# CITY OF WINTER PARK PLANNING AND ZONING BOARD

# Staff Report May 1, 2018

**SPR 18-06** 

REQUEST OF DAWN BELL FOR APPROVAL TO CONSTRUCT A NEW, TWO-STORY, 5,451 SQUARE FOOT, SINGLE-FAMILY HOME LOCATED AT 2024 LAKE DRIVE ON LAKE KILLARNEY, ZONED R-1A.

Dawn Bell (property owner) is requesting site plan approval to construct a new two-story, 5,451 square-foot, single-family home at 2024 Lake Drive, which is located on Lake Killarney, and is zoned R-1A.

This property measures 17,140 square feet, and was formerly developed with a single-family home that was demolished. The proposed two-story home will be total of 5,451 square feet, which yields a floor area ratio (FAR) of 32%. This new home will have impervious lot coverage of 8,377 square feet or 49%, which is within the maximum 50%.

**TREE PRESERVATION:** The Code direction on water front lots is "to preserve existing trees to the degree reasonably possible." No trees are being removed as part of this request.

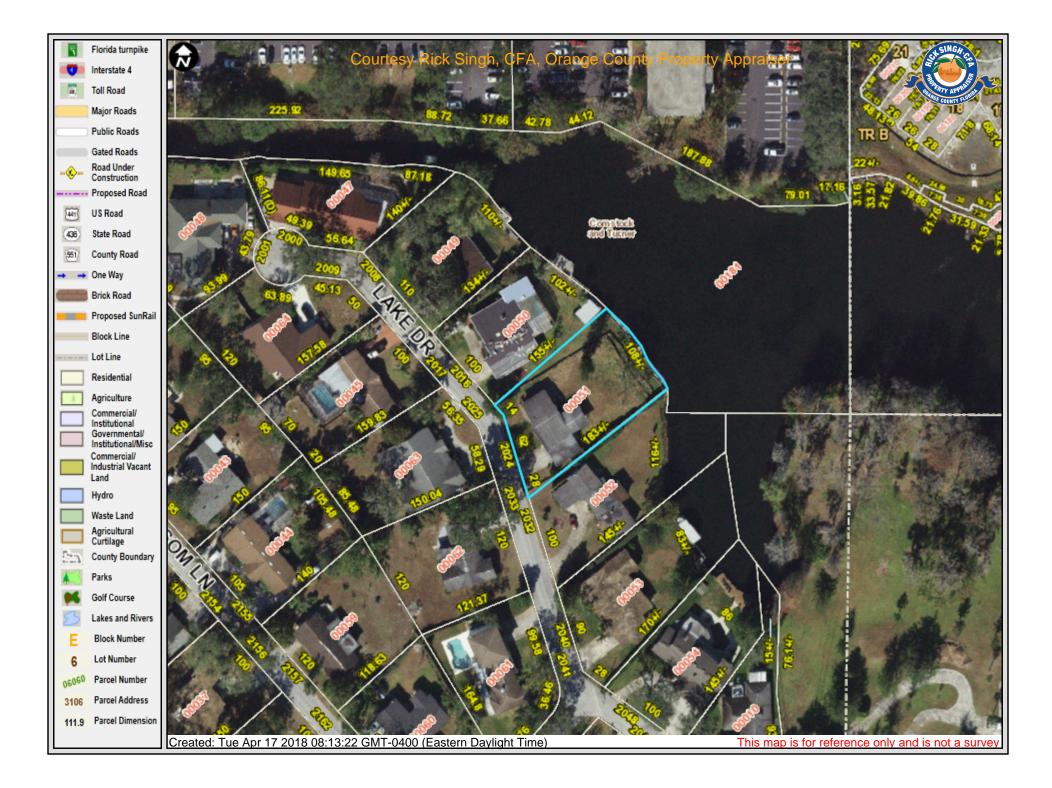
**VIEW FROM THE LAKE:** The Code direction is to minimize the height and extent of stem walls or retaining walls facing the lake. Generally, the policy is not to permit walls/swimming pool decks facing the lake in excess of three feet in height. The issues that we typically deal with about grades and pools decks/retaining walls are not present in this case due to the fact that the lot is relatively flat.

**VIEW OF NEIGHBORS:** The Code direction is to minimize the degradation of traditional views across properties by new houses, additions, second story additions, etc. alongside property lines toward the lake that may block traditional views. The attached photograph taken from Lake Drive shows the extensive tree buffer that exists along the southern property line (right in the photograph) which will screen both the driveway and cabana. This home will be constructed at roughly the same lakefront setback as the northern property and will not impede their lake view.

**STORM WATER RETENTION:** The zoning code requires retention of storm water so that storm water flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. Typically, this retention requirement is accomplished by the creation of a depressed swale area across the waterfront of about one foot in depth. The amount of impervious surface determines the need for the depth of the swale. The applicant is proposing stormwater retention swales that are sized to meet the City's code requirement throughout the property.

**SUMMARY:** Overall, the plans meet the intent of the lakefront review criteria. Staff does not see any significant concerns with the proposed home as presented.

#### STAFF RECOMMENDATION IS FOR APPROVAL





FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

NUMBER & TYPE OF FASTENER

2 STAPLES, 1 3/

3-8d or 2-16d

2-16d

10d

3-16d

3-8d

3-10d

3-10d

2-16d

2 STAPLES, I 3/4"

2 STAPLES, I 3/4"

3 STAPLES, I 3/4

4 STAPLES, I 3/4"

10d

2-16d

3-16d

3-8d

16" O.C.

24" O.C.

24" O.C.

16" O.C.

6" O.C.

16" O.C. ALONG EACH EDGE

16" O.C. ALONG EACH EDGE

NAIL EACH LAYER AS FOLLOWS: 32" O.C. @ TOP \$ BOTTOM

\$ STAGGERED. (2) NAILS @ ENDS \$ @ EACH SPLICE.

@ EACH BEARING

SPACING OF FASTENERS

GARAGE: 488 GSF 900 GSF **REAR LANI:** 

326 GSF (326 GSF DEED RESTRICTED NOT INCLUDED) FRONT PORCH: TOTAL PROPOSED: 5,451 GSF

MAX FAR ALLOWED: 5,656 GSF

### CODE DATA:

**BUILDING CODE:** FLORIDA BUILDING CODE 6TH ED. 2017 FLORIDA BUILDING CODE 6TH ED. 2017 MECHANICAL CODE: PLUMBING CODE: FLORIDA BUILDING CODE 6TH ED. 2017 ELECTRICAL CODE: NEC 2011 ED. LIFE SAFETY CODE: FLORIDA FIRE PREVENTION CODE 2010 ED.

WINDSPEED: 140 MPH WIND IMPORTANCE FACTOR: 1.0

EXPOSURE CATEGORY: FLOOR LOADS: LIVE 40PSF, DEAD 25 PSF

ROOF LOADS: LIVE 20 PSF, DEAD 20 PSF GENERAL CONTRACTOR TO VERIFY - MINIMUM SOIL DENSITY OF 95, - 2000 PSF ASSUMED ALLOWABLE.

I" X 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL

SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL

TOP OR SOLE PLATE TO STUD, END NAIL

STUD TO SOLE PLATE, TOE NAIL

DOUBLE TOP PLATES, FACE NAIL

RIM JOIST TO TOP PLATE, TOE NAIL

CONTINUED HEADER, TWO PIECES

RAFTER TO PLATE, TOE NAIL

BUILT-UP CORNER STUDS

FACE NAIL

CEILING JOISTS TO PLATE, TOE NAIL

CONTINUOUS HEADER TO STUD, TOE NAIL

CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL

CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL

I " BRACE TO EACH STUD AND PLATE, FACE NAIL

I "x6" SHEATHING TO EACH BEARING, FACE NAIL

I "x8" SHEATHING TO EACH BEARING, FACE NAIL

BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS

ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS:

RAFTER TIES TO RAFTERS, FACE NAIL

WIDER THAN I "x8" SHEATHING TO EACH BEARING, FACE NAIL

DOUBLE STUDS, FACE NAIL

2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL

SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS

BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL

TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL

BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER

DOUBLE TOP PLATES, MIN 24" OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA

- CONTRACTOR TO REMOVE POOR SOIL "MUCK" FROM UNDER NEW CONSTRUCTION AND WITHIN

DESCRIPTION OF BUILDING ELEMENTS

5'-0" FROM FOUNDATION

JOIST TO SILL OR GIRDER, TOE NAIL

		D PRESSUI D SUCTION		
(5)	TRIB AREA (SQ FEET)	AND SUC (+) VALUE DENG	RESSURE TION (PSF) OTES PRESSURE OTES SUCTION	
4 4		4	5	
(5) (5) a	10	(+) 35.3 (-) 38.2	(+) 35.3 (-) 47.2	
r	20	(+) 33.7 (-) 36.7	(+) 33.7 (-) 44.0	
aa	50	(+) 31.6 (-) 34.6	(+) 31.6 (-) 39.8	
		(+) 300	(+) 300	

# ROOF SLOPE 10° - 30° GROSS UPLIFT

PRESSURE (PSF)

(-) 33.0 (-)

WALL DESIGN

(SQ FEET) 10 35.3 (-) 59.2 (-) 89.0 20 52.9 (-) 73.8 44.5 (-) 53.5 32.3 (-) 38.2 (-) 38.2

I. a = 4 ft.

TRIB AREA

## GENERAL NOTES:

I. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLAN AND ELEVATION DRAWINGS. SMALL SCALE DETAILS SHALL GOVERN OVER LARGE DETAILS.

2. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR APPROVED EQUAL" IS USED, ARCHITECT ALONE SHALL DETERMINE EQUALITY BASED UPON INFORMATION SUBMITTED TO ARCHITECT BY THE CONTRACTOR.

3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE GOVERNMENTAL AGENCY HAVING JURISDICTION AND SHALL CONFORM TO ALL SAFETY AND SANITARY LAWS, CITY, COUNTY, SATE, AND / OR FEDERAL ORDINANCES WHICH APPLY.

4. ALL WORK SHALL BE PERFORMED BY SKILLED WORKERS AND IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED FOLLOWING ALL TRADE STANDARD PRACTICES AND TRADE ASSOCIATION REGULATIONS / GUIDELINES.

5. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, SQUARE, LEVEL, AND TRUE AND IN PROPER ALIGNMENT.

6. ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS OTHERWISE NOTED. ALL MANUFACTURED EQUIPMENT, MATERIALS, AND FINISHES SHALL BE INSTALLED OR APPLIED ACCORDING TO THE MANUFACTURER'S WRITTEN RECOMMENDATIONS AND SPECIFICATIONS.

7. THE CONTRACTOR SHALL NOT CUT ANY EXISTING STRUCTURAL MEMBERS UNLESS APPROVED TO DO SO IN

8. USE JOINT SEALANT AND CLOSED CELL BACKER ROD TO SEAL ALL EXTERIOR PENETRATIONS TO MAKE BUILDING WATER TIGHT

9. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEATHING, TEMPORARY BRACING, GUYS OR TIEDOWNS.

IO. EACH WOOD TO WOOD CONNECTION PER FBC UNLESS NOTED OTHERWISE. ALL FASTENERS IN CONTACT WITH TREATED WOOD ARE TO BE GALVANIZED.

II. STRUCTURAL WOOD COMPONENTS (BEAMS, JOISTS, RAFTER, ETC.) SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE FIBER STRESSES OF NO. 2 SOUTHERN PINE CONFORMING TO 1997 NDS, AS FOLLOWS: SHEAR FV=90 PSI, BENDING 2x6 Fb = 1,250 PSI, BENDING 2x8 Fb = 1,200 PSI

12. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY IS TO BE PRESSURE TREATED, OR BE SEPARATED WITH GALVANIZED METAL MOISTURE BARRIER.

13. ALL GYPSUM BOARD TO BE 5/8" AND IN UN-AIRCONDITIONED OR DAMP LOCATIONS TO BE MOISTURE RESISTANT. ALL TILE TO BE OVER CEMENTITIOUS BACKER BOARD.

WRITING, SKETCHES, OR DRAWINGS SIGNED AND SEALED BY THE ARCHITECT. 14. ALL AIR-CONDITIONED SPACE TO BE ENCAPSULATED WITH INSULATION, R-5 AT MASONRY AND CONCRETE WALLS, R-11 AT FRAME WALLS, R-22 AT ROOF MINIMUM

# GENERAL SPECIFICATIONS:

#### Doors and Windows:

I. Window and door openings are to be Installed per manufacture instructions.

2. Exterior doors are to be vinyl framed with double pane insulated glass and low-E coating. 3. Interior doors in insulated walls are to be solid core doors.

1. Heat pump with hard duct from the air handling unit to the attic space or enclosed interstitial space.

I. Supply piping is to be CPVC and all hot water piping is to be insulated. Waste pipe is to be PVC. Water hammer arresters are to be installed on both cold and hot water pipes for each plumbing fixture or shut off valve.

All adhesives and sealant used on the interior of the building (defined as inside of the weatherproofing system and applied on-site) shall comply with the requirements of the following reference standards:

#### ADHESIVES AND SEALANT VOC REQUIREMENTS

Adhesives, Sealants and Sealant Primers: South Coast Air Quality Management District (SCAQMD) Rule#1168. VOC limits are listed in the table below and correspond to an effective date of July 1, 2005 and rule amendment date of January 7, 2005. Aerosol Adhesives: Green Seal Standard for Commercial Adhesives GS-36 requirements in effect on October 19, 2000.

#### Architectural Applications VOC Limit Specialty Applications VOC Limit

[g/L less water] [g/L less water] Indoor Carpet Adhesives 50 PVC Welding 510 Carpet Pad Adhesives 50 CPVC Welding 490 Wood Flooring Adhesives 100 ABS Welding 325 Rubber Floor Adhesives 60 Plastic Cement Welding 250 Subfloor Adhesives 50 Adhesive Primer for Plastic 550 Ceramic Tile Adhesives 65 Contact Adhesive 80 VCT \$ Asphalt Adhesives 50 Special Purpose Contact Adhesive 250 Dr.wall & Panel Adhesives 50 Structural Wood Member Adhesive 140 Cove Base Adhesives 50 Sheet Applied Rubber Lining Operations 850 Multipurpose Construction Adhesives 70 Top \$ Trim Adhesive 250

Structural Glazing Adhesives 100 Substrate Specific Applications VOC Limit Sealants VOC Limit [g/L less water] [g/L less water]

Metal to Metal 30 Architectural 250 Plastic Foams 50 Nonmembrane Roof 300 Porous Material (except wood) 50 Roadway 250 Wood 30 Single-Ply Roof Membrane 450 Fiberglass 80 Other 420 Sealant Primers VOC Limit

Architectural Non Porous 250 Architectural Porous 775

[g/L less water]

202 | PLF

1257 PLF

938 PLF

727 PLF

505 PLF

418 PLF

707 PLF

591 PLF

591 PLF

454 PLF

454 PLF

396 PLF

363 PLF

340 PLF

340 PLF

302 PLF

286 PLF

714 PLF

981 PLF

765 PLF

612 PLF

714 PLF

713 PLF

1451 PLF

8360 PLF

1011 PLF

2661 PLF

1843 PLF

752 PLF

Aerosol Adhesives: VOC Weight [g/L minus water] General purpose mist spray 65% VOCs by weight General purpose web spray 55% VOCs by weight Special purpose aerosol adhesives (all types) 70% VOCs by weight

## MASONRY WALL CONSTRUCTION SPECIFICATIONS

I. HOLLOW LOAD BERING UNITS SHALL BE NORMAL WEIGHT, GRADE N, TYPE 2, CONFORMING TO ASTM C90, WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 2000 PSI (fm = 1500 PSI).

2. MORTAR SHALL BE TYPE M OR S, CONFORMING TO ASTM C270.

3. COARSE GROUT SHALL CONFORM TO ASTM C476 WITH A MAXIMUM AGGREGATE SIZE OF 3/8". A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AND A SLUMP BETWEEN 8" TO 11". JOB SITE MIXING OF GROUT SHALL NOT BE PERMITTED. DO NOT USE MIX DESIGNS OTHER THAN THE GROUT MIX APPROVED FOR MASONRY CONSTRUCTION.

4. VERTICAL REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS WITH THE CELLS FILLED WITH

5. VERTICAL REINFORCEMENT SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM AND AT A MAXIMUM SPACING OF 10'-0" OR 192 X BAR DIAMETER WHICHEVER IS LESS. ENFORCEMENT SHALL BE PLACED AT THE CENTER OF THE MASONRY CELL TYPICAL UNLESS OTHERWISE NOTED. SEE TYPICAL GROUTING DETAILS FOR ADDITIONAL INFORMATION.

6. REINFORCING STEEL SHALL BE LAPPED A MINIMUM 48 BAR DIAMETERS. EXTEND ALL VERTICAL REINFORCEMENT TO WITHIN 2" OF TOP OF WALL OR COLUMN UNLESS NOTED OTHERWISE.

7. HORIZONTAL WALL REINFORCEMENT SHALL BE STANDARD LADDER TYPE DUR-O-WAL (ASTM A-82 #9 GAGE WIRE) AT 16" O.C. UNLESS SHOWN OTHERWISE ON THE DRAWINGS.

8. SPLICED WIRE REINFORCEMENT SHALL BE LAPPED AT LEAST 6" AND CONTAIN AT LEAST ONE CROSS WIRE OF EACH PIECE OF REINFORCEMENT WITHIN THE 6" LAP WITH STANDARD T' AND 'L' SHAPED PIECES AT INTERSECTIONS AND CORNERS.

9. PROVIDE A MINIMUM OF 3 COURSES HIGH BY 2 COURSES WIDE GROUTED SOLID MASONRY AT BEAM BEARING POINTS.

IO. WHEN A FOUNDATION DOWEL DOES NOT LINE UP WITH A VERTICAL CORE, IT SHALL NOT BE SLOPED MORE THAN ONE HORIZONTAL IN SIX VERTICALS. DOWELS SHALL BE GROUTED INTO A CORE IN VERTICAL ALIGAMENT, EVEN THOUGH IT IS IN AN ADJACENT CELL TO THE VERTICAL WALL REINFORCEMENT.

II. PROVIDE PRECAST CONCRETE LINTELS OVER ALL OPENINGS UNLESS NOTED OTHERWISE ON DRAWINGS. LINTELS SHALL BE OF SUFFICIENT SIZE AND REINFORCEMENT FOR THE GIVEN SPANS AND LOADING CONDITIONS. SUBMIT SHOP DRAWINGS WITH RATED LOAD CAPACITIES TO THE ARCHITECT

12. PROVIDE A FULLY GROUTED KNOCK OUT LOCK OR U-BLOCK REINFORCED WITH (1) #6 CONTINUOUS AT THE SILL OF ALL WINDOW OPENINGS. EXTEND 8" BEYOND EACH SIDE OF THE OPENING TYPICALLY.

A. USE BED JOINT BETWEEN 1/4" AND 3/4" THICK AT FOUNDATIONS. B. USE 3/8" THICK JOINTS BETWEEN UNITS.

TOOL ALL JOINTS WITH A ROUND JOINTER WHEN THE MORTAR IS THUMBPRINT HARD, UNLESS OTHERWISE REQUIRED BY THE

PLACE MORTAR ON CLEAN UNITS WHILE THE MORTAR IS SOFT AND PLASTIC.

DO NOT DISTURB THE UNIT AFTER IT IS INITIALLY POSITIONED. PLACE MORTAR SO THAT ALL JOINTS OF SOLID UNITS ARE FULLY FILLED WITH MORTAR. G. FILL THE BED AND HEAD JOINTS OF HOLLOW UNITS WITH MORTAR SPREAD

ACROSS THE WIDTH OF THE FACE SHELL. H. MORTAR CROSS WEBS IN HOLLOW UNITS OF THE FOLLOWING SITUATIONS: I) ADJACENT TO CELLS TO BE GROUTED FOR PARTIALLY GROUTED

CONSTRUCTION. 2) STARTING COURSE ON FOUNDATIONS AND OTHER SUPPORTS.

3) ALL PIERS, COLUMNS AND PILASTERS THAT ARE TO BE FULLY FILLED

J. REMOVE PROTRUSIONS OF MORTAR INTO COLLAR JOINTS CAVITIES AND CELLS OF HOLLOW UNITS IF THEY PROJECT MORE THAN 1/2". K.. DO NOT SLUSH MORTAR INTO HEAD JOINTS.

14. PROVIDE ADEQUATE BRACING AND SUPPORT OF MASONRY UNTIL PERMANENT CONSTRUCTION IS IN PLACE.

DRIVE AKE. 2024

App

10:44:45 JOHN P. DRAKE AR91551

ISSUE DATE

04/04/18

SHEET INFORMATION

Scale

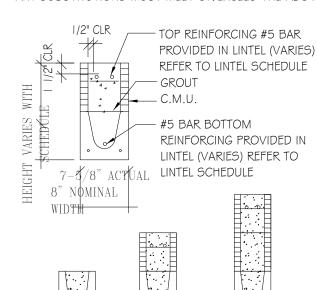
LINTEL # LENGTH SIZE REINFORCING GRAVITY LOAD LATERAL LOAD (1) #5 BOTTOM 2'-10" | 8" x 8" 3069 PLF 3'-6" 3069 PLF I) #5 BOTTOM 4'-0" 3480 PLF (1) #5 BOTTOM 4'-6" 2189 PLF I) #5 BOTTOM (1) #5 BOTTOM 1663 PLF

"CAST-CRETE" PRECAST LINTEL SCHEDULE

		0 X O	(1) # 0 20110111
L6	5'-10"	8" x 8"	(1) #5 BOTTOM
L7	6'-6"	8" x 24"	(I) #5 B, (I) #5 T
L8	7'-6"	8" x 8"	(1) #5 BOTTOM
L8.2	7'-6"	8" x 16"	(I) #5 B, (I) #5 T
L9	9'-4"	8" x 8"	(I) #5 BOTTOM
L9.2	9'-4"	8" x 16"	(I) #5 B, (I) #5 T
LIO	10'-6"	8" x 24"	(I) #5 B, (I) #5 T
LII	11'-4"	8" x 16"	(I) #5 B, (2) #5 T
LI2	12'-8"	8" x 16"	(I) #5 B, (2) #5 T
	. 0. 0.		

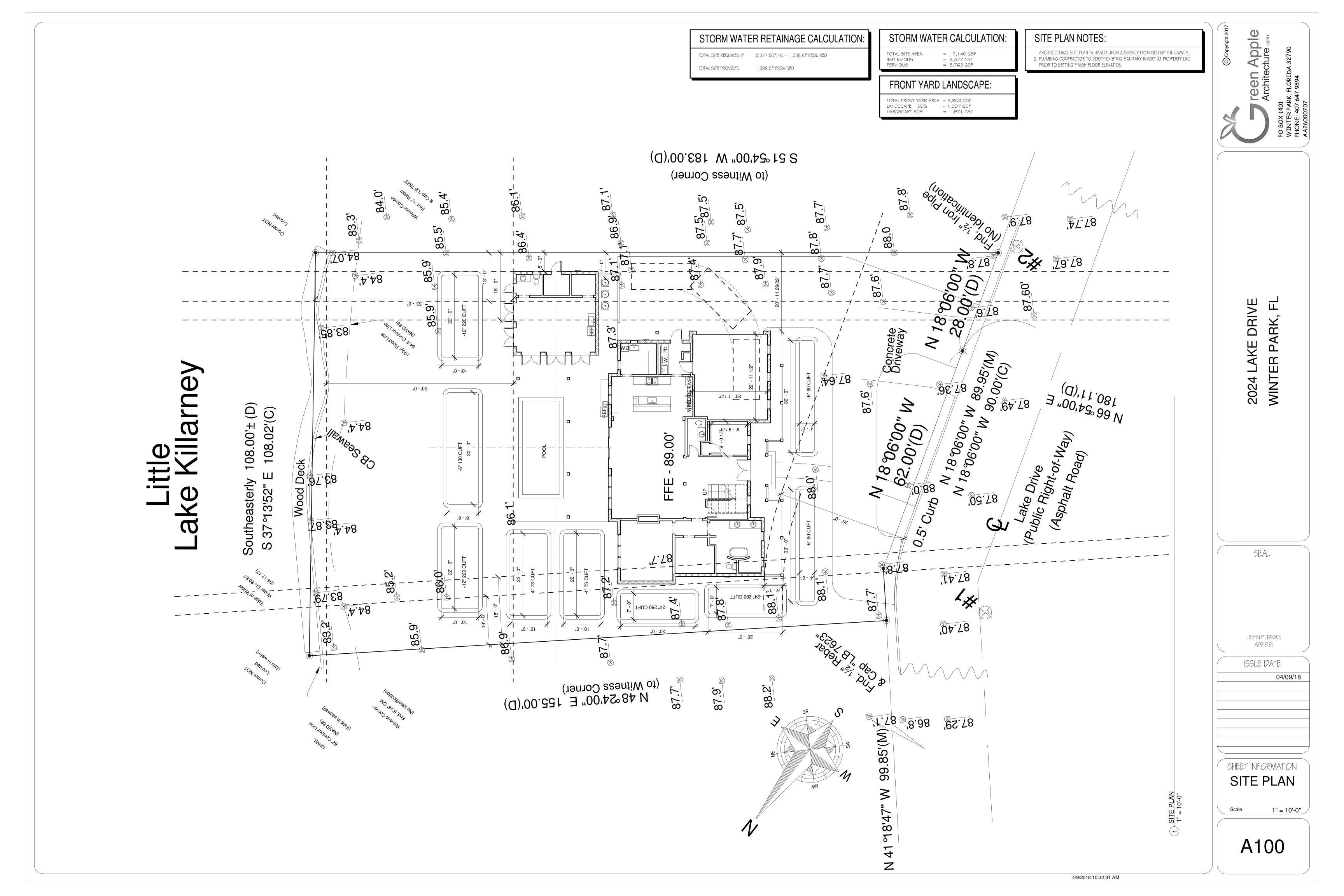
LIO	10'-6"	8" x 24"	(I) #5 B, (I) #5 T	3486 PLF
LII	11'-4"	8" x 16"	(1) #5 B, (2) #5 T	1366 PLF
LI2	12'-8"	8" x 16"	(1) #5 B, (2) #5 T	1254 PLF
L12.3	12'-8"	8" x 24"	(1) #5 B, (2) #5 T	2193 PLF
LI3	13'-4"	8" x 16"	(1) #5 B, (2) #5 T	1075 PLF
LI4	14'-0"	8" x 16"	(1) #5 B, (2) #5 T	1002 PLF
LI5	14'-8"	8" x 16"	(1) #5 B, (2) #5 T	1370 PLF
LI6	15'-4"	8" x 24"	(1) #5 B, (2) #5 T	2058 PLF
LI7	17'-4"	8" x 24"	(1) #5 B, (2) #5 T	1609 PLF
LI8	19'-4"	8" x 24"	(1) #5 B, (2) #5 T	1282 PLF
L18.5	19'-4"	8" x 16"	(I) #5 B, (2) #5 T	750 PLF

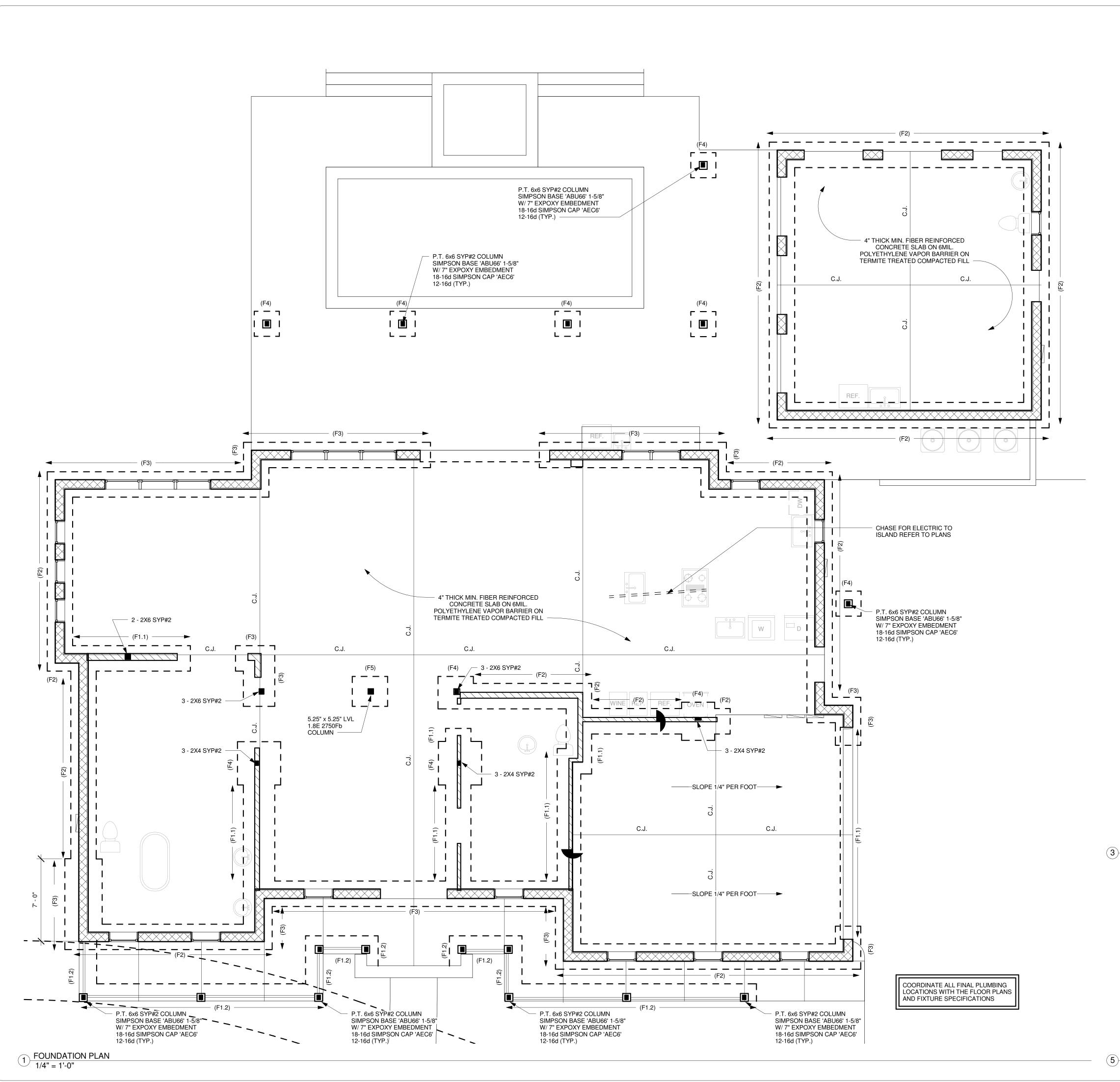
NOTE: ABOVE LISTED VALUES ARE FOR "CAST-CRETE" PRECAST LINTELS ANY SUBSTITUTIONS MUST MEET OR EXCEED THE ABOVE LISTED CAPACITIES.



20'-4" | 8" x 20" | (1) #5 B, (2) #5 T

SHORE PRECAST LINTEL PER MANUFACTURE RECOMMENDATIONS





# FOUNDATION PLAN NOTES:

I. CONCRETE SLAB SHALL BE 4" THICK MIN. WITH FIBER REINFORCEMENT I.5LBS PER CUBIC YARD OVER 6 MIL. VAPOR BARRIER PLACED OVER CLEAN WELL COMPACTED TERMITE-TREATED FILL FILL (95% MODIFIED PROCTOR MAXIMUM DRY DENSITY). ALL 4" SLABS SHALL HAVE ULTIMATE COMPRESSIVE STRENGTH OF NOT LESS THAN 2500 PSI AT 28 DAYS.

2. INTERIOR LOAD BEARING WOOD FRAME WALLS SHALL BE 2x4 SYP #2 @ 16" O.C. W/ 2x BLOCKING AT MID SPAN.

3. ALL POURED CONCRETE FOUNDATIONS SHALL HAVE ULTIMATE COMPRESSIVE STRENGTH OF NOT LESS THAN 2500 PSI AT 28 DAYS.

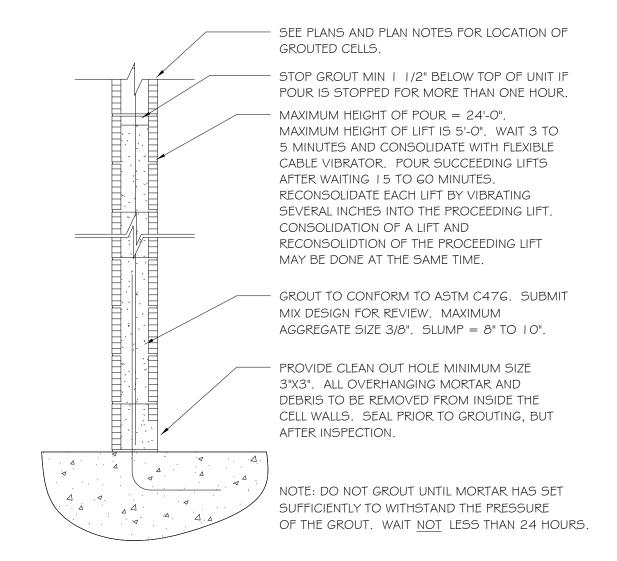
4. REINFORCE FOOTINGS WITH #5 REBARS AS INDICATED, ALL BARS SHALL BE DEFORMED AND SHALL CONFORM TO ASTM SERIAL DESIGNATION A305, BE CLEAN AND FREE FROM RUST AND SCALE.

5. RECESS SLAB AT EXTERIOR DOOR THRESHOLD (COORDINATE WITH DOOR MANUFACTURE'S INSTALLATION DRAWINGS.

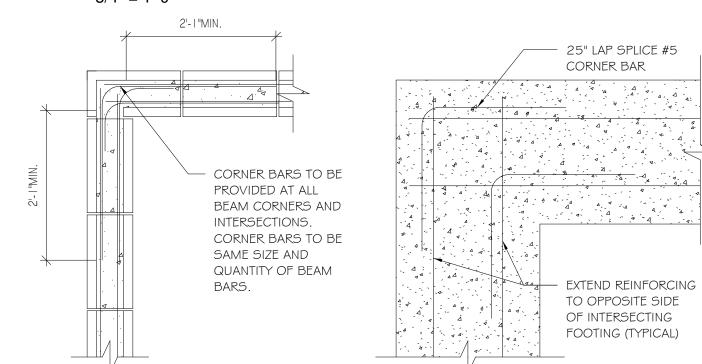
6. PROVIDE 3'x3' MIN. 4" THICK CONCRETE PAD AT ALL CONDENSING UNITS.

	FOUNDATION SCHEDULE				
FI.I	CONT. X 1'-0"W X 1'-0"D	(2) #5 BOT LW	THICKENED SLAB		
F1.2	CONT. X 1'-0"W X 1'-0"D	(2) #5 BOT LW	STEMWALL		
F2	CONT. X 1'-4"W X 1'-0"D	(2) #5 BOT LW	STEMWALL		
F3	CONT. X 2'-8"W X 1'-0"D	(4) #5 BOT LW	STEMWALL		
F4	2'-0"L X 2'-0"W X 1'-0"D	(4) #5 BOT EW	PAD		
F5	3'-0"L X 3'-0"W X 1'-0"D	(6) #5 BOT EW	PAD		

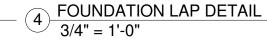
COORDINATE WITH FOUNDATION DETAILS AND TYPICAL WALL SECTIONS.

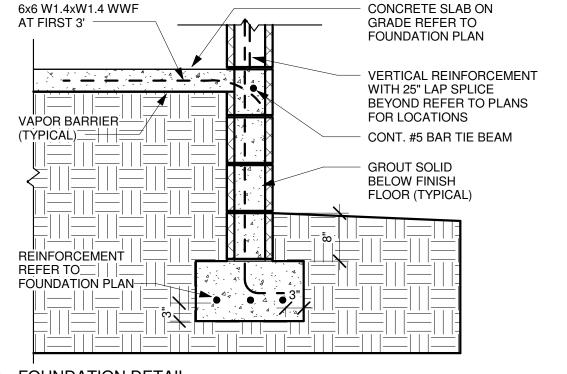


2 CMU WALL DETAIL 3/4" = 1'-0"



3 CMU BOND BEAM 3/4" = 1'-0"





 $\boxed{5} \frac{\text{FOUNDATION DETAIL}}{3/4" = 1'-0"}$ 

FOUNDATION PLAN

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DRIVE LAKE 2024

reen Apple Architecture .com

Digitally signed by John Drake Bate: -\*-2018.04.04 10:44:45 -04'00' JOHN P. DRAKE

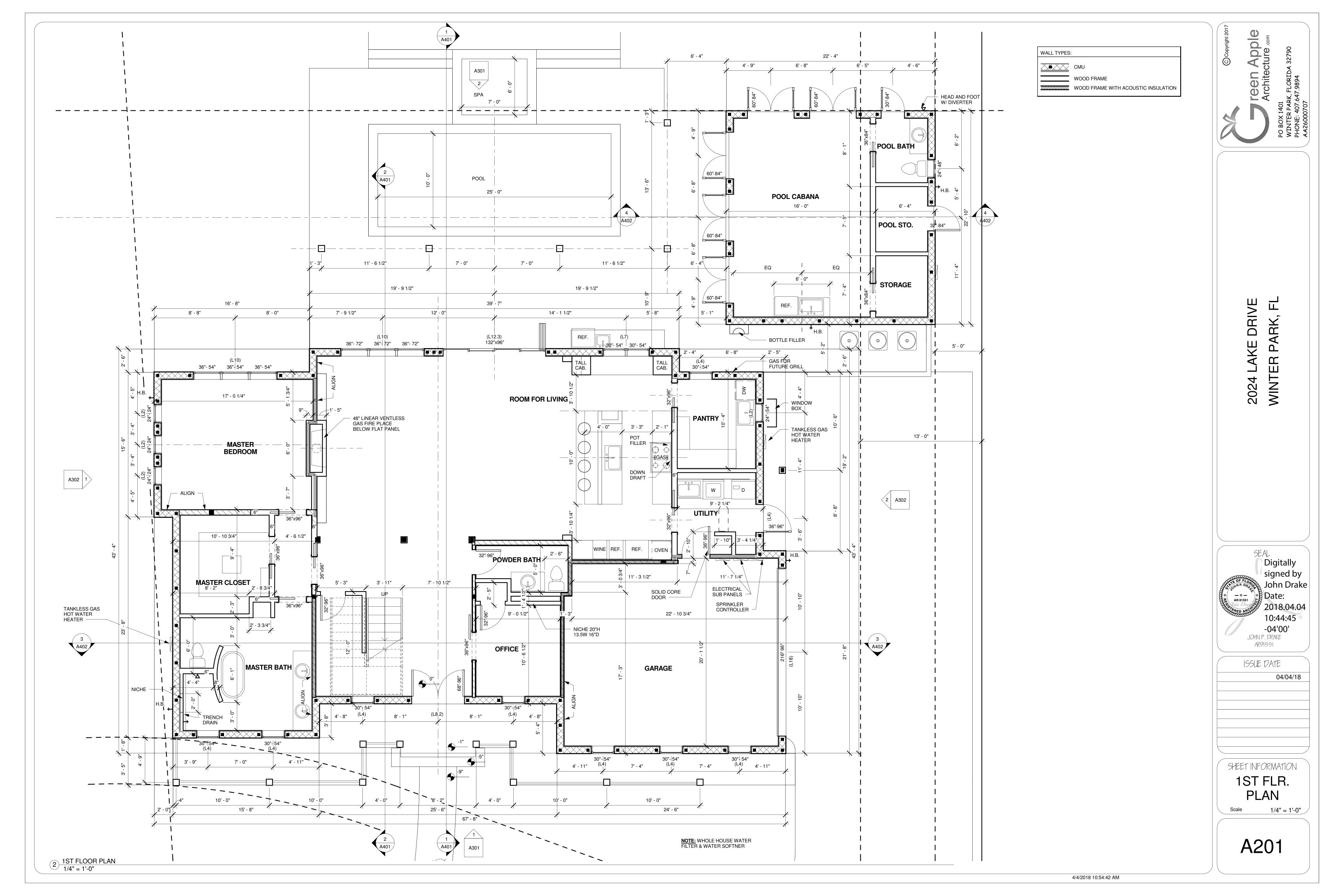
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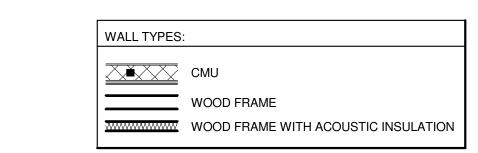
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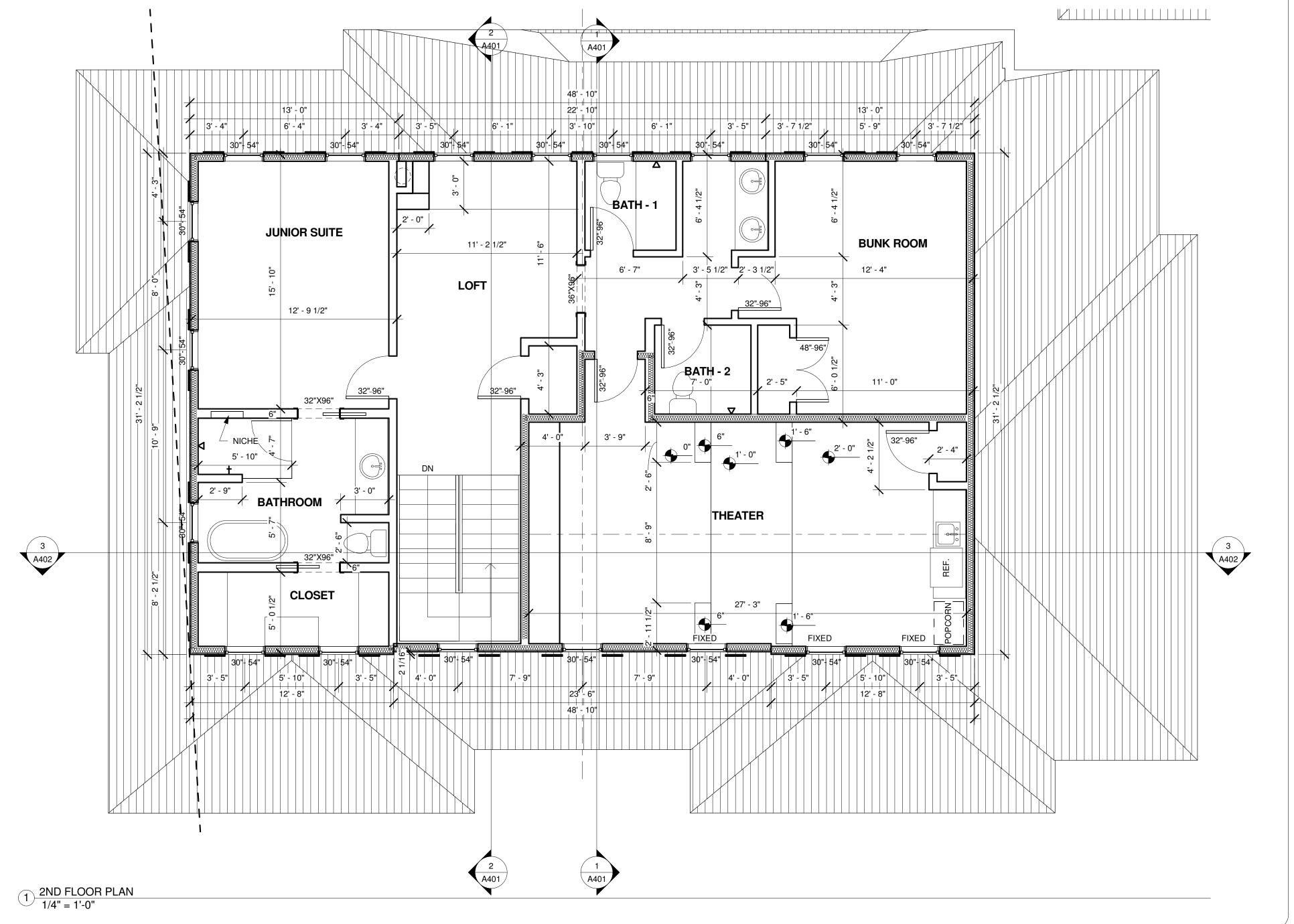
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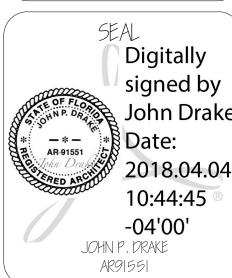
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2024 LAKE DRIVE WINTER PARK, FL





ISSUE DATE

04/04/18

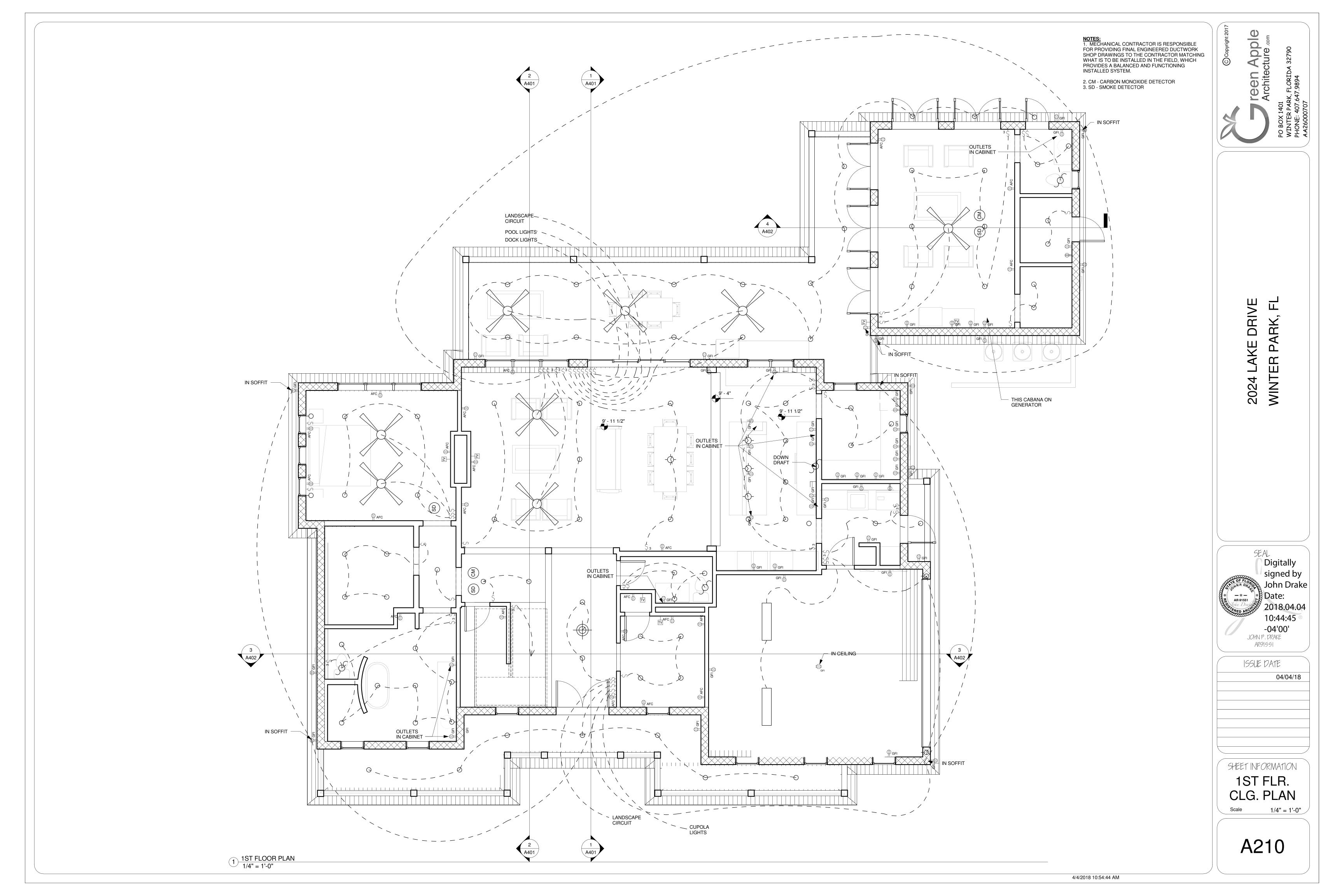
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2ND FLR.
PLAN

Scale 1/4" = 1'-0"

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2024 LAKE DRIVE WINTER PARK FI



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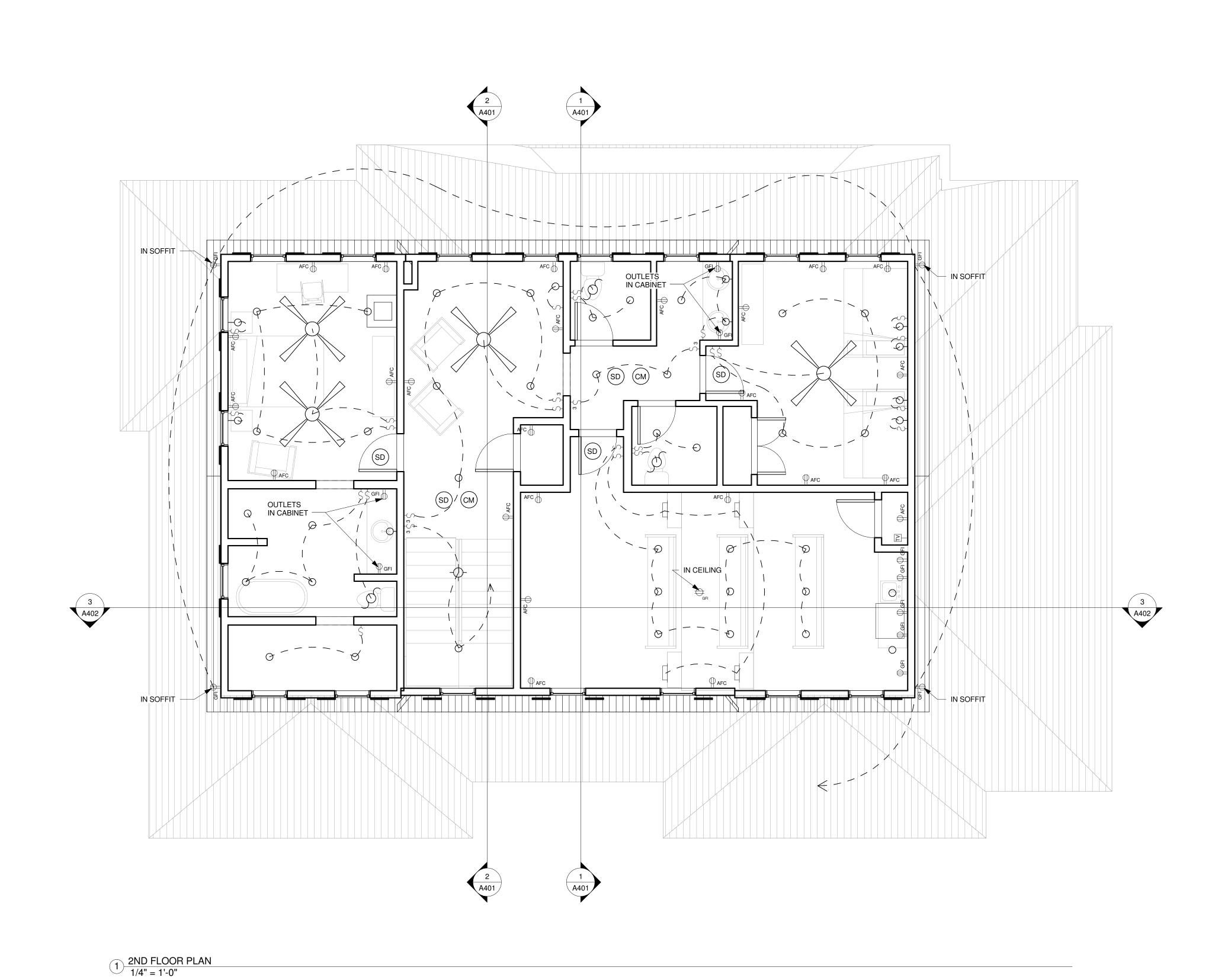
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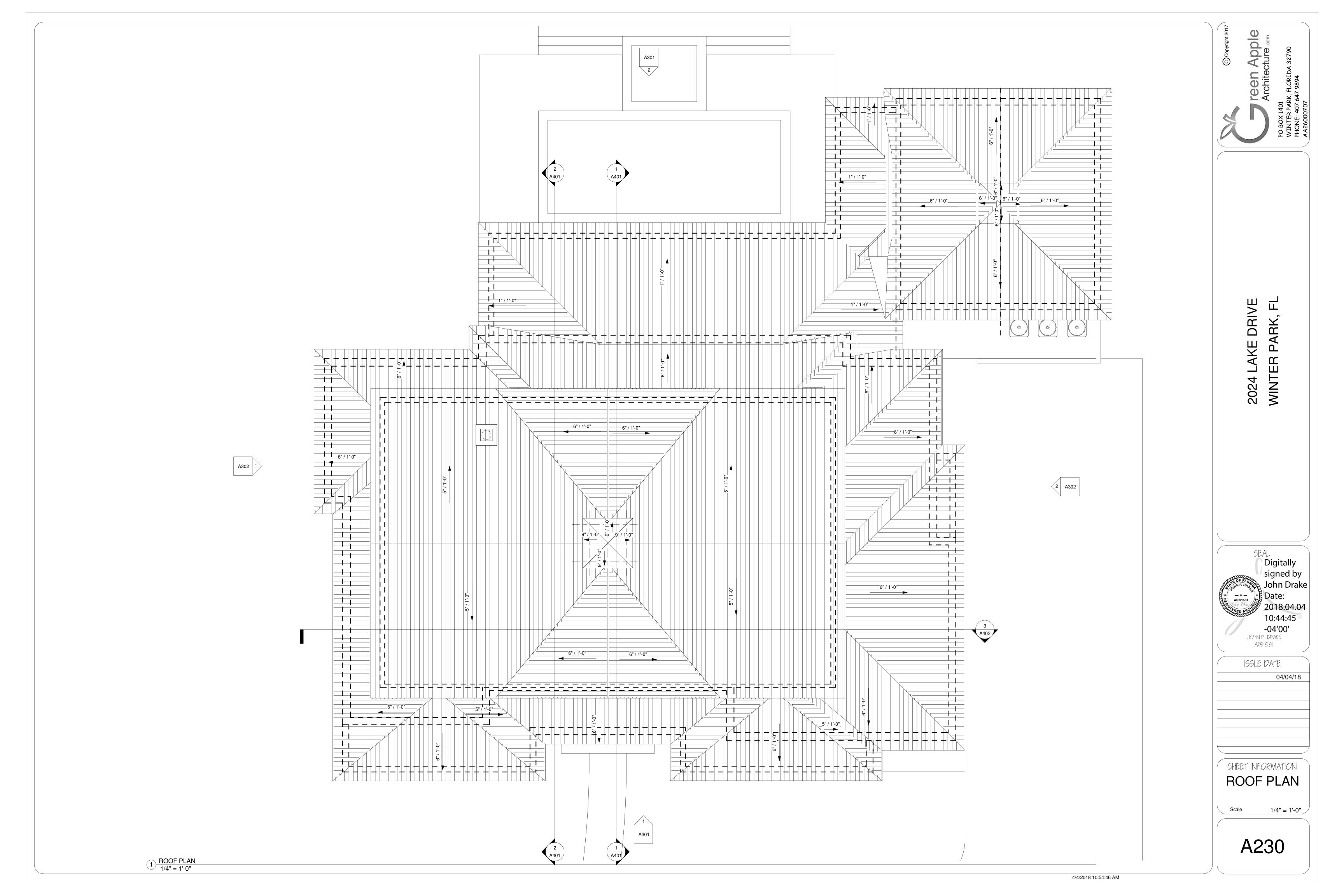
CLG. PLAN

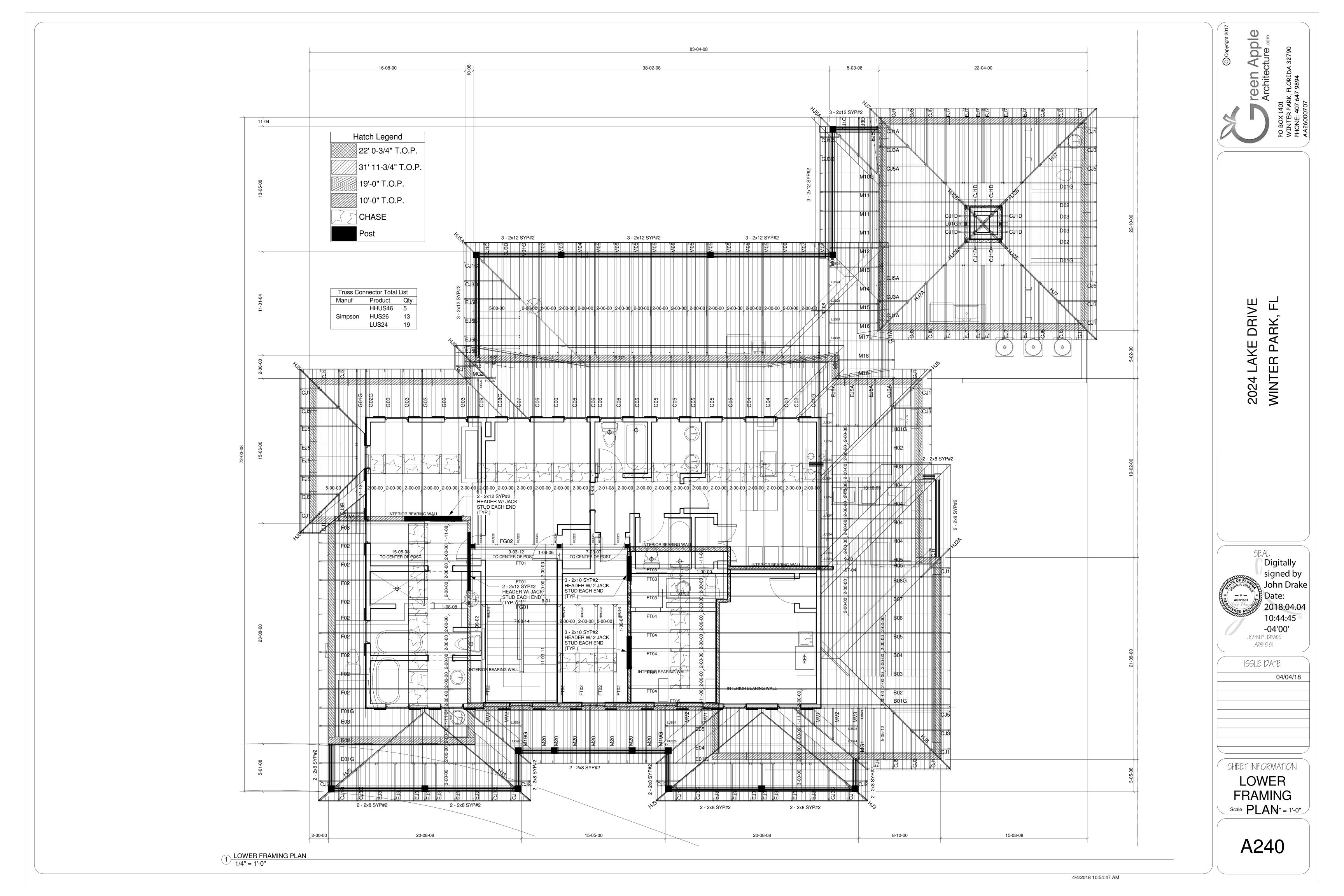
1/4" = 1'-0"

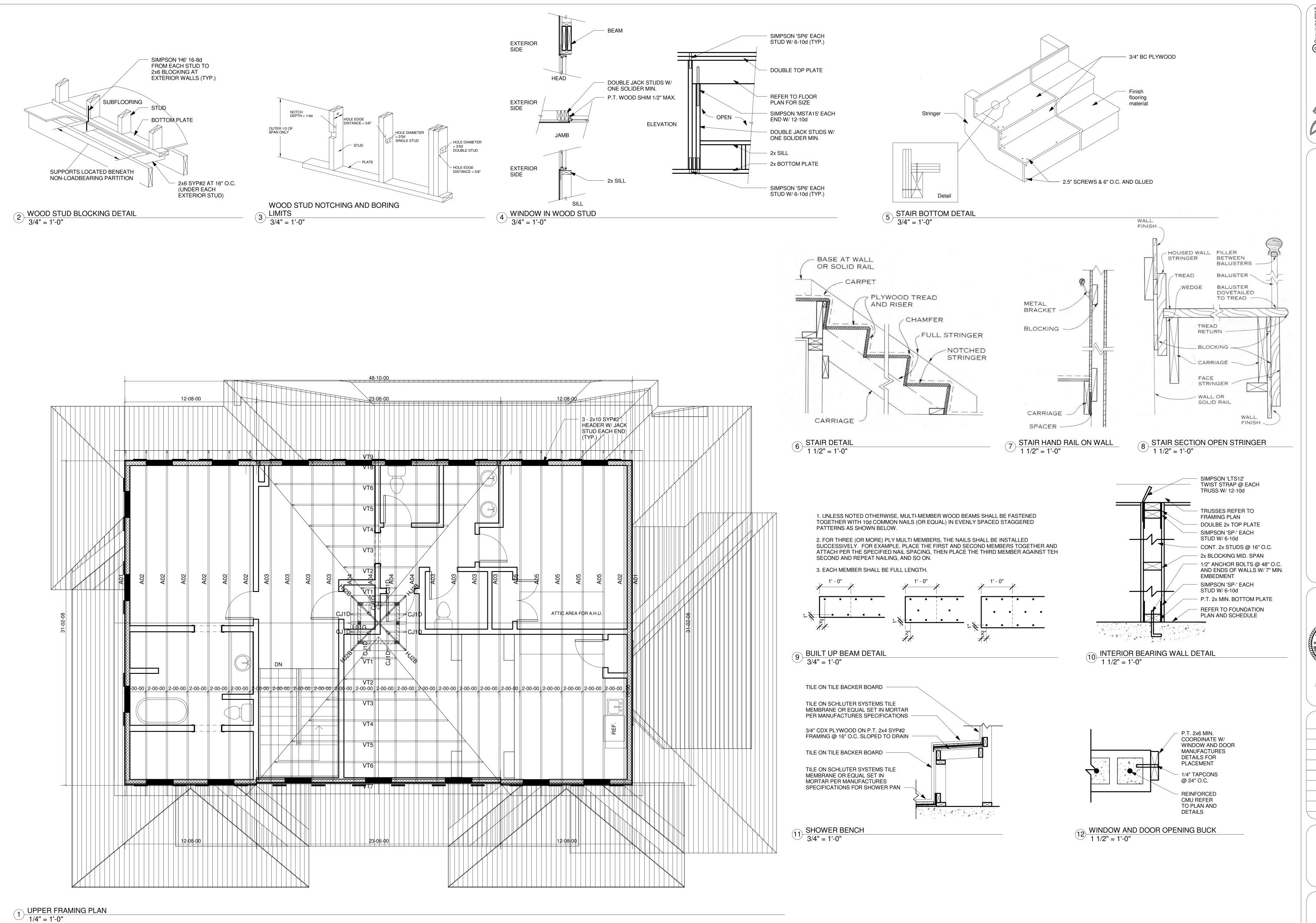
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PO BOX 1401
WINTER PARK, FLORIDA 32790
PHONE: 407 647 9894

2024 LAKE DRIVE WINTER PARK, FL

Digitally signed by John Drake Date:

2018.04.04
10:44:45

-04'00'
JOHN P. DRAKE
AR91551

ISSUE DATE

04/04/18

SHEET INFORMATION

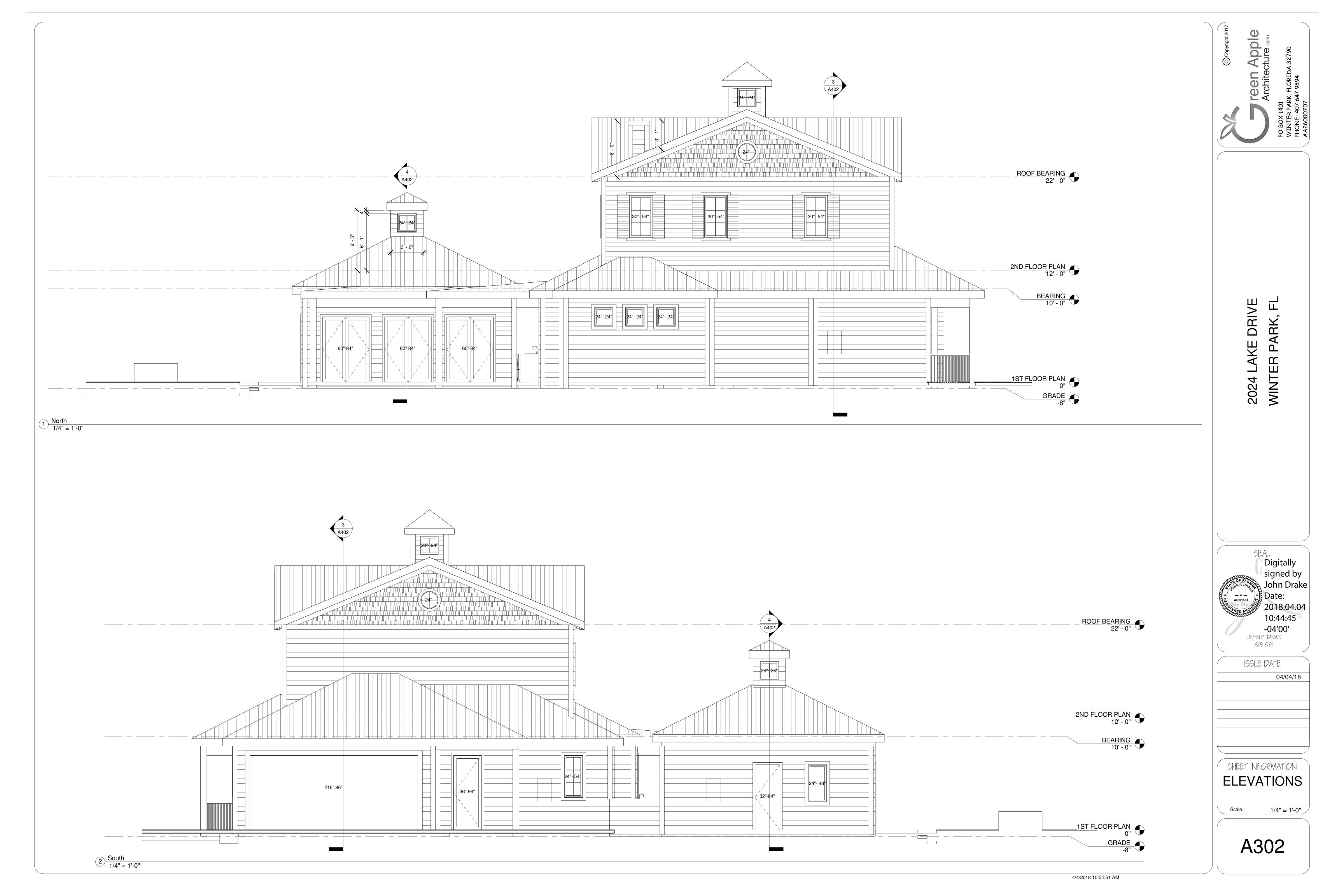
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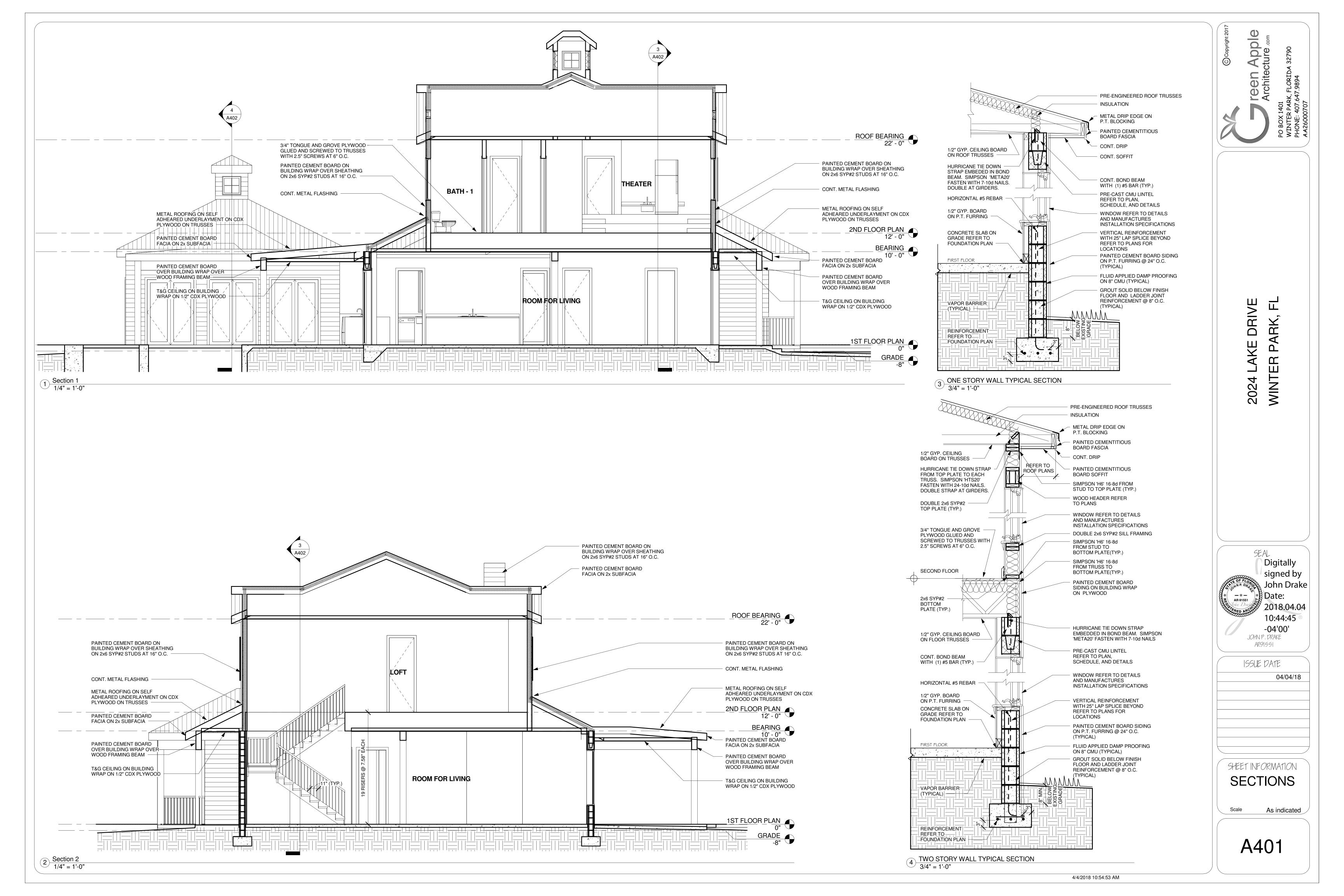
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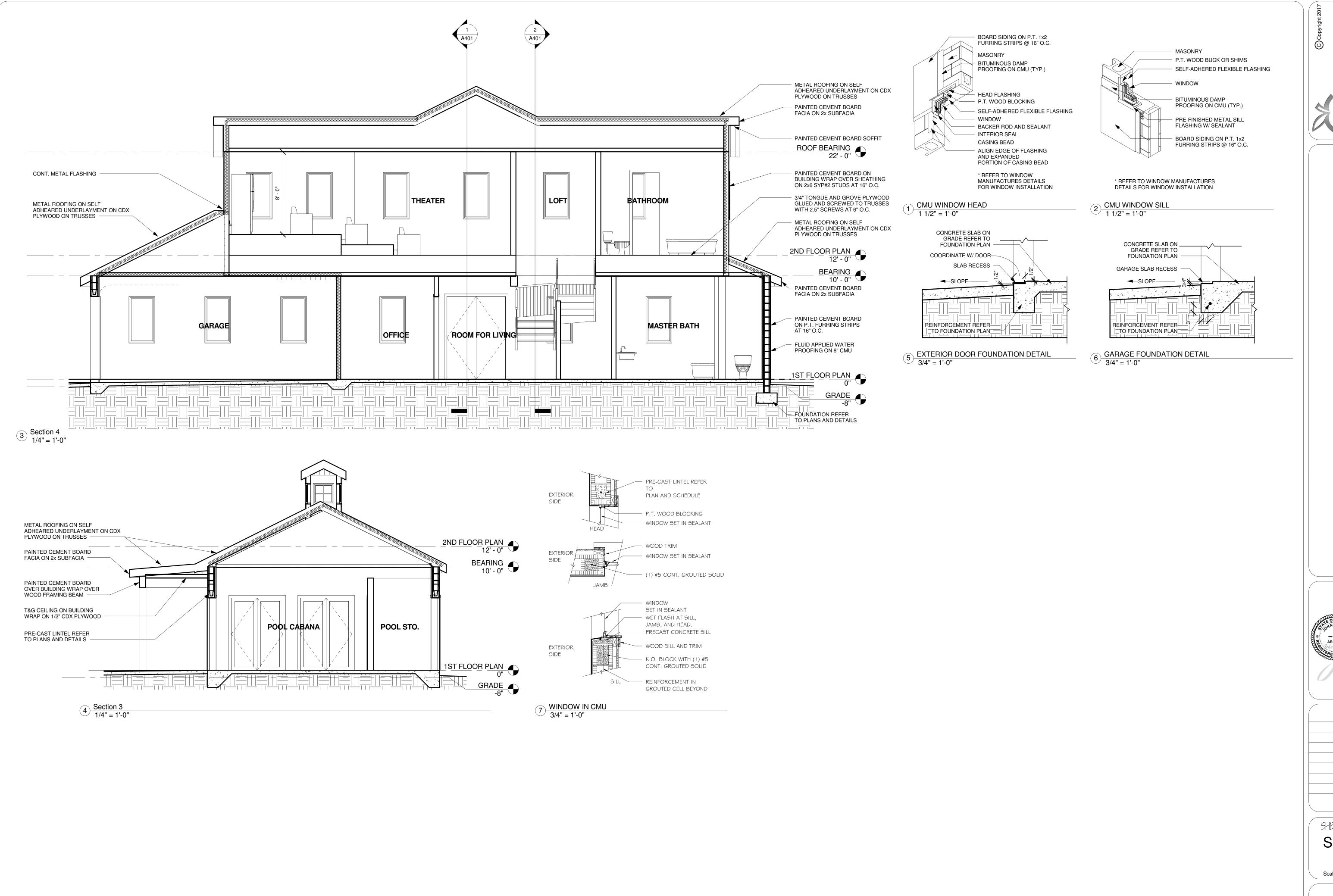
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A241









2024 LAKE DRIVE WINTER PARK, FL

reen App Architecture

Digitally signed by John Drake Date:
2018.04.04
10:44:45
-04'00'
JOHN P. DRAKE
AR91551

ISSUE DATE

04/04/18

SHEET INFORMATION
SECTIONS

Scale As indicated

A402

# CITY OF WINTER PARK PLANNING AND ZONING BOARD

#### Staff Report May 1, 2018

**REQUEST OF PDQ FOR:** APPROVAL OF THEIR MONUMENT GROUND SIGN FOR THE PDQ RESTAURANT AT 925 SOUTH ORLANDO AVENUE, ON PROPERTY ZONED C-3.

On November 13, 2017 the City Commission approved the conditional use for a new PDQ restaurant at 925 South Orlando Avenue. A condition of that approval was "that the P&Z Board shall review and approve the ground signage (pylon versus monument sign) at a future meeting after comparisons are presented."

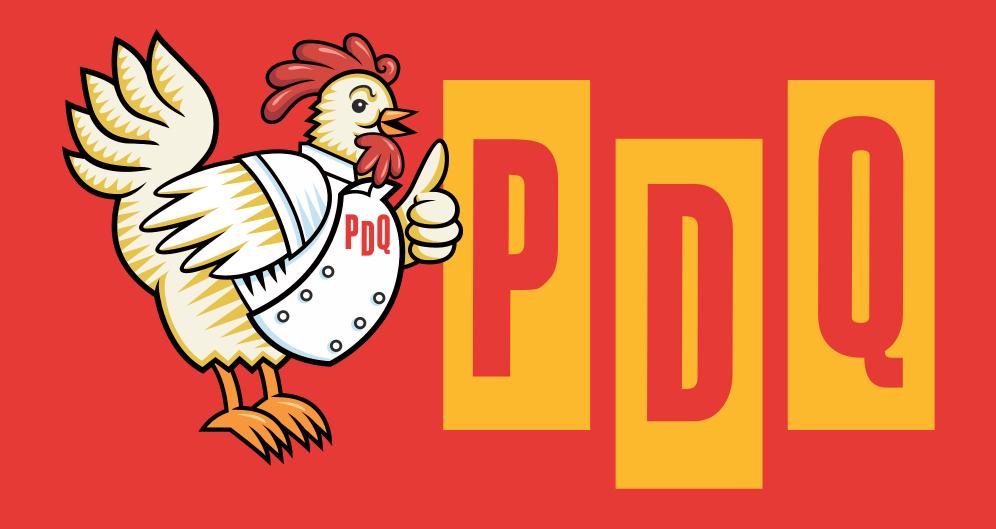
The applicant is now requesting approval of a monument ground sign in compliance with that condition of approval for the conditional use. Attached is the sign package for the current design, however the P&Z Board is just looking at the monument sign portion to be located at the corner of Minnesota and Orlando Avenues.

**Summary:** Originally, as part of the Conditional Use application package, PDQ submitted their plans for a 25 foot interior illuminated pylon sign. As the Board may recall, the Orchard Supply hardware store that is located two blocks south of this site had a condition of approval to build a monument sign with exterior illumination versus a pylon sign with internal illumination. The Dunkin' Donuts on Fairbanks Avenue also had a similar condition of approval to construct a monument sign with exterior illumination. Therefore, since a precedent has been set for this type of redevelopment, staff felt that this type of design should be continued as properties redevelop along Orlando Avenue. A monument sign without interior illumination also adds sophistication to the property, and is also be more visible as is at eye level with motorists passing by. However, a decision was not made at the P&Z Commission meeting, and that decision on the pylon versus ground sign was required to come back before P&Z for final approval.

The attached current sign plans include a monument sign instead of a pylon or pole sign, but does propose interior illumination. Staff is in favor of this redesign, but is recommending that a condition of approval be that the monument sign is externally illuminated for the reasons stated previously. It is our understanding from verbal discussions with the applicant that they are in agreement with exterior illumination via ground lighting.

#### STAFF RECOMMENDATION IS FOR APPROVAL with the following condition:

1. That the monument sign be non-internally illuminated.



**SWC of Minnesota Ave & S Orlando Ave** Winter Park, FL

**DESIGN NUMBER: 77558** 

PID: 69117

**DATE: 03.26.18** 



**PDQ** Winter Park, FL

# Celebrating 48 years of Quality Manufacturing and Service





SIGN & AWNING CO INC 4590 118TH Avenue North Clearwater, Florida 33762

800-526-3325

www.thomassign.com

PDQ

Design Number:

75467

Installation Address: SWC of Minnesota Ave &

S Orlando Ave Winter Park, FL

Project Identity Number:

77558

AVENUE

0 1 1

ROA

STATE

Scale: 1'' = 30'

	Sales Associate:	Project Team:
	RW	BM
	Designer:	Date:
)	MBV	12.27.17

Project Updates:

Rev: Updated legend 12.28.17 MBV Rev: updated map and legend 01.02.18 MBV

Rev: DIR font change updated legend 01.09.18

3M™ MCS™ Warranty

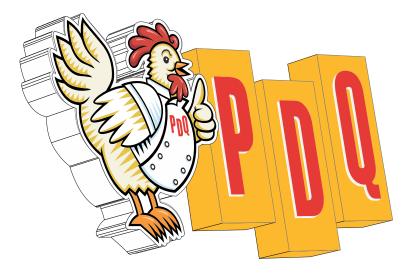
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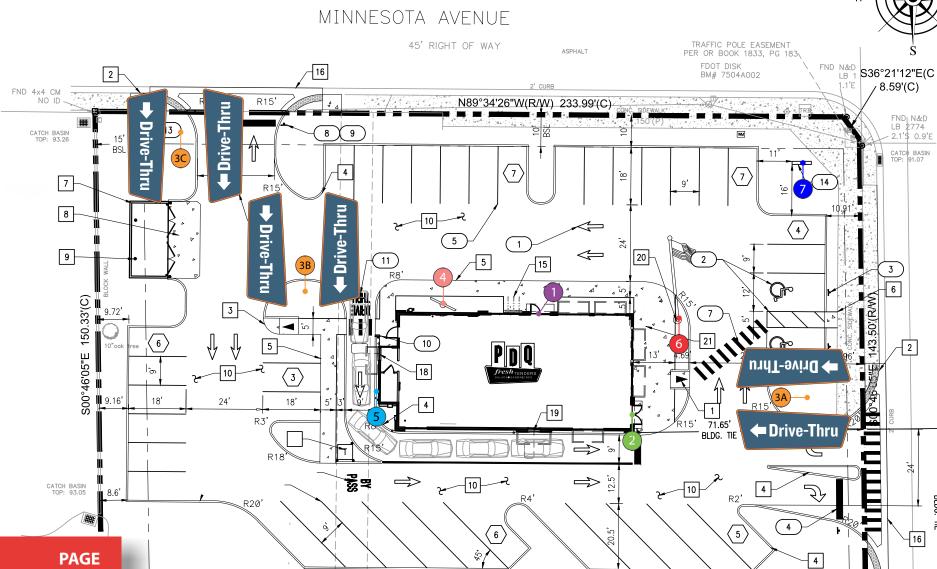
☐ Approved as noted DATE:\_

Revise & Re-Submit

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1 OF 11





N89°33'41"W 239.00'(C)

**SIGNAGE DESCRIPTION** 1 39.90 sq ft Wall Sign 3 2 39.90 sq ft Wall Sign 6 3 Directionals 4 Triple Menu 8 5 Single Menu Wall Mount 9 6 25' Flag Pole with 4' x 6' Flag 10

7 10' Monument Sign

Signage Location Site Plan

11

# Celebrating 48 years of Quality Manufacturing and Service



PMS 124C YELLOW

PMS 5405C BLUE

PMS 7620C RED

.177 White Acrylic

Backer

BLACK

Color Program



SIGN & AWNING CO INC

4590 118TH Avenue North Clearwater, Florida 33762

800-526-3325

www.thomassign.com

#### PDQ

Design Number: 75467

SWC of Minnesota Ave & S Orlando Ave

Winter Park, FL Project Identity Number:

77558

12.27.17 MBV

Project Updates:

Rev: Updated size 02.14.18 MBV Rev: Updated size of sign cab and base

Rev: Updated layout and base 03.26.18 MBV



#### 3M™ MCS™ Warranty



ELECTRIC SIGN
COMPLIES TO UL 48

THIS ARTICLE IS INTENDED TO BE INSTALLED IN
ACCORDANCE WITH THE REQUIREMENTS OF
ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE
AND/OR OTHER APPLICABLE LOCAL CODES. THIS
INCLUDES PROPER GROUNDING AND BONDING
OF THE SIGN

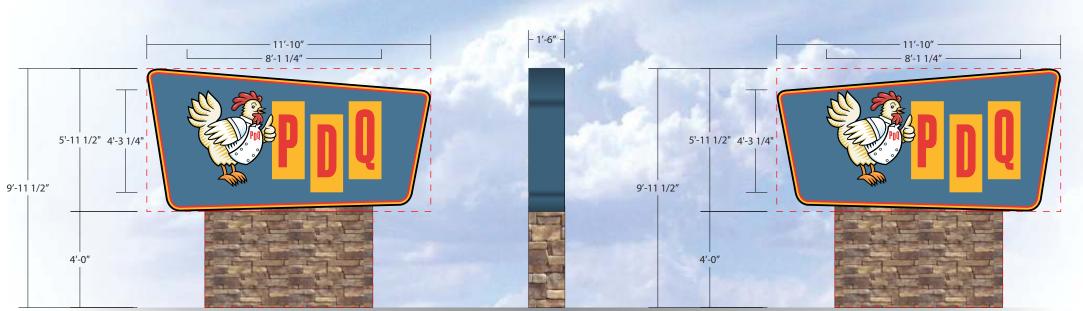
#### ☐ Approved

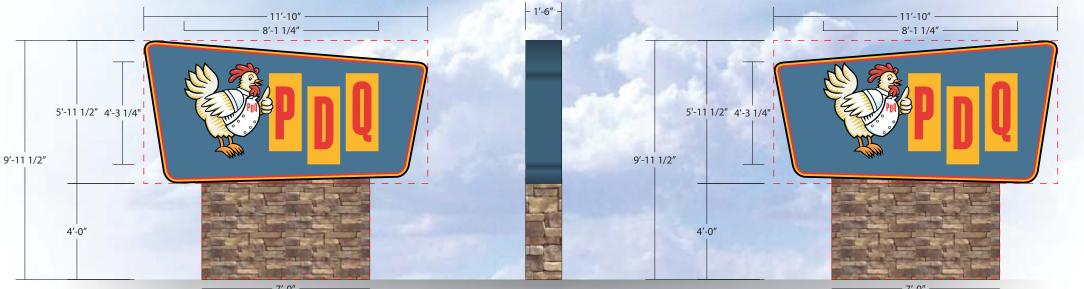
DATE:\_\_

Approved as noted DATE:\_\_

Revise & Re-Submit

11 OF 11





D/F Monument Sign with Routed Aluminum Faces with Acrylic Backers

Square Feet: 98.5

Scale: 1/4"=1'-0"

# CITY OF WINTER PARK PLANNING AND ZONING BOARD

Staff Report May 1, 2018

REQUEST OF CHARLES AND SHIRLEY SMALLWOOD FOR: SUBDIVISION OR LOT SPLIT APPROVAL TO DIVIDE THE PROPERTY AT 2410 WINTER PARK ROAD, ZONED R-1A, INTO TWO SINGLE FAMILY BUILDING LOTS. THE NEW CORNER LOT AND INTERIOR LOT WILL HAVE 75 FEET OF FRONTAGE ON WINTER PARK ROAD AND 10,050 SQUARE FEET OF LAND AREA. THE INTERIOR LOT WILL MEET THE MINIMUM LOT SIZE REQUIREMENTS OF THE R-1A ZONING BUT THE CORNER LOT WILL NEED A VARIANCE FROM THE 85 FEET OF LOT FRONTAGE NEEDED FOR A CORNER LOT.

The owners of 2410 Winter Park Road are requesting subdivision or lot split approval to divide their property into two single-family lots. The zoning of this property is R-1A. Each lot is proposed to be 75 feet wide and 10,050 square feet in size. The interior lot will meet the minimum lot size requirements of R-1A, but the corner lot will need a variance from the 85 feet of lot frontage needed for a corner lot. The property is currently developed with one single-family home that will be demolished.

During the City's review process of subdivisions or lot split requests, there are two criteria that are reviewed. First is the 'Zoning Test' as to conformance with the zoning criteria. The next is the 'Comprehensive Plan Test' which is conformance to the neighborhood character.

**ZONING TEST:** This existing property is 150 feet wide on Winter Park Road, 134 feet wide on Norris Avenue, and measures approximately 20,101 square feet in size. The subdivided lots are proposed to be 75 feet wide and 10,050 square feet in size. The R-1A zoning requires a minimum of 75 feet of lot width for an interior lot and 85 feet of width for a corner lot, and a minimum of 8,500-square feet of land area. Thus, a variance is requested for the corner lot dimensions.

**COMPREHENSIVE PLAN TEST:** There are many neighborhoods in the City that are zoned R-1AA or R-1A, but the existing character may be significantly different than the zoning code minimums. In some cases the typical lots are smaller or larger. The Comprehensive Plan test, or comparison, is a door that swings both ways. In some cases, it can substantiate a relaxation of the minimum lot dimensions, and in other cases it can require larger lot sizes than the minimums.

As a result, the practice outlined in the Comprehensive Plan and the Subdivision Code (attached) is to look at the surrounding neighborhood to compare the standard lot sizes. The Code dictates that the review area is within a 500-foot radius of the subject property, and limited to those in the same zoning.

There are 62 homes within this neighborhood with the same R-1A zoning (see attached map). The average lot width is 72 feet, and the median lot width is 70

feet. The average lot area from this 62 home survey is 9,809 square feet, and the median lot area is 9,104 square feet. Thus, the proposed lot widths of 75 feet, and the proposed lot areas of 10,050 square feet compare favorably and slightly exceed the majority of the neighborhood.

**APPLICABLE CODES:** The applicable Comprehensive Plan policy and Subdivision Code section governing lot splits are on the following page.

**DEVELOPMENT PLANS:** The applicant has provided a generalized front elevation for the type of homes that they plan to build, and general site plans for the layout of the proposed new homes. The applicants will comply with the normal single-family development standards, setbacks, etc.

**DEVELOPMENT OPPORTUNITIES:** Lot split requests like these give the City an opportunity to provide input to the developers to encourage variety and character in their design to enhance our single-family neighborhoods. As mentioned, the applicant provided generalized front elevations of the types of homes they plan to build, which depict two slightly different architectural elevations for the homes. If the Planning and Zoning Board makes a motion to approve, staff suggests that the final front elevations of the homes be of varied architectural styles to each other to provide diversity to the neighborhood.

**SUMMARY:** The custom of the planning staff is not to recommend "approval" of lot splits with variances. However, planning staff notes that while this request is short 10 feet of width to pass the Zoning Test, the request passes the Comprehensive Plan test. This is a situation where the proposed lot widths and sizes compare to a majority of the neighborhood.

In recognition that lot width variances are requested, the staff recommendation is for DENIAL.

However, if the P&Z Board approves, staff recommends the following condition:

1. That the final front elevations of the homes be of varied architectural styles to each other to provide diversity to the neighborhood.

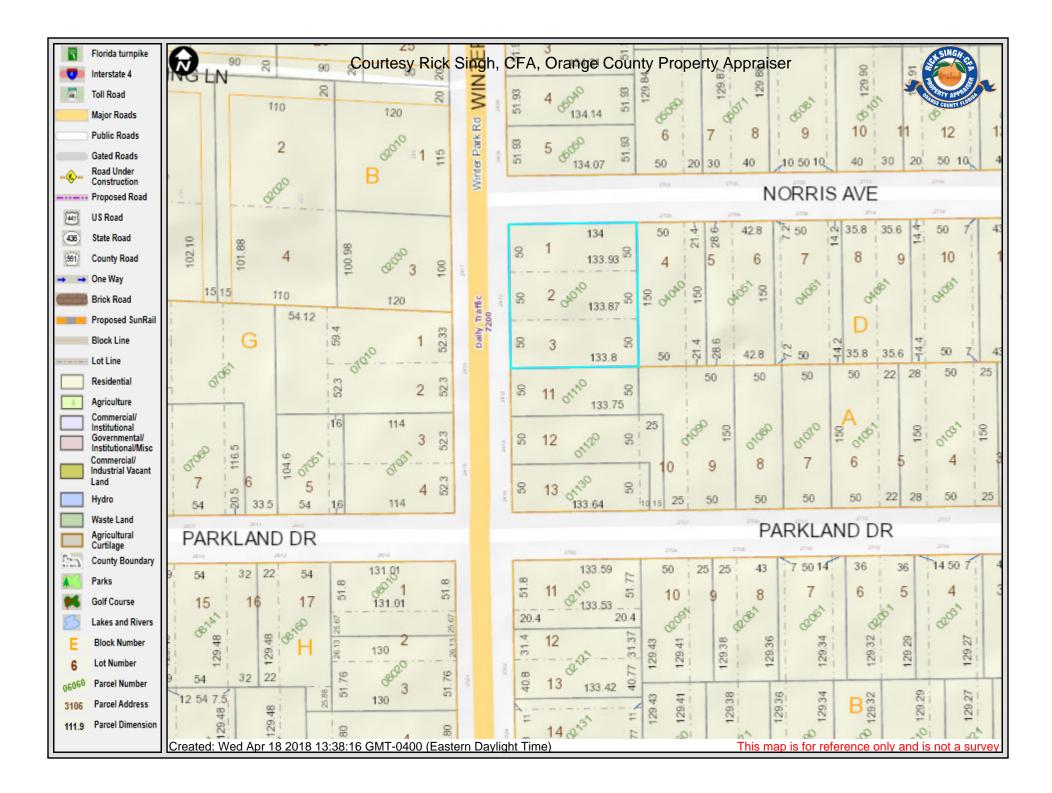
#### RELEVANT COMPREHENSIVE PLAN POLICY:

Policy 1-3.6.8: Subdivision of Land and Lot Splits for Non-Lakefront Single Family and Low Density Multi-Family Property. The City shall consider approving subdivision and lot split applications, which are not lakefront properties and which are not estate lots in areas designated single family, low density or multi-family residential, when the proposed new lots are designed at size and density consistent with the existing conditions in the surrounding neighborhood within a radius of five hundred (500) feet.

#### ARTICLE VI. - SUBDIVISION AND LOT CONSOLIDATION REGULATIONS

#### Sec. 58-377. - Conformance to the comprehensive plan.

- (a) In the City of Winter Park, as a substantially developed community, the review of lot splits, lot consolidations, plats, replats or subdivisions within developed areas of the city shall insure conformance with the adopted policies of the comprehensive plan as a precedent to the conformance with other technical standards or code requirements.
- (b) In existing developed areas and neighborhoods, all proposed lots shall conform to the existing area of neighborhood density and layout. The proposed lot sizes, widths, depths, shape, access arrangement, buildable areas and orientation shall conform to the neighborhood standards and existing conditions. This provision is specifically intended to allow the denial or revision by the city of proposed lot splits, lot consolidations, plats, replats or subdivisions when those are not in conformance with the existing neighborhood density or standards, even if the proposed lots meet the minimum technical requirements of the zoning regulations.
- (c) In determining the existing area or neighborhood density and standards, for the consideration of lot splits, plats, replats or subdivision of other than estate lots or lakefront lots, the planning and zoning commission and city commission shall consider the frontage and square foot area of home sites and vacant properties with comparable zoning within an area of 500-foot radius from the proposed subdivision.
- (d) In order to implement the policies of the comprehensive plan, the city commission may also impose restrictions on the size, scale, and style of proposed building, structures, or other improvements. This provision shall enable the city commission to impose restrictions on the size, height, setback, lot coverage, impervious area or right-of-way access such that proposed building and other improvements match the dimension and character of the surrounding area or neighborhood.





# COMPREHENSIVE PLAN TEST

#### 2410 Winter Park Road

City of Winter Park Florida

#### **LEGEND**

Subject Site

R-1A Lots Within 500' of Site (62 total)

#### **NOTES**

Average Lot Width = 72 ft Median Lot Width = 70 ft Average Lot Size = 9,809 sq ft Median Lot Size = 9,104 sq ft





2017 FLORIDA BUILDING CODE 6th EDITION, PLUMBING

2017 FLORIDA BUILDING CODE 6th EDITION, MECHANICAL 2017 FLORIDA BUILDING CODE 6th EDITION, ACCESSIBILITY

2017 FLORIDA BUILDING CODE 6th EDITION, ENERGY CONSERVATION

2017 FLORIDA FIRE PREVENTION CODE 6th EDITION

NATIONAL ELECTRICAL CODE 2014 NEC

NFPA 101, 2012 EDITION

FLORIDA FIRE PREVENTION CODE 2012 ED.

#### BUILDING DATA

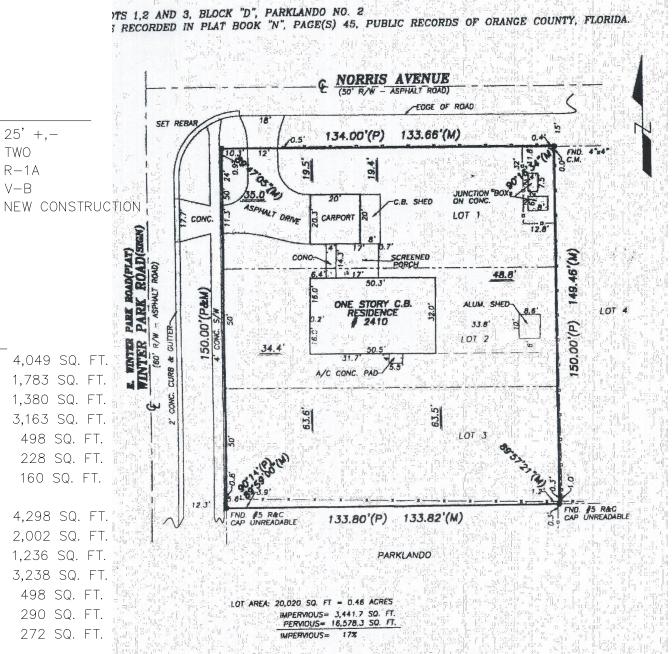
25' +,-PROPOSED BUILDING HT. NUMBER OF FLOORS: TWO ZONING R-1ACONSTRUCTION TYPE V-BCLASSIFICATION OF WORK

#### SQ. FOOTAGE CALCULATIONS

PROPOSED	GROSS SQ. FOOTAGE HOUSE A	4,049 SQ. FT.
PROPOSED	A/C SQ. FOOTAGE FIRST FLOOR	1,783 SQ. FT.
PROPOSED	A/C SQ. FOOTAGE SECOND FLOOR	1,380 SQ. FT.
PROPOSED	TOTAL A/C SQ. FOOTAGE	3,163 SQ. FT.
PROPOSED	DETACHED GARAGE	498 SQ. FT.
PROPOSED	LANAI	228 SQ. FT.
PROPOSED	FRONT PORCH	160 SQ. FT.
PROPOSED	GROSS SQ. FOOTAGE HOUSE B	4,298 SQ. FT.
PROPOSED	A/C SQ. FOOTAGE FIRST FLOOR	2,002 SQ. FT.
PROPOSED	A/C SQ. FOOTAGE SECOND FLOOR	1,236 SQ. FT.
PROPOSED	TOTAL A/C SQ. FOOTAGE	3,238 SQ. FT.
PROPOSED	DETACHED GARAGE	498 SQ. FT.
PROPOSED	LANAI	290 SQ. FT.
PROPOSED	FRONT PORCH	272 SQ. FT.

# 2410 E. WINTER PARD AVE. WINTER PARK, FL

#### BOUNDARY SURVEY LEGAL DESCRIPTION:



#### SCOPF

SEPARATE ONE 150' LOT INTO TWO 75'-0" WIDE LOTS.

#### INDEX

CS SP COVER SHEET & EXISTING SURVEY

SITE PLAN

A1

FIRST FLOOR PLAN SECOND FLOOR PLAN

FRONT ELEVATION

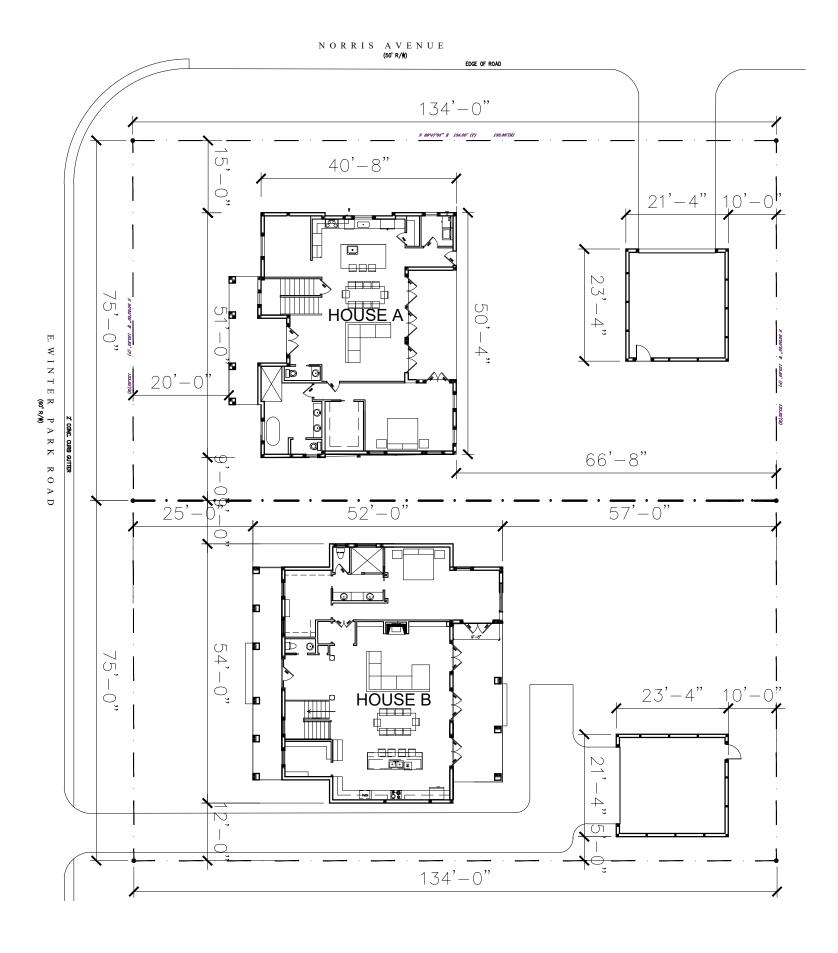
FIRST FLOOR PLAN SECOND FLOOR PLAN FRONT ELEVATION

DESIGN GROUP INC.

**EXISTING SURVEY** 

1"=40'-0"



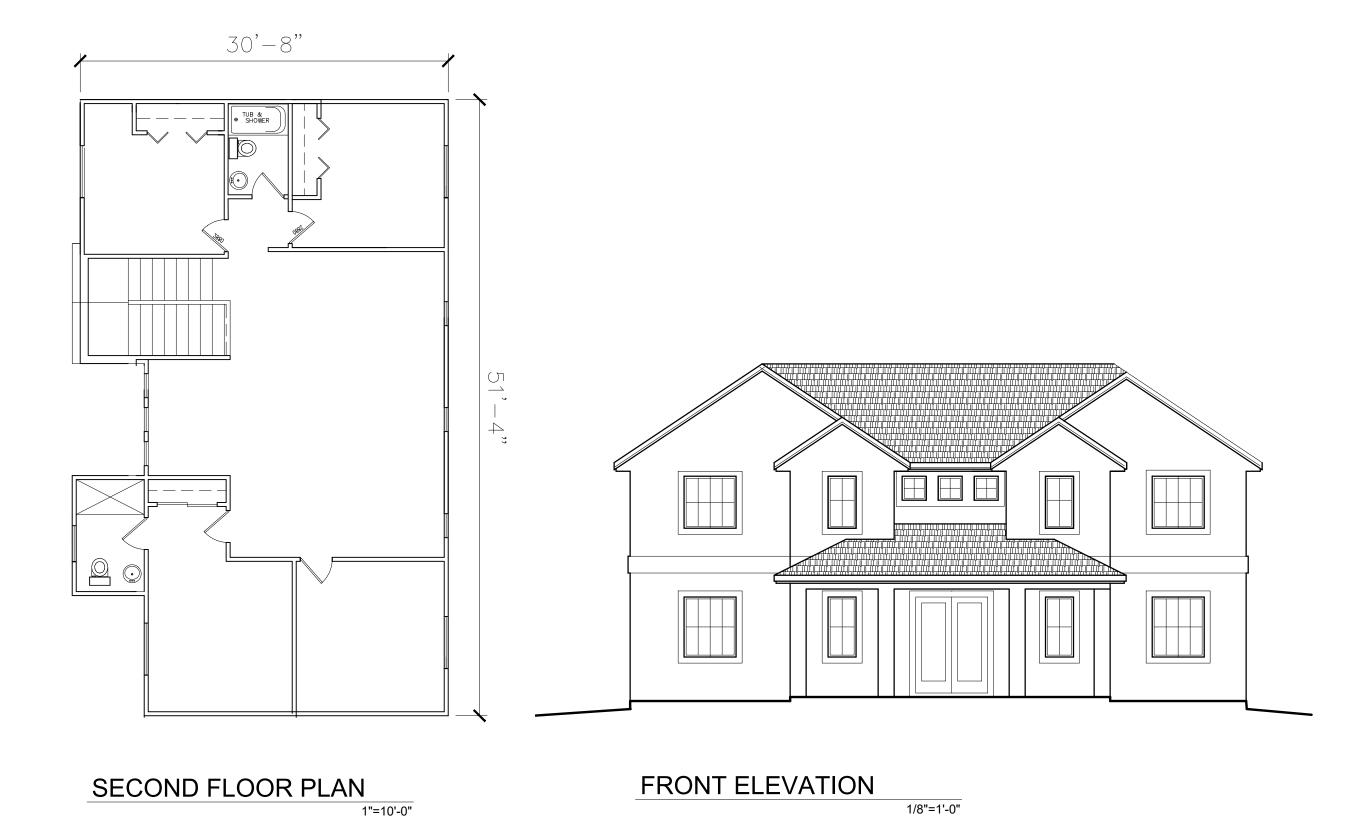


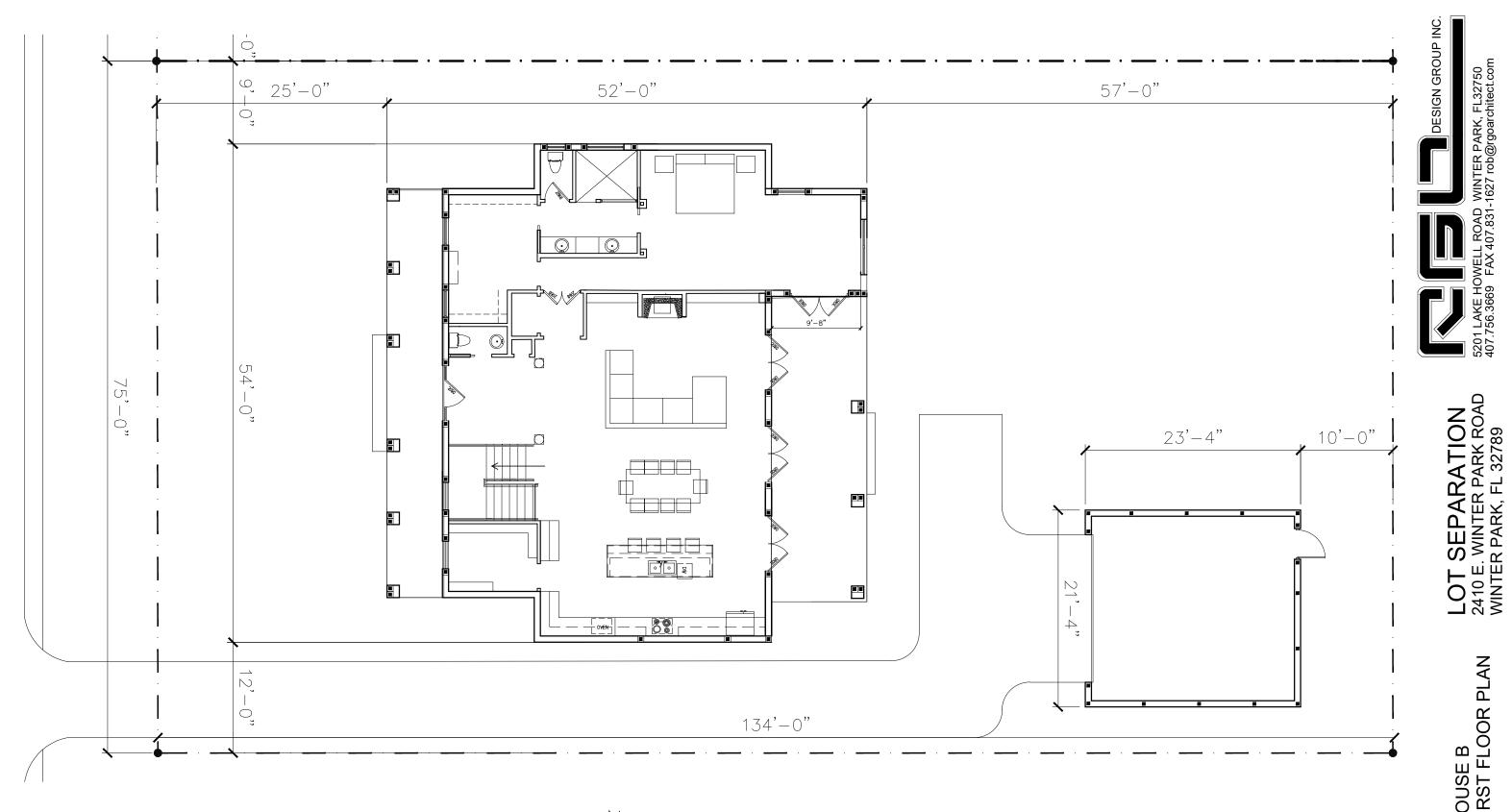
FIRST FLOOR PLAN

1"=10'-0"

**A1** 



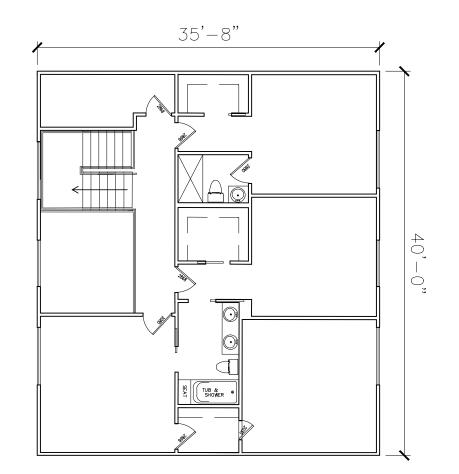




1"=10'-0"

HOUSE B FIRST FLOOR PLAN





21'-4" WIN. HD. 13'-4" F.F. 12'-0" BRG. 10'-0" WIN. HD. 0'-0" MAIN F.F.

SECOND FLOOR PLAN 1"=10'-0" FRONT ELEVATION 1/8"=1'-0"



# CITY OF WINTER PARK PLANNING AND ZONING BOARD

Staff Report May 1, 2018

REQUEST OF THE FIRST CHURCH OF CHRIST SCIENTIST FOR: CONDITIONAL USE APPROVAL TO BUILD A REPLACEMENT CHURCH AT 650 N. NEW YORK AVENUE OF 6,989 SQUARE FEET IN SIZE WITH 44 PARKING SPACES ON THEIR PROPERTY, ZONED R-3.

The First Church of Christ Scientist is requesting Conditional Use approval to build their replacement Church of 6,989 square feet in size at 650 N. New York Avenue, on property zoned R-3. Churches are conditional uses in all zoning categories.

**Site and Zoning Parameters:** As you may recall on your October agenda, Condev Land LLC received approval to divide/split the original Church site property of 2.23 acres. Condev purchased the northern 60% of the site and received approval to build 16 townhomes. The balance of this property, comprising the southern 40,637 square feet (0.93 acres) is still owned by the Church and is the site for the replacement Church. The Future Land Use designation is Institutional, which conforms to the use of the property as a church.

**Proposed Project:** The proposed new Church is 6,989 square feet in size. It has a main sanctuary of approximately 120 seats, administrative office space and Sunday school classrooms. The floor area ratio (FAR) of 17% is far below the maximum permitted by the R-3 zoning of 110%. The maximum impervious coverage is 70%, and this project is at 64.7%. Parking is based upon the sanctuary seating at one space for each three seats which requires 40 spaces. The site plan shows 44 spaces.

The main sanctuary building is at the maximum building height of the R-3 zoning, which is 35 feet. This is the same height as will be the adjacent new townhomes. There is a small architectural appendage (steeple) that will be 42 feet in height and the Code allows approval for such features.

Traffic Circulation/Parking: Parking and interior parking lot landscape areas are being provided to meet Code with access from Swoope Avenue. There is circulation through the site which includes a drop-of/pickup area at the front of the Church. The perimeter landscape area along Swoope Avenue at 8 feet wide meets Code. There is a city alley along the eastern border of the site that technically is also a street. The applicant is asking for a variance for that landscape area to be 3 feet in width versus the 8 feet required. The staff has no objection to that variance. The applicant is also asking for a variance along the northern edge of the parking lot for an 8 foot landscape buffer in lieu of the Code required 10 feet. Condev Land LLC, the adjacent owner, is in support of that variance, in large part because there will be a combination of a privacy wall and landscaping to separate the properties. The two parties are asking for the City to permit that privacy wall to be a combination of a six foot wall with seven foot columns and six foot landscape hedges. The code states a six foot privacy wall, staff has no objection to the combination of wall and landscape hedge.

**Tree Preservation:** The applicant has met onsite with the Urban Forestry Department. The project is saving the two oak trees in the best condition on the site that exist along the eastern border of the property, and three oak trees within the existing landscape area between the existing parking lot. Urban Forestry is in agreement with removal of the other shade trees based upon the compensation which includes new oak tree plantings on-site.

**Storm Water Retention:** This project will provide storm water retention via an underground storm water system that will meet the requirements of the St. John River Water Management District as well as City Code. There is no storm water retention for the existing development on-site.

**Other Site Features:** Please note that a new sidewalk will be added along this north side of Swoope Avenue, where no sidewalk exists today in order to aid pedestrian circulation. This new sidewalk will tie into the existing sidewalk along New York Avenue and also link up to the existing sidewalk in front of the townhomes to the east.

As is typical, the City looks at the details of the electric transformers/backflow preventers and trash bin areas, as special attention needs to be paid to the placement of these items and how they can be screened from view. This is often difficult since they are required to be up at street front locations. You will note that the trash dumpster is located in the back of the site with little visibility. There are conditions recommended to address screening the backflow preventers.

**Staff Analysis of the Conditional Use Request:** The new Church project conforms to the R-3 Code and the only minor variances regarding landscaping are inconsequential. If this property were to be developed alternatively for townhomes, under the R-3 zoning, there would be considerably more density, in terms of building size and less landscaping and open space. The upgrades for storm water retention and new sidewalk are also important improvements.

STAFF RECOMMENDATION IS FOR APPROVAL of the Conditional Use with the following condition:

1. That any backflow preventers shall be landscaped so as to be effectively screened from view.

# DEVELOPMENT PLAN FOR FIRST CHURCH OF CHRIST, SCIENTIST, WINTER PARK

650 NORTH NEW YORK AVENUE, WINTER PARK, FLORIDA 32789

# CONDITIONAL USE SUBMITTAL



CIVIL ENGINEER

ARCHITECT / INT. DESIGN

LANDSCAPE ARCHITECT



**AVCON** 

5555 E. MICHIGAN STREET SUITE 200 ORLANDO, FL 32822 P: (407) 599-1122 F:(407) 599-1133



ASSOCIATED CONSULTANTS INTERNATIONAL

A: 955 N. PENNSYLVANIA AVE. WINTER PARK, FL 32789 P: (407) 740-8405

# LandDesign.

LANDDESIGN

100 SOUTH ORANGE AVE SUITE 700 ORLANDO, FL 32801 P: (407) 270-7800 F: (614)563-3595 ACCI

ARCHITECTURE

redefined

DEVELOPMENT, MANAGEMENT, ARCHITECTURE

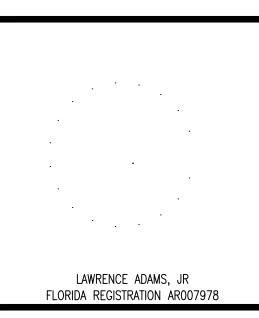
FL AA0002940 955 N. PENNSYLVANIA AVE.FL AA0002940 WINTER PARK, FLORIDA 32789 USA

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SI, SCIENTIST, RK ork Ave,

WINTER PARK



ISSUE

DATE (ISSUE / REVISION)

4/04/2018 CONDITIONAL USE SUBMITTAL

DATE:		APRIL 4, 201
CHECKED E	BY:	SI
DRAWN BY	<b>':</b>	BR/I
PROJECT N	10.:	0160
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PHASE: DESIGN DEVELOPMENT
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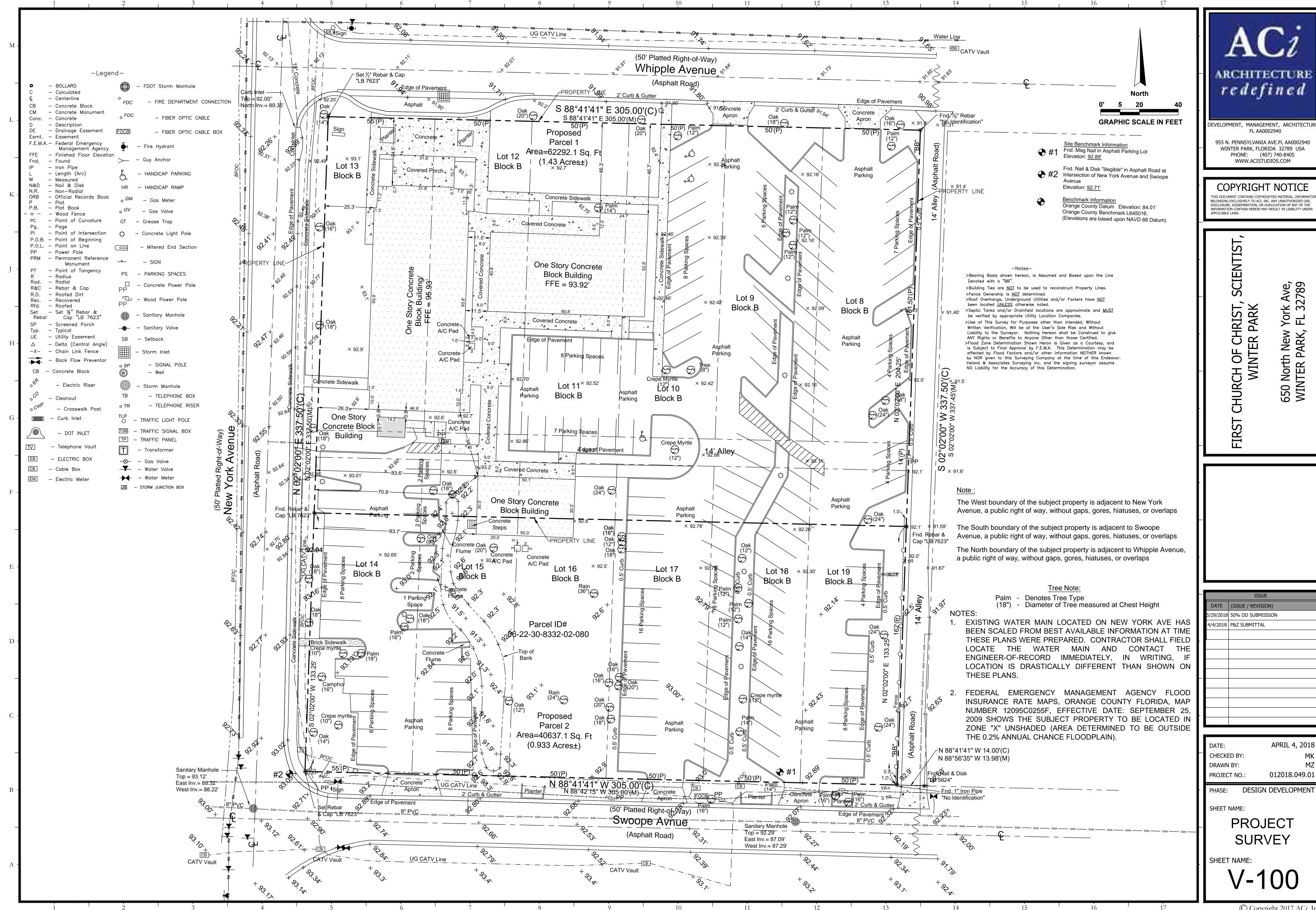
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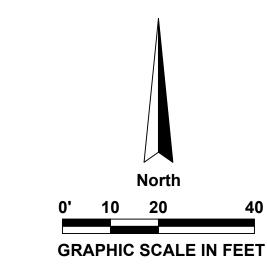
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C Copyright 2018 ACi, Inc.

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MAXIMUM HEIGHT (STORIES)  2 - 3 / 35'-0"	RESTROOMS, STORAGE ROOM, INTANT CARE ROOM, STAIT RETCHEN, AND A TOOTH CENTER.		redefined
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ALL AREAS SHALL BE VERIFIED BY SURVEYOR AT FINAL PLAT SUBMISSION  NORTH SET BACK 20'-0"  SOUTH SET BACK 20'-0"		TYPE NO. STEET WINE  G000 COVER PAGE  X	DEVELOPMENT, MANAGEMENT, ARCHITECTURE
WEST SET BACK 25'-0"	VICINITY PLAN	G001 INDEX SHEET AND PROJECT INFORMATION X	FL AA0002940 955 N. PENNSYLVANIA AVE.FL AA0002940
BUILDING AREAS & USE  ALL AREAS ARE GROSS SQUARE FEET			<ul> <li>WINTER PARK, FLORIDA 32789 USA</li> <li>PHONE: (407) 740-8405</li> </ul>
BUILDING TYPE GROUND FLOOR GROUND FLOOR TOTAL			WWW.ACISTUDIOS.COM
USE AREA USE AREA AREA CHURCH ASSEMBLY 6,989 AREA 6,989	Maitland Erborato Ave		COPYRIGHT NOTICE
ENTRY CANOPY 1,395 1,395	Glen, Haven Memorial Rark		THIS DOCUMENT CONTAINS COPYRIGHTED MATERIAL, INFORMATION BELONGING EXCLUSIVELY TO ACI. INC. ANY UNAUTHORIZED USE.
	cinedy Blvd Egennedy Blvd		DISCLOSURE, DISSEMINATION, OR DUPLICATION OF ANY OF THE INFORMATION CONTAIN HEREIN MAY RESULT IN LIABILITY UNDER APPLICABLE LAWS.
ZONING CODE ANALYSIS CITY OF WINTER PARK LAND DEVELOPMENT CODE  ALLOWABLE R-3 DEVELOPMENT DENSITY 17 PER ACRE / 1 UNIT PER 2,500 SQ. FT.	Eatonville Kraft Azalea	9	
NOT APPLICABLE AS DEVELOPMENT IS FOR CONSTRUCTION OF A CHURCH  * F.A.R. INCLUDES ATTACHED AND DETACHED GARAGES AND COVERED PORCHES.	N Park Ave.		ST,
F.A.R. PER COMPREHENSIVE PLAN INDICATES:  "THE MAXIMUM FLOOR AREA RATIOS OUTLINED ABOVE ARE NOT AN ENTITLEMENT AND ARE NOT ACHIEVABLE IN ALL SITUATIONS."	k & ATM 433 OACI Architects Inc		
ALLOWABLE MAXIMUM FLOOR AREA RATIO (F.A.R.)  1 STORY DEVELOPMENT = 1.10 40,637.1 x 1.10 = 44.700 SQ. FT.			
ALLOWABLE MAXIMUM BUILDING HEIGHT MAXIMUM BUILDING HEIGHT OF 35' (FEET).	Cake Killarney Trader Joe's Winter Park Memorial Hospital	V 100 PROJECT CURVEY	SC   389, 48, 6, 89
	Joseph Control of the	V-100 PROJECT SURVEY X X C-100 DEMOLITION PLAN X	ST, SCJ SK SK 32789
ALLOWABLE BUILDING LOT COVERAGE MULTI-FAMILY 40% - 40,637.1 X 0.40 = 16,254.8 SQ. FT.	ew es Rollins College	O COO CUTE AND OF CHIEFDY DUAN	
ALLOWABLE IMPERVIOUS COVERAGE  MULTI-FAMILY  70% - 40,637.1 X 0.70 = 28,446 SQ. FT.  SITE LOCATED OUTSIDE THE WINTER PARK CBD DISTRICT AND OUTSIDE AREA REGULATED BY MAXIMUM HEIGHT MAP.	Jimmy John's Lake Virginia	C-200 SITE AND GEOMETRY PLAN  X  C-201 VEHICLE TRACKING PLAN  X	CH OF CHI WINTER F North New VTER PARK,
PARKING REQUIREMENTS PER CURRENT L.D.C.	WiPar St. WiPar St.	C-300 DRAINAGE AND GRADING PLAN	
USE UNITS / AREA FORMULA SPACES REQUIRED	SCALE: N.T.S.  PROJECT SITE  The state of th	C-400 UTILITY PLAN X	TH REPORT I
120 SEAT ASSEMBLY SPACE 3 SEATS/SPACE 40	SCALE: N.T.S.  PROJECT SITE WINTER PARK, FL		HURC 1050 N WINT
TOTAL PARKING PROVIDED: 44	AREA PLAN		[ ]
			RS
VARIANCES AND WAIVERS:	Liniversity Club		
1. THE LANDSCAPE AND BUFFER FEATURES BETWEEN THE	of Winter Park  Downtown Winter Park		
CHURCH PROPERTY AND THE ADJACENT R-3 RESIDENTIAL PROPERTY HAVE BEEN COORDINATED-BETWEEN THE TWO PROPERTY OWN FERS (DEVIS) OF THE DESIGN REPRESENTS	Winter Park Ice Skating		
PROPERTY OWNERS/DEVELOPERS. THE DESIGN REPRESENTS THEIR JOINT AGREEMENT FOR THE DESIGN OF THE BUFFER FEATURES AND INCLUDES AGREEMENT CONCERNING	The state of the second		
RESPONSIBILITY FOR CONSTRSTRUCTION AND MAINTENANCE OF THE BUFFER FEATURES.	TO THE ROLL OF THE PARTY.		
2. THE APPLICANT IS REQUESTING A WAIVER FOR THE SUBMISSION OF THE PHOTOMETRIC DESIGN DATA FOR THE SITE LIGHTING. PHOTOMETRIC DATA AND DRAWINGS SHALL	Whipple Ave  Case Feliz Historic Home Museum	L101 SITE PLAN X	
BE PROVIDED FOR REVIEW PRIOR TO THE SUBMISSION FOR A BUILDING PERMIT.  3. THE APPLICANT IS REQUESTING A VARIANCE FOR THE	Christian Science Church	L102 EXISTING TREE EXHIBIT X	
PARKING LOT BUFFER SETBACKS ALONG THE NORTH (ALONG THE BUFFER WITH THE ADJACENT RESIDENTIAL TOWNHOUSE	nowles and the second s	L201 ELEVATION X X X X X X X X X X X X X X X X X X X	
PROPERTY) AND EAST (ADJACENT TO THE ALLEY) PROPERTY LINES.  4. THE SANCTUARY BUILDING HAS A HEIGHT <35' WITH A SHORT	W Swoope Ave		LAWRENCE ADAMS, JR FLORIDA REGISTRATION AR007978
ARCHITECTURAL APPENDAGE (STEEPLE FEATURE) THAT EXTENDS TO 42' . tha Applicant is requesting a variance	nety O	L601 LANDSCAPE SCHEDULE AND IMAGERY X	TEGNISH NEGISTIVITION /MCC/3/3
FOR THIS FEATURE.	Absolute Body Waxing Studio		DATE (ISSUE / REVISION)
	COLE AVE		4/04/2018 CONDITIONAL USE SUBMITTAL
	SCALE: N.T.S.  PROJECT SITE WINTER PARK, FL	A A A A A A A A A A A A A A A A A A A	
	ZONING PLAN		
GENERAL NOTES:			
OLIVAL IVOI LO:			
	+ + + + +   <del>  + + + + + + + +     + + + +</del>		
1. WINDOWS ARE TO BE FIXED ALUMINUM FRAME STOREFRONT WITH INSULATED GLASS VISION PANELS & MODULAR GLASS BLOCK. ALL GLAZING SYSTEMS SHALL MEET THE		A111 FLOOR PLAN X	
REQUIREMENTS OF THE FLORIDA BUILDING CODE. ALL WINDOWS ARE TO BE SET BACK FROM THE FAÇADE A	PQP  R-3  R-3	A201 EXTERIOR ELEVATIONS X	
MINIMUM OF 1" TO FACE OF GLASS  2. DOORS SHALL BE SOLID WOOD, FIBERGLASS OR METAL CLAD (SEE ELEVATIONS).		A202 EXTERIOR ELEVATIONS X	DATE: APRIL 4, 2018
3. FLAT ROOFS SHALL BE SINGLE PLY MEMBRANE SYSTEM. 4. PITCHED ROOFS SHALL BE METAL STANDING SEAM.	E. SWOOPE AVE		CHECKED BY: SW
5. EXTERIOR FINISHES SHALL BE - THIN PORCELAIN TILE, LINEAR PORCELAIN TILE, VERTICAL SIDING, AND/OR STUCCO. 6. EXTERNAL PAINT TYPES WHERE USED SHALL BE ACRYLIC	E. SWOOPE AVE.		DRAWN BY: BR/ID PROJECT NO.: 01602
LATEX AND/OR TEXTURED POLYMER.  7. ALL MET'AL WORK SHALL BE EITHER FACTORY FINISHED OR	PQP C-2 R-3		PHASE: DESIGN DEVELOPMENT
FIELD PAINTED WITH INDUSTRIAL GRADE COATING.  8. ALL AREA CALCULATIONS ARE CALCULATED AS GROSS SQUARE FOOT AREAS.			
9. THE DRIVE WAYS, PARKING AREAS AND ALL GARDEN AREAS ARE PRIVATELY OWNED AND MAINTAINED.	COLE AVE.		SHEET NAME:  CODE SUMMARY
10. ALL ROOF ELEVATIONS ARE MEASURED TO THE TOP SURFACE OF THE UNDERLYING STRUCTURE. ROOFING MATERIALS, WHICH CAN VARY BY SEVERAL INCHES IN THICKNESS, ARE NOT	PL		
INCLUDED IN THE OVERALL HEIGHT MEASUREMENT.  11. THE OWNER RESERVES THE RIGHT TO ADJUST THE			
PROPORTION OF EXTERIOR FINISH MATERIALS BASED UPON THE PRODUCTS LISTED ABOVE.	W. CANTON AVE.  PQP C-2 C-2 O-2		SHEET NAME:
			$  $ $C \cap \cap 1$
	PROPOSED SITE ————————————————————————————————————		
1 2 3 4 5 6 7	8 9 10 11	12 13 14 15 16 17	© Copyright 2018 ACi, Inc.





### **DEMOLITION NOTES:**

- CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE.
- CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND
   UTILITIES PRIOR TO EXCAVATION.
   ALL DEBRIS AND WASTE MATERIALS GENERATED BY DEMOLITION OR SUBSEQUENT CONSTRUCTION ACTIVITIES SHALL
- BE DISPOSED OFF—SITE IN A LEGAL MANNER AT AN APPROVED DISPOSAL FACILITY.

  THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED FOR DEMOLITION, CONSTRUCTION WORK AND
- HAULING WASTE MATERIAL. ALL ASSOCIATED COSTS AND PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

  THE CONTRACTOR IS ADVISED THAT UNCHARTED UTILITIES MAY BE FOUND TO EXIST WITHIN THE CONSTRUCTION AREA AND THAT CONSTRUCTION OPERATIONS SHOULD BE CONDUCTED WITH CAUTION. PRIOR TO DEMOLISHING
- AREA AND THAT CONSTRUCTION OPERATIONS SHOULD BE CONDUCTED WITH CAUTION. PRIOR TO DEMOLISHING UTILITY LINES, CONTRACTOR SHALL VERIFY FLOW DIRECTIONS FROM EXISTING BUILDINGS WHICH ARE TO REMAIN.

  6. REMOVE AND DISPOSE OF ALL EXISTING TREES PER THE DEMOLITION REQUIREMENTS, ALSO REFER TO DEMOLITION PLAN FOR TREES TO REMAIN UNDISTURBED.

  7. CONTRACTOR IS RESPONSIBLE FOR PRODUCING A M.O.T. PLAN AND HAVING IT APPROVED BY THE CITY OF
- WINTER PARK PRIOR TO ANY OFF-SITE CONSTRUCTION.

  8. TREE PROTECTION IS REQUIRED FOR ALL TREES NOT SHOWN AS TO BE REMOVED; SEE TREE PROTECTION
- BARRICADE DETAIL.

  9. ALL EXISTING UTILITIES LOCATED WITHIN THE CONSTRUCTION LIMITS, THAT SERVE THE EXISTING FACILITIES, SHALL
- BE CAPPED AND REMOVED BEFORE ANY NEW CONSTRUCTION SHALL BEGIN.

  10. SEE LANDSCAPE AND DEMOLITION PLANS FOR TREE PROTECTION DETAILS.
- 11. CONTRACTOR SHALL ABANDON EXISTING SEPTIC TANKS AND WELLS PER THE FLORIDA ADMINISTRATIVE CODE; PERMITS SHALL BE OBTAINED FROM ORANGE COUNTY HEALTH DEPARTMENT.
- 12. DURING CONSTRUCTION, WHEN COMBUSTIBLES ARE BROUGHT ON TO THE SITE, ACCESS ROADS AND A SUITABLE TEMPORARY OR PERMANENT SUPPLY OF WATER, ACCEPTABLE TO THE FIRE DEPARTMENT, SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 16 OF THE NFPA 1, 2006 EDITION.

#### **EROSION CONTROL NOTES:**

- 1. SILT SCREENS AND TURBIDITY BARRIERS MUST REMAIN IN PLACE AND BE MAINTAINED IN GOOD CONDITION AT ALL LOCATIONS SHOWN UNTIL CONSTRUCTION IS COMPLETE, SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
- ANY EROSION CONTROL REQUIRED BEYOND THAT SPECIFIED SHALL BE CONSIDERED AS INCLUDED WITHIN THIS CONTRACT.
   ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE LOCAL WATER MANAGEMENT DISTRICT AND

THE EROSION CONTROL MEASURES SHOWN HEREON ARE INTENDED AS MINIMUM STANDARDS.

- FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION STANDARDS.

  5. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY
- TRANSPORTATION OF SILT OFF THE SITE.

  6. SEDIMENT MATERIALS FROM WORK ON THIS PROJECT SHALL BE CONTAINED AND NOT ALLOWED TO COLLECT ON ANY OFF—PERIMETER AREAS OR IN WATERWAYS, THESE INCLUDE BOTH NATURAL AND MAN—MADE OPEN DITCHES, STORM PRANS LAKES AND PONDS.
- STREAMS, STORM DRAINS, LAKES, AND PONDS.

  7. AN INSPECTOR, CERTIFIED BY THE STATE OF FLORIDA OR EXPERIENCED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROLS, IS REQUIRED TO INSPECT THE EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN ON THE APPROVED STORMWATER POLLUTION PREVENTION PLAN. INSPECTION REPORTS ARE TO BE COMPLETED ON THE WINTER PARK FORM ONCE EVERY WEEK AND AFTER EVERY RAINFALL EVENT OF 1" OR MORE DURING THE CONSTRUCTION PHASE. THESE REPORTS SHALL BE MADE AVAILABLE TO THE OWNER AT ANY TIME AND COPIES OF ALL OF THE INSPECTIONS SHALL BE SUBMITTED TO THE CITY PRIOR TO THE ISSUANCE OF A
- CERTIFICATE OF COMPLETION OR OCCUPANCY.

  8. ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC ROADS AND FACILITIES, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED AND NOT ALLOWED TO REMAIN ON THE ROADWAY OVERNIGHT BY THE CONTRACTOR.
- 9. ALL PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, AND ANY DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS AFTER FINAL GRADING.

  10. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND
- ESTABLISHED.

  11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR: A. PREPARING FDEP NOTICE OF INTENT APPLICATIONS. (NOI & NOT) B. FDEP NOTICE OF INTENT APPLICATION FEES. C. PREPARING THE FDEP STORMWATER POLLUTION PREVENTION PLAN (SWERP) D. SURMITTAL OF THE FDEP NOTICE OF INTENT APPLICATIONS (NOI & NOT) THE NOI
- NOT) B. FDEP NOTICE OF INTENT APPLICATION FEES. C. PREPARING THE FDEP STORMWATER POLLUTION PREVENTION PLAN (SWPPP) D. SUBMITTAL OF THE FDEP NOTICE OF INTENT APPLICATIONS (NOI & NOT), THE NOI PERMIT MUST BE OBTAINED PRIOR TO COMMENCING WORK FOR THIS PROJECT.

  12. CONTRACTOR SHALL FURNISH THE CITY OF WINTER PARK WITH A COPY OF THE NOI.
- 13. THE CONTRACTOR SHALL OBTAIN WATER MANAGEMENT DISTRICT NPDES PERMIT PRIOR TO COMMENCING WORK FOR THIS PROJECT.

  14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS. PRIOR TO FARTH WORK OR
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS. PRIOR TO EARTH WORK OR CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE A COPY OF THE COMPLETED FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NPDES NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES TO THE ORANGE COUNTY ENVIRONMENTAL PROTECTION DIVISION, ATTENTION: NPDES ADMINISTRATOR. CONTRACTOR SHALL ALSO PROVIDE A COPY OF THE APPROVED NOI TO THE CITY OF WINTER PARK ENGINEERING DEPARTMENT PRIOR TO COMMENCING CONSTRUCTION.

LEGEND:

→ FDOT TYPE III SILT FENCE

TREE TO BE REMOVED

CONSTRUCTION ENTRANCE

TREE PROTECTION BARRIER

CONCRETE TO BE REMOVED

ASPHALT PAVEMENT TO BE REMOVED.

LIMITS OF CLEARING & GRUBBING

BUILDING TO BE REMOVED.

CURB TO BE REMOVED

PROPERTY LINE

Site Benchmark Information
Fnd. Mag Nail in Asphalt Parking Lot Elevation: 92.89'

Fnd. Nail & Disk "illegible" in Asphalt Road at Intersection of New York Avenue and Swoope Avenue Elevation: 92.71'

Benchmark Information
Orange County Datum Elevation: 84.01'
Orange County Benchmark L645016.
(Elevations are based upon NAVD 88 Datum)

(Elevations are based upon NA

UTILITIY NOTE:

1. EXISTING WATER MAIN LOCATED ON NEW YORK AVE HAS BEEN SCALED FROM BEST AVAILABLE INFORMATION AT TIME THESE PLANS WERE PREPARED. CONTRACTOR SHALL FIELD LOCATE THE WATER MAIN AND CONTACT THE ENGINEER—OF—RECORD IMMEDIATELY, IN WRITING, IF LOCATION IS DRASTICALLY DIFFERENT THAN SHOWN ON THESE PLANS.

2. CONTRACATOR TO COORDINATE THE REMOVAL OF EXISTING POWER SUPPLIED TO THE SITE, AND FACILITIES CONNECTED TO THE POWER SUPPLY, WITH CITY OF WINTER PARK AND UTILITY COMPANY.



DEVELOPMENT, MANAGEMENT, ARCHITECTUR FL AA0002940

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IST,

650 North New WINTER PARK,

CHURCH OF CHRIST, SCIEN WINTER PARK

> MIKE KERNS, P.E. FL P.E. #70599 April 4, 2018

	ISSUE
DATE	(ISSUE / REVISION)
3/29/2018	50% DD SUBMISSION
4/4/2018	P&Z SUBMITTAL

DATE: APRIL 4, 2018
CHECKED BY: MK
DRAWN BY: MZ
PROJECT NO.: 012018.049.01

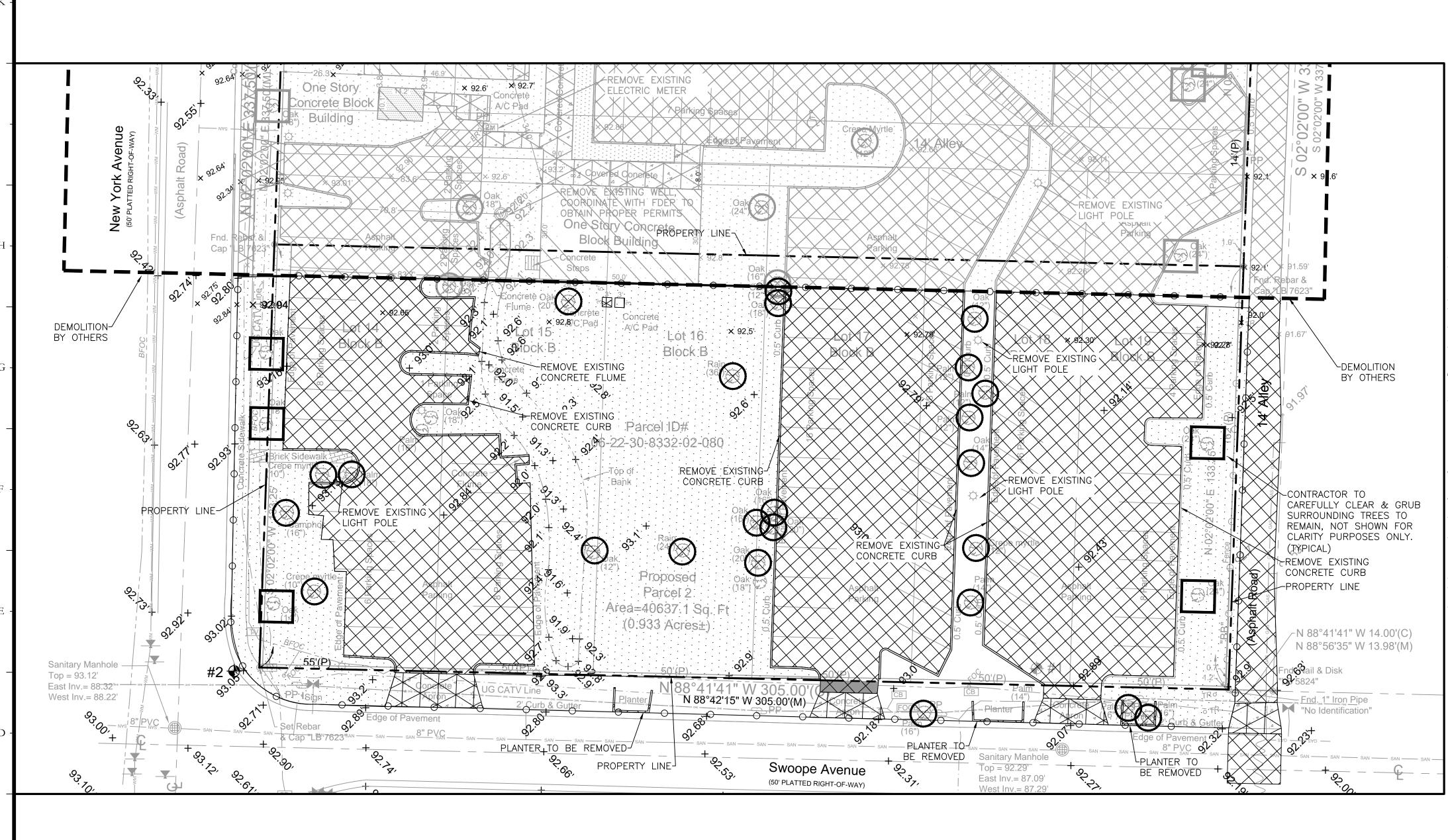
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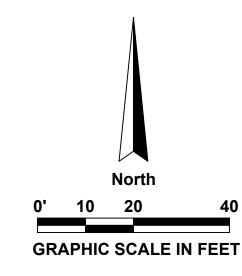
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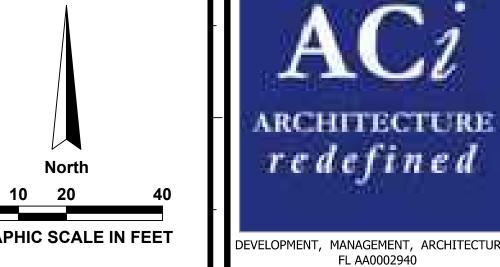
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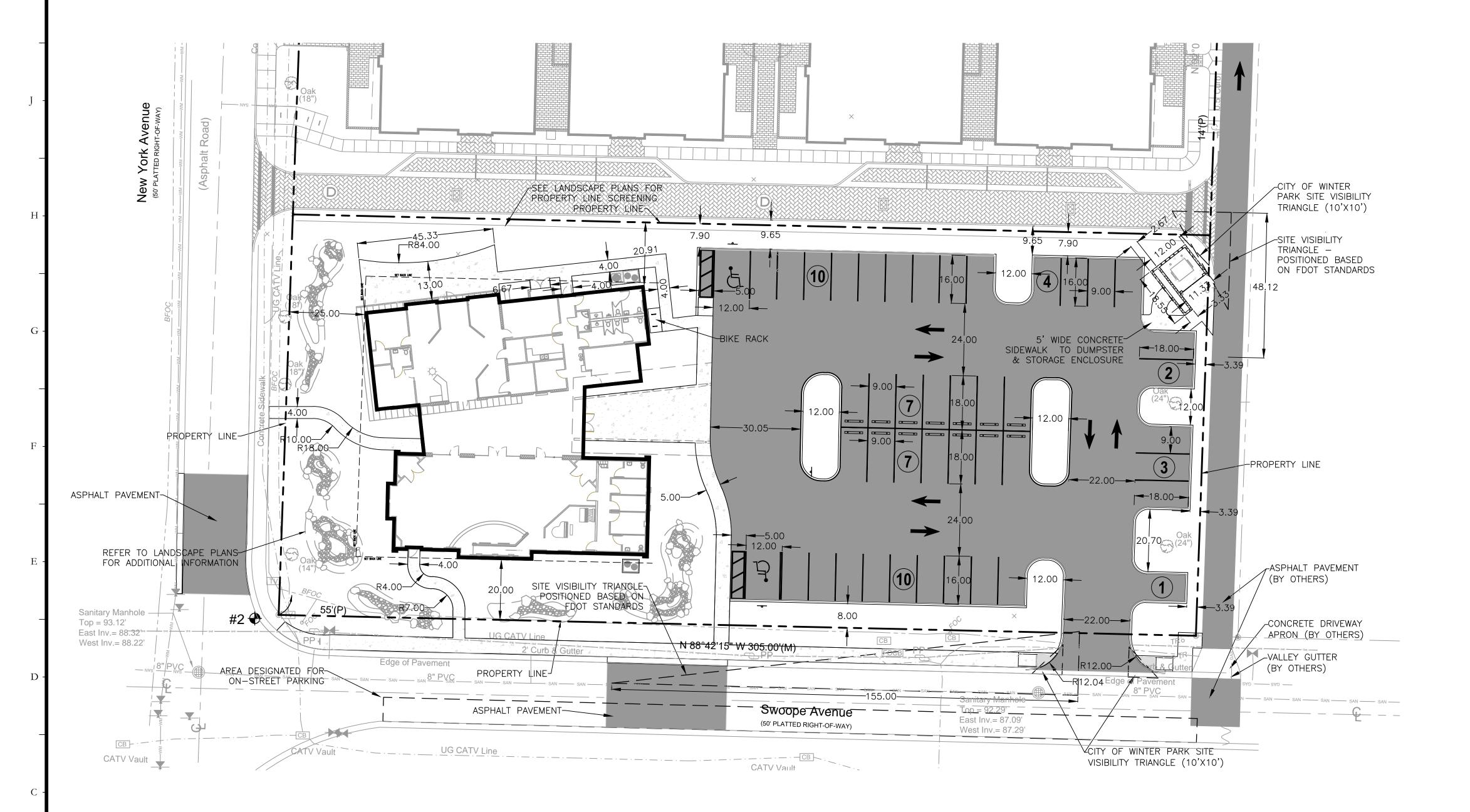
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C-100









#### ZONING METRICS

CURRENT USE - PLACE OF WORSHIP CURRENT ZONING - R-3 - MEDIUM DENSITY MULTIFAMILY RESIDENTIAL DISTRICT FUTURE LAND USE DESIGNATION - INSTITUTIONAL PROPOSED USE - MEDIUM DENSITY MULTIFAMILY RESIDENTIAL DISTRICT PARK AVENUE CORRIDOR — OUTSIDE CORRIDOR FLOOR AREA RATIO — F.A.R. (1.10 MAX ALLOWABLE) F.A.R. <u>≤</u> 1.10 6,989 SQ. FT. 40,637 SQ. FT. = 0.17 FAR MINIMUM LOT SIZE 15,000 SF STREET-FRONT SETBACK: REAR YARD SETBACK: SIDE YARD SETBACK: MAX BUILDING HEIGHT 26,312 SF (64.7% - 70% MAX) IMPERVIOUS AREA: 14,325 SF (35.3% - 30% MIN) 40,637 SF (100 %) PERVIOUS AREA: TOTAL AREA: PARKING COUNT: PROVIDED: REGULAR SPACES = 42 SPACES

HANDICAP SPACES = 2 SPACES

TOTAL SPACES = 44 SPACES



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SCIENTIST CHURCH OF CHRIST, WINTER PARK

650 North New York Ave, WINTER PARK, FL 32789

MIKE KERNS, P.E. FL P.E. #70599 April 4, 2018

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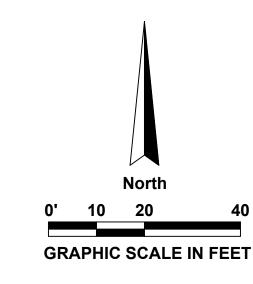
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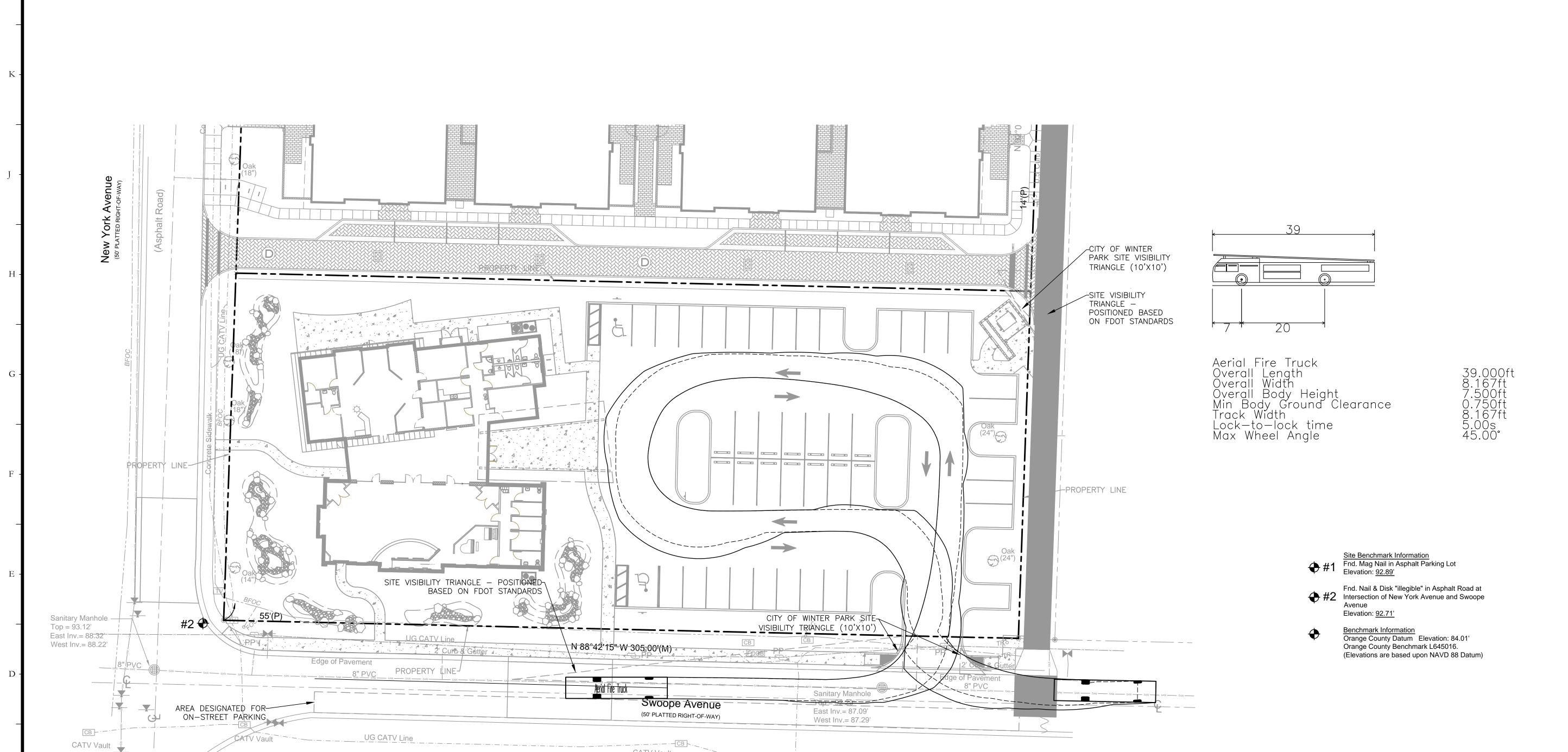
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Site & Geometry Plan

SHEET NAME:







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, LSIL

CHURCH OF CHRIST, SCIENTIST WINTER PARK

650 North New York Ave, WINTER PARK, FL 32789

MIKE KERNS, P.E. FL P.E. #70599 April 4, 2018

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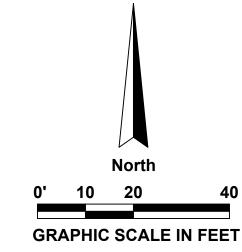
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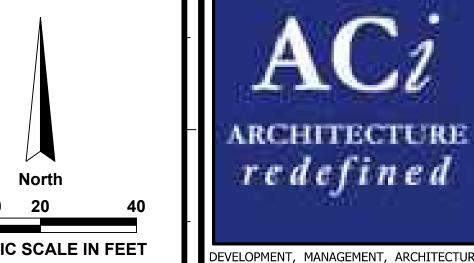
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VEHICLE TRACKING PLAN

SHEET NAME:

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CHURCH OF CHRIST, WINTER PARK

650 North New York Ave, WINTER PARK, FL 32789

MIKE KERNS, P.E. FL P.E. #70599 April 4, 2018

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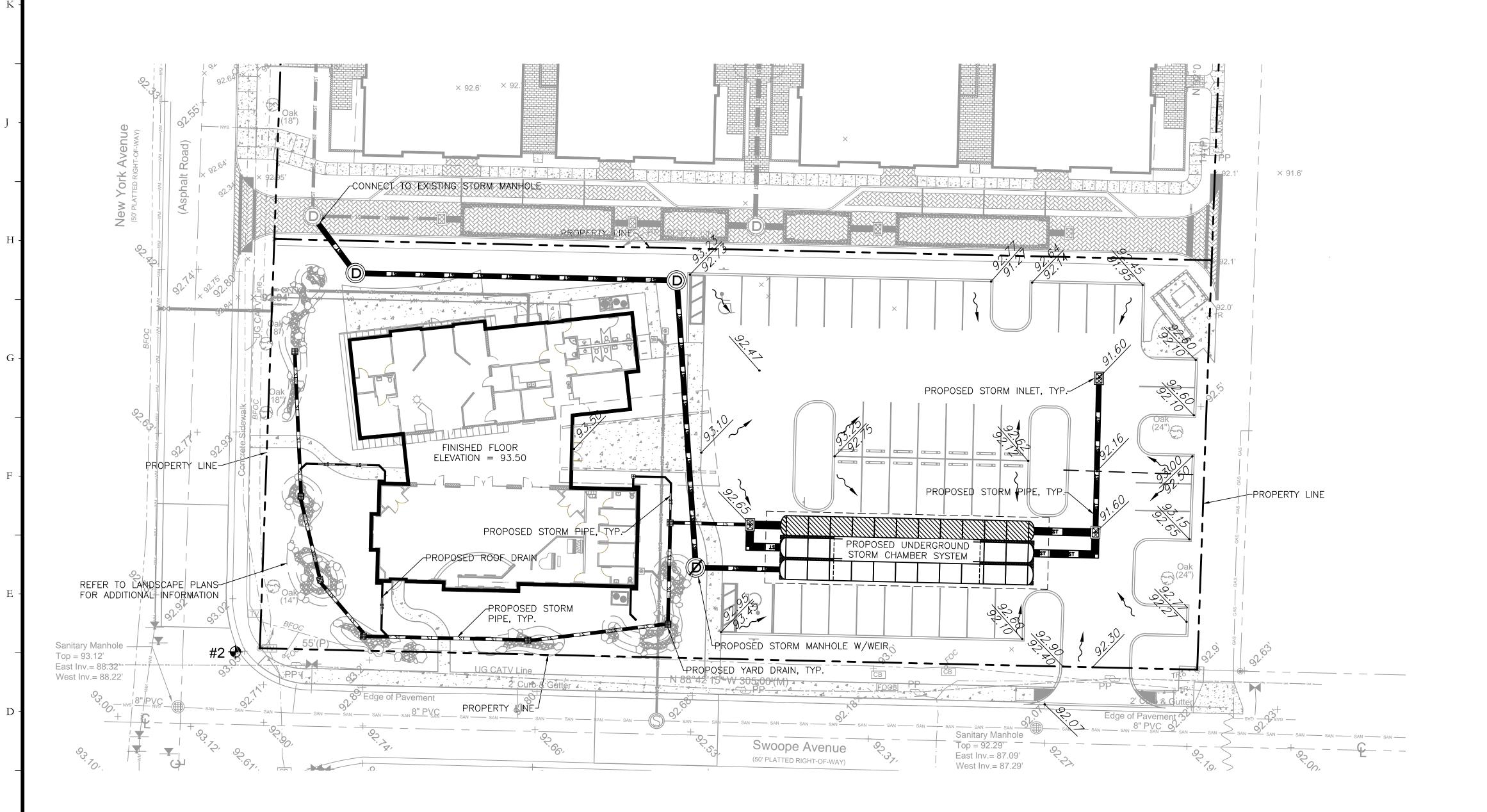
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PHASE: DESIGN DEVELOPMENT

SHEET NAME:

GRADING & DRAINAGE PLAN

SHEET NAME:



PROPOSED WATER LINE EXISTING WATER LINE EXISTING SANITARY LINE -«¬—«¬—«¬— PROPOSED STORM PIPE EXISTING STORM PIPE PROPOSED DRAINAGE MANHOLE EXISTING DRAINAGE MANHOLE PROPOSED DRAINAGE INLET PROPOSED CURB INLET PROP. FIRE HYDRANT ASSEMBLY PROPOSED GATE VALVE PROPOSED SANITARY MANHOLE EXISTING SANITARY MANHOLE SAMPLE POINT EXISTING SPOT ELEVATION PROPOSED SPOT ELEVATION

**LEGEND** 

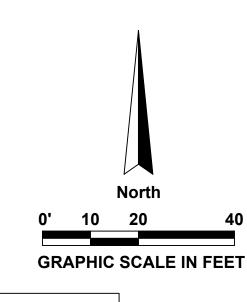
Site Benchmark Information Fnd. Mag Nail in Asphalt Parking Lot

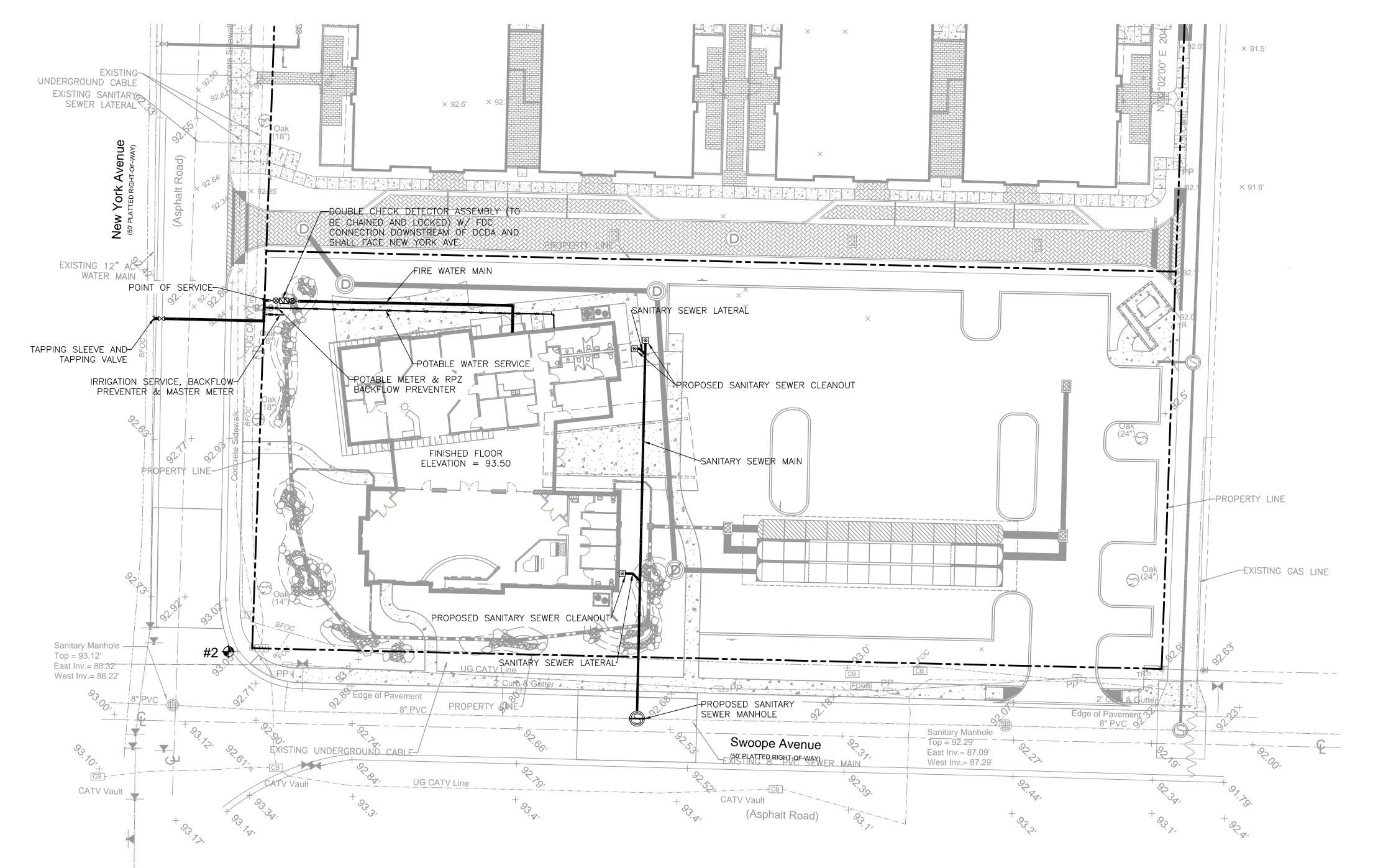
Fnd. Nail & Disk "illegible" in Asphalt Road at Intersection of New York Avenue and Swoope Elevation: <u>92.71'</u>

Benchmark Information
Orange County Datum Elevation: 84.01' Orange County Benchmark L645016. (Elevations are based upon NAVD 88 Datum)

UTILITIY NOTE:

- 1. EXISTING WATER MAIN LOCATED ON NEW YORK AVE HAS BEEN SCALED FROM BEST AVAILABLE INFORMATION AT TIME THESE PLANS WERE PREPARED. CONTRACTOR SHALL FIELD LOCATE THE WATER MAIN AND CONTACT THE ENGINEER-OF-RECORD IMMEDIATELY, IN WRITING, IF LOCATION IS DRASTICALLY DIFFERENT THAN SHOWN ON THESE PLANS.
- 2. ALL ROOF DRAINS WILL BE DIRECTLY CONNECTED TO THE UNDERGROUND STORM SYSTEM.





# **LEGEND** PROPOSED WATER LINE EXISTING WATER LINE ----- PROPOSED SANITARY LINE EXISTING SANITARY LINE ---- PROPOSED STORM PIPE EXISTING STORM PIPE PROPOSED DRAINAGE MANHOLE EXISTING DRAINAGE MANHOLE PROPOSED DRAINAGE INLET PROPOSED CURB INLET PROP. FIRE HYDRANT ASSEMBLY PROPOSED GATE VALVE PROPOSED SANITARY MANHOLE EXISTING SANITARY MANHOLE SAMPLE POINT EXISTING SPOT ELEVATION PROPOSED SPOT ELEVATION

TYPICAL PIPE BENDS				
90° BEND				
45° BEND				
TEE TEE				
NOTE: ALL OTHER PIPE BENDS USED IN DESIGN OF THIS PROJECT ARE NOTED ON THE PLANS				

Site Benchmark Information
Fnd. Mag Nail in Asphalt Parking Lot
Elevation: 92.89'

Fnd. Nail & Disk "illegible" in Asphalt Road at Intersection of New York Avenue and Swoope Avenue Elevation: 92.71'

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DEVELOPMENT, MANAGEMENT, ARCHITECTUR FL AA0002940

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LIST,

CHURCH OF CHRIST, SCIEN WINTER PARK

650 North New York Ave, WINTER PARK, FL 32789

MIKE KERNS, P.E. FL P.E. #70599 April 4, 2018

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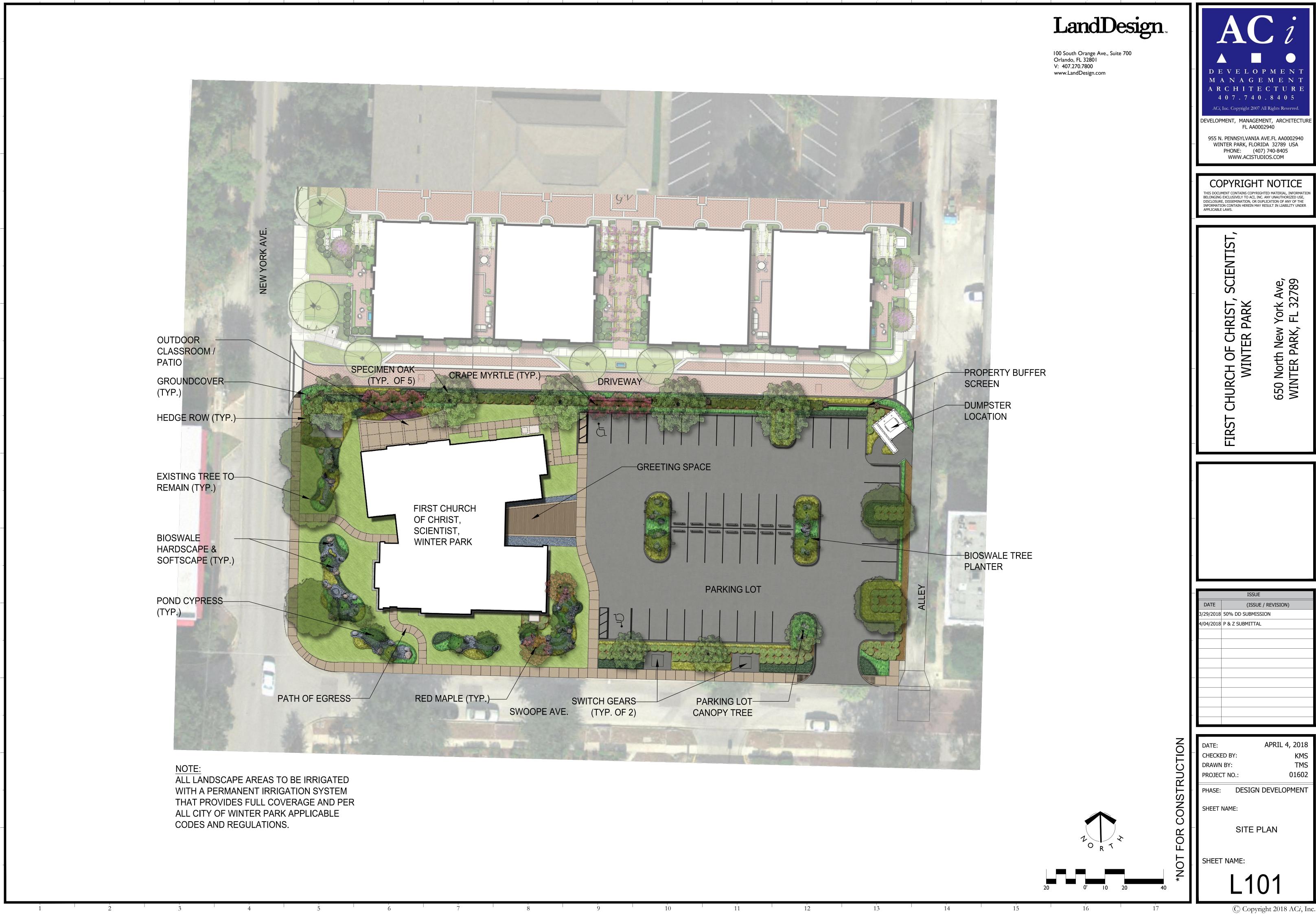
PHASE: DESIGN DEVELOPMENT

SHEET NAME:

UTILITY PLAN

SHEET NAME:

C-400



LandDesign. I00 South Orange Ave., Suite 700 Orlando, FL 3280 I V: 407.270.7800 www.LandDesign.com EXISTING 18" OAK— TO REMAIN EXISTING 18" OAK— EXISTING 24" OAK
TO REMAIN TO REMAIN EXISTING 14" OAK— TO REMAIN EXISTING 24" OAK
TO REMAIN

**EXISTING SITE CANOPY TREES** 

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APRIL 4, 2018 PHASE: DESIGN DEVELOPMENT

SHEET NAME:

**EXISTING TREE EXHIBIT** 

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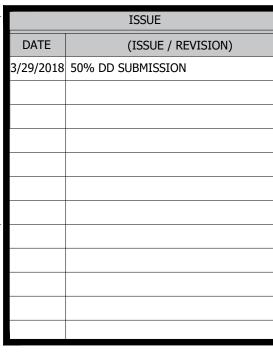


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WINTER PARK 650 North New York Ave, WINTER PARK, FL 32789



DATE: MARCH 29, 2018

CHECKED BY: KMS
DRAWN BY: TMS
PROJECT NO.: 01602

PHASE: DESIGN DEVELOPMENT

SHEET NAME:

SITE FEATURES

SHEET NAME:







**Rock Swale** 

**Rock Swale** 

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York Ave, FL 32789 CHURCH OF CHRIST, WINTER PARK 

**FIRST** 

(ISSUE / REVISION) 3/29/2018 50% DD SUBMISSION 4/04/2018 P & Z SUBMITTAL

APRIL 4, 2018 CHECKED BY: 01602 PROJECT NO.:

PHASE: DESIGN DEVELOPMENT

SHEET NAME:

LANDSCAPE SCHEDULE AND IMAGERY



	LANDSCAPE SCHEDULE:					
<u>Key</u>	Botanical Name CANOPY TREES:	Common Name	Size/Root Ball/Container	Comments		
ACE RUB	Acer rubrum 'Florida Flame'	Florida Flame Red Maple	16' hgt./ 3" Cal. Min./ 65 Gal. Cont.	Full/single straight trunk/		
QUE VI2	Quercus virginiana	Live Oak	18' hgt. X 12' spd./200 Gal. Cont.	Full/single straight trunk/ 6-1/2" Cal. Min./6' C.T.		
TAX DIS	Taxodium distichum	Bald Cypress	16' hgt. X 10' spd./Field Grown	Hgt. may vary, min. 16'		
	ACCENT TREES:					
LAG TUS	Lagerstroemia indica 'Tuscarora'	Tuscarora Crape Myrtle	12' hgt x 10' spd./100 Gal. Cont.	Multi-trunk / 3 Stem Min.		
ELA DEC	Elaeocarpus decipiens	Japanese Blueberry Tree	9' hgt. x 4' spd./65 Gal. Cont.	Columnar habit / Full to Ground		
	BOARDER/SCREEN SHRUBS:					
POD MAC	Podocarpus macrophyllus	Yew Pine	36" O.A./7 Gal. Cont.	Full/Plant 48" O.C. / Full to Ground		
VIB SUS	Viburnum suspensum	Sandankwa Viburnum	24" O.A./7 Gal. Cont.	Full to Ground/Plant 36" O.C.		
	MEDIUM SHRUBS / GRASSES:					
MUH CAP	Muhlenbergia capillaris	Pink Muhly Grass	24" O.A./3 Gal. Cont.	Full clump / 24" O.C.		
RAP IND	Raphiolepis indica 'Alba'	Indian Hawthorn	12" hgt. x 18" spd./3 Gal. Cont	Full/Plant 30" O.C.		
RUS EQU	Russelia equisetiformis	Red Firecracker Plant	24" O.A./3 Gal. Cont.	Full/Plant 24" O.C. or as shown		
ZAM PUM	Zamia pumila	Coontie	20" O.A./3 Gal. Cont.	Full/Plant 24" O.C.		
	LOW SHRUBS / GROUNDCOVERS:					
ARA GLA	Arachis glabrata	Perennial Peanut	4" Pot	Full/12" O.C.		
ILE STO	Ilex vomitoria 'Stokes Dwarf'	Dwarf Yaupon	3 Gal.	Full/24" O.C.		
LIR MUS	Liriope muscari 'Emerald Goddess'	Emerald Goddess Liriope	12" O.A./1 Gal. Cont.	Full/18" O.C.		
OPH JAP	Ophiopoogon japonicus	Mondo Grass	4" Pot	Full/12" O.C.		
OPH NAN	Ophiopoogon japonicus 'Nanus'	Dwf. Mondo Grass	4" Pot	Full/12" O.C.		
OPH PLA	Ophiopoogon planiscapus	Black Mondo Grass	4" Pot	Full/12" O.C.		
CANCOD	'Nigrescens' Sansevierria trifasciata 'Black Coral'	Black Coral Snake Plant	12" O.A./1 Gal Cont.	Full/16" O.C		
SAN COR SAN GOL	Sansevierria trifasciata Black Coral Sansevierria trifasciata 'Black Gold'	Black Gold Snake Plant	12" O.A./1 Gal Cont. 12" O.A./1 Gal Cont.	Full/16" O.C		
SAN GOL	Sansevierria trifasciata black Gold Sansevierria trifasciata 'Laurentii'	Laurentii Snake Plant	12" O.A./1 Gal Cont.	Full/16" O.C		
	Trachelospermum jasminoides	Confederate Jasmine	4" Pot/	Full/Plant 12" O.C.		
TRA CON	'Confederate'	Confederate Jasiffile	4 FOV	Pull/Flatit 12 O.G.		
	ACCENT SHRUBS:					
STR NIC	Strelitzia nicolai	White Bird of Paradise	8'-10' O.A./15 Gal. Cont.	Full/3 plants per pot min.		
	PLANTER MATERIAL:					
AEC BLA	Aechmea blanchetiana 'Orange'	Orange Bromeliad	12" O.A./1 Gal. Cont.	Full/Plant as shown		
AGA BLU	Agave 'Blue Flame'	Blue Flame Agave	12" O.A./1 Gal. Cont.	Full/Plant as shown		
AGA LEC	Agave lophantha	Thorncrest Century Plant	12" O.A./1 Gal. Cont.	Full/Plant as shown		
ALA IMP	Alcantarea imperialis	Imperial Bromeliad	12" O.A./1 Gal. Cont.	Full/Plant as shown		
	TURF GRASSES:					
STE SEC	Stenotaphrum secundatum 'Floratam'	St. Augustine Floratam Sod	Full/Solid Sod	Quantity in Square Feet		
	Abbreviations:					
	B & B = Ball and Burlapped	Gal. Cont. = Gallon Containe	spd. = Spread			
	Cal. min. = Caliper minimum	G.W. = Grey Wood				
	C.T. = Clear Trunk	hgt. = Height				
	Dia. = Diameter	O.A. = Overall				

Viburnum suspensum

Sandankwa Viburnum

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