenue, which is located on Lake Maitland, and is zoned R-1AAA.

The non-submerged portion of the property measures 44,913 square feet, and is developed with a single-family home that is to be demolished. The existing two-story garage/guest house at the front of the property is to remain. The proposed two-story home will be total of 8,664 square feet, which including the 1,178 square foot garage/guest house yields a floor area ratio (FAR) of 19%, which is within the maximum 33%. This new home will have impervious lot coverage of 17,105 square feet or 38%, which is within the maximum 50%.

TREE PRESERVATION: The Code direction on water front lots is "to preserve existing trees to the degree reasonably possible." The proposed home is being constructed in roughly the same location as the existing home, so the only trees that will be removed are seven palms within the building footprint.

VIEW FROM THE LAKE: The Code direction is to minimize the height and extent of stem walls or retaining walls facing the lake. Generally, the policy is not to permit walls/swimming pool decks facing the lake in excess of three feet in height. The issues that we typically deal with about grades and pools decks/retaining walls are not present in this case due to the fact that the lot is relatively flat.

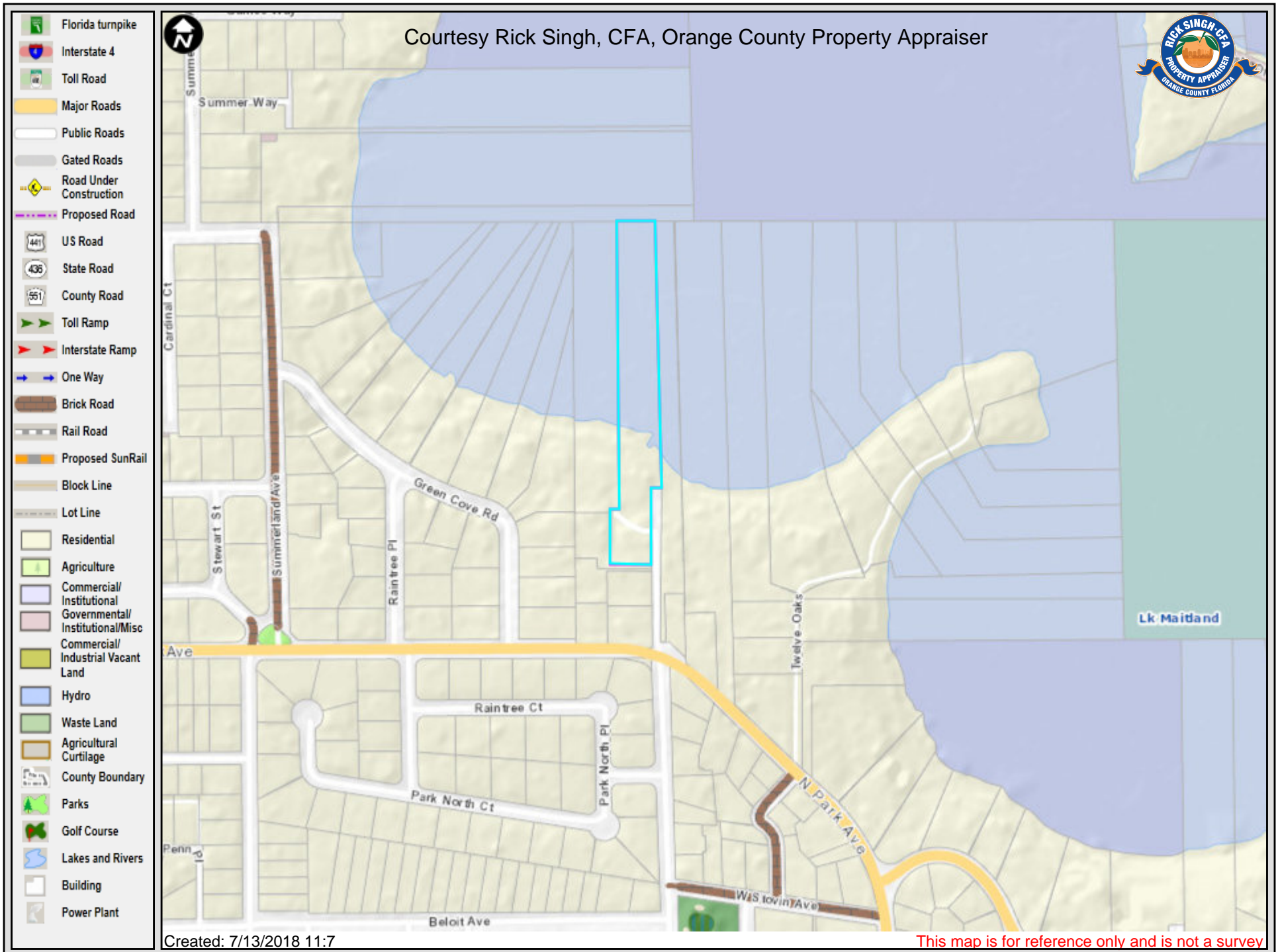
VIEW OF NEIGHBORS: The Code direction is to minimize the degradation of traditional views across properties by new houses, additions, second story additions, etc. alongside property lines toward the lake that may block traditional views. The attached plans show the orientation of the proposed home versus the existing homes on either side. The west adjoining home is closer to the lakefront than this proposed home, and therefore will not impede their lake views. However, the proposed home will extend past the rear of the east adjoining home, which is a long and narrow lot, and the home is constructed near the front of their lot. Since the applicant is exceeding the minimum lakefront setback of 50 feet as well as the average lakefront setback of the adjoining properties, on top of moving the new home further away from the lake, staff does not see any concerns with the home as presented.

STORM WATER RETENTION: The zoning code requires retention of storm water so that storm water flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. Typically, this retention requirement is accomplished by the

creation of a depressed swale area across the waterfront of about one foot in depth. The amount of impervious surface determines the need for the depth of the swale. The applicant is proposing two stormwater swales, one on the west side of the property, and another near the lakefront. The proposed swales are sized to meet the City's code requirement throughout the property.

SUMMARY: Overall, the plans meet the intent of the lakefront review criteria. Staff does not see any significant concerns with the proposed home as presented.

STAFF RECOMMENDATION IS FOR APPROVAL





Boundary Survey

Legal Description:

PARCEL I: From the Southeast corner of the Southwest 1/4 of Section 31, Township 21 South, Range 30 East, run South 89°47' West along the South line of said Southwest 1/4 a distance of 142.50 feet; thence South 89°14' West 156.15 feet along the South line of said Southwest 1/4; thence run North 00°53' West (parallel with and 10 feet Easterly of the East line of Lot 1, Lakeside Subdivision as per plat thereof recorded in Plat Book F, Page 91, Public Records of Orange County, Florida) a distance of 265.01 feet to the Point of Beginning; thence continue North 00°53' West 172.50 feet; thence North 89°42' East 30 feet; thence North 00°53' West 15 feet; thence North 89°42' East 100.85 feet to the West right-of-way line of New York Avenue; thence South 00°54' East along said West right-of-way line 187.50 feet; thence South 89°42' West 130.97 feet to the Point of Beginning.

PARCEL II: From the Southeast corner of the Southwest 1/4 of Section 31, Township 21 South, Range 30 East, run South 89°47' West along the South line of said Southwest 1/4 a distance of 142.50 feet; thence South 89°14' West 156.15 feet along the South line of said Southwest 1/4; thence run North 00°53' West (parallel with and 10 feet Easterly of the East line of Lot 1, Lakeside Subdivision, as per plat thereof recorded in Plat Book F, Page 91, Public Records of Orange County, Florida) a distance of 437.51 feet; thence North 89°42' East 30 feet; thence North 00°53' West 15 feet to the Point of Beginning; run thence North 89°42' East 100.85 feet to the West right-of-way line of New York Avenue; thence North 00°54' West along said right-of-way line 54 feet; thence East along the North end of said New York Avenue right-of-way line 33 feet; thence North 815 feet, more or less, to a point on the North line of the Southeast 1/4 of the Southwest 1/4 of said Section 31, a distance of 142.50 feet West of the Northeast corner of said Southeast 1/4 of Southwest 1/4; thence West along the North line of said Southeast 1/4 of Southwest 1/4 a distance of 146.5 feet, more or less, to a point which is 40 feet East of an intersection of said North line of Southeast 1/4 of Southwest 1/4 with a Northerly extension of the East line of aforesaid Lot 1, Lakeside Subdivision; thence South 00°53' East 869.5 feet, more or less, to the Point of Beginning.

Flood Disclaimer By performing a search with the local governing municipality or www.fema.gov, the property appears to be located in zone X, AE. This Property was found in City of Winter Park, community number 120188, dated 9/25/2009.

CERTIFIED TO:

JEFFREY H SMITH AND CATHERINE S SMITH
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

W E WINDERWEEDLE JR.
WELLS FARGO BANK



-Site Benchmark Information-

#1

Top of Sanitary Sewer Manhole.
Elevation: 75.46

#2

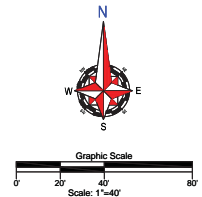
Found 4"x4" Concrete Monument.
Elevation: 77.46

-Benchmark Information-

Orange County Datum Elevation: 84.13'
Found 2" Orange County Brass Disk (Stamped L-645-16)
in the Sidewalk on the NE Side of Palmer Avenue, 25'+/-
NE of the C/L of Palmer Avenue and 65'+/- North of the
C/L of Lincoln Circle.
(Elevations are based upon NAVD 88 Datum)

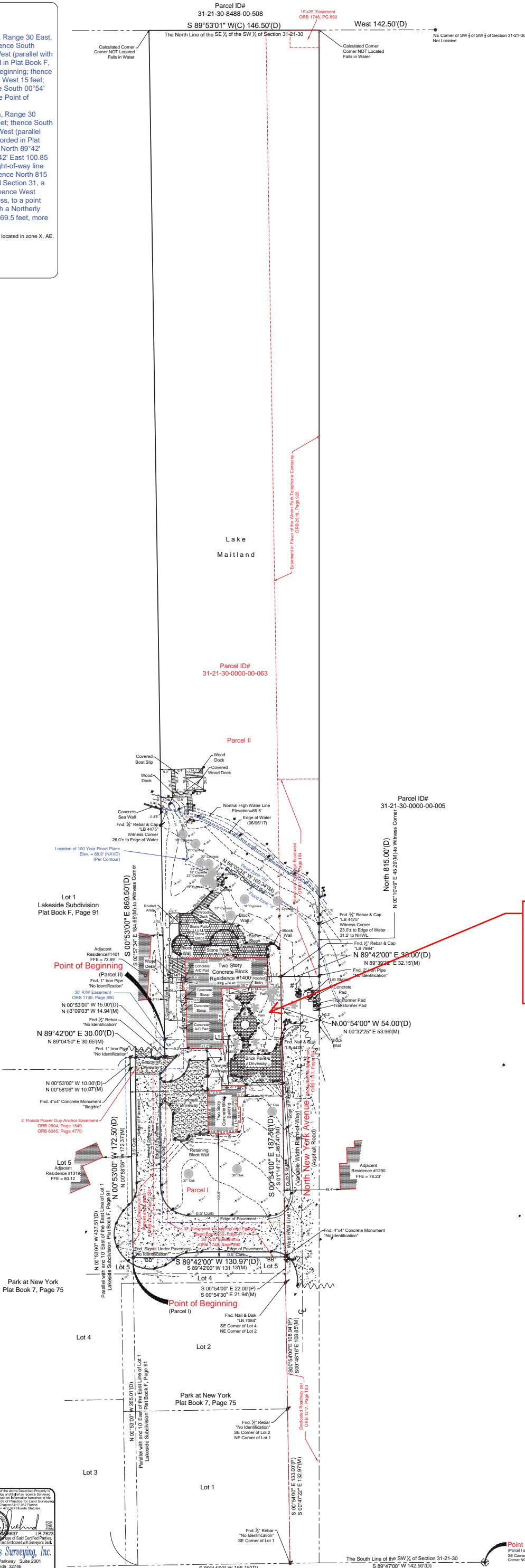
Tree Note:

Palm - Denotes Tree Type
(18") - Diameter of Tree measured at Chest Height



Revision: Updated Survey - 6/06/18
Revision: Address Attorney Comments - 4/27/17

Field Date: 4/20/17 Drawn By: DJC	Date Completed: 4/26/17 File Number: IS-36537	Notes: - Survey is based upon the legal description supplied by client. - Abutting Properties Deeds have NOT been researched for gaps, overlaps and/or errors. - Subject to any Easements and/or Restrictions of Record. - Building Lines shown herein, is assumed and based upon the Line Identified with a "B". - Building Lines are NOT to be used to reconstruct Property Lines. - Fence Ownership is NOT determined. - Root Overhangs, Underground Utilities and/or Fences have NOT been located UNLESS otherwise noted. - Electric Tanks and/or Disposal locations are approximate and MUST be verified by appropriate Utility Location Companies. - Use of This Survey for purposes other than intended, without written permission, will be at the User's sole risk and without liability to the Surveyor. Nothing herein shall be construed to give any rights or benefits to anyone other than those Certified. - Flood Zone Determination shown herein is given as a Courtesy, and is Subject to Final Approval by F.E.A. This Determination may be affected by Flood Factors and/or other information NEITHER known by NOR given to this Surveying Company at the time of this Endorsement and Associates Surveying Inc. and the signing surveyor assume NO liability for the Accuracy of this Determination.	Thanks! I certify that the Boundary Survey of the above Described Property, and the Corner of the Southwest 1/4 of Section 31, Township 21 South, Range 30 East, as shown on the Date Shown, based on information furnished to me, is true and correct and conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 321.01(2)(b) Florida Administrative Code, Professional Seal No. 12297, Florida Statute, Chapter 475, F.S., and the Surveyor's Oath. Patrick K. Ireland, P.E., S.E., L.S. 76523 The Survey is in accordance with the Surveyor's Oath. Ireland & Associates Surveying, Inc. 1301 S. International Parkway, Suite 2001 Lake Mary, Florida 32746 www.irelandsurveying.com Office-407.678.3366 Fax-407.320.8165
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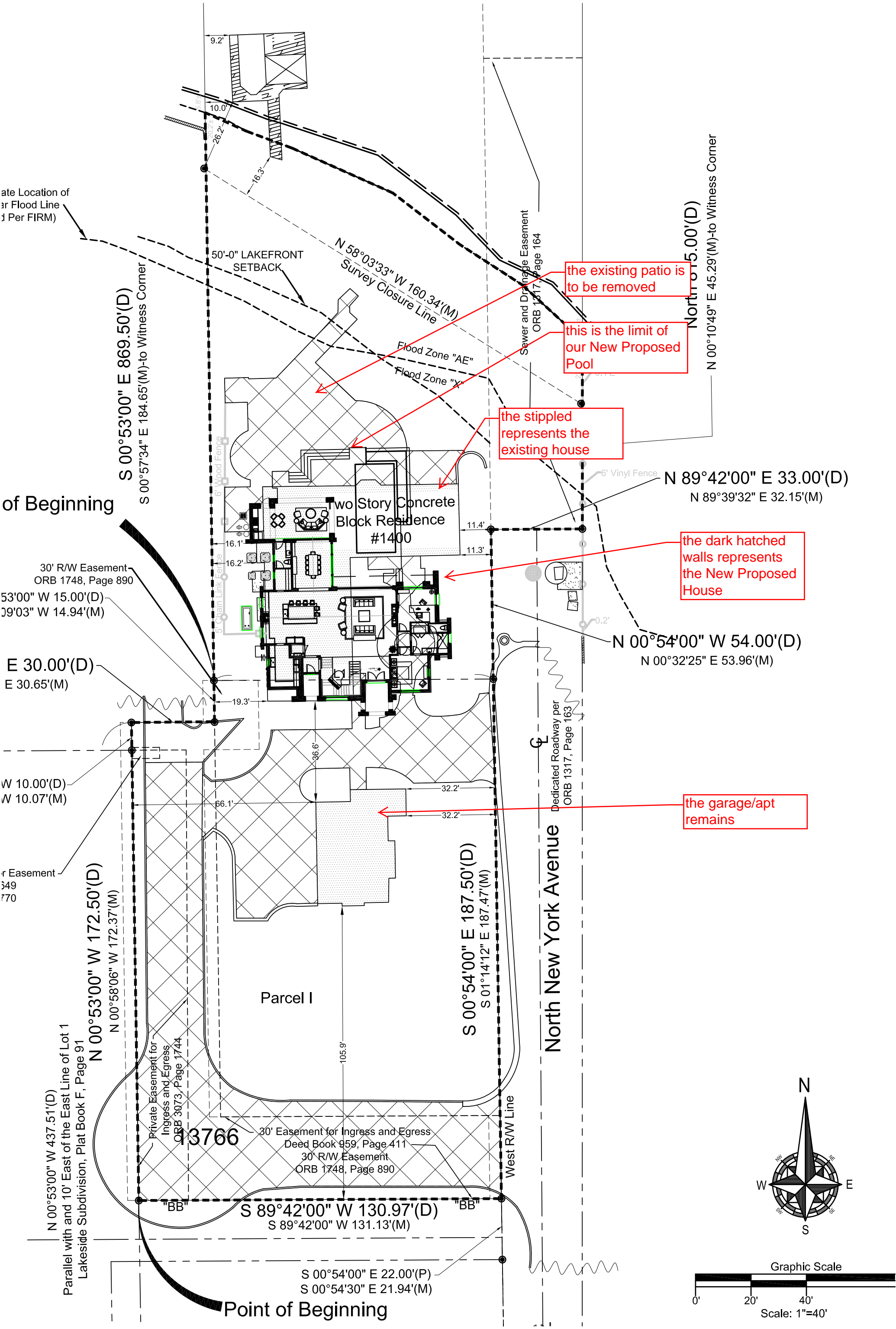


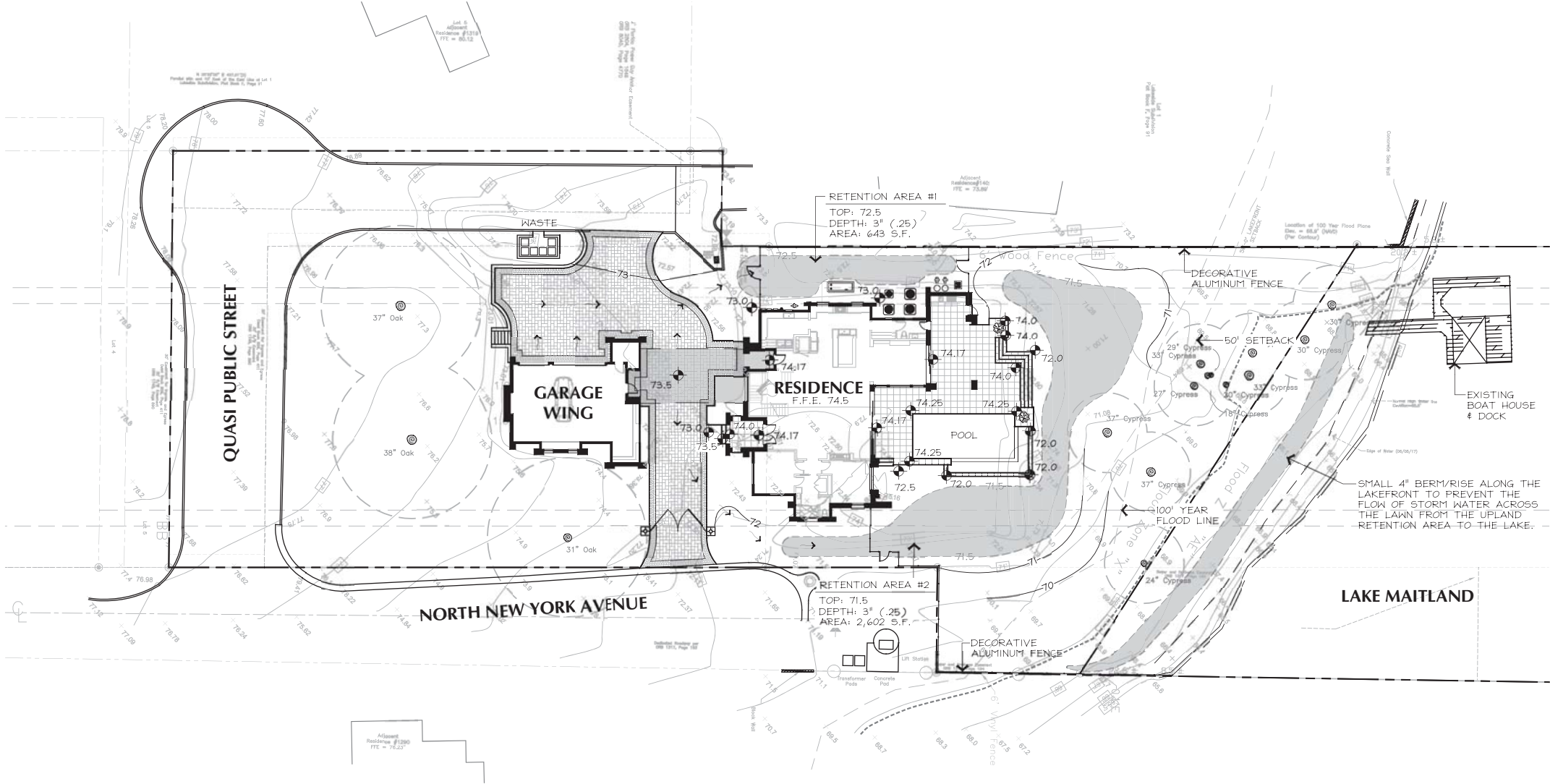
Existing (7) Palms
to be removed
ALL other trees on
site to remain

-Legend-

• BOLLARD	• FOOT Storm Manhole
C - Calculated	• FIRE DEPARTMENT CONNECTION
E - Easement	• FIBER OPTIC CABLE
CB - Concrete Block	FDCB - FIBER OPTIC CABLE BOX
CM - Concrete Monument	• Fire Hydrant
Conc. - Concrete	• Guy Anchor
D - Description	• HANDICAP PARKING
DE - Drainage Easement	• HANDICAP RAMP
Emt. - Easement	• Nail & Disk
F.E.M.A. - Federal Emergency Management Agency	• Non-Road
FFE - Finished Floor Elevation	• Official Records Book
Find. - Found	• Plat Book
IP - Iron Pipe	• Power Pole
L - Length (ft)	• Point of Curvature
M - Measured	• Point of Intersection
N.R. - Nail & Disk	• Point of Beginning
ORB - Official Records Book	• Point on Line
P.B. - Plat Book	• Power Pole
PC - Point of Curvature	• Permanent Reference Monument
PP - Page	PT - Point of Tangency
P.O.B. - Point of Beginning	Rad. - Radial
P.O.L. - Point on Line	R.D. - Rooted Dirt
PP - Power Pole	Rec. - Recovered
PRM - Permanent Reference Monument	Rel. - Relieved
PT - Point of Tangency	Set - Set 1/2" Rebar & Cap "LB 7623"
Rad. - Radial	SP - Screened Poth
R.D. - Rooted Dirt	Typ. - Typical
Rec. - Recovered	UE - Utility Easement
Rel. - Relieved	Δ - Delta (Central Angle)
Set - Set 1/2" Rebar & Cap "LB 7623"	X - Chain Link Fence
SP - Screened Poth	• Black Flow Preventor
Typ. - Typical	CB - Concrete Block
UE - Utility Easement	• Cable Riser
Δ - Delta (Central Angle)	• Cleanout
X - Chain Link Fence	• Crosswalk Post
• Black Flow Preventor	• Curb Inlet
CB - Concrete Block	DP - Dumpster Pad
• Cable Riser	• ELECTRIC BOX
• Cleanout	• ELECTRIC METER
• Crosswalk Post	
• Curb Inlet	
DP - Dumpster Pad	
• ELECTRIC BOX	
• ELECTRIC METER	

Point of Commencement
Parcel I and Parcel II
SE Corner of the SW 1/4 of Section 31-21-30
Corner NOT Located





RETENTION VOLUME CALCULATIONS

DESCRIPTION	STORED VOLUME		
	TOTAL AREA (S.F.)	DEPTH (IN.)	VOLUME (C.F.)
AREA #1	643	TOTAL DEPTH 6" AVERAGE DEPTH 3" (.25)	160
AREA #2	2,602	TOTAL DEPTH 6" AVERAGE DEPTH 3" (.25)	650
TOTAL	3,245		810

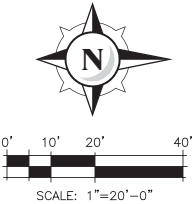
NOTE: RETENTION AREAS WERE MEASURED BY 'AUTOCAD' SOFTWARE

DRAINAGE CALCULATIONS

TOTAL LOT AREA: 44,913 S.F.
TOTAL IMPERVIOUS AREA 17,205 S.F. - 7,521 S.F.(QUASI PUBLIC STREET) = 9,684 S.F. x 0.083 (1") = 804 CU.F.T. TOTAL REQUIRED
810 CU.F.T. TOTAL RETENTION PROVIDED

IMPERVIOUS CALCULATIONS

TOTAL LOT AREA: 44,913 S.F.
FLOOR PLAN: 2,680 S.F.
GARAGE: 1,178 S.F.
COVERED PORTE COCHERE: 634 S.F.
FRONT/SIDE PORCHES: 178 S.F.
OUTDOOR LIVING: 428 S.F.
DRIVE: 2,874 S.F.
POOL AREA: 1,612 S.F.
QUASI PUBLIC STREET: 7,521 S.F.
TOTAL IMPERVIOUS AREA: 17,105 S.F. (38%)



REVISIONS	BY

Hardscape, Grading & Drainage Plan THE SMITH RESIDENCE

Prepared for: Cathy and Jeff Smith
Winter Park, Florida

Ronnie J. Knight
L A - 0000379

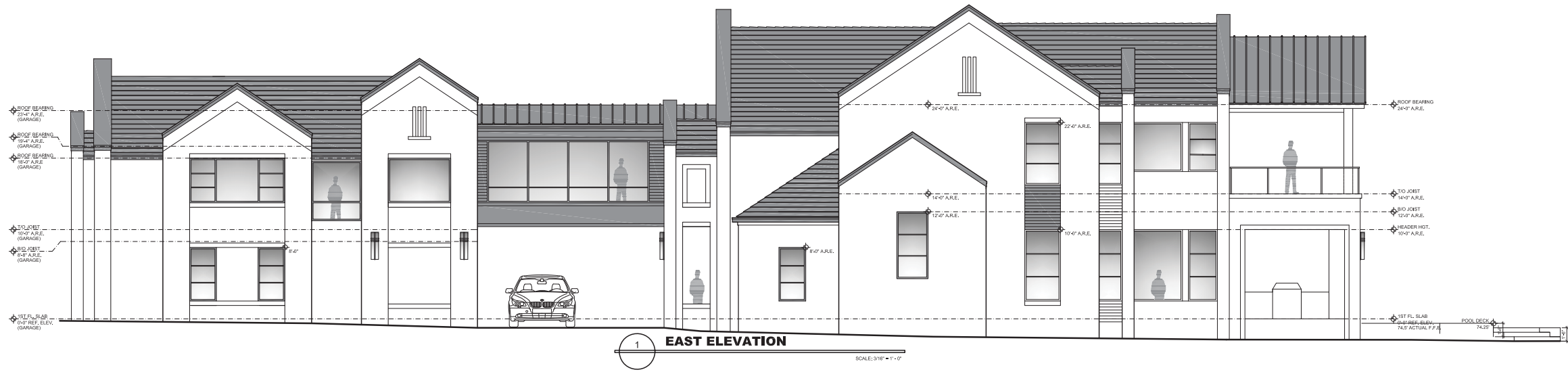
DESIGN BY: J. KNIGHT
DRAWN BY: R. GOOD
PROJECT NO. JK18.13
DATE: 05 JULY 2018
SCALE: 1"=20'-0"



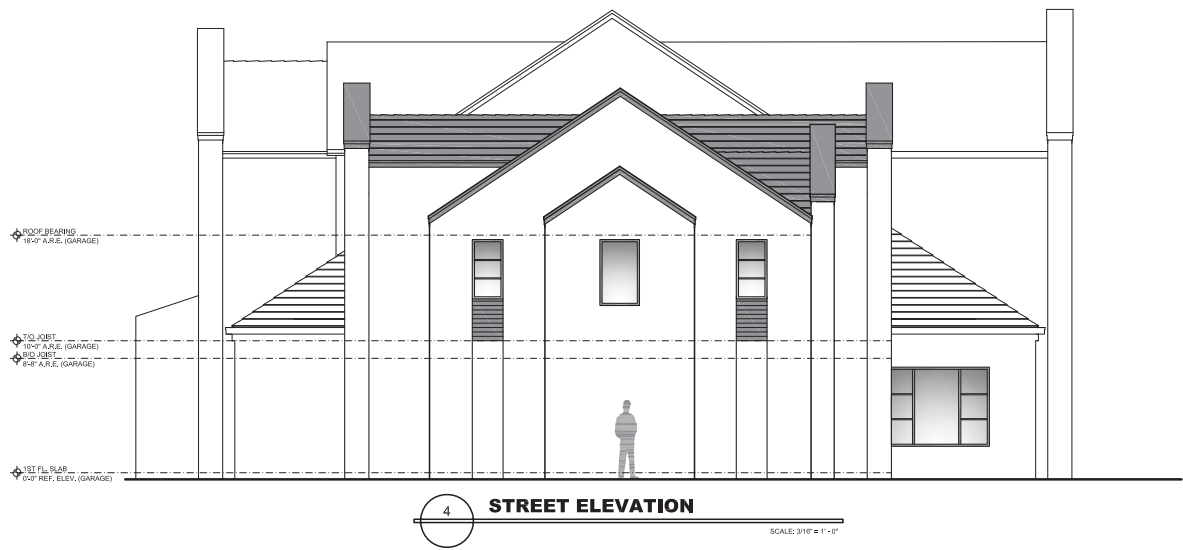
Accuracy Statement
This item has been digitally signed and sealed by Mark P Nasrallah on the date contained within the digital signature above. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



4 STREET ELEVATION
SCALE: 3/16" = 1'-0"



3 REAR ELEVATION
SCALE: 3/16" = 1'-0"

DATE	MARK	REMARK	BY
2018-11-11			

NASRALLAH
Architectural Group Inc
3920 Edgewater Drive, Suite 101
Ph: 407-647-0938, FL 32904, Fax: 407-647-2499
email: Mark@nasrallah.com
AA26001471

A Custom Residence for:
Jeff & Catherine Smith
1400 N. New York Ave
Winter Park, FL 32789
31-21-30-0000-00-063

DATE	DRAWN BY	DATE	DATE
	NAME	DATE	DATE
	PROJECT NO	DATE	DATE
	SCALE	DATE	DATE

2018-07-09

A3.1
SHEET NO
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original or electronic
signature & seal

Accuracy Statement
This item has been digitally signed and sealed by Mark P Nasrallah on the date contained
within the digital signature above. Printed copies of this document are not considered
signed and sealed and the signature must be verified on any electronic copies

Mark P. Nasrallah
Fla. Reg. AR 0008136

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**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
August 14, 2018**

REQUEST OF THE MAYFLOWER RETIREMENT COMMUNITY FOR: COMPLIANCE WITH CONDITIONS OF APPROVAL REGARDING STORM WATER DESIGN AND LANDSCAPE BUFFERING AT 1620 MAYFLOWER COURT.

On January 22, 2018, the Mayflower Retirement Community received approval for:

1. A change of the Comprehensive Plan Future Land Use designation from Single Family to Low and Medium Density Residential on portions of 2141 Oakhurst Avenue (see attached map).
2. A changes of Zoning from Single Family (R-1A) to Low and Medium Density Multi-Family (R-2 and R-3) on portions of 2141 Oakhurst Avenue (see attached map).
3. Preliminary Conditional Use approval to expand the facilities of the Mayflower Retirement Community to include a three-story health care (skilled nursing) building, a one-story, memory care building, a one-story, clubhouse, 40 new villa units in four separate three-story buildings, and a one-story maintenance building on the combined property at 1620 Mayflower Court and 2141 Oakhurst Avenue.

Approval with Conditions: The recommendation from P&Z and approval of the Conditional Use by the City Commission was with four conditions of approval:

1. That the Mayflower Retirement Community explore options to create a northeast connector trail on the Mayflower Retirement Center property of 12 feet wide with a three foot buffer on each side, consistent with the proposed St. Andrews Trail, as recommended by the Transportation Advisory Board.
2. That the Project receive a subsequent approval from the P&Z Board on a fence and landscape plan for the project including the 50 foot perimeter buffer area which utilizes a combination of new trees in the buffer area, cypress trees around the new ponds and those ponds bordering other properties; other landscaping features and fencing to provide a visual and sound buffer for the privacy of the adjoining residences and Gallery condos.
3. In consideration of the multi-year length of the construction period, that the Mayflower limit the hours of construction to Monday through Friday 8 a.m. to 5 p.m.
4. That the Project receive a subsequent approval from the P&Z Board on the final storm water design for the project, once fully vetted by City staff.

Storm Water Retention: This project will have two interconnected surface retention ponds that will meet the requirements of the St. John River Water Management District as well as City Code. The design capacity functions to provide retention for the new impervious surfaces; for compensating storage for the wetland destruction and to accommodate the runoff from the streets to the west that flow into this area. Public Works agrees that the capacity designed satisfies those requirements plus a safety factor.

Bike Path Consideration: At suggestion of the City's Transportation Advisory Board, the P&Z Board and the City Commission included a condition requiring the Mayflower to "explore options to create a northeast connector trail on the Mayflower Retirement Center property of 12 feet wide with a three foot buffer on each side, consistent with the proposed St. Andrews Trail, as recommended by the Transportation Advisory Board".

The Mayflower is offering a 10 foot wide easement through a portion of their property to help create this link. The purpose of this bike path link is to create a more convenient and safer bicycle and pedestrian connection between Lakemont Avenue and the Cady Way Trail versus traveling exclusively on the sidewalks of Aloma and Lakemont Avenues.

This solution for bicycles and pedestrians will be to utilize the Mayflower's easement to connect between Lander Road and Suffield Drive. Bikes and pedestrians will be able to cross Aloma Avenue safely at the traffic light at St. Andrews. They can use the sidewalk along Aloma Avenue for the section to Lander Road. At the north end of Lander Road is a city property that provides a connection with the easement from the Mayflower to connect to the cul-de-sac at the end of Suffield Drive. Bikes and pedestrians can travel through the neighborhood streets that are lightly traveled connecting to Lakemont Avenue.

Landscape Plan: The Mayflower is also in agreement at this time to implement the screening and landscape buffering required for the Gallery Condominiums. This is necessary at this time to buffer the new construction access road that will be created along the north side of the retention pond that these two entities share. The plan is to install a six foot beige vinyl privacy fence along the southern border of the construction access road. The Mayflower will also infill gaps in the existing landscape buffer that exists today on the south side of the vinyl fence. Lastly, the Mayflower will plant new cypress trees along the 400 foot long north shoreline of the retention pond, spaced every 40 feet (10 cypress trees) to infill over time. Those trees will be part of the tree compensation required for trees removed within the wetland.

Next Steps: This approval will allow the City to issue the permits for the excavation and filling of the wetland areas and to begin construction of the required underground infrastructure. That is likely a 12-24 month process.

It is also likely that the Mayflower will return to P&Z and City Commission to amend their Conditional Use site plan as they now are looking to combine the memory care and health center facilities into one building. Both the Mayflower and the City need to reach out to the adjacent homeowners on the western boundary of the project to discuss wall/fence/landscape buffering. So all of that will be back on your agenda sometime in the next 6-9 months.

STAFF RECOMMENDATION IS FOR APPROVAL of the Storm Water design and the Landscape/Screening plans for the Gallery Condominiums to include installation of a six foot beige vinyl privacy fence along the southern border of the construction access road, infill of podocarpus hedge in the gaps in the existing landscape buffer on the north shoreline area that exists today and planting of 10 new cypress trees along the 400 feet of the north water's edge of the retention pond, spaced every 40 feet concurrent with the start of the construction activity.



Mass Grading Plans

Issued for	City of Winter Park Approval
Date Issued	July 11, 2018
Latest Issue	July 11, 2018

The Mayflower Retirement Center

City of Winter Park, Florida
Parcel IDs: 04-22-30-0000-00-112
04-22-30-0000-00-005

Owner/Applicant

The Mayflower Retirement Center, Inc.
1620 Mayflower Court
Winter Park, Florida 32792
P 407.672.1620

LEGAL DESCRIPTIONS:

PARCEL ID 04-22-30-0000-00-112

The East 1/2 of the Northwest 1/4 of Section 4, Township 22 South, Range 30 East, Orange County, Florida, less the North 1580 feet. Together with the following easements: (i) an easement for signage over the property described in the Sign Easement Agreement, dated August 8, 1985, and recorded in Official Records Book 3675, Page 1134; (ii) a non-exclusive drainage easement reserved in a Warranty Deed dated November 30, 1983, and recorded in Official Records Book 3448, Page 1575; (iii) a non-exclusive easement for ingress, egress and utilities as set forth in an Easement dated November 30, 1983 and recorded in Official Records Book 3448, Page 1584, Public Records of Orange County, Florida; and (iv) easements for ingress. Egress, utilities and drainage as reserved in a Warranty Deed dated December 6, 1983, and recorded in Official Records Book 3451, Page 700.

PARCEL ID 04-22-30-0000-00-005

The North 1/2 of the North 1/2 of the Southwest 1/4 of the Northwest 1/4 (less the North 125 feet of the West 213 feet and less part thereof in Lakemont Avenue on the West) and less part platted as PARK MANOR, FIRST ADDITION, according to the plat thereof as recorded in Plat Book W, Page 139, Public Records of Orange County, Florida, said property lying in Section 4, Township 22 South, Range 30 East.

ALSO:

The South 1/2 of the North 1/2 of the Southwest 1/4 of the Northwest 1/4 (less part platted PARK MANOR, according to the plat thereof as recorded in Plat Book T, Page 142, Public Records of Orange County, Florida, and less part platted PARK MANOR, FIRST ADDITION, according to the plat thereof as recorded in Plat Book W, Page 139, Public Records of Orange County, Florida, said property lying in Section 4, Township 22 South, Range 30 East.

ALSO:

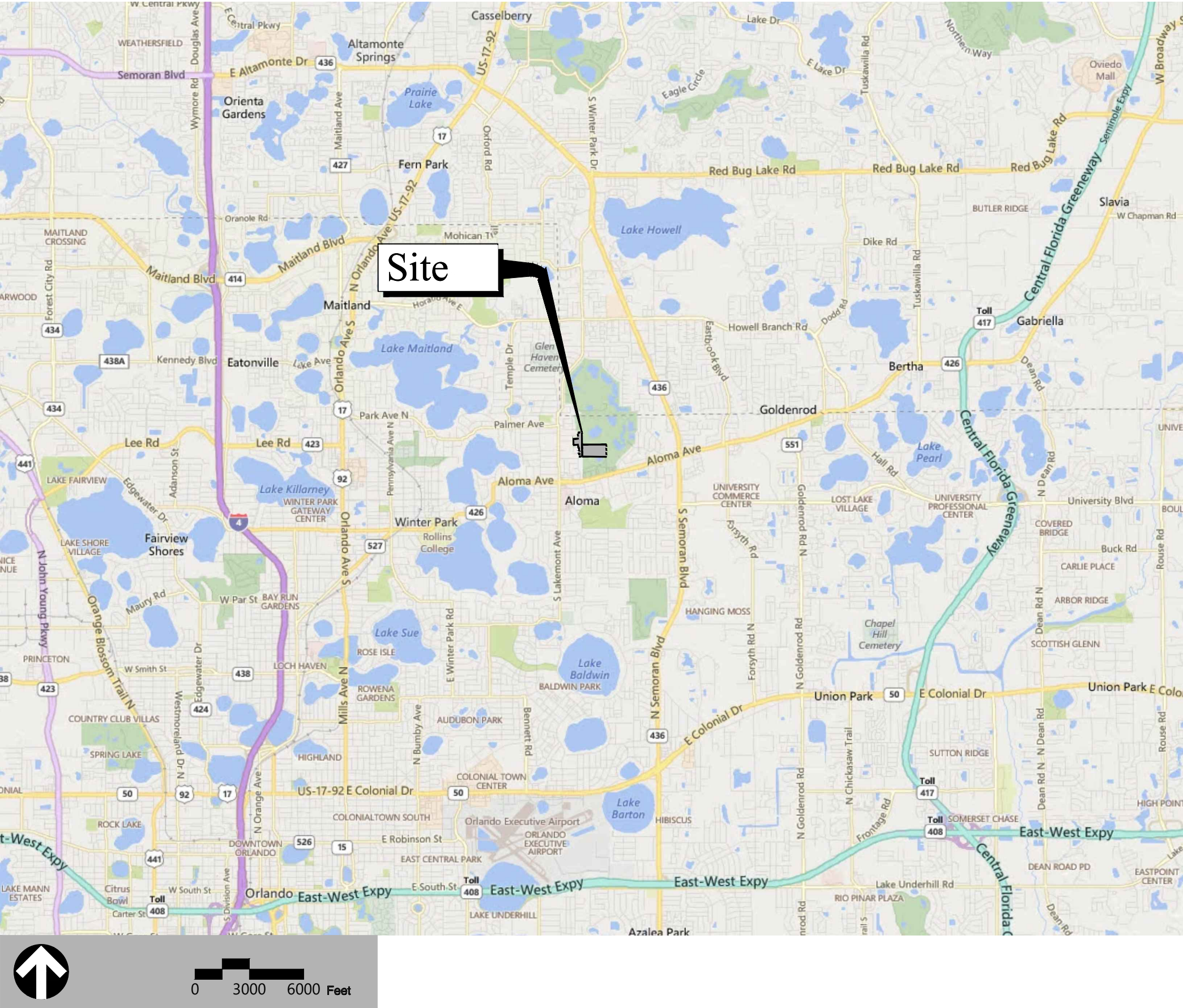
The West 1/2 of the Southeast 1/4 of the Southwest 1/4 of the Northwest 1/4 (less part platted PARK MANOR, FIRST ADDITION, according to the plat thereof as recorded in Plat Book W, Page 139, Public Records of Orange County, Florida, said property lying in Section 4, Township 22 South, Range 30 East.

ALSO:

The East 1/2 of the Southeast 1/4 of the Southwest 1/4 of the Northwest 1/4 (less part platted PARK MANOR, FIRST ADDITION, according to the plat thereof as recorded in Plat Book W, Page 139, Public Records of Orange County, Florida, and less begin at the Northeast corner of Lot 3, Block E, Park Manor, First Addition, according to the plat thereof as recorded in Plat Book W, Page 139, Public Records of Orange County, Florida, run South 89 degrees 02 minutes 05 seconds West 150 feet, thence North 89 degrees 57 minutes 55 seconds West 25 feet to the Southeast corner of Lot 3, thence North 00 degrees 02 minutes 05 seconds East 150 feet to the point of beginning, said property lying in Section 4, Township 22 South, Range 30 east.

LESS:

Begin at the Northeast corner of Lot 2, Block "C", PARK MANOR FIRST ADDITION, as recorded in Plat Book "W", Page 139, Public Records of Orange County Florida, run South 89 degrees 02 minutes 30 seconds East 100 feet along the South Right of Way of Oak Hurst Avenue, as shown on said plat, thence South 0 degrees 57 minutes 30 seconds West, 145.90 feet; thence N 89 degrees 57 minutes 55 seconds West 100.01 feet to the Southeast corner of said Lot 2, Block "C", thence N 0 degrees 57 minutes 30 seconds East 147.51 feet point of beginning.



Sheet Index

No.	Drawing Title	Latest Issue
C1.00	Legend and General Notes	07/11/2018
C1.01	Existing Conditions	07/11/2018
C1.02	Erosion Control Plan	07/11/2018
C1.03	Erosion Control Details	07/11/2018
C2.00	Mass Grading Plan	07/11/2018
C2.01	Grading Details	07/11/2018
C2.05	Control Structure Details	07/11/2018
L1.00	Landscape Buffer Planting Plan	07/11/2018
L2.00	Landscape Schedule and Notes	07/11/2018

Reference Sheets

No.	Drawing Title	Latest Issue
SV-1	Tree Survey	07/11/2018



225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
Certificate of Authorization
Number FL #3932

Community Planner, Civil Engineer, Surveyor & Landscape Architect

VHB

225 E. Robinson St., Suite 300
Orlando, Florida 32801
P 407.839.4006 · F 407.839.4008

Geotech

Terracon Consultants, Inc.

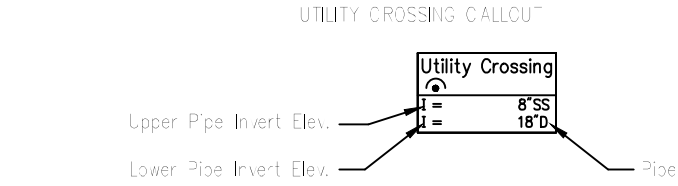
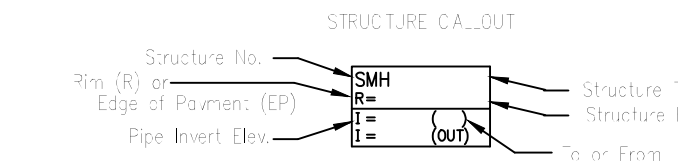
1675 Lee Road
Winter Park, Florida 32789
P 407.740.6110 · F 407.740.6112

James R. Hoffman, P.E.
P.E. # 75623

DATE: July 11, 2018

Legend	
	Exist. Prop. PROPERTY LINE UNIT OF WORK RIGHT-OF-WAY EASEMENT BUILDING SETBACK LOT LINE BASELINE PHASE LINE BOUNDARY
	WETLAND BUFFER ZONE NO DISTURB ZONE 200' RIVERSHORE AREA
	DIRT/GRAVEL ROAD EDGE OF PAVEMENT FLUSH CURB VERT. CURB CONCRETE CURB & OUTER UNIT OF CURB TYPE SAWELT
	SOLID WHITE LINE SOLID YELLOW LINE BROKEN WHITE LINE BROKEN YELLOW LINE SOLID WHITE CHANNELING LINE SOLID YELLOW CHANNELING LINE DOUBLE YELLOW LINE STOP BAR
	STEEL GUARD RAIL WOOD GUARD RAIL (SQUARE POST) WOOD GUARD RAIL (SQUARE POST)
	PATH TREE LINE CHAIN LINK FENCE STONE WALL RETAINING WALL HAY BALES SLT FENCE TURBIDITY BARRIER
	POUND CONTOUR NORMAL WATER LINE MINOR CONTOUR MAJOR CONTOUR TOP of SLOPE BOTTOM of SLOPE
	BUILDING BUILDING ENTRANCE LOADING DOCK BOLLARD DUMPSTER PAD SIGN DOUBLE SIGN PARKING METER PARKING COUNT COMPACT PARKING STALLS CROSSWALK CONC. PAVEMENT NORMAL PAVEMENT HEAVY DUTY PAVEMENT CONCRETE PAD OR SIDEWALK REPRAP CONSTRUCTION ENTRANCE HANDICAP RAMP HANDICAP PARKING VAN-ACCESSIBLE HANDICAP PARKING
	MANHOLE UTILITY POLE GUY POLE HAND HOLE PULL BOX

For Continuation See Sheet



GENERAL NOTES:

- ALL SITE CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE CITY OF WINTER PARK, FLORIDA.
- WHERE MUCK OR OTHER ORGANIC MATERIAL IS FOUND, IT SHALL BE REPLACED WITH GOOD QUALITY BACKFILL MATERIAL OBTAINED FROM THE GRADING OPERATIONS OR OTHER SOURCE APPROVED BY THE GEOTECHNICAL ENGINEER. THE ORGANIC MATERIAL SHALL BE THEN USED AS TOP DRESSING WHEN MIXED WITH CLEAN BACKFILL SOIL AS APPROVED BY THE GEOTECHNICAL ENGINEER OR PLACED AS APPROVED BY OWNER.
- ALL FINISHED GRADES AND ELEVATIONS ARE AS DENOTED BY THE APPLICABLE LEGEND.
- AS PART OF THE CLEARING AND GRUBBING OPERATION, THE CONTRACTOR IS TO REMOVE ALL FENCING AND/OR EXISTING FACILITIES FROM THE SITE.
- FOR BENCHMARKS CONTACT VHB.
- ALL UTILITIES EXISTING AT THE TIME OF PLAN PRODUCTION LOCATED AT POINTS OF CONNECTION AND CONFLICT WITH PROPOSED UTILITIES HAVE BEEN FIELD VERIFIED.
- THE CITY OF WINTER PARK MUST BE NOTIFIED IN WRITING BY THE APPLICANT OF THE START AND COMPLETION OF THE PROJECT.
- THE LIMITS OF POND TRACTS SHALL BE SODDED UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING FDEP GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUND WATER FROM ANY NON-CONTAMINATED SITE ACTIVITY IN ACCORDANCE OF FLORIDA ADMINISTRATIVE CODE 62-621.300 (2), 62-620, AND FLORIDA STATUTES CHAPTER 403.

EROSION CONTROL NOTES:

- SODDING OF DETENTION POND SIDE SLOPES SHOULD BE ACCOMPLISHED WITHIN 48 HOURS OF THE COMPLETION OF GRADING TO MINIMIZE EROSION POTENTIAL.
- AT A MINIMUM, THE RETENTION/DETENTION STORAGE AREA MUST BE EXCAVATED TO ROUGH GRADE PRIOR TO BUILDING CONSTRUCTION OR PLACEMENT OF IMPERVIOUS SURFACE WITHIN THE AREA TO BE SERVED BY THOSE FACILITIES. TO PREVENT REDUCTION IN STORAGE VOLUME AND PERCOLATION RATES, ALL ACCUMULATED SEDIMENT MUST BE REMOVED FROM THE STORAGE AREA PRIOR TO FINAL GRADING AND STABILIZATION.
- AT A MINIMUM SILT BARRIERS SHALL BE PLACED AS SHOWN ON THE CONSTRUCTION PLANS TO INSURE AGAINST POLLUTING, SILTING OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING WETLAND. IF DURING CONSTRUCTION THE PROPOSED EROSION CONTROL SYSTEM DOES NOT PERFORM SATISFACTORY, ALTERNATIVES AND ADDITIONAL MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR IN ORDER TO COMPLY WITH WINTER PARK AND S.J.R.W.M.D. EROSION PROTECTION STANDARDS.
- CONTRACTOR IS RESPONSIBLE TO SUBMIT EROSION CONTROL PLAN TO THE COUNTY ENGINEER FOR APPROVAL PRIOR TO THE SCHEDULING OF PRE-CONSTRUCTION CONFERENCE.
- CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR ALL EROSION PROTECTION COSTS, INCLUDING ANY COSTS ASSOCIATED WITH COMPLIANCE ISSUES AND ENFORCEMENT ACTIONS.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO ENSURE AGAINST POLLUTING, SILTING OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING PONDS AND WETLAND/CONSERVATION AREAS ON OR OFF-SITE. SUCH MEASURES SHALL BE APPROVED BY THE PROJECT ENGINEER AND MAY INCLUDE, BUT NOT BE LIMITED TO, CONSTRUCTION OF TEMPORARY EROSION CONTROL STRUCTURES SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, OR SILT BARRIERS.
- A TWO FEET STRIP OF SOD SHALL BE PLACED BEHIND BACK OF CURB OR AS OTHERWISE DETAILED IN THE APPROPRIATE SECTION.
- CONTRACTOR IS RESPONSIBLE FOR PREPARING AND ADHERING TO A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH THE FLORIDA STORMWATER, EROSION, AND SEDIMENTATION CONTROL INSPECTORS MANUAL PUBLISHED BY FDEP.
- ALL PERMANENT EROSION CONTROL MEASURES SHALL BE COMPLETED WITHIN 7 DAYS OF FINAL GRADING. ALL TEMPORARY EROSION CONTROL SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE COMPLETED AND ESTABLISHED.

CONTRACTOR BIDS:

- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND INCLUDE ALL LINE ITEMS AND QUANTITIES IN THEIR BID WHICH ARE NECESSARY TO COMPLETE THIS PROJECT AS DETAILED ON THE CONSTRUCTION PLANS.

SURVEY AND GEOMETRY:

- BOUNDARY BASED ON THE FOLLOWING:
SURVEYOR: VHB
225 EAST ROBINSON STREET, SUITE 300
ORLANDO, FLORIDA 34801
(407) 839-4006
- EXISTING TOPOGRAPHY AND CONTOURS BASED ON THE FOLLOWING:
SURVEYOR: VHB
DRAWING NO.(S): "62643.00 TOPO NGVD29.dwg"
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION. DISTURBED MONUMENTATION SHALL BE RESTORED BY A FLORIDA-LICENSED LAND SURVEYOR SELECTED BY THE OWNER AT CONTRACTOR'S EXPENSE.
- VERTICAL DATUM: NGVD, 1929

EARTHWORK NOTES:

- ALL FILL SHALL CONSIST OF SATISFACTORY SOIL MATERIALS, DEFINED AS THOSE COMPLYING WITH ASTM D2487 SOIL CLASSIFICATION GROUPS (GW, GP, GM, SW, SM AND SP) FREE OF RUBBLE, ORGANICS, CLAY, DEBRIS AND OTHER SIMILAR UNSUITABLE MATERIALS. UNSATISFACTORY SOIL MATERIALS ARE DEFINED AS THOSE COMPLYING WITH ASTM D2487 SOIL CLASSIFICATION GROUPS (CC, SC, ML, MH, CL, CH, OL, OH, AND PT) UNLESS OTHERWISE NOTED. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% AASHTO T-180, METHOD D.
- REMAINING EARTHWORK THAT RESULTS FROM CLEARING AND GRUBBING OR SITE EXCAVATION IS TO BE UTILIZED ON-SITE IF REQUIRED, PROVIDED THAT THE MATERIAL IS DEEMED SUITABLE FOR CONSTRUCTION BY THE MATERIALS TESTING COMPANY. EXCESS MATERIAL IS TO BE EITHER STOCKPILED ON THE SITE AS DIRECTED BY THE OWNER OR ENGINEER OF RECORD (EOR), OR REMOVED FROM THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING EXCESS EARTHWORK FROM THE SITE.
- ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER, THE EOR, OR MATERIALS TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS TO BE BACKFILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ANY PERMITS THAT ARE NECESSARY FOR REMOVING DELETERIOUS MATERIAL FROM THE SITE.
- GEOTECHNICAL ENGINEERING CONSULTATION, OBSERVATION, AND MATERIALS TESTING SHOULD BE EXERCISED DURING ALL PHASES OF SITE PREPARATION AND EARTHWORK. REFER TO SUBSURFACE SOILS EXPLORATION REPORT PREPARED BY OTHERS FOR RECOMMENDATIONS.
- ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE MATERIALS TESTING COMPANY OR THE EOR AND BE PLACED AND COMPACTED ACCORDING TO THESE PLANS OR THE ABOVE REFERENCED SOILS REPORT.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING APPLICABLE TESTING WITH THE MATERIALS TESTING FIRM. TESTS WILL BE REQUIRED PURSUANT TO THE LOCAL REGULATORY AGENCY OR THE EOR SPECIFICATIONS. UPON COMPLETION OF PROPOSED CONSTRUCTION, THE CONTRACTOR'S MATERIALS TESTING FIRM SHALL PROVIDE A CERTIFICATION SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA, CERTIFYING THAT THE TESTING PROGRAM HAS BEEN COMPLETED IN ACCORDANCE WITH THE PROJECT PLANS, SPECIFICATIONS, AND LOCAL REGULATORY REQUIREMENTS, AND THAT THE COMPLETED PROJECT COMPLIES WITH THE TESTING CRITERIA CONTAINED THEREIN.
- A QUALIFIED TESTING LABORATORY SHALL PERFORM ALL TESTING NECESSARY TO ASSURE COMPLIANCE OF THE IN PLACE MATERIALS AS REQUIRED BY THESE PLANS AND THE VARIOUS AGENCIES. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS SET FORTH IN THE GEOTECHNICAL EXPLORATION REPORT PREPARED BY THE OWNER, THE CONTRACTOR WILL BEAR ALL COSTS OF SAID RETESTING. THE EOR WILL REVIEW THE TESTING REPORTS FOR COMPLIANCE WITH THE REQUIRED SPECIFICATIONS, BUT MAKES NO CLAIM AS TO THE CONTRACTOR'S PROPER MEANS AND METHODS OF EARTHWORK OPERATIONS THAT TOOK PLACE DURING CONSTRUCTION BY DOING SO.



vhb.com

225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
Certificate of Authorization
Number FL #3932

The Mayflower Retirement Center

Winter Park, Florida

No.	Revision	Date	Appvd.
1	Submit to the City of Winter Park	07/11/18	

Designed by	Checked by
JLB	JRH
Issued for	Date
Mass Grading Approval	July 11, 2018

Vertical Datum NGVD 1929

Legend and General Notes

Drawing Number

C1.00

Sheet of





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The Mayflower Retirement Center

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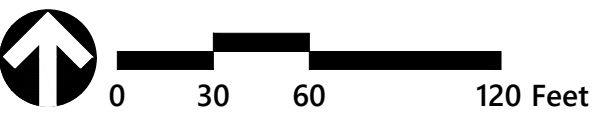
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Drawing Title
Existing Conditions

Drawing Number
C1.01
Sheet of



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Number FL #3932

Legend	
	PARCEL BOUNDARY
	LIMITS OF WORK
	SILT FENCE
	TURBIDITY BARRIER
	INLET PROTECTION



The Mayflower Retirement Center

Winter Park, Florida

No.	Revision	Date	Appvd.
1	Submit to the City of Winter Park	07/11/18	

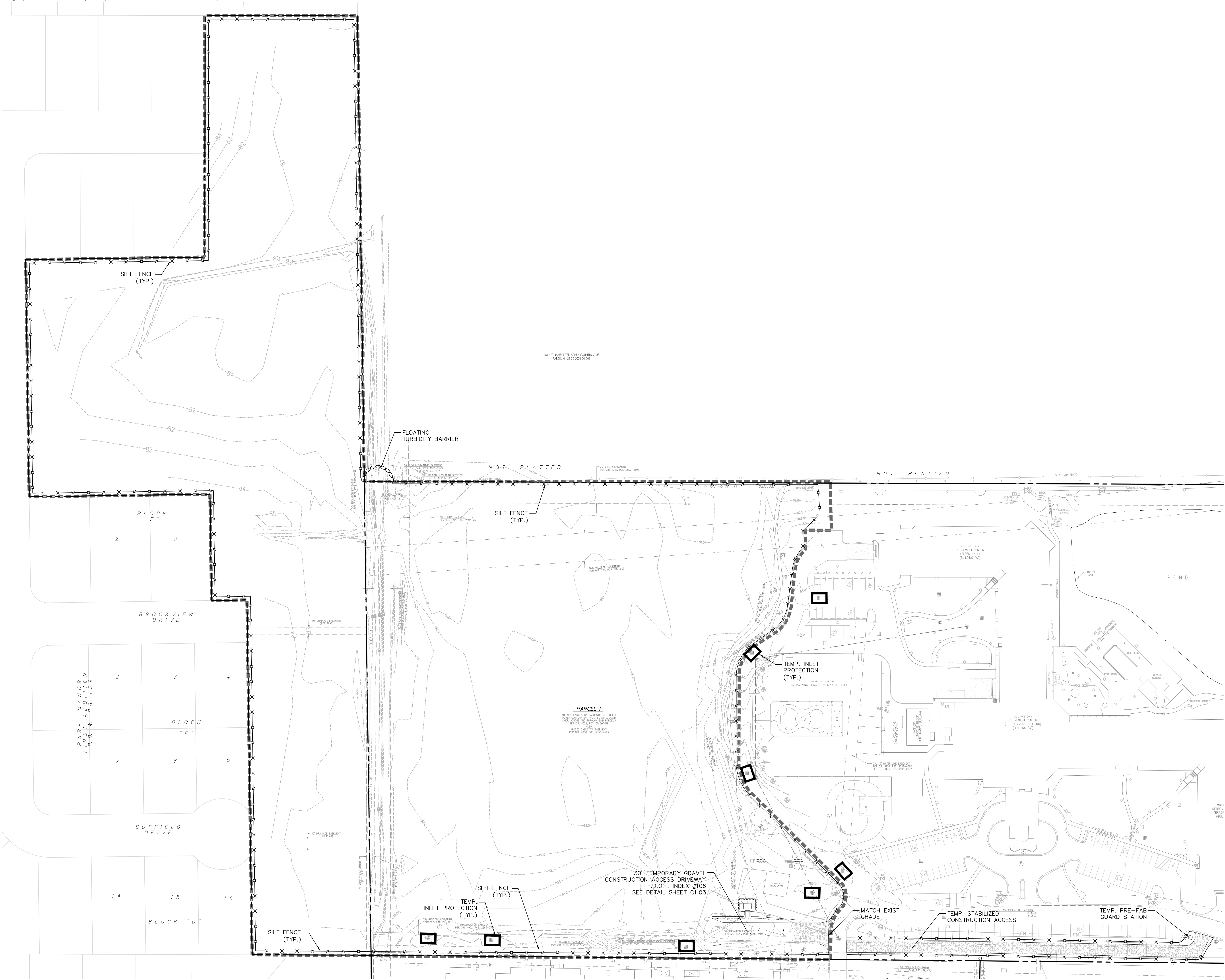
Designed by	Checked by
JLB	JRH
Issued for	Date
Mass Grading Approval	July 11, 2018

Vertical Datum NGVD 1929
Drawing Title
Erosion Control Plan

Drawing Number
C1.02

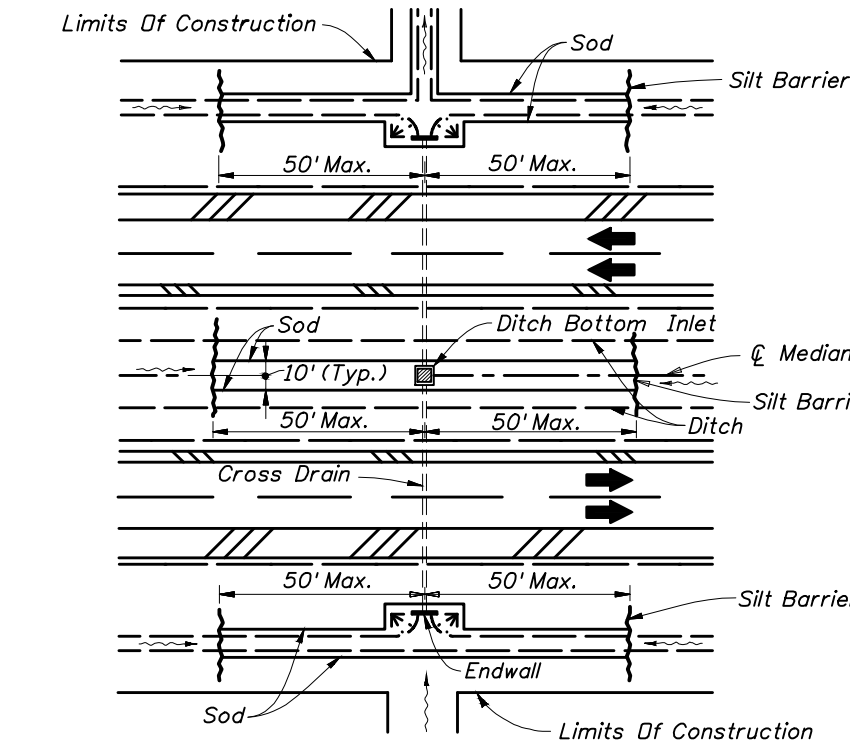
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James R. Hoffman, P.E.
P.E. # 75623
DATE: July 11, 2018
Project Number
62643.00

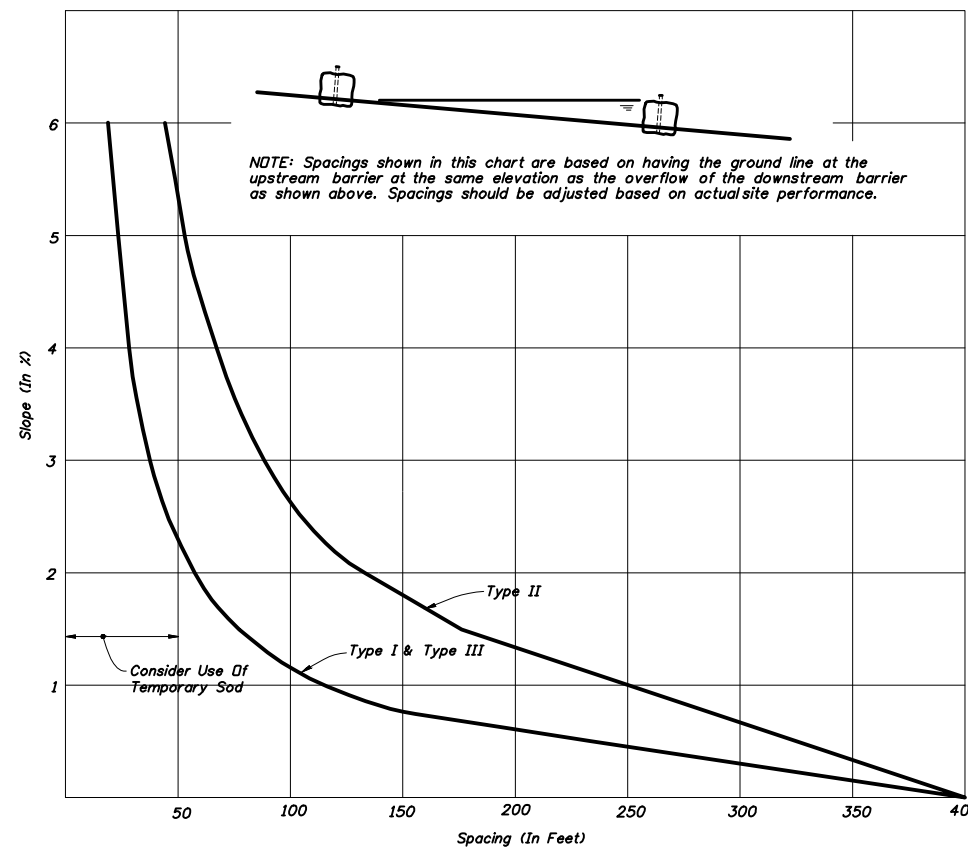




225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
Certificate of Authorization
Number FL #3932



DITCH INSTALLATIONS AT DRAINAGE STRUCTURES

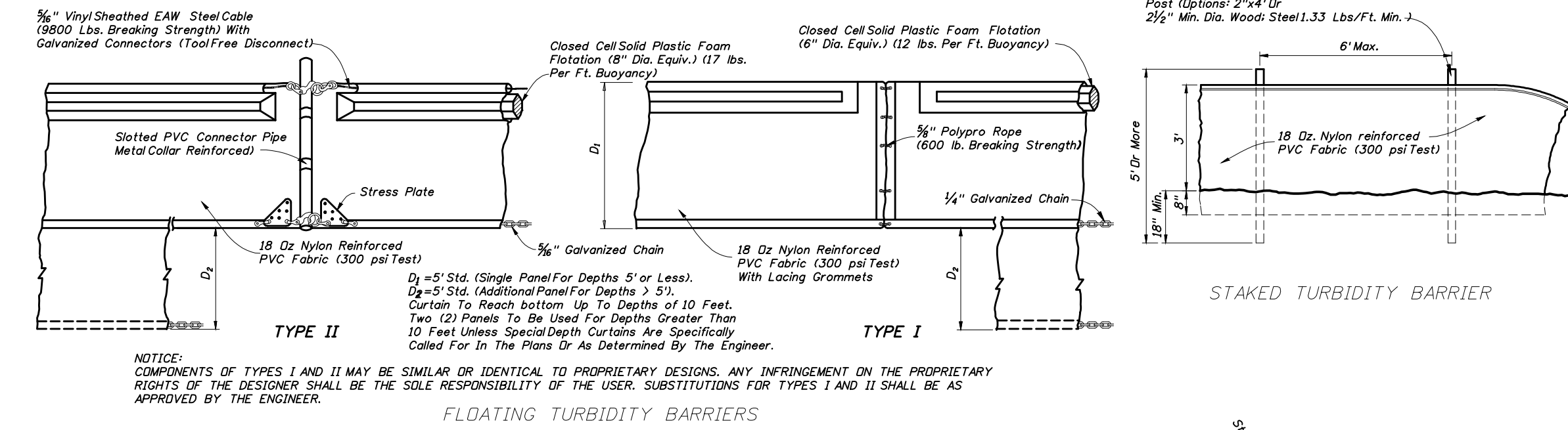


RECOMMENDED SPACING FOR SYNTHETIC BALES OR BALE TYPE BARRIERS AND TYPE III SILT FENCE

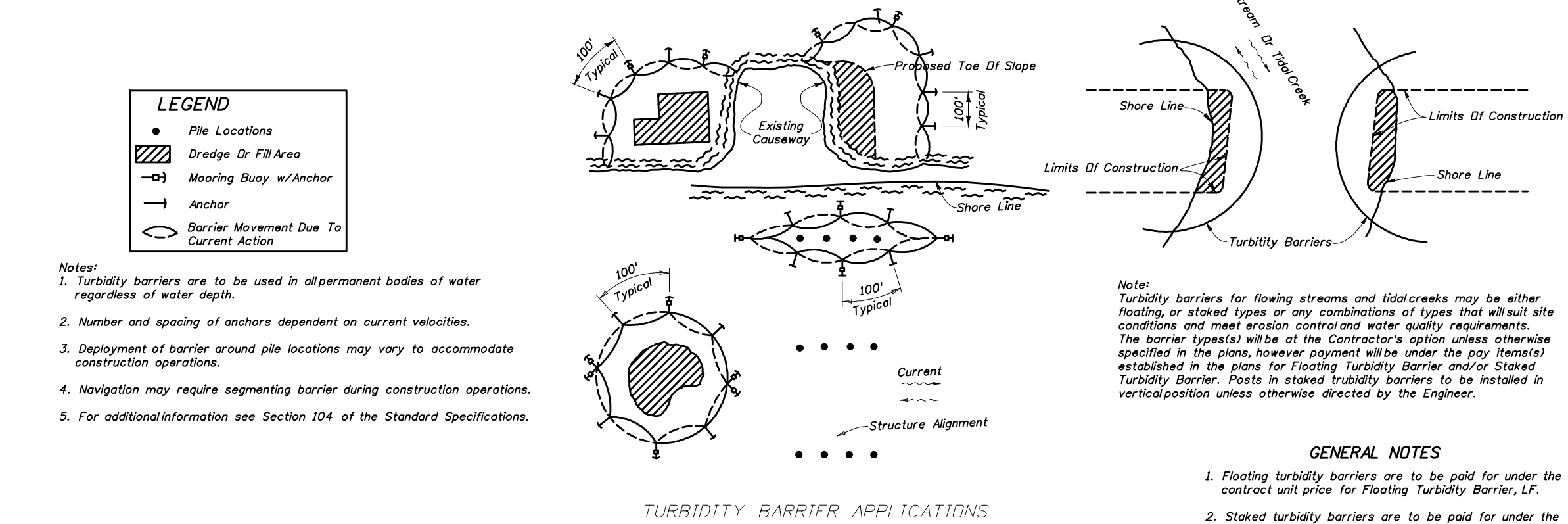
Temporary Erosion and Sediment Control

N.T.S.

Source: 2008 FDOT Index No. 102



FLOATING TURBIDITY BARRIERS



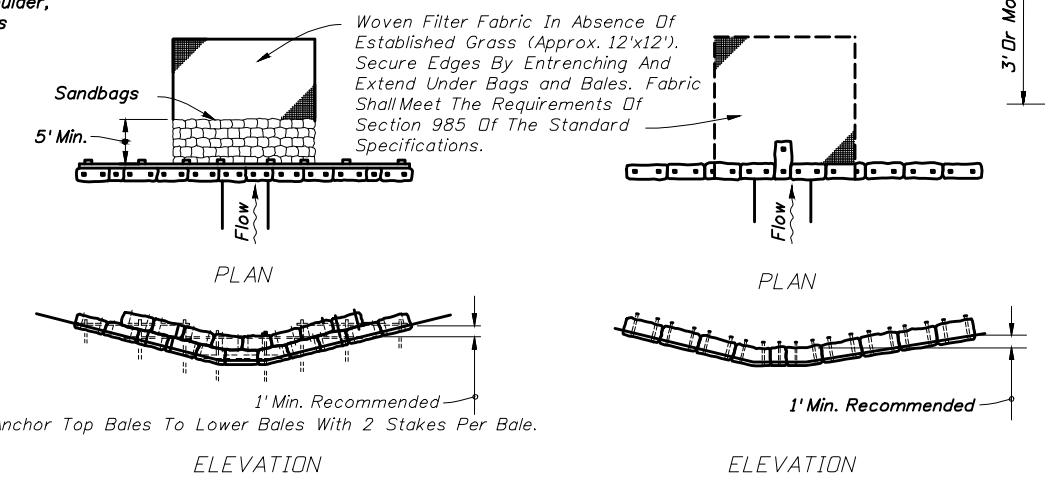
STAKED TURBIDITY BARRIER

TURBIDITY BARRIER APPLICATIONS

Turbidity Barriers

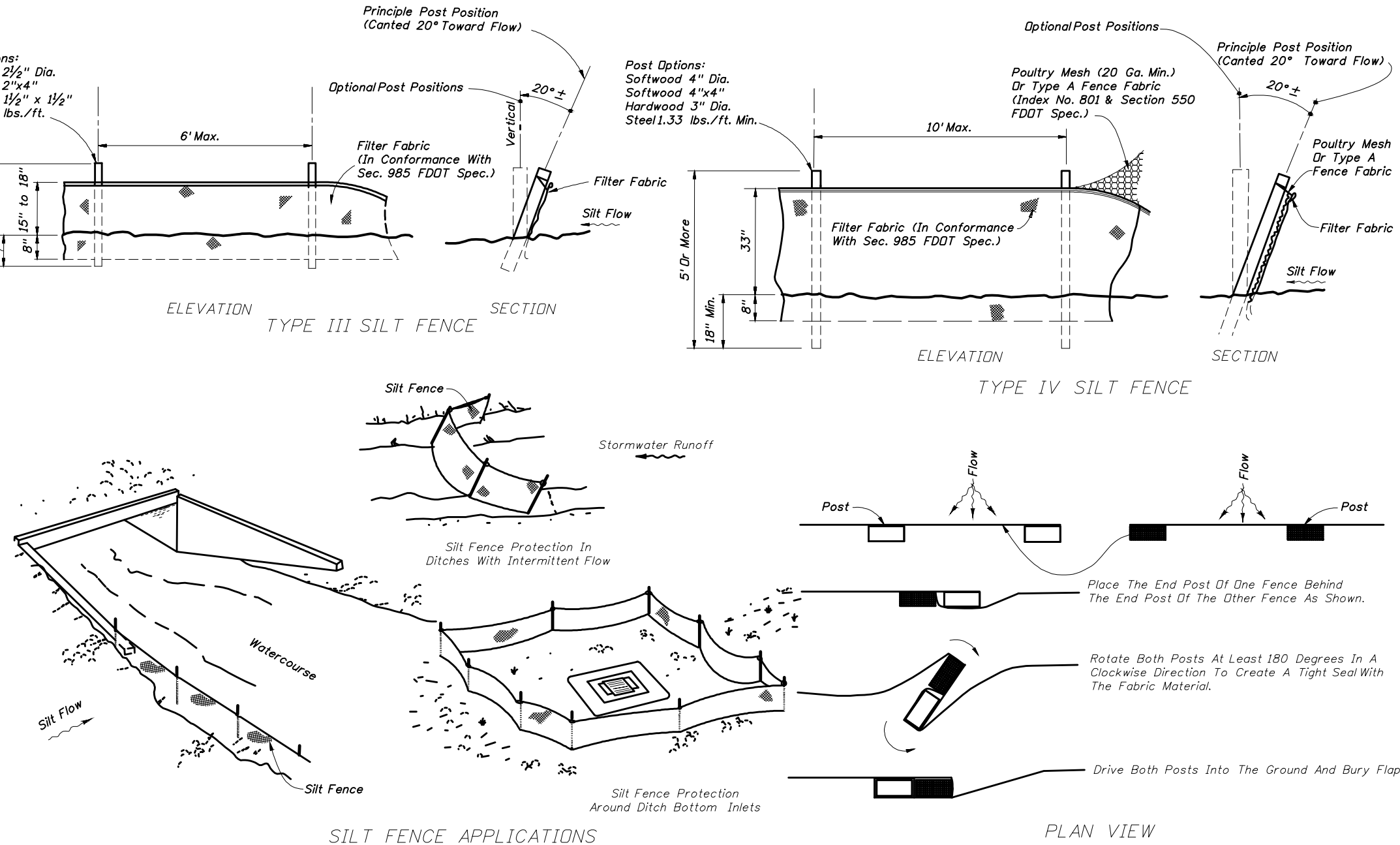
N.T.S. Source: 2008 FDOT Index No. 103

SYNTHETIC BALES OR BALE TYPE BARRIERS FOR PAVED DITCHES



SYNTHETIC BALES OR BALE TYPE BARRIERS FOR UNPAVED DITCHES

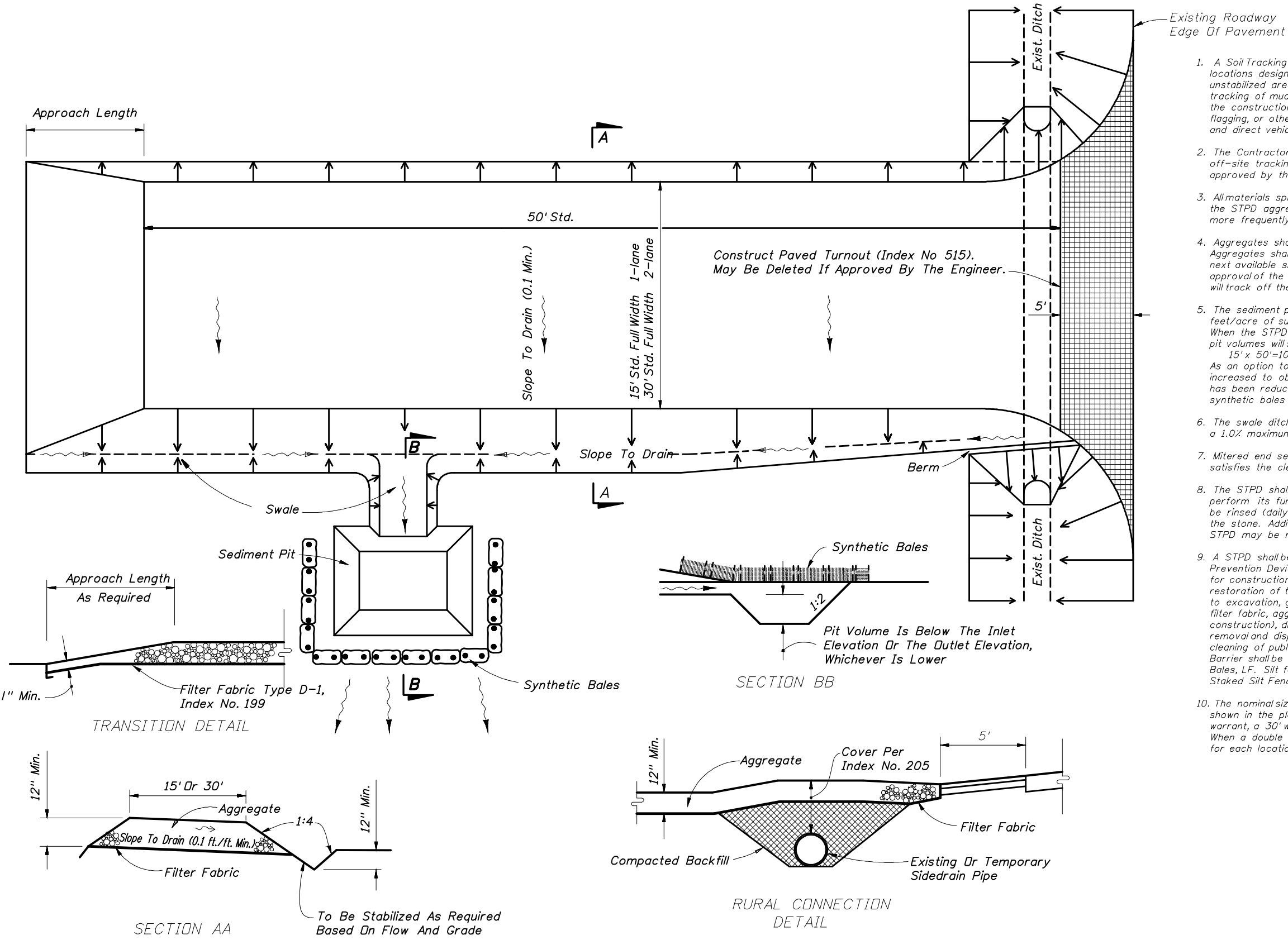
- NOTES FOR SYNTHETIC BALES OR BALE TYPE BARRIERS
- Type I and II Synthetic Barrier should be spaced in accordance with Chart 1, Sheet 1.
 - Bales shall be trenched 3" to 4" and anchored with 2-1" x 2" (or 1" dia.) x 4' wood stakes. Stakes of other material or shape providing equivalent strength may be used if approved by the Engineer. Stakes other than wood shall be removed upon completion of the project.
 - Rolls and posts shall be 2" x 4" wood. Other materials providing equivalent strength may be used if approved by the Engineer.
 - Adjacent bales shall be butted firmly together.
 - Where used in conjunction with silt fence, bales shall be placed on the upstream side of the fence.
 - Bales to be paid for under the contract unit price for Synthetic Bales, LF. The unit price shall include the cost of filter fabric for Type I and II Barriers. Sandbags shall be paid for under the unit price for Sandbagging, CY. Rock bags to be paid for under the contract unit price for Rock Bags, EA.



SILT FENCE APPLICATIONS

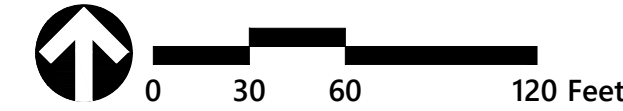
NOTES FOR SILT FENCES

- Type III Silt Fence to be used at most locations. Where used in ditches, the spacing for Type III Silt Fence shall be in accordance with Chart 1, Sheet 1.
- Type IV Silt Fence to be used where large sediment loads are anticipated. Suggested use is where fill slope is 1:2 or steeper and length of slope exceeds 25 feet. Avoid use where the detained water may back into travel lanes or off the right of way.
- Do not construct silt fences across permanent flowing watercourses. Silt fences are to be at upland locations and turbidity barriers used at permanent bodies of water.
- Where used as slope protection, Silt Fence is to be constructed on 0% longitudinal grade to avoid channelizing runoff along the length of the fence.
- Silt Fence to be paid for under the contract unit price for Staked Silt Fence, (LF).



GENERAL NOTES

- A Soil Tracking Prevention Device (STPD) shall be constructed at locations designated by the engineer for points of egress from unstabilized areas of the project to public roads where off-site tracking of mud could occur. Traffic from unstabilized areas of the construction project shall be directed thru a STPD. Barriers, flagging, or other positive means shall be used as required to limit and direct vehicular egress across the STPD.
- The Contractor may propose an alternative technique to minimize off-site tracking of sediment. The alternative must be reviewed and approved by the Engineer prior to its use.
- All materials spilled, dropped, or tracked onto public roads (including the STPD aggregate and construction mud) shall be removed daily, or more frequently if so directed by the Engineer.
- Aggregates shall be as described in Section 901 excluding 901-2.3. Aggregates shall be FDOT size #1. If this size is not available, the next available smaller size aggregate may be substituted with the approval of the Engineer. Sizes containing excessive small aggregate will track off the project and are unsuitable.
- The sediment pit should provide a retention volume of 3600 cubic feet/acre of surface area draining to the pit. When the STPD is isolated from other drainage areas, the following pit volumes will satisfy this requirement:
15' x 50' = 100 ft.³
30' x 50' = 200 ft.³
As an option to the sediment pit, the width of the swale bottom can be increased to obtain the volume. When the sediment pit or swale volume has been reduced to one half, it shall be cleaned. When a swale is used, synthetic bales or silt fence shall be placed along the entire length.
- The swale ditch draining the STPD shall have a 0.02% minimum and a 1.0% maximum grade along the STPD and to the sediment pit.
- Mitered end sections are not required when the side drain pipe satisfies the clear zone requirements.
- The STPD shall be maintained in a condition that will allow it to perform its function. To prevent off-site tracking, the STPD shall be rinsed daily when in use to move accumulated mud downward thru the stone. Additional stabilization of the vehicular route leading to the STPD may be required to limit the mud tracked.
- A STPD shall be paid for under the contract unit price for Soil Tracking Prevention Device, EA. The unit price shall constitute full compensation for construction, maintenance, replacement of materials, removal and restoration of the area utilized for the STPD including but not limited to excavation, grading, temporary pipe (including MES when required), filter fabric, aggregate, paved turnout (including asphalt and base construction), ditch stabilization, approach route stabilization, sediment removal and disposal, water, rising and clearing of the STPD and cleaning of public roads, grading and sod. Synthetic Bale or Bale Type Barrier shall be paid for under the contract unit price for Synthetic Bales, LF. Silt Fence shall be paid for under the contract unit price for Staked Silt Fence, LF.
- The nominal size of a standard STPD is 15' x 50' unless otherwise shown in the plans. If the volume of entering and existing vehicles warrant, a 30' width STPD may be used if approved by the Engineer. When a swale with 150' STPD is used, the pay quantity shall be 2' for each location.



The Mayflower Retirement Center

Winter Park, Florida

No.	Revision	Date	Appvd.
1	Submit to the City of Winter Park	07/11/18	

Designed by JLB Checked by JRH

Issued for July 11, 2018

Mass Grading Approval

Vertical Datum NGVD 1929

Drawing Title

Erosion Control Details

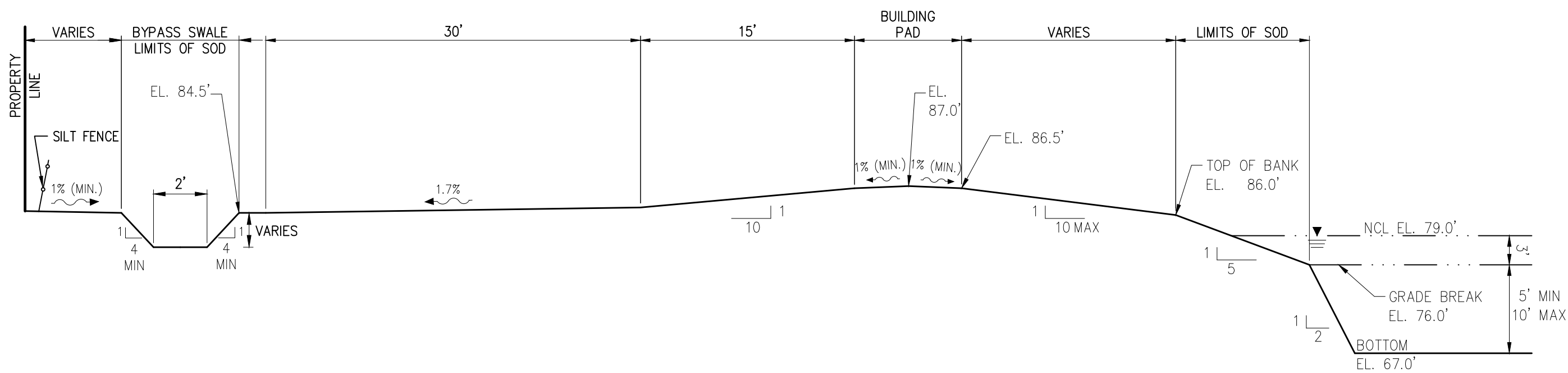
Drawing Number

C1.03

Sheet of

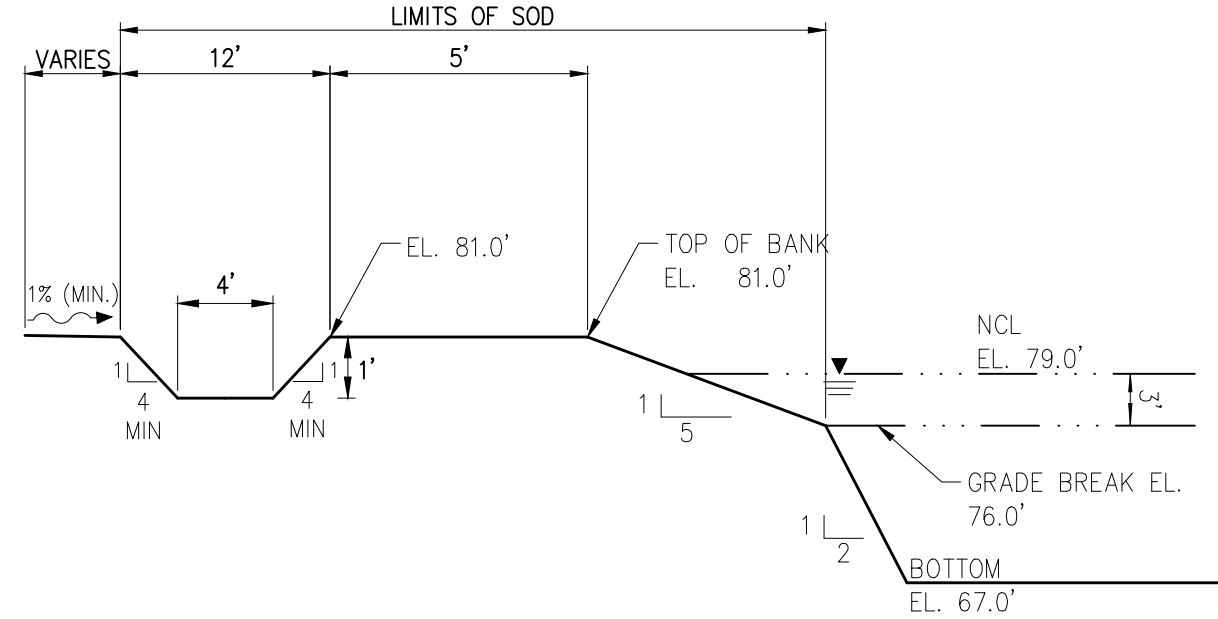
James R. Hoffman, P.E.
P.E. # 75623
DATE: July 11, 2018

Project Number
62643.00



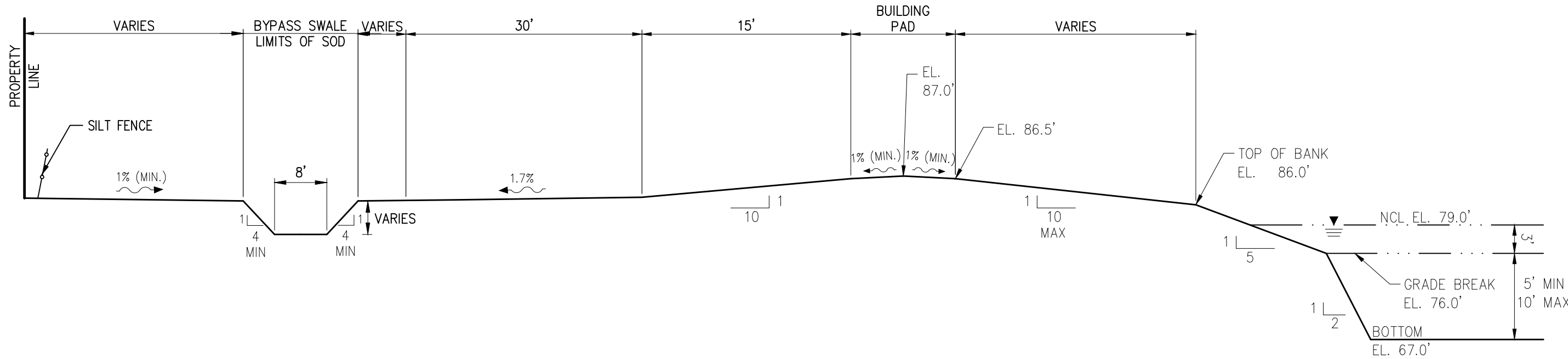
A - Typical Grading Section

N.T.S.



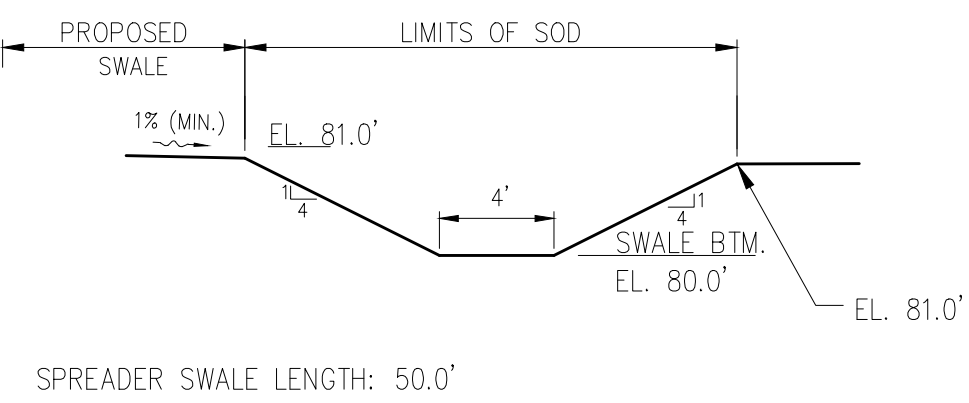
E - Typical Grading Section

N.T.S.



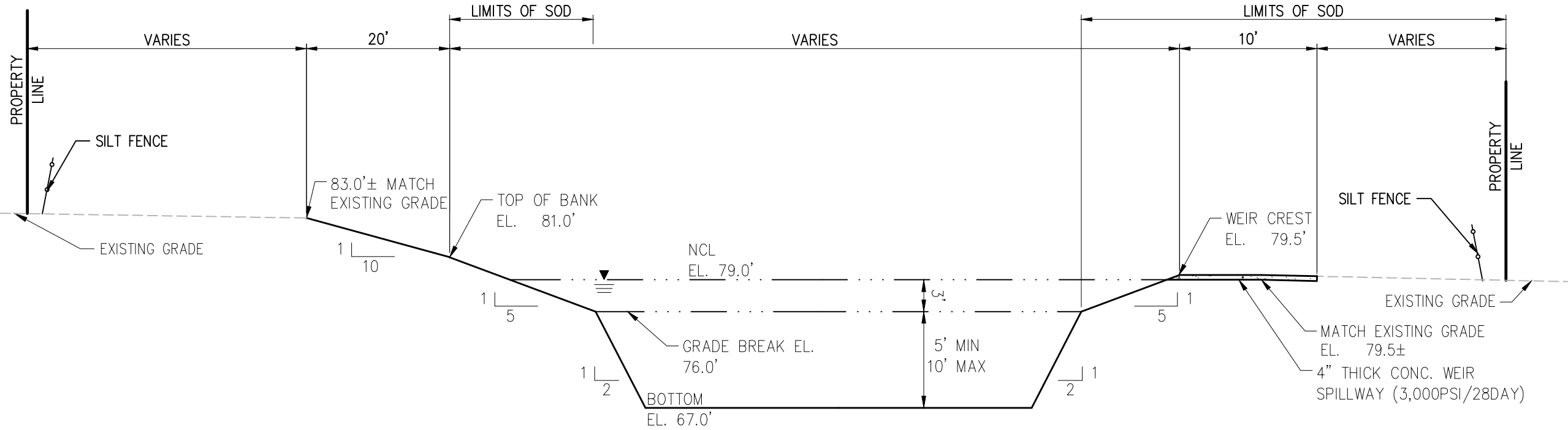
B - Typical Grading Section

N.T.S.



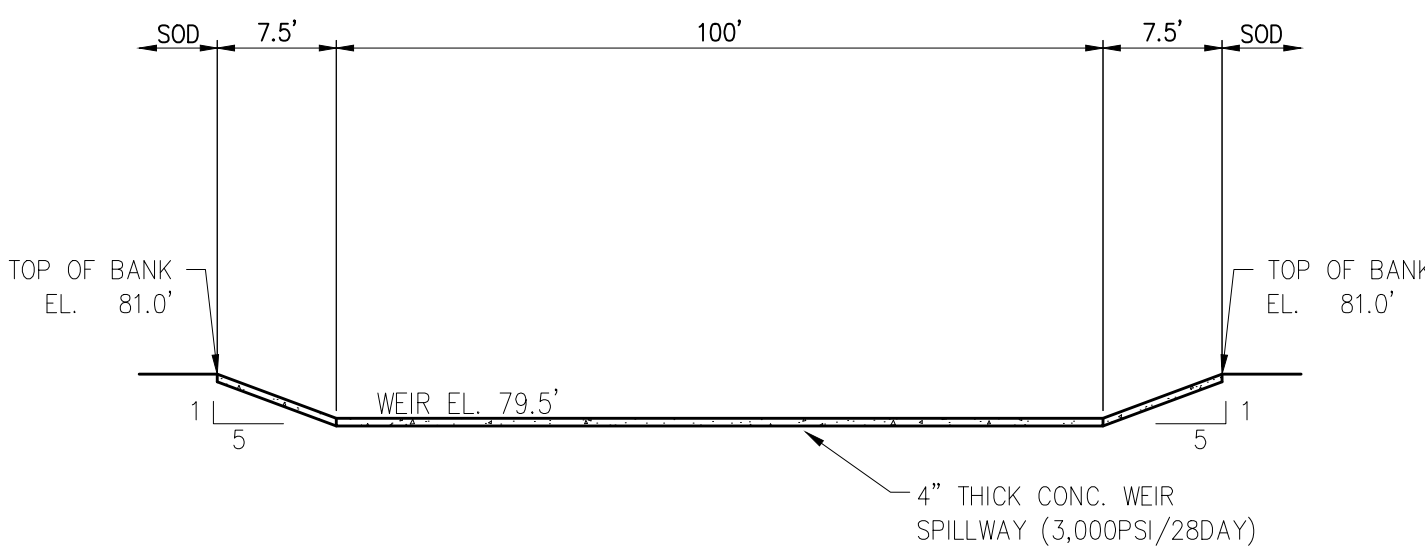
Temp. Spreader Swale Section

N.T.S.



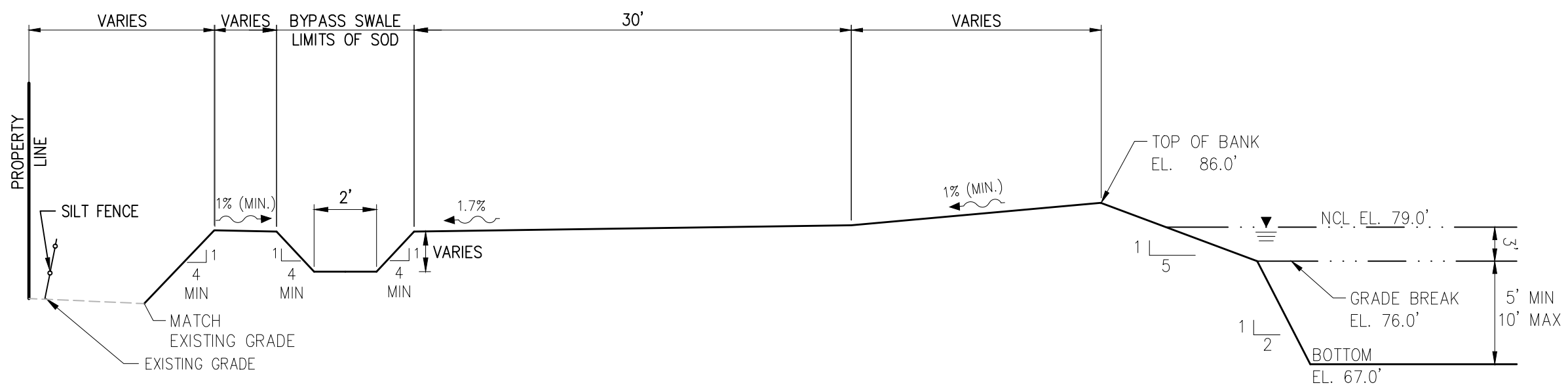
C - Typical Grading Section

N.T.S.



F - Typical Overland Weir Section

N.T.S.



D - Typical Grading Section

N.T.S.

The Mayflower Retirement Center

Winter Park, Florida

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1	Submit to the City of Winter Park	07/11/18	

Designed by	Checked by
JLB	JRH
Issued for	Date
Mass Grading Approval	July 11, 2018

Vertical Datum NGVD 1929

Grading Details

Drawing Number

C2.01

Sheet of



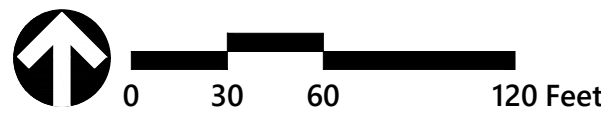
225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
Certificate of Authorization
Number FL #3932

NOTES

- ELEVATIONS SHOWN AT THE BUILDING PAD CROWNS ARE TEMPORARY TO ENSURE PROPER DRAINAGE UNTIL THE BUILDING FLOORS CAN BE POURED. BUILDING FINISHED FLOORS ARE PROPOSED AT ELEVATION 87.0 (NGVD 1929).
- THE RIGHT-OF-WAY AND ADJACENT PROPERTIES SHALL BE RESTORED TO EQUAL OR BETTER CONDITIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING FDEP GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY IN ACCORDANCE WITH FLORIDA ADMINISTRATIVE CODE 62-621.300(2) AND 62-620, AND FLORIDA STATUTES CHAPTER 403. (DE)
- DISCHARGE OF GROUNDWATER FROM DEWATERING OPERATIONS REQUIRES APPROVAL FROM FDEP AND THE APPLICABLE WATER MANAGEMENT DISTRICT. THE DEVELOPER/CONTRACTOR SHALL OBTAIN AND FDEP GENERIC PERMIT FOR THE DISCHARGE OF GROUND WATER FROM DEWATERING OPERATIONS PURSUANT TO THE REQUIREMENTS OF 62-621.300(2)(A) AND 62-620 F.A.C. AND FLORIDA STATUTES CHAPTER 403.
- THE SITE SHALL BE STABILIZED FOLLOWING CLEARING, GRUBBING, EARTH WORK OR MASS GRADING TO ESTABLISH A DENSE STAND OF GRASS, OR SHALL INCORPORATE OTHER APPROVED BEST MANAGEMENT PRACTICES, ON ALL DISTURBED AREAS IF DEVELOPMENT DOES NOT BEGIN WITHIN 7 DAYS. FINAL STABILIZATION SHALL ACHIEVE 100% COVERAGE AND A MINIMUM OF 70% DENSITY OF THE DISTURBED LAND AREA AND SHALL INCLUDE A MAINTENANCE PROGRAM TO ENSURE MINIMUM COVERAGE SURVIVAL AND OVERALL SITE STABILIZATION UNTIL SITE DEVELOPMENT. (DE)
- PRIOR TO THE START OF LAND DISTURBING ACTIVITIES, WHICH INCLUDES DEMOLITION, EARTHWORK AND/OR CONSTRUCTION, THE DEVELOPER/CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND SUBMIT TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) A NOTICE OF INTENT (NOI) TO OBTAIN COVERAGE UNDER THE NPDES GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (CGP) PURSUANT TO THE REQUIREMENTS OF 62-621.300(4)(A) F.A.C. A COPY OF THE NOI SHALL BE SUBMITTED TO THE CITY OF WINTER PARK. COPIES OF THE SWPPP, NOI, AND FDEP ACKNOWLEDGEMENT LETTER ARE TO BE KEPT ON THE PROJECT SITE AND MADE AVAILABLE UPON REQUEST. UPON COMPLETION OF ALL LAND DISTURBING ACTIVITIES AND AFTER FINAL STABILIZATION OF THE SITE IS COMPLETE, THE DEVELOPER/CONTRACTOR SHALL SUBMIT TO FDEP A NOTICE OF TERMINATION (NOT) TO END THEIR COVERAGE UNDER THE CGP AND PROVIDE A COPY OF THE NOT TO THE CITY OF WINTER PARK (DE)

Legend

- PARCEL BOUNDARY
- LIMITS OF WORK
- PROPOSED GRADE
- EXISTING GRADE
- FLOW DIRECTION
- PROPOSED CONTOUR
- EXIST. CONTOUR
- SWALE CENTERLINE
- EXISTING STORM TO BE REMOVED
- 6' HIGH WHITE VINYL FENCE
- 6' HIGH ALUM. POWDER COATED PICKET FENCE
- EXIST. CHAIN LINK FENCE



The Mayflower Retirement Center

Winter Park, Florida

No.	Revision	Date	Appvd.
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Designed by JLB Checked by JRH

Issued for Date
Mass Grading Approval July 11, 2018

Vertical Datum NGVD 1929

Drawing Title
Mass Grading Plan

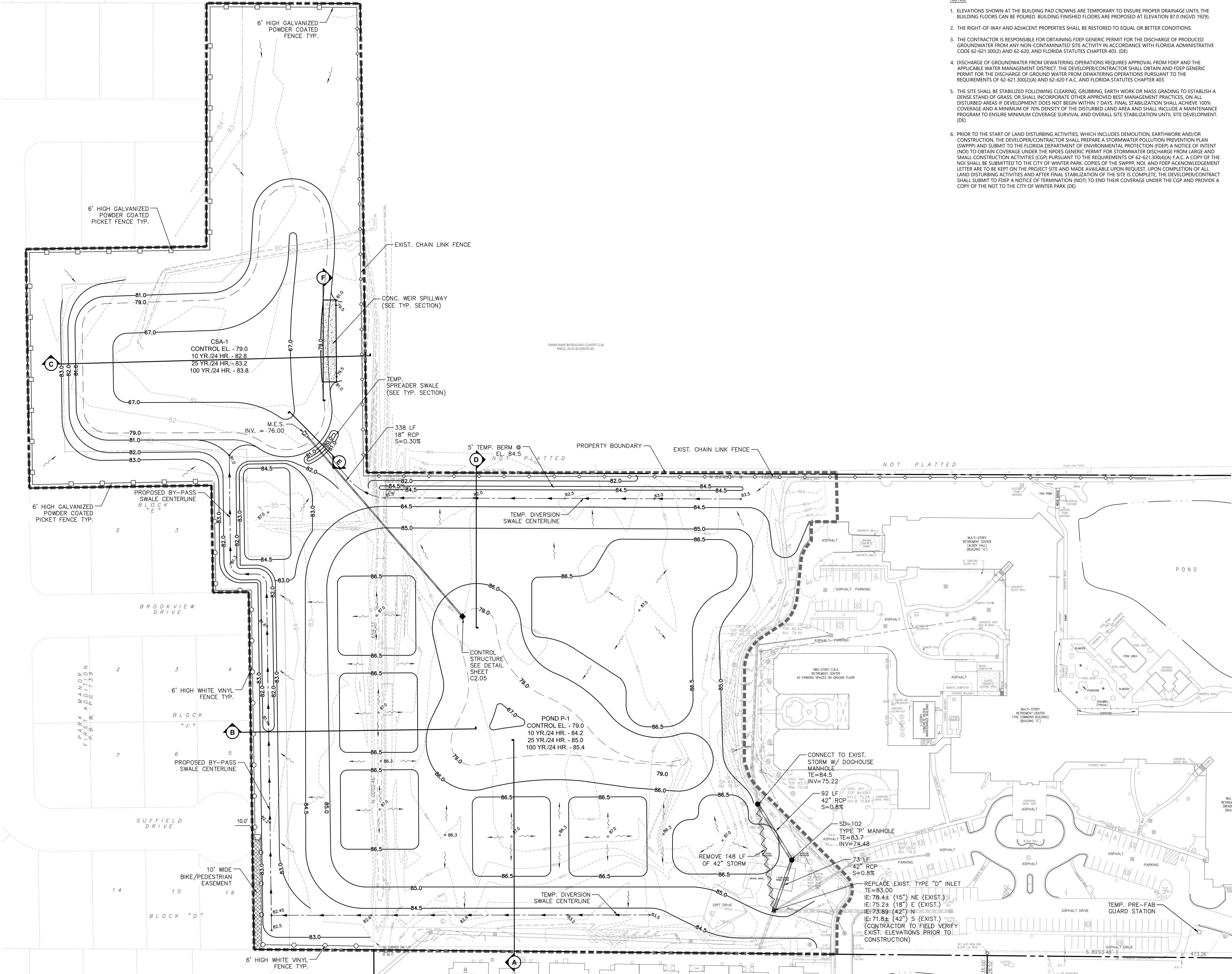
Drawing Number

C2.00

Sheet of

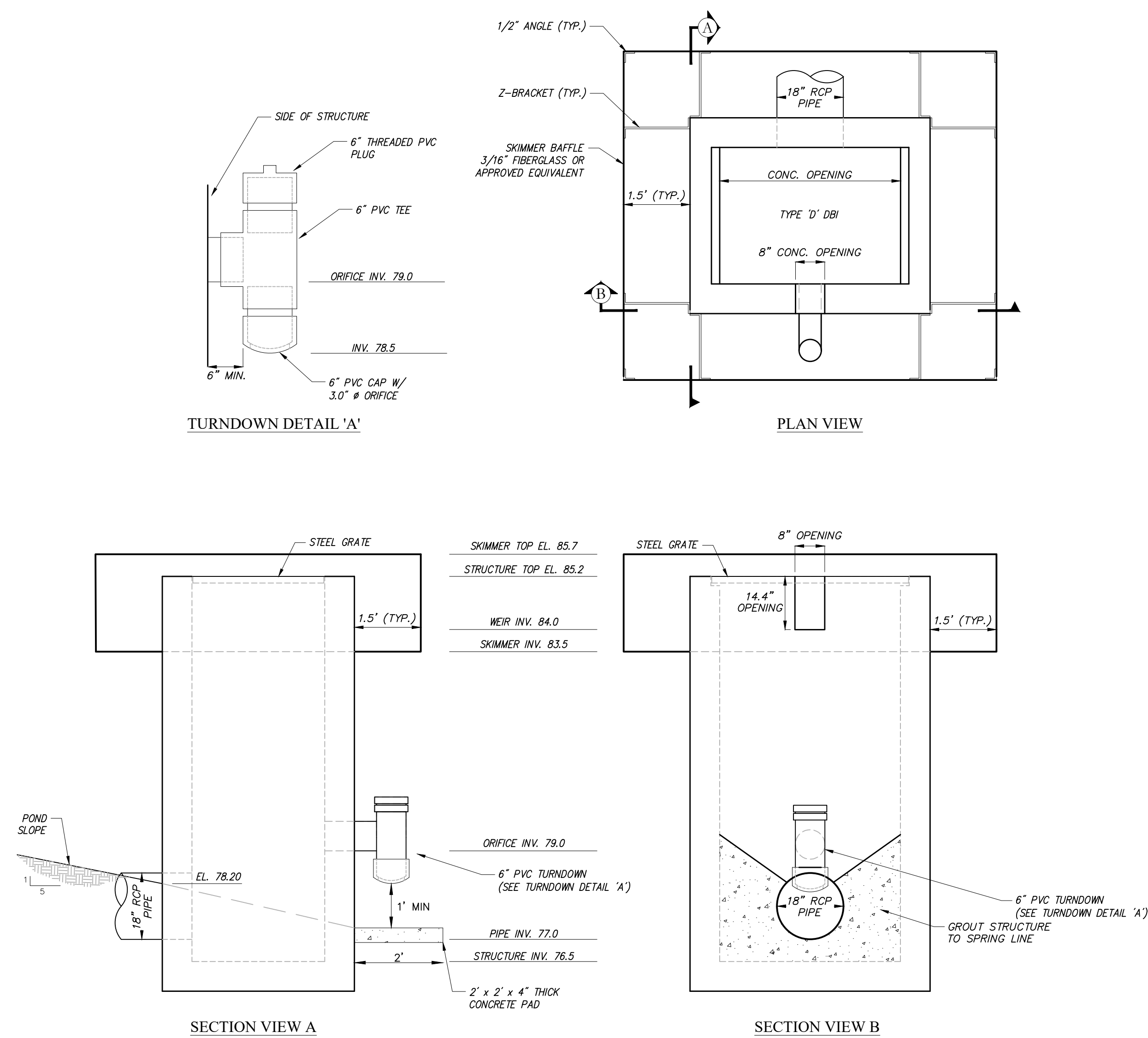
James R. Hoffman, P.E.
P.E. # 75623
DATE: July 11, 2018

Project Number
62643.00





225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
Certificate of Authorization
Number FL #3932



NOTE: SKIMMER TO BE MOUNTED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.

Outfall Control Structure Detail

N.T.S.

The Mayflower Retirement Center

Winter Park, Florida

No.	Revision	Date	Appvd.
1	Submit to the City of Winter Park	07/11/18	

Designed by	Checked by
JLB	JRH

Issued for	Date
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Mass Grading Approval July 11, 2018

Vertical Datum NGVD 1929

Control Structure Details

Drawing Number

C2.05

Sheet of

James R. Hoffman, P.E.
P.E. # 75623
DATE: July 11, 2018

Project Number
62643.00

GENERAL LANDSCAPE NOTES

Project Number
62643.00

Diagram illustrating the specifications for planting a tree in a pit, showing the tree, root ball, and surrounding soil structure.

Labels and Specifications:

- REINFORCED RUBBER HOSE
- WHITE FLAG ABOVE TURNBUCKLE
- TURNBUCKLE MIN. 3 PLACES
- MINIMUM 3" MULCH
- HEAVY DUTY NYLON STRAP OR EQUAL
- SOIL BERM
- 2"x4"x2'-6" WOOD STAKE FLUSH WITH GROUND
- PLANTING SOIL MIXED PER SPECIFICATIONS AS IDENTIFIED IN A SOIL REPORT AS SECURED BY THE LANDSCAPE CONTRACTOR AND CERTIFIED BY THE LANDSCAPE ARCHITECT.
- PROVIDE MINIMUM PIT CLEARANCE AROUND ROOTBALL 12" ALL SIDES AND 6" UNDER BOTTOM.
- 3x to 5x ROOTBALL DIA.

NOTE:
CONTRACTORS TO REMOVE ALL NON-BIODEGRADABLE NYLON STRAPPING OR ROPING FROM ATOP OF PLANTED TREE ROOT BALLS. MULCH NOT PLACED ANY CLOSER THAN 12 - 18" FROM TRUNKS OF NEWLY PLANTED TREES

EDGE OF PAVEMENT OR CURB

NOTE:
CONTRACTOR SHALL
ASSURE PERCOLATION OF
ALL PLANTING PITS/BEDS
PRIOR TO INSTALLATION

SOD

EDGE OF BEDLINE

AS SHOWN, SPACED EQUIDISTANT FROM EACH OTHER
(AT SPACING SPECIFIED IN THE PLANT LIST)

2 SHRUB/GROUNDCOVER SPACING PLAN
NTS

5 PALM BRACING DETAIL

Winter Park, Florida

Designed by JLB Checked by JRH

Vertical Datum NGVD 1929

REGISTERED LANDSCAPE ARCHITECT
CHRISTOPHER JAY BROWN
LA 703
— ★ —
STATE
OF
FLORIDA

Project Number
62643.00



PARCEL E

The East 1/2 of the Northwest 1/4 of Section 4, Township 22 South, Range 30 East, Orange County, Florida, less the North 1580 feet, together with the following easements: (i) an easement for signage over the property described in the Sign Easement Agreement, dated August 8, 1985, and recorded in Official Records Book 3675, Page 1134; (ii) a non-exclusive drainage easement reserved in a Warranty Deed dated November 30, 1983, and recorded in Official Records Book 3448, Page 1575; (iii) a non-exclusive easement for ingress, egress and utilities as set forth in an Easement dated November 30, 1983 and recorded in Official Records Book 3448, Page 1584; Public Records of Orange County, Florida; and (iv) easements for ingress, egress, utilities and drainage as reserved in a Warranty Deed dated December 6, 1983, and recorded in Official Records Book 3451, Page 700.

Contains 20.392 acres

TOGETHER WITH

The N 1/2 of the N 1/2 of the SW 1/4 of the NW 1/4 (less the North 125 feet of the West 213 feet and less part thereof in Lakemont Avenue on the West) and less part platted as PARK MANOR, FIRST ADDITION, according to the plat thereof as recorded in Plat Book W, Page 139, Public Records of Orange County, Florida, said property lying in Section 4, Township 22 S, Range 30 E.

ALSO:

The S 1/2 of the N 1/2 of the SW 1/4 of the NW 1/4 (less part platted PARK MANOR, according to the plat thereof as recorded in Plat Book T, Page 142, Public Records of Orange County, Florida, and less part platted PARK MANOR, FIRST ADDITION, according to the plat thereof as recorded in Plat Book W, Page 139, Public Records of Orange County, Florida), said property lying in Section 4, Township 22 S, Range 30 E.

ALSO:

The W 1/2 of the SE 1/4 of the SW 1/4 of the NW 1/4 (less part platted PARK MANOR, FIRST ADDITION, according to the plat thereof as recorded in Plat Book W, Page 139, Public Records of Orange County, Florida), said property lying in Section 4, Township 22 S, Range 30 E.

ALSO:

The E 1/2 of the SE 1/4 of the SW 1/4 of the NE 1/4 of less part platted PARK MANOR, FIRST ADDITION, according to the plat thereof as recorded in Plat Book W, Page 139, Public Records of Orange County, Florida, and less beginning at the NE corner of Lot 3, Block E, Park Manor, first addition, according to the plat thereof as recorded in Plat Book W, Page 139, Public Records of Orange County, Florida, run South 89 degrees 57 minutes 55 seconds East 25 feet, thence South 00 degrees, 02 minutes, 05 seconds West 150 feet, thence North 89 degrees 57 minutes 55 seconds West 25 feet to the SE corner of Lot 3, thence North 00 degrees 02 minutes, 05 seconds East 150 feet to the point of beginning, said property lying in Section 4, Township 22 S., Range 30 East.

LESS

Begin at the NE corner of Lot 2, Block "C", PARK MANOR FIRST ADDITION, as recorded in Plat Book "W", Page 139, Public Records of Orange County Florida, run S 89 degrees 02 minutes 30 seconds E, 100 ft. along the South Right of Way of Oak Hurst Avenue, as shown on said plat, thence S 0 degrees 57 minutes 30 seconds W 145.90 ft., thence N 89 degrees 57 minutes 55 seconds N 100.01 ft. to the SE corner of said Lot 2, Block "C", thence N 0 degrees 57 minutes 30 seconds E 147.51 ft. to point of beginning.

Contains 8.014 acres

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER LISTED BELOW.

2. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OR OPINION OF TITLE. NO INSTRUMENTS OF RECORD WERE FURNISHED TO THIS SURVEYOR EXCEPT AS NOTED. THERE MAY BE ADDITIONAL EASEMENTS OR INSTRUMENTS OF RECORD NOT SHOWN ON THIS SURVEY THAT CAN BE FOUND IN THE PUBLIC RECORDS OF ORANGE COUNTY.

3. ALL BEARINGS AND DISTANCES SHOWN HEREON ARE CORRECT AND IN AGREEMENT WITH THE FOUND AND SET MONUMENTS AS MEASURED IN THE FIELD BY THE SURVEYOR.

4. BEARINGS SHOWN HEREON ARE BASED ON CALCULATED COORDINATE DIFFERENCES BETWEEN SET CONTROL POINTS ESTABLISHED FROM REDUNDANT GNSS MEASUREMENTS PROCESSED THROUGH THE NATIONAL GEODETIC SURVEY SOFTWARE, OPUS, USING A STATIC TWO HOUR PLUS OBSERVATION. HORIZONTAL INFORMATION IS BASED WITHIN NAD83(2011).

5. NO UNDERGROUND UTILITIES, FOUNDATIONS, OR IMPROVEMENTS, IF ANY, HAVE BEEN LOCATED EXCEPT AS SHOWN.

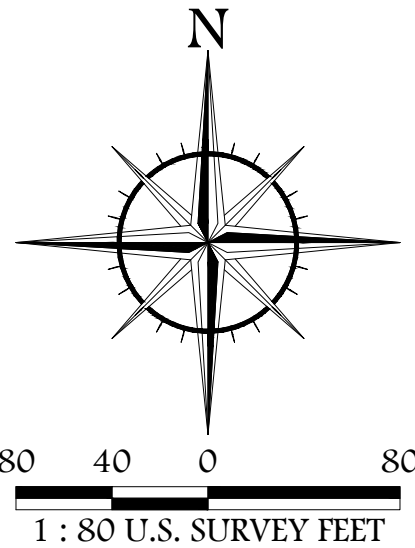
6. VHB WAS DIRECTED TO PERFORM A TIMBER CRUISE OF THE PROPERTY. THE AREA SHOWN BELOW THAT CONTAIN TREES WAS CHOSEN TO CREATE A GOOD REPRESENTATION OF THE OVERALL SITE. VHB LOCATED ALL NATIVE TREES 9 INCHES AND LARGER WITHIN THIS AREA. AN EXTRAPOLATION PROCESS WAS PERFORMED TO ESTIMATE THE TOTAL NUMBER TREES, SIZES AND SPECIES FOR THE ENTIRE SITE. THAT EXTRAPOLATION INFORMATION IS THE BASIS FOR THE TREE SURVEY AS IS STANDS ON THE DATE OF SIGNATURE.

7. LAST DATE OF FIELD WORK: JULY 10, 2018.

8. TREE SPECIES IDENTIFIED BY VHB ARE TO THE BEST KNOWLEDGE OF THE SURVEYOR. ANY TREES NOTED AS JUST "TREE" COULD NOT BE IDENTIFIED BY THE SURVEYOR.

9. THIS SURVEY IS NOT COMPLETE AND SHOULD ONLY BE CONSIDERED AS A REPRESENTATION OF THE COLLECTED DATA AS OF JULY 10, 2018.

10. THERE ARE 76 NATIVE TREES WITHIN THE REPRESENTED 1.5 ACRES. IF THE 1.5 ACRE AREA IS EXTRAPOLATED TO THE ENTIRE PROPERTY, THERE WOULD BE APPROXIMATELY 863 TREES



225 E. Robinson Street
Suite 300
Orlando, FL 32801
407.839.4006
Certificate of Authorization
Licensed Business LB7153

1620 Mayflower Court
Winter Park, FL 32792

[illegible]

Drawing Number

Sv-1

Sheet **1** of **1**

Project Number
62643.00

FOR THE FIRM BY;

ELI J. DONALDSON, P.S.M.
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA LICENSE NO. 6984

DATE _____

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
August 14, 2018**

REQUEST OF WINTER PARK CUSTOM HOMES FOR: FOR SUBDIVISION OR LOT SPLIT APPROVAL TO DIVIDE THE PROPERTY AT 1415 MILLER AVENUE, ZONED R-2, INTO TWO LOTS, EACH TO BE DEVELOPED WITH A DUPLEX. BOTH LOTS WILL HAVE 50 FEET OF LOT WIDTH AND 7,500 SQUARE FEET OF LAND AREA. BOTH LOTS WILL NEED A VARIANCE FROM THE 9,000 SQUARE FEET OF LAND AREA REQUIRED FOR AN R-2 DUPLEX LOT.

Winter Park Custom Homes is requesting subdivision or lot split approval to divide the property at 1415 Miller Avenue into two lots, each to be developed with a duplex. The zoning of this property is R-2. Each lot is proposed to be 50 feet wide and 7,555 square feet in size. This request meets the minimum lot width needed for a two-unit building in R-2 zoning, but requires a variance to the 9,000 square feet of land area needed for a two-unit building. The property is currently vacant.

During the City's review process of subdivisions or lot split requests, there are two criteria that are reviewed. First is the 'Zoning Test' as to conformance with the zoning criteria. The next is the 'Comprehensive Plan Test' which is conformance to the neighborhood character.

ZONING TEST: This existing property is 100 feet wide on Miller Avenue, and measures approximately 15,110 square feet in size. As previously mentioned, the subdivided lots are proposed to be 50 feet wide and 7,555 square feet in size. The R-2 zoning requires a minimum of 50 feet of lot width for lot to be developed with a two-unit building, and a minimum of 9,000 square feet of land area. Thus, a variance is requested for both lot area dimensions.

VARIANCE REQUEST: The attached letter from the applicant justifying their reasoning for the lot dimension variance states that they are planning to build attached single-family homes. They are following the Code requirements for a lot less than 65 feet in width, which is more restrictive than the single-family home requirements. However, the applicants are planning to market these as 'single-family' cottages since each unit will be sold individually.

COMPREHENSIVE PLAN TEST: The practice outlined in the Comprehensive Plan and the Subdivision Code (attached) is to look at the surrounding neighborhood to compare the standard lot sizes. The Code dictates that the review area is within a 500-foot radius of the subject property, and limited to those in the same zoning.

There are 71 homes within this neighborhood within the City limits with the same R-2 zoning (see attached map). The average lot width is 58 feet, and the median lot width is 54 feet. The average lot area from this 71 home survey is 7,327 square feet, and the median lot area is 7,100 square feet. Thus, the proposed lot widths of

50 feet, and the proposed lot areas of 7,555 square feet compare favorably to a majority of the neighborhood.

APPLICABLE CODES: The applicable Comprehensive Plan policy and Subdivision Code section governing lot splits are on the following page.

DEVELOPMENT PLANS: The applicant has provided a generalized front elevation for the type of homes that they plan to build, and general site plans for the layout of the proposed new homes. The applicants will comply with the normal R-2 development standards, setbacks, etc.

DEVELOPMENT OPPORTUNITIES: Lot split requests like these give the City an opportunity to provide input to the developers to encourage variety and character in their design to enhance our neighborhoods. As mentioned, the applicant provided generalized front elevations of the types of homes they plan to build, which depict the same architectural elevations for both duplexes. While it is the norm of planning staff to recommend that the final front elevations of the homes be of varied architectural styles to each other, this is a case where the duplexes are being developed as one project, but are being sold fee simple which is where the lot split request is required, otherwise the applicant could go straight to a building permit. While mirror image duplex units do not add diversity to the neighborhood, staff feels that uniformity for this specific project is acceptable.

SUMMARY: The custom of the planning staff is not to recommend "approval" of lot splits with variances. However, planning staff notes that while this request is short the required lot size dimensions, and fails the zoning test, it conforms to a majority of the neighborhood and is being proposed at the right scale for the character of the neighborhood. It also passes the Comprehensive Plan test. The alternatives for what could be built would be two very large single-family homes which would be out of character for the neighborhood. These units will be sold at a more affordable rate than what could be built with the lot as single-family only.

STAFF RECOMMENDATION IS FOR APPROVAL

RELEVANT COMPREHENSIVE PLAN POLICY:

Policy 1-3.6.8: Subdivision of Land and Lot Splits for Non-Lakefront Single Family and Low Density Multi-Family Property. The City shall consider approving subdivision and lot split applications, which are not lakefront properties and which are not estate lots in areas designated single family, low density or multi-family residential, when the proposed new lots are designed at size and density consistent with the existing conditions in the surrounding neighborhood within a radius of five hundred (500) feet.

ARTICLE VI. - SUBDIVISION AND LOT CONSOLIDATION REGULATIONS

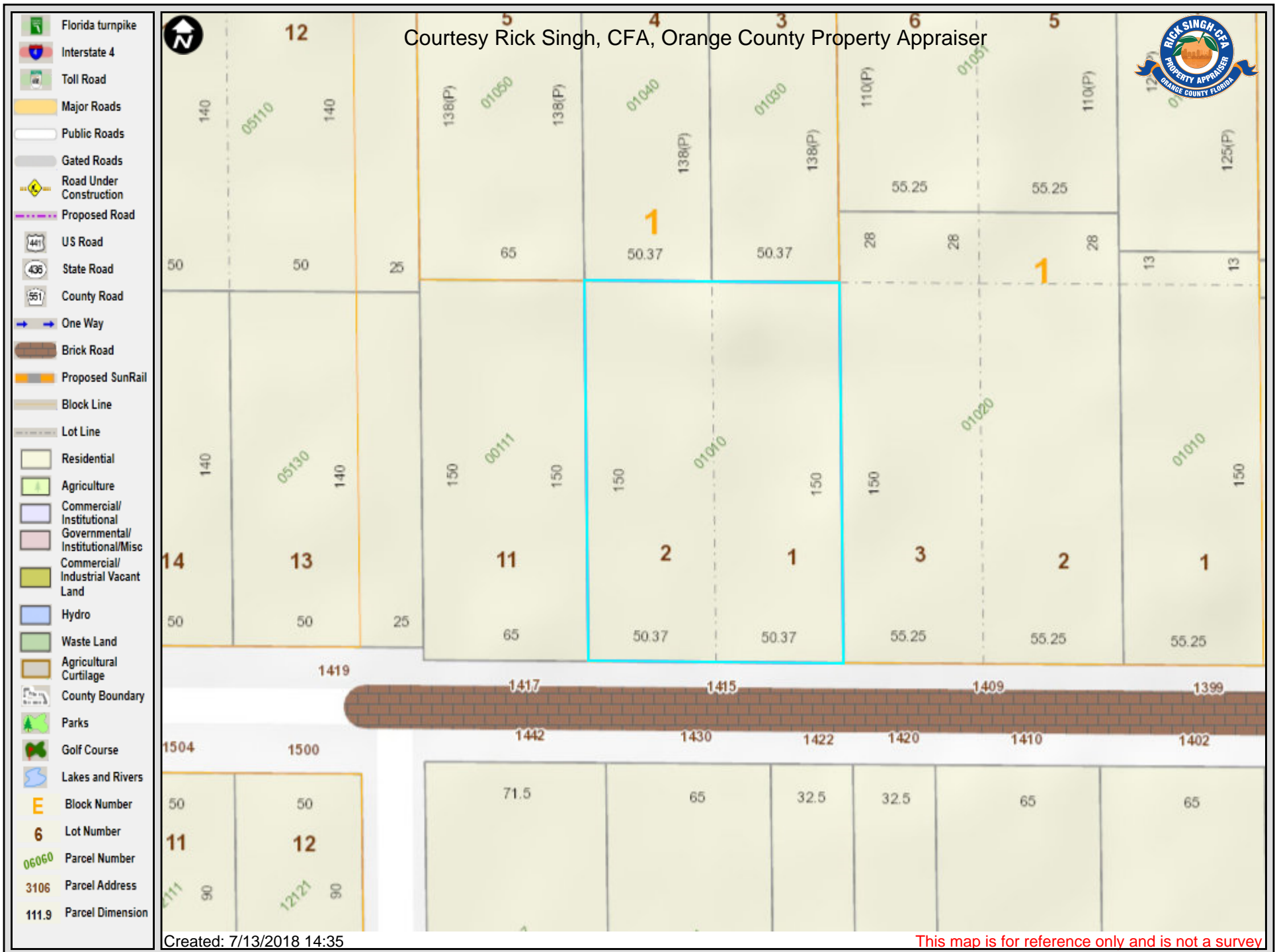
Sec. 58-377. - Conformance to the comprehensive plan.

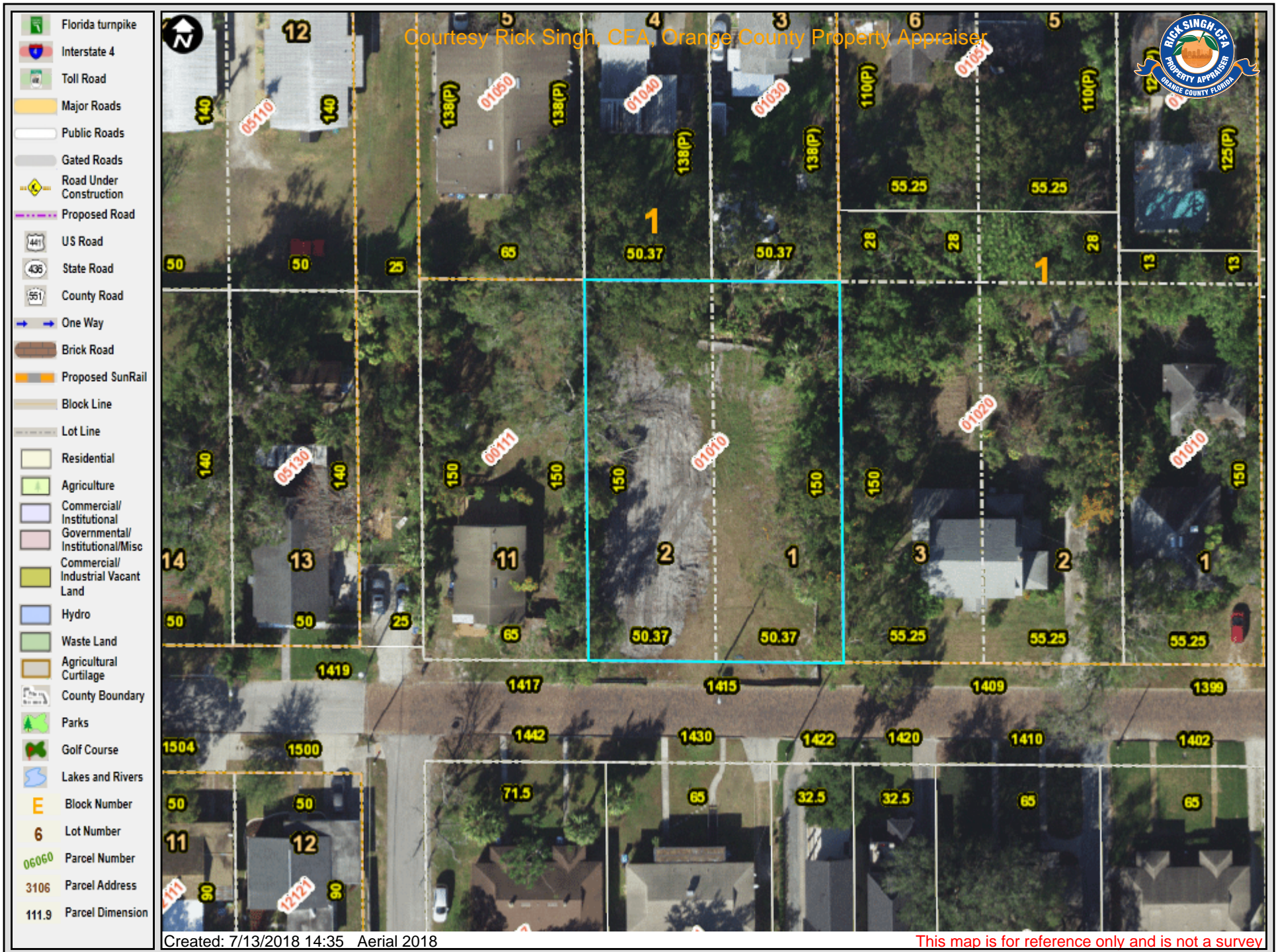
(a) In the City of Winter Park, as a substantially developed community, the review of lot splits, lot consolidations, plats, replats or subdivisions within developed areas of the city shall insure conformance with the adopted policies of the comprehensive plan as a precedent to the conformance with other technical standards or code requirements.

(b) In existing developed areas and neighborhoods, all proposed lots shall conform to the existing area of neighborhood density and layout. The proposed lot sizes, widths, depths, shape, access arrangement, buildable areas and orientation shall conform to the neighborhood standards and existing conditions. This provision is specifically intended to allow the denial or revision by the city of proposed lot splits, lot consolidations, plats, replats or subdivisions when those are not in conformance with the existing neighborhood density or standards, even if the proposed lots meet the minimum technical requirements of the zoning regulations.

(c) In determining the existing area or neighborhood density and standards, for the consideration of lot splits, plats, replats or subdivision of other than estate lots or lakefront lots, the planning and zoning commission and city commission shall consider the frontage and square foot area of home sites and vacant properties with comparable zoning within an area of 500-foot radius from the proposed subdivision.

(d) In order to implement the policies of the comprehensive plan, the city commission may also impose restrictions on the size, scale, and style of proposed building, structures, or other improvements. This provision shall enable the city commission to impose restrictions on the size, height, setback, lot coverage, impervious area or right-of-way access such that proposed building and other improvements match the dimension and character of the surrounding area or neighborhood.



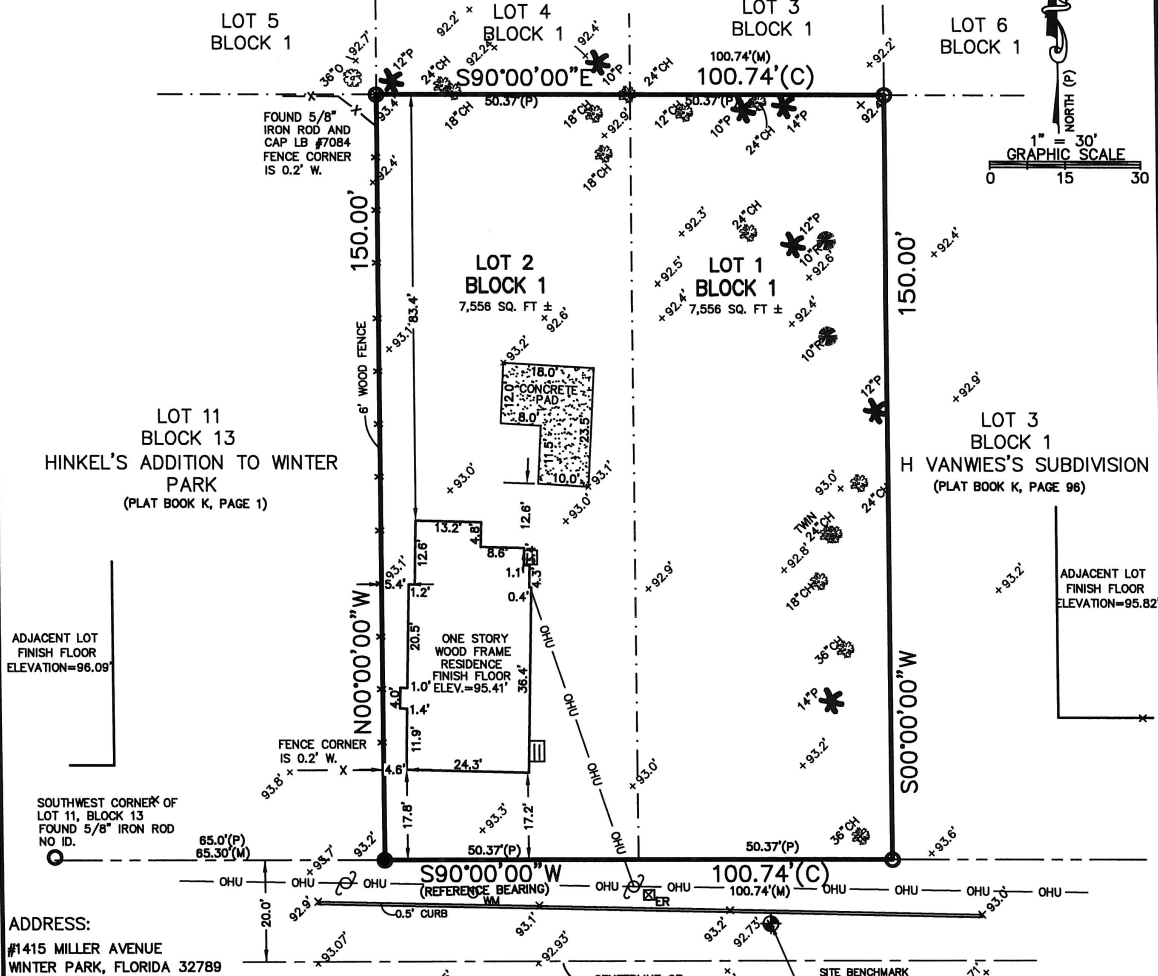




BOUNDARY & TOPOGRAPHIC & TREE SURVEY

DESCRIPTION: (AS FURNISHED)

LOTS 1 & 2, BLOCK "1", ATTILIO G. PANACCIONE'S SUBDIVISION
AS RECORDED IN PLAT BOOK K, PAGE 56, OF THE PUBLIC RECORDS OF
ORANGE COUNTY, FLORIDA.



ADDRESS:
#1415 MILLER AVENUE
WINTER PARK, FLORIDA 32789

FOR THE BENEFIT AND
EXCLUSIVE USE OF:
WINTER PARK CONSTRUCTION HOMES

NOTES:

- ALL DIRECTIONS AND DISTANCES HAVE BEEN FIELD VERIFIED, INCONSISTENCIES HAVE BEEN NOTED ON THE SURVEY, IF ANY.
- PROPERTY CORNERS SHOWN HEREON WERE SET/FOUND ON 12-28-17, UNLESS OTHERWISE SHOWN.
- THE SURVEYOR HAS NOT ABSTRACTED THE LAND SHOWN HEREON FOR EASEMENTS, RIGHT OF WAY, RESTRICTIONS OF RECORD WHICH MAY AFFECT THE TITLE OR USE OF THE LAND.
- NO UNDERGROUND IMPROVEMENTS HAVE BEEN LOCATED.
- BUILDING TIES SHOWN HEREON ARE NOT TO BE USED TO RECONSTRUCT THE BOUNDARY LINES.
- ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE COUNTY BENCHMARK #A1087002 HAVING AN ELEVATION OF 92.55' NAVD 88 DATUM.

LEGEND:

- — — CENTERLINE
- — — RIGHT OF WAY LINE
- — — OVERHEAD UTILITIES
- OHU OHU OVERHEAD UTILITIES
- XX.XX DRAINAGE FLOW
- XX.XX EXISTING ELEVATION
- A/C AIR CONDITIONER
- CONCRETE
- CBW CONCRETE BLOCK WALL
- CNA CORNER NOT ACCESSIBLE
- CP CONCRETE PAD
- CS CONCRETE STOOP
- C/W CONCRETE WALK
- F.E.M.A. FEDERAL EMERGENCY MANAGEMENT AGENCY
- F.I.R.M. FLOOD INSURANCE RATE MAP
- ID IDENTIFICATION
- LB LICENSED BUSINESS
- LS LICENSED SURVEYOR
- EOP EDGE OF PAVEMENT
- WM WATER METER
- PP POWER POLE
- CO CLEANOUT
- EB ELECTRIC BOX
- ER ELECTRIC RISER

TREE LEGEND

- 6"P 6" PALM TREE
- 10"R 6" RAIN TREE
- 10"O 3" OAK TREE
- 96"CH 96" CHAMPHER TREE
- SITE BENCHMARK
- FOUND 5/8" IRON ROD NO ID.
- SET 1/2" IRON ROD AND CAP LB #6393
- (P) CALCULATED
- (M) MEASURED
- PCC POINT OF COMPOUND CURVE
- PCP PERMANENT CONTROL POINT
- PI POINT OF INTERSECTION
- PK PARKER KALON
- POC POINT ON CURVE
- POL POINT ON LINE
- PRC POINT OF REVERSE CURVATURE
- PRM PERMANENT REFERENCE MONUMENT
- PSM PROFESSIONAL SURVEYOR AND MAPPER
- PT POINT OF TANGENCY
- SQ. FT. SQUARE FEET
- S/W SIDEWALK
- GA GUY ANCHOR
- PP POWER POLE
- NAVD NORTH AMERICAN VERTICAL DATUM
- NGVD NATIONAL GEODETIC VERTICAL DATUM

FLOOD NOTE:

I HAVE EXAMINED THE F.I.R.M. COMMUNITY PANEL NO. 120188 0255 F, DATED SEPTEMBER 25, 2009, AND FOUND THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE X. AREA OUTSIDE THE 100 YEAR FLOOD PLAIN. THE SURVEYOR MAKES NO GUARANTEES AS TO THE ABOVE INFORMATION. PLEASE CONTACT THE LOCAL F.E.M.A. AGENT FOR VERIFICATION.

BEARING BASIS:

BEARINGS SHOWN HEREON ARE BASED ON THE NORTH RIGHT OF WAY LINE OF MILLER AVENUE, BEING S90°00'00"W, PER PLAT.

(FIELD DATE:) 12-28-17

SCALE: 1" = 30 FEET

APPROVED BY: JWB

171220 LOTS 1, & 2

JOB NO. BLOCK "1"

DRAWN BY:

REVISED:

BOUNDARY 12-28-17 CC

ASM
AMERICAN
SURVEYING
& MAPPING INC.

CERTIFICATION OF AUTHORIZATION NUMBER LB #6392
3191 MAGUIRE BOULEVARD, SUITE 200
ORLANDO, FLORIDA 32803
(407) 428-7979
WWW.AMERICANSURVEYINGANDMAPPING.COM

CERTIFICATION NOTE:

I HEREBY CERTIFY, THAT THIS BOUNDARY SURVEY, SUBJECT TO THE SURVEYOR'S NOTES CONTAINED HEREON MEETS THE APPLICABLE "MINIMUM TECHNICAL STANDARDS" SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

James W. Boleman 01-02-18 FOR THE FIRM
JAMES W. BOLEMAN PSM# 6485 DATE
THIS BOUNDARY SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

1415 Miller Narrative Letter – Subdivision Application

LOCATION:

1415 Miller Ave.
Winter Park, FL 32789

PROPOSED PROJECT SCOPE:

The construction and development of four 1,871 sq. ft. 3/2.5 affordable luxury single-family residences located at 1415 Miller Ave., a 100'w x 150'd parcel.

The combined sq. ft. of all 4 residences would be smaller than that allowed with one large mansion. We are NOT seeking a variance to build more sq. ft. on the lot – we are well below the allowed FAR.

WHAT WE DON'T WANT TO BUILD: Already ALLOWED without Variance

- 8,300 sq. ft. + single family residence
- 2 – 4,000 sq. ft. + single family residence
- 8,300 sq. ft. + duplex

Although the above options do not require variances – the proposed residences would better suit the neighborhood and the city to allow more affordable luxury home options in a size more suited to the street in terms of scaling.

REQUESTED VARIANCE:

In order to make the proposed work we are required to have 4,000 sq. ft. of lot per unit on the developed property. Being that this lot is 15,111 sq. ft. in total – this leaves 3,778 (15,111 / 4) per unit, or a deficit of 222 sq. ft. per unit. It is because of this deficit of 222 sq. ft. per unit that we are seeking a variance to be allowed to build the 4 single-family cottages (ea @ 1,871 sf) on this 15,111 sf parcel of land.

GIVE LITTLE GUYS A CHANCE TOO:

- We are not trying to get a variance to build more sq ft – we are well below the FAR; the issue is specific to the 222 lot deficit of the 4,000
- Allows for more affordable luxury housing opportunities
- Allows for the construction of properly scaled homes on street
- Proposed COMBINED sq. ft. (7484) would be significantly smaller than the already allowed FAR sq ft for one single family home (8,311)
- 4 - 1,871 sq. ft. high end cottages are more in keeping with the neighborhood and street than would be a 8,000 sq. ft. plus single family residence or two 4,000 sq. ft. plus residences – which is already allowed

MILLER AVE COTTAGES



WINTER PARK DESIGN

MILLER AVENUE RESIDENCE, WINTER PARK, FL

MAY 26, 2018

WINTER PARK, FL



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WINTER PARK DESIGN

WINTER PARK DESIGN

ALL WORK DONE
IN ACCORDANCE WITH
THE FLORIDA
BUILDING CODE



T.S. CHEAL
REGISTERED ARCHITECT
FLORIDA LICENSE NO. 12345
ARCHITECTURAL FIRM
1234 MAIN STREET
SUITE 100
WINTER PARK, FL 32789

MILLER COTTAGES

WINTER PARK

DATE

05/26/18

BY

TSC

FOR

WPD

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UNIT AREA CALCULATIONS	
FIRST FLOOR:	782 SF
SECOND FLOOR:	824 SF
TOTAL LIVING:	1,606 SF
GARAGE:	265 SF
TOTAL F.A.R.:	1,871 SF
FRONT PORCH:	60 SF
OPEN STORAGE ALCOVE:	44 SF
TOTAL:	1,972 SF

PROPOSED DRAINAGE CALCS.

8499 SF (TOTAL IMPERVIOUS)
x .0833
700 CU. FT RETENTION REQUIRED
735 CU. FT RETENTION PROVIDED

FRONT SETBACK IMPERVIOUS SURFACE RATIO

AREA: 2518 SF
ALLOWED: 1259 SF (50%)
PROPOSED: 347 SF (14%)

CODE COMPLIANCE

BUILDING
CONSTRUCTION SHALL BE IN ACCORDANCE W/ THE 2017 FLORIDA BUILDING CODE RESIDENTIAL.

ELECTRICAL
ALL ELECTRICAL SHALL BE IN ACCORDANCE W/ THE 2014 NATIONAL ELECTRICAL CODE.

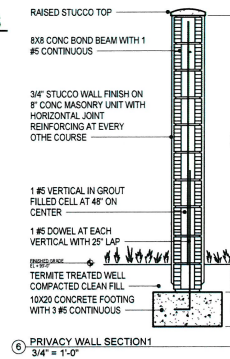
GAS
ALL GAS SHALL BE IN ACCORDANCE W/ THE 2017 FLORIDA BUILDING CODE GAS.

MECHANICAL
ALL MECHANICAL SHALL BE IN ACCORDANCE W/ THE 2017 FLORIDA BUILDING CODE MECHANICAL.

PLUMBING
ALL PLUMBING SHALL BE IN ACCORDANCE W/ THE 2017 FLORIDA BUILDING CODE PLUMBING CODE.

LEGAL DESCRIPTION

LOT 1 & 2 BLOCK 1 ATTILIO G PANACCIONE SUBDIVISION
PLAT BOOK K, PAGE 36 ORANGE COUNTY FLORIDA.



AREA CALCULATIONS	
EXISTING ZONING:	R-2
LOT AREA:	7,555.5 SF
IMPERVIOUS	
ALLOWED - 45%	4,533
PROPOSED - 52%	4,200
BUILDING COVERAGE	
ALLOWED - 35%	2,644 (1,322 PER UNIT)
PROPOSED - 33.3%	2,296 (1,148 PER UNIT)
FLOOR AREA RATIO	
ALLOWED - 50%	3,778 (1,889 PER UNIT)
PROPOSED - 48.5%	3,742 (1,871 PER UNIT)
PARKING REQUIREMENTS	
2 PER UNIT REQUIRED	
2 PER UNIT PROVIDED	
PARKING REQUIREMENTS	
2 PER UNIT REQUIRED	
2 PER UNIT PROVIDED	
SETBACKS	
FRONT	
REQUIRED:	25' / 30'
PROVIDED:	25' / 30'
REAR	
REQUIRED:	10' / 25'
PROVIDED:	20' / 25'
SIDE	
REQUIRED:	10'-0"
PROVIDED:	10'-0"

TERMITE NOTE

R-318 TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITECIDES. R-318 TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITECIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: 'THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE W/ RULES AND LAWS ESTABLISHED BY FLORIDA DEPARTMENT OF AGRICULTURE AND LAWS ESTABLISHED BY FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES'." CONSUMER SERVICES.

USE REGISTERED TERMITECIDES OR OTHER APPROVED METHODS.

SOIL TREATMENTS FOR SUBTERRANEAN TERMITES.

PROTECTION TO BE DONE AFTER ALL EXCAVATION, BACKFILLING, AND COMPACTION IS COMPLETE.

DISTURBED SOIL TREATMENT MUST BE RETREATED.

TREATMENT SHALL BE PROTECTED FROM RAINFALL BY 6 MIL VAPOR BARRIER, IF RAINFALL OCCURS BEFORE BARRIER PLACEMENT, SOIL MUST BE RETREATED.

TREATMENT AROUND EXTERIOR OF FOUNDATION SHALL BE DONE AFTER REMOVAL OF CONCRETE OVER POURS OR ACCUMULATED MORTAR.

TREATMENT APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1 FOOT OF PRIMARY STRUCTURE SIDEWALLS. VERTICAL CHEMICAL BARRIER SHALL BE APPLIED PROMPTLY AFTER CONSTRUCTION COMPLETION (INCLUDING LAND-SCAPING AND IRRIGATION/SPRINKLER INSTALLATION).

ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PER RULES AND LAWS ESTABLISHED FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

PROTECTIVE SLEEVES AROUND METALLIC PIPING PENETRATING CONCRETE SLAB-ON-SLAB GRADE FLOORS SHALL NOT BE CELLULOSE-CONTAINING MATERIALS AND RECEIVE AN APPLICATION OF TERMITECIDES IN ANNULAR SPACE BETWEEN SLEEVE AND PIPE.

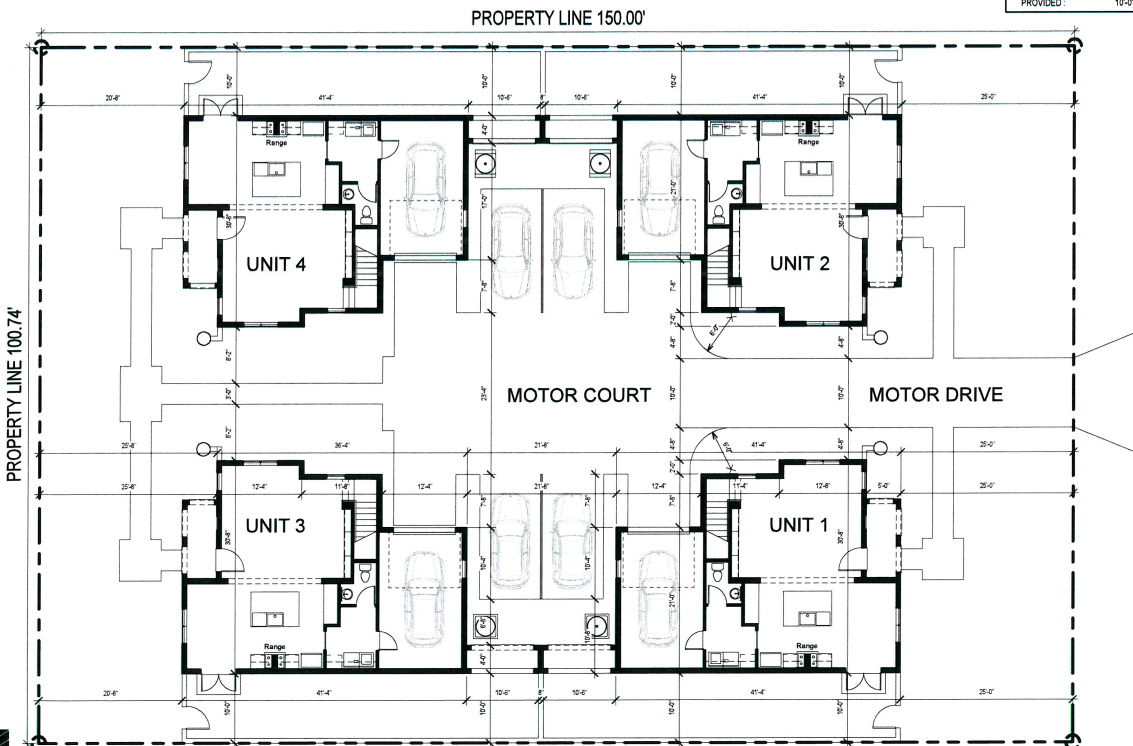
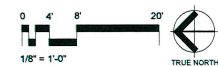
GENERAL NOTES

- IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE W/ ALL REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS SHALL DO THEIR WORK IN CONFORMANCE W/ ALL APPLICABLE CODES & REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE JOBSITE PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL REPORT ALL DISCREPANCIES IN THE DRAWING AND EXISTING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD IN THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS, AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK.
- THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ARCHITECT.
- ALL DETAILS AND SECTIONS SHOWN ON THE DRAWING ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- SUBSURFACE SOIL CONDITION INFORMATION IS NOT AVAILABLE. FOUNDATIONS ARE DESIGNED FOR A 2500 PSF SOIL BEARING CAPACITY. CONTRACTOR SHALL REPORT ANY DIFFERING CONDITIONS TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL INCORPORATE ALL NECESSARY LOCAL/STATE/FEDERAL BUILDING, FIRE AND HANDICAP CODES INTO THE DESIGN AND BASE PROPOSAL FOR A COMPLETE TURN-KEY PROJECT.
- PROJECT SHALL BE TURNED OVER TO TENANT IN CLEAN CONDITION W/ ALL TRASH AND DEBRIS REMOVED FROM SITE. ALL WINDOWS AND GLASS CLEAN, ALL HORIZONTAL SURFACES DUSTED AND CLEANED, AND ALL TOILET AND PLUMBING FIXTURES CLEAN AND IN GOOD WORKING ORDER.
- CONTRACTOR SHALL Haul ALL RUBBISH FROM SITE ON A REGULAR BASIS. DO NOT ALLOW TO ACCUMULATE.
- CONTRACTOR TO OBTAIN ALL PERMITS AND TO PAY FEES AND TAXES.
- DIMENSIONS INDICATED ON THE DRAWINGS IN REFERENCE TO EXISTING CONDITIONS ARE THE BEST AVAILABLE DATA OBTAINABLE, BUT ARE NOT GUARANTEED. BEFORE PROCEEDING W/ ANY WORK THAT IS DEPENDANT UPON THE DATA INVOLVED, THE CONTRACTOR SHALL FIELD CHECK AND VERIFY ALL DIMENSIONS, GRADES, LEVELS OR OTHER CONDITIONS OF LIMITATIONS AT THE SITE TO AVOID CONSTRUCTION ERRORS. IF ANY WORK IS PERFORMED BY THE CONTRACTOR OR ANY OF HIS SUBCONTRACTORS PRIOR TO ADEQUATE VERIFICATION OF APPLICABLE DATA, ANY RESULTANT EXTRA COST FOR ADJUSTMENT OF WORK AS REQUIRED TO CONFORM TO EXISTING LIMITATIONS, SHALL BE ASSUMED BY THE CONTRACTOR WITHOUT REIMBURSEMENT OR COMPENSATION BY THE OWNER.
- A DESIGNATED LOCATION FOR STORAGE OF CONSTRUCTION MATERIAL AND EQUIPMENT SHALL BE DETERMINED BY OWNER AND IDENTIFIED AT THE PRE-CONSTRUCTION MEETING.
- CONTRACTOR PERSONNEL ARE CONFINED TO AREAS OF BUILDING NECESSARY FOR COMPLETING THE WORK. FREE ACCESS TO ALL PARTS OF THE BUILDING IS NOT ALLOWED. ALL CONTRACTOR TOOL BOXES, CONTAINER, ETC. ARE SUBJECT TO OWNER'S INSPECTION CONTRACTOR IS RESPONSIBLE FOR SCHEDULING DELIVERY, RECEIVING, UNLOADING, STORING, SETTING IN PLACE, AND PROTECTING FROM DAMAGE ALL NEW EQUIPMENT BY THE CONTRACTOR. THIS SHALL ALSO APPLY TO ITEMS FURNISHED TO OWNER BY THE CONTRACTOR.

CONTINUED

- ALL WIND LOAD CALCULATIONS & DESIGN CRITERIA ARE BASED ON A "ENCLOSED" STRUCTURE. ANY BREACH OR PENETRATION, SUCH AS WINDOWS, DOORS, GARAGE DOORS, ETC. DURING STORM EVENT WILL COMPROMISE STRUCTURAL INTEGRITY.
- ALL DOOR AND WINDOW OPENINGS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION.
- ALL SHEAR WALLS MUST TRANSFER LOADS TO FLOOR JOISTS OR FOUNDATION.
- DIAPHRAGM SYSTEMS MUST BE ATTACHED TO END WALLS AND/OR SIDE WALLS.
- TRUSSES MUST BE CAPABLE OF TRANSFERRING LATERAL LOADS TO BEARING WALLS.
- TRUSSES, GIRDERS AND BEAM TIE DOWNS ARE SIZED PER UPLIFT REQUIREMENTS. ANY QUESTIONS AS TO SIZE, TYPE OR VALUE OF A WALL, STRAP OR CLIP SHOULD BE VERIFIED BY STRUCTURAL ENGINEER.
- ALL WINDOWS TO COMPLY W/ THE 2017 FLORIDA BUILDING CODE 139 MPH WIND LOAD REQUIREMENT.
- SUBCONTRACTORS SHALL VERIFY ALL APPLICABLE DIMENSIONS AND FIXTURE LOCATIONS.
- ALL INTERIOR SLABS TO HAVE STEEL TROWEL FINISH. ALL EXTERIOR SLABS TO HAVE MEDIUM BROOM FINISH. REFER TO TUBSHOWER MANUFACTURER FOR DRAIN LOCATION, PER OWNER'S SELECTION.
- ALL PLUMBING TO MEET LOCAL PLUMBING CODES.
- PROVIDE SUB-OUT FOR ICE MAKER AT REFRIGERATOR LOCATION. WINDOWS AND EXTERIOR DOORS SHALL COMPLY W/ SBC WIND LOAD REQUIREMENTS.
- USE GREENBOARD AT WET WALLS.
- PROVIDE BLOOMS AT 30" AFF IN BATHROOM WALLS ABOVE WATER CLOSET, TUBSHOWER FAUCETS AND TUB SOAP DISH FOR FUTURE GRAB BARS.
- CONTRACTOR TO PROVIDE SITE ADDRESS PER SECTION R-319 OF 2017 FBOR.
- FOAM PLASTIC MATERIALS TO MEET THE REQUIREMENTS OF THE 2017 FBOR.
- PROTECTION OF WOOD DECAY TO MEET THE REQUIREMENTS OF THE 2017 FBOR.
- PROVIDE HANDICAP ACCESSIBILITY PER SECTION R-320 OF THE 2017 FBOR.
- TERMITE TREATING AND PROTECTION TO MEET THE REQUIREMENT OF SECTION R-318 OF THE 2017 FBOR.
- FINISHED FLOOR TO MINIMUM 1" ABOVE GRADE. FINISHED FLOOR TO MINIMUM 12" ABOVE CROWN OF ROAD.
- THIS STRUCTURE MEETS THE REQUIREMENTS OF THE 2017 FBOR.

NOTE: THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE WIND LOAD REQUIREMENTS OF THE 2017 FLORIDA BUILDING CODE. REVISIONS: (P) EDITION SECTION: (R) DESIGN CRITERIA AND REVISIONS ARE: 1-18
1. WIND SPEED: 139 MPH ULTIMATE HURRICANE SPEED (WIND 139 MPH) (WIND)
2. MINIMUM CATEGORY 1 CONSTRUCTION TYPE (WIND) (WIND) (WIND) (WIND)
3. WIND EXPOSURE: CATEGORY C
4. INTERNAL PRESSURE COEFFICIENT FOR ENCLOSED BUILDINGS IS: 0.18 AND EXTERNAL WIND EXPOSURE ADJUSTMENT COEFFICIENT IS: 1.40



1 SITE PLAN
1/8" = 1'-0"

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WINTER PARK DESIGN



T.S. CHEAL
REGISTERED PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 12510
ALSO LICENSED IN THE STATE OF FLORIDA

MILLER COTTAGES
WINTER PARK

DATE	REVISION
1/18/2018	1

1
SHEET

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
August 14, 2018**

REQUEST OF THE 420 WINTER PARK LLC FOR: CONDITIONAL USE APPROVAL TO CONVERT THE EXISTING COPYTRONICS OFFICE BUILDING AT 420 S. ORLANDO AVENUE, ZONED C-3, INTO A CHILDREN'S DAYCARE FACILITY.

This public hearing involves a Conditional Use request by 420 Winter Park, LLC to renovate and convert the former Copytronics office building located at 420 South Orlando Avenue, zoned C-3, into a children's daycare facility. The C-3 zoning district allows for a daycare with a Conditional Use.

Site & Context: The site has street frontages along Orlando Avenue and along Harper Street. The site is surrounded by office and commercial properties, and is directly west of Martin Luther King, Jr. Park.

Project Proposal: The project site measures 0.73 acres (31,666-square feet) in size. The applicant is proposing to renovate and convert the former Copytronics office building into a children's daycare facility to be operated by Kiddie Academy. The approximately 14,000 square foot building will consist of 12,000 square feet of classroom space and 2,000 square feet of indoor play space. It is important to note that this will not be a "school" that has set start and end times. It is only a day-care for infants up to 4 years of age, and will have staggered arrival and departure times of children. This facility will strictly be a "non-drop-off" location meaning that all parents/guardians must park and escort their children into the facility, so no cars will be queued or waiting in drive aisles. The maximum occupancy of this facility will be 192 children ranging from infant age to four years old, and 23 staff members. The hours of operation for the daycare will be 6:30 a.m. to 6:30 p.m., Monday through Friday.

While the building footprint is not changing, the applicant is proposing to add a 2,475 square foot outdoor play area in the rear of the building. The internal circulation of the parking lot is also being reconfigured to better suit their business model. The exterior renovations of this proposal include a building façade enhancement, retrofit of the existing pole sign, internal traffic circulation modifications, and landscaping improvements to the property. Additionally, onsite retention will be added which does not currently exist.

The project is proposing a five-foot tall, decorative aluminum fence around the outdoor playground perimeter to provide safety for the children using the playground. A variance is needed for the portion setback five feet from the Harper Street frontage since it is within the front setback and exceeds the maximum four foot height restriction along street frontages. Staff understands the necessity for this fence and does not have any issues with this variance, especially with the landscape buffer shown.

Parking: There are currently 42 parking spaces on this site. With the internal circulation upgrades as previously mentioned, 10 spaces are being removed, bringing the total to 32

parking spaces onsite. Four bicycle parking spots are also being provided at the front of the building. The City's parking code lumps traditional kindergartens and daycares into the same category for parking requirements which is one parking spot for every employee plus sufficient off-street space for the safe and convenient loading and unloading of students. In this case, the loading and unloading will be done in a parking space. As mentioned, the maximum occupancy of this facility will be 192 children and 23 staff members.

The applicants have provided a trip generation summary as well as a comparison of one of their existing centers in Clermont. Their analysis states that approximately 30% of the children enrolled at their centers are from multiple sibling households and arrive together. At their Clermont location, which has a capacity of 138 students and is fully-enrolled, the peak hours of operation are from noon to 2:00 pm. The analysis showed that during the peak hours only 23 parking spaces were used. The Winter Park location will be 26% larger in occupancy size and through extrapolation, they determined that during the peak hours only 29 parking spaces will be occupied, with three spaces to spare. The average time each parent/guardian spends to escort the children in/out of the facility is approximately two to three minutes, so there is high turn-over on these parking spaces during peak hours.

Staff is concerned with the parking analysis of this facility. At the worst case scenario if all 23 staff members were occupying a parking space, only nine spaces are left for drop-offs and pick-ups. The applicant has assured the City staff that the parking supplied at this facility is sufficient for their business model, and there will not be any parents/guardians blocking the entrance from Orlando Avenue waiting for a parking space. If this worst case scenario were to surface in the future, there exists the potential for the daycare to lease parking spaces across the street at the softball field in MLK, Jr. Park during their peak hours of operation since during those hours the softball field is not in use and those parking spaces remain empty.

Traffic/Mobility Impacts: In terms of access to the site, the applicant is proposing to eliminate one of the two curb cuts that currently exist along Orlando Avenue for access to the site. Eliminating curb cuts along major thoroughfares is a positive redevelopment tool, and staff commends the applicant for doing this. This then creates one access point from Orlando Avenue with a right-turn only sign for existing purposes, and an exit only point to Harper Street. The applicant stated that this circulation pattern works best for their business model.

The Trip Generation Memorandum supplied by the applicant states that this facility will add 715 more trips to Orlando Avenue, which is significantly more than the former single-tenant office use. However, staff notes that those 715 trips, include both trips to the facility and leaving the facility to drop-off and both trips to the facility and leaving the facility to pick-up the children. Breaking down the reasoning behind those 715 trips, it is evident that this type of facility automatically gets double the trip count because of the drop-off and come back to pick-up nature of a daycare. Staff feels that the increase in trips from the proposed daycare use is not significantly more impactful than the traffic generation of what could be built by-right on the property today.

Landscaping: The applicant has provided a landscape plan that meets the City code. Currently, no landscaping exists at the entrance to this site so the added landscaping will be a welcomed edition to the Orlando Avenue frontage.

Building Architecture & Signs: The applicant is planning to make façade enhancements to the existing building to make it more visually appealing and look less like an office building. They are also retrofitting the existing pylon sign with similar materials that are proposed for the building façade. Staff is more favorable of monument signs versus 25 foot tall pylon signs, however, there is no requirement in the code for monument signs. The added landscaping around the pylon sign will help the aesthetics of the sign. A typical wall sign is also included in the application package that will be internally illuminated, which at final design will be required to meet Code.

Stormwater Retention: This site currently has no onsite stormwater retention. The proposed plans include new stormwater swales throughout the site which will retain the first 0.8 inches of stormwater. While this is an added benefit to the property, the Code requirement is one inch. Since these drainage plans are not final engineered drawings, staff notes that the Public Works department has conveyed to the applicant the Code requirements, and the final drawings can be approved by the Public Works department at the building permit stage.

Summary: This application package is intended to provide the detail needed both for the "preliminary" and "final" Conditional Use approvals. Aside from the Public Works comment regarding stormwater retention previously mentioned, the applicant has provided sufficient detail for a final Conditional Use.

The most important factor in criteria for reviewing Conditional Use requests is "compatibility". The proposed use of this site as a daycare, without the traditional drop-offs/pick-ups that come with a regular school that create significant queuing, is compatible with the surrounding properties. The site is surrounded by other commercial and office uses. The usual residential neighbor concerns that come with daycare uses are not present in this case.

STAFF RECOMMENDATION IS FOR APPROVAL

420 S. Orlando Avenue Winter Park 32789 – Former Copytronics Building

City of Winter Park Final Conditional Use Application Package – Proposed Daycare in Winter Park

June 29, 2018

Prepared by: 420 Winter Park, LLC





Introduction

This application serves as the final application by 420 Winter Park, LLC ("Owner") for the conditional use permit for a daycare facility at the former Copytronics building located at 420 S. Orlando Avenue Winter Park, FL 32789, and containing an indoor/outdoor playground. The proposed tenant, A15 Investments, LLC ("Tenant") is a successful multi-unit operator of Kiddie Academy locations in the Orlando area. Kiddie Academy Educational Child Care has approximately 200 existing locations in 26 states, with 250 anticipated by year end. They have a strong commitment to quality child care with programs that meet or exceed all state standards to prepare young children for school and life. Their website is www.kiddieacademy.com.

The re-tenanting of the building will include substantial façade, architectural, and landscaping improvements to the property. Additionally, there is currently no on-site retention. The re-tenanting plan includes a reduction in impervious land, as well as a proposed increase of on-site water retention of 0.8" and increasing water quality.

Pursuant to corporate policy, the facility will strictly be a non-drop-off location. All parents/guardians must park and escort their children into the facility, so no cars will be queued or waiting in drive aisles. The tenant would service the unmet childcare demands that currently exist in the City of Winter Park, as opposed to another retail or office use which is abundant in the immediate area and would be permissible per the zoning code. The Tenant intends on signing a long-term lease for the full building, illustrating their commitment to the area. The re-tenanting of the property will not change the building footprint and will have less of an impact on traffic than a retail or office use.

The following page contains a letter from Kiddie Academy corporate outlining their drop-off policy and suggested parking needs.



June 1, 2018

City of Winter Park
Planning & Community Development
401 South Park Avenue
Winter Park, FL 32789

Dear Sir or Madam

Kiddie Academy has a strict corporate policy that all parents must walk their child into the school, sign in through electronic security, and walk their child to the classroom. During pick-ups, the parent must again sign out and pick their child up from the classroom. At no time can any parent just drop their child off at the door. This policy will be enforced at the proposed Winter Park facility with no exceptions.

Kiddie Academy's parking requirements consist of adequate parking for drop-off and pick-up at the center. Given the staggered arrivals and departures of children on the site, we typically require 5-10 parking spaces.

Sincerely,

Kiddie Academy Domestic Franchising, LLC.

A handwritten signature in blue ink, appearing to read "Deborah A. Haney".

Deborah A. Haney, Senior Real Estate Manager



Section I: General Information

Name of Development: Kiddie Academy Educational Childcare Daycare (non-drop-off) Re-tenanting of Former Copytronics Building – 420 S. Orlando Ave, Winter Park, FL 32789

Legal Description: LAKE ISLAND ESTATES M/95 LOTS 5 6 & 7 (LESS W 10 FT FOR RD) & LOTS 17 & 18 BLK 5

Folio Number: 01-22-29-4512-05-050

Acreage: 0.73 Acres

Scale: Per survey, 1" = 20'

North Arrow: See survey

Existing Zoning: Commercial (C-3) District. Prior use was for an office / retail showroom for Copytronics, a copy machine business. Property is currently vacant.

Preparation Date: June 28, 2018

100 Year Flood Plain Elevation: Flood Zone X. See attached survey, flood map, and zoomed-in flood map.

Section II: Application, Application Fee, Name, Addresses, and Phone Numbers

Owner: 420 Winter Park, LLC

Owner's Authorized Agents:

Jason Glaser (jason@tcicapital.com 786.282-9841)

John Strzalka (john.strzalka@gmail.com 954.654-0632)

Spencer Enslein (spencer@tcicapital.com 305.792-5760)

Ownership entity is a preferred developer of Kiddie Academy in Central Florida, with developments underway in Oviedo, Sanford, & Lakeland.

Civil Engineer: Kimley-Horn and Associates, Inc.

Regan O'Laughlin, PE (Regan.OLaughlin@kimley-horn.com 407.427-1611)

Architect: Eleven18 Architecture, PL

Neke White (NWhite@eleven18architecture.com 407.416-9965)

Madeline Rodriguez (mrodriguez@eleven18architecture.com 407.985-5173)

Legal: Lowndes, Drosdick, Doster, Kantor & Reed, P.A

M. Rebecca Wilson (rebecca.wilson@lowndes-law.com 407.418.6250)

Surveyor: AEI Consultants

Bryan Hogan (BHogan@aeiconsultants.com 954.295.0388)

420
Winter Park
LLC

Section III: Vicinity Map



Section IV: Existing Conditions Survey

(See Attached)

TITLE COMMITMENT INFORMATION

THE PROPERTY HEREON DESCRIBED IS THE SAME AS THE PERTINENT PROPERTY AS DESCRIBED IN OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT FILE NO.: 563613, WITH AN EFFECTIVE DATE OF MARCH 6, 2018.

LEGAL DESCRIPTION

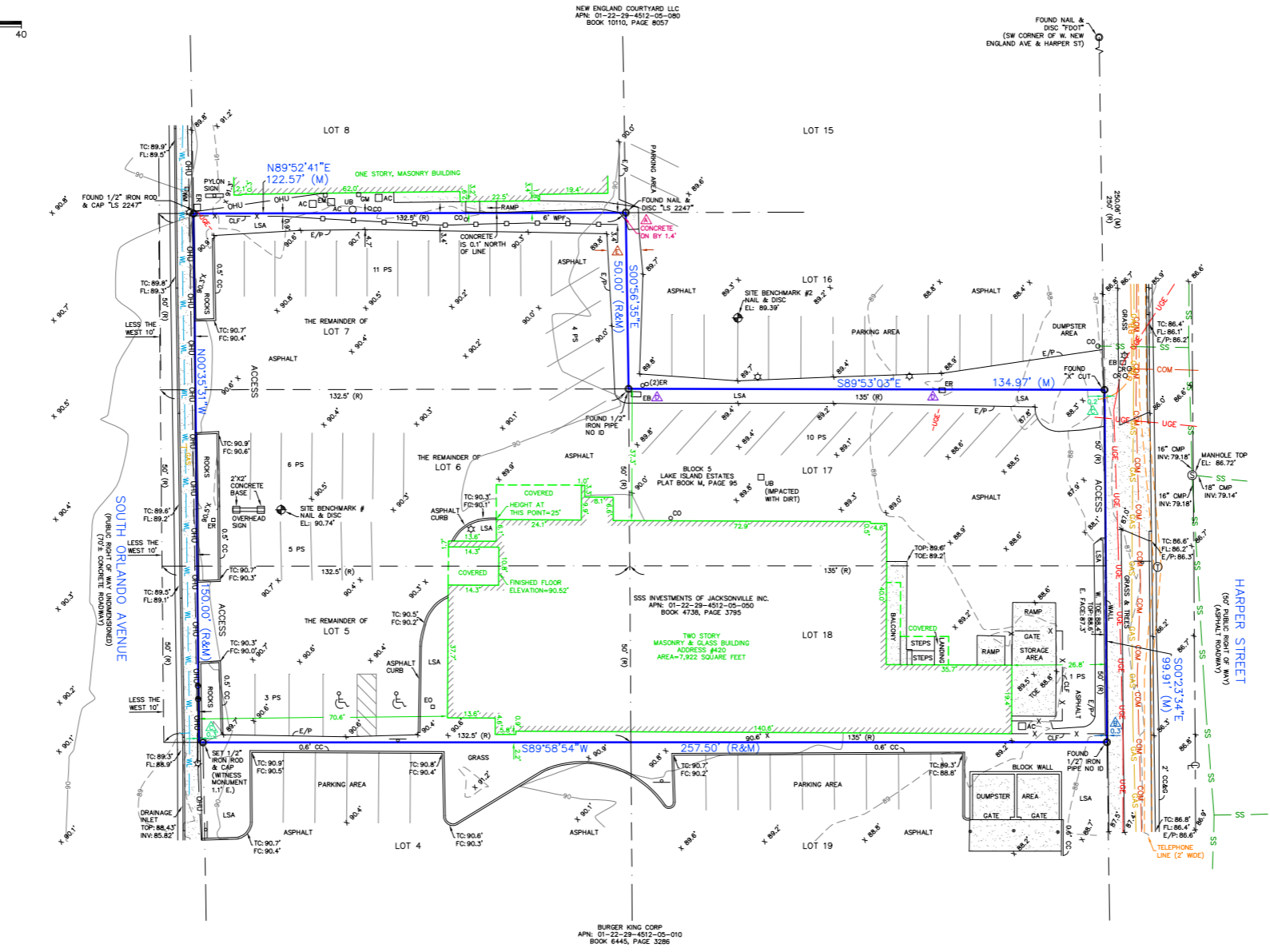
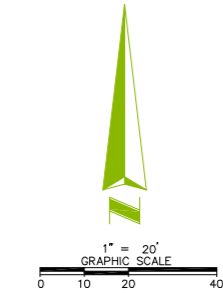
LOTS 5, 6, 7, LESS THE WEST 10 FEET THEREOF FOR ROAD RIGHT-OF-WAY, AND ALL OF LOTS 17, AND 18, BLOCK 5, LAKE ISLAND ESTATES, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK M, PAGE 95, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

NOTES CORRESPONDING TO SCHEDULE B

ALL MATTERS CONTAINED ON THE PLAT OF LAKE ISLAND ESTATES, AS RECORDED IN PLAT BOOK M, PAGE 95, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA (AFFECTS SUBJECT PROPERTY, NOTHING TO PLOT)

STATEMENT OF ENCROACHMENTS

- CONCRETE SIDEWALK CROSSES INTO SUBJECT PROPERTY BY AT MOST, 1.4'.
WALL CROSSES INTO RIGHT OF WAY BY AT MOST, 0.3'.
CONCRETE SIDEWALK CROSSES INTO SUBJECT PROPERTY BY AT MOST 0.3'.
UTILITY ON PROPERTY WITHOUT THE BENEFIT OF AN EASEMENT.
TIRE TRACKS IN DIRT INDICATE THAT THIS AREA HAS BEEN USED FOR INGRESS/EGRESS BETWEEN PROPERTIES.



- LEGEND
- AC AIR CONDITIONER
APN ASSESSOR'S PARCEL NUMBER
CC CONCRETE CURB
CC&G CONCRETE CURB & GUTTER
CLF CHAINLINK FENCE
CMP CORRUGATED METAL PIPE
CO CLEAN OUT
CR CABLE RISER
EB ELECTRIC BOX
EL ELEVATION
EM ELECTRIC METER
EO ELECTRIC OUTLET
E/P EDGE OF PAVEMENT
ER ELECTRIC RISER
FC FACE OF CURB
FL FLOW LINE
ID IDENTIFICATION
INV INVERT
LSA LANDSCAPE AREA
EM MEASURED
PS PARKING SPACES
RECORD RECORD
TC TOP OF CURB
UB UTILITY BOX
WPF WOOD PANEL FENCE
- BOLLARD
CENTERLINE
CONCRETE SURFACE
GUY ANCHOR
HANDICAP PARKING SPACE
LIGHT POLE
NO PARKING AREA
OVERHEAD UTILITY LINE
SANITARY MANHOLE
SPOT ELEVATION
SIGN
SURFACE INDICATIONS OF UNDERGROUND UTILITY
CABLE LINE
ELECTRIC LINE
GAS LINE
SANITARY SEWER LINE
- COM CONCRETE
UGE UTILITY EGRESS
GAS GAS
SS SANITARY SEWER

VICINITY MAP
NOT TO SCALE

SHEET 1 OF 1

LAND AREA
31,925± SQUARE FEET
0.733± ACRES

PARKING
REGULAR= 40
HANDICAP= 2
TOTAL= 42
SEE NOTE 15

FLOOD INFORMATION

FLOOD NOTE: BASED ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AVAILABLE ONLINE AT WWW.FEMA.GOV AND BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" ON FLOOD INSURANCE RATE MAP NUMBER 12095C0255F, WHICH BEARS AN EFFECTIVE DATE OF 09/25/2009 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. BY REVIEWING FLOOD MAPS PROVIDED BY THE NATIONAL FLOOD INSURANCE PROGRAM WE HAVE LEARNED THIS COMMUNITY DOES PARTICIPATE IN THE PROGRAM.

BEARING BASIS

BEARINGS SHOWN HEREON ARE ASSUMED.

- GENERAL NOTES
- ONLY ABOVE GROUND UTILITIES OR SURFACE INDICATIONS OF UNDERGROUND UTILITIES ARE SHOWN ON THIS SURVEY. THERE MAY BE OTHER UNDERGROUND UTILITIES WHICH HAVE NOT BEEN SHOWN BECAUSE THEY WERE NOT MARKED.
 - ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
 - THIS SURVEY MEETS OR EXCEEDS THE SURVEY STANDARDS/STANDARDS OF CARE AS SET FORTH IN SECTION 5 OF THE 2016 ALTA/NSPS SURVEY REQUIREMENTS.
 - THE SUBJECT PROPERTY HAS DIRECT PHYSICAL ACCESS TO SOUTH ORLANDO AVENUE & HARPER STREET, BOTH OF WHICH ARE DEDICATED PUBLIC STREETS OR HIGHWAYS.
 - THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.
 - THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
 - THE PARCELS CONTAINED IN THE LEGAL DESCRIPTION ARE CONTIGUOUS WITHOUT ANY GAPS, GORES OR OVERLAPS.
 - BUILDING AREAS SHOWN HEREON ARE FOR THE FOOTPRINT OF THE BUILDING ONLY.
 - NO APPARENT CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
 - NOT VALID WITHOUT THE SIGNATURE AND THE SEAL OF THIS LICENSED SURVEYOR AND MAPPER. ADDITIONS AND DELETIONS TO SURVEY MAPS, SKETCHES, OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - NO ATTEMPT WAS MADE TO DETERMINE WETLANDS OR OTHER ENVIRONMENTAL ISSUES, UNLESS OTHERWISE NOTED.
 - TREES WERE NOT REQUESTED AS A PART OF THIS TOPOGRAPHY.
 - ELEVATIONS ARE BASED ON GLOBAL NAVIGATION SYSTEM SATELLITE OBSERVATION USING THE REAL TIME KINEMATIC NETWORK KNOWN AS L-NET, BY LENGEMANN.
 - CONTOUR INTERVAL IS 1'.
 - PARKING STRIPES ARE EXTREMELY FADED. STRIPES ARE SHOWN IN THEIR APPROXIMATE LOCATION. PARKING COUNT IS APPROXIMATE.

ALTA/NSPS LAND TITLE SURVEY & TOPOGRAPHY

AEI JOB #385987
COPYTRONICS
420 SOUTH ORLANDO AVENUE
WINTER PARK ORANGE COUNTY FLORIDA

SITE PICTURE



COORDINATED BY
AEI CONSULTANTS
AEI CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA, 94597
TELEPHONE: 925.746.6000
EMAIL: SURVEYS@AEICONSULTANTS.COM

SURVEYOR'S CERTIFICATE

TO: RRA CAPITAL MANAGEMENT, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND/OR ASSIGNS; 420 WINTER PARK, LLC A FLORIDA LIMITED LIABILITY COMPANY; SSS INVESTMENTS OF JACKSONVILLE, INC. A FLORIDA CORPORATION; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; ADAMS & REESE LLP.

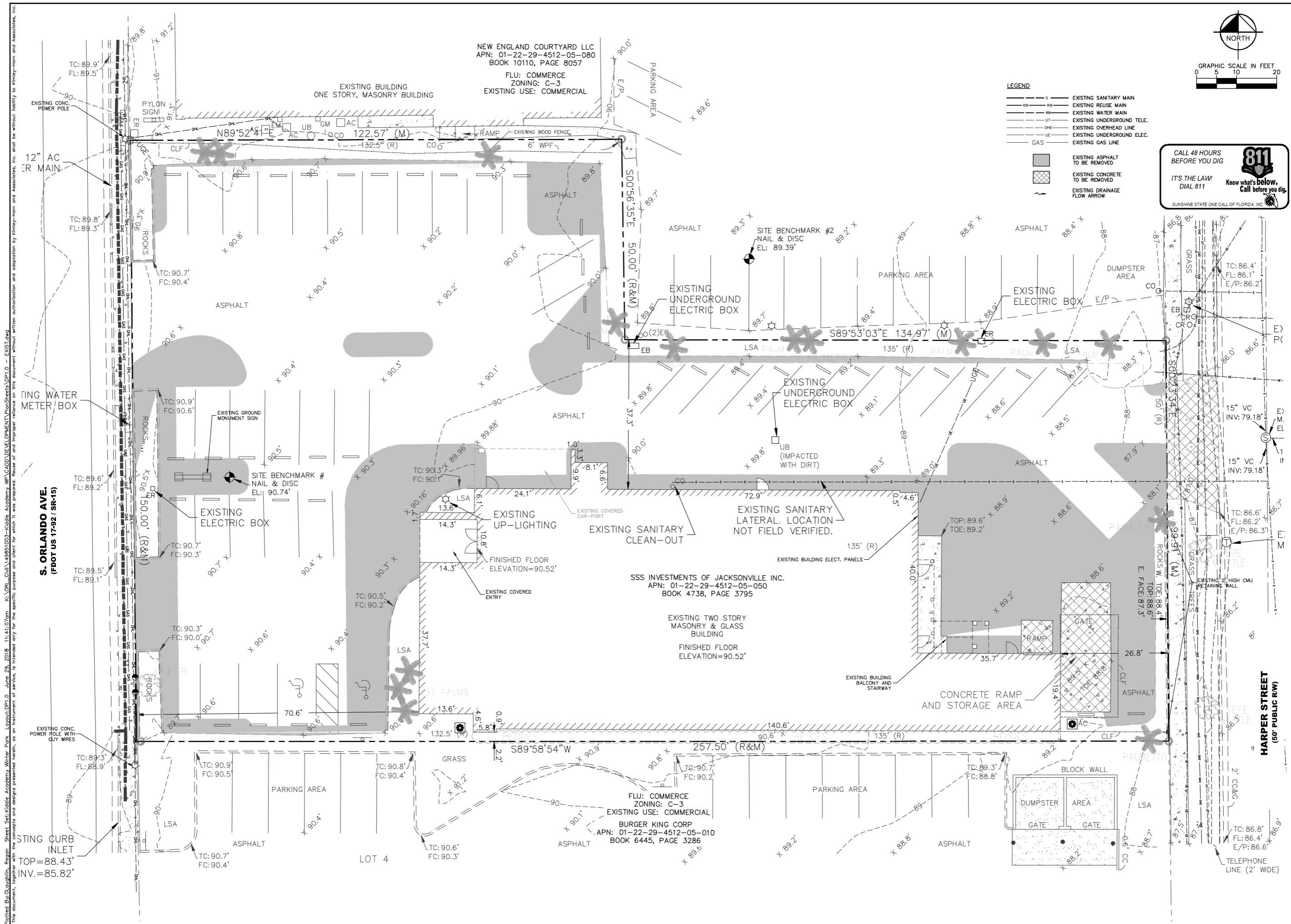
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(c), 7(d)(1), 7(c), 8, 9, 13, 14, 16, AND 17 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 03/29/2018. DATE OF PLAT OR MAP: 03/30/2018.


IdenTru
st ACES
CA 2

Benjamin S. DeViese
6807
STATE OF FLORIDA
MAY 29, 2018

REGISTERED SURVEYOR: BENJAMIN S. DEVIESE
PROFESSIONAL LAND SURVEYOR NO.: 6807
DATE

SURVEYED BY	DATE	REVISION HISTORY	BY	SURVEYOR JOB NUMBER:
ALTA PRO SURVEYORS				180312
1322 PINE SONG DRIVE DELTONA, FLORIDA 32725 E-MAIL: LS6807@HOTMAIL.COM WEB: ALTA PRO SURVEYORS.COM				SCALE: 1" = 20'
				DRAWN BY: BD
				APPROVED BY: BJM



 KIDDIE ACADEMY. EDUCATIONAL CHILD CARE		CITY OF WINTER PARK FLORIDA	
DEVELOPMENT PLAN EXISTING CONDITIONS			
KHA PROJECT DATE 6-29-2018 SCALE AS SHOWN DESIGNED BY RJO DRAWN BY RJO CHECKED BY		LICENSED PROFESSIONAL REGAN O'LAUGHLIN, P.E. FLORIDA LICENSE NUMBER 65432 DATE:	
Kimley»»Horn © 2018 KIMLEY-HORN AND ASSOCIATES, INC. 189 S ORANGE AVE, SUITE 1000, ORLANDO, FL 32801 PHONE: 407-898-1511 WWW.KIMLEY-HORN.COM CA 0000696		No. REVISIONS BY DATE	



Section V: Proposed Development Plan

Location: 420 S. Orlando Avenue, Winter Park, FL 32789

Dimensions & Height: Existing building envelope to remain the same. Building height is 90.52 feet.

Proposed Use: Kiddie Academy Educational Child Care

Gross Floor Area: +/-14,112 (7,196 square-foot first floor; 6,916 square-foot second floor). Proposed Kiddie Academy to have +/-13,000 square-feet of interior classroom and playground space with +/-4,300 square-feet of indoor and outdoor play area.

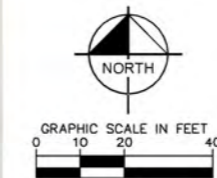
Preliminary Architectural Elevations: See following page



Proposed Fences or Walls: Five-foot Aluma-Guard Fencing for playground area; four-foot Aluma-Guard fencing for first floor classroom areas that have emergency door exits. All exterior fencing includes steel bollards for additional protection from traffic. Images are from existing Apopka, FL location:



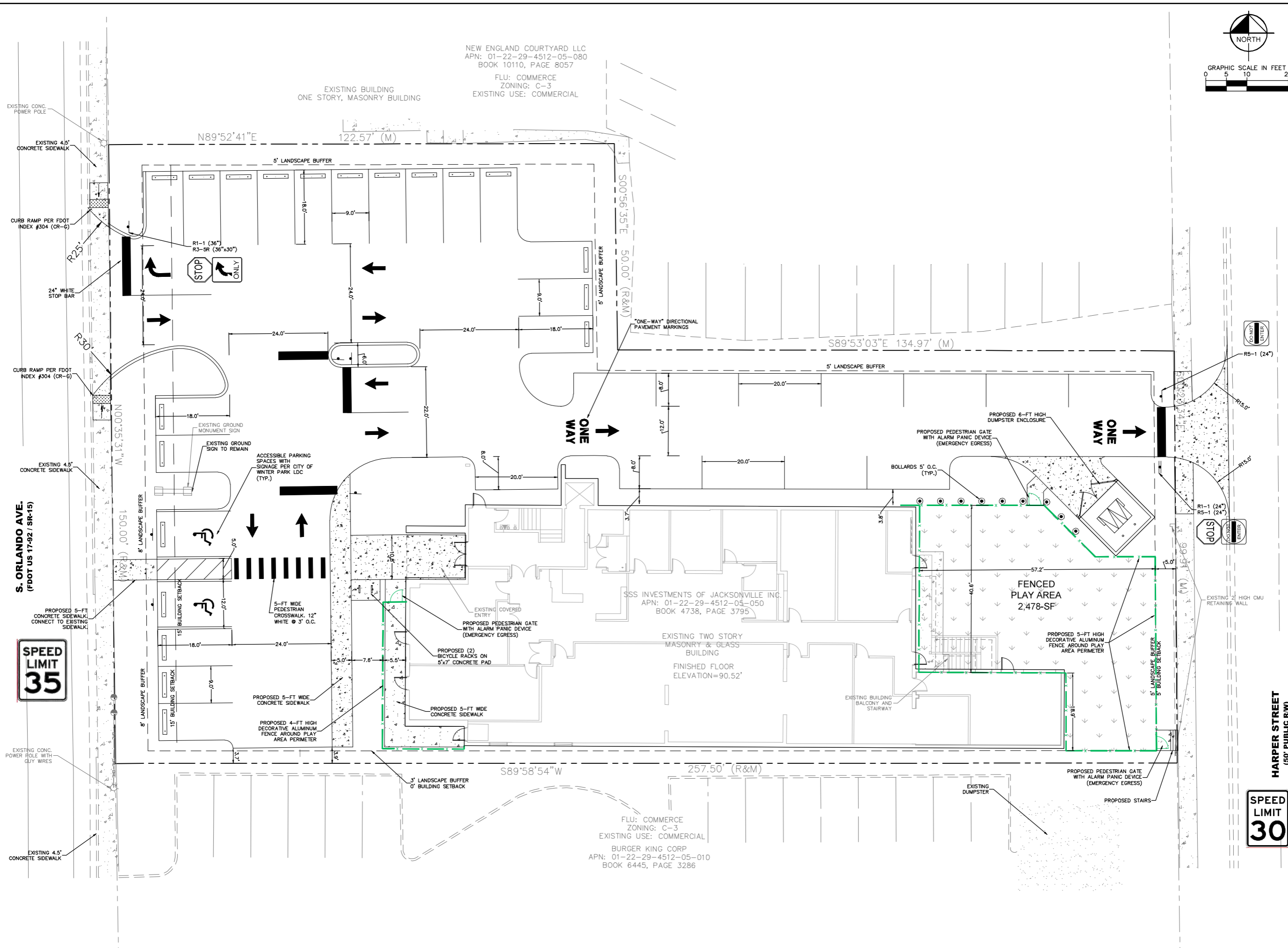
Required yards, setbacks, buffers / Proposed onsite vehicular circulation system / Driveways, approaches, & curb cuts / Vehicular access points, access ways, & common vehicular access points / Other vehicular use areas / Sidewalks & other Pedestrian use areas: Refer to site plan on following page.



100-YEAR FLOOD PLAIN:
NOT APPLICABLE. THE SUBJECT PROPERTY IS LOCATED OUTSIDE THE 100-YEAR FLOODPLAIN, IN ITS ENTIRETY. "ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FEMA FIRM PANEL 12095C0255F, DATED SEPT. 25, 2009.

BICYCLE RACKS
FOUR (4) BICYCLE SPACES (2 RACKS) ARE PROPOSED TO BE PROVIDED ON-SITE

SHEET NUMBER
DP2.0



HARPER STREET
(50' PUBLIC R/W)

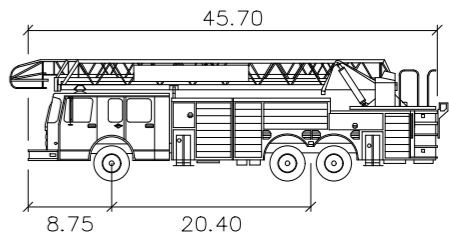
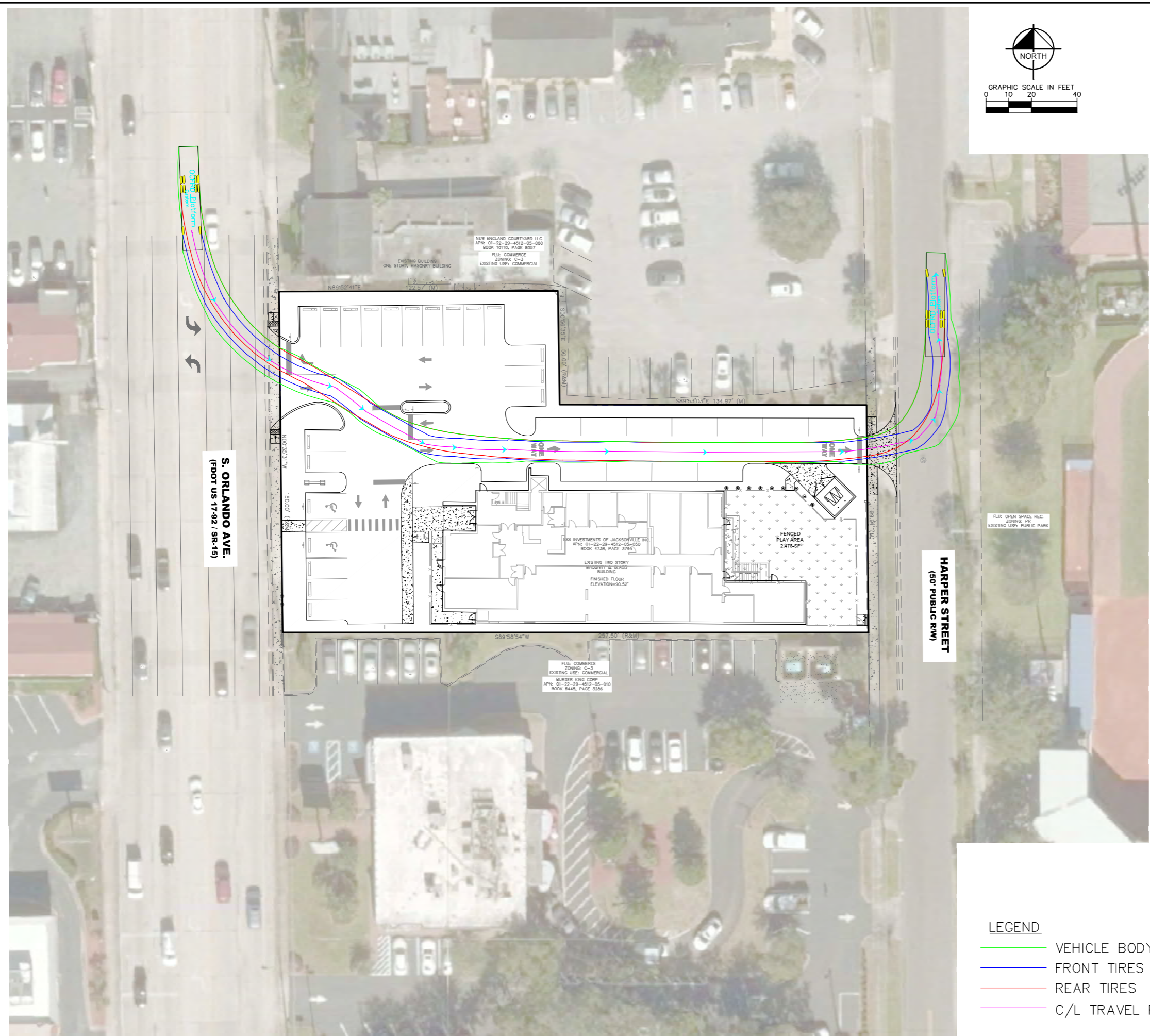
KIDDIE  **ACADEMY.**
EDUCATIONAL CHILD CARE
AT WINTER PARK

DEVELOPMENT PLAN SITE PLAN

LICENSED PROFESSIONAL
REGAN O'LAUGHLIN, P.E.
FLORIDA LICENSE NUMBER
68432
DATE: _____

Kimley»Horn
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189 S ORANGE AVE., SUITE 1000, ORLANDO, FL 32801
PHONE: 407-898-1511
WWW.KIMLEY-HORN.COM CA 0000696

[illegible]



OCFRD Platform

Width	: 8.33'
Track	: 8.33'
Lock to Lock Time	: 6.0
Steering Angle	: 44.2°
Min. Centerline Radius	: 29'

DEVELOPMENT PLAN FIRE TRUCK ROUTING PLAN

KIDDIE **ACADEMY,™**
EDUCATIONAL CHILD CARE

CITY OF WINTER PARK
FLORIDA

LICENSED PROFESSIONAL

FLORIDA LICENSE NUMBER
68432

TE:

Kim|ev»Horn

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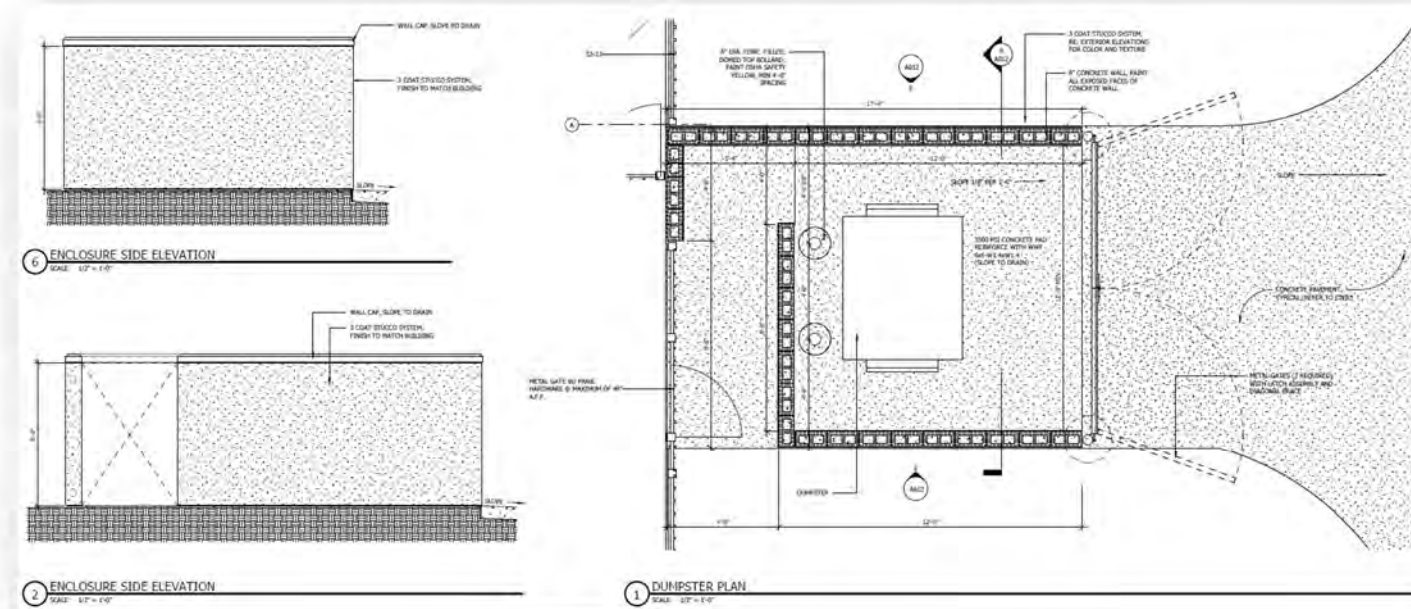
ORANGE AVE, SUITE 1000, ORLANDO, FL 32801
PHONE: 407-898-1511

WWW.KIMBLE-FURN.COM CA 00000390

[illegible]

Waste Removal Receptacles:

Please refer to proposed site plan on prior page for locations. Below are typical dumpster enclosure plans, per Kiddie Academy prototype:



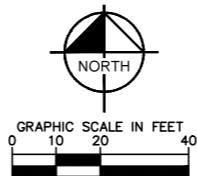
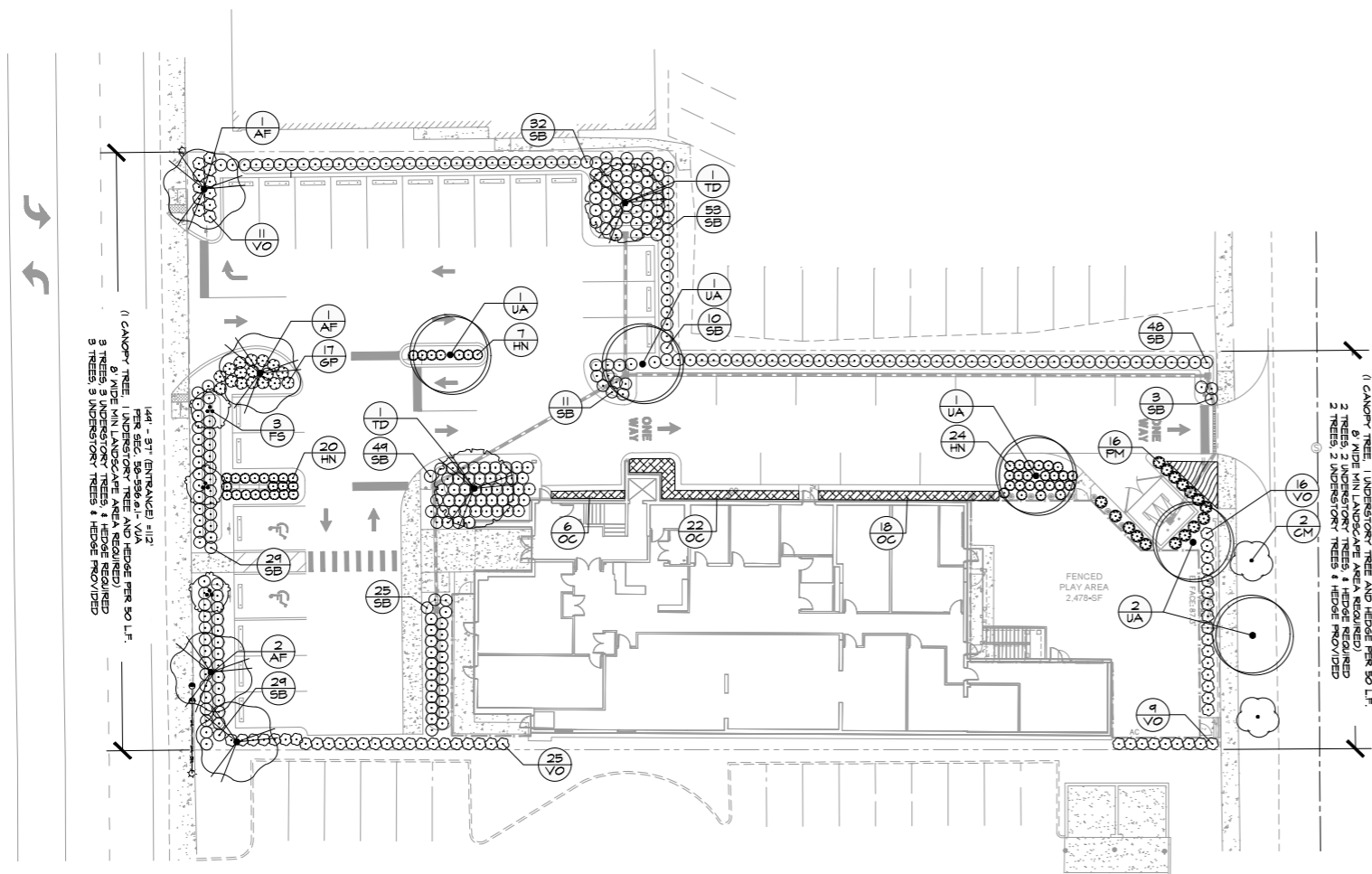
Existing dumpster enclosure for Apopka, FL Kiddie Academy Site:















Section VI: Landscaping Plan: Please refer to the following two pages.

Section VII: Existing Tree Protection: Please refer to the proposed site plan on the prior page.





PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	GAL	SIZE
	AF	4	ACER RUBRUM 'FLORIDA FLAME' STRAIGHT, SINGLE LEADER, FULL, FL #1	FLORIDA FLAME RED MAPLE	F6	3' GAL MIN	12' HT., 5' SPR.
	CM	2	EXISTING GRAPE MYRTLE		-	-	-
	FS	3	FORESTIERA SEGREGATA MULTI-TRUNK, 5 TRUNK MINIMUM, FULL, FL #1	FLORIDA PRIVET	F6	5' GAL. TOT.	14' HT., 6' SPR.
	TD	2	TAXODIUM DISTICHUM STRAIGHT, SINGLE LEADER, FULL, FL #1	BALD CYPRESS	F6	4' GAL MIN	12' HT MIN
	UA	5	ULMUS ALATA STRAIGHT, SINGLE LEADER, FULL, FL #1	WINGED ELM	F6	3.5' GAL MIN	12' HT., 6' SPR.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	GP	17	GARDENIA JASMINOIDES 'PROSTRATA' FULL	DWARF GARDENIA	3 GAL	36" OC	18" FULL
	HN	51	HAEMELIA NODOSA FULL	DWARF FIREBUSH	3 GAL	30" OC	24" FULL
	PM	16	PODOCARPUS MACROPHYLLUS FULL	YEM PINE	7 GAL	48" OC	36" FULL
	SB	288	SPARTINA BAKERI FULL	SAND CORD GRASS	3 GAL	36" OC	24" FULL
	VO	61	VIBURNUM ODORATISSIMUM FULL	SWEET VIBURNUM	3 GAL	36" OC	24" FULL
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
	AA	20	ASAPANTHUS AFRICANUS FULL	LILY OF THE NILE	3 GAL	12" FULL	24" OC
	OC	46	OSMUNDA CINNAMOMEA	CINNAMON FERN	3 GAL	18" FULL	30" OC

LANDSCAPE NOTES:

3. ALL LANDSCAPE MATERIAL TO BE FLORIDA GRADE #1 OR BETTER QUALITY.
2. ALL LANDSCAPED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
3. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
4. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
6. ALL PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES. THE LOCATION OF ALL EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE WARRANTY PERIOD.
11. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
12. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR WARRANTY PERIOD. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS DURING THE NORMAL PLANTING SEASON.
13. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
14. ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES, AND SHALL BE FLORIDA NO. 1 OR BETTER AS GIVEN IN 'GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS I AND II,' STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
15. ALL INVASIVE / EXOTIC SPECIES AND PROHIBITED TREE SPECIES SHALL BE REMOVED FROM SITE, INCLUDING ROOT BALLS TO THE EXTENT POSSIBLE WITH NO DAMAGE TO ADJACENT EXISTING TREES.
16. ALL LANDSCAPE AREAS WILL BE PROVIDED WITH PERMANENT AUTOMATIC IRRIGATION SYSTEM.
17. TREE SUPPORT MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS "ESTABLISHED" (AS APPROVED BY THE LANDSCAPE ARCHITECT).
18. ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PRODUCE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.

SECTION 58-336.E.

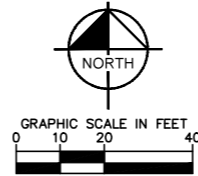
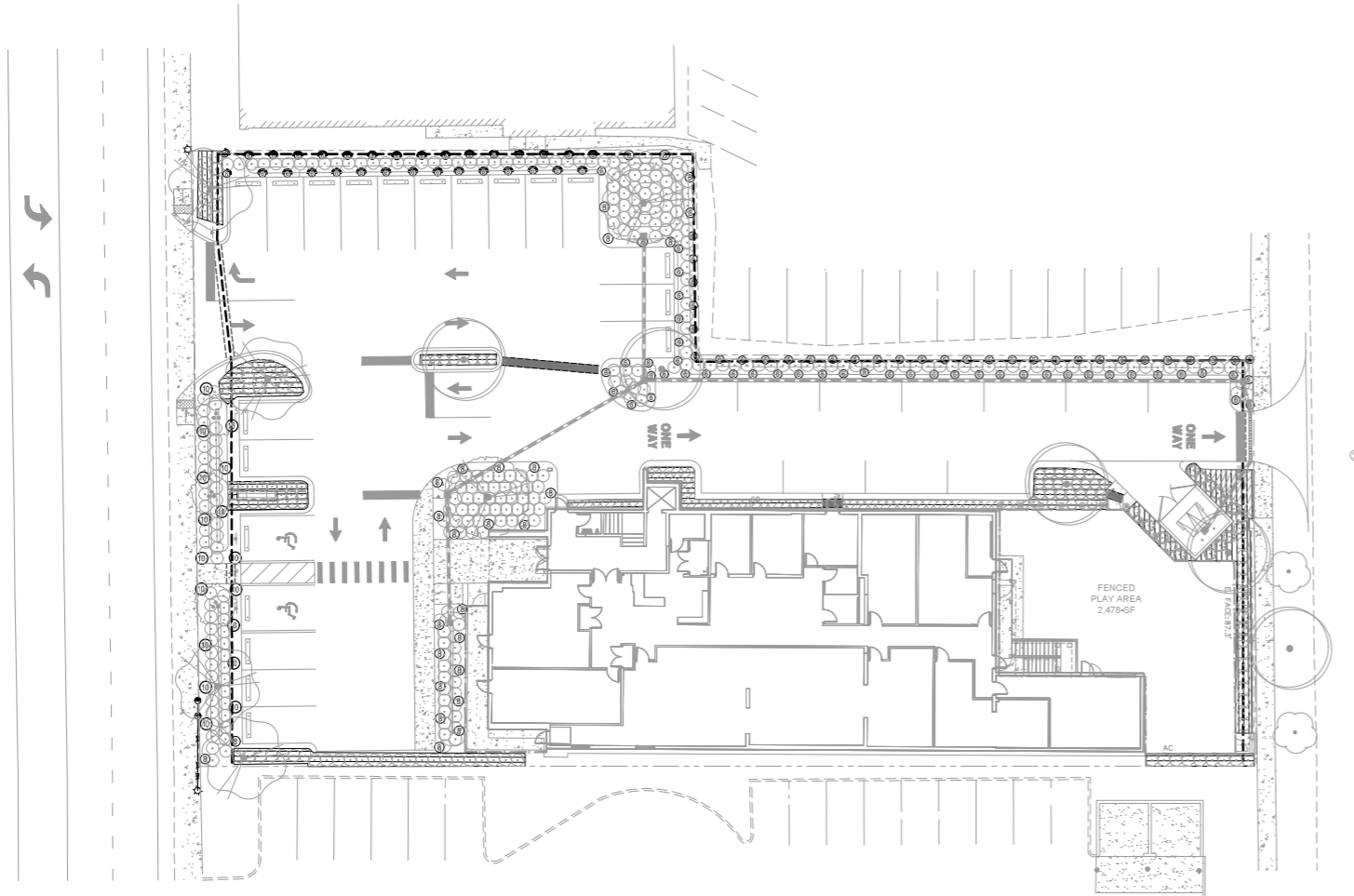
VIA ADJACENT TO R.O.M. SHALL PROVIDE A LANDSCAPED AREA A MINIMUM OF EIGHT FEET IN WIDTH AND SHALL CONSIST OF 1 HEDGE, 1 CANOPY TREE, AND 1 UNDERSTORY TREE PER 50 L.F.

	<u>REQUIRED</u>	<u>PROVIDED</u>
CANOPY TREE	3	3
UNDERSTORY TREE	3	3






SECTION 58-336.E.3

SECTION 58-336.E.3
THE V.U.A. SHALL CONTAIN INTERIOR LANDSCAPE AREAS THAT ACCOUNT FOR A MINIMUM OF 7.5% OF THE V.U.A.

	<u>REQUIRED</u>	<u>PROVIDED</u>
VUA: 13,880 SF	1,041 SF	1,554 SF



IRRIGATION SCHEDULE

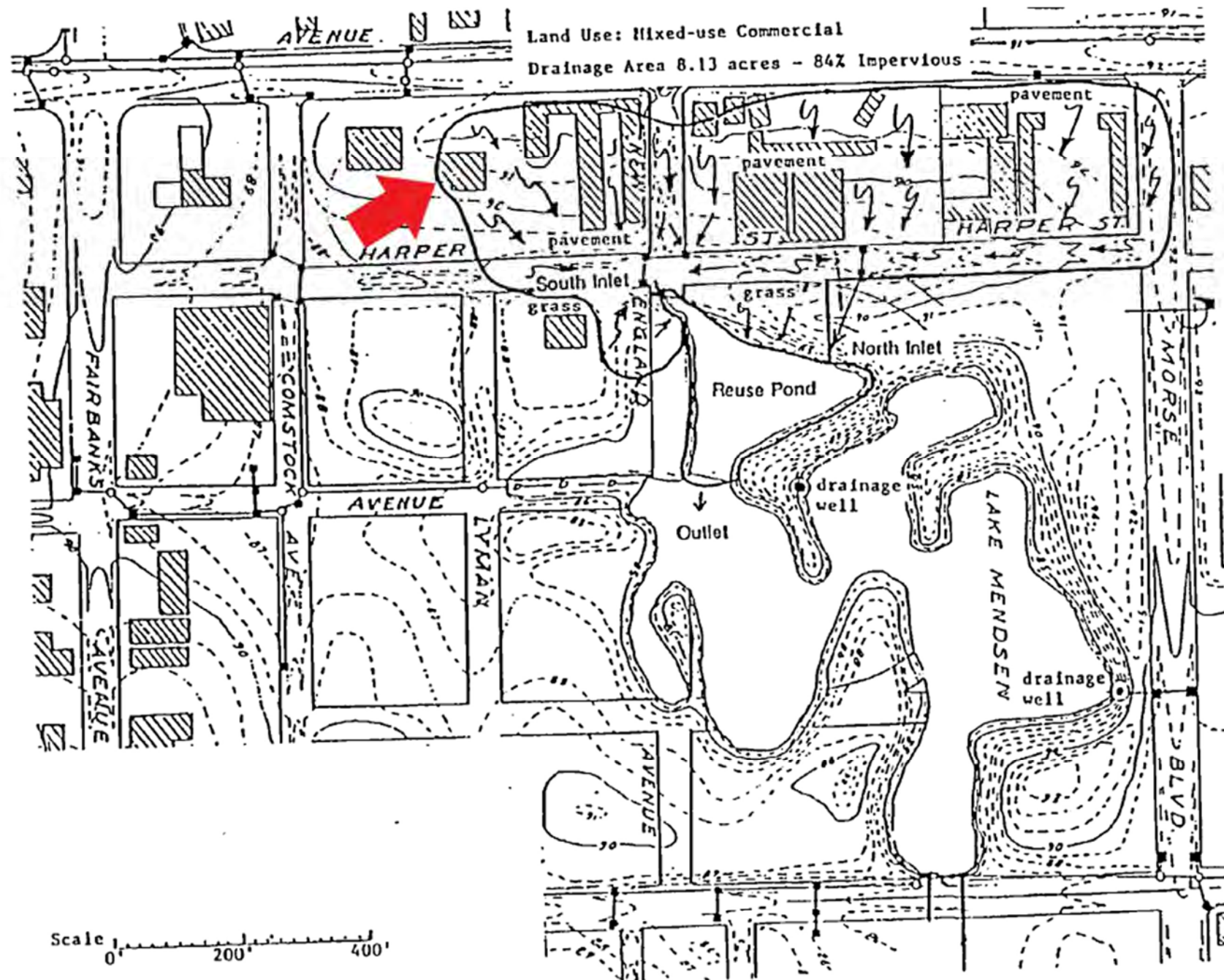
<u>SYMBOL</u>	<u>MANUFACTURER/MODEL/DESCRIPTION</u>	<u>QTY</u>	<u>PSI</u>
 20 2H 40 4H 8Q 8H	HUNTER PROS-12-PR540-CV-R SHORT RADIUS NOZZLES SHUR SPRAY, 40PSI REGULATED 12" POP-UP, DRAIN CHECK VALVE, FACTORY-INSTALLED RECLAIMED BODY CAP	31	40
 20 2H 40 4H 8Q 8H	HUNTER PROS-12-PR540-CV-R ADJ. SHUR SPRAY 40PSI REGULATED 12" POP-UP, DRAIN CHECK VALVE, FACTORY-INSTALLED RECLAIMED BODY CAP	120	40
<u>SYMBOL</u>	<u>MANUFACTURER/MODEL/DESCRIPTION</u>	<u>QTY</u>	
	AREA TO RECEIVE DRIPLINE NETAFIM OMBRAM-04-12 (12) BIOLINE PRESSURE COMPENSATING LANDSCAPE DRIPLINE. 0.6PSI EMITTERS AT 12'0" O.C. DRIPLINE LATERALS SPACED AT 12'0" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN.	1,619	L.F.
<u>SYMBOL</u>	<u>MANUFACTURER/MODEL/DESCRIPTION</u>	<u>QTY</u>	
	IRRIGATION MAINLINE, PVC SCHEDULE 40	5,475	L.F.
	PIPE SLEEVE, PVC CLASS 200 TYPICAL PIPE SLEEVE FOR IRRIGATION PIPING. PIPE SLEEVE SIZE SHALL ALLOW FOR IRRIGATION PIPING AND THEIR RELATED COUPLINGS TO EASILY SLIDE THROUGH SLEEVING MATERIAL. EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION.	31.7	L.F.
	PIPE SLEEVE, PVC SCHEDULE 40	436	L.F.

Value Callout

FLOW TOTALS
Area for Dripline: 25.6
Shrub Spray: 120.6
Total: 146.2 GPM

Section VIII: Storm Water Retention and Drainage Plan

Existing Watershed Details:



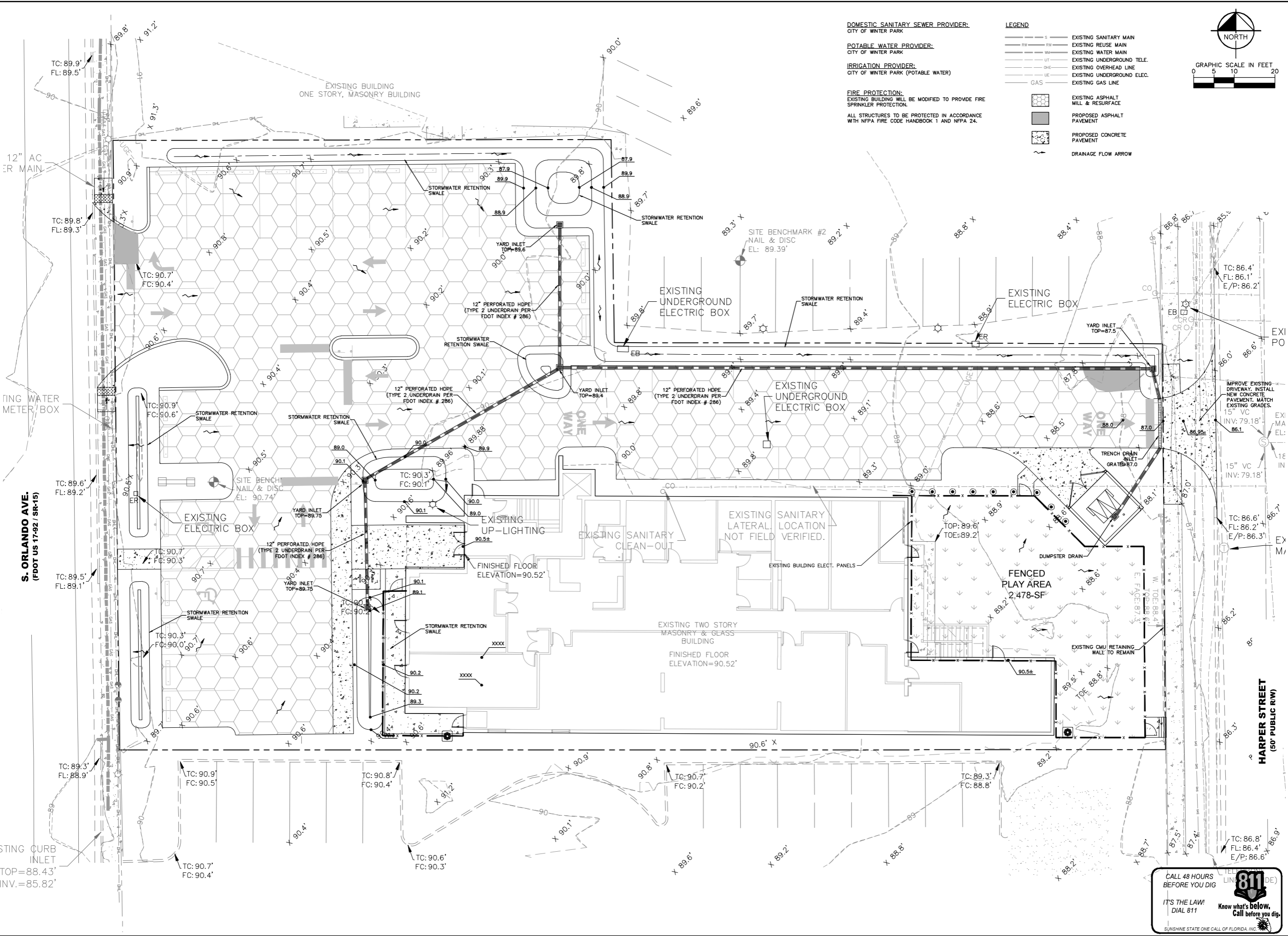
49

I-3

Figure 4-3. Watershed Detail

The following pages contain the proposed treatment/drainage/retention site plan, as well as the retention calculation utilizing pre-treatment dry retention swales and trenches. The proposed plan will also reduce the impervious area to 70%. Currently the property has no retention; with these improvements, the site provides 0.8-inches of onsite retention.

Plotted By: Kimmey-Horn, Regan. Sheet Set: Kimmey-Horn, Regan. Layout: DP3.0. Date: June 29, 2018. 11:42:09am. K:\ORL_Civil\149851003-Kiddie Academy WP\CADD\DEVELOPMENT\PlanSheets\DP3.0 - D&U.dwg
This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimmey-Horn and Associates, Inc. shall be without liability to Kimmey-Horn and Associates, Inc.



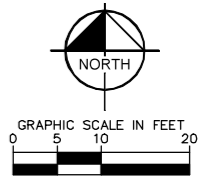
DOMESTIC SANITARY SEWER PROVIDER:
CITY OF WINTER PARK

POTABLE WATER PROVIDER:
CITY OF WINTER PARK

IRRIGATION PROVIDER:
CITY OF WINTER PARK (POTABLE WATER)

FIRE PROTECTION:
EXISTING BUILDING WILL BE MODIFIED TO PROVIDE FIRE SPRINKLER PROTECTION.
ALL STRUCTURES TO BE PROTECTED IN ACCORDANCE WITH NFPA FIRE CODE HANDBOOK 1 AND NFPA 24.

- LEGEND**
- S — EXISTING SANITARY MAIN
 - RW — EXISTING REUSE MAIN
 - WM — EXISTING WATER MAIN
 - UT — EXISTING UNDERGROUND TELE.
 - OHE — EXISTING OVERHEAD LINE
 - UE — EXISTING UNDERGROUND ELEC.
 - GAS — EXISTING GAS LINE
 - EXISTING ASPHALT MILL & RESURFACE
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED CONCRETE PAVEMENT
 - DRAINAGE FLOW ARROW



Kimley»Horn © 2018 KIMLEY-HORN AND ASSOCIATES, INC. 189 S ORANGE AVE., SUITE 1000, ORLANDO, FL 32801 WWW.KIMLEY-HORN.COM CA 0000696	
LICENSED PROFESSIONAL REGAN O'LAUGHLIN, P.E. FLORIDA LICENSE NUMBER 68432	
KHA PROJECT DATE 6-29-2018 SCALE AS SHOWN DESIGNED BY R/O DRAWN BY R/O CHECKED BY R/O	DATE 6-29-2018 SCALE AS SHOWN DESIGNED BY R/O DRAWN BY R/O CHECKED BY R/O
DEVELOPMENT PLAN DRAINAGE & UTILITY PLAN	
KIDDIE ACADEMY EDUCATIONAL CHILD CARE AT WINTER PARK CITY OF WINTER PARK FLORIDA	
SHEET NUMBER DP3.0	

CALL 48 HOURS BEFORE YOU DIG
IT'S THE LAW! DIAL 811
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

811 DE
Know what's below.
Call before you dig.

Kiddie Academy Winter Park

VOLUME & STAGE/STORAGE

DRY RETENTION SWALES & TRENCH

Lot Area = 31,925 sq.ft.
 = 0.73 acres
 Existing Impervious = 28,706 sq.ft. 89.9%
 = 0.66 acres

EXISTING ON-SITE TREATMENT VOLUME =	0.0	acre-ft.
=	0	CF
EXISTING ON-SITE TREATMENT =	0.0	inches

PROPOSED

Lot Area = 31,925 sq.ft.
 = 0.73 acres
 Proposed Impervious = 22,398 sq.ft. 70.2%
 = 0.51 acres

LANDSCAPE SWALES

	Depth	Area (SF)	Area (AC)	Volume Sum (CF)	Volume Sum (Ac-Ft)	
Swale Top	1.833	2,351	0.054	1,600	0.037	
Inlet Top	1.583	2,081	0.048	1,046	0.024	←---TV
	0.83	309	0.007	150	0.003	
Swale Bottom	0	52	0.001	0	0.000	

PERFORATED PIPE

SIZE (IN)	LENGTH (LF)	VOLUMETRIC AREA PER LF	Volume Sum (CF)	Volume Sum (Ac-Ft)
12	260	0.785	204	0.005

TRENCH VOID VOLUME

SIZE (IN)	LENGTH (LF)	VOLUMETRIC AREA PER LF	Volume Sum (CF)	Volume Sum (Ac-Ft)
12	260	0.960	250	0.006

*EXCLUDES PIPE VOLUME, 0.3 VOID RATIO

PROPOSED ONSITE TREATMENT VOLUME

	CF	AC-FT
Swale Volume =	1,046	0.024
Perforated Pipe Volume =	204	0.005
Trench Void Volume =	250	0.006
TOTAL VOLUME =	1,500	0.034

ON-SITE TREATMENT (over impervious) =	0.80	inches
---------------------------------------	------	--------

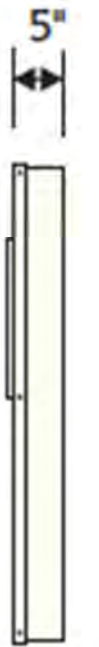
Section IX: Street Signs and Outdoor Lighting

Please refer to renderings for sign placement. Below is the typical facade signage for the Tenant; pylon signage has the same formatting:



SINGLE FACE ILLUMINATED WALL SIGN - ROUTED WITH PUSH-THRU GRAPHICS

SCALE: 3/8" = 1'-0"



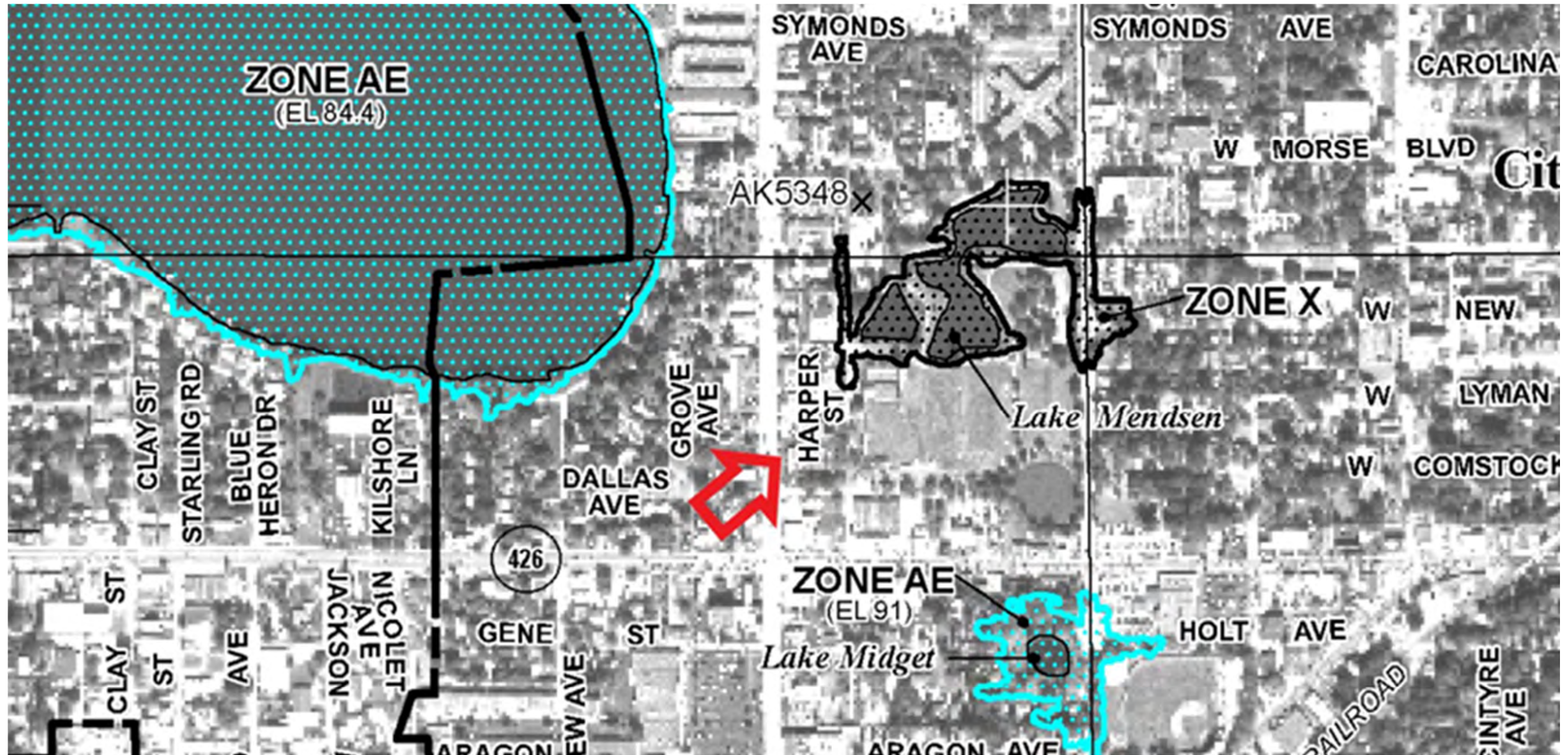
SIDE VIEW

SIZE TO BE CONFIRMED ONCE EXTERIOR ELEVATION IS AVAILABLE

Lighting plans will be provided at site plan approval.

Section X: Flood Plain:

Please refer to the survey. The below illustration shows the existing flood map.



Section XI: Transportation

Parking:

A peak occupancy of 192 students and 23 staff members is anticipated:

Room	Age Groups	Child Per Staff	Capacity	Staff	Admin
1	Infants	1:4	12	3	
2	Infants	1:4	12	3	
3	Toddlers	1:6	12	2	
4	Toddlers	1:6	12	2	
5	2 Year Olds	1:11	22	2	
6	2 Year Olds	1:11	22	2	
7	3 Year Olds	1:15	30	2	
8	3 Year Olds	1:15	30	2	
9	4 Year Olds	1:20	20	1	
10	4 Year Olds	1:20	20	1	
Director / Cook					3
Total			192	20	3

Approximately 30% of the children enrolled at the center are from multiple sibling households and arrive together. Pursuant to the Tenant’s existing, fully-enrolled location in Clermont, the following parking study was performed and extrapolated for Winter Park’s expected occupancy. Thirty-two parking spaces are provided on the proposed site plan; a maximum of twenty-nine are expected to be used during peak hours of 12:00 – 2:00 PM:

Parking Usage Study: Kiddie Academy of Clermont - June 2018				Extrapolation to Winter Park		
Peak Capacity: 138 Students; 21 Staff; 159 Total				(26% increase in occupancy over Clermont) Peak Capacity: 192 Students; 23 Staff; 215 Total		
Time	Occupied Parking Spaces (1)	Staff on Site	Total Spaces Used by Staff (2)	Occupied Parking Spaces	Staff on Site	Total Spaces Used by Staff (2)
7:00 - 8:00 AM	7	12	10	9	15	13
8:00 - 9:00 AM	17	12	10	21	15	13
9:00 - 10:00 AM	19	12	8	24	15	10
10:00 - 11:00 AM	21	21	8	26	26	10
11:00 - 12:00 PM	21	21	8	26	26	10
12:00 - 1:00 PM	23	21	8	29	26	10
1:00 - 2:00 PM	23	21	8	29	26	10
2:00 - 3:00 PM	22	21	8	28	26	10
3:00 - 4:00 PM	18	13	8	23	16	10
4:00 - 5:00 PM	15	13	8	19	16	10
5:00 - 6:00 PM	10	13	10	13	16	13
6:00 - 7:00 PM	6	13	10	8	16	13

(1) Average drop-off / pick-up time per parent / guardian: 2-3 minutes.
(2) Approximately 20-30% of the staff either carpool or arrive at the site via alternative means of transportation.



June 29, 2018

Jeff Briggs
Planning and Zoning Manager
City of Winter Park
401 South Park Avenue
Winter Park, FL 32789

Re: **Trip Generation Memorandum
Kiddie Academy Winter Park**

This trip generation memorandum has been prepared in support of the proposed Kiddie Academy redevelopment site. The proposed site is located on US 17-92, north of Fairbanks Avenue. In the City of Winter Park, Florida. The school will serve

This memorandum has been prepared specifically to detail the trip generation potential for the project. The existing site consists of a two-story building totaling 14,112 square feet, as shown in the Conceptual Site plan attachment. The proposed redevelopment does not propose any changes to the existing footprint of the building. Trip Generation potential for the site was developed using the Institute of Transportation Engineers (ITE) *Trip Generation Manual (v10)* for Land Use Code (LUC) 565 – Day Care Center, and is shown in Table 1 below.

Table 1: Trip Generation Potential

Description	LUC	Size	Units	Daily			AM Peak Hour			PM Peak Hour		
				Total	In	Out	Total	In	Out	Total	In	Out
Day Care Center	565	15	KSF	715	358	357	165	87	78	167	78	89

Source: ITE Trip Generation Manual, 10th Edition

As shown in the table above, the site is anticipated to generate 715 daily trips, 165 (87 in/ 78 out) AM Peak hour trips, and 167 (78 in/89 out) PM Peak hour trips.

The current site consists of two access points along US 17-92. The proposed site, as shown in the attached conceptual site plan includes the closure of the southern driveway while maintaining the northern driveway.

If you have any questions or comments please let me know.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

Kenneth K. Siu, P.E.



Section XII: 3D Digital Elevations:

Not required as this application does not have a city-wide notice. Please refer to rendering provided in package.

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NOT FOR
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ELLEVEN 18 ARCHITECTURE

Mailing Address:
424 E. Central Blvd. #54
Orlando, FL 32801
www.eleven18architecture.com

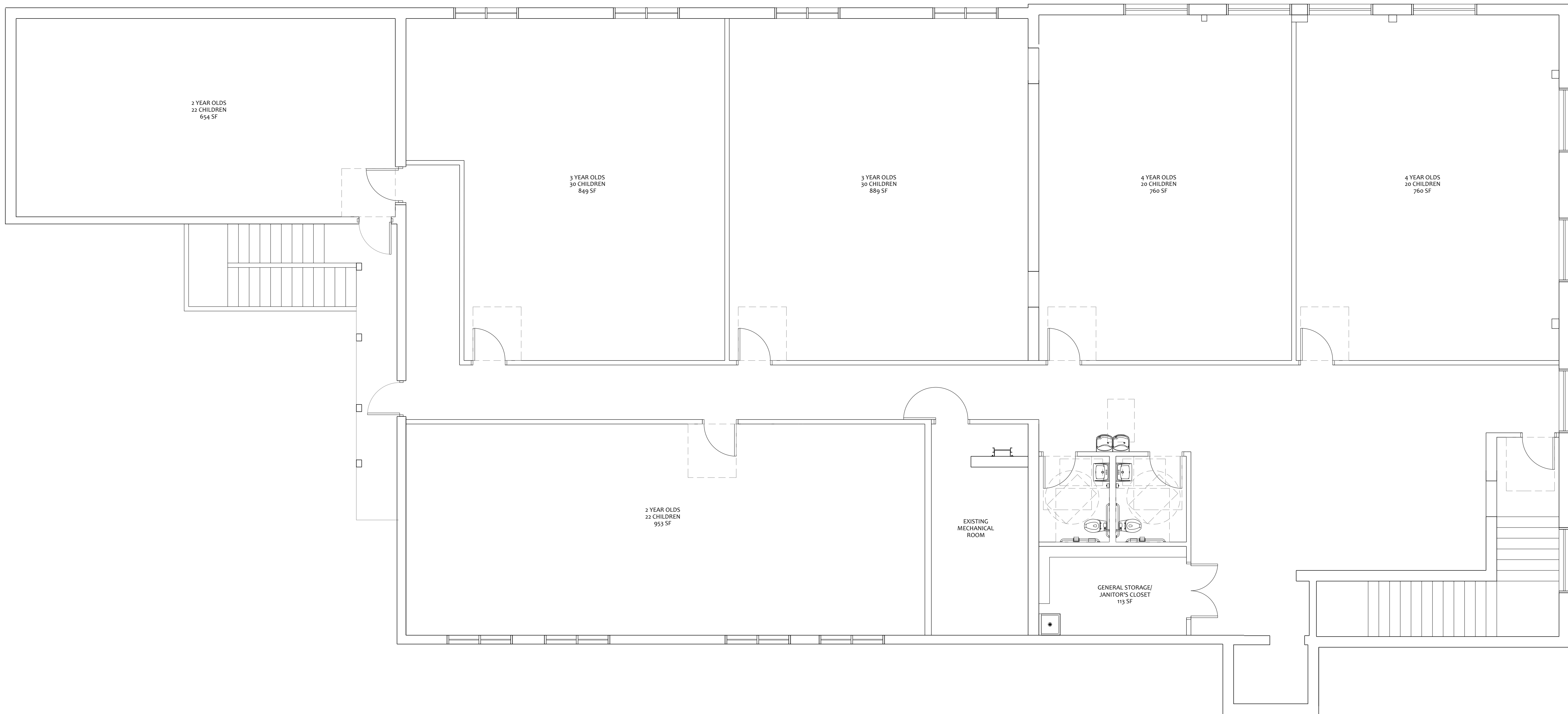
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[illegible]

**KIDDIE
ACADEMY**
420 S. Orlando Ave.
Winter Park, FL 32789

420 WINTER
PARK, LLC

DATE: 15 JUN 2018	DRAWN BY: MR
JOB NAME: ----	CHECKED BY: NW
SHEET NAME A-102	



KIDDIE ACADEMY

EDUCATIONAL CHILD CARE

EXTERIOR SIGNAGE
07-26-18



7005 Stapoint Court Winter Park, Fl. 32792
P. 407.660.3174 F. 321.249.0259
www.stellarsignanddesign.com

7/26/2018

Winter Park, FL Code of Ordinances

Sec. 58-125. - Ground signs.

- (a) *Permitted.* Ground signs are permitted for each premises having frontage on a public right-of-way.
- (b) *Height when within 20 feet of curb cut.* Ground signs located within 20 feet of a curbcut, or within 20 feet of the point where the curbs or pavement edges of intersecting streets intersect, shall either have a maximum height of three feet, or shall maintain a clear height of eight feet from the adjacent curb or edge of pavement to the bottom of the sign.
- (c) *Setbacks.* See the respective zoning district regulations, [section 58-124](#).
- (d) *Height and area.* The maximum permitted height and area of signs should be related to the environment in which the sign will be seen. Therefore, the limits in Table 1 are based on the traffic speed and number of lanes on streets in the city. The maximum height of any ground sign shall not exceed the limits established by Table 1. If the sign has more than one face, the total area shall not exceed twice the area permitted for one face.

TABLE 1

MAXIMUM PERMITTED HEIGHT

AND AREA OF GROUND SIGNS

Street	Area Each Face (square feet)	Max. Height From Grade (feet)
2-Lane Streets	36	8
Orlando Ave., Aloma Ave.,	100	25
Lee Rd.	100	25
All other 4—6 lanes	50	20

- (e) *Residential proximity.* When premises zoned for commercial or industrial use are within 100 feet of the nearest boundary of any premises zoned for residential use on the same public

7/26/2018

Winter Park, FL Code of Ordinances

right-of-way, ground signs erected and maintained on the commercial or industrial premises shall not exceed 25 feet in height, or the maximum height permitted by Table 1, above, whichever is less. Furthermore, where ground signs are located in a commercial or industrial zone, but within 100 feet of premises zoned for residential use having frontage on the same public right-of-way, such signs shall be set back from the public right-of-way the same distance as is required for buildings in the residential zone.

- (f) *Minimum clearance.* Where a ground sign projects over a vehicular traffic area such as a driveway or parking lot aisle, the minimum clearance between the bottom of the sign and the ground shall be 16 feet.
- (g) *Decorative embellishments.* On ground signs, the sign structure may extend above the maximum allowable height of the sign for embellishment purposes. Under no circumstances, however, may such extension exceed 20 percent of the maximum allowable height for the sign. Further, such embellishment shall not include thereon any symbol, representation, logo, insignia, illustration, or other form of advertising message.
- (h) *Projection over a canopy.* A ground sign supported by a sign structure which is imbedded in the ground and independent of a canopy for structural support, may project above and over a canopy. This section shall not be deemed to allow a ground sign to be located over, in whole or part, the roof of a building. A ground sign which projects over a canopy shall comply with all other applicable regulations of this chapter.
- (i) *Measurement of sign area.* The area within a perimeter which forms the outside shape including any frame which forms an integral part of the display, but excluding the necessary supports or uprights on which the sign may be placed. If the sign consists of more than one section or module, all areas will be totaled, including the spaces between sections or modules. When the area of the covering material over the structural elements of the sign exceeds 18 inches in width, the additional area of this covering material will count as part of the allowable sign area.


(Ord. No 2831-10, § 1, 11-22-10)

7/26/2018

Winter Park, FL Code of Ordinances

Sec. 58-126. - Wall signs.

- (a) *Signable area determination.* The occupancy displaying a wall sign shall determine the signable area by choosing one such area on the building facade and by then calculating the number of square feet which are enclosed by an imaginary rectangle or square which is drawn around this area.
- (b) *Area limits.* In all cases, wall sign areas refer to the area of copy rather than the area of the background.
 - (1) Where an occupancy has no ground, roof or projecting sign on the same premises, 45 percent of the signable area may be used for copy.
 - (2) Where an occupancy has a ground sign but no roof or projecting sign on the same premises, 30 percent of the signable area may be used for copy.
 - (3) Where an advertiser has a projecting sign but no ground sign on the same premises, 15 percent of the signable area may be used for copy.
- (c) *Interruption of architectural features.* A wall sign shall not interrupt major architectural features of the building, and shall not project from the wall by more than 12 inches.
- (d) *When unrestricted.* One identification wall sign four square feet in area or less with non-illuminated letters up to but not exceeding three inches in height, is not restricted and shall be permitted in addition to regulated signage.



7005 Stapoint Court
Winter Park, FL 32792
P. 407.660.3174 F. 321.249.0259
(www.stellarsignanddesign.com)
Florida State Certified
Electrical Sign Contractor ES 12000915

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PROJECT:
KIDDIE ACADEMY
EDUCATIONAL CHILD CARE
SITE ADDRESS: 420 S. ORLANDO AVE.
WINTER PARK, FL 32789

PROJECT #
7327

AM: **KS** PM **-**

Designer: **RM** Date: **07-25-18**

Sheet Size - 11" X 17"

REVISION LEVEL

No.	DATE:	DESCRIPTION

☐ Approved
☐ Approved as noted
☐ Revise and resubmit
Approved: _____
Date: _____

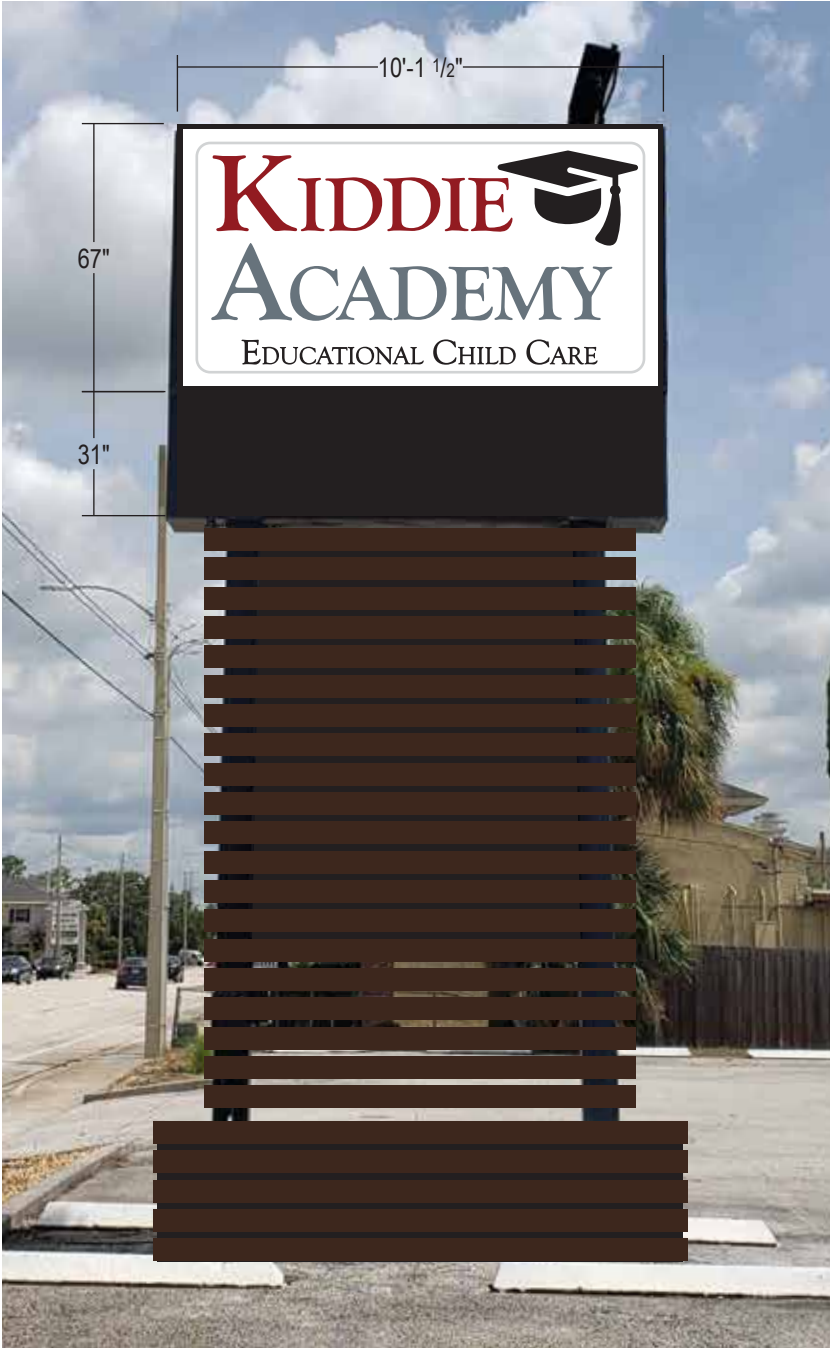
SHEET:
CODE



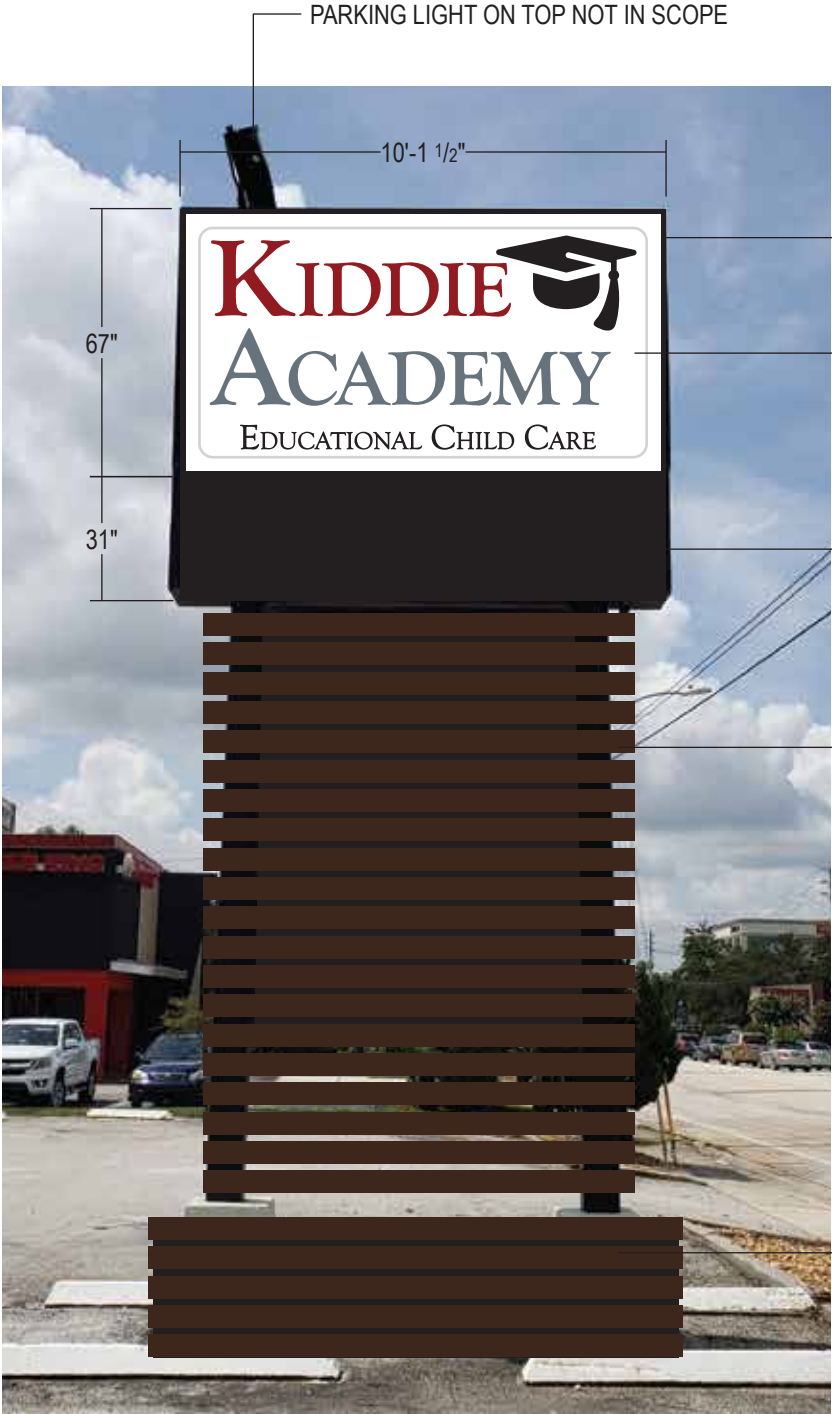
EXISTING CONDITIONS
SCALE: 1/4" = 1'-0"

- SCOPE:
- EXISTING PYLON SIGN TO BE REFURBISHED.
 - REPLACE LIGHTING COMPONENTS AS REQUIRED.
 - REPLACE EXISTING SIGN FACES WITH (2) NEW TRANSLUCENT ACRYLIC PAN FACES.
 - APPLY NEW TRANSLUCENT VINYL TO FACES.
 - PAINT ENTIRE CABINET AND POSTS BLACK.
 - REMOVE EMC CABINET AND REPLACE FACE WITH .080" ALUMINUM PAINTED BLACK.
 - CREATE 1/4" ALUMINUM SLAT POLE COVER AND ATTACH TO EXISTING STEEL POLES.
 - CREATE ALUMINUM POLE BASE COVER.

3M 7725-12 BLACK
3M 3630-53 CARDINAL RED TRANSLUCENT
3M 3630-61 SLATE GRAY TRANSLUCENT
SW 2924 WOODSY BROWN



PYLON SIGN SIDE A / 52 SF
SCALE: 1/4" = 1'-0"



PYLON SIGN SIDE B
SCALE: 1/4" = 1'-0"

PARKING LIGHT ON TOP NOT IN SCOPE



PAINT ENTIRE CABINET AND
RETAINER BLACK

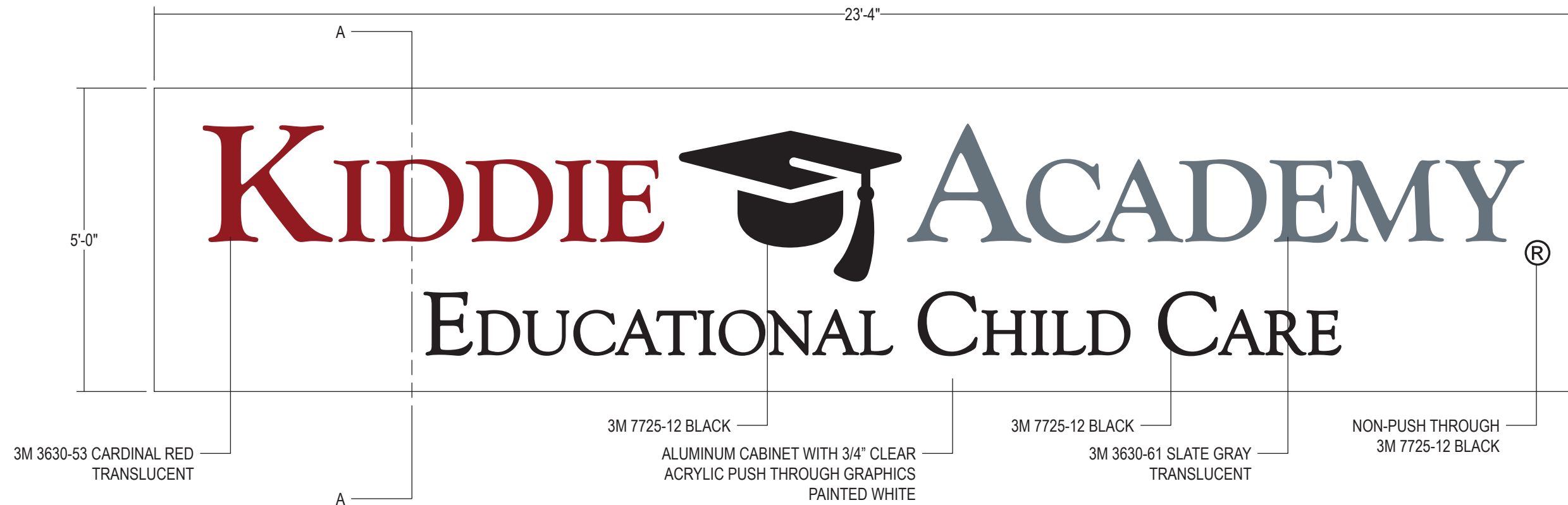
INSTALL (2) NEW TRANSLUCENT
WHITE PAN FACES WITH EMBOSSED
KIDDIE ACADEMY AND CAP WITH
TRANSLUCENT VINYL INTO
EXISTING SIGN CABINET.

REMOVE EXISTING EMC
AND COVER WITH .080"
ALUMINUM PAINTED BLACK.

1/4" X 6" ALUMINUM SLATS
TO WRAP AROUND POLES.

ALUMINUM CABINET
BASE COVER.

 STELLAR — SIGN & DESIGN —	7005 Stapoint Court Winter Park, FL 32792 P. 407.660.3174 F. 321.249.0259 (www.stellarsignanddesign.com) Florida State Certified Electrical Sign Contractor ES 12000915	These drawings and designs are the exclusive property of Stellar Sign and Design LLC . Use or duplication in any manner including but not limited to electronic transfer without express permission of Stellar Sign and Design LLC is prohibited. ©2017 Stellar Sign and Design LLC .	PROJECT:	PROJECT # 7327		REVISION LEVEL No. DATE: DESCRIPTION	<input type="checkbox"/> Approved <input type="checkbox"/> Approved as noted <input type="checkbox"/> Revise and resubmit Approved: _____ Date: _____	SHEET: P
			KIDDIE  ACADEMY EDUCATIONAL CHILD CARE	AM: KS	PM -			
			SITE ADDRESS: 420 S. ORLANDO AVE. WINTER PARK, FL 32789	Designer: RM	Date: 07-25-18			
			Sheet Size - 11" X 17"					



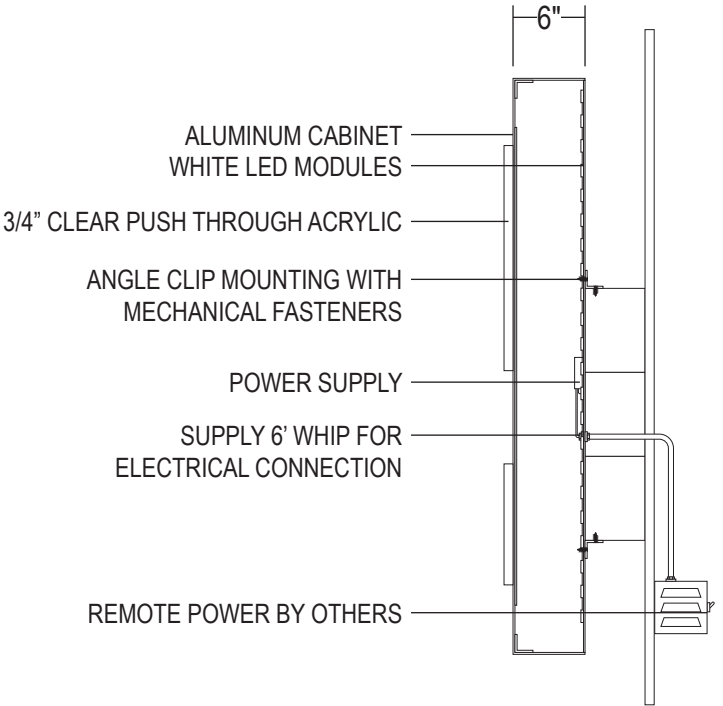
ILLUMINATED WALL SIGN - ROUTED WITH PUSH-THRU GRAPHICS
SCALE: 1/2" = 1'-0"

- SCOPE:
- REMOVE EXISTING CHANNEL LETTERS AND REPAINT RACEWAY BLACK.
 - FABRICATE NEW ALUMINUM CABINET WITH PUSH THROUGH ACRYLIC GRAPHICS.
 - APPLY TRANSLUCENT VINYL TO PUSH THROUGH GRAPHICS.

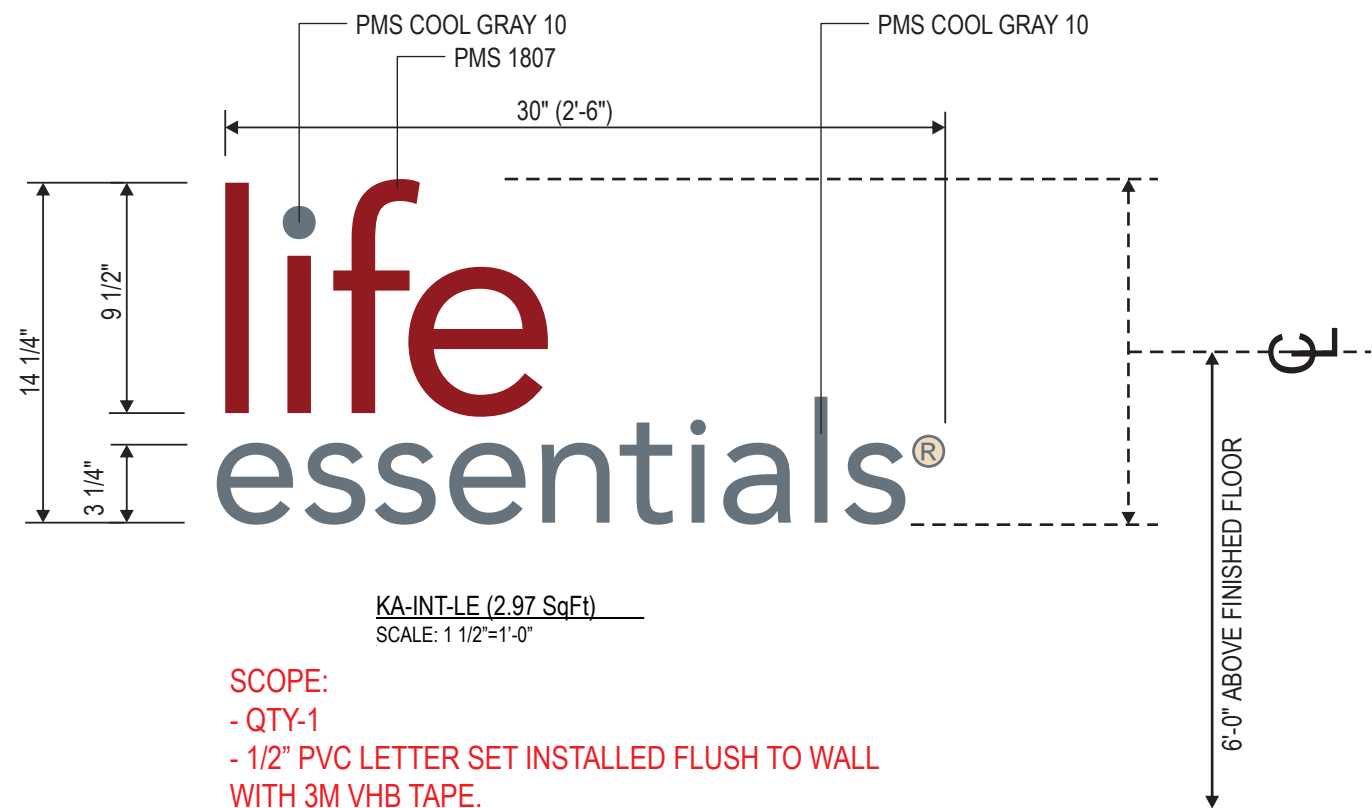
3M 7725-12 BLACK
3M 3630-53 CARDINAL RED TRANSLUCENT
3M 3630-61 SLATE GRAY TRANSLUCENT
SW 2924 WOODSY BROWN



WALL SIGN / 117 SF
SCALE: 1/16" = 1'-0"

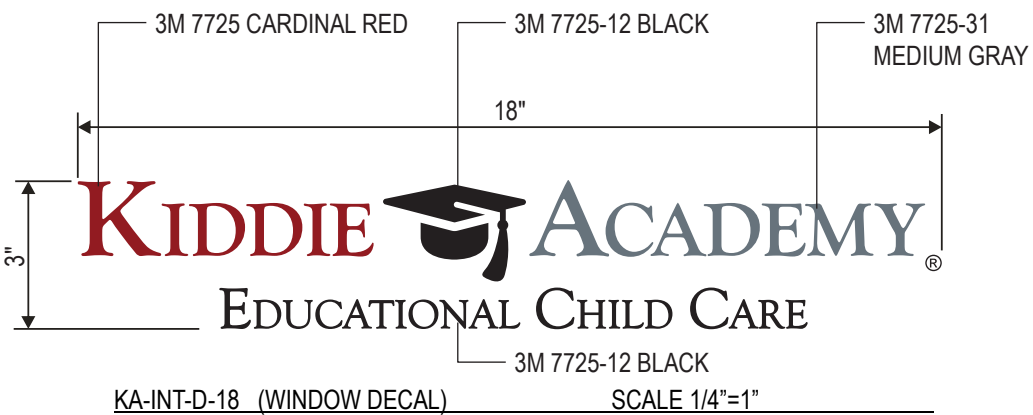


SECTION A
SCALE: NTS

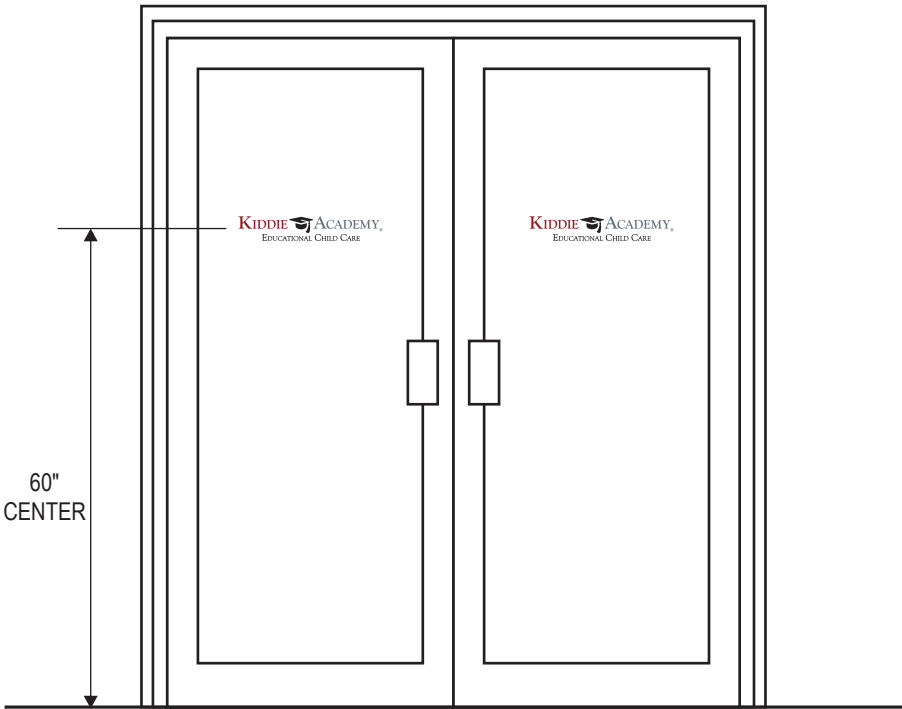


KA-INT-LE (2.97 SqFt)
SCALE: 1 1/2"=1'-0"

SCOPE:
- QTY-1
- 1/2" PVC LETTER SET INSTALLED FLUSH TO WALL
WITH 3M VHB TAPE.

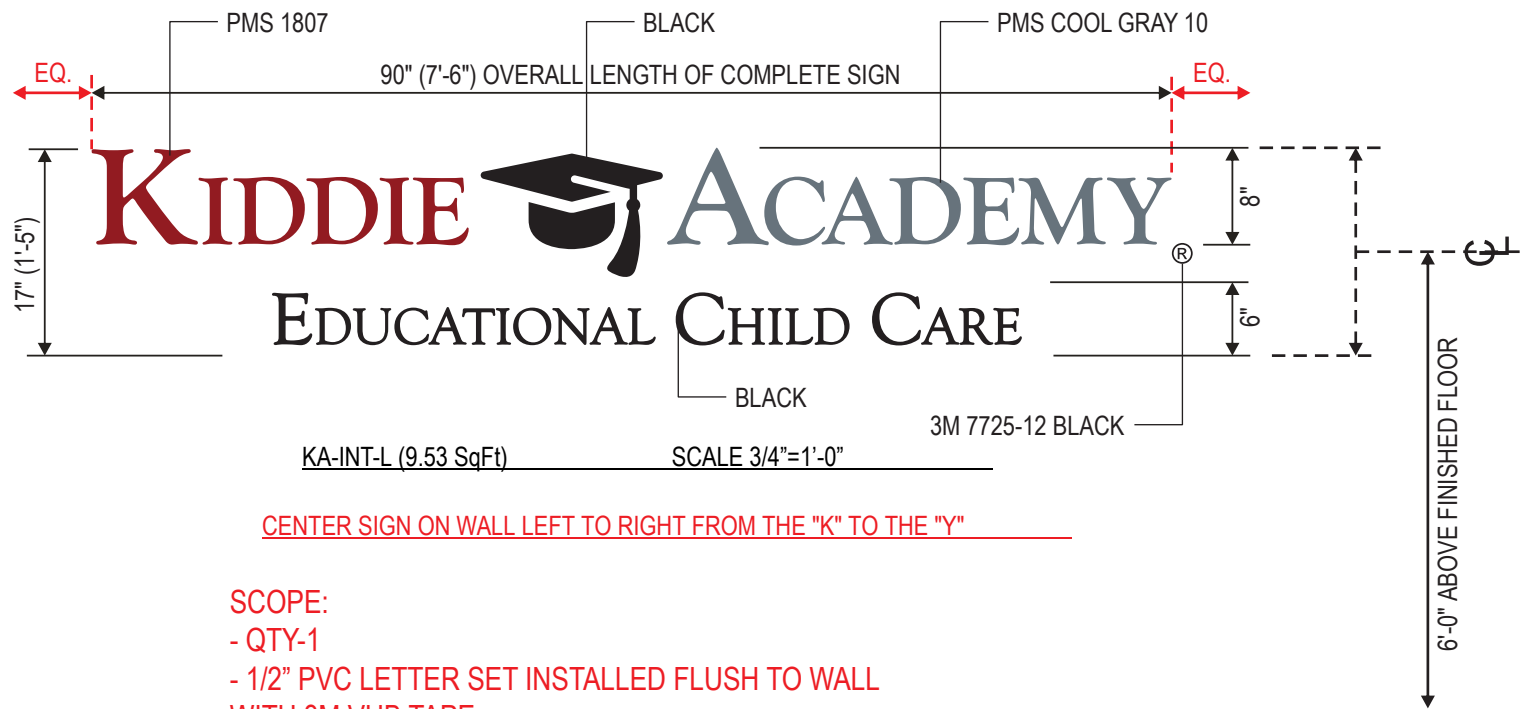


KA-INT-D-18 (WINDOW DECAL) SCALE 1/4"=1"



DECAL INSTALLATION
SCALE 1/2"=1'-0"

SCOPE:
- QTY-2
- VINYL GRAPHICS APPLIED TO GLASS DOOR.



KA-INT-L (9.53 SqFt) SCALE 3/4"=1'-0"

CENTER SIGN ON WALL LEFT TO RIGHT FROM THE "K" TO THE "Y"

SCOPE:
- QTY-1
- 1/2" PVC LETTER SET INSTALLED FLUSH TO WALL
WITH 3M VHB TAPE.

CITY OF WINTER PARK PLANNING AND ZONING BOARD

**Staff Report
August 14, 2018**

REQUEST OF THE CITY OF WINTER PARK FOR: AN ORDINANCE OF THE CITY OF WINTER PARK, FLORIDA AMENDING CHAPTER 58 “LAND DEVELOPMENT CODE”, ARTICLE III, “ZONING REGULATIONS” SUBSECTION 58-86 “OFF-STREET PARKING AND LOADING REGULATIONS” SO AS TO MODIFY THE RETAIL, OFFICE AND RESTAURANT PARKING REGULATIONS WITHIN THE CENTRAL BUSINESS DISTRICT, HANNIBAL SQUARE NEIGHBORHOOD COMMERCIAL DISTRICT AND THE ORANGE AVENUE CORRIDOR; PROVIDING FOR OFF-SITE PARKING OPTIONS; PROVIDING FOR A SHARED USE METHODOLOGY, PROVIDING FOR CONFLICTS, CODIFICATION, SEVERABILITY, AND AN EFFECTIVE DATE.

The Planning Dept. is recommending adoption of an Ordinance to update and modernize the City’s parking regulations pursuant to the Kimley-Horn studies and recommendations. This August 7th meeting, we will treat this as a discussion item and ask the P&Z Board for a formal vote at your next meeting on September 11th.

As P&Z is aware, the City retained Kimley-Horn to examine our parking regulations that have not been substantially changed since the 1970’s. Their work involved research on six “peer” communities similar to Winter Park by analyzing their parking codes and requirements and also by bringing the consultant’s knowledge of parking regulation nation-wide. The primary focus of their work was on the appropriate parking codes for the Central Business District (CBD), the Hannibal Square Neighborhood Commercial District (HSNCD) and the Orange Avenue corridor.

The Kimley-Horn team met with the P&Z Board for work sessions on January 30, 2018, March 27, 2018 and April 24, 2018 to review their work as it progressed. The Kimley-Horn team also presented the data collected and observations for Code updates to the City Commission on April 23, 2018. In addition, a community forum was held on July 17th with 41 attendees at the Welcome Center, after notice to the 274 property owners within the CBD, the HSNCD and along the Orange Avenue corridor in order to solicit comments on the Kimley-Horn research and recommendations.

A summary of the major changes in the Ordinance are as follows:

1. The Ordinance removes the ability to convert retail/office spaces within the CBD and HSNCD without providing the parking required for the greater parking

needs of the restaurant. As the data at the end of this staff report indicates, within the CBD, there have been 17 retail to restaurant conversions since 2003 that have added a parking demand of 207 spaces. The City is continuing to grow the parking deficit in the CBD with every such conversion. As the City embarks on a potential partnership with Rollins College to add public parking spaces to the CBD, in order to address the parking deficit, it is not advisable to continue to grow the parking deficit via increasing the number of new restaurants in the CBD.

In addition this change is supported by the Comprehensive Plan policy below:

Policy 1-G-3: Preserve Park Avenue as a Retail Shopping District with Complimentary Restaurant Destinations, Maintaining Existing Future Land Use Map Designations and Zoning & Prohibition of Bars/Nightclubs The City shall preserve the primary focus of the Park Avenue Corridor as a retail shopping district with complimentary restaurant destinations. This shall require maintaining within the Park Avenue corridor the existing Future Land Use Map policies governing height and existing vertical zoning regulations and the prohibition on bars/nightclubs. The City should also explore modifications to the zoning regulations that would limit the growth of future new restaurant locations to prevent an oversaturation of the CBD with restaurant space thereby diminishing via the loss of existing retail stores, the primary focus of the CBD as a retail shopping destination.

2. The Ordinance changes the parking requirements for new retail and office floor spaces within the CBD, the HSNCD and along the Orange Avenue corridor from one space per 250 square feet to one space for each 350 square feet. Trips to these locations are multi-destination trips. One comes to shop at more than one store. One combines a visit to an office with shopping or dining. The current code of one space per 250 adequately addresses the parking need for suburban locations. One goes to Publix and then gets back in the car to go elsewhere. These areas are multi-destinational for customers/visitors.
3. The Ordinance changes the parking requirements for large office buildings by providing for the current one space for 250 square feet on the first 20,000 square feet and then transitioning to one space for each 350 square feet for the floor area above 20,000 square feet. When you look at the larger office buildings in the City, such as Heritage Park, Commerce National Bank, Seacoast Bank, etc. you see many unused parking spaces every day. The City Code over-parks larger office buildings. This is due to the inefficiency in large office buildings because the percentage of non-employee/non-client space increases as the office building gets larger and the percentage of floor space dedicated to non-employee/client space increases such as space for hallways, restrooms, elevator/stair core, conference rooms, break rooms, etc. in larger office buildings. Kimley Horn believes that the City over-parks office buildings with the one per 250 standard everywhere but our experience in smaller offices is that it works well in those scenarios.

4. The Ordinance provides for the use of the Urban Land Institute's (ULI) Shared Parking analysis as a reference for determining when shared parking scenarios are applicable. The ULI Shared Parking analysis confirms the type of shared parking usage that we would expect and have seen occur. For example:

Residential Units:	70% at Noon		95% at 7:00 pm
Hotels:	55% at Noon	75% at 7:00 pm	95% at 10:00 pm
Office:	100% at 10 am 15% at 7:00 pm	80% at Noon	100% at 3:00 pm
Restaurant:	100% at Noon	100% at 6:00 pm	

Some types of shared use make sense. The retail or office building with residential upstairs. Peaks for retail/office during the day. Peak for residential (or hotel) at night. However, the shared parking use that we most frequently are asked about is for restaurants. But restaurants use 90-100% of their parking during the Noon and Evening peak hours so retail/office uses have little to none to share during the day. The real world survey data in their analysis only supports shared use with residential or other institutional uses such as churches.

5. The Ordinance changes the distance permitted for off-site parking from 300 feet to 450 feet. The "peer" communities surveyed by Kimley-Horn allow off-site parking ranging from 600 to 1,300 feet. That seemed too ambitious to staff but another 50 yards for an employee to walk to get to work seems reasonable.
6. The Ordinance provides for the potential future creation of a fee-in-lieu of parking program. Property owners would purchase or fund the needed parking within a city owned parking facility. Note that no such fee-in-lieu program can be established without a specific City Commission approved parking facility for which the funds collected are to implemented for either surface or structured parking as to both location and cost and the ability to provide the same number of or more parking spaces otherwise needed to be provided on-site by the property owners electing to pay a fee-in-lieu.

Staff Recommendation is for APPROVAL of the Ordinance.

HISTORY OF PARKING REGULATIONS IN THE CBD

History of Parking Regulation in the Central Business District (CBD):

Winter Park is much like other cities in Florida and the Nation with respect to the treatment of parking in the downtown Central Business District (CBD). Historically, the philosophy was that the responsibility fell on the Cities to provide the parking necessary for the growth and development of their CBD. Orlando is a good example with its many city owned parking lots and parking garages in their CBD. Winter Park also has several city owned parking lots to supplement on-street parking and has partnered in parking garage projects. Most of the buildings in the Winter Park CBD were built when no private off-street parking was required and to the extent it was provided, that was done voluntarily.

When the Barnett Bank (Bank of America) building was approved in 1969 and built in 1970, both parties realized that a different approach was needed for parking. The City had no more land or money to build the parking needed to support the proposed six-story building. Barnett Bank realized that there would be nowhere for their employees to park, and it would be very difficult to lease office space within the building without private parking. Both parties reached an agreement that the approval was based upon Barnett Bank adding the parking garage to meet required parking which was one space for each 400 square feet of office at that time.

A few years later, the recognition by the City that options for further parking were limited, lead to the change in the Zoning Code in 1974 to codify the current regulations that "new" buildings or "new" floor space to be constructed had to provide "new" parking for that "new" floor space and that "existing" parking could not be utilized. Since almost no property in the CBD has surplus parking to use for new floor space, that has kept the overall size and square footage (and parking demand) of the CBD more or less constant, except for the growth in restaurants. The only real exceptions have been the construction of the Sun Trust Building by Rollins College based upon their associated parking garage and the construction of the Park Place Building by the Morse/Genius Foundation based also upon the associated parking garage.

History of Park Avenue Restaurant Zoning Regulations:

The one major impact upon growth in the parking demand within the CBD has been the evolution in the parking regulation of restaurants along Park Avenue and the growth in the number of such restaurant spaces.

The regulation of restaurants within the Central Business District has undergone an evolution over the last 40 years. Back in the early 1970's there were only 4 restaurants along Park Avenue. By 1982 that number had grown to 18 restaurants. At that time in 1982, the retail merchants were complaining that these restaurants were hurting the "Avenue" because all of the available parking was being dominated

by the restaurant staff and customers. In response to the outcry by the merchants and other parking concerns, the City Commission established a Downtown Parking Advisory Commission to make recommendations on the parking issues in the downtown. Their recommendation on the zoning issue, which was adopted by the City Commission in early 1983, was to make restaurants a "Conditional Use". The idea was that new restaurants then could be approved only when they had sufficient parking. Exceptions were made for bakeries, coffee shops, ice cream and dessert shops.

Ten years later in 2003, the Economic Development Advisory Board, largely in response to competition to Park Avenue from the new Winter Park Village, recommended a change to the zoning rules to allow "fine dining" restaurants to be treated as permitted uses versus conditional uses. The definition of "fine dining" restaurants are waiter/waitress table service versus front counter order or self service restaurants.

That change was made because it was felt two circumstances had changed since 1983. One was that the City had seen a reduction in the number of restaurants along Park Avenue. La Belle Verrierre, Two Flights Up in the Colony Building and East India Ice Cream Company had closed and those spaces converted to retail stores. It was estimated that there were 400 less restaurant seats along Park Avenue that at the peak in the 1980's.

The other circumstance was the competition from the Winter Park Village and their array of destination fine dining restaurants. The merchants along Park Avenue believed that attracting new restaurants to Park Avenue would help the retail climate. As a result, most restaurants (except fast food) were made a permitted use and could locate in the CBD without regard to providing any incremental increase in parking needed for the restaurant versus the previous retail store use.

Since 2003, that Zoning Code change has allowed 17 new restaurants to be established in the CBD with a total seat count of 1,471 new seats. (See tables attached) Based on the City's parking code of one space for each four restaurant seats in the CBD, those 1,471 new restaurant seats equate to 372 parking spaces. However, these 17 new restaurants replaced former retail store locations that had a parking demand as retail stores. The net increase comparing the retail parking code versus the restaurant parking code is a net increase in parking demand of 207 spaces.

Existing Restaurant Locations in the CBD Prior to Year 2003
Café De France
Umi Japanese
Blu On the Avenue
310 Park South
Park Plaza Gardens
Pannullo's
Boca Kitchen
Park Avenue Pizza
Powerhouse Café
Park Avenue Smoothie
Palmano's
Al Bacio
Garp & Fuss
Briarpatch Restaurant

Restaurants Approved Via Conditional Use Prior to 2003 Based on Adequate Parking
Luma on Park
Starbucks Coffee
Wine Room
Panera Bread

Restaurants After 2003 Code Change Without Parking	Seat Count	Parking Required (1 space/4 seats)
Bosphorus Turkish Cuisine	165	41
Prato	186	47
Laurel	88	22
Briarpatch Restaurant	70 (70 to 150)	20
Orchid Thai Cuisine	42	11
Maestro Cucina	52	13
The Parkview	55	14
The Rustic Table	67	17
Barnie's Coffee Kitchen	39	10
Burger Fi	116	29
Cocina 214	171	43
Boi Brazil	150	38
La Merce	50	13
Braccia Pizzeria	24	6
Rome's Flavours	26	7
Irish 31	130	33
Croissant Gourmet Bakery	30	8
Total:	1,471	372

Restaurants After 2003 Code Change Without Parking	Square Footage	Parking Required if Retail Establishment
Bosphorus Turkish Cuisine	3,750	15
Prato	4,271	17
Laurel	3,000	12
Briarpatch Restaurant	N/A	0
Orchid Thai Cuisine	1,100	4
Maestro Cucina	1,792	7
The Parkview	2,300	9
The Rustic Table	2,009	8
Barnie's Coffee Kitchen	1,158	5
Burger Fi	3,200	13
Cocina 214	8,267	33
Boi Brazil	2,700	11
La Merce	1,690	7
Braccia Pizzeria	1,000	4
Rome's Flavours	1,000	4
Irish 31	3,000	12
Croissant Gourmet Bakery	900	4
Total:	41,137	165

Δ = 207 parking spaces

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF WINTER PARK, FLORIDA AMENDING CHAPTER 58 “LAND DEVELOPMENT CODE”, ARTICLE III, “ZONING REGULATIONS” SUBSECTION 58-86 “OFF-STREET PARKING AND LOADING REGULATIONS” SO AS TO MODIFY THE RETAIL, OFFICE AND RESTAURANT PARKING REGULATIONS WITHIN THE CENTRAL BUSINESS DISTRICT, HANNIBAL SQUARE NEIGHBORHOOD COMMERCIAL DISTRICT AND THE ORANGE AVENUE CORRIDOR; PROVIDING FOR OFF-SITE PARKING OPTIONS; PROVIDING FOR A SHARED USE METHODOLOGY, PROVIDING FOR CONFLICTS, CODIFICATION, SEVERABILITY, AND AN EFFECTIVE DATE.

WHEREAS, the Florida Legislature has adopted Chapter 163, Florida Statutes which requires all local communities to adopt amendments to their Land Development Codes to implement the growth and development policies of Comprehensive Plans adopted pursuant to Chapter 163, Florida Statutes and Florida Administrative Rules in order to provide appropriate policy guidance for growth and development: and

WHEREAS, the Winter Park City Commission adopted a new Comprehensive Plan on April 24, 2017 via Ordinance 3076-17; and

WHEREAS, the Winter Park Planning and Zoning Board, acting as the designated Local Planning Agency, has reviewed and recommended adoption of proposed amendments to the Zoning Regulations portion of the Land Development Code having held an advertised public hearing on August 7, 2018, and rendered its recommendations to the City Commission; and

WHEREAS, the Winter Park City Commission has reviewed the proposed amendments to the Zoning Regulations portion of the Land Development Code and held advertised public hearings on _____, 2018 and on _____, 2018 and advertised notice of such public hearings via quarter page advertisements in the Orlando Sentinel pursuant the requirements of Chapter 166, Florida Statutes and placed the proposed amendments on the City's website on _____, 2018; and.

WHEREAS, the portions of Chapter 58, Land Development Code, Article III, Zoning Regulations that are to be amended and modified as described in each section and amended to read as shown herein where words with single underlined type shall constitute additions to the original text and ~~strike through~~ shall constitute deletions to the original text.

NOW THEREFORE, BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER PARK:

SECTION 1. That Chapter 58 "Land Development Code", Article III "Zoning" of the Code of Ordinances is hereby amended and modified within Section 58-86 "Off-street Parking and Loading Regulations", Subsections (a) (1) "Central business district exclusion" and (2) Hannibal square district exclusion" in the "Zoning" Article of the Land Development Code to read as follows:

Sec. 58-86. Off-Street Parking and Loading Regulations.

(1) *Central business district exclusion.* The following described area shall be known as the central business district for the provision of off-street parking spaces, and shall be exempt from furnishing parking facilities, as required by this article. This exemption is made because of the traditional exclusion from providing parking in central business districts and the existing development within the district. Property owners, however, are encouraged to provide off-street parking space whenever possible.

Begin at the intersection of Lyman and New York Avenues, run thence east on Lyman Avenue to Knowles Avenue, thence north on Knowles Avenue to Canton Avenue, thence west on Canton Avenue to New York Avenue, thence south on New York and Lot 1-4, Block 14; Lots 1-4, Block 15, all Block 66; Lots 1-10 and 22, 23, Block 76; and Lots 1-8, Block 77, Town of Winter Park according to the plat thereof recorded in Public Records of Orange County, Florida.

a. The foregoing exclusion shall apply only to existing square footage or floor space. Parking shall be provided as required by this section for any net new building or net new floor space created by redevelopment, new construction, additions, alterations or remodeling or for any change in use requiring additional parking such as an office or retail space conversion to restaurant. Existing parking spaces may be counted to satisfy this requirement only where such existing spaces are in excess of the parking space requirements of this section for any existing floor space.

b. The foregoing exclusion shall not exempt properties within this exclusion area from compliance with subsection "Location of parking lots", which prohibits the use of remote leased parking to satisfy the parking requirements of any new building or new floor space.

(2) *Hannibal Square district exclusion.*

a. The following described area shall be known as the Hannibal Square district for the provisions of off-street parking spaces and shall be exempt from furnishing parking spaces and shall be exempt from furnishing parking facilities as required by this article. The Hannibal Square district shall include Lots 5-10, Block 42, Lots 11-13 and the west 50 feet of Lot 14, Block 41, Lots 1-6, Block 54 and Lots 8-10, Block 55, Town of Winter Park according to the plat thereof recorded in Public Records of Orange County, Florida.

b. On properties within this district that have existing buildings, as of January 1, 1998, the foregoing exclusion shall apply only to existing building square foot area. Such existing building square foot area may be renovated, reused and redeveloped even if it involves the demolition and subsequent reconstruction of a same size to the existing building square foot area without providing any off-street parking spaces. However, this exclusion shall not apply to additional building square footage or for any change in use requiring additional parking such as an office or retail space conversion to restaurant. Parking shall be provided, as required by this article, for any increase in building square foot area. Existing parking spaces may be counted to satisfy this requirement only where such existing spaces are in excess of the parking space requirements of this article for any existing building square foot area.

SECTION 2. That Chapter 58 "Land Development Code", Article III "Zoning" of the Code of Ordinances is hereby amended and modified within Section 58-86 "Off-street Parking and Loading Regulations", Subsection (b) (9), (18) and (22) in the "Zoning" Article of the Land Development Code to read as follows:

(b) *Specific requirements for various uses and buildings.* Listed below are the minimum parking spaces required for various buildings and uses. When the computation results in a requirement for a fractional space, a fraction of one-half or less shall be disregarded. When the fraction exceeds one-half, one additional off-street parking space will be required. Parking spaces, other than handicapped spaces, shall be nine (9) feet wide by eighteen (18) feet deep. Variances to reduce the size of parking spaces are prohibited.

(9) *General business and retail commercial:* Within the Central Business District, Hannibal Square Neighborhood Commercial District and along the Orange Avenue Corridor, one parking space for each 350 square feet of gross floor space and within the other areas of the City, one parking space for each 250 square feet of gross floor space in the building.

(18) *Office, professional or public buildings:* Within the Central Business District, Hannibal Square Neighborhood Commercial District and along the Orange Avenue Corridor, one parking space for each 350 square feet of gross floor space and within the other areas of the City, one parking space for each 250 square feet of gross floor space in the building up to the first 20,000 square feet of floor area, and one space for each 300 square feet of floor space in the building for floor area more than 20,000 square feet in size, or one parking space for each 220 square feet of gross floor space excluding areas of common public use and circulation. In computing the latter requirement the exclusion is to be used for public stairs, elevators, lobbies, arcades and atriums but not for common restrooms, mechanical areas or hallways beyond 20 feet from the lobby area.

(22) *Restaurants, food service establishments, nightclubs, taverns or lounges:* One parking space for each 50 square feet of floor space for patron use on the premises or one space for every three seats, whichever is greater. However, within the Central Business District, along the Orange Avenue Corridor and within the Hannibal Square Neighborhood Commercial District, the minimum requirement shall be one space for every four seats. Establishments with 12 seats or less shall be classified as retail.

SECTION 3. That Chapter 58 "Land Development Code", Article III "Zoning" of the Code of Ordinances is hereby amended and modified within Section 58-86 "Off-street Parking and Loading Regulations", Subsection (3) (h) in the "Zoning" Article of the Land Development Code to read as follows:

(3) *Design, construction and operation of parking lots and parking garages.*

h. *Mixed uses and shared parking.* In the case of mixed uses and shared parking, the total requirements for off-street parking and loading spaces shall be the sum of the requirements of the various uses computed separately as specified in the off-street parking regulations and off-street loading and unloading regulations of this article. The off-street parking and off-street loading space for one use shall not be considered as providing the required off-street parking and/or off-street loading space for any other use unless specifically approved by the city commission provided for based upon the entire time period of usage and need as supported by the Urban Land Institute's Methodology for Shared Parking Exclusion report, as may be amended. In any multi-family building or mixed use building or project, that includes residential units, constructed after September 1, 2107, at least one of the required parking spaces provided for each residential unit shall be

dedicated and reserved for each particular residential unit and shall be provided to each residential unit at no additional cost as part of a monthly or other lease term other than as included in the base lease rate applicable to all other similar units and shall not be an additional cost for purchase over the agreed upon purchase price of the residential unit.

SECTION 4. That Chapter 58 "Land Development Code", Article III "Zoning" of the Code of Ordinances is hereby amended and modified within Section 58-86 "Off-street Parking and Loading Regulations", Subsection (3) (f) in the "Zoning" Article of the Land Development Code to read as follows:

(3) Design, construction and operation of parking lots and parking garages.

f. *Location of parking lots.* Parking spaces provided pursuant to this section for any new building or building additions or increase in intensity of use, located in the area bounded by Swoope, New York, Fairbanks and Interlachen Avenues shall be on the same property as the principal building or on a remote, properly zoned lot within four hundred fifty (450) ~~three hundred (300)~~ feet that is in the same ownership as the principal building/property and permanently dedicated and recorded as committed to parking uses. For other properties located outside of this area, parking provided pursuant to this section may be located on a remote, properly zoned lot within four hundred fifty (450) ~~three hundred (300)~~ feet of the building, where such parking to be leased is in excess of the parking requirements for that building. Such distance shall be the walking distance measured from the nearest point of the parking lot to the nearest boundary of the lot on which the building is located that such parking lot is required to serve. In the event of new construction, addition, or change in intensity of use of the principal building or property being serviced by the remote parking lot, all existing parking spaces located on such remote lot shall be allocated to the existing building or principal use to meet the minimum requirements of this article, and any additional spaces may then be allocated to that portion of the building or property which is the subject of the new construction, addition, or change in intensity of use.

SECTION 5. That Chapter 58 "Land Development Code", Article III "Zoning" of the Code of Ordinances is hereby amended and modified within Section 58-86 "Off-street Parking and Loading Regulations", by adding a new Subsection (6) "Fee-in lieu of parking" in the "Zoning" Article of the Land Development Code to read as follows:

(6) Fee-in lieu of parking. The City Commission may approve and establish by resolution following public notice and public hearing to affected property owners, fee-in lieu of parking programs for specific areas of the city. Such fee-in-lieu programs shall allow property owners to pay a fee to the city, as established by the City Commission, in lieu of providing private parking for new buildings, building additions or changes in use requiring additional parking. Such fee-in-lieu programs established by the City Commission shall identify a specific City Commission approved shared parking facility for which the funds collected are to implemented for either surface or structured parking as to both location and cost and the ability to provide the same number of or more parking spaces otherwise needed to be provided on-site by the property owners electing to pay a fee-in-lieu.

SECTION 6. SEVERABILITY. If any Section or portion of a Section of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other Section or part of this Ordinance.

SECTION 7. CODIFICATION. It is the intention of the City Commission of the City of Winter Park, Florida, and it is hereby ordained that the provisions of this Ordinance shall become and be made a part of the Code of Ordinance of the City of Winter Park, Florida;

SECTION 8. CONFLICTS. All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

SECTION 9. EFFECTIVE DATE. This Ordinance shall become effective immediately upon its passage and adoption.

ADOPTED at a regular meeting of the City Commission of the City of Winter Park, Florida, held in City Hall, Winter Park, on this _____ day of _____, 2018.

Steve Leary, Mayor

ATTEST:

City Clerk

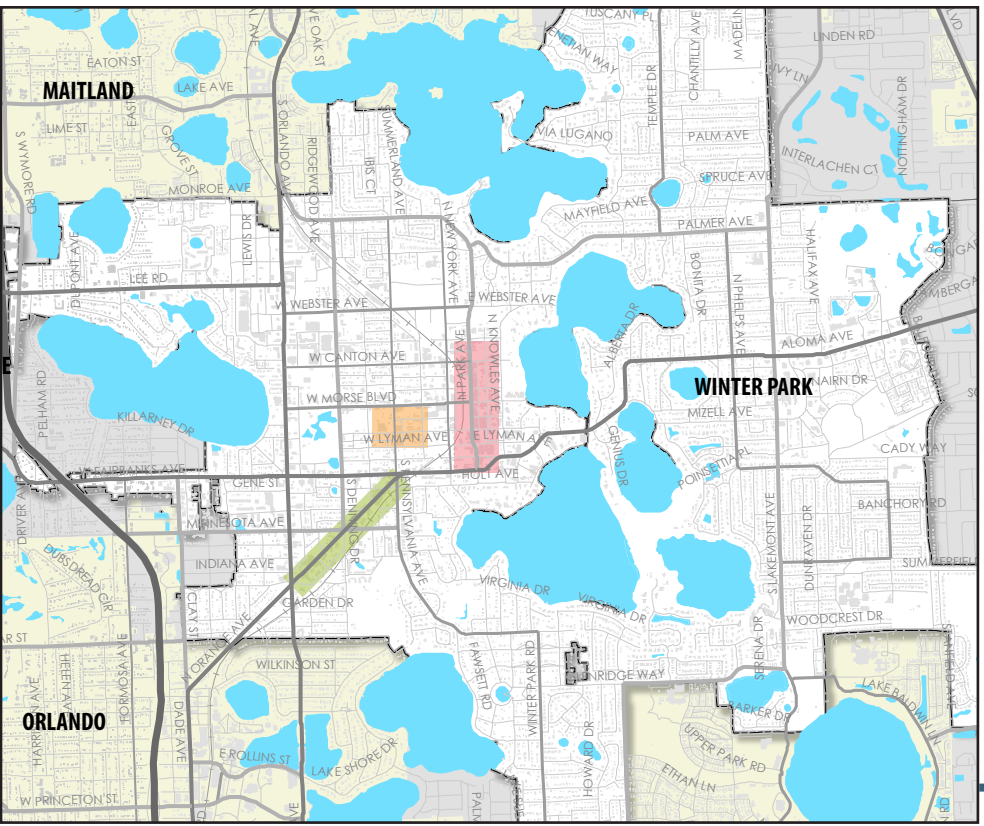
Introduction

Project Background

In 2017, the City of Winter Park commissioned a downtown parking strategy in response to growing community concerns regarding the parking situation in the Park Avenue district. The resulting strategy identified nine recommendations that addressed three underlying concerns:

- A lack of prime parking turnover
- Under-utilization of existing parking resources
- A need to modernize the city's parking policies and practices to better align with community expectations and prepare for the future.

Though that study focused exclusively on the Park Avenue area, it also recognized the immediate need to update Winter Park's overall parking code to a context-sensitive approach. In 2018, Winter Park began the process of reviewing and updating its parking requirements in the Park Avenue, Hannibal Square, and Orange Avenue neighborhoods. The community identified these as areas requiring special considerations and indicated that the parking codes in these areas should be uniquely tailored to allow for continued vibrancy.



What is context-sensitive parking?

Most municipal parking codes apply the same standards across the entire city. A context-sensitive code recognizes that some areas have different needs and expectations based on the form and scale of development and mix of uses. Winter Park's context-sensitive parking policy update allows the city's development code and practices to reflect the unique conditions of these three neighborhoods and leverage innovative solutions to promote mobility, access, and community vibrancy.

In short, Winter Park's context-sensitive solution:

- Aligns parking requirements with community goals and localizes parking codes to reflect Winter Park's development conditions
- Acknowledges the market's natural tendency to share parking facilities when complimentary uses are located nearby, and provides incentives to maximize underutilized space
- Takes a data-driven approach to parking requirements and revises policies to reflect current walking tolerances within the community
- Creates flexible requirements that meet the needs of the community and development

Process

The development of these recommendations included eight months of quantitative data analysis and conversations with community leaders and stakeholders.

An initial diagnostic phase included a review of six peer cities and national best management practices. This review helped identify disconnects between Winter Park's current code and real estate practices, demographic trends, and travel patterns. The study team also conducted a high-level demand analysis, which indicated the requirements written decades ago are likely outdated in the current environment.

Additionally, community input throughout the process indicated that Winter Park is a unique environment with a desire to move away from a one-size-fits-all parking policy toward a more tailored approach.

During the analysis and conversations with the community, four key principles surfaced:

- **Keep the requirements simple and predictable**
- **Update parking requirements to reflect modern demand rates based on location, proximity to transit, ability to share parking resources, and walkability**
- **Rely on national best practices and peer cities to ensure Winter Park remains competitive and in-line with the current market trends**
- **Plan for the future and allow for flexibility through innovative mobility solutions**

The recommendations detailed in this document were developed based on these principles, finalized in consultation with Winter Park staff and community leaders, and are tailored to fit the local context.

Peer Cities Code Evaluation

To explore how similar places are managing parking demand, six peer cities were selected in consultation with Winter Park staff:

- Delray Beach, FL
- Asheville, NC
- St. Armands, Sarasota, FL
- Mt. Pleasant, SC
- Davidson, NC
- Highland Park, IL

The study team reviewed parking codes of these peer cities to compare their minimum requirements by use, reductions, shared parking, and exemptions with Winter Park's current parking code.

	Winter Park	ULI Shared Use		Peer Avg
		Weekday	Weekend	
Required Parking Spaces	3,983	2,662	2,048	2,566
% of Current Requirement	100%	89%	69%	86%

What did we learn?

- Keep the code simple; some codes are needlessly complicated
- Winter Park is on track in some areas and "overparked" in others
- Winter Park has higher parking minimums than the peer city with the most suburban parking code
- The Urban Land Institute (ULI) methodology is a place to start for shared parking practices
- Parking in the downtown core should be treated differently than in suburban areas

Recommendations

The recommendations listed below are intended to be implemented in tandem for maximum benefit. The actions build on each other to jointly address a variety of challenges and opportunities. While some of the actions are more appropriate than others for certain areas of the city, as noted in the table below, and on the following pages of the report, they all have merit as part of a comprehensive code update. Certain actions are recommended as short-term immediate modifications to the city code, while others are intended as long-term policy modifications to consider as conditions change.

Short-Term Strategies

 Immediate | Easy to Implement

Modification of the Retail-to-Restaurant Conversion Variance

In its current iteration, city code allows for a property in the Park Avenue area to convert from retail to restaurant without requiring additional parking. While this variance has created a vibrant restaurant district, it also has created increased parking demand. It is recommended that the existing variance for the waiving of parking requirements for retail to restaurant conversions be modified to reduce the potentially harmful impacts of future conversions. This would require all future developments to adhere to the Winter Park’s parking requirements according to their use and will likely lead to a more diverse tenant mix by removing a competitive advantage for restaurants. This action should only be completed in tandem with updating the minimum parking requirements and shared parking guidance.

Fee-in-Lieu of Parking

A fee-in-lieu of parking allows developers to pay a set fee per space if they choose not to provide a portion of the required on-site parking spaces. This fee, which will be set by Winter Park based on a number of factors, would provide future parking and other transportation enhancements within the district where the funds were collected. Implementing this element would help to boost alternative transportation modes and ensure funding for future parking when demand arises.

Modernized Shared Parking Guidance

Shared parking is a method by which multiple uses with different peak hours (e.g., an office and a restaurant) use the same parking facility. Sharing parking resources is an efficient use of land and leads to better community design by requiring less space for parking. While some shared parking provisions exist within the current code, they are not being leveraged effectively due to the rigidity of the requirements. For shared parking to become effective, the parking code must be amended to:

- Expand the parking radius to allow off-site parking to occur within one-quarter mile or a reasonable walking distance (current standard is 300 feet)
- Require those utilizing off-site parking to meet their parking requirements to acquire a signed agreement leasing the spaces for 10 years
- Adopt the ULI protocol to calculate the correct number of spaces that can be shared between uses

Updated Minimum Parking Requirements

The current code utilizes a parking minimum set in the 1970s. The community has changed since then, with new travel patterns, mobility options, and expectations. The current parking minimums were not written for a world with ridesharing services, SunRail, and the movement toward walkable communities. In addition, modern parking codes are based on a larger pool of data and are more likely to reflect modern demand patterns. Winter Park’s minimum parking requirements should be updated to be on par with peer communities. This will help keep the city competitive for new development, ensure the community remains vibrant and walkable, and reduce the time and administrative cost associated with processing parking variances.

Captive Demand Reductions

Often, mixed-use sites require less parking because some demand for each use is generated by the occupants of other on-site uses. For example, a restaurant that shares space with an office will presumably require less parking because some of its patrons will walk from within the same building. Winter Park should allow such complimentary uses to reduce the minimum parking requirement of the secondary use by up to 10% to account for the captive demand.

Note: Captive demand reductions are recommended as a short-term strategy in the Orange Avenue area and as a long-term consideration in Park Avenue and Hannibal Square.

Adaptive Reuse Incentives

To preserve Winter Park’s historic architecture and existing buildings, new businesses on Orange Avenue that make use of existing spaces should be partially or totally exempt from the requirement to provide additional parking. This variance would be based on the model provided in the Park Avenue and Hannibal Square areas, which incentivizes redevelopment of those spaces. Implementing this change also

acknowledges the fact that much of the demand within the corridor is likely to come from new mixed-use developments within walking distance.

Long-Term Considerations

 5-10 Years | Partnerships Required

Employer Travel Demand Management (TDM) Policies

Parking is not only about providing adequate supply, but also about managing demand. Partnering with local employers to offer incentives for non-automotive transportation can be a cost-effective way to manage parking demand and congestion while improving mobility. Other strategies, such as alternative work schedules, may also be utilized.

Transit Oriented Development (TOD) Reductions

As transit ridership and opportunities increase, developments within walking distance of premium transit stations (such as SunRail) should have parking reductions applied to encourage the use of transit, biking, or walking.

Parking Maximums

Instead of regulating parking spaces based on a minimum number of parking spaces that *must* be built, parking maximums establish thresholds that limit the number of spaces that *can* be built with new development, allowing the market to determine the correct amount of parking.

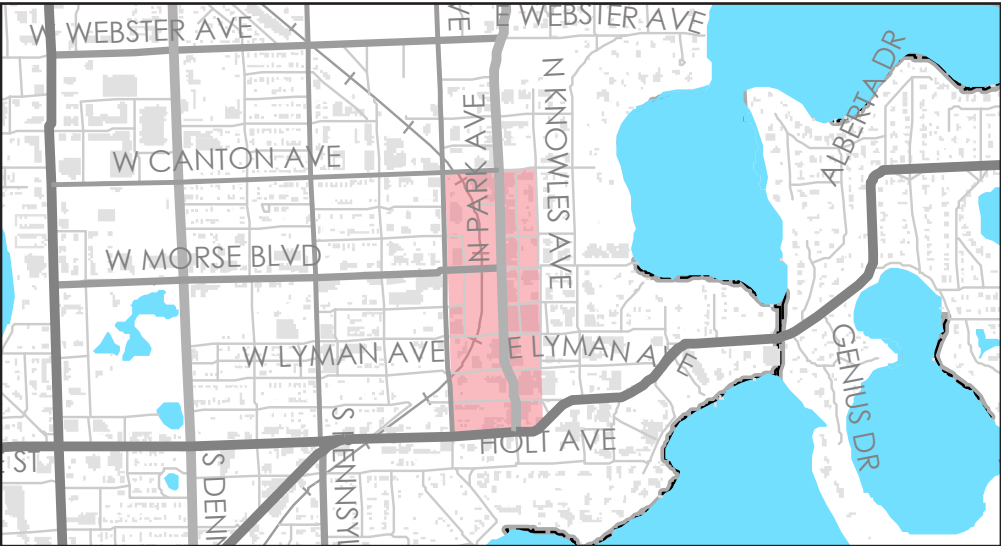
Code Element		Park Avenue	Hannibal Square	Orange Avenue
Short-Term Recommendations	Modification of the Retail-to-Restaurant Conversion Variance	●		
	Fee-in-Lieu of Parking	●	●	●
	Modernized Shared Parking Guidance	●	●	●
	Updated Minimum Parking Requirements	●	●	●
	Captive Demand Reductions			●
	Adaptive Reuse Incentives			●
Long-Term Considerations	Captive Demand Reductions	●	●	
	Employer TDM Policies	●		●
	TOD Reductions	●	●	
	Parking Maximums			●

Park Avenue

The Park Avenue district is the traditional downtown of Winter Park. This thriving commercial core at the center of the community features predominantly retail and restaurants. Community concern over parking challenges have grown as the area has become more popular. Off-street parking is provided via public and private garages and surface lots, though these facilities are unevenly utilized. A major goal in this area is to encourage the proper utilization of these existing resources before building additional public or private parking.

Goals:

- 1. Right-size parking supply by modifying variance and modernizing requirements.
- 2. Leverage shared and centralized parking assets to support a vibrant district.
- 3. Allow for more intentional shared parking between uses to encourage walkability.
- 4. Create a centralized managed system through in-lieu fees and city-provided shared parking and transportation assets.



	Code Element	Description	Expected Outcome
Short-Term Recommendations	Modification of the Retail-to-Restaurant Conversion Variance	Modifies the existing variance in the current city code that waives the parking requirements when a retail space is converted to restaurant use. While this variance has created a vibrant restaurant district, it has also created a potential parking problem.	Right-sizes parking supply and minimize potential conflicts.
	Fee-in-Lieu of Parking	A set fee per space that a developer can opt to pay rather than provide the required amount of on-site parking. This fee supports future parking and other transportation enhancements that help accommodate community growth.	Boosts the use of alternative transportation modes by dedicating money for mobility enhancements. In addition, ensures funding for future parking when demand arises.
	Modernized Shared Parking Guidance	Updates the criteria for implementing, operating, and managing shared parking agreements, including public and private sector assets. There is currently little to no shared parking within the Park Avenue area.	Leverages all available spaces in both the public and private sector, while promoting a more walkable dynamic environment.
	Updated Minimum Parking Requirements	Revises the outdated minimum parking requirements outlined in the current code, which were established decades ago, to reflect modern travel patterns.	Off-street parking requirements would more closely match actual demand patterns and serve to right-size parking.
Long-Term Recommendations	Captive Demand Reduction	Allows complimentary uses to share parking as some of the demand is generated by other uses. Reducing the minimum parking requirement for the secondary use by up to 10% will account for this captive demand.	Reduces redundant trips in demand calculations by accounting for a more accurate usage of space in mixed-use developments.
	Employer TDM Policies	Provides guidelines for employers to help manage demand for parking spaces, such as offering incentives for non-automotive transportation.	Reduces reliance on single occupant vehicle trips and promotes alternative methods of access into the district.
	TOD Reductions	Establishes boundaries around transit stations where minimum parking requirements would be reduced to encourage the use of alternative transportation modes.	Leverages SunRail and other future premium transit options to promote diverse access options and reduce the incentive to drive alone and park in the district.

Park Avenue

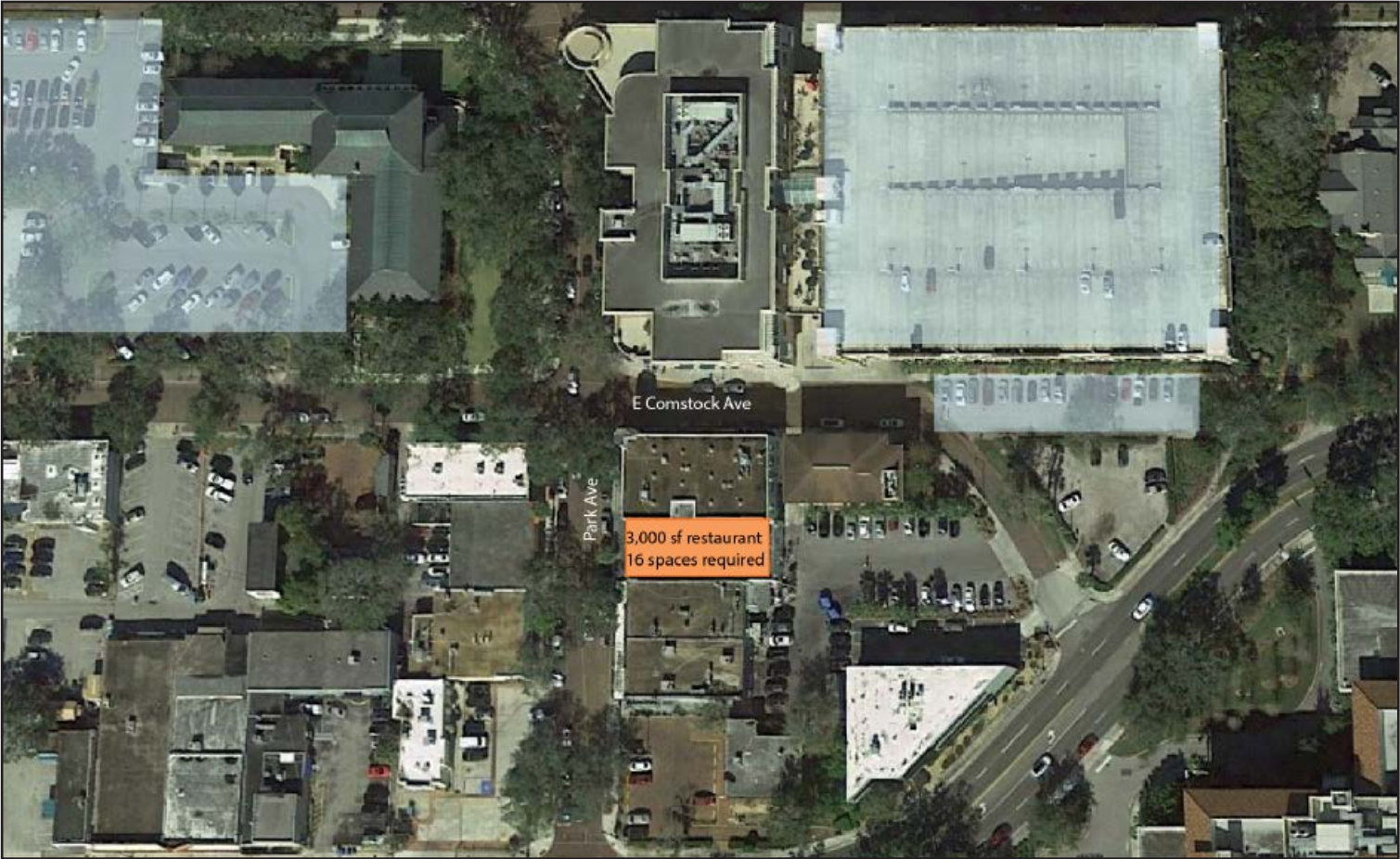


Current Context

Shown above is an example of a typical retail-to-restaurant conversion on Park Avenue. Under the current code, restaurants converted from previous retail uses require no additional parking to be built. Outside of the variance, restaurants in this area are required to provide parking at a rate of 1 space per 4 restaurant seats.

Under these conditions, excess parking demand is accommodated in public on-street and off-street spaces, without any formal agreements or payments from the property owner.

Details	
Development Type	Restaurant
Zoning	C-2
Lot Size	N/A
Building Size	3,000 sq ft/approx. 140 seats
Current Parking Requirements	0 spaces required per retail-to-restaurant conversion variance
Special Considerations	Retail to restaurant conversion. In parking exclusionary zone.



Proposed Context

With the proposed changes to the parking code, this type of development brings new possibilities and benefits to the corridor. If the retail-to-restaurant conversion variance is modified, this development likely would be required to provide some level of parking, rather than rely solely on publicly available facilities. Based on peer averages, a restaurant of this size typically would require 16 parking spaces. The developer may choose to build those spaces on site or enter into an agreement to lease those spaces in a nearby facility, based on the provisions of shared use parking guidance.

The fee-in-lieu provision could provide the surrounding benefits district with funding to support future parking spaces, transportation alternatives, and demand management programs.

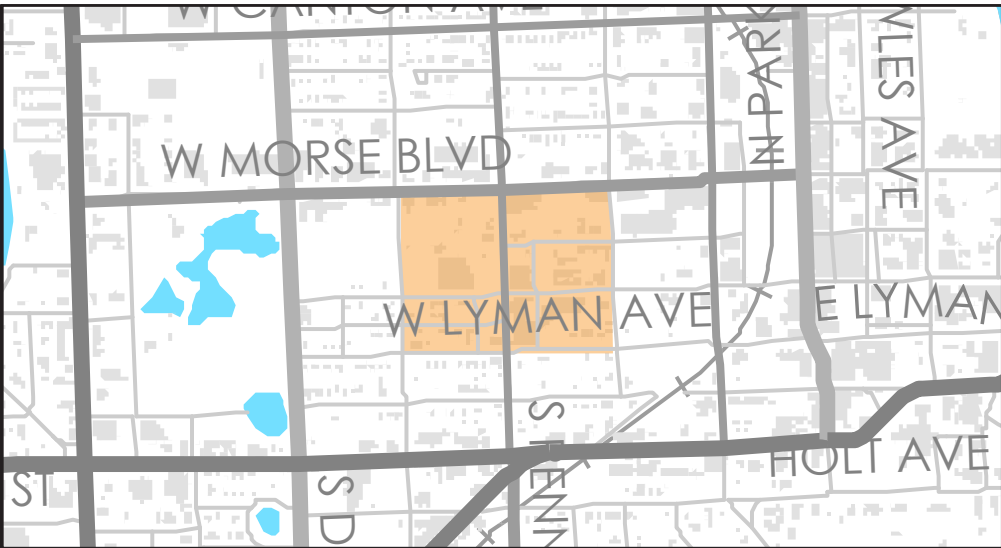
Overlay Code Options	
Modification of the retail-to-restaurant conversion variance	Some level of parking would be required when this variance is modified. Without the variance, this restaurant would have been required to build approximately 35 spaces.
Fee-in-lieu of Parking	If developer chooses not to provide all required spaces, Winter Park receives a set fee per space toward transportation improvements and alternative parking options.
Modernized Shared Parking Guidance	Development may choose to lease space in one of two public parking options within reasonable walking distance (shown above).
Updated Minimum Parking Requirements	Following Peer Average parking rates, this development would require 16 spaces.

Hannibal Square

Hannibal Square is a mixed-use district to the west of Park Avenue. This historic area has been revitalized in recent years and now is home to many thriving restaurants, retail shops, offices and services. Parking is less constrained in this area than the Park Avenue area and demand is unevenly distributed throughout the area’s public and private parking facilities. As new development occurs, one goal for this area is to ensure that parking requirements are in line with current demand patterns and that the area remains vibrant and walkable by appropriately allocating space for parking and active uses.

Goals:

- 1. Promote shared use parking in walkable environment.
- 2. Leverage existing and future parking assets.
- 3. Recognize and support walkable environment through reduced parking minimums and shared parking.
- 4. Create a system for managing centralized parking through in-lieu fees.



	Code Element	Description	Expected Outcome
Short-Term Recommendations	Fee-in-Lieu of Parking	A set fee per space that a developer can opt to pay rather than provide the required amount of on-site parking. This fee is designated to support future parking and other transportation enhancements that help accommodate community growth.	Boosts the use of alternative transportation modes by dedicating money for mobility enhancements. In addition, ensures funding for future parking when demand arises.
	Modernized Shared Parking Guidance	Updates the criteria for implementing, operating, and managing shared parking agreements, including public and private sector assets.	Leverages all available spaces in both the public and private sector, while promoting a more walkable dynamic environment.
	Updated Minimum Parking Requirements	Revises the outdated minimum parking requirements outlined in the current code, which were established decades ago, to reflect modern travel patterns.	Off-street parking requirements would more closely match actual demand patterns and serve to right-size parking.
Long-Term Recommendations	Captive Demand Reduction	Allows complimentary uses to share parking as some of the demand is generated by other uses. Reducing the minimum parking requirement for the secondary use by up to 10% will account for this captive demand.	Reduces redundant trips in demand calculations by accounting for a more accurate usage of space in mixed-use developments.
	TOD Reductions	Establishes boundaries around transit stations where minimum parking requirements would be reduced to encourage the use of alternative transportation modes.	Leverages SunRail and other future premium transit options to promote diverse access options and reduce the incentive to drive alone and park in the district.

Hannibal Square



Current Context

Shown above is an example of a mixed use development in the Hannibal Square area, combining ground floor retail and second floor office. Under Winter Park’s current code, the two uses are treated independently, even with the likelihood that much of the retail demand will come from the office above. As proposed, the building has more than 90 parking spaces, requiring the developer to go underground to meet the requirements on-site.

Even though a substantial amount of parking is available in the surrounding neighborhood, it is not regarded as an option to meet this development’s need due to insufficiencies in the current code.

Details	
Development Type	Office
Zoning	C-2
Lot Size	34,000 sq ft
Building Size	24,000 sq ft
Current Parking Requirements	96 spaces required (1 per 250 sq ft)
Special Considerations	Provided underground parking to meet requirement

Proposed Context

The proposed changes to the parking code in this area allows for future developments to take advantage of reduced parking requirements and nearby parking availability to create a more vibrant, walkable district.

Based on peer averages, the parking requirement for this example development could be reduced by nearly 30 spaces. That reduction likely eliminates the developer’s need to provide costly underground parking, drastically lowering developer costs. New shared use guidance that allows for shared parking facilities within a walkable distance also could take advantage of the many underutilized parking facilities within 1,000 feet of the development, rather than building additional space.

Finally, a fee-in-lieu provision could provide the surrounding benefits district with funding to support future parking spaces, transportation alternatives, and demand management programs.

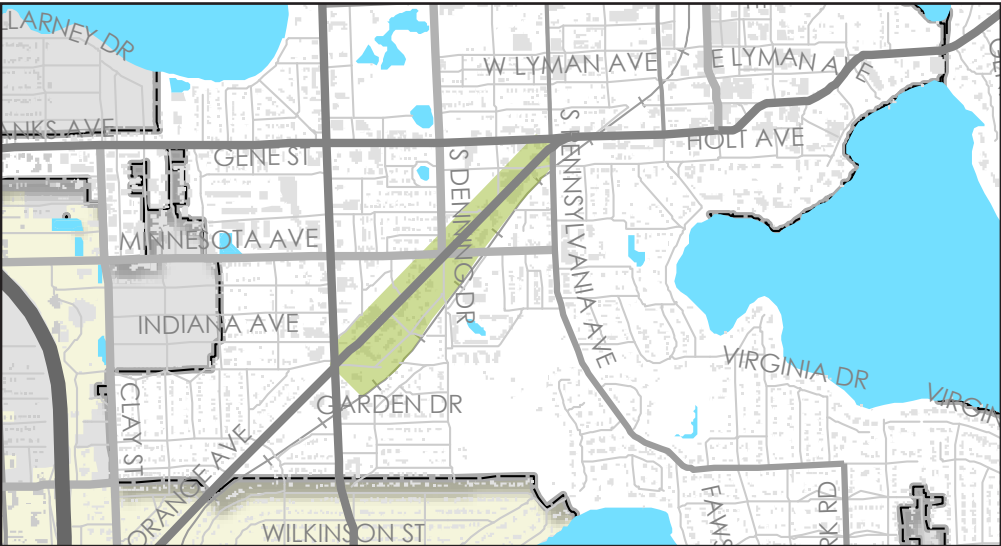
Overlay Code Options	
Fee-in-lieu of Parking	If developer chooses not to provide all required spaces, Winter Park receives a set fee per space toward transportation improvements and alternative parking options
Modernized Shared Parking Guidance	Development may choose to lease space in one of many public parking options within reasonable walking distance (shown above).
Updated Minimum Parking Requirements	Following peer average parking rates, this development would require 65 spaces

Orange Avenue

Orange Avenue is a quickly growing area of Winter Park with increased development interest. There is a need now to clarify the community’s expectations and desires for the corridor’s future. Refining parking requirements in this corridor can help ensure future development reflects quality urban design and community vibrancy principles.

Goals:

- 1. Promote mixed-use walkable development.
- 2. Create and support shared parking program.
- 3. Incentivize adaptive re-use of existing historic infrastructure.
- 4. Support managed system of parking and transportation through in lieu fees.



Code Element		Description	Expected Outcome
Short-Term Recommendations	Fee-in-Lieu of Parking	A set fee per space that a developer can opt to pay rather than provide the required mount of on-site parking. This fee is designated to support future parking and other transportation enhancements that help accommodate community growth.	Boosts the use of alternative transportation modes by dedicating money for mobility enhancements. In addition, ensures funding for future parking when demand arises.
	Modernized Shared Parking Guidance	Criteria for implementing, operating, and managing shared parking agreements, including public and private sector assets, should be modernized.	Leverages all available spaces in both the public and private sector, while promoting a more walkable dynamic environment.
	Updated Minimum Parking Requirements	Updates the criteria for implementing, operating, and managing shared parking agreements, including public and private sector assets.	Off-street parking requirements would more closely match actual demand patterns and serve to right-size parking.
	Captive Demand Reduction	Allows complimentary uses to share parking as some of the demand is generated by other uses. Reducing the minimum parking requirement for the secondary use by up to 10% will account for this captive demand.	Reduces redundant trips in demand calculations by accounting for a more accurate usage of space in mixed-use developments.
	Adaptive Reuse Incentives	Provides a total or partial exemption from the minimum parking requirement to developments on Orange Avenue that make use of existing structures.	Promotes the redevelopment of existing buildings and prioritizes a walkable, vibrant corridor.
Long-Term Recommendations	Employer TDM Policies	Provides guidelines for employers to help manage demand for parking spaces, such as offering incentives for non-automotive transportation.	Reduces reliance on single occupant vehicle trips and promote alternative access into the district.
	Parking Maximums	Established maximum thresholds that limit the number of spaces that can be built with new development.	Makes more space available for development or active use and makes accessing the corridor via alternative transportation modes increasingly common.

Orange Avenue



Current Context

Shown above is an example of an adaptive re-use development in the Orange Avenue corridor. This mixed-use building includes a coffee shop, brewery, cafe and salon, with a reduction in the traditional parking minimum requirement based on the parking tenant mix. Some off-site parking is utilized during peak periods based on an agreement.

This development is an example of the type of adaptive reuse that should be incentivized throughout the corridor to preserve existing buildings

Details	
Development Type	Retail/Restaurant
Zoning	C-3
Lot Size	29,000 sq ft
Building Size	12,000 sq ft
Current Parking Requirements	41 spaces required (Retail: 1 per 250 sq ft; Restaurant: 1 per 3 seats)
Special Considerations	Adaptive reuse that was renovated into a multi-tenant, mixed-used building. Shared parking is utilized due to hours of operation for tenant mix. Offsite parking is utilized at night when both primary and secondary use are open.

Proposed Context

The proposed changes include several ways to ensure that future development in the Orange Avenue corridor prioritizes walkability, quality urban design, and integration with the surrounding community.

If an adaptive reuse incentive variance is applied, a development like the one pictured above would not be required to provide additional parking, lowering the barriers to redevelop some of the older buildings along the corridor.

Based on peer averages, it is reasonable that parking requirements for the development above could be reduced by 15 spaces, providing additional activated space to connect to the surrounding neighborhood. Additionally, a fee-in-lieu provision could provide funding to support future parking spaces, transportation alternatives, and demand management programs.

Overlay Code Options	
Fee-in-lieu of Parking	If developer chooses not to provide all required spaces, Winter Park receives a set fee per space toward transportation improvements and alternative parking options
Modernized Shared Parking Guidance	Development may choose to lease space in public or private parking options within reasonable walking distance
Updated Minimum Parking Requirements	Following peer average parking rates, this development would require 33 spaces (shown above)
Captive Demand Reductions	Requirements may be reduced based on assumption that some patrons will visit both uses within the same development
Adaptive Reuse Incentives	Future redevelopment projects within the corridor may be exempt from building additional parking, even if minimum requirements call for more spaces



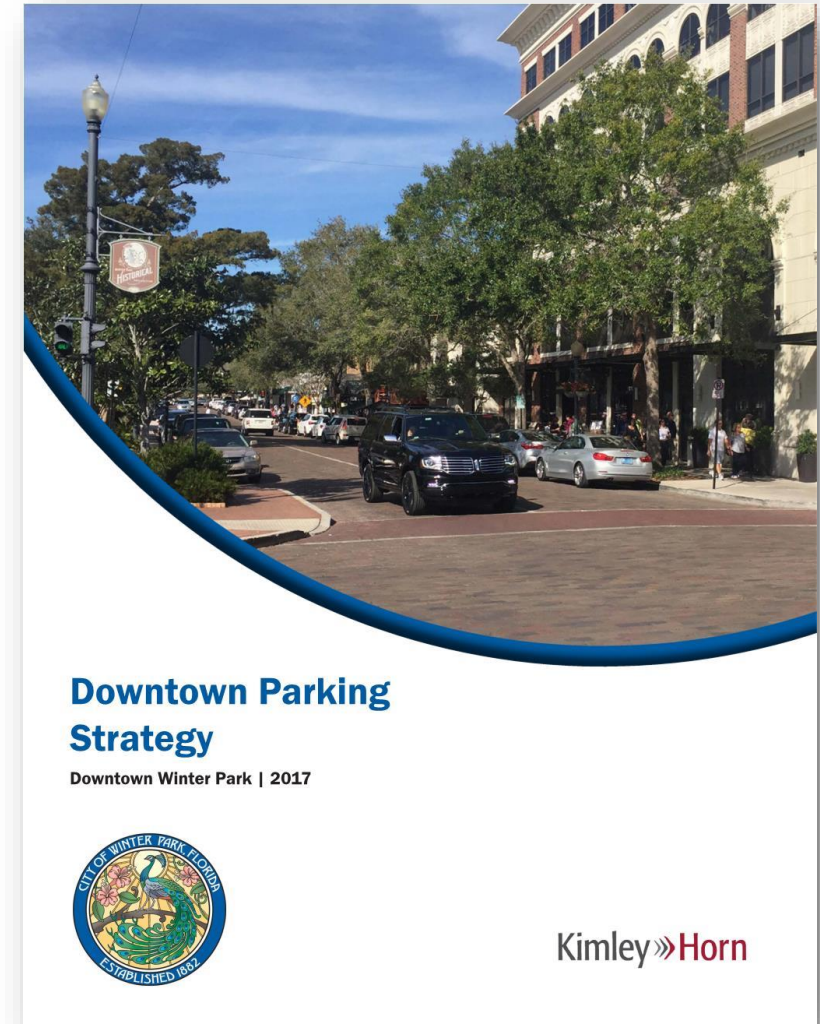
Parking Code Modernization

Winter Park, Florida

Kimley»Horn

| Project Background

- Downtown Parking Strategy identified three key concerns:
 - Lack of prime parking turnover
 - Underutilization of existing parking resources
 - A need to modernize parking policies and practices to better align with community expectations and prepare for the future
- Recommended an immediate update to the city's parking code to a *context-sensitive approach*



Context–Sensitive Parking

- Aligns parking requirements with community goals
- Reflects Winter Park's unique character
- Incentivizes shared parking and market-driven solutions
- Takes a data-driven approach to parking requirements
- Improves flexibility

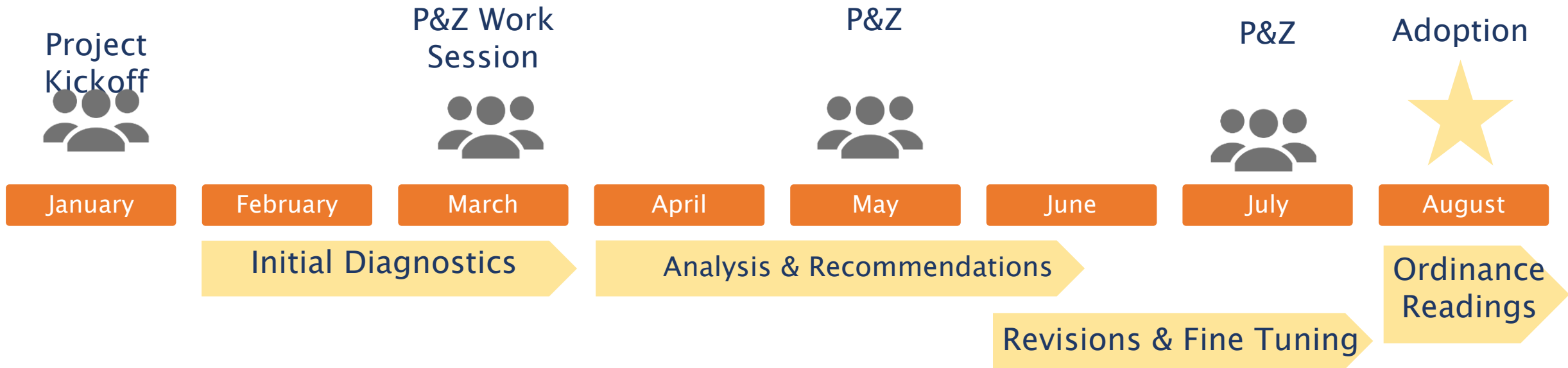


| Context-Sensitive Parking



Parking HERE does not have to look the same as parking HERE

The Process



| Peer Cities Code Evaluation

Parking Code Peer Review

- Delray Beach, FL
- St. Armands, Sarasota, FL
- Davidson, NC
- Asheville, NC
- Mt. Pleasant, SC
- Highland Park, IL



Parking Rate Comparison

	Studio	1 bedroom	2 bedroom	3 bedroom+	General Commercial & Retail	Restaurant	General Office	Hotel	Total
Winter Park	2.0 per unit if building is 2 units or less; 2.50 per unit if building is 3 units or more				4 per 1000 ft ²	20 per 1000 ft ² of patron use Or 1 per 3-4 seats	4 per 1,000 ft ² excluding some common areas	1.0 per room	2,983 spaces
Based on this code, Park Avenue requires:	496 spaces				1,102 spaces	462 spaces	895 spaces	28 spaces	
Peer Cities	1.29 per unit	1.4 per unit	1.6 per unit	1.75 per unit	3.8 per 1,000 ft ² CBD: 2.75 per 1,000 ft ²	10.12 per 1,000 ft ² CBD: 5.42 per 1,000 ft ²	3.16 per 1,000 ft ² CBD: 2.66 per 1,000 ft ²	1 per guest room	1,948 spaces
Based on this code, Park Avenue requires...	316 spaces				758 spaces	251 spaces	595 spaces	28 spaces	
Difference	180 spaces				344 spaces	211 spaces	300 spaces	0 spaces	1,035 spaces

At A Glance.....

- Residential: 36% (1 80) more spaces required in WP when compared with peers
- Commercial: 30% (344) more spaces required in WP when compared with peers
- Restaurant: 45% (211) more spaces required in WP when compared with peers

Reductions, Shared Parking & Exemptions

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armands, Sarasota, FL
Reduction for CBD	Allows reductions for restaurant parking only	May count on-street parking toward minimums	Reduction for restaurants in Atlantic Avenue area			No off-street parking required in CBD, various reductions offered in other districts throughout city	Buildings below 10,000 sq ft have no parking requirements; on-street may be counted toward parking requirement
Transit proximity				Reductions based on proximity to mass transit line and type of use (10-15% reduction)		Residential developments within a specified boundary to mass transit services are exempt from off-street parking.	
Shared Parking	Limited; may lease supply in excess of minimum	May share up to 50% of required spaces if certain		Allowed in mixed use developments based on ULI methodology; Allowable reductions: Retail/Service	Allowed in cases as prescribed in ULI for uses with	Up to 100% of parking requirements per approval of Planning	Upon approval of Zoning Board

| Demand Analysis

Park Avenue Demand Analysis

Land Uses Within Park Avenue	Intensity	Unit of Measure	Winter Park Current Minimum Parking Standards	Observed Demand per 2013 Study			
				Weekday Daytime	Weekday Evening	Weekend Daytime	Weekend Evening
Retail	275,569	square feet	1102	847	877	828	829
Restaurant – Fine Dining*	34,705	square feet	347	446	554	371	588
Restaurant – Family**	8,449	square feet	84	75	67	102	86
Restaurant – Casual**	3,077	square feet	31	46	40	43	37
Office***	223,848	square feet	895	632	171	59	4
Condos****	89	dwelling units	223	Not included			
Apartments****	109	dwelling units	273	Not included			
Residential Visitors	198	dwelling units	0	4	13	4	13
Hotel*****	28	rooms	28	4	1	3	2
Total Parking Spaces			2983	2054	1723	1410	1559
Percent of current required spaces			100%	69%	58%	47%	52%

Park Avenue Demand Analysis

Land Uses Within Park Avenue	Intensity	Unit of Measure	Winter Park Current Minimum Parking Standards	ULI Shared Use		Peer Communities – CBD/Downtown Districts						Peer Average	Peer CBD Average
				Weekday	Weekend	Davidson, NC Minimum	Davidson, NC Average	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	St. Armand's (Sarasota), FL		
Retail	275,569	square feet	1102	992	838	551	964	551	689	918	1102	1047	758
Restaurant – Fine Dining	34,705	square feet	347	535	826	69	95	416	87	347	231	351	188
Restaurant – Family	8,449	square feet	84			17	23	101	21	84	56	86	46
Restaurant – Casual	3,077	square feet	31	42	35	6	8	37	8	31	21	31	17
Office	223,848	square feet	895	850	0	448	616	817	560	745	889	707	595
Condos	89	dwelling units	223	109	159	89	134	156	178	134	89	142	142
Apartments	109	dwelling units	273	115	159	109	164	191	218	164	109	174	174
Residential Visitors	198	dwelling units	0	3	16	0	0	99	50	297	0	0	0
Hotel	28	rooms	28	16	15	56	77	20	22	28	28	28	28
Total Parking Spaces			2983	2662	2048	1345	2081	2388	1833	2748	2525	2566	1948
Percent of current required spaces			100%	89%	69%	45%	70%	80%	61%	92%	85%	86%	65%

| What did we learn?

What did we learn?

- Keep the requirements simple and predictable.
- Update parking requirements to reflect modern demand rates based on location, proximity to transit, ability to share parking resources and walkability.
- Rely on national best practices and peer cities to ensure Winter Park remains competitive and in-line with the current market trends.
- Plan for the future and allow for flexibility through innovative mobility solutions.

| Recommendations

Context Areas

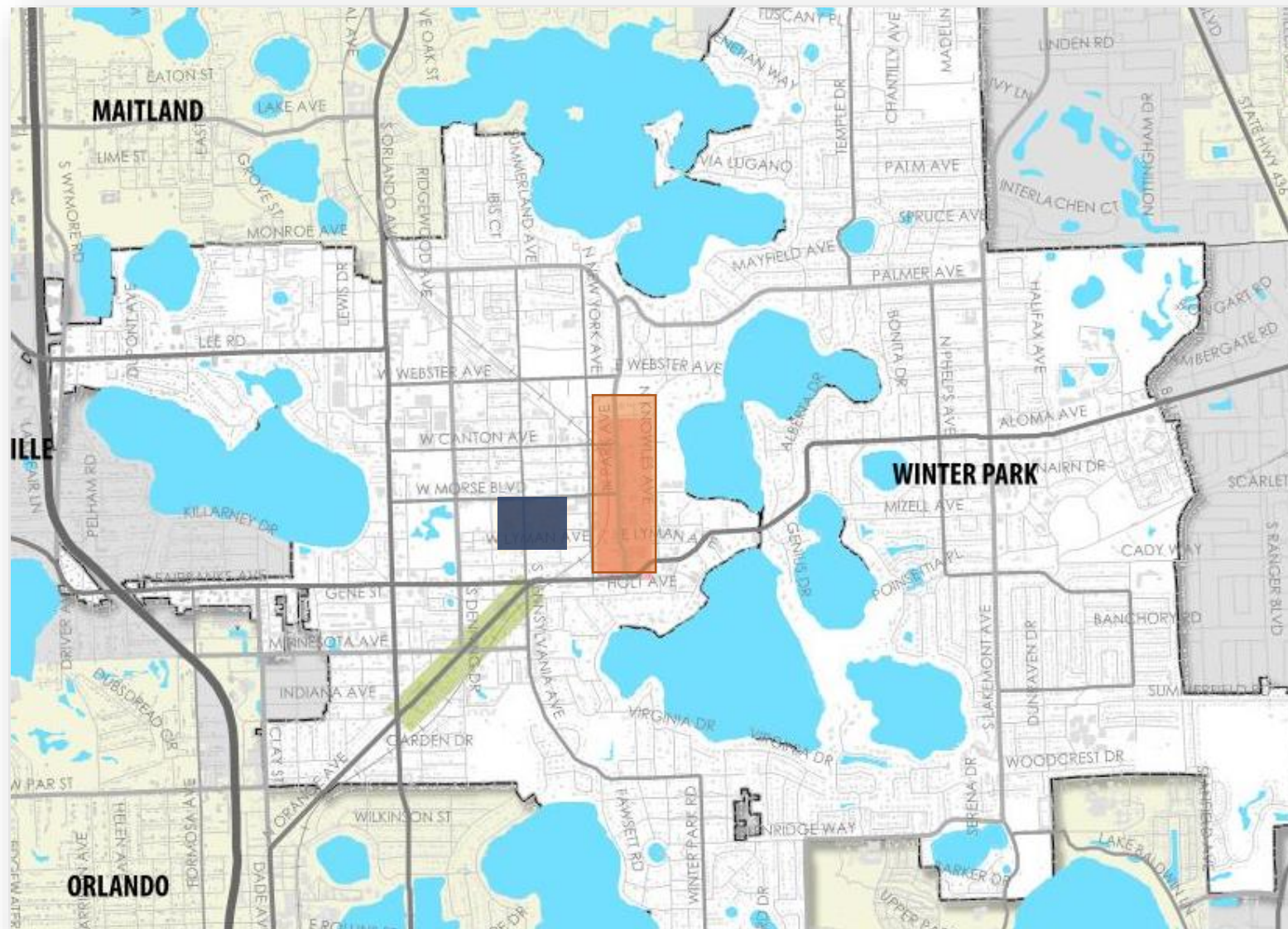


Park Avenue



Hannibal Square

Orange Avenue



Recommendations

Code Element		Park Avenue	Hannibal Square	Orange Avenue
Short-Term Recommendations	Modification of the Retail-to-Restaurant Conversion Variance	✓	✓	
	Fee-in-Lieu of Parking	✓	✓	✓
	Modernized Shared Parking Guidance	✓	✓	✓
	Updated Minimum Parking Requirements	✓		✓
	Captive Demand Reductions			✓
	Adaptive Reuse Incentives			✓

Updated Minimum Parking Requirements



PA – HS –
OA

Revises the outdated minimum parking requirements outlined in the current code, which were established decades ago, to reflect modern travel patterns.

Modification of Retail-to- Restaurant Variance

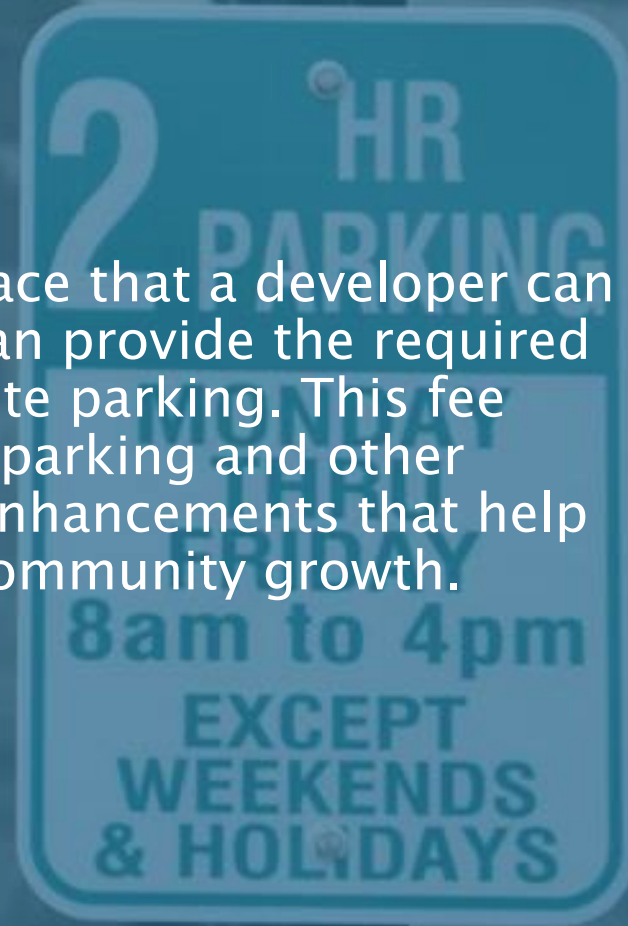


Modifies the existing variance in the current city code that waives the parking requirements when a retail space is converted to restaurant use.

Fee-in-Lieu of Parking

📍 PA – HS –
OA

A set fee per space that a developer can opt to pay rather than provide the required amount of on-site parking. This fee supports future parking and other transportation enhancements that help accommodate community growth.



Modernized Shared Parking Guidance



PA – HS –
OA

Updates the criteria for implementing, operating, and managing shared parking agreements, including public and private sector assets. There is currently little to no shared parking within the Park Avenue area including realistic walking thresholds.

EMPLOYEE PARKING
AUTHORIZED VEHICLES ONLY
VIOLATORS WILL BE TOWED

4701

Captive Demand Reductions



Allows complimentary uses to share parking as some of the demand is generated by other uses. Reducing the minimum parking requirement for the secondary use by up to 10% will account for this captive demand.

Adaptive Reuse Incentives



Provides a total or partial exemption from the minimum parking requirement to developments that make use of existing structures.

Long-Term Considerations

Captive Demand Reduction

Think internal trip/parking capture in mixed-used development.

Employer TDM Programs

Efforts to reduce the peak employment parking demand through formal incentives, staggered work hours, mode shift, telecommuting.

TOD Reductions

Parking discounts offered due to proximity to transit.

Parking Maximums

Capping the amount of parking to ensure

Locations



PA – HS – OA



PA –OA



PA – HS – OA



OA

| Case Studies

Park Avenue

Current



Proposed

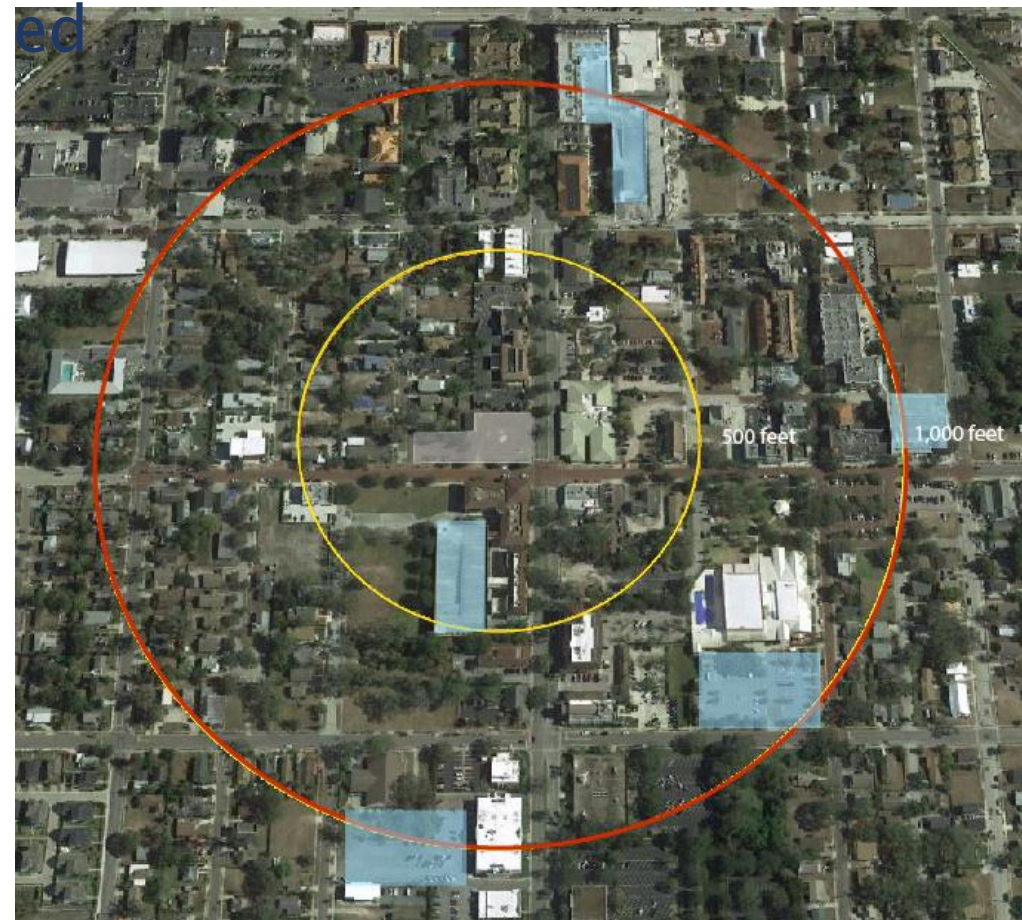


Hannibal Square

Current



Proposed



Orange Avenue

Current



Proposed



Discussion

Next Steps

ULI Shared Use Analysis

Time-of-Day Factors for Weekday Demand																				
		6 AM	7 AM	8 AM	9 AM	10 AM	11 AM	12 PM	1 PM	2 PM	3 PM	4 PM	5 PM	6 PM	7 PM	8 PM	9 PM	10 PM	11 PM	12 AM
Shopping Center-Typical	Customer	1%	5%	15%	35%	65%	85%	95%	100%	95%	90%	90%	95%	95%	95%	80%	50%	30%	10%	
December	Customer	1%	5%	15%	30%	55%	75%	90%	100%	100%	100%	95%	85%	80%	75%	65%	50%	30%	10%	
Late December	Customer	1%	5%	10%	20%	40%	65%	90%	100%	100%	100%	95%	85%	70%	55%	40%	25%	15%	5%	
	Employee	10%	15%	40%	75%	85%	95%	100%	100%	100%	100%	100%	95%	95%	95%	90%	75%	40%	15%	
Fine/Casual Dining Restaurant	Customer					15%	40%	75%	75%	65%	40%	50%	75%	95%	100%	100%	100%	95%	75%	25%
	Employee		20%	50%	75%	90%	90%	90%	90%	90%	75%	75%	100%	100%	100%	100%	100%	100%	85%	35%
Park and Ride lot	Customer	25%	50%	60%	75%	85%	90%	100%	90%	50%	45%	45%	75%	80%	80%	80%	60%	55%	50%	25%
	Employee	50%	75%	90%	90%	100%	100%	100%	100%	100%	75%	75%	95%	95%	95%	95%	80%	65%	65%	35%
Fast Food Restaurant	Customer	5%	10%	20%	30%	55%	85%	100%	100%	90%	60%	55%	60%	85%	80%	50%	30%	20%	10%	5%
	Employee	15%	20%	30%	40%	75%	100%	100%	100%	95%	70%	60%	70%	90%	90%	60%	40%	30%	20%	20%
Nightclub	Customer													25%	50%	75%	100%	100%	100%	100%
	Employee				5%	5%	5%	5%	10%	10%	10%	20%	45%	70%	100%	100%	100%	100%	100%	100%
Movie Theater	Customer							20%	45%	55%	55%	55%	60%	60%	80%	100%	100%	100%	80%	40%
Late December	Customer							35%	60%	75%	80%	80%	80%	70%	80%	100%	100%	85%	70%	55%
	Employee							50%	60%	60%	75%	75%	100%	100%	100%	100%	100%	100%	70%	50%
Performing Arts Theater	Customer				1%	1%	1%	1%	1%	1%	1%	1%	1%	1%	25%	100%	100%			
No matinee	Employee		10%	10%	20%	20%	20%	30%	30%	30%	30%	30%	30%	100%	100%	100%	100%	30%	10%	5%
Arena	Customer				1%	1%	1%	1%	1%	1%	1%	1%	1%	10%	25%	100%	100%	85%		
	Employee		10%	10%	20%	20%	20%	30%	30%	30%	30%	30%	30%	100%	100%	100%	100%	30%	10%	5%
Pro Football Stadium	Customer				1%	1%	1%	5%	5%	5%	5%	5%	5%	10%	50%	100%	100%	85%	25%	
8 p.m. start	Employee		10%	10%	20%	20%	20%	30%	30%	30%	30%	30%	30%	100%	100%	100%	100%	100%	25%	10%
Health Club	Customer	70%	40%	40%	70%	70%	80%	60%	70%	70%	70%	80%	90%	100%	90%	80%	70%	35%	10%	
	Employee	75%	75%	75%	75%	75%	75%	75%	75%	75%	75%	75%	100%	100%	75%	50%	20%	20%	20%	
Convention Center	Customer			50%	100%	100%	100%	100%	100%	100%	100%	100%	100%	50%	30%	30%	10%			
	Employee	5%	30%	33%	33%	100%	100%	100%	100%	100%	100%	90%	70%	40%	25%	20%	20%	5%		
Hotel-Business	Guest	95%	90%	80%	70%	60%	60%	55%	55%	60%	60%	65%	70%	75%	75%	80%	85%	95%	100%	100%
Hotel-Leisure	Guest	95%	95%	90%	80%	70%	70%	65%	65%	70%	70%	75%	80%	85%	85%	90%	95%	95%	100%	100%
Restaurant/Lounge	Customer		10%	30%	10%	10%	5%	100%	100%	33%	10%	10%	30%	55%	60%	70%	67%	60%	40%	30%
Conference Ctr/Banquet (20 to 50 sq ft/guest room)	Customer			30%	60%	60%	60%	65%	65%	65%	65%	65%	100%	100%	100%	100%	100%	50%		
Convention Space (>50 sq ft/guest room)	Customer			50%	100%	100%	100%	100%	100%	100%	100%	100%	100%	50%	30%	30%	10%			
	Employee	5%	30%	90%	90%	100%	100%	100%	100%	100%	100%	90%	70%	40%	20%	20%	20%	20%	10%	5%
Residential	Resident	100%	90%	85%	80%	75%	70%	65%	70%	70%	70%	75%	85%	90%	97%	98%	99%	100%	100%	100%
	Reserved	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
	Guest		10%	20%	20%	20%	20%	20%	20%	20%	20%	20%	40%	60%	100%	100%	100%	100%	80%	50%
Office	Visitor		1%	20%	60%	100%	45%	15%	45%	100%	45%	15%	10%	5%	2%	1%				
	Employee	3%	30%	75%	95%	100%	100%	90%	90%	100%	100%	90%	50%	25%	10%	7%	3%	1%		
Medical/Dental Office	Customer			90%	90%	100%	100%	30%	90%	100%	100%	90%	80%	67%	30%	15%				
	Employee			60%	100%	100%	100%	100%	100%	100%	100%	100%	100%	67%	30%	15%				
Bank (Branch) with Drive-In	Customer			50%	90%	100%	50%	50%	50%	70%	50%	80%	100%							
	Employee			60%	100%	100%	100%	100%	100%	100%	100%	100%	100%							

		Time-of-Day Factors for Weekend Demand																		
		6 AM	7 AM	8 AM	9 AM	10 AM	11 AM	12 PM	1 PM	2 PM	3 PM	4 PM	5 PM	6 PM	7 PM	8 PM	9 PM	10 PM	11 PM	12 AM
Shopping Center-Typical	Customer	1%	5%	10%	30%	50%	65%	80%	90%	100%	100%	95%	90%	80%	75%	65%	50%	35%	15%	0%
	December	Customer	1%	5%	10%	35%	60%	70%	85%	95%	100%	100%	95%	90%	80%	75%	65%	50%	35%	15%
Late December	Customer	1%	5%	10%	20%	40%	60%	80%	95%	100%	100%	95%	85%	70%	60%	50%	30%	20%	10%	0%
	Employee	10%	15%	40%	75%	85%	95%	100%	100%	100%	100%	100%	95%	85%	80%	75%	65%	45%	15%	0%
Fine/Casual Dining Restaurant	Customer		0%	0%	0%	0%	15%	50%	55%	45%	45%	45%	60%	90%	95%	100%	90%	90%	90%	50%
	Employee		20%	30%	60%	75%	75%	75%	75%	75%	75%	75%	100%	100%	100%	100%	100%	100%	85%	50%
Park and Ride lot	Customer	10%	25%	45%	70%	90%	90%	100%	85%	65%	40%	45%	60%	70%	70%	65%	30%	25%	15%	10%
	Employee	50%	75%	90%	90%	100%	100%	100%	100%	100%	100%	75%	75%	95%	95%	95%	95%	80%	65%	35%
Fast Food Restaurant	Customer	5%	10%	20%	30%	55%	85%	100%	100%	90%	60%	55%	60%	85%	80%	50%	30%	20%	10%	5%
	Employee	15%	20%	30%	40%	75%	100%	100%	100%	95%	70%	60%	70%	90%	90%	60%	40%	30%	20%	20%
Nightclub	Customer													25%	50%	75%	100%	100%	100%	100%
	Employee				5%	5%	5%	5%	10%	10%	10%	20%	45%	70%	100%	100%	100%	100%	100%	100%
Movie Theater	Customer							20%	45%	55%	55%	55%	60%	60%	80%	100%	100%	80%	65%	40%
Late December	Customer							35%	60%	75%	80%	80%	80%	70%	80%	100%	100%	85%	70%	55%
	Employee							50%	60%	60%	75%	75%	100%	100%	100%	100%	100%	100%	70%	50%
Performing Arts Theater	Customer				1%	1%	1%	1%	1%	1%	1%	1%	1%	1%	25%	100%	100%			
	Employee		10%	10%	20%	20%	20%	30%	30%	30%	30%	30%	30%	100%	100%	100%	100%	30%	10%	5%
Arena	Customer				1%	1%	1%	1%	1%	1%	1%	1%	1%	10%	25%	100%	100%	85%		
	Employee		10%	10%	20%	20%	20%	30%	30%	30%	30%	30%	30%	100%	100%	100%	100%	100%	25%	10%
Pro Football Stadium	Customer				1%	1%	1%	5%	5%	5%	5%	5%	5%	10%	50%	100%	100%	85%	25%	
	Employee		10%	10%	20%	20%	20%	30%	30%	30%	30%	30%	30%	100%	100%	100%	100%	100%	25%	10%
Health Club	Customer	70%	40%	40%	70%	70%	80%	60%	70%	70%	70%	80%	90%	100%	90%	80%	70%	35%	10%	
	Employee	75%	75%	75%	75%	75%	75%	75%	75%	75%	75%	75%	100%	100%	75%	50%	20%	20%	20%	
Convention Center	Customer			50%	100%	100%	100%	100%	100%	100%	100%	100%	100%	50%	30%	30%	10%			
	Employee	5%	30%	33%	33%	100%	100%	100%	100%	100%	100%	90%	70%	40%	25%	20%	20%	5%		
Hotel-Business	Guest	95%	90%	80%	70%	60%	60%	55%	55%	60%	60%	65%	70%	75%	75%	80%	85%	95%	100%	100%
Hotel-Leisure	Guest	95%	95%	90%	80%	70%	70%	65%	65%	70%	70%	75%	80%	85%	85%	90%	95%	95%	100%	100%
Restaurant/Lounge	Customer		10%	30%	10%	10%	5%	100%	100%	33%	10%	10%	30%	55%	60%	70%	67%	60%	40%	30%
Conference Ctr/Banquet (20 to 50 sq ft/guest room)	Customer			30%	60%	60%	60%	65%	65%	65%	65%	65%	100%	100%	100%	100%	100%	50%		
Convention Space (>50 sq ft/guest room)	Customer			50%	100%	100%	100%	100%	100%	100%	100%	100%	100%	50%	30%	30%	10%			
	Employee	5%	30%	90%	90%	100%	100%	100%	100%	100%	100%	90%	75%	60%	55%	55%	55%	45%	45%	30%
Residential	Resident	100%	90%	85%	80%	75%	70%	65%	70%	70%	70%	75%	85%	90%	97%	98%	99%	100%	100%	100%
	Reserved	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Office	Guest		20%	20%	20%	20%	20%	20%	20%	20%	20%	20%	40%	60%	100%	100%	100%	100%	80%	50%
	Visitor		20%	60%	80%	90%	100%	90%	80%	60%	40%	20%	10%	5%						
	Employee		20%	60%	80%	90%	100%	90%	80%	60%	40%	20%	10%	5%						
Medical/Dental Office	Customer			90%	90%	100%	100%	30%												
	Employee			60%	100%	100%	100%	100%												
Bank (Branch) with Drive-In	Customer			25%	40%	75%	100%	90%												
	Employee			90%	100%	100%	100%	100%												



Peer Cities Code Evaluation

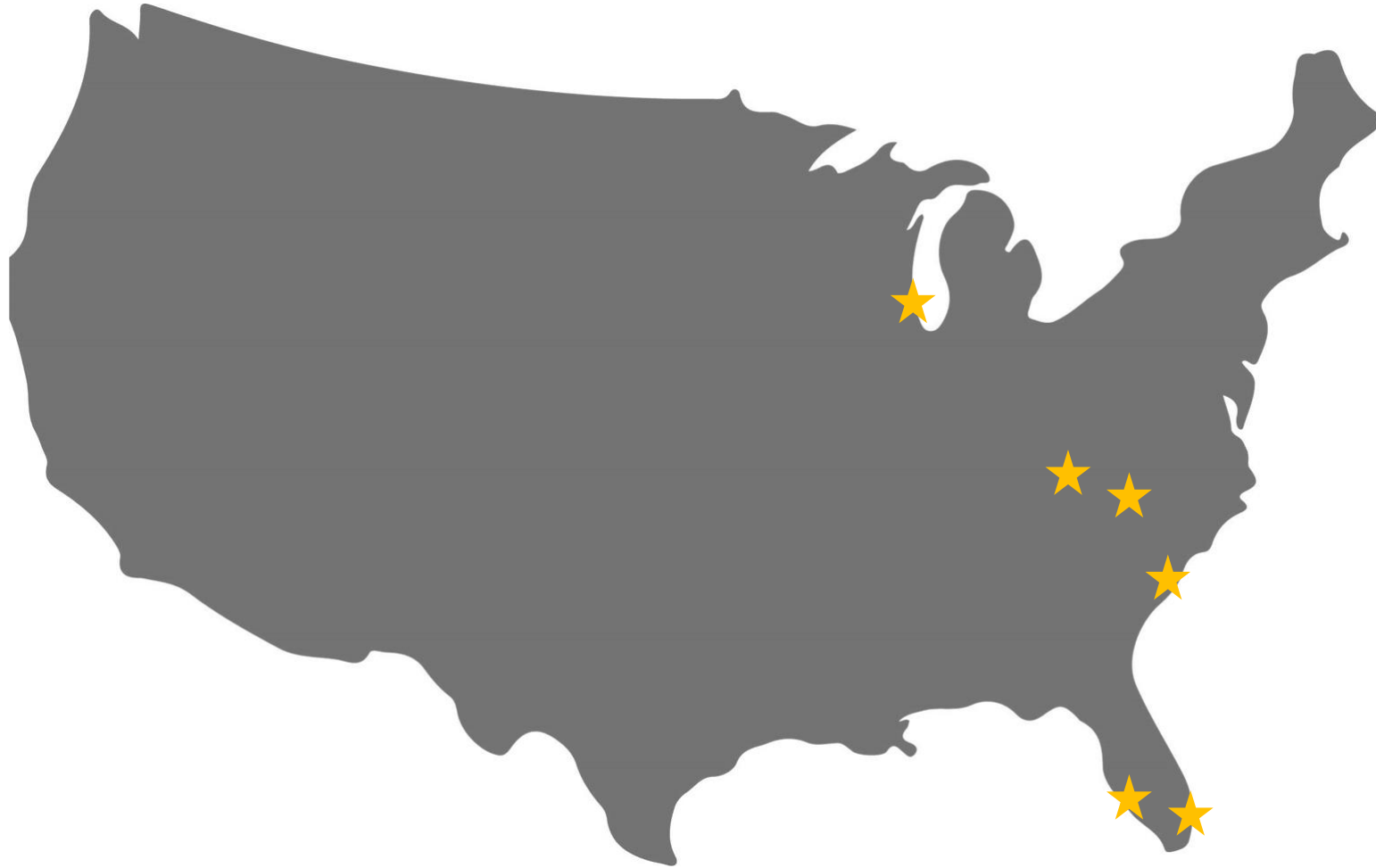
Winter Park, Florida

Kimley»Horn

Peer Cities Code Evaluation

Parking Code Peer Review

- Delray Beach, FL
- St. Armands, Sarasota, FL
- Davidson, NC
- Asheville, NC
- Mt. Pleasant, SC
- Highland Park, IL



Delray Beach, FL

South Atlantic Coast destination with a thriving downtown retail and restaurants district. Festivals and seasonal events increase demand in the constrained environment.

Currently looking at eliminating free street parking and replacing with smart meters and surge pricing.

Population: 67,000

Downtown: 0.64 sq mi

Downtown parking spaces:

- 1,052 on-street
- 2,637 off-street public



St. Armands, Sarasota

High-end shopping district in Sarasota, located on an island in the Gulf, connected to downtown Sarasota by the John Ringling Causeway.

Free parking available throughout the district.

Population: 54,425 (Sarasota)

Downtown: 0.19 sq mi

Downtown parking spaces:

- 575 on-street
- 406 off-street public



Davidson, NC

North suburb of Charlotte, centers on a traditional, thriving Main Street and the campus of Davidson College. Known for their leading approach to zoning, development, and bicycle & pedestrian planning in the region.

Free parking available throughout downtown.

Population: 12,452

Downtown: 0.18 sq mi

Downtown parking spaces:

- 371 on-street
- 298 off-street public
- 1,261 off-street private



Asheville, NC

Arts, culture and outdoor destination in the Blue Ridge mountains. Congested parking throughout the downtown area is exacerbated by seasonal demand and festivals.

Parking meters and paid lots throughout downtown.

Population: 89,121

Downtown: 2.24 sq mi

Downtown parking spaces:

- 765 on-street
- 1,523 off-street public



Mt. Pleasant, SC

Upscale, fast-growing suburb of Charleston, connected via bridge. Historic downtown in a constrained environment.

Free parking throughout the town.

Population: 84,170

Downtown: 0.31 sq mi

Downtown parking spaces:

- Not available



Highland Park, IL

North shore suburb of Chicago linked by commuter rail. Walkable, thriving downtown centered on the Metra rail line.

Free parking throughout downtown.

Population: 29,641

Downtown: 0.19 sq mi

Downtown parking spaces:

- 507 on-street
- 2,547 off-street public



Multifamily Parking Minimums

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armands, Sarasota, FL	Peer Cities Average
Studio	2.0 per unit if building is 2 units or less; 2.50 per unit if building is 3 units or more	Min: 1.0 per unit Max: 2.0 per unit	1.0 per unit + guest spaces (see below)	1.25 per unit + guest spaces (see below)	1.5-3.0 per dwelling unit	Min: 1.0 per unit Max: 2.0 per unit CBD: None	2.0 per unit Downtown districts: 1.0 per unit	1.29 per unit
1 Bedroom			1.50 per unit CBD: 1.25 per unit + guest spaces (see below)	1.5 per unit + guest spaces (see below)				1.4 per unit
2 Bedrooms			2.0 per unit CBD: 1.75 per unit + guest spaces (see below)	2.0 per unit + guest spaces (see below)				1.6 per unit
3 Bedrooms +				2.0 per unit + guest spaces (see below)		Min: 2.0 per unit Max: 3.0 per unit CBD: None	1.5 per unit if senior Housing 1.75 per unit	
Based on this code, Park Avenue requires...	496 spaces							316 spaces

Retail Parking Minimums

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armands, Sarasota, FL	Peer Cities Average
General Commercial & Retail	4 per 1000 ft ²	Min: 2.0 per 1,000 ft ² Max: 5.0 per 1,000 ft ²	4.5 per 1,000 ft ² CBD: 2 per 1,000 ft ²	3.3 per 1,000 ft ² CBD: <15k ft ² : 2.5 per 1,000 ft ² >15k ft ² : No requirement for first 2,000 ft ² , then 1.5 per 1,000 ft ²	3.3-5 per 1,000 ft ²	Min: 2.85 per 1,000 ft ² Max: 5.0 per 1,000 ft ² CBD: None	4.0 per 1,000 ft ²	3.8 per 1,000 ft ² CBD: 2.75 per 1,000 ft ²
Based on this code, Park Avenue requires...	1,102 spaces							758 spaces

100%

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armands, Sarasota, FL	Peer Cities Average
Restaurant	20 per 1000 ft ² of patron use Or 1 per 3 seats	Min: 2.0 per 1,000 ft ² Max: 3.5 per 1,000ft ²	<6,000 ft ² : 12.0 space per 1,000 ft ² >6,000 ft ² : additional 15 per 1,000 ft ² over initial 6,000 ft ² CBD: 6.0 space per 1,000 ft ²	20 per 1,000 ft ² for kitchen, serving and waiting area + 0.5 per seat Outdoor restaurants: 10.80 per 1,000 ft ² CBD: <15k ft ² : 2.5 per 1,000 ft ² >15k ft ² : No requirement for first 2,000 ft ² , then 1.5 per 1,000 ft ²	10 per 1,000 ft ²	Min: 1 per 3 seats + 1 per 2 employees on peak shift Max: 1 per 2 seats + 1 per 2 employees on peak shift CBD: None	Casual/Fine: 6.6 per 1,000 ft ²	10.12 per 1,000 ft ² CBD: 5.42 per 1,000 ft ²
Based on this code, Park Avenue requires...	462 spaces (assumes that 50% of square footage is "for patron use")							251 spaces

1

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armands, Sarasota, FL	Peer Cities Average
General Office	4 per 1,000 ft ² excluding some common areas	Min: 2.0 per 1,000 ft ² Max: 3.5 per 1,000ft ²	<3,000 ft ² : 4 per 1,000 ft ² >3,000 ft ² above: + 3.5 per 1,000 ft ² over initial 3,000 ft ² CBD: <10,000 ft ² : 2 per 1,000 ft ² >10,000 ft ² more than 750 ft ² from public garage or transit station: 3.3 per 1,000 ft ² >10,000 ft ² within 750 ft ² from public garage or transit station: 2.0 per 1,000 ft ²	<30kft ² : 4.0 per 1,000 ft ² then 3.3 per 1,000 ft ² each additional 1,000 ft ² CBD: <15k ft ² : 2.5 per 1,000 ft ² >15k ft ² : No requirement for first 2,000 ft ² , then 1.5 per 1,000 ft ²	3.3-5 per 1,000 ft ²	Min: 2.85 per 1,000 ft ² Max: 4.0 per 1,000 ft ² CBD: None	2.85 per 1,000 ft ²	3.16 per 1,000 ft ² CBD: 2.66 per 1,000 ft ²
Based on this code, Park Avenue requires...	895 spaces							595 spaces

Reductions, Shared Parking & Exemptions

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armands, Sarasota, FL
Reduction for CBD	Allows reductions for restaurant parking only	May count on-street parking toward minimums	Reduction for restaurants in Atlantic Avenue area			No off-street parking required in CBD, various reductions offered in other districts throughout city	Buildings below 10,000 sq ft have no parking requirements; on-street may be counted toward parking requirement
Transit proximity				Reductions based on proximity to mass transit line and type of use (10-15% reduction)		Residential developments within a specified boundary to mass transit services are exempt from off-street parking.	
Shared Parking	Limited; may lease supply in excess of minimum requirements	May share up to 50% of required spaces if certain conditions are met		Allowed in mixed use developments based on ULI methodology; Allowable reductions: Retail/Service 15%; Food/Beverage: 15%; General Offices and Financial Institutions 5%;	Allowed in cases as prescribed in ULI for uses with complimentary peak hours and or seasons	Up to 100% of parking requirements per approval of Planning and Zoning Director	Upon approval of Zoning Board



Demand Analysis

Park Avenue Demand Analysis

Land Uses Within Park Avenue	Intensity	Unit of Measure	Winter Park Current Minimum Parking Standards	Observed Demand per 2013 Study			
				Weekday Daytime	Weekday Evening	Weekend Daytime	Weekend Evening
Retail	275,569	square feet	1102	847	877	828	829
Restaurant - Fine Dining*	34,705	square feet	347	446	554	371	588
Restaurant - Family**	8,449	square feet	84	75	67	102	86
Restaurant - Casual**	3,077	square feet	31	46	40	43	37
Office***	223,848	square feet	895	632	171	59	4
Condos****	89	dwelling units	223	Not included			
Apartments*****	109	dwelling units	273	Not included			
Residential Visitors	198	dwelling units	0	4	13	4	13
Hotel*****	28	rooms	28	4	1	3	2
Total Parking Spaces			2983	2054	1723	1410	1559
Percent of current required spaces			100%	69%	58%	47%	52%

Park Avenue Demand Analysis

Land Uses Within Park Avenue	Intensity	Unit of Measure	Winter Park Current Minimum Parking Standards	ULI Shared Use		Peer Communities - CBD/Downtown Districts						Peer Average	Peer CBD Average
				Weekday	Weekend	Davidson, NC Minimum	Davidson, NC Average	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	St. Armand's (Sarasota), FL		
Retail	275,569	square feet	1102	992	838	551	964	551	689	918	1102	1047	758
Restaurant - Fine Dining	34,705	square feet	347	535	826	69	95	416	87	347	231	351	188
Restaurant - Family	8,449	square feet	84			17	23	101	21	84	56	86	46
Restaurant - Casual	3,077	square feet	31			6	8	37	8	31	21	31	17
Office	223,848	square feet	895	850	0	448	616	817	560	745	889	707	595
Condos	89	dwelling units	223	109	159	89	134	156	178	134	89	142	142
Apartments	109	dwelling units	273	115	159	109	164	191	218	164	109	174	174
Residential Visitors	198	dwelling units	0	3	16	0	0	99	50	297	0	0	0
Hotel	28	rooms	28	16	15	56	77	20	22	28	28	28	28
Total Parking Spaces			3983	2662	2048	1345	2081	2388	1833	2748	2525	2566	1948
Percent of current required spaces			100%	89%	69%	45%	70%	80%	61%	92%	85%	86%	65%

| What did we learn?

What did we learn?

- Winter Park is on track in some areas, and “overparked” in others.
- Some codes are needlessly complicated – Keep the rewrite simple.
- The ULI methodology is likely a good place to start when developing a shared parking policy.
- Even the peer city with the most suburban parking code (Mt. Pleasant) has lower parking minimums than Winter Park
- Parking in the central business district should not be treated the same as in suburban areas.

Peer City Evaluation

	Winter Park, FL ¹	Davidson, NC ²	Delray Beach, FL ³	Highland Park, IL ⁴	Mt. Pleasant, SC	Asheville, NC ⁵	St. Armands, Sarasota, FL ⁶
Population	30,208	12,452	67,371	29,641	84,170	89,121	54,425 (Sarasota)
Persons per household	2.30	2.53	2.37	2.56	2.50	2.24	2.17 (Sarasota)
Size of Downtown (square miles approx.)	0.11	0.18	0.64	0.19	0.31	0.14	0.19
Downtown Parking Supply							
On-Street	832	371	1,053	507	Not Available	765	575
Off-Street, Public	532	298	2,637	2,547	Not Available	1,523	406
Off-Street, Private	461	1,261	Not Available	Not Available	Not Available	Not Available	0

¹ Zones 4 and 6 of the 2013 Parking Study

² Town of Davidson Comprehensive Parking Study, April 2011 <https://www.ci.davidson.nc.us/DocumentCenter/Home/View/1737>

³ Delray Beach Parking Management Plan, August 2010 <https://www.mydelraybeach.com/Delray%20Beach%20Parking%20Management%20Plan.pdf>

⁴ Highland Park 2016 Parking Report <https://www.cityhpil.com/resident/docs/2016%20%20PARKING%20REPORT%20FINAL.pdf>

⁵ City of Asheville, NC Strategic Plan, February 2017 [http://www.ashevillenc.gov/mwg-internal/de5fs23hu73ds/\\$MKiks5-L_-41Hm8bAWLfX6uSqEN07IPmofoIjYBKmL8./progress?id=XsK0cQFbUxcGI7XM_jKGa1qxHqwViE-GICXn-ebvw.&dl](http://www.ashevillenc.gov/mwg-internal/de5fs23hu73ds/$MKiks5-L_-41Hm8bAWLfX6uSqEN07IPmofoIjYBKmL8./progress?id=XsK0cQFbUxcGI7XM_jKGa1qxHqwViE-GICXn-ebvw.&dl)

⁶ St. Armand's Circle Association, Parking Information <https://www.stArmandscircleassoc.com/parking/>

Parking Minimums - Multifamily Residential

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armands, Sarasota, FL	Peer Cities Average
Multifamily, studio	2.0 per unit if building is 2 units or less; 2.50 per unit if building is 3 units or more	Min: 1.0 per unit Max: 2.0 per unit	1.0 per unit + guest spaces (see below)	1.25 per unit + guest spaces (see below)	1.5-3.0 per dwelling unit	Min: 1.0 per unit Max: 2.0 per unit	2.0 per unit	1.29 per unit
Multifamily, 1 Bedroom			1.50 per unit CBD: 1.25 per unit + guest spaces (see below)	1.5 per unit + guest spaces (see below)			Downtown districts: 1.0 per unit	1.4 per unit
Multifamily, 2 Bedrooms			2.0 per unit CBD: 1.75 per unit + guest spaces (see below)	2.0 per unit + guest spaces (see below)		Min: 2.0 per unit Max: 3.0 per unit	1.5 per unit if senior Housing	1.6 per unit
Multifamily, 3 Bedrooms+				2.0 per unit + guest spaces (see below)				1.75 per unit
Multifamily, Guest Spaces	Included in above	Included in above	Units 1-20: 0.50 per unit + Units 21-50: 0.30 per unit + Units 51 and above: 0.20 per unit	0.5 per unit if fewer than 5 units; 0.25 per unit if 5 or more units	Included in above	Included in above	Included in above	N/A

Commercial, Office & Hospitality

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armands, Sarasota, FL	Peer Cities Average
General Commercial & Retail	4 per 1,000 ft ²	Min: 2.0 per 1,000 ft ² Max: 5.0 per 1,000 ft ²	4.5 per 1,000 ft ² CBD: 2 per 1,000 ft ²	3.3 per 1,000 ft ² <i>CBD:</i> <15k ft ² : 2.5 per 1,000 ft ² >15k ft ² : No requirement for first 2,000 ft ² , then 1.5 per 1,000 ft ²	3.3-5 per 1,000 ft ²	Min: 2.85 per 1,000 ft ² Max: 5.0 per 1,000 ft ²	4.0 per 1,000 ft ²	3.8 per 1,000 ft ² CBD: 2.75 per 1,000 ft ²
Restaurant	20 per ,1000 ft ² of patron use Or 1 per 3 seats	Min: 2.0 per 1,000 ft ² Max: 3.5 per 1,000ft ²	<6,000 ft ² : 12.0 space per 1,000 ft ² >6,000 ft ² : additional 15 per 1,000 ft ² over initial 6,000 ft ² CBD: 6.0 space per 1,000 ft ²	20 per 1,000 ft ² for kitchen, serving and waiting area + 0.5 per seat Outdoor restaurants: 10.80 per 1,000 ft ² CBD: <15k ft ² : 2.5 per 1,000 ft ² >15k ft ² : No requirement for first	10 per 1,000 ft ²	Min: 1 per 3 seats + 1 per 2 employees on peak shift Max: 1 per 2 seats + 1 per 2 employees on peak shift	Casual/Fine: 6.6 per 1,000 ft ²	10.12 per 1,000 ft ² CBD: 5.42 per 1,000 ft ²

				2,000 ft ² , then 1.5 per 1,000 ft ²				
General Office	4 per 1,000 ft ² excluding some common areas	Min: 2.0 per 1,000 ft ² Max: 3.5 per 1,000ft ²	<3,000 ft ² : 4 per 1,000 ft ² >3,000 ft ² above: + 3.5 per 1,000 ft ² over initial 3,000 ft ² CBD: <10,000 ft ² : 2 per 1,000 ft ² >10,000 ft ² more than 750 ft ² from public garage or transit station: 3.3 per 1,000 ft ² >10,000 ft ² within 750 ft ² from public garage or transit station: 2.0 per 1,000 ft ²	<30kft ² : 4.0 per 1,000 ft ² then 3.3 per 1,000 ft ² each additional 1,000 ft ² CBD: <15k ft ² : 2.5 per 1,000 ft ² >15k ft ² : No requirement for first 2,000 ft ² , then 1.5 per 1,000 ft ²	3.3-5 per 1,000 ft ²	Min: 2.85 per 1,000 ft ² Max: 4.0 per 1,000 ft ²	2.85 per 1,000 ft ²	3.16 per 1,000 ft ² CBD: 2.66 per 1,000 ft ²
Hotel/Motel	1.0 per room + any auxiliary use minimums calculated separately	Min: 2.0 per 1,000 ft ² Max: 3.5 per 1,000ft ²	0.7 space per guest room + 1.0 space per 800 ft ² of meeting rooms and shops	1.0 per room + 2.0 per manager/owner + any auxiliary space (restaurant, meeting rooms) minimums calculated separately	1-2 per guest room	Min: 1.0 per 2 rooms + any auxiliary use minimums calculated separately Max: 1.0 per room + any auxiliary use minimums calculated separately	1.1 per room + any auxiliary use minimums calculated separately DTE/DTC: 0.5 per room	1 per guest room

Parking Minimums

Reductions & Shared Parking

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armand's, Sarasota, FL
Location-based reductions	Restaurants in the CDB may reduce from 1 per 3 seats to 1 per 4 seats	Village Center, Village Edge, and Village Commerce Planning Areas – grandfathered area; may count on-street parking toward minimum requirements and are exempt from bicycle	Restaurants in the Atlantic Avenue Parking District: 12 spaces per 1,000 ft ² for the first 6,000 ft ² plus 15 spaces per each additional 1,000 ft ²			No off-street parking required in CBD, various reductions offered in other districts throughout city	No specific reductions for St. Armand's neighborhood Reductions and shared parking apply to Downtown Sarasota Nonresidential reduction in DTE/DTC to 2 per 1,000 ft ² , not including lodging as provided here; bldgs. under 10,000 ft ² or of historical designation have no parking requirements; on-street parking adjacent to bldg. frontage may be

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armand's, Sarasota, FL
		parking requirements					counted toward requirement; tandem parking may be utilized for employee parking
Valet			Restaurants, Cocktail Lounges, Hotels, and Residential Type Inns may provide their required vehicular parking as valet parking, subject to the provisions of Section 4.6.9(F)(3)	10% for use of valet service during all operating hours			Valet operations may not be exclusive to a single business; operators must provide service regardless of patron's intended destination; operating hours restricted to 5pm – 3pm, unless approved through special application; vehicles may not stage more than 15 minutes- must be moved to storage lot
Shared Parking	Limited; may lease supply	May share up to 50% of	Calculation method detailed	Allowed in mixed use developments	Allowed in cases as	Up to 100% of parking	Nonresidential uses upon approval of

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armand's, Sarasota, FL
	in excess of minimum requirements	required spaces if operating hours of uses do not significantly overlap and is located within 50 feet of main entrance; Off-site parking allowed within ¼ mile per pedestrian access route in facilities where parking is primary use	below for mixed use developments	as prescribed in ULI Shared Parking documentation for uses with complimentary peak hours and or seasons; Captive Market reductions: Retail/Service 15%; Food/Beverage: 15%; General Offices and Financial Institutions 5%;	prescribed in ULI Shared Parking documentation and approved by Zoning Administrator for uses with complimentary peak hours and or seasons	requirements per approval of Planning and Zoning Director	Zoning Board with public hearing; must demonstrate complimentary peak hours of demand OR that the total number of spaces available meets both uses calculated separately; if off-site must demonstrate safe pedestrian access
TDM				15% reduction for location of use			

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armand's, Sarasota, FL
				within 1,320 feet of transit stop;			

Notes		0.35 short-term and 0.175 long-term bicycle parking spaces per 1,000 sq ft also required		<p>Greater of 1 space or 10% reduction for car-share program with designated space;</p> <p>10% reduction for uses with 100+ employees and/or >50,000 ft2 that implements documented and measured carpool program;</p> <p>15% reduction for use of personalized shuttle service;</p>		Bicycle parking shall be provided for all uses except single family dwellings and duplex dwellings. The minimum number of bicycle parking spaces required shall be equal to five percent of the total number of automobile parking spaces in the lot	
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Parking Demand Analysis

Land Uses Within Park Avenue	Intensity	Unit of Measure	Winter Park Current Minimum Parking Standards	ULI Shared Use*****		Peer Communities - CBD/Downtown Districts						Peer Average	Peer CBD Average
				Weekday	Weekend	Davidson, NC Minimum	Davidson, NC Average	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	St. Armand's (Sarasota), FL		
Retail	275,569	square feet	1102	992	838	551	964	551	689	918	1102	1047	758
Restaurant - Fine Dining*	34,705	square feet	347	535	826	69	95	416	87	347	231	351	188
Restaurant - Family**	8,449	square feet	84			17	23	101	21	84	56	86	46
Restaurant - Casual**	3,077	square feet	31	42	35	6	8	37	8	31	21	31	17
Office***	223,848	square feet	895	850	0	448	616	817	560	745	889	707	595
Condos****	89	units	223	109	159	89	134	156	178	134	89	142	142
Apartments****	109	units	273	115	159	109	164	191	218	164	109	174	174
Residential Visitors	198	units	0	3	16	0	0	99	50	297	0	0	0
Hotel*****	28	rooms	28	16	15	56	77	20	22	28	28	28	28
Total Parking Spaces			2983	2662	2048	1345	2081	2388	1833	2748	2525	2566	1948
Percent of current required spaces			100%	89%	69%	45%	70%	80%	61%	92%	85%	86%	65%

*Assumes restaurants average space of approximately 7,000 ft² or less

**Assumes 2 family restaurants and 1 casual restaurant

***Assumes offices each total 25,000 ft² or less, 10,000 ft² average space

****Assumes 2 bedrooms units in buildings of more than 2 units but less than 20

*****Assumes one leisure hotel, no auxiliary space

*****Rates adjusted for December peak

Appendix

Other Parking Rates

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armand's, Sarasota, FL
Single Family	2.0 per unit	Not specifically address	Not specifically addressed	2.0 per unit + guest spaces (see below)	1.0 per unit	Min: 1.0-2.0 per unit Max: 2.0-3.0 per unit	2.0 per unit
Assisted Living Facilities	1.0 per 3 beds + 1.0 per employee on average day shift	Not specifically address	Not specifically addressed	1.0 per employee + 0.1 per person in licensed capacity	1.0-4.0 per room	1.0 per 2 employees + 1 per 2 units	0.5 per bed
Auto Repair	2.5 per bay + 1.0 per 250 ft ² office or customer area	Min: 2.0 per 1,000 ft ² Max: 3.5 per 1,000ft ² 0.35 short- term and 0.175 long-	4.5 per 1,000 ft ² CBD:1.0 space per 500 ft ²	CBD: <15k ft ² : 2.5 per 1,000 ft ² >15k ft ² : No requirement for first 2,000 ft ² , then 1.5 per 1,000 ft ²	Not Specifically Addressed	Min: 1 per service bay + 1 per 2 employees on peak shift Max: 3 per bay + 1 per 2	1 per bay + 1 per pump + 1 per 200 ft ²

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armand's, Sarasota, FL
		term bicycle parking				employees on peak shift	
Beauty Salon and similar	1.0 per 250 ft ²	spaces per 1,000 ft ² also required.	<5,000 ft ² : 4.5 per 1,000 ft ² >5,000 ft ² : 4.5 per 1,000 ft ² + 0.5 per workstation	2.0 per workstation OR 4.0 per 1,000 ft ² , whichever is greater CBD: <15k ft ² : 2.5 per 1,000 ft ² >15k ft ² : No requirement for first 2,000 ft ² , then 1.5 per 1,000 ft ²	1.0 per 200- 300 ft ²	Min: 2 per workstation + 1 per 2 employees on peak shift Max: 3 per workstation + 1 per 2 employees on peak shift	1 per workstation + 1 per 250 ft ²
Bowling Alley	3.0 per alley		4 per lane	0.33 per person in permitted occupancy	Not Specifically Addressed	Not Specifically Addressed	Not Specifically Addressed
Commercial Recreational	1.0 per 250 ft ²		Not specifically addressed	Not specifically addressed			1.0 per 250 ft ²
Furniture, Appliance Retail	1.0 per 400 ft ²			2.5 per 1,000 ft ² + 1.5 per 1,000 ft ² of storage space	1.0 per 200- 300 ft ²	Min: 1.0 per 350 ft ² Max: 1.0 per 200 ft ²	1.0 per 250 ft ²

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armand's, Sarasota, FL
Hospitals	1.0 per 3 beds + 1.0 per employee on peak shift	Not specifically addressed	1.5 per bed + 1.0 per 1,000 ft ² open to public	1.0 per 3 beds + 1.0 per 5 avg. daily outpatient visits + 1.0 per 10 daily ER visits	1-4 per room	Min: 1 per 250 ft ² Max: 1 per 200 ft ²	1.5 per bed
Industrial and Manufacturing	1.0 per 500 ft ²	Min: 0.25 per 1,000 ft ² Max: 2.0 per 1,000ft ² 0.1 short-term and 0.04 long- term bicycle parking spaces per 1,000 ft ² also required.	1.0 space per 1,000 ft ² CBD: 1.0 space per 500 ft ²	2.0 space per 1,000 ft ² storage space + additional office minimum calculated separately	Not Specifically Addressed	Min: 1 per 2 employees on peak shift Max: 1 per employee on peak shift	1 per 500 ft ²
Laundromats	1.0 per 2 washing machines	Min: 2.0 per 1,000 ft ² Max: 3.5 per 1,000ft ²	Not specifically addressed	1.0 per 2 washing machines	See General Retail	Not Specifically Addressed	Not Specifically Addressed
Medical Offices	1.0 per 200 ft ²		5.0 space per 1,000 ft ²	4.11 space per 1,000 ft ²	1.0 per 200- 300 ft ²	Min: 1.0 per 350 ft ²	Cumulative of ranges ≤3,000ft ² : 1 per 200 ft ²

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armand's, Sarasota, FL
		0.35 short-term and 0.175 long-term bicycle parking spaces per 1,000 ft ² also required.				Max: 1.0 per 250 ft ²	3,001-5,000 ft ² : + 1 per 250 ft ² 5,001-10,000 ft ² : + 1 per 300 ft ² 10,001-20,000 ft ² : + 1 per 350 ft ² >20,000 ft ² : + 1 per 400 ft ²
Dental Offices							1 per 175 ft ²
Showroom	1.0 per 350 ft ² office + 1.0 per 700 ft ² storage		1.0 space per 500 ft ²	2.5 space per 1,000 ft ² + 1.5 per 1,000 ft ² of storage	See General Retail	See General Retail	See General Retail
Theaters	1.0 per 4 seats + 1.0 per employee		1.0 space per 500 ft ²	0.25 per person in permitted occupancy	Not Specifically Addressed	Min: 1 per 4 seats Max: 1 per 3 seats	1 per 4 seats
Funeral Homes	1.0 per 4 seats + 1.0 per employee		4.0 per 1,000 ft ² + 3 per 10 chapel seats			Min: 1 per 4 seats of largest public room + 1 per	1 per 5 seats in chapels with fixed seating or 1 per 60 ft ² in chapels without fixed seating

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armand's, Sarasota, FL
						2 employees on peak shift Max: 1 per 2 seats of largest public room + 1 per 2 employees on peak shift	
Warehouse	1.0 per 1,000 ft ²	Min: 0.25 per 1,000 ft ² Max: 2.0 per 1,000ft ² 0.1 short-term and 0.04 long- term bicycle parking spaces per 1,000 ft ² also required.	1.0 space per 1,000 ft ²	0.5 space per 1,000 ft ² storage space + additional office minimum calculated separately	1.0 per 200- 300 ft ²	Min: 1 per 2 employees on peak shift Max: 1 per employee on peak shift	1.0 per 300 ft ² office space + 1.0 per 1,500 ft ² storage space
Pain Management Clinics	1.0 per 100 ft ²	See Medical Office above	5.0 space per 1,000 ft ²	See Medical Office above	See Medical Office above	See Medical Office above	See Medical Office above

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armand's, Sarasota, FL
Shopping Centers	Not Specifically Addressed	Not Specifically Addressed	25k-400k ft ² : 4 per 1,000 ft ² 400k-600k ft ² : 4.5 per 1,000 ft ² 600k+ ft ² : 5 per 1,000 ft ²	Not Specifically Addressed	1.0 per 250 ft ²	Not Specifically Addressed	1.0 per 250 ft ²
Call Center	Not Specifically Addressed	Not Specifically Addressed	2.0 space per 1,000 ft ² + 1.0 per workstation	Not Specifically Addressed	Not Specifically Addressed	Not Specifically Addressed	Not Specifically Addressed
B&B and Boarding Houses	1.0 per room + 1.0 per employee	Min: 2.0 per 1,000 ft ² Max: 3.5 per 1,000ft ² 0.35 short-term and 0.175 long-term bicycle parking spaces per 1,000 ft ² also required.	0.7 space per guest room + 1.0 space per 800 ft ² of meeting rooms and shops	1.0 per room + 2.0 per manager/owner	1-2 per guest room	Min: 1 per room + 1 for managers or owners + 1 per employee Max: 2 per room + 2 for managers or owners + 1 per employee	1 per guest room + 1 per D.U.

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armand's, Sarasota, FL
Church	1.0 per 4 seats + 1.0 per resident + 0.5 per permanent employee	1.0 per 8 seats in main assembly area	1.0 per 4 seats	0.25 per person in permitted occupancy	3-5 per 100 ft ² of main assembly area	Min: 1 per 4 seats or 1 per 200 ft ² Max: 1 per 3 seats or 1 per 150 ft ²	1 per 5 seats in chapels with fixed seating or 1 per 60 ft ² in chapels without fixed seating
Lodges			1.0 per 4 seats or 1.0 per 50 ft ² , whichever is greater	0.33 per person in permitted occupancy	Not Specifically Addressed	Min: 1 per 350 ft ²	Not Specifically Addressed
Nonprofit Halls			0.3 per seat or 1.0 per 50 ft ² , whichever is greater			Max: 1 per 250 ft ²	
Private Clubs						Not Specifically Addressed	1.0 per 200 ft ²
Tennis, Racquetball Courts	3.0 per court	Not specifically addressed	4.0 per court				Not Specifically Addressed
Community Centers	1.0 per 250 ft ²		0.3 per seat or 1.0 per 50 ft ² , whichever is greater	0.25 per person in permitted occupancy			

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armand's, Sarasota, FL
Post Office	1.0 per 250 ft2		5.0 per 1,000 ft2 + employee parking area	Determined by Zoning Administrator			
Gymnasiums and Stadiums (excluding schools)	1.0 per 4 seats			0.33 per person in permitted occupancy	1 per 3-5 seats		1 per 4 fixed seats + 1 per 100 ft2 capable of being used for temporary seating
Library	1.0 per 375 ft2		4.0 per 1,000 ft2 open to public	0.25 per person in permitted occupancy	Not Specifically Addressed		1 per 300 ft2
Museums	Case-by- Case		5.0 per 1,000 ft2 open to public			Min: 1 per 350 ft2 + 1 per 2 employees on peak shift Max: 1 per 250 ft2 + 1 per 2 employees on peak shift	Not Specifically Addressed
Assembly Hall with fixed seats	1.0 per 4 seats + 1.0 per employee	1.0 per 8 seats in main assembly area	0.3 per seat or 1.0 per 50 ft2, whichever is greater	0.33 per person in permitted occupancy		Min: 1 per 4 seats or 1 per 200 ft2	

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armand's, Sarasota, FL
						Max: 1 per 3 seats or 1 per 150 ft ²	
Fire Station	Not specifically addressed	Not specifically addressed	1.0 per employee on peak shift	Not Specifically Addressed		Not Specifically Addressed	
Kindergarten and Day School	1.0 per employee + off-street loading space	Min: 2.0 per classroom Max: 2.25 per classroom Off-street loading space 0.01 short- term and 0.04	1.0 per 300 ft ²	1.0 per employee + 0.1 per person in licensed capacity	2-10 per classroom	Min: 1 per 2 employees + 1 per 10 children Max: 1 per employee + 1 per 10 children	1 per 300 ft ² + 3 for off-street loading and unloading
Elementary	1.0 per employee + off-street loading space	long term bicycle parking spaces per	2.0 per classroom + 50% of the requirement of an auditorium or stadium	Determined by Zoning Administrator		Min: 2 per classroom	2 per classroom+ auxiliary uses calculated separately (i.e., office, auditorium)
Junior High						Max: 3 per classroom	

	Winter Park, FL	Davidson, NC	Delray Beach, FL	Highland Park, IL	Mt. Pleasant, SC	Asheville, NC	St. Armand's, Sarasota, FL
Senior High	1.0 per employee + 1.0 per 2 students + off-street loading	classroom also required.	1.0 per 5 students accommodated at maximum possible capacity		5-10 per classroom OR 1-2 per 100ft ² of main assembly area, whichever is greater	Min: 5 per classroom Max: 10 per classroom	6 per classroom+ auxiliary uses calculated separately (i.e., office, auditorium)
College or University	space + 1.0 per 10 auditorium seats	Not specifically addressed				Min: 1 per 3 employees + 1 per 3 FT commuter students Max: 1 per employee + 1 per FT commuter student	10 per classroom + auxiliary uses calculated separately (i.e., office, auditorium)
Vocational	1.0 per 2 students + 1.0 per employee						