

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
July 5, 2016**

SPR 2:16 Request of Jason and Leesa Friedman for approval to build a new two-story, single-family home located at 2164 Lake Drive on Lake Killarney.

Jason and Leesa Friedman (property owners), are requesting approval to construct a new two-story, single-family home located at 2164 Lake Drive on Lake Killarney, including additional pavers within the front yard to connect to the existing paver driveway. The upland area of this lot measures 62,517 square feet, and is currently occupied by a two-story home that is to be demolished. Also located on site is a swimming pool/deck, pool house and boat dock that are to remain.

The proposed two-story home will be 9,433 square feet in size (exclusive of the front and back porches) which on this lot yields a floor area ratio (FAR) of 15.1%. Therefore, the proposed home is within the maximum allowed 33% FAR. The proposed home will have impervious lot coverage of 21,720 square feet, or 34.7%, which is within the maximum 50%.

TREE PRESERVATION: The Code direction on water front lots is "to preserve existing trees to the degree reasonably possible." The trees not located within the new home's footprint or the areas of the new pavers are being preserved. The three trees that are to be removed from the site due to their location within the new footprint are not a protected tree species.

VIEW FROM THE LAKE: The existing swimming pool/deck is not being altered. Both the home to be demolished and the new home are two-stories in height and are generally located in the same footprint. The proposed home will not drastically change the views from the lake than what exists today.

VIEW OF NEIGHBORS: The proposed home is following a stricter side setback line than the existing home of at least 25 feet on the first story component and 35 feet to the second story component, so the new home will be setback further from the property lines. Other than that, the view of the neighbors will not drastically change the views that exist today.

STORM WATER RETENTION: The applicant is proposing a stormwater retention area in the east portion of the site, and is sized to meet the City's code requirement.

SUMMARY: Overall, the plans meet the intent of the lakefront review criteria. Staff does not see any significant concerns with the proposed home as presented.

STAFF RECOMMENDATION IS FOR APPROVAL



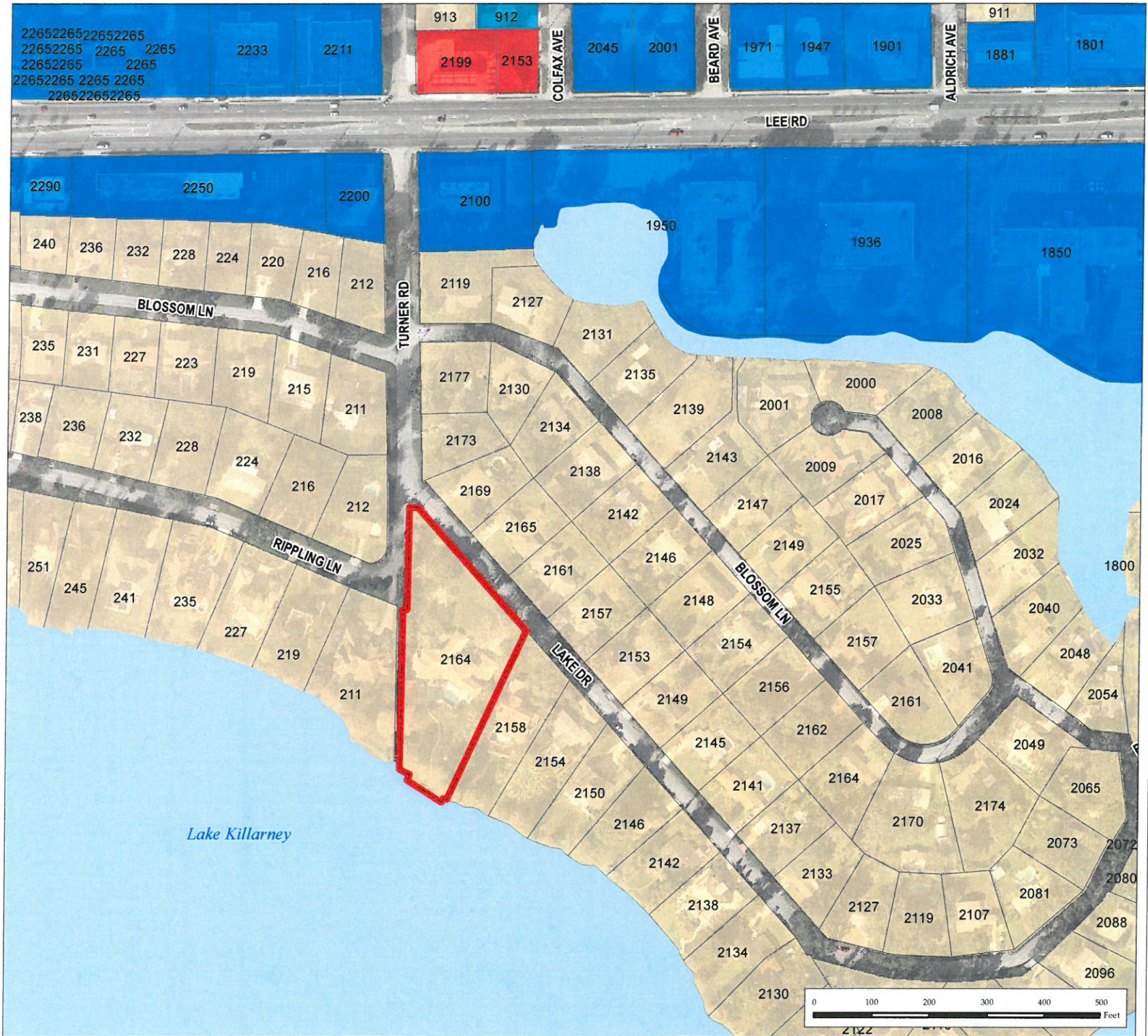
2164 LAKE DRIVE
City of Winter Park
Florida

Zoning

- C-3
- O-1
- O-2
- R-1A



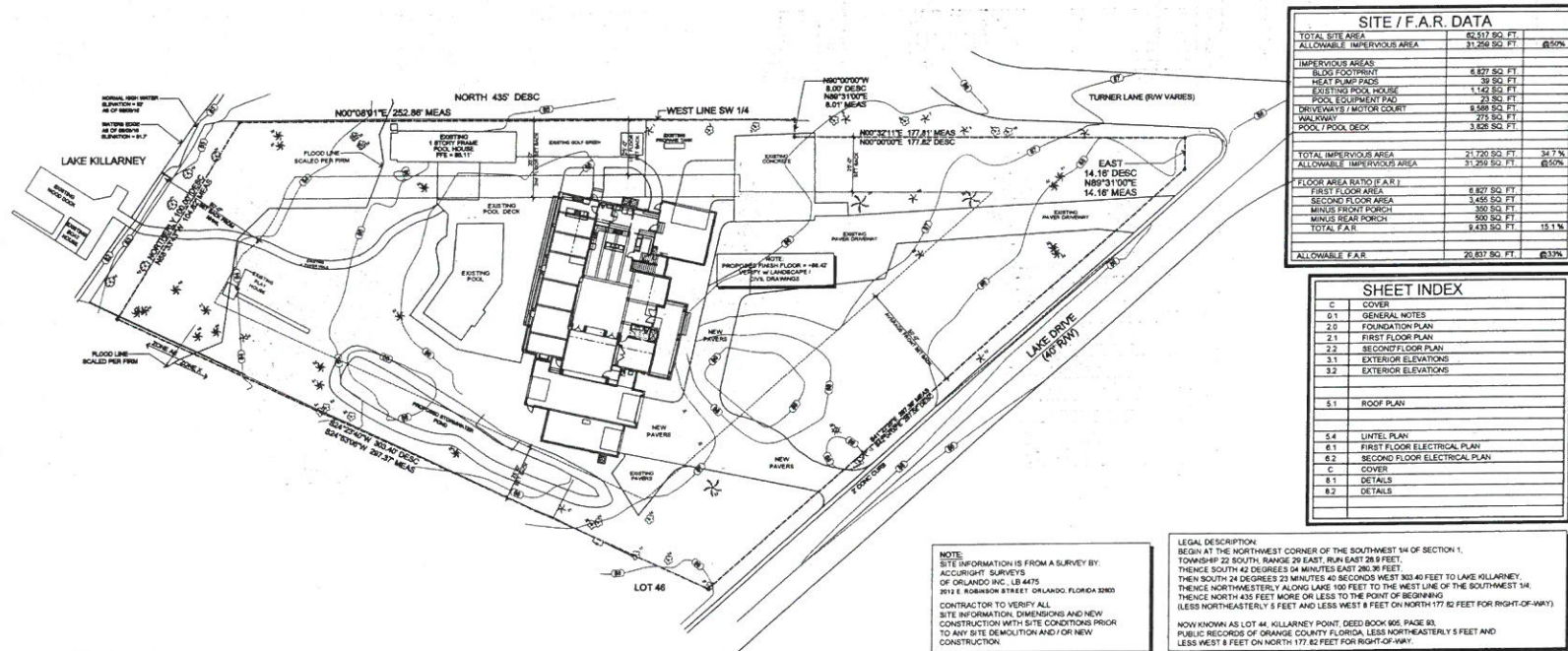
Date: 6/27/2016



THE FRIEDMAN RESIDENCE

2164 Lake Drive

Winter Park, Florida



SITE / F.A.R. DATA	
TOTAL SITE AREA	62,517 SQ. FT.
ALLOWABLE IMPERVIOUS AREA	31,259 SQ. FT. @50%
IMPERVIOUS AREAS	
BLDG FOOTPRINT	8,897 SQ. FT.
HEAT PUMP PAD	39 SQ. FT.
EXISTING POOL HOUSE	1,142 SQ. FT.
POOL EQUIPMENT PAD	33 SQ. FT.
DRIVEWAY / MOTOR COURT	8,269 SQ. FT.
WALKWAY	273 SQ. FT.
POOL / POOL DECK	3,628 SQ. FT.
TOTAL IMPERVIOUS AREA	21,720 SQ. FT. 34.7%
ALLOWABLE IMPERVIOUS AREA	31,259 SQ. FT. @50%
FLOOR AREA RATIO (F.A.R.)	
FIRST FLOOR AREA	8,897 SQ. FT.
SECOND FLOOR AREA	3,455 SQ. FT.
MINUS FRONT PORCH	300 SQ. FT.
MINUS REAR PORCH	590 SQ. FT.
TOTAL F.A.R.	9,438 SQ. FT. 15.1%
ALLOWABLE F.A.R.	26,637 SQ. FT. @33%

SHEET INDEX	
C	COVER
0.1	GENERAL NOTES
2.0	FOUNDATION PLAN
2.1	FIRST FLOOR PLAN
2.2	SECOND FLOOR PLAN
3.1	EXTERIOR ELEVATIONS
3.2	EXTERIOR ELEVATIONS
5.1	ROOF PLAN
5.4	LINTEL PLAN
6.1	FIRST FLOOR ELECTRICAL PLAN
6.2	SECOND FLOOR ELECTRICAL PLAN
C	COVER
8.1	DETAILS
8.2	DETAILS

NOTE:
 SITE INFORMATION IS FROM A SURVEY BY:
 ACCURIGHT SURVEYS
 OF ORLANDO INC. LB 4475
 3911 E ROBINSON STREET ORLANDO, FLORIDA 32803
 CONTRACTOR TO VERIFY ALL
 SITE INFORMATION, DIMENSIONS AND NEW
 CONSTRUCTION WITH SITE CONDITIONS PRIOR
 TO ANY SITE DEMOLITION AND/ OR NEW
 CONSTRUCTION.

LEGAL DESCRIPTION:
 BEGIN AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 1,
 TOWNSHIP 22 SOUTH, RANGE 20 EAST, RUN EAST 28.9 FEET,
 THENCE SOUTH 42 DEGREES 34 MINUTES EAST 28.9 FEET,
 THEN SOUTH 24 DEGREES 23 MINUTES 40 SECONDS WEST 303.40 FEET TO LAKE KILLARNEY,
 THENCE NORTHWESTERLY ALONG LAKE 100 FEET TO THE WEST LINE OF THE SOUTHWEST 1/4,
 THENCE NORTH 435 FEET MORE OR LESS TO THE POINT OF BEGINNING
 (LESS NORTHEASTERLY 5 FEET AND LESS WEST 8 FEET ON NORTH 177.82 FEET FOR RIGHT-OF-WAY)
 NOW KNOWN AS LOT 44, KILLARNEY POINT, DEED BOOK 865, PAGE 83,
 PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS NORTHEASTERLY 5 FEET AND
 LESS WEST 8 FEET ON NORTH 177.82 FEET FOR RIGHT-OF-WAY.

SITE PLAN
 SCALE: 1" = 20'

DON BOLDEN ENCL, INC.
 One Belden, P.O.
 Florida Registration # 47434
 Certificate of Authorization # 36808
 P.O. Box 439783
 Dallas, TX 75243

REVISIONS BY:

J. Lyall
 CIVIL ENGINEER
 1000 W. WINTER PARK BLVD.
 WINTER PARK, FLORIDA 32789
 PHONE: 407.871.1111
 FAX: 407.871.1112
 WWW: JLYALL.COM

PROJECT: THE FRIEDMAN RESIDENCE
 LOCATION: 2164 LAKE DRIVE WINTER PARK, FLORIDA
 BUILDER: BAREFOOT BROTHERS

DATE: 10/15/2011

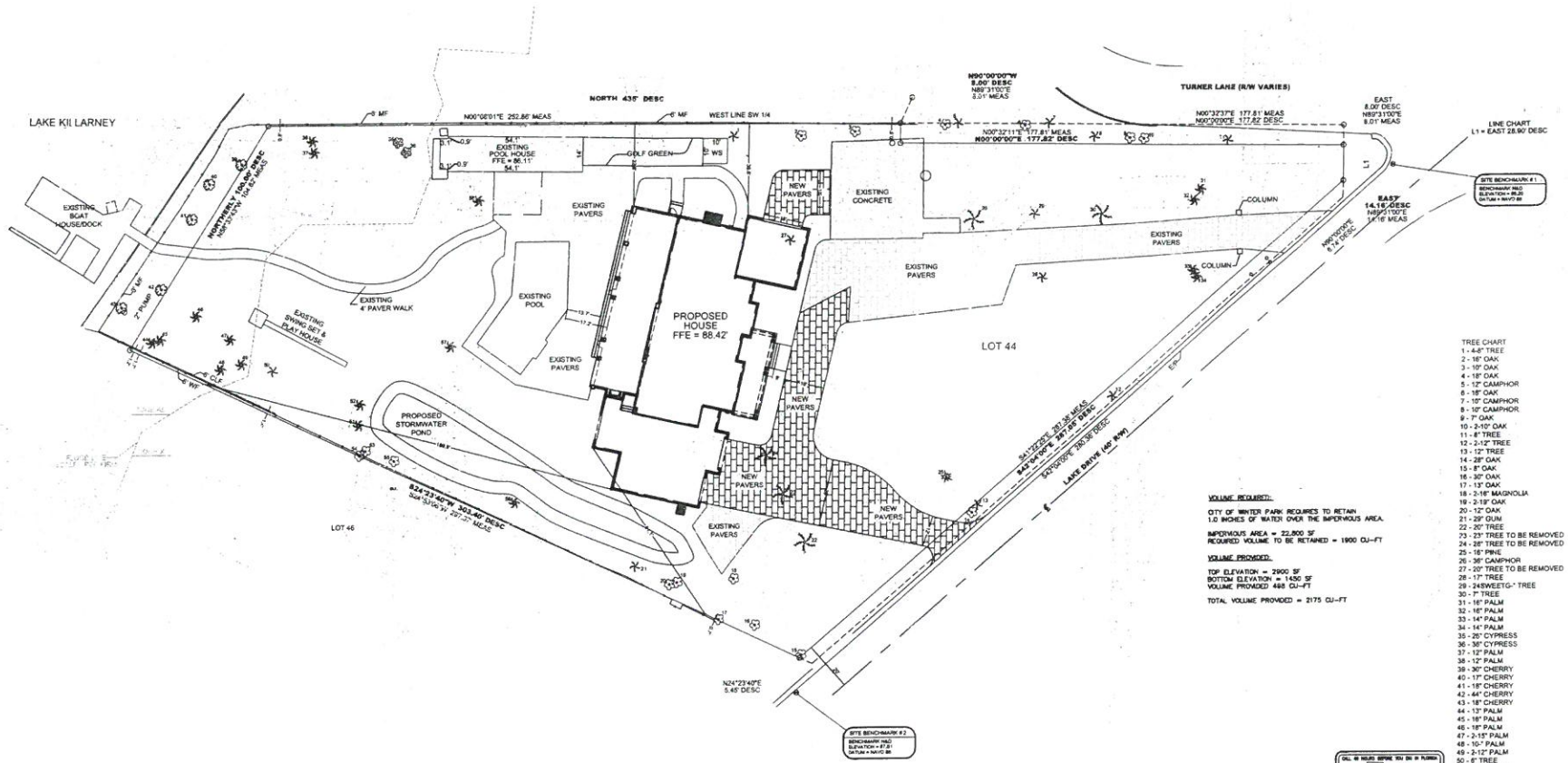
SCALE: AS SHOWN

SITE DRAWINGS FOR: FRIEDMAN RESIDENCE

2164 LAKE DRIVE
WINTER PARK, FLORIDA 32789

PARCEL ID 01-22-29-4176-00-441

JUNE 2016



- TREE CHART**
- 1 - 4.4\"/>

VOLUME REQUIRED:
CITY OF WINTER PARK REQUIRES TO RETAIN
1.0 INCHES OF WATER OVER THE IMPERVIOUS AREA.
IMPERVIOUS AREA = 22,200 SF
REQUIRED VOLUME TO BE RETAINED = 1900 CU-FT

VOLUME PROVIDED:
TOP ELEVATION = 2800 SF
BOTTOM ELEVATION = 1450 SF
VOLUME PROVIDED 488 CU-FT

TOTAL VOLUME PROVIDED = 2175 CU-FT



DATE	1/17
REVISIONS	
NO.	
DESCRIPTION	
SEAL CHAD S. LINN, P.E. LICENSE NO. 12114 EXPIRES 12/31/16 FLORIDA REGISTRATION NUMBER 57524 CHARTERED BY CSJ CHARTERED BY CSJ www.linndesign.com	
SITE PLAN	
FRIEDMAN RESIDENCE 2164 LAKE DRIVE WINTER PARK, FL 32789 WINTER PARK, FLORIDA	
DATE	06/16
PROJECT NO.	16-258
SHEET NUMBER	C1

Drawing name: D:\AA-Projects\addition Projects\Friedman\01-22-29-4176-00-441\Site Plan\Site Plan-06-06-16.dwg SITE PLAN Jun 06, 2016 4:54pm by: Chad Linn

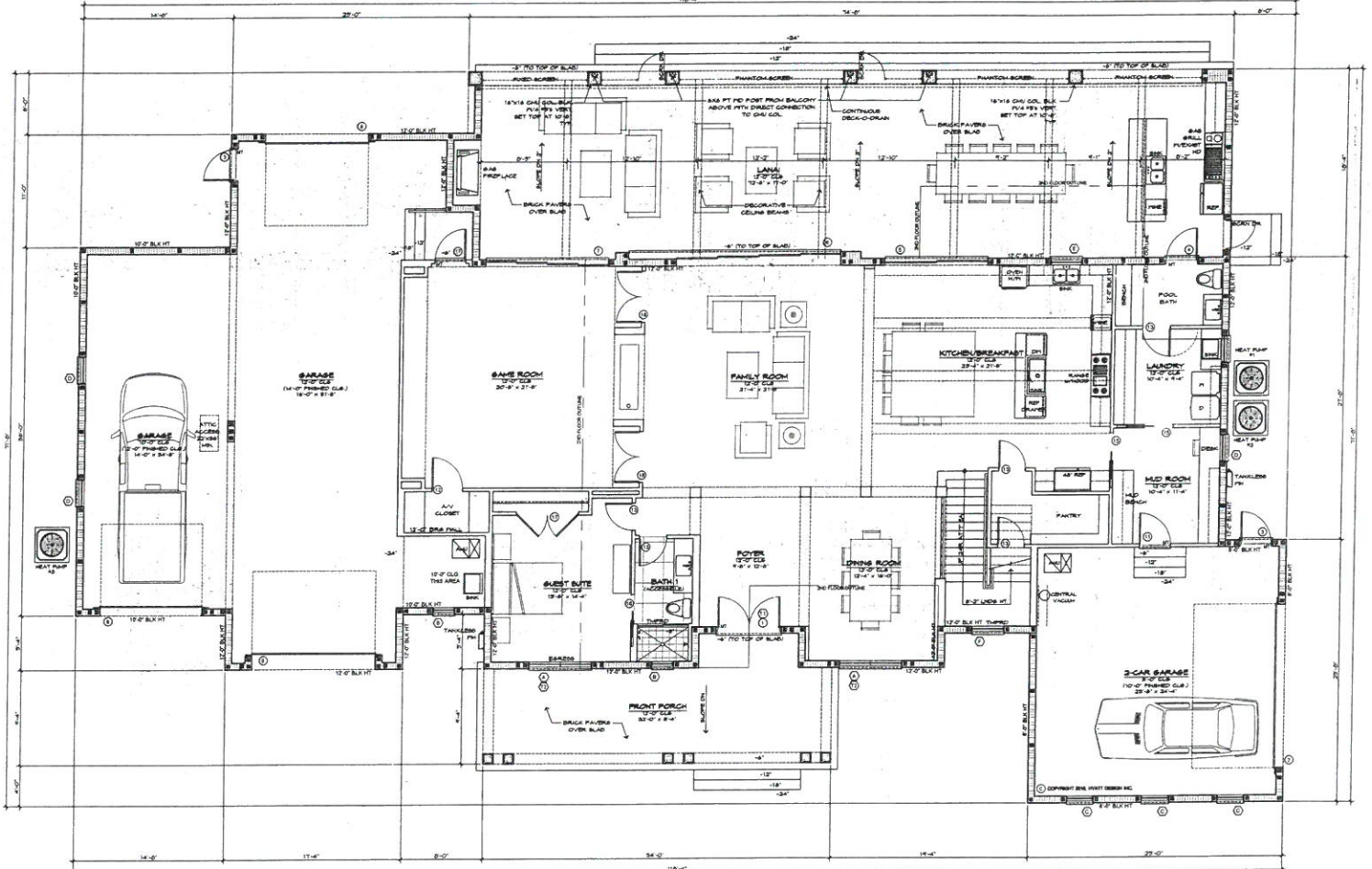
WINDOW SCHEDULE									
No.	Material	Height	Type	Size	Finish	Notes	Area	Notes	Area
1	1/2" GLASS	4'-0"	DOOR	3'-0" x 7'-0"	WOOD	FRONT PORCH	10.50	FRONT PORCH	10.50
2	1/2" GLASS	4'-0"	DOOR	3'-0" x 7'-0"	WOOD	REAR PORCH	10.50	REAR PORCH	10.50
3	1/2" GLASS	4'-0"	DOOR	3'-0" x 7'-0"	WOOD	LANE	10.50	LANE	10.50
4	1/2" GLASS	4'-0"	DOOR	3'-0" x 7'-0"	WOOD	FRONT PORCH	10.50	FRONT PORCH	10.50
5	1/2" GLASS	4'-0"	DOOR	3'-0" x 7'-0"	WOOD	REAR PORCH	10.50	REAR PORCH	10.50
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30	1/2" GLASS	4'-0"	DOOR	3'-0" x 7'-0"	WOOD	LANE	10.50	LANE	10.50

AREA TABULATION		
AC AREA		
FIRST FLOOR	2,881 SQ. FT.	
SECOND FLOOR	2,732 SQ. FT.	
TOTAL AC AREA	5,613 SQ. FT.	
NON AC AREA		
LANAUX POOL	1,838 SQ. FT.	
3-CAR GARAGE	814 SQ. FT.	
LANA	1,377 SQ. FT.	
FRONT PORCH	362 SQ. FT.	
COVERED BALCONY	413 SQ. FT.	
TOTAL NON AC AREA	4,804 SQ. FT.	
TOTAL AREA UNDER ROOF	10,417 SQ. FT.	

NOTES:
 ALL DIMENSIONS ARE NOMINAL, UNLESS NOTED OTHERWISE.
 ALL FINISHES ARE AS SHOWN ON THE DRAWINGS.
 ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
 ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

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FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

NOTES:
 THIS STRUCTURE HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE FURNISHING CODE, RESIDENTIAL FURNISHING (R-F) AND (R-F) (1).
 ALL DIMENSIONS ARE NOMINAL, UNLESS NOTED OTHERWISE.
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DON BOLDEN ENGR. INC.
 DON BOLDEN, P.E.
 Certificate of Authorization # 47424
 P.O. Box 236783
 Dallas, TX 75223

REVISIONS BY:

1515 N. DAVENPORT AVENUE
 SUITE 100
 DUNEDIN, FL 33426
 PHONE: 888-844-8888
 WWW.DONBOLDEN.COM

PROJECT: THE FRIEDMAN RESIDENCE
 LOCATION: WINTER PARK, FLORIDA
 BUILDER: BAREFOOT BROTHERS

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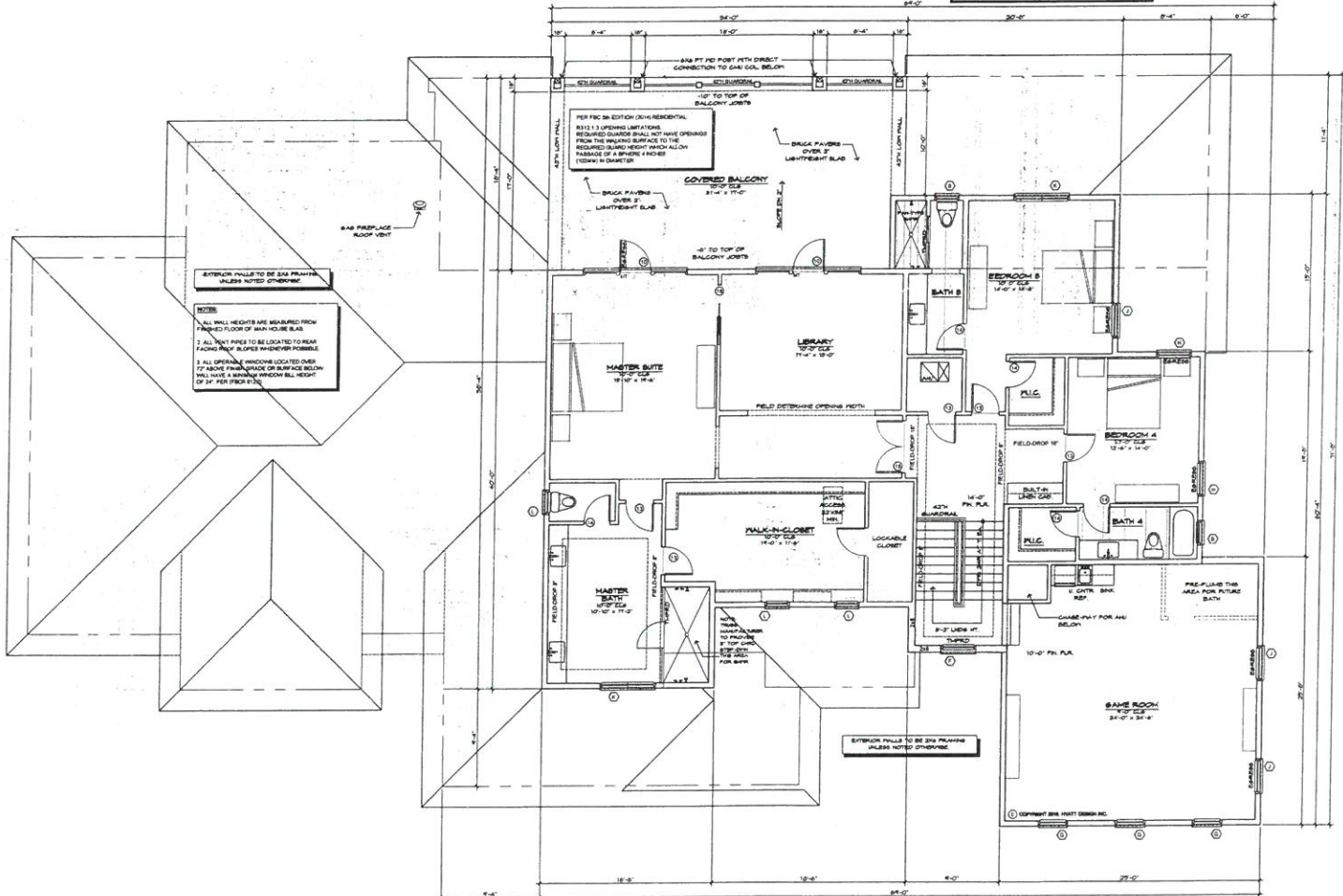
WINDOW SCHEDULE									
Item	Quantity	Size	Material	Finish	Notes				
1	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
2	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
3	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
4	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
5	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
6	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
7	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
8	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
9	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
10	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
11	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
12	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
13	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
14	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
15	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
16	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
17	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
18	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
19	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				
20	1	12'-0" x 12'-0"	ALUM.	ALUM.	TEMPERED GLASS				

DOOR SCHEDULE									
Item	Quantity	Size	Material	Finish	Notes				
1	1	3'-0" x 7'-0"	WOOD	WOOD	WOOD DOOR				
2	1	3'-0" x 7'-0"	WOOD	WOOD	WOOD DOOR				
3	1	3'-0" x 7'-0"	WOOD	WOOD	WOOD DOOR				
4	1	3'-0" x 7'-0"	WOOD	WOOD	WOOD DOOR				
5	1	3'-0" x 7'-0"	WOOD	WOOD	WOOD DOOR				
6	1	3'-0" x 7'-0"	WOOD	WOOD	WOOD DOOR				
7	1	3'-0" x 7'-0"	WOOD	WOOD	WOOD DOOR				
8	1	3'-0" x 7'-0"	WOOD	WOOD	WOOD DOOR				
9	1	3'-0" x 7'-0"	WOOD	WOOD	WOOD DOOR				
10	1	3'-0" x 7'-0"	WOOD	WOOD	WOOD DOOR				
11	1	3'-0" x 7'-0"	WOOD	WOOD	WOOD DOOR				
12	1	3'-0" x 7'-0"	WOOD	WOOD	WOOD DOOR				
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AREA TABULATION	
AC AREA	2,881 SQ. FT.
FIRST FLOOR	2,732 SQ. FT.
SECOND FLOOR	1,489 SQ. FT.
TOTAL AC AREA	4,221 SQ. FT.
NON AC AREA	1,338 SQ. FT.
SCREENED PORCH	824 SQ. FT.
2 CAR GARAGE	1,177 SQ. FT.
FRONT PORCH	200 SQ. FT.
COVERED BALCONY	116 SQ. FT.
TOTAL NON AC AREA	4,807 SQ. FT.
TOTAL AREA UNDER ROOF	10,084 SQ. FT.

ALL SIZES ARE NOMINAL. 3/8" = 1'-0"
 ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
 REFER TO SHEET 1 FOR WINDOW AND DOOR SCHEDULES AND BUILDING CODE AND PRESSURE INFORMATION.

ALL SIZES ARE NOMINAL. 3/8" = 1'-0"
 ALL DIMENSIONS SHALL BE TO FACE UNLESS NOTED OTHERWISE.
 REFER TO SHEET 1 FOR WINDOW AND DOOR SCHEDULES AND BUILDING CODE AND PRESSURE INFORMATION.



EXTERIOR WALLS TO BE 3/4" REINFORCING UNLESS NOTED OTHERWISE.
 NOTES:
 1. ALL WALL HEIGHTS ARE MEASURED FROM FINISHED FLOOR OF MAIN HOUSE LEVEL.
 2. ALL VENT PIPES TO BE LOCATED TO REAR FACING SIDE UNLESS NOTED OTHERWISE.
 3. ALL OPERABLE WINDOWS LOCATED OVER 7' ABOVE FINISH GRADE OR SURFACE BELOW SHALL HAVE A MINIMUM WINDOW BURDEN OF 30 LB. PER S.F. PER IRC SECTION 609.5.

SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

NOTES:
 THE STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE FLORIDA BUILDING CODE (RESIDENTIAL PART) SECTION 609.4 (AND AMENDMENT 1).
 WIND SPEED (15 MINUTE): 140 MPH
 WIND EXPOSURE CATEGORY: B
 BUILDING CATEGORY: II
 EXPOSURE CATEGORY: B
 DESIGN WIND SPEED: 140 MPH
 DESIGN WIND DIRECTION: 30° FROM 15° WIND
 BUILDING TYPE: RESIDENTIAL

SON BOLLEN ENCL. INC.
 SON BOLLEN, P.E.
 Florida Registration # 67584
 Certificate of Authorization # 28936
 310 West 10th Street
 Delray Beach, FL 33433

PROJECT: THE FRIEDMAN RESIDENCE
 LOCATION: 2164 LAKE DRIVE WINTER PARK, FLORIDA
 BUILDER: BAREFOOT BROTHERS

DATE: 11/15/2011
 DRAWN BY: J. B. BOLDEN
 CHECKED BY: J. B. BOLDEN
 SCALE: 1/4" = 1'-0"

2.2

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
July 5, 2016**

REQUEST OF OPPIDAN HOLDINGS LLC FOR: CONDITIONAL USE APPROVAL TO BUILD A ONE STORY, ORCHARD SUPPLY HARDWARE RETAIL STORE OF APPROXIMATELY 32,355 SQUARE FEET IN SIZE ON THE 2.4 ACRE PROPERTY ADJACENT TO ORLANDO AVENUE BETWEEN MILLER AND INDIANA AVENUES, ADDRESSED AS 1111 S. ORLANDO AVENUE AND 1240 MILLER AVENUE, ZONED C-3 AND O-2, PROVIDING FOR CERTAIN EXCEPTIONS AND FOR A DEVELOPMENT AGREEMENT, IF REQUIRED.

Oppidan Holdings LLC is the contract purchaser of the 2.4 acre property adjacent to Orlando Avenue between Miller and Indiana avenues, addressed as 1111 S. Orlando Avenue and 1240 Miller Avenue, zoned C-3 and O-2. This request is for Conditional Use approval to redevelop this property with a new Orchard Supply Hardware store of 32,355 square feet in size. Orchard Supply is a boutique hardware store that is a subsidiary of Lowe's. This is a Conditional Use because the building size exceeds 10,000 square feet.

Site and Context: The 2.4 acre "development parcel" is the combination of these two properties at 1111 S. Orlando Avenue and 1240 Miller Avenue which now holds the former Eat More Produce building, an Antique Store and warehouse storage uses. The project would demolish all the buildings and improvements for a complete redevelopment of the combined site. To the north, across Miller Avenue is the Krispy Kreme with some business uses and residential units further west. To the south is the three story Commerce National Bank office building. Across Orlando Avenue is other commercial development. To the west are the 20 two-story residential condominiums of Harper Place.

Current Development Request: The application package for "preliminary and final" conditional use approval includes the final site plan, architectural perspective images of the main building facades, final landscape and storm water retention design, signage, lighting and photometrics. A traffic impact report and parking demand analysis has also been submitted.

The Orchard Supply Hardware Store is 32,355 square feet under roof with another 2,678 square feet of open air landscape garden sales area. The project meets the C-3 development standards in terms of density and intensity, landscaping, storm water retention, etc. Based on the 2.4 acres, the project has a 31% building lot coverage and FAR (well within the 45% maximum FAR).

The City's parking requirements are based on one space per 250 sf for the 26,547 square feet of retail commercial floor space; one space per 1,000 sf for the 3,947 square feet of warehouse area and one space per 500 sf for the 4,512 of covered and open landscape garden area. The total parking required is 119 spaces. The plan proposes 96 spaces so a variance of 23 spaces (19.3%) is requested. The applicants believe that the nature of their business and the significant amount of floor area covered by inventory reduce the

need for parking well within the amount of parking provided. The applicants have provided a parking study that cites a survey from 2013 by Kimley Horn of two Orchard Supply stores in California. That survey observed maximum parking rates of 1.10 cars per 1,000 square feet versus the blended Winter Park requirement of 3.40 cars/spaces per 1,000 square feet. Based upon the 96 parking spaces to be provided, that would result in a blended ratio of 2.74 cars/spaces per 1,000 square feet.

The staff will suggest a condition of approval that the applicant rent off-site parking for employees that may be available across the street at the Commerce National Bank property or the TD Bank parking lot off Harmon Avenue. If it turns out that the off-site parking is not needed; then the lease could be discontinued. Otherwise the problem for the City is that if the parking is not sufficient, then the employees will be directed to park off-site, which will likely wind up being on the adjacent residential streets.

Building Heights: The proposed retail building is one-story but given the interior floor to ceiling heights desired and the parapets heights needed to screen rooftop mechanical, the visible heights generally compare to two-story buildings at 29 feet in height.

Landscaping and Tree Preservation: Overall the impervious coverage of the site will be at the code maximum of 85%. There is one existing oak tree on the site to be removed. There are several oak trees along the property/right-of-way line along Miller Avenue that are to be saved and incorporated into the landscape program. The landscape areas comply with the minimum sizes required by code. There are 25 new oak trees to be added around the site and 6 new cypress trees in the storm water retention area. There also are Palm trees planned along the southern façade (Indiana Avenue side) in order to further buffer and enhance that long wall section. Staff will suggest a condition for slightly larger oak trees (4 inch vs. 3 inch) and some added oaks in the street parkway areas along Indiana and Miller Avenues to provide street canopy. A specific detailed landscape plan with types, sizes, quantities, etc. is provided.

Storm Water Retention: The site currently has no storm water retention. The redevelopment of this property will retrofit the site to conform to the storm water retention requirements of the City and St. Johns River Water Management District. The storm water design and calculations have been submitted. The location of the storm water retention area has been purposefully selected to be adjacent to the neighboring townhouse development. That then provides separation from the townhouses from the traffic circulation and also provides space and opportunity for new trees (oaks & cypress) to help provide a buffer between the two developments.

Traffic Impact: The applicant has submitted a lengthy 58 page traffic study addressing the traffic generation and impacts from this project and included are the summary pages with this staff report. The proposed project will generate 1,796 trips per day. Of those cars, about 25% are passer-by trips meaning that they are cars that were already on Orlando Avenue that may be stopping by on their way to work or their way home or on other business trips. The remaining 75% of the traffic are destination cars that are going specifically to Orchard Supply. There is/was some existing traffic that went to the Eat More Produce and Antique Store but those numbers are not significant. What is important is that this 2.4 acres is zoned commercial. Traffic generation from this property could be lower, for example, if it were alternatively developed as an office building but traffic generation could also be much higher if it were to be developed as retail and restaurant space especially if that included drive-thrus.

There are three options to exit onto Orlando Avenue via Indiana Avenue, Miller Avenue and the internal driveway. The fact that there are options, much like at Publix to the north, avoids stacking at a single exit and thus reduces the incentive to take alternate exit options to the west toward the adjacent neighborhood. These exits operate a level of service "C" during the peak hours which is interesting given that Orlando Avenue itself operates at level of service "F" during those same peak hours. The reason is that the traffic lights at Minnesota and Orange Avenue provide red light gaps that allow turning movements from the site and from Indiana/Miller Avenues on those cycles.

The traffic study indicates that only 3-4% of the traffic will come from or exit to the west toward the adjacent neighborhood. Staff's observations are that this estimation is not correct because travel to and from the west conveniently links one to Clay Street and then Fairbanks Avenue and also to I-4. The traffic patterns from the Indiana Avenue driveway of the Commerce National Bank are such that about one-third of the traffic enters and exits to the west. The advantage of this site layout is having three entrance and outlet connections to Orlando Avenue which makes access convenient without stacking of cars waiting to turn onto Orlando Avenue, thus discouraging cut-thru traffic into the neighborhood. Cars will wait for the red light cycle to turn onto Orlando Avenue but if you are in a line then your instinct is to take the alternative route back to the west toward the neighborhood to get you to Minnesota Avenue and the traffic light or down to Clay Street.

Site and Urban Design: The site plan layout and urban design conforms generally to the desires of the City to locate buildings toward the frontage of the property on Orlando Avenue. The main entrance faces the parking lot, but a secondary entrance to the store is directly off Orlando Avenue thru the garden shop, so there is a direct pedestrian connection from Orlando Avenue into the store. The location of the storm water retention area adjacent to the neighboring residential townhouses also provides space for landscape buffer and moves the traffic and parking away from that common property line. It is important that the project screen to the extent possible the loading area and dumpsters. The plans show a 6 foot screen wall and landscaping. Staff will suggest a condition of approval that will allow for a more detailed look at those wall materials, etc. as part of this approval.

City Architect Observations: The "Big Box" design language is still in evidence; smaller scaled character expressions should be implemented to warm the building design to the local community. Metal roof components are good effort to break down the scale of main building mass. Use of corrugated metal at Entry Columns might be carried over on to other surfaces of the building and signage and graphic backgrounds. Stone accents are good (see main identity sign suggestion). Use of live "greenscreen" wall planting should be considered, especially on the south (Indiana Avenue) elevation to soften the mass of the building and add more planting (sprinklered at ground plane).

Historical reference to the founding of ORCHARD SUPPLY in California, their use of local artists to create local, but Orchard Supply Brand imagery should be used on the exterior of the building- perhaps as insets in the front (north) elevation, to animate the Customers' visual impressions upon entry and exit from this new addition to Winter Park. Use of our local Winter Park artists is encouraged for these suggested exterior enhancements. The Winter Park Customer is relatively sophisticated and will respond well to "place making" visual and tactile cues. Authentic "props and dressing" elements such as antique carts, tools and other branded items within the Orchard Supply vocabulary should go over

well to cause a buzz in the City, thus attracting buyers with the ability to bring success to ORCHARD SUPPLY HARDWARE.

Project Signage: The project's signs are part of the submittal package. The wall signs proposed are compatible with the scale of the building but technically the code only allows one wall sign per street frontage. In light of this minor exception requested, the City is proposing a change to the main building signage on Orlando Avenue. Rather than a 25 foot tall, 85 square foot pylon sign, the staff (City Architect) is suggesting that we substitute a monument sign, per the dimensions and materials as shown in the attached drawing. It is the same size but with a stone material base and other elements of the building architecture. Staff believes that this alternate sign will be more attractive but also be more visible as is at eye level with motorists passing by. Surface lighting should also be used here, instead of internal illumination.

































Conditional Use Process: Winter Park's conditional use process provides the opportunity for major projects to combine the "Preliminary" and "Final" conditional use approvals if they provide all of the information required for both. The applicants have satisfied that requirement.

Staff Summary: The proposed project is being built in conformance with the Comprehensive Plan and C-3 zoning with the one primary exception of the variance for parking. The overall layout and design is consistent with the desires of the planning staff and has been done in a manner sensitive to its location adjacent to residential townhomes. There are some conditions suggested by staff that can help make this project more of an aesthetic success through modifications to the landscape package and signage.

STAFF RECOMMENDATION IS FOR APPROVAL OF THE "PRELIMINARY" AND "FINAL" CONDITIONAL USE subject to:

- 1. That the project is approved with the building signage as presented and in consideration of the exception provided for wall signage, that the Orlando Avenue primary sign be limited to monument signage with non-interior illumination and dimensions as presented by staff in lieu of a pole/pylon sign.**
- 2. That the project's landscape plan be supplemented by adding infill street oak trees in the street right-of-way parkway areas appropriately spaced along the Miller and Indiana street frontages and that the on-site oak trees be increased in size to 4 inch caliper.**
- 3. That the loading and service area screen walls for the dumpsters and loading dock be of comparable decorative design materials to the main building.**
- 4. That in consideration for the parking variance, the applicant shall endeavor to secure off-site leased parking for their employees, and said lease may be discontinued after six months of operation if conditions are such that ample customer parking is available.**
- 5. The electric transformer/switch gear and all backflow preventers shall be located where not visible from a public street and shall also be landscaped so as to be effectively screened from view.**

Planning Manager, Jeff Briggs is a tenant of the sellers of this property. Given the perception that a conflict of interest might exist, oversight of this request is by Dori Stone, Planning & Community Development Director.

-  Florida Turnpike
-  Interstate 4
-  Toll Road
-  Major Roads
-  Public Roads
-  Gated Roads
-  Road Under Construction
-  Proposed Road
-  US Road
-  State Road
-  County Road
-  One Way
-  Brick Road
-  Proposed SunRail
-  Block Line
-  Lot Line
-  Residential
-  Agriculture
-  Commercial/Institutional/Governmental/Institutional/Misc
-  Commercial/Industrial Vacant Land
-  Hydro
-  Waste Land
-  Agricultural Curtilage
-  County Boundary
-  Parks
-  Golf Course
-  Lakes and Rivers
-  Block Number
-  Lot Number
-  Parcel Number
-  Parcel Address
-  Parcel Dimension



This map is for reference only and is not a survey.

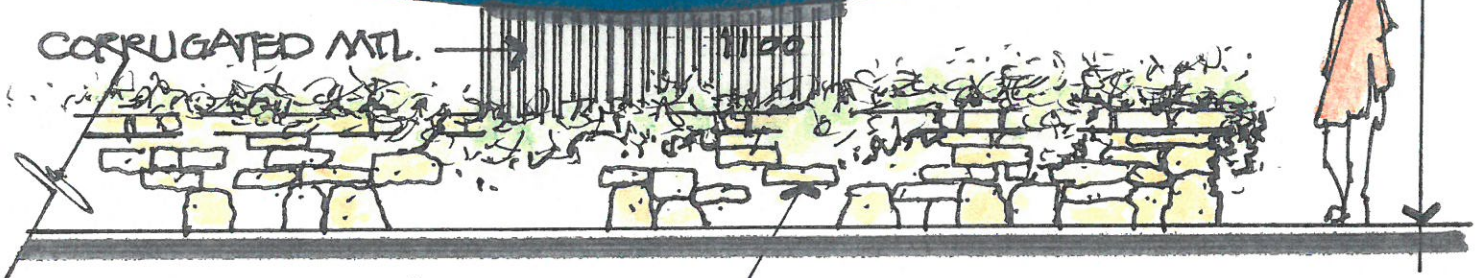
17'-7"

SIGN SIZED AS SUBMITTED



10'-12"

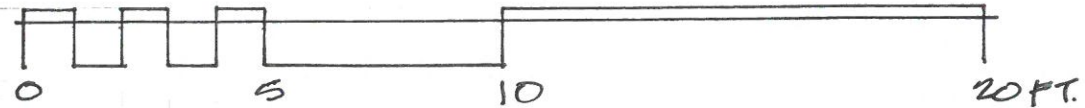
CORRUGATED METAL



STONE BASE W/ PLANTS

PROPOSED ALTERNATIVE CORNER IDENTITY SIGN

B. WEIGOS, CITY ARCHITECT
CITY OF WINTER PARK 17 JUNE 2016






Architects
Environmental
M/E/P
Surveyors
Engineers
Landscape Architects
Planners
Transportation/Traffic

5601 Mariner Street
Suite 240
Tampa, FL 33609
Phone: 813.288.0233
Fax: 813.288.0433

Memo

Date: June 1, 2016

To: Mr. Jeff Briggs - Planning Manager
City of Winter Park

From: Sandra Gorman, P.E. 
CPH Inc.

Re: Parking Demand Analysis
Proposed Orchard Supply Hardware Store
NWC Orlando Ave and Indiana Ave.
Winter Park, Florida

CPH Job No.: O7404

A parking demand analysis has been performed for the proposed Orchard Supply Hardware Store to be located at northwest corner of Orlando Avenue and Indiana Avenue in the City of Winter Park. The parking analysis has been requested to compare the actual parking demand for an Orchard Supply Hardware Store relative to the parking requirements of the City of Winter Park.

For the purpose of determining parking demand, the City of Winter Park Land Development Code has a very limited number of commercial/retail uses identified; specifically, Furniture and Appliance Store (1 space/400 SF), Office/Showroom/Warehouse (1 space/350 SF office/showroom + 1 space/700 SF storage), and General Business/Retail Commercial (1 space/250 SF).

Based on a meeting with City staff on May 24, 2016, it was determined the City would calculate required parking for the proposed hardware store according to the following ratios: 1 space/250 SF for indoor sales floor, 1 space/1000 SF for warehouse/storage, and 1 space/500 SF for the roofed garden center. **Table 1** summarizes number of parking spaces calculated to be required by the City of Winter Park.



Table 1- City Parking Requirements

Land Use	Size (KSF)	Rate (per KSF)	Total Number of Required Spaces
Sales	26.547	4	106
Warehouse/Storage	3.947	1	4
Garden Center	1.834	2	4
Total required spaces			114

For the proposed Orchard Supply Hardware Store, this equates to a weighted parking ratio of 1 space/284 SF or 3.5 spaces/1000 SF required by the City.

The Institute of Transportation Engineers has collected and published parking demand analysis for multiple land uses including a variety of retail land uses. *The ITE Parking Generation 4th Edition* includes parking requirements for both Hardware/Paint Store as well as Home Improvement Superstore. In addition to the hardware specific retail uses, it also includes parking demand for a variety of other retail uses. Weekday peak hour average and 85th percentile rates range from 1.78 spaces/1000 SF to 5.23 spaces/1000 SF. **Table 2** below summarizes a sample of the variety of retail parking ratios studied by ITE.

Table 2 – ITE Retail Parking Generation Rates – Weekday Peak Hour

Land Use	Average Parking Rate (per KSF)	85 th Percentile Parking Rate (per KSF)
Discount Superstore	3.81	4.09
Hardware/Paint Store	1.9	N/A
Shopping Center	3.96	5.23
Auto Parts Store	2.14	2.47
Supermarket - Suburban	3.78	5.05
Sports Superstore	1.78	2.4
Home Improvement Superstore	2.23	2.82

Based upon the land use descriptions provided by ITE, Hardware/Paint Store is the most appropriate for the proposed Orchard Supply Hardware Store. However, the ITE database for the Hardware/Paint Store land use category consisted of only two study sites. To supplement this data, a 2015 parking study by Kimley Horn and Associates (KHA) was conducted to determine the parking demand at two different Orchard Supply Hardware locations in California. According to the study, parking accumulation was collected in 30-minute intervals at the Orchard Supply Hardware stores on a weekday, September 10, 2015 (Thursday) and a weekend day September 12, 2015, (Saturday) from 7:00 A.M. to 9:00 P.M. **Table 3** summarizes the observed maximum parking demand at the studied Orchard Supply Hardware locations.

Table 3 - Observed Parking Demand at Existing Locations

Existing Site Location	Size	Observed Maximum Peak Parking Demand	Rate (per KSF)
Foster City, CA Orchard Supply Hardware	64,988	71	1.10
Moraga, CA Orchard Supply Hardware	41,115	45	1.10

As shown in **Table 3**, actual observations identified a peak maximum parking demand of 1.10 spaces/1,000 SF for the Orchard Supply Hardware stores studied.

The next closest land use category in *ITE's Parking Generation Handbook, 4th Edition* is Home Improvement Superstore. Although similar to Hardware/Paint Store in the sale of certain items, Home Improvement Superstores are typically much larger in size with a greater inventory and catering to contractors in addition to residents. ITE identified an average parking demand of 2.23 spaces/1,000 SF for Home Improvement Superstore, higher than the maximum parking demand of 1.10/1,000 SF observed at the existing Orchard Supply Hardware Stores. **Table 4** summarizes the parking generation estimated for the project based on 4th Edition of *ITE Parking Generation*.

Table 4 - ITE Parking Generation-4th Edition

Time Period	Land Use	Size (KSF)	Rate (per KSF)	Average Peak Period Parking Demand
			Average Peak Period	
Weekday	Home Improvement Super Store	32.355	2.23	72

Because the only Orchard Supply Hardware Stores available for study by KHA were located in California, KHA supplemented the Orchard Supply Hardware parking demand data by observing a Lowe's Home Improvement Store at 1001 West Oakland Park Boulevard, Oakland Park, Florida. Parking demand data was collected by KHA on a weekday, September 3, 2015 (Thursday) and a weekend day September 5, 2015, (Saturday) from 7:00 A.M. to 9:00 P.M. Parking data was collected in 30-minute intervals. The study site consisted of a 138,341 square-foot store inclusive of a landscape nursery. The maximum parking demand observed was 152 occupied spaces, which corresponds with a parking demand ratio of 1.10/1,000 SF. The KHA parking data for the Orchard Hardware Supply Stores in California as well as the Lowe's is attached.

Table 5 summarizes the parking requirements for the proposed Orchard Supply Hardware Store based on the observed data from the Kimley Horn study as well as the appropriate land uses from ITE.



Table 5 - Calculated Parking Demand at Proposed Location

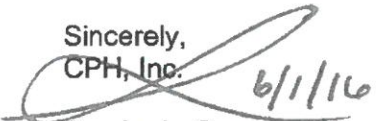
Source	Rate (per KSF)	Total Number of Required Spaces
Observed Orchard Supply Hardware (maximum observed)	1.10	36
Observed Lowe's Home Improvement Store (maximum observed)	1.10	36
ITE Hardware/Paint Store (average rate)	1.9	62
ITE Home Improvement Superstore (average rate)	2.23	72

The Winter Park Orchard Supply Hardware project proposes to provide a minimum ratio of 2.8 spaces/1,000 SF. When compared to the parking demand projected for similar uses by ITE and observed parking demand of existing, operating locations or Orchard Supply Hardware, the proposed parking is 47% more than required by ITE for a Hardware/Paint Store, 155% more than required for actual operating Orchard Supply Hardware Stores and the observed Lowes, and 26% more than projected by ITE for Home Improvement Superstores.

Based upon the ITE and actual observed demand, the 96 spaces proposed for the Winter Park Orchard Supply Hardware Store are anticipated to be more than adequate to support the proposed use.

If you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,
CPH, Inc.


6/1/16
Sandra L. Gorman, P.E.
Senior Traffic Engineer

Traffic Impact Statement
For Submittal to City of Winter Park

Orchard Supply Hardware Store# O7404
Northwest Corner of Orlando Avenue
and Indiana Avenue
Winter Park, Florida

Prepared for:
Oppidan Holding LLC

CPH Project Number O7404

June 2016



Engineers
Planners
Landscape Architects
Surveyors
Construction Management
Design/Build

Certificate of Authorization No. 00003215

5601 Mariner Street
Suite 105
Tampa, FL 33609
Tel: (813) 288-0233
Fax: (813) 288-0433
Contact: Sandra Gorman



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Executive Summary

A new Orchard Supply Hardware is proposed to be developed on the west side of Orlando Avenue, north of the Indiana Avenue intersection in Winter Park, Florida. CPH has prepared a Traffic Impact Statement for submittal to the City of Winter Park to address the impacts of the project.

Access to the project is proposed through three driveways including one driveway located on Orlando Avenue, one on Indiana Avenue, and one on Miller Avenue.

The project is anticipated to generate 169 PM peak hour driveway trips (79 entering/90 exiting), an increase of net trips of about 13% from the existing commercial on the site. Based upon the driveway analysis, all driveways are anticipated to continue to operate at acceptable levels of service with addition of the project. The trip potential of the property developed at a maximum floor area ratio (FAR) of 0.45 is estimated to be 359 PM peak hour trips (172 entering/187 exiting). The proposed project is projected to generate approximately 47% of the maximum entitlement trip potential.

Introduction

The existing commercial development at the northwest corner of Orlando Avenue and Indiana Avenue is proposed to be redeveloped into an Orchard Supply Hardware store. The existing commercial development is currently 24,253 square feet and will be replaced by an Orchard Supply Hardware store no larger than 34,989 square feet.

Figure 1 illustrates the project location and **Figure 2** is a site plan of the proposed development.

Access to the project is proposed through three driveways including one driveway located on Orlando Avenue, one on Indiana Avenue, and one on Miller Avenue.

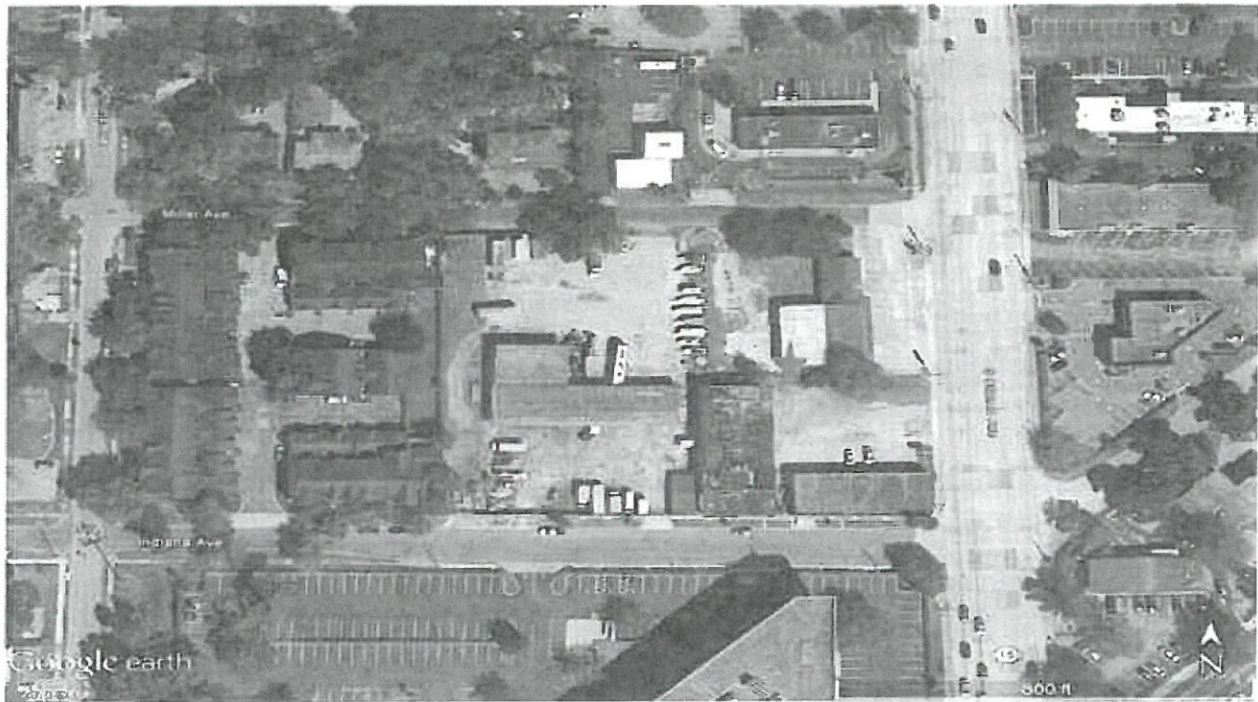
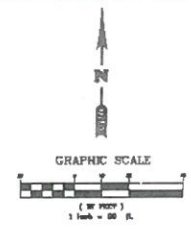
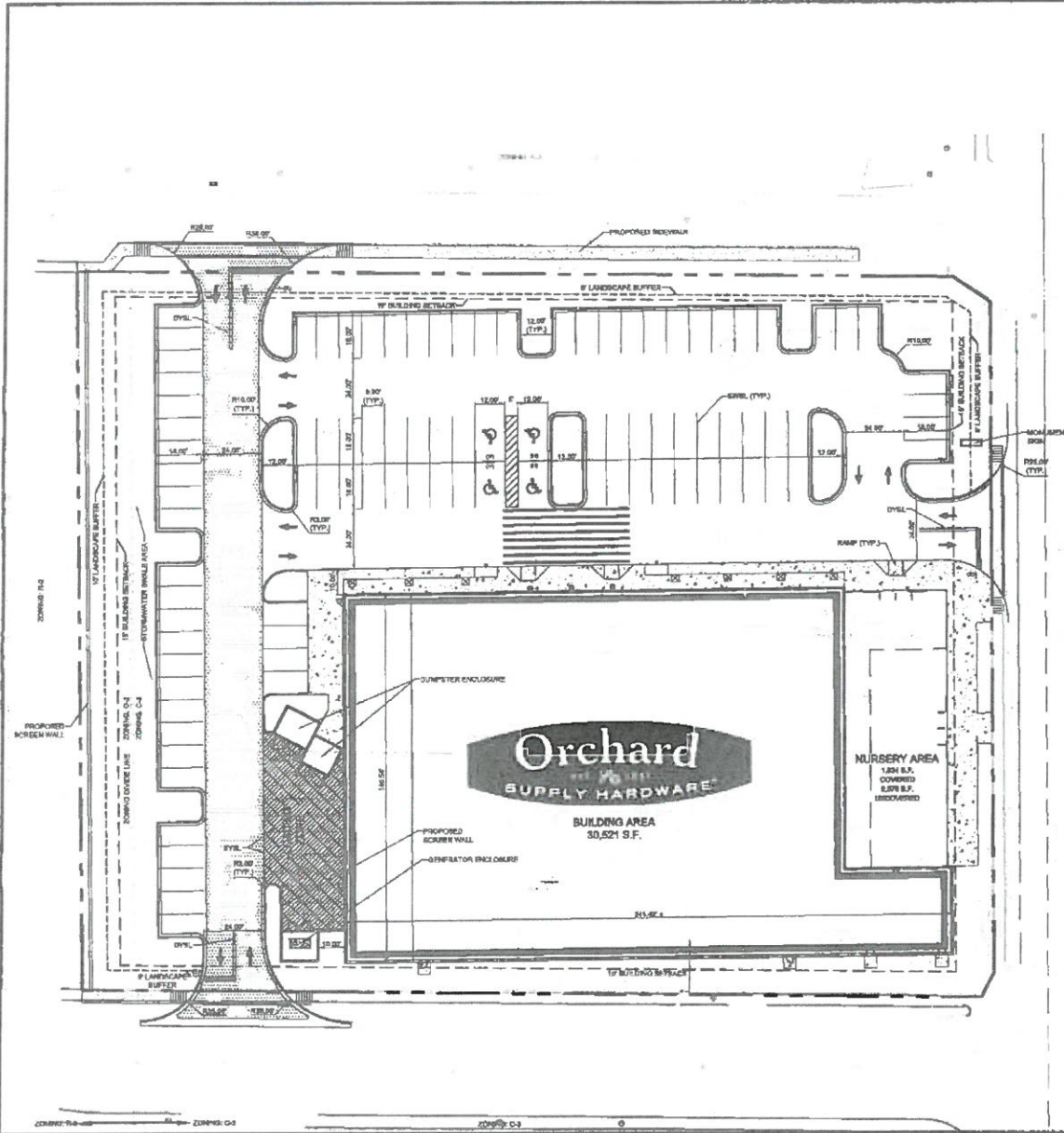


Figure 1
Site Location Map
Orchard Supply Hardware
Winter Park, Florida



Engineers
Planners
Landscape Architects
Surveyors
Construction Management
Design/Build
a cph engineers.com



VICINITY MAP
1" = 500'

SITE DATA

SITE AREA: 13,687.79 SQUARE FEET
PARCEL ID.: 03-28-00-10-00-00-00-00-19-25-26-04-00-00-00
FUTURE LAND USE: COMMERCIAL AND OFFICE PROFESSIONAL
ZONING: C-3 AND D-3
BUILDING SETBACKS:
 ORLANDO AVE 15 FEET
 MILLER AVENUE 10 FEET
 BISCAYA AVENUE 10 FEET
 NORTH 15 FEET
BUILDING USE / AREAS:
 USE: RETAIL COMMERCIAL / WAREHOUSE
 GROSS FLOOR AREA (INC. COVERED PORCHES) 32,120 SF
 BALCONY/PORT AREA 20,875 SF
 WAREHOUSE AREA 1,800 SF
 MERCHANDISE / CONVENIENCE AREA 1,800 SF
 MERCHANDISE / STORAGE AREA 2,875 SF
FLOOR AREA RATIO (GAR):
 PERMITTED: 0.40 GAR
 PROPOSED: 0.235 GAR (11,200 S.F. / 48,125 S.F.)
IMPERVIOUS SURFACE RATIO (ISR):
 PERMITTED: 0.68 ISR
 PROPOSED: 0.68 ISR
LIGHTING:
 BUILDING AND SITE LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH CITY CODE.
SCREENING:
 BUILDING AND SITE SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH CITY CODE.
BUILDING HEIGHT:
 PROPOSED: 20'-0"

LEGEND

- SITE:**
 PROPOSED BUILDING
 PROPOSED DRIVEWAY
 PROPOSED SIDEWALK
 PROPOSED LANDSCAPE BUFFER
- SETBACK:**
 CITY SETBACK
 COUNTY SETBACK
 STATE SETBACK
- PAVEMENT:**
 ASPHALT
 CONCRETE
 CONCRETE ON GRAVEL

cph
 www.cphcorp.com
 A Pflum Group
 A E Pflum
 Architects
 Engineers
 Environmental
 Landscape Architects
 Interior Design
 Planners
 Surveyors
 Traffic / Transportation

DATE: 10/20/2011
PROJECT: ORCHARD AVE AND INDIANA AVE
LOCATION: WINTER PARK, FLORIDA

PRELIMINARY DEVELOPMENT PLAN

Sheet No. **C-3**

LEGEND & ABBREVIATIONS

☐	= AIR CONDITIONING UNIT	-X-	= CHAINLINK FENCE
⊖	= BURIED ELECTRIC PEDESTAL	-W-	= WOOD FENCE
>	= BACKFLOW PREVENTER	-E-	= VINYL FENCE
⊖	= BURIED TELEPHONE PEDESTAL	-BCL-	= BURIED CABLE LINE
⊖	= CLEAN OUT	-BEL-	= BURIED ELECTRIC LINE
⊖	= COMBINATION UTILITY POLE	-BFO-	= BURIED FIBER OPTIC LINE
⊖	= DRAINAGE MANHOLE	-BTL-	= BURIED TELEPHONE LINE
⊖	= ELECTRIC FUTURE	-G-	= GAS LINE
⊖	= ELECTRIC SERVICE WATER	-OHL-	= OVERHEAD UTILITY LINE
⊖	= FLAT GRATE INLET	-WL-	= WATER LINE
⊖	= FIRE HYDRANT	-RW-	= RECLAIM WATER LINE
⊖	= DOWN GUY	-SS-	= SANITARY SEWER
⊖	= GAS VALVE	-FM-	= FORCE MAIN
⊖	= WATER SPIGOT	-LWK-	= UNKNOWN UTILITY LINE
⊖	= LANDSCAPE LIGHTING	PVC	= POLYVINYL CHLORIDE PIPE
⊖	= LIGHT POLE	RCF	= REINFORCED CONCRETE PIPE
⊖	= MAILBOX	RCE	= REINFORCED CONCRETE PIPE ELLIPTICAL
⊖	= MONITORING WELL	VCP	= VITRIFIED CLAY PIPE
⊖	= HAIL W/DOE	PB	= PLAT BOOK
⊖	= UTILITY POLE	MB	= MAP BOOK
⊖	= SOLE BORING	ORB	= OFFICIAL RECORDS BOOK
⊖	= SANITARY MANHOLE	PO(S)	= PAGE(S)
⊖	= NON-TRAFFIC SIGN	(P)	= PLAT
⊖	= TRAFFIC SIGN	(M)	= MEASURED
⊖	= WATER METER	(D)	= DEED
⊖	= WATER VALVE	LB	= LICENSED BUSINESS
⊖	= CENTERLINE	LS	= LICENSED SURVEYOR
⊖		PCP	= PERMANENT CONTROL POINT
⊖		PRM	= PERMANENT REFERENCE MONUMENT
⊖		⊖	= IDENTIFICATION
⊖		R/W	= RIGHT OF WAY
⊖		FFE	= FINISH FLOOR ELEVATION
⊖		ED	= END OF INFORMATION
⊖		NAVD	= NORTH AMERICAN VERTICAL DATUM
⊖		TRAV.PT.	= TRAVERSE POINT
⊖		SSAC	= SOUTHEASTERN SURVEYING & MAPPING CORPORATION

SIZE SHOWN IS TRUNK DIAMETER IN INCHES MEASURED AT CHEST HEIGHT



DESCRIPTION

TRACT 2

PARCEL ID: 12-22-28-3412-02-010 (OFFICIAL RECORDS BOOK 3409, PAGES 1048-1050)

Lots 1 and 2, and the Northern 43 feet of Lot 3, also all of Lot 6, of Block "B" of Harper Place, as recorded in Plat Book N, Page 57 of the Public Records of Orange County, Florida; and being further described as follows:

Commencing at an iron nail set at the Southeast corner of the intersection of Orlando and Miller Avenue, in the City of Winter Park, Florida; and run thence South along the Western boundary of Orlando Avenue, a distance of 143 feet to an iron nail set, run thence West and parallel with Miller Avenue, a distance of 195 feet, more or less, to a point located in the Southwest corner of Lot 8, run thence North along the West line of Lot 8 and parallel with Orlando Avenue, a distance of 143 feet to a point on the Southern line of Miller Avenue, being the Northeast corner of Lot 6, run thence East along the South line of Miller Avenue, a distance of 195 feet, more or less, to an iron nail set at the Southeast corner of Orlando and Miller Avenue, being the point of beginning.

LESS AND EXCEPT that portion thereof conveyed to the State of Florida by right-of-way purchase by Gov. O.C. Corporation by Warranty Deed dated October 16, 1968 and recorded in O.R. 1779, Page 989 on November 13, 1968 in the Clerk of the Circuit Court of Orange County, Florida.

TRACT 1

PARCEL ID: 12-22-28-3412-02-010 (OFFICIAL RECORDS BOOK 8498, PAGES 1-5)

PARCEL #1:

Lot 4 and the South 7 feet of Lot 3, Block B, HARPER PLACE, according to the Plat thereof, as recorded in PLAT BOOK N, PAGE 57, Public Records of Orange County, Florida.

PARCEL #2:

Lot 5, the East 12.8 feet of Lot 20, Lot 21, Lot 22 and Lot 23, Block B, HARPER PLACE, according to the Plat thereof as recorded in PLAT BOOK N, PAGE 57, Public Records of Orange County, Florida.

PARCEL #3:

Lots 7 and 8 and the East 12.8 feet of Lot 9, Block "B", HARPER PLACE, as recorded in PLAT BOOK N, PAGE 57, Public Records of Orange County, Florida.

PARCEL #4:

The West 39.03 feet of Lots 9 and 20; and the East 35.7 feet of Lots 10 and 19, Block B, HARPER PLACE, according to the PLAT thereof recorded in PLAT BOOK N, PAGE 57, of the Public Records of Orange County, Florida.

TOGETHER WITH:

The 10 foot Alley lying between Lots 4 and 5, Block B and Lot 23, Block B, HARPER PLACE, according to the Plat thereof, as recorded in PLAT BOOK N, Page 57, Public Records of Orange County, Florida; and the East 5 feet of the West 7 feet of Lot 3, Block B, HARPER PLACE, according to the Plat thereof, as recorded in PLAT BOOK N, PAGE 57, Public Records of Orange County, Florida; as depicted in Ordinance No. 1538, recorded September 18, 1984 in Official Records Book 3355, Page 1573, Public Records of Orange County, Florida.

LESS that part thereof to the State of Florida in Deed recorded October 4, 1968 in Official Records Book 1770, Page 254; and Deed recorded October 4, 1968 in Official Records Book 1770, Page 246; and less Road Right of Way.

TOGETHER WITH:

The 10 foot Alley lying between Lots 4 and 5, Block B and Lot 23, Block B, HARPER PLACE, according to the Plat thereof, as recorded in PLAT BOOK N, Page 57, Public Records of Orange County, Florida; and the East 5 feet of the West 7 feet of Lot 3, Block B, HARPER PLACE, according to the Plat thereof, as recorded in PLAT BOOK N, PAGE 57, Public Records of Orange County, Florida; as depicted in Ordinance No. 1538, recorded September 18, 1984 in Official Records Book 3355, Page 1573, Public Records of Orange County, Florida.

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NOTICE OF LIABILITY:

This survey is certified to these individuals shown on the face thereof. Any other use, benefit or reliance by any other party is strictly prohibited and the surveyor is not responsible for the same. The surveyor hereby disclaims any other liability and hereby restricts the rights of any other individual or firm to use this survey, without express written consent of the surveyor.

Signature
SOUTH EASTERN SURVEYING & MAPPING CORPORATION
6500 All American Blvd., Suite 100
Orlando, FL 32817
Tel: 407-238-2000
Fax: 407-238-2000
www.sesac.com



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BY	
REVISED	
REVISION DATE	

Project: **Boundary & Topographic Survey**
Oswald Supply Hardware - Winter Park
Winter Park, Orange County, Florida

Scale: 1" = 20'

Date: May 26, 2016

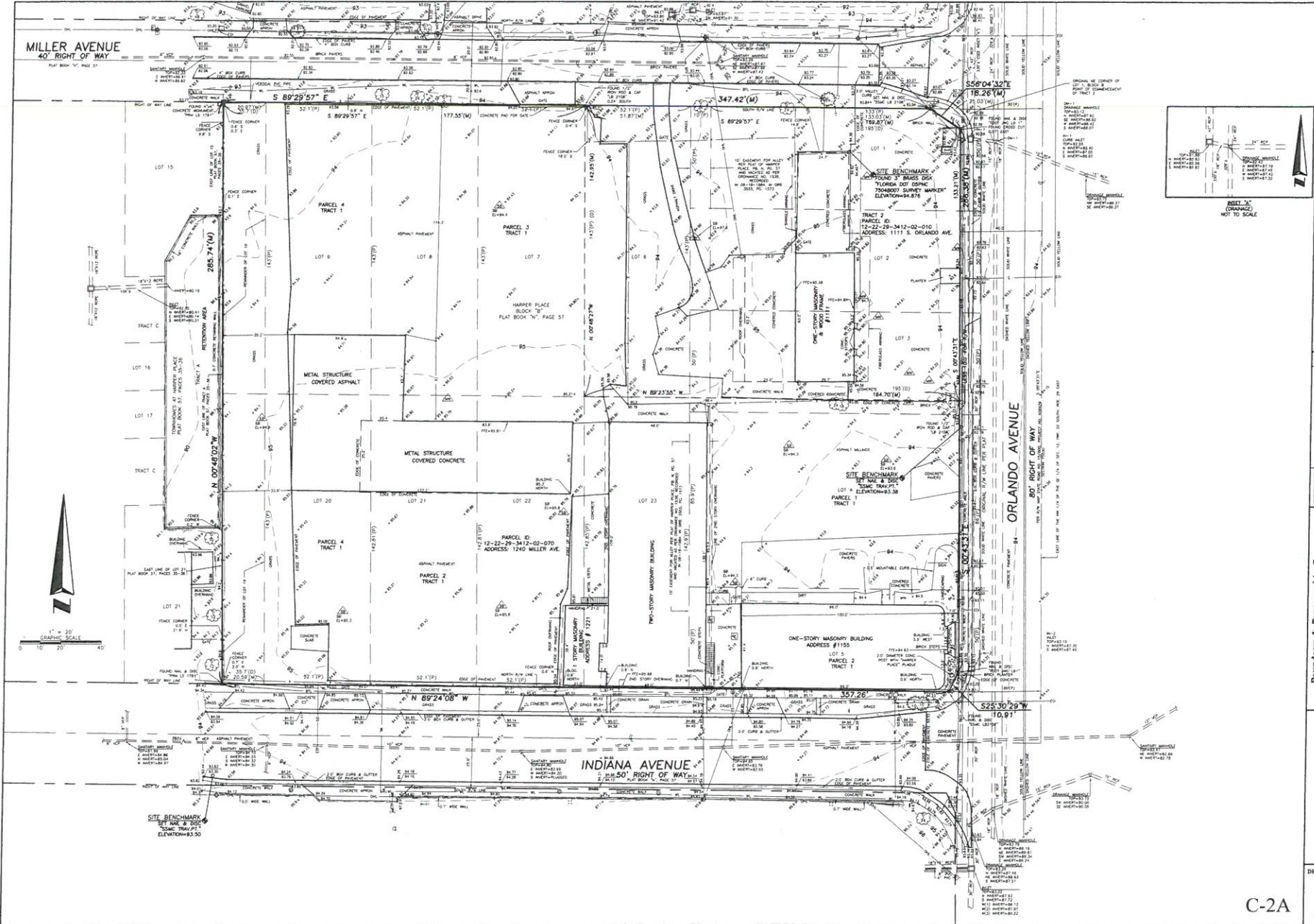
Drawn by: BMD

Sheet Number: 1 OF 2

NOT VALID WITHOUT SHEETS 1 THROUGH 2

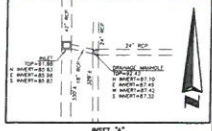
CPL, Inc.

24090003
SHEET NUMBER
1 OF 2



MILLER AVENUE
40' RIGHT OF WAY

PLAT BOOK 37, PAGE 37



SHEET NUMBER 2 OF 2
NOT TO SCALE THROUGHOUT

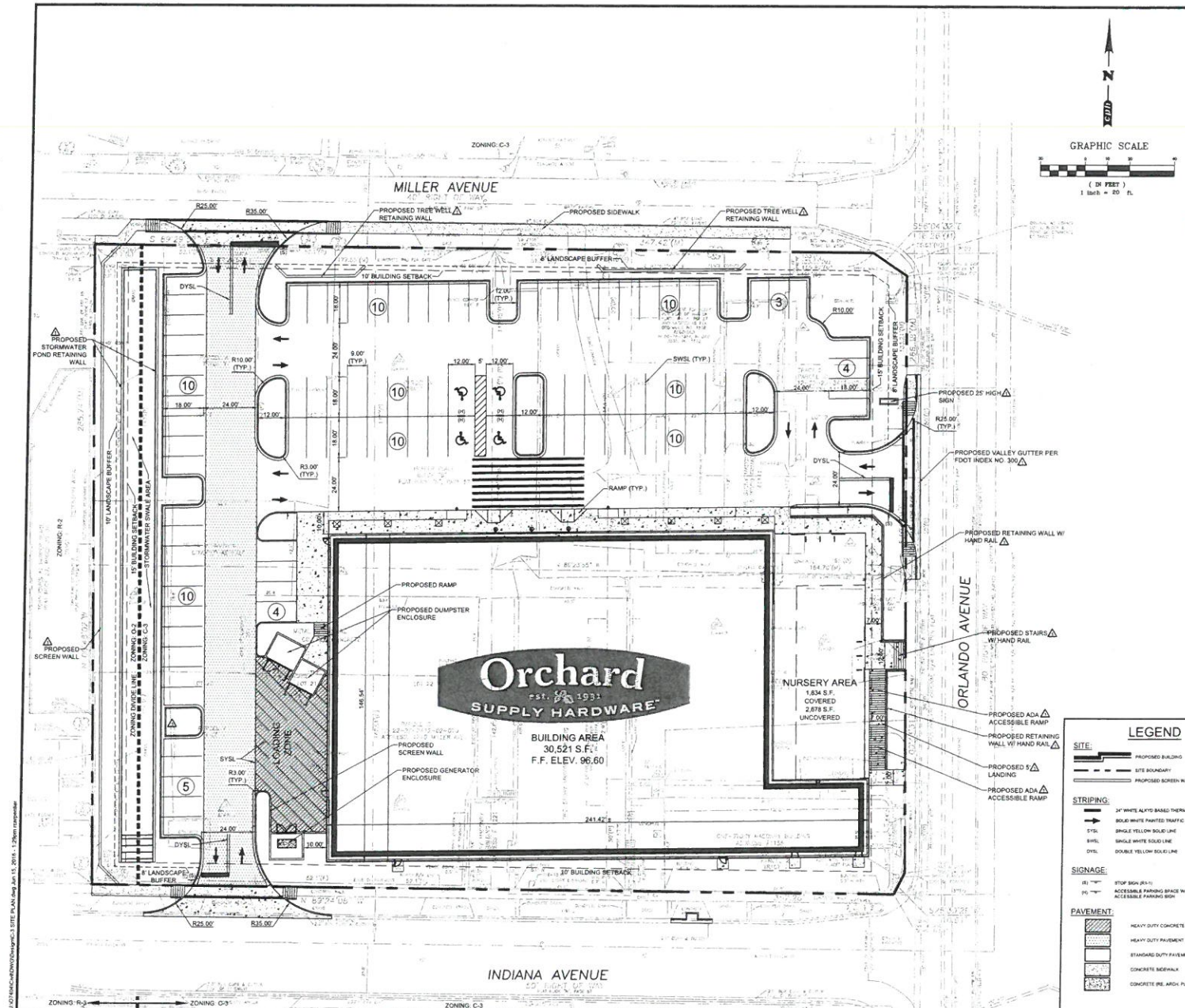
**SOUTHEASTERN SURVEYING
AND MAPPING CORPORATION**
4000 NE Harbor Blvd, Suite 4200
Orlando, FL 32822
Tel: (407) 282-4200
www.seasurveying.com

BY	REVISION	PROJECT	DATE
		Boundary & Topographic Survey Orestad Supply Hardware - Winter Park Winter Park, Orange County, Florida	May 20, 2016

SEE SHEET 1 FOR NOTES
LEGEND AND DESCRIPTION.

DRAWING NUMBER
24090003
SHEET
NUMBER
2 OF 2

C-2A



VICINITY MAP

1" = 50'

www.cphcorp.com
A Full Service A & E Firm

Architects
Engineers
Environmental
Landscape Architects
M/E/P
Planners
Surveyors
Traffic / Transportation

Office: Florida
• Puerto Rico
• Connecticut
• Maryland

SITE DATA

SITE AREA: 2.38 ACRES ± 103,496.79 SQUARE FEET ±

PARCEL ID: 12-22-29-3412-00-070 AND 12-22-29-3412-00-010

FUTURE LAND USE: COMMERCIAL AND OFFICE PROFESSIONAL

ZONING: C-3 AND O-3

BUILDING SETBACKS:
 ORLANDO AVE 15 FEET
 MILLER AVENUE 10 FEET
 INDIANA AVENUE 10 FEET
 WEST 15 FEET

BUILDING USE / AREAS:
 USE: RETAIL COMMERCIAL / HARDWARE
 GROSS FLOOR AREA (INC. COVERED NURSERY): 32,355 SF
 SALES/SUPPORT AREA 26,574 SF
 WAREHOUSE AREA 3,847 SF
 NURSERY (COVERED) AREA 1,834 SF
 NURSERY (UNCOVERED) AREA 2,878 SF

FLOOR AREA RATIO (FAR):
 PERMITTED 0.45 MAX.
 PROPOSED 0.45 MAX. (32,355 SF / 103,496 SF = 0.314)

IMPERVIOUS SURFACE RATIO (ISR):
 PERMITTED 9.85 MAX.
 PROPOSED 9.85 MAX.

LIGHTING:
 BUILDING AND SITE LIGHTING SHALL BE PROVIDED IN ACCORDANCE WITH CITY CODE

SIGNAGE:
 BUILDING AND SITE SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH CITY CODE

BUILDING HEIGHT: PROPOSED 34' - 0"

PARKING:
 CITY CALCULATION: 26,574 S.F. / 250 = 106 SPACES
 SALES/SUPPORT 3,847 S.F. / 1,000 = 4 SPACES
 WAREHOUSE 1,834 S.F. / 500 = 4 SPACES
 TOTAL 114 SPACES
 PROPOSED MINIMUM 2.8 SPACES / 1,000 S.F.

FLOOD PLAIN: ZONE "X" PER ORANGE COUNTY COMMUNITY PANEL 12/09/05/0250F, DATED SEPTEMBER 25, 2009.

STORMWATER MANAGEMENT CONCEPT:
 THE PROPOSED ORCHARD REDEVELOPMENT PROJECT SHALL PROVIDE STORMWATER QUALITY TREATMENT THROUGH THE RETENTION OF RUNOFF FROM IMPERVIOUS AREAS IN ACCORDANCE WITH CITY OF WINTER PARK AND ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT REQUIREMENTS. THE POST ORCHARD DEVELOPMENT PEAK RATE OF STORMWATER DISCHARGE SHALL BE ATTENUATED SO THAT IT DOES NOT EXCEED PRE-ORCHARD DEVELOPMENT RATE OF DISCHARGE FOR THE REGULATED STORMS IN ACCORDANCE WITH CITY OF WINTER PARK, ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT AND FLORIDA DEPARTMENT OF TRANSPORTATION REQUIREMENTS, AS APPLICABLE. WATER QUALITY TREATMENT AND RATE ATTENUATION SHALL BE PROVIDED WITHIN A DRUG-GRASSES SWALE AREA LOCATED WITHIN THE WESTERLY C-3 AND O-3 ZONED PORTION OF THE SITE. RETENTION AREAS SHALL BE DESIGNED TO RECOVER IN ACCORDANCE WITH ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT AND THE CITY OF WINTER PARK REQUIREMENTS.

LEGEND

SITE:
 [Symbol] PROPOSED BUILDING
 [Symbol] SITE BOUNDARY
 [Symbol] PROPOSED SCREEN WALL

STRIPING:
 [Symbol] 24" WHITE ALUMINUM-BASED THERMOPLASTIC STOP BAR
 [Symbol] SOLID WHITE PAINTED TRAFFIC ARROW
 [Symbol] 3" SINGLE YELLOW SOLID LINE
 [Symbol] 6" SINGLE WHITE SOLID LINE
 [Symbol] 6" DOUBLE YELLOW SOLID LINE

SIGNAGE:
 [Symbol] STOP SIGN (24")
 [Symbol] ACCESSIBLE PARKING SPACE W/ ACCESSIBLE PARKING SIGN

PAVEMENT:
 [Symbol] HEAVY DUTY CONCRETE
 [Symbol] HEAVY DUTY PAVEMENT
 [Symbol] STANDARD DUTY PAVEMENT
 [Symbol] CONCRETE SIDEWALK
 [Symbol] CONCRETE (PER ARCH PLANS)

Designed By: RNC
 Drawn By: HNW
 Checked By: JTB
 Date: 07/08/16
 Scale: 1" = 20'

Plans Prepared By: CPH, Inc.
 500 West Palmetto St.
 Sanford, FL 32771
 Ph: 407.332.8841
 License: Esq. C.S.A. No. 215
 Survey L.B. No. 743
 Arch. Lic. No. A438898
 Engrg. Lic. No. LC466022

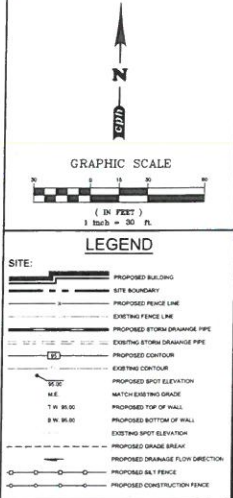
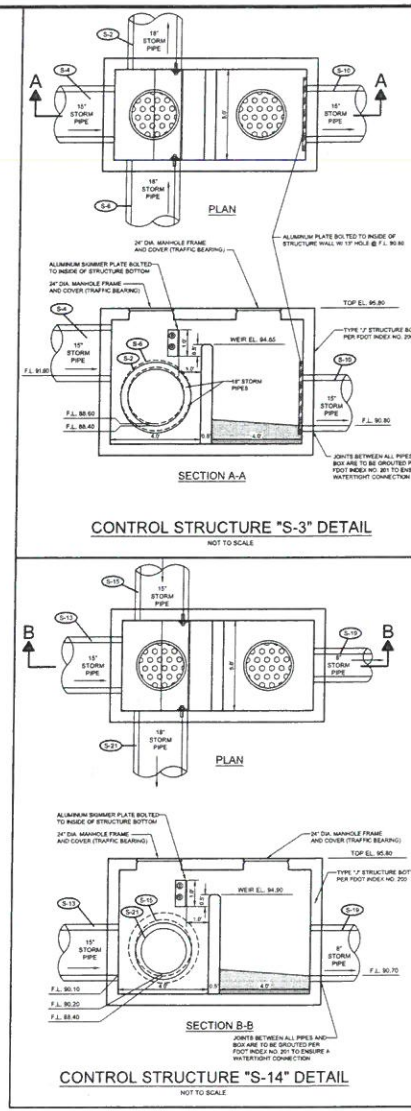
FINAL DEVELOPMENT PLAN

NWC ORLANDO AVE. AND INDIANA AVE.
 WINTER PARK, FLORIDA

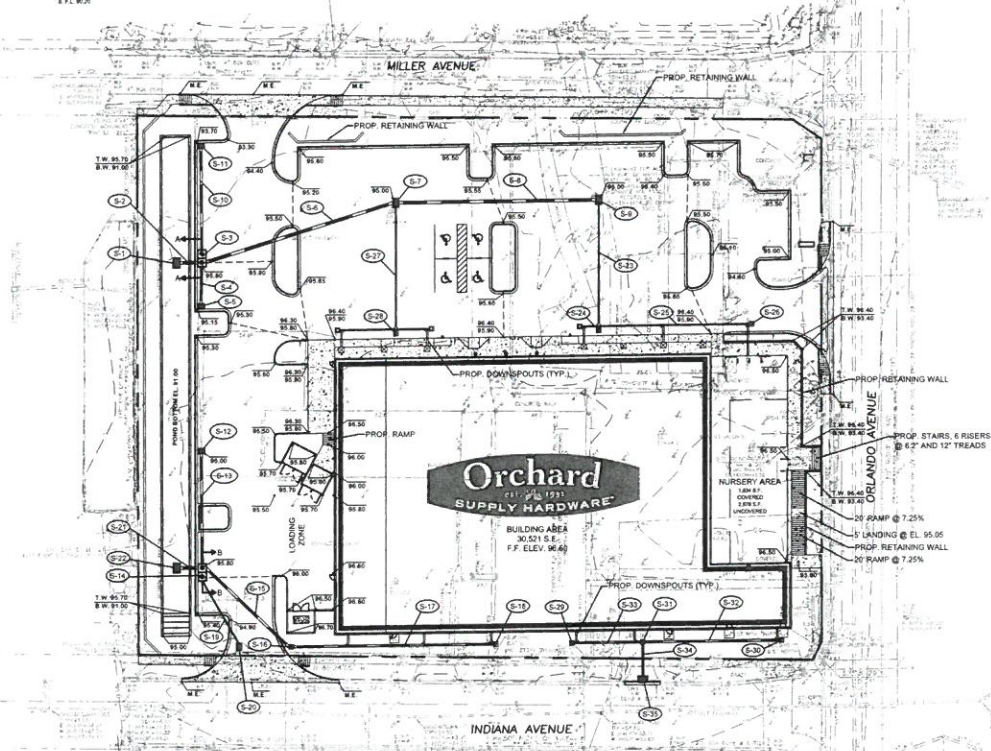
Sheet No. **C-3**

PROPOSED STORM SCHEDULE

- | | | |
|---|---|---|
| 1. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 1. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 1. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 2. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 2. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 2. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 3. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 3. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 3. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 4. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 4. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 4. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 5. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 5. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 5. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 6. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 6. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 6. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 7. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 7. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 7. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 8. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 8. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 8. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 9. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 9. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 9. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 10. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 10. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 10. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 11. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 11. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 11. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 12. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 12. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 12. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 13. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 13. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 13. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 14. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 14. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 14. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 15. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 15. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 15. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 16. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 16. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 16. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 17. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 17. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 17. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 18. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 18. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 18. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 19. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 19. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 19. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 20. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 20. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 20. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 21. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 21. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 21. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 22. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 22. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 22. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 23. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 23. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 23. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 24. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 24. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 24. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 25. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 25. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 25. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 26. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 26. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 26. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 27. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 27. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 27. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 28. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 28. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 28. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 29. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 29. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 29. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |
| 30. TYPE C INLET NO. 2 DEEP SLAMP
BOTTOM PER FOOT INDEX NOS.
233 AND 231
TOP EL. 96.30
F.F. 96.31 | 30. TYPE C INLET
FOOT INDEX NO. 233
TOP EL. 96.30
F.F. 96.31 | 30. 10" - 10' STORM PIPE @ 0.50%
CLEANOUT - F.L. 91.30 |



- NOTES**
- ALL PIPES (LEGEND SPECIFIED AS "STORM PIPE") SHALL BE SELECTED FROM THOSE LISTED IN THE GENERAL GRADING NOTES.
 - ALL STRUCTURE INVERTS SHALL BE CONSTRUCTED PER FOOT INDEX NO. 201.
 - ALL STRUCTURES WITH TYPE J BOTTOMS SHALL BE CONSTRUCTED PER FOOT INDEX NO. 201.
 - ALL DRAINAGE STRUCTURES, INCLUDING CLEAN-OUTS SHALL BE INSTALLED WITH TRAFFIC BEARING GRATES, TOPS, RINGS AND COVERS, ETC. AS APPLICABLE.
 - ALL PROPOSED INLET GRATES SHALL BE RETICULINE STEEL.
 - ELEVATIONS ARE BASED OFF OF NAVD 1988.
 - ALL CONSTRUCTION IN THE FOOT ROW SHALL CONFORM TO THE LATEST EDITIONS OF THE FOOT DESIGN STANDARDS (INDEXED), THE FOOT DESIGN SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FOOT UTILITY ACCOMMODATIONS MANUAL.



ALL CONSTRUCTION WITHIN THE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITIONS OF THE FOOT DESIGN STANDARDS (INDEXED), THE FOOT DESIGN SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FOOT UTILITY ACCOMMODATIONS MANUAL.

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Drawn by	RNC	PLB	Rev	
Checked by	HLW			
Approved by				
Scale	1" = 30'			
Job No.	15-000			
Drawn	HLW			
Check	HLW			
Scale	1" = 30'			
Job No.	15-000			
Drawn	HLW			
Check	HLW			
Scale	1" = 30'			
Job No.	15-000			

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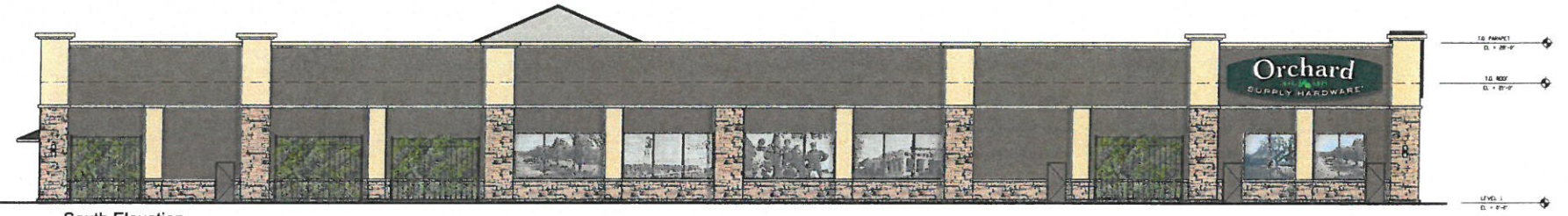
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SUPPLY HARDWARE
SVC ORLANDO AVE. AND MILLER
WINTER PARK, FLORIDA



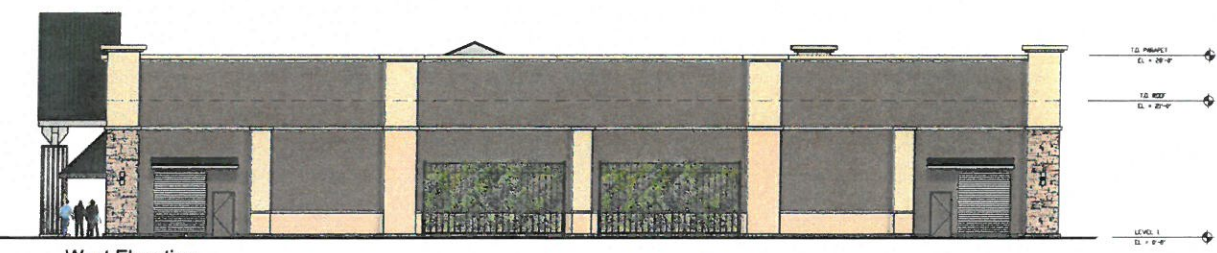
North Elevation



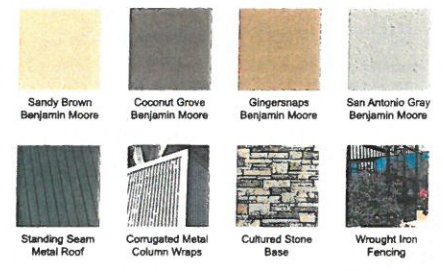
East Elevation



South Elevation



West Elevation



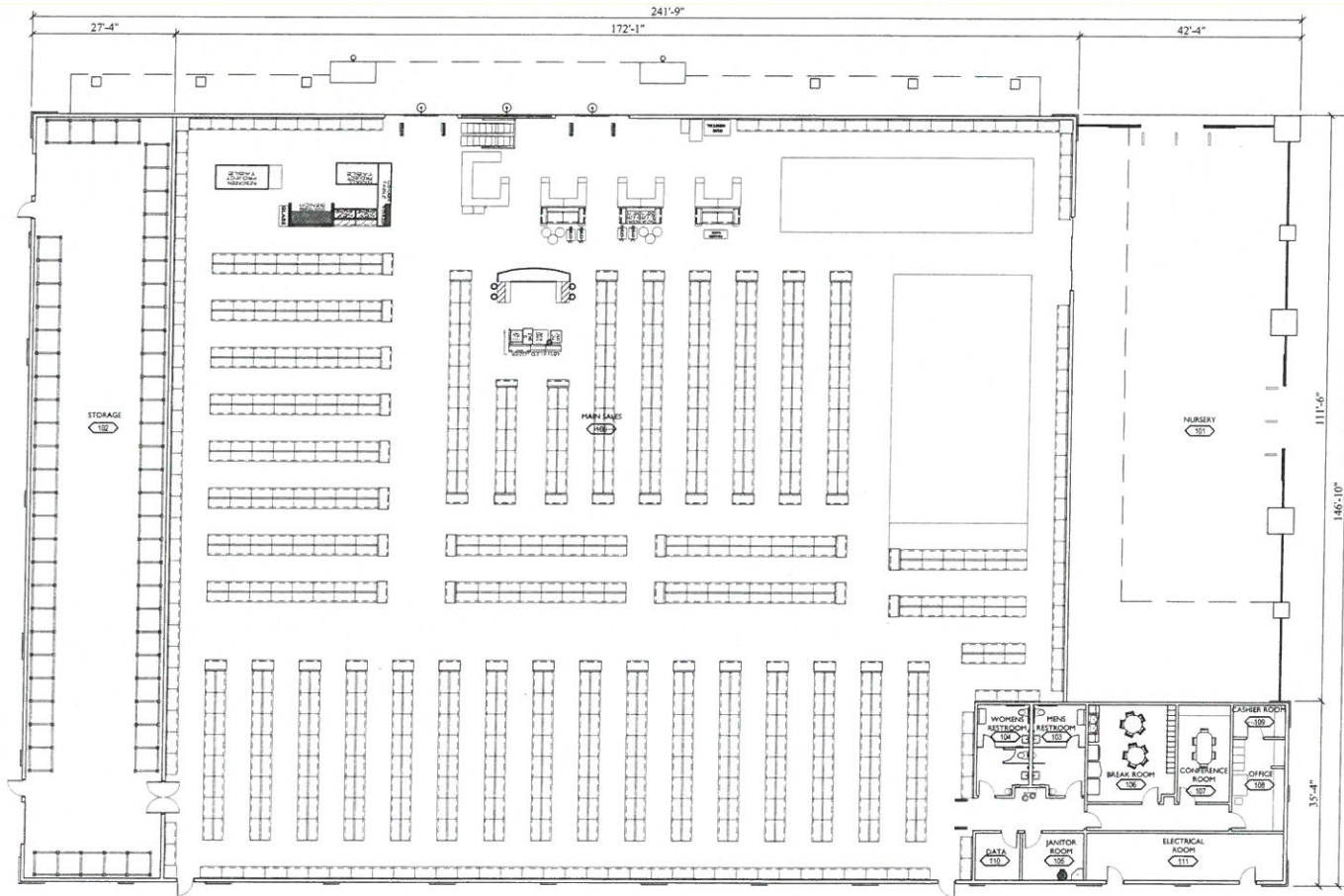
A-1

06.13.16



OSH Winter Park Proposed Elevations





FLOOR PLAN
A1.1 SCALE: 3/32" = 1'-0"

AREA BREAKDOWN	
MAIN SALES	24,500
STORAGE	3,947
NURSERY COVERED	1,834
NURSERY UN-COVERED	2,678
SUPPORT	2,074
TOTAL	35,033 SF

- ### LEGEND NOTES
- LEGEND NOTES ARE COMMON TO ALL SHEETS. SOME NOTES MAY NOT APPLY TO THIS SHEET.
- FLOOR PLAN GENERAL NOTES**
- FLOOR PLAN GENERAL NOTES APPLY TO ALL FLOOR PLAN SHEETS.
 - DIMENSIONS ARE ACTUAL AND ARE TO FACE OF STUDO, FACE OF CONCRETE WALLS, FACE OF CMU WALLS, FACE OF FRAMES OR CENTERLINE OF COLUMN, UNLESS NOTED OTHERWISE.
 - INTERIOR CMU WALLS SHALL BE 8 INCH NOMINAL THICKNESS, UNLESS NOTED OTHERWISE.
 - MASONRY WALLS AND INTERIOR STUCCO WALLS SHALL EXTEND TO UNDERSIDE OF FLOOR OR ROOF DECK ABOVE UNLESS NOTED OTHERWISE. SEE REFLECTED CEILING PLAN NOTES.
 - PROVISIONS SHALL BE MADE AT ALL HEAVY HOUSING WALLS FOR 1-INCH VERTICAL MOVEMENT OF BUILDING STRUCTURE WITHOUT TRANSFER OF COMPRESSIVE LOADS TO WALL. FILL IRREGULARITIES BETWEEN TOP OF WALL AND DECK ABOVE WITH FIRE RATING INSULATION OR FIRE STOPPING MATERIALS AS REQUIRED TO MEET FIRE RATING OF RESPECTIVE WALLS.
 - SEAL PENETRATIONS THROUGH FIRE RESISTANCE-RATED CONSTRUCTIONS WITH THROUGH PENETRATION FIRESTOP MATERIAL, AS REQUIRED TO ACHIEVE RESPECTIVE FIRE RESISTIVE RATING AND SMOKE STOPPAGE. SEE DETAILS ON SHEET 200.
 - SEE STRUCTURAL DRAWINGS FOR BRACING OF NON-LOAD BEARING MASONRY WALLS.
 - FINISH AND INSTALL FIRE RETARDANT-TREATED WOOD BLOCKING OR METAL MASONRY PLATE IN STEEL BRIDG PARTITIONS FOR PROPER ANCHORAGE OF WALL ATTACHED FITS, I.E. TOOL ACCESSORIES, TOOL PARTITIONS, CASEWORK, MILLWORK, WALL-MOUNTED FIXTURES, MOWER/SINKS, HATCHES, DOOR STOPS, AUDIO VISUAL BRACKETS, ETC.
 - GYPSUM BOARD AND PLASTER SURFACES SHALL BE ISOLATED WITH CONTROL JOINTS WHERE INDICATED ON DRAWINGS AND/OR AS DESCRIBED IN THE SPECIFICATIONS.
 - MASONRY CONTROL JOINTS AND CONTROL JOINTS ABOVE (JAN) SHALL BE LOCATED AS INDICATED ON FLOOR PLANS AND BUILDING ELEVATIONS AND WHERE LARGE PLUMBING VENTS OR RISERS OCCUR IN SINGLE WYTHE MASONRY WALLS AND WHERE MASONRY WALLS BEARING ON CONCRETE FLOOR SLABS ABUT MASONRY WALLS BEARING ON CONCRETE FOOTINGS OR ALIQUOTED ON DRAWINGS. PROVIDE ANCHORAGE FOR STORE FIXTURES IN THE MAIN SALES AREA. STORE FIXTURES SHALL BE SUPPLIED AND INSTALLED BY O&P.
 - USE MOISTURE-RESISTANT GYP BOARD AT RESTROOM AND JANITOR'S CLOSET. CEMENT BOARD TO BE USED IN RESTROOMS TO # 401.
 - PROVIDE ONE PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A:10 OR 10B:1 WITHIN 75' OF TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING.
 - PROVIDE FIRE-TREATED BAZING IN THE PERIMETER SALES FLOOR WALL FOR THE INSTALLATION OF PACKAGING SYSTEMS. BAZING SHALL BE 1" WIDE AND CENTERED AT 8'-0" O.C. AND 1'-0" O.C. HEIGHTS SHALL BE 1'-0" PRIOR TO INSTALLATION.
 - FOR FLOOR AND WALL FINISHES SEE "TOP" SHEETS.
 - WALLS IN THE SALES AREA WHICH ARE NOT COVERED WITH PACKAGING SHALL BE PROVIDED WITH 4" HIGH BLACK RUBBER TOPSET BASE.



FLOOR PLAN

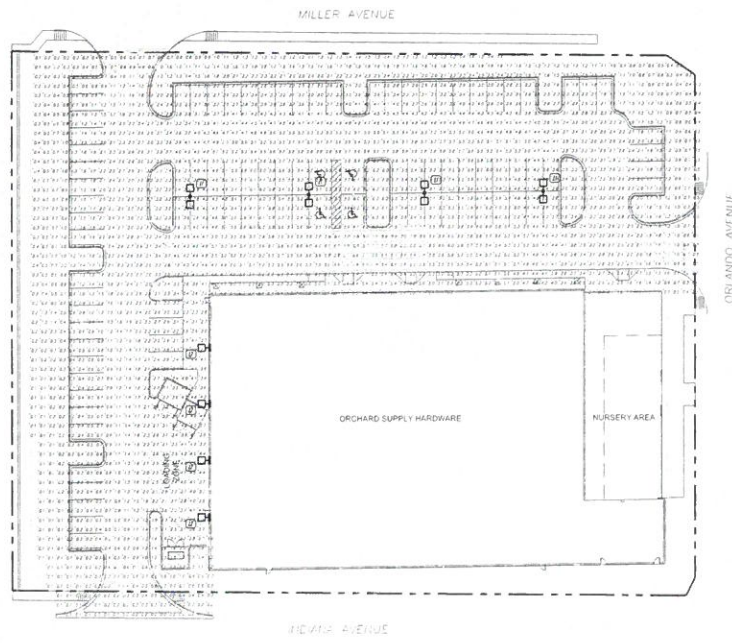
A1.1
REVISED
06/20/2018



PROGRESS ISSUE 05/24/2016

5160 Colchuck Ave and Miller
Winter Park, FL

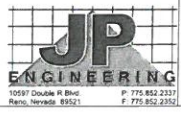
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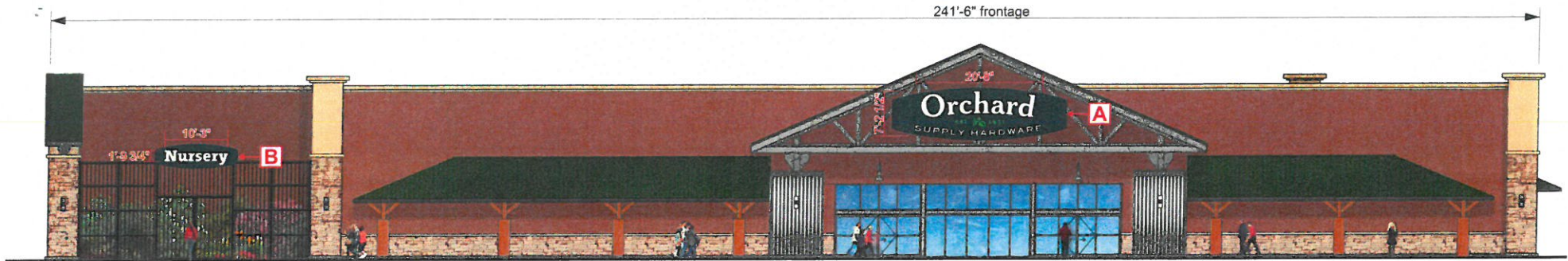


LIGHTING FIXTURE SCHEDULE		
<small>LIGHTING FIXTURE CATALOG NUMBERS ARE SERIES TYPE ONLY. PROVIDE TRIMS, BALLASTS, MOUNTING EQUIPMENT, FITTINGS AND LAMPS AS REQUIRED BY THE SPECIFICATIONS AND PROJECT CONDITIONS FOR A COMPLETE INSTALLATION. THIS IS NOT A STANDALONE SCHEDULE AND FIXTURES MUST INCORPORATE ALL MARK INDICATED OR IMPLIED THROUGHOUT THROUGHOUT THE DRAWINGS AND SPECIFICATIONS.</small>		
TYPE	SYMBOL	DESCRIPTION AND MANUFACTURER
(L1)		LED SITE LIGHTING FIXTURE WITH TYPE 5 MEDIUM OPTICS. 27"-6" ROUND TAPERED ALUMINUM POLE ATOP A 30" TALL CONCRETE POLE. COLOR BY ARCHITECT. MOUNTING HEIGHT: 30'-0" AVG. TO TOP OF FIXTURE MAXIMUM LAMP: 27W LED (R57 HEAD, 4000K) VOLTAGE: MVOLT MANUFACTURER: LITHONIA DS42 LED 1000 700 40K TSM MVOLT XX / POLE: RTA 27.5' RG SUBSTITUTIONS: <input type="checkbox"/> OR EQUAL <input type="checkbox"/> SUBJECT TO REVIEW <input checked="" type="checkbox"/> NO EQUAL
(L2)		LED WALL PACK WITH FLAT GLASS LENS. FORWARD THROW OPTICS. COLOR BY ARCHITECT. MOUNTING HEIGHT: +/- 18'-0" AFF LAMP: 71W LED (4000K) VOLTAGE: MVOLT MANUFACTURER: LITHONIA DS4W2 LED 300 700 40K ITFM MVOLT XX SUBSTITUTIONS: <input type="checkbox"/> OR EQUAL <input type="checkbox"/> SUBJECT TO REVIEW <input checked="" type="checkbox"/> NO EQUAL

SITE LIGHTING PHOTOMETRIC VALUES			
AREA DESCRIPTION	AVERAGE FOOT-CANDLE	MAXIMUM FOOT-CANDLE	MINIMUM FOOT-CANDLE
PARKING LOT AREA	2.9 FC	6.4 FC	0.1 FC

A	ELECTRICAL SITE PLAN	
E1.1	SCALE: 1" = 30'-0"	





North Elevation - Scale: 1/16" = 1'-0"

Square Footage Shown:
 Sign A: 7'-2 1/2" x 20'-8" = 148.71 sq. ft.
 Sign B: 1'-9 3/4" x 10'-3" = 12.41 sq. ft.
 Total = 161.12 sq. ft.



East Elevation - Scale: 1/16" = 1'-0"

Square Footage Shown:
 Sign C1: 5'-11 1/4" x 17'-0 1/4" = 101.06 sq. ft.
 Sign D: 2'-8 3/4" x 15'-4 1/2" = 41.96 sq. ft.
 Total = 143.02 sq. ft.



South Elevation - Scale: 1/16" = 1'-0"

Square Footage Shown:
 Sign C2: 5'-11 1/4" x 17'-0 1/4" = 101.06 sq. ft.
 Total = 101.06 sq. ft.

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PROJECT:	REVISION	DATE	DESCRIPTION
CUSTOMER: Orchard Supply Hardware	1	6-1-16	Add Nursery outline to site plan
LOCATION: SWC Orlando Ave. & Miller - Winter Park, FL			
DATE: 5/31/2016			
SALES: David Esajian			
DESIGNER: James Franks			

APPROVALS
SALES:
CUSTOMER:
LANDLORD:

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SHEET
1 of 5
SO# 22248



A TRADEMARK SKATEBOARD SPECIFICATIONS Scale: 3/16" = 1'-0"
 Manufacture and install one (1) 8'-6" OAH trademark skateboard sign.

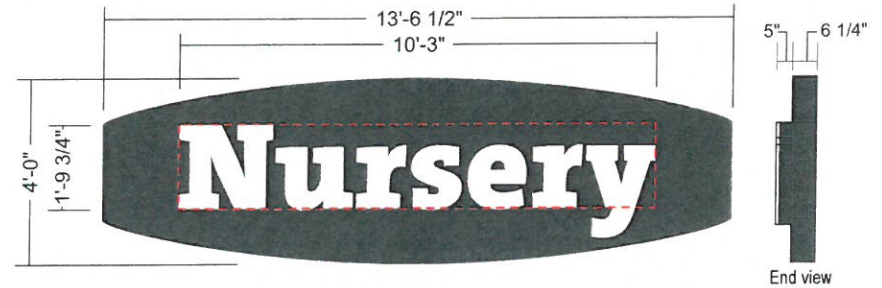
Description	Specification/Material	Finish	Color
Skateboard	.125" Aluminum	Painted (satin)	PMS 3435 C
Face	.125" Aluminum w/ rout out copy	Painted (satin)	PMS 3435 C
Copy "Supply Hardware"	R/o 1/2" push thru copy with vinyl applied 1st surface	3M	White #3630-20
Copy "est. 1931"	R/o acrylic backed copy with vinyl applied 1st surface	3M	Bright Green #3630-106
Back	.125 Aluminum	Painted (satin)	PMS 3435 C
Illumination	LED		White
®	Vinyl	3M	White 7725-10

NOTE:
 * Back of sign to be finished as it will be visible.

CHANNEL LETTER SPECIFICATIONS

Manufacture and install one set of channel letters to be mounted on trademark skateboard.

Description	Specification/Material	Finish	Color
Face	Acrylic	R & H	White
Returns	.063 aluminum	Painted (satin)	PMS 3435 C
Trimcap	3/4" trimcap	Painted (satin)	White
Illumination	LED		White



B NURSERY LETTER SPECIFICATIONS Scale: 3/8" = 1'-0"
 Manufacture and install one (1) set of internally-illuminated channel letters on non-illuminated trademark skateboard.

Description	Specification/Material	Finish	Color
Face	.125" Aluminum	Painted (satin)	PMS 3435 C
Returns	.125" Aluminum	Painted (satin)	PMS 3435 C
Back	.125 Aluminum	Painted (satin)	PMS 3435 C
Face	White acrylic	N/A	White
Returns	.063 aluminum	Painted (satin)	PMS 3435 C
Trimcap	3/4" trimcap	Painted (satin)	White
Illumination	LED		White

NOTE:
 * Back of sign to be finished as it will be visible.

PROJECT:	REVISION	DATE	DESCRIPTION	APPROVALS
CUSTOMER: Orchard Supply Hardware	1	5-1-16	Add Nursery outline to site plan.	SALES:
LOCATION: SWC Orlando Ave. & Miller - Winter Park, FL				CUSTOMER:
DATE: 5/31/2016				LANDLORD:
SALES: David Esajjan				
DESIGNER: James Franks				

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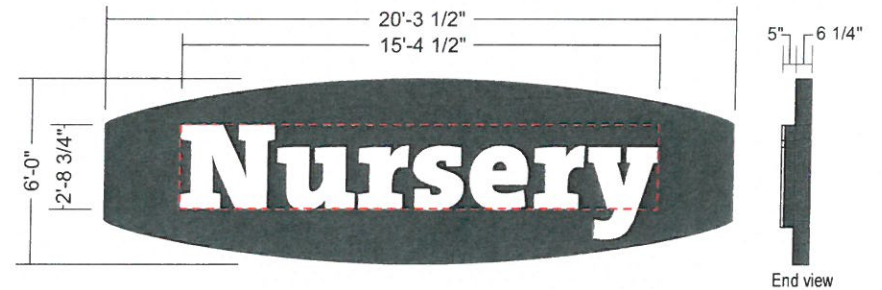
C TRADEMARK SKATEBOARD SPECIFICATIONS Scale: 1/4" = 1'-0"
 Manufacture and install two (2) 7'-0" OAH trademark skateboard signs.

Description	Specification/Material	Finish	Color
Skateboard	.125" Aluminum	Painted (satin)	PMS 3435 C
Face	.125" Aluminum w/ rout out copy	Painted (satin)	PMS 3435 C
Copy "Supply Hardware"	R/o 1/2" push thru copy with vinyl applied 1st surface	3M	White #3630-20
Copy "est. 1931"	R/o acrylic backed copy with vinyl applied 1st surface	3M	Bright Green #3630-106
Back	.125 Aluminum	N/A	
Illumination	LED		White
©	Vinyl	3M	White 7725-10

CHANNEL LETTER SPECIFICATIONS

Manufacture and install two (2) sets of channel letters to be mounted on trademark skateboards.

Description	Specification/Material	Finish	Color
Face	Acrylic	R & H	White
Returns	.063 aluminum	Painted (satin)	PMS 3435 C
Trimcap	3/4" trimcap	Painted (satin)	White
Illumination	LED		White



D NURSERY LETTER SPECIFICATIONS Scale: 1/4" = 1'-0"
 Manufacture and install one (1) set of internally-illuminated channel letters on non-illuminated trademark skateboard.

Description	Specification/Material	Finish	Color
Face	.125" Aluminum	Painted (satin)	PMS 3435 C
Returns	.125" Aluminum	Painted (satin)	PMS 3435 C
Back	.125 Aluminum	Painted (satin)	PMS 3435 C
Face	White acrylic	N/A	White
Returns	.063 aluminum	Painted (satin)	PMS 3435 C
Trimcap	3/4" trimcap	Painted (satin)	White
Illumination	LED		White

NOTE:
 * Back of sign to be finished as it will be visible.

PROJECT:	REVISION	DATE	DESCRIPTION
CUSTOMER: Orchard Supply Hardware LOCATION: SWC Orlando Ave. & Miller - Winter Park, FL DATE: 5/31/2016 SALES: David Esajian DESIGNER: James Franks	1	6-1-16	Add Nursery outline to site plan.

APPROVALS
SALES: CUSTOMER: LANDLORD:

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Pylon Elevation - Scale: 1/4" = 1'-0"

Square Footage Shown:
5'-3" x 17'-7 1/4" = 91.42 sq. ft.

E PYLON SIGN SPECIFICATIONS

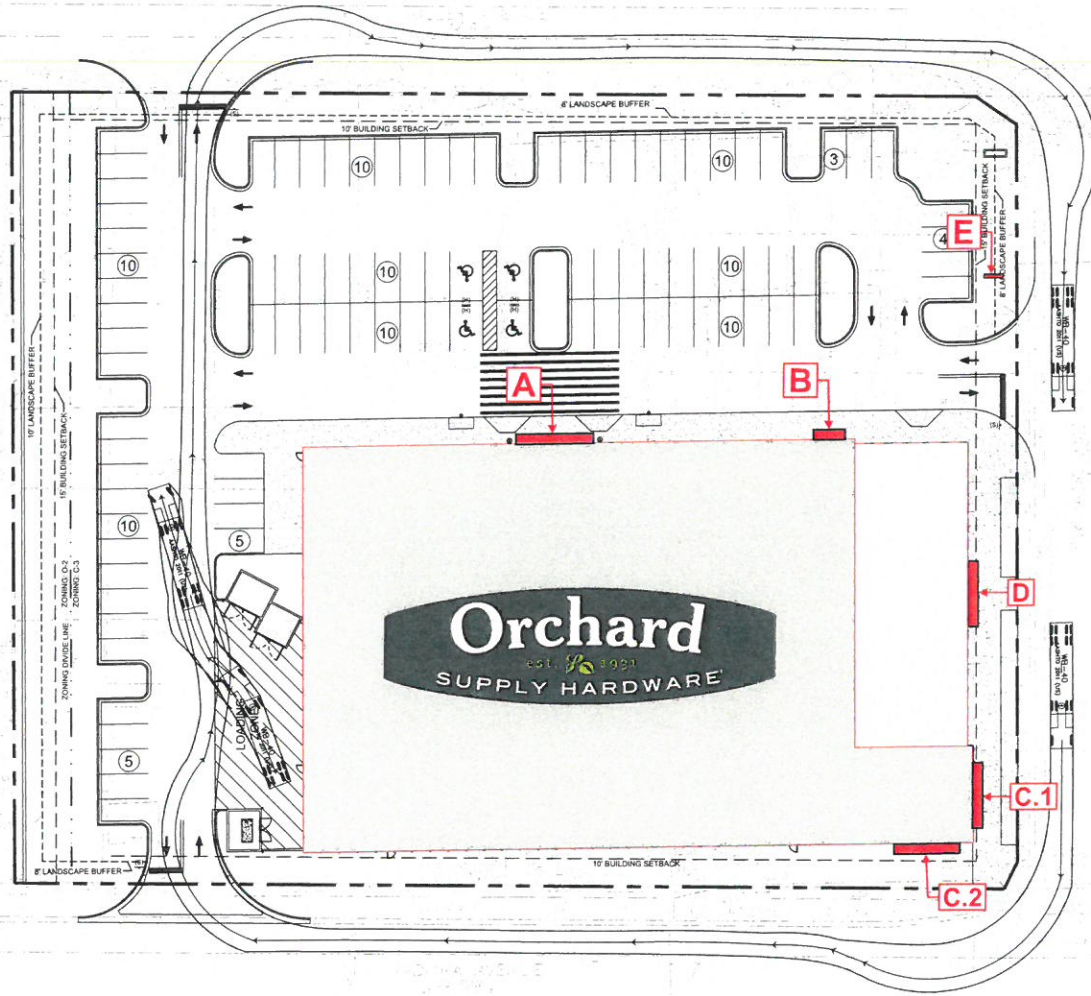
Manufacture and install one (1) double face, internally-illuminated pylon sign.

Description	Specification/Material	Finish	Color
Cabinet	Fabricated aluminum	Painted (satin)	PMS 3435 C
Faces	.125" Aluminum w/ rout out copy	Painted (satin)	PMS 3435 C
Copy "Orchard"	1/2" Acrylic push thru copy with vinyl applied 1st surface	3M	White #3630-20
Copy "Supply Hardware"	1/2" Acrylic push thru copy with vinyl applied 1st surface	3M	White #3630-20
Copy "est. 1931"	Acrylic backed copy with vinyl applied 1st surface	3M	Bright Green #3630-106
®	Vinyl	3M	White 7725-10
Illumination	LED		White
Pylons	Square tubes	Painted (satin)	SW Cobble Brown 6082

PROJECT:	REVISION	DATE	DESCRIPTION	APPROVALS
CUSTOMER: Orchard Supply Hardware	1	6-1-16	Add Nursery outline to site plan	SALES:
LOCATION: SWC Orlando Ave. & Miller - Winter Park, FL	2	6-14-16	Increase size of pylon sign	CUSTOMER:
DATE: 5/31/2016				LANDLORD:
SALES: David Esajian				
DESIGNER: James Franks				

CONCEPTUAL DRAWINGS ONLY:
Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications.

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Site Plan - Scale: NTS



2870 W. SHAW LANE/SUITE 102
 FRESNO, CA 93711
 T 559.225.2183
 T 559.225.2186

CA STATE CONTRACTORS LICENSE #826051 www.adart.com

PROJECT:	REVISION	DATE	DESCRIPTION	APPROVALS	CONCEPTUAL DRAWINGS ONLY:	SHEET
CUSTOMER: Orchard Supply Hardware LOCATION: SWC Orlando Ave. & Miller - Winter Park, FL DATE: 5/31/2016 SALES: David Esajian DESIGNER: James Franks	1	6-1-16	Add Nursery outline to site plan	SALES: CUSTOMER: LANDLORD:	Dimensions are approximate & may change due to construction factors or exact field conditions. Colors shown are as close as printing will allow. Always follow written specifications. ALL RIGHTS RESERVED: This design has been created for you in connection with a project being planned for you by ADART. It may not be shown to anyone outside your organization, and may not be reproduced in any manner without prior consent.	5 of 5 SO# 22248

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
July 5, 2016**

REQUEST OF WEKIVA CAPITAL PARTNERS, LLC FOR:
CONDITIONAL USE APPROVAL TO BUILD A SEVEN-UNIT, CLUSTER HOUSING PROJECT OF TWO-STORY HOUSES OF APPROXIMATELY 1,500 SQUARE FEET, PER HOUSE, AT 741 AND 751 MINNESOTA AVENUE, ZONED R-2, PROVIDING FOR CERTAIN EXCEPTIONS AND FOR A DEVELOPMENT AGREEMENT, IF REQUIRED.

This public hearing involves a request by Wekiva Capital Partners, LLC, who have a contract to purchase 741 and 751 Minnesota Avenue. These properties are zoned R-2, and are located to the north of the Azalea Lane Recreation Center, and east of the railroad tracks that intersect Minnesota Avenue. This request is for Conditional Use approval to develop a cluster housing project that consists of seven, two-story units that measure 1,512 square feet each.

Site and Zoning Parameters: These properties together measure a total of 30,958 square feet, and the R-2 zoning permits one unit for each 4,000 square feet of land, thus permitting the requested seven units. These properties are currently undeveloped. The applicant is anticipating these units to be leased individually.

Project Summary: The project consists of seven, 1,512 square foot, two-story units which equal a total project square footage of 10,584, and a floor area ratio (FAR) of 34.2%. This is within the maximum R-2 FAR of 55%. The maximum building lot coverage (footprint) is 35%, and the project is proposing 17.1%. The maximum impervious coverage is 65%, and this project is proposing 53%, which includes a swimming pool towards the rear of the property. Building height of these buildings is proposed at slightly less than the Code permits at 29 feet.

The project is meeting or exceeding the required setbacks with the exception of the western portion of the property along the railroad tracks. The Code requirement is ten feet along this property line. However, the applicant is requesting a variance to allow a five foot setback due to the property configuration and the large railroad right-of-way that exists beyond the property line. They are proposing a six foot privacy fence along the property line, with a four foot decorative open fence along the Minnesota Avenue street frontage.

Parking is being provided per Code (two and a half spaces per unit) as well as providing space for bike parking.

Tree Preservation/Landscaping: The applicant is removing six unprotected trees as well as eight protected from the site. As required by Code, nine three inch caliper trees are required for replacement of the protected trees, which are shown on the attached landscape plans as well as additional landscaping.

Storm Water Retention: The project is providing onsite storm water retention. At this preliminary stage, that plan has not been engineered but will be located in the rear (north) portion of the property. There is ample area in this portion of the property to accomplish the required retention.

Planning Staff Analysis: The key element in these conditional use reviews for cluster housing is compatibility with the scale and character of the surroundings. This portion of Minnesota Avenue, east of the railroad tracks are mostly low and medium density residential townhomes, and this property is on the edge of the transition to the west of the railroad tracks to office and commercial properties. Staff feels that the scale and architectural style of these cluster homes will provide an attractive and aesthetic appeal to Minnesota Avenue. Furthermore, the orientation of the front four homes towards the street, which is similar to the other townhomes in this area.

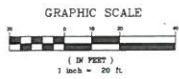
Special attention needs to be paid attention to the placement of the electric transformers and the trash bin storage area. Currently, these elements are internal to the project and cannot be viewed from the street or surrounding properties. As these plans are not final engineering drawings, if these items were to be moved to a location where they were visible from the street or adjacent properties, this would quickly diminish the visual appeal of the development. There are conditions recommended to address these circumstances.

City Architect Analysis: To further enhance the aesthetic appeal of this development, the City Architect met with the applicant and discussed specific observations and concerns regarding the proposed development. These items included adding pavers instead of asphalt paving at the entry from Minnesota Avenue to create more of an entry feature, to add additional landscaping along the railroad right-of-way to benefit the resident's safety and to provide a noise buffer, and to add additional landscaping between the buildings for privacy. Specifically since the applicant is requesting a setback variance to be closer to the railroad right-of-way, Staff feels this additional landscaping is necessary. The applicant has agreed to most of these enhancements.

Summary: This project is located on the edge of a neighborhood, and on the edge of the transition to office and commercial developments. The project meets all the development standards of the R-2 zoning district, and will have an attractive architectural appearance that is compatible with the surrounding residential properties.

STAFF RECOMMENDATION IS FOR APPROVAL of the Conditional Use approval with the following conditions:

- 1. That any electric transformers or trash bins shall be located where not visible from a public street or adjacent properties, and shall also be landscaped so as to be effectively screened from view.**
- 2. That additional landscaping shall be placed along the railroad right-of-way and in-between the buildings.**
- 3. That the front entry shall have decorative pavers from behind the sidewalk until the front 30 foot front setback.**



LEGAL DESCRIPTION:

LOTS 17, 18 AND 19, BLOCK 99, TOWN OF WINTER PARK, AS PER THE PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGES 67-72 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

TOGETHER WITH:
THE SOUTH 1/2 OF THE VACATED 14 FOOT WIDE ALLEY LYING NORTH OF LOT 18 AND LOT 19, BLOCK 99, TOWN OF WINTER PARK AS PER THE PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGES 67-72 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

SURVEYOR'S NOTES:

BEARINGS AS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF LOTS 17 THROUGH 22, BLOCK 99 HAVING AN ASSUMED BEARING OF S90°00'00" W.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. THIS SURVEYOR HAS NOT CONDUCTED ANY TITLE RESEARCH OR ABSTRACTING. THIS SURVEY WAS PREPARED FOR THE SOLE PURPOSE OF PROVIDING THE CLIENT WITH BOUNDARY AND TOPOGRAPHIC INFORMATION TO BE USED FOR PLANNING POTENTIAL SITE IMPROVEMENTS.

NON-VISIBLE AND/OR UNDERGROUND IMPROVEMENTS WERE NOT LOCATED, EXCEPT AS OTHERWISE SHOWN. THERE MAY BE EASEMENTS AND/OR RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN HEREON THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE LANDS SHOWN HEREON.

THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.

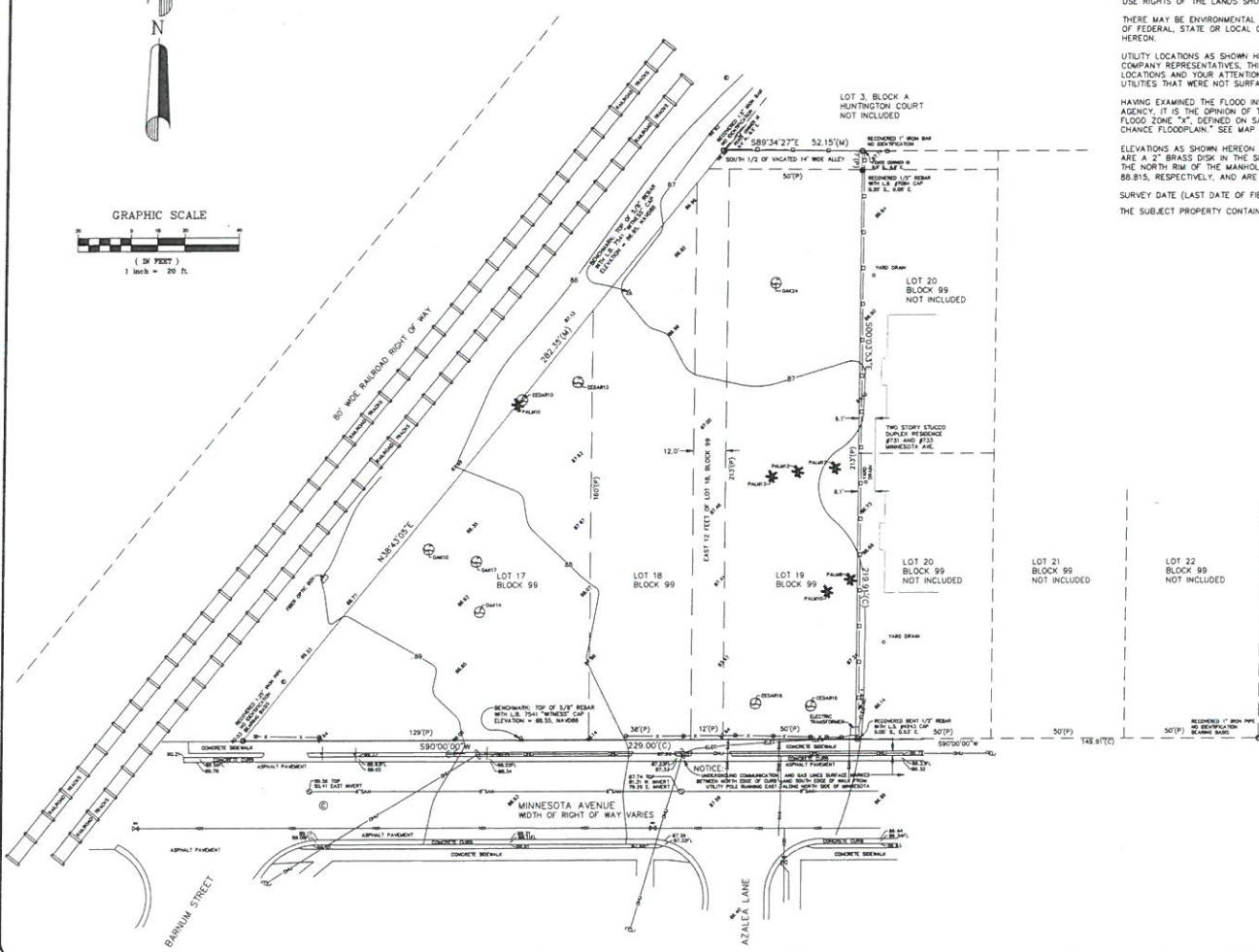
UTILITY LOCATIONS AS SHOWN HEREON ARE BASED ON FIELD LOCATION OF SURFACE MARKINGS BY UTILITY COMPANY REPRESENTATIVES. THIS SURVEYOR DOES NOT WARRANT THE ACCURACY OF THE ANY UNDERGROUND LOCATIONS AND YOUR ATTENTION IS DRAWN TO THE FACT THAT THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES THAT WERE NOT SURFACE MARKED AND/OR LOCATED AND/OR SHOWN HEREON.

HAVING EXAMINED THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, IT IS THE OPINION OF THIS SURVEYOR THAT THE LANDS SHOWN AND DESCRIBED HEREON LIE IN FLOOD ZONE "X", DEFINED ON SAID F.I.R.M. AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN." SEE MAP NUMBER 12995C0255 F, DATED 09-25-2009.

ELEVATIONS AS SHOWN HEREON ARE BASED ON ORANGE COUNTY BENCHMARKS L845020 AND TP4124 WHICH ARE A 2" BRASS DISK IN THE SIDEWALK AT THE N.W. CORNER OF ORANGE AVE. AND HARMON AVE. AND THE NORTH END OF THE MANHOLE AT DENNING DR. AND BARNUM ST. HAVING ELEVATIONS OF 94.555 AND 86.815, RESPECTIVELY, AND ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

SURVEY DATE (LAST DATE OF FIELD WORK): JANUARY 12, 2016.

THE SUBJECT PROPERTY CONTAINS 30,957.6 SQUARE FEET OR 0.711 ACRES, MORE OR LESS.



MAP LEGEND:

- (P) INDICATES A PLAT DISTANCE AND/OR DIRECTION.
- (M) INDICATES A MEASURED DISTANCE AND/OR DIRECTION.
- (C) INDICATES A CALCULATED DISTANCE AND/OR DIRECTION.
- LB INDICATES LAND SURVEYING BUSINESS.
- LS INDICATES INDIVIDUAL LICENSED LAND SURVEYOR.
- PSM INDICATES PROFESSIONAL SURVEYOR AND MAPPER.
- 77.1 INDICATES A SPOT ELEVATION SHOT AT THE DECIMAL POINT LOCATION.
- 77.2 INDICATES A SPOT ELEVATION SHOT AT THE END OF THE LEADER LOCATION.
- 77.3 INDICATES A SPOT ELEVATION SHOT AT THE FLOW LINE OF THE CONCRETE CURB.
- ⊙ INDICATES A TELEPHONE JUNCTION BOX.
- ⊕ INDICATES A WOOD UTILITY POLE.
- ⊖ INDICATES A GUY WIRE ANCHOR.
- ⊘ INDICATES A FIBER OPTIC WARNING POST.
- ⊙ INDICATES A METAL SIGN ON A METAL POST.
- ⊕ INDICATES A WATER VALVE BOX.
- ⊙ INDICATES A SANITARY SEWER MANHOLE.
- ⊙ INDICATES A COMMUNICATION MANHOLE.
- ⊙ INDICATES AN OAK TREE HAVING A 24" DIAMETER AT BREAST HEIGHT.
- ⊙ INDICATES A PALM TREE HAVING A 12" DIAMETER AT BREAST HEIGHT.
- — — — — INDICATES A METAL CABLE BETWEEN WOOD POSTS.
- — — — — INDICATES A CHAIN LINK FENCE.
- — — — — INDICATES A WOOD PRIVACY FENCE.
- — — — — INDICATES OVERHEAD UTILITY LINE(S).
- — — — — INDICATES UNDERGROUND SANITARY SEWER AS SURFACE MARKED BY OTHERS.
- — — — — INDICATES UNDERGROUND GAS LINE AS SURFACE MARKED BY OTHERS.
- — — — — INDICATES UNDERGROUND ELECTRIC AS SURFACE MARKED BY OTHERS.
- — — — — INDICATES UNDERGROUND WATER MAIN AS SURFACE MARKED BY OTHERS.
- — — — — INDICATES THE APPROXIMATE LOCATION OF THE 88 FOOT CONTOUR.

AccuMap SURVEYING, LLC
We draw the line around your piece of the sunshine
2919 MOUNTAIN LANE WINTER PARK, FL 32789-4317
Telephone 407-657-2568 Fax 407-657-7933

RECIVED FOR
WEKIVA CAPITAL PARTNERS, LLC
225 W. CANTON AVE. #200
WINTER PARK, FLORIDA
407-606-2669

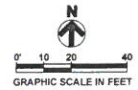
MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY
741 MINNESOTA AVE. WINTER PARK, FL.

IN SECTION 5, TOWNSHIP 22 SOUTH, RANGE 30 EAST

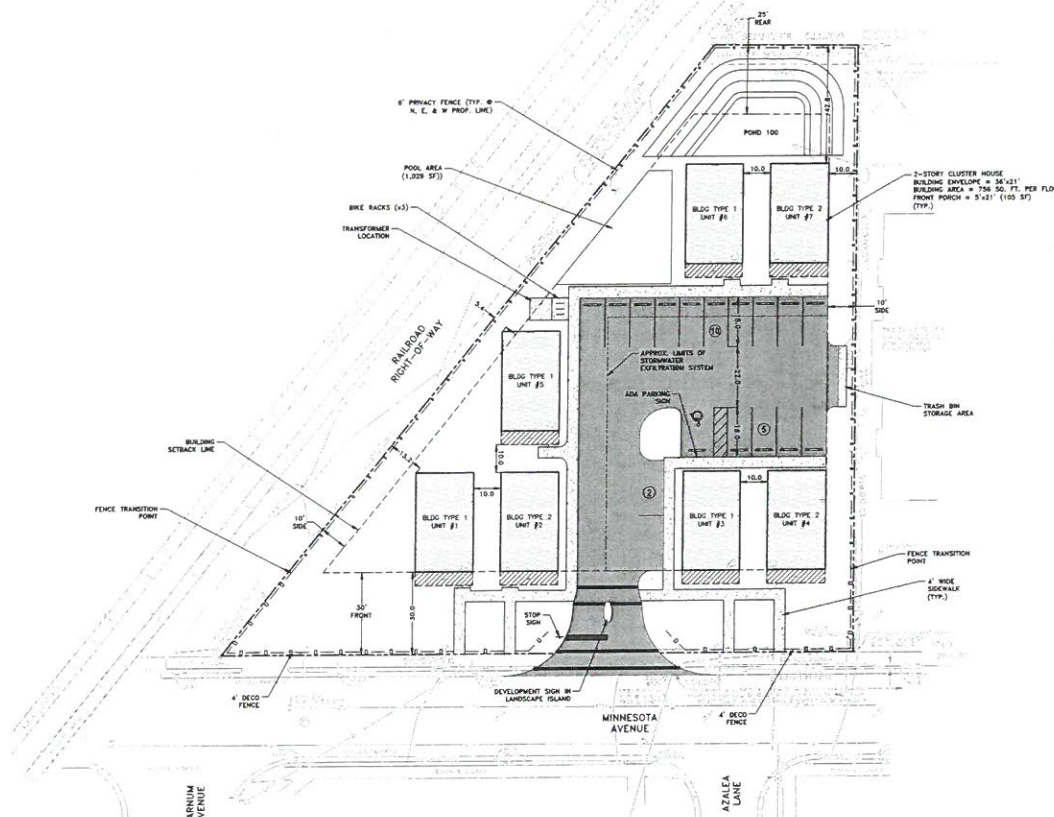
Surveyor's Certification
I, **DAVID L. HARRIS**, being duly sworn, depose and say that I am a duly licensed Professional Surveyor and Mapper in the State of Florida, License No. **12995**, and that I have personally supervised and participated in the making of the above described survey, and that the same is a true and correct representation of the facts as the same exist.

DATE	1/12/16
PROJECT	741 MINNESOTA AVE. WINTER PARK, FL.
CLIENT	WEKIVA CAPITAL PARTNERS, LLC
DATE	1/12/16
PROJECT	741 MINNESOTA AVE. WINTER PARK, FL.
CLIENT	WEKIVA CAPITAL PARTNERS, LLC
DATE	1/12/16
PROJECT	741 MINNESOTA AVE. WINTER PARK, FL.
CLIENT	WEKIVA CAPITAL PARTNERS, LLC

SCALE 1" = 20'
JOB # OCA-67D SHEET 1 OF 1



SITE DATA	
PARCEL INFORMATION	
PARCEL ID#:	05-22-30-9400-99-[190, 170]
OWNER:	GLADYS P. ELLIS
CONTRACT PURCHASER:	WEKIVA CAPITAL PARTNERS, LLC
PROPERTY ADDRESS:	741 & 751 MINNESOTA AVENUE
MUNICIPALITY:	CITY OF WINTER PARK
CURRENT ZONING:	R-2 - LOW DENSITY RESIDENTIAL
FUTURE LAND USE:	LOW DENSITY RESIDENTIAL (LDR)
ADJACENT ZONING:	N: R-2; E: R-2; S: R.D.W.; W: POP
ADJACENT FUTURE LAND USE:	N & E: LDR; S & W: R.O.W.
EXISTING LAND USE:	VACANT
PROPOSED PROJECT INFORMATION	
DEVELOPMENT TYPE:	CLUSTER HOUSING
NUMBER OF UNITS:	7
INDIVIDUAL BUILDING AREA (EXCLUDES PORCH):	754 SF
TOTAL BUILDING AREA:	5,292 SF
INDIVIDUAL PORCH AREA:	105 SF
TOTAL PORCH AREA:	735 SF
IMPERVIOUS AREA (EXCLUDES BLDG & PORCH):	10,393 SF
GENERAL DEVELOPMENT STANDARDS	
MINIMUM LAND AREA:	13,000 SF
ACTUAL LAND AREA:	30,958 SF OR 0.71 AC
MINIMUM LOT WIDTH:	70 FT
ACTUAL LOT WIDTH:	229 FT
MINIMUM LAND AREA/UNIT:	4,000 SF
PROPOSED LAND AREA/UNIT:	4,423 SF (50,955SF / 7 UNITS)
MAXIMUM BUILDING COVERAGE:	35%
PROPOSED BUILDING COVERAGE (EXCLUDES PORCH):	17.1% (5,292SF / 30,955SF)
MAXIMUM FLOOR AREA RATIO:	55%
PROPOSED FLOOR AREA RATIO:	34.2% (5,292SF x 2 - STY / 30,955SF)
MAXIMUM IMPERVIOUS COVERAGE:	65%
PROPOSED IMPERVIOUS COVERAGE:	53.0% ((5,292SF + 735SF + 10,393SF) / 30,955SF)
MAXIMUM BUILDING HEIGHT:	30 FT
PROPOSED BUILDING HEIGHT:	29'-1 1/2"
MAXIMUM BUILDING STORIES:	2
PROPOSED BUILDING STORIES:	2
PARKING CALCULATIONS	
VEHICLE PARKING REQUIREMENT:	2.5 SPACES / UNIT
MINIMUM PARKING SPACES:	17
PROPOSED PARKING SPACES:	17 (16 STANDARD + 1 ADA)
REQUIRED ADA SPACES:	1
PROVIDED ADA SPACES:	1
BICYCLE PARKING REQUIREMENT:	1 SPACE / 3 UNITS
MINIMUM BICYCLE PARKING:	3
PROVIDED BICYCLE PARKING:	3
FEMA FLOOD ZONE INFORMATION	
FEMA FLOOD ZONE DESIGNATION:	ZONE "X"
MAP PANEL NUMBER:	12095C 0255 F
MAP REVISION DATE:	SEPTEMBER 25, 2009



LEGEND:

- CONCRETE
- ASPHALT
- BUILDING
- PORCH
- ① PARKING COUNT

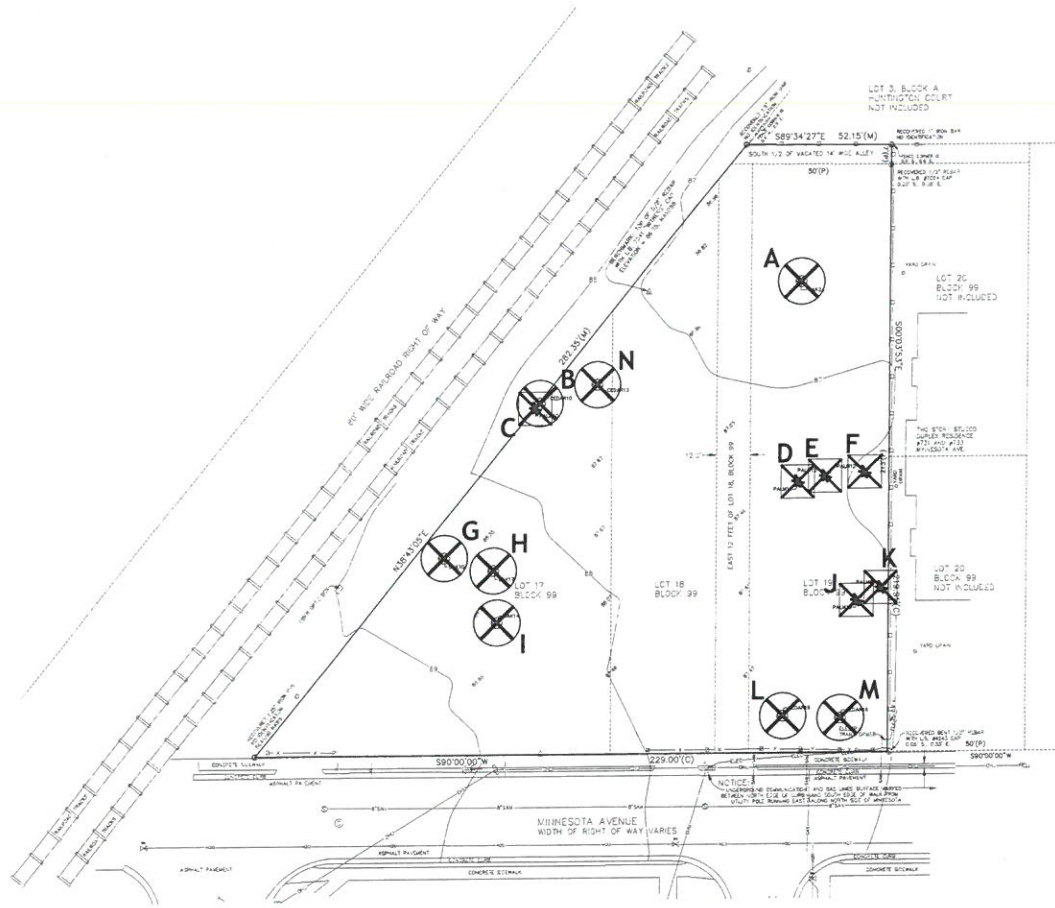
- NOTES:**
- VARIANCE IS REQUESTED TO ALLOW 5' BUILDING SETBACK ALONG THE WEST PROPERTY LINE WHICH ABUTS THE RAILROAD RIGHT-OF-WAY.
 - SITE LIGHTING WILL BE PROVIDED THROUGHOUT THE PARKING LOT UPON APPROVAL OF THE SITE PLAN. THE SITE LIGHTING WILL BE DESIGNED TO COMPLY WITH THE CITY OF WINTER PARK CODE.
 - INDIVIDUAL MAIL BOXES ARE PROPOSED TO BE PROVIDED FOR EACH UNIT.
 - INDIVIDUAL WASTE BINS ARE PROPOSED TO BE PROVIDED FOR EACH UNIT.
 - BUILDING TYPE 1 AND TYPE 2 ARE THE SAME BUILDINGS JUST MIRRORRED. BUILDING TYPE 1 HAS THE FRONT DOOR ON THE RIGHT SIDE AND TYPE 2 HAS THE FRONT DOOR ON THE LEFT SIDE.
 - PER DISCUSSION WITH CITY PLANNING STAFF, TRAFFIC PRODUCED FROM THIS PROJECT WILL BE DEEMINUS AND A TRAFFIC ANALYSIS IS NOT REQUIRED.



TABLE NOTES:
 1. VARIANCE IS REQUESTED TO ALLOW 5' BUILDING SETBACK ALONG THE WEST PROPERTY LINE WHICH ABUTS THE RAILROAD RIGHT-OF-WAY.
 2. CODE SECTION 20-8B(5) "E" WHEN THE COMPARISON RESULTS IN A REQUIREMENT FOR A FRACTIONAL SPACE, A FRACTION OF ONE-HALF OR LESS SHALL BE DISREGARDED. WHEN THE FRACTION EXCEEDS ONE-HALF, ONE ADDITIONAL OFF-STREET PARKING SPACE WILL BE REQUIRED...

revision	description	date

drawn by: RAR
 checked by: RAR
 date: 6/01/10
 plot scale: AS SHOWN
 project number: JWVK3061
 file name: 091009-01-001 PLAN.dwg

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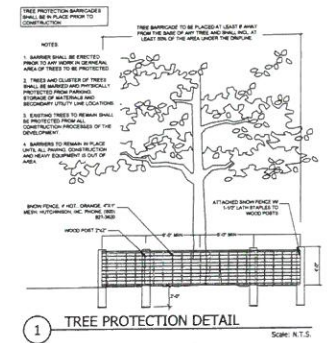


- LEGEND**
-  TREE TO BE REMOVED AND MITIGATED
 -  TREE TO BE REMOVED

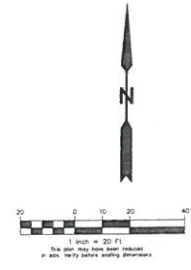
Winter Park, Florida, Code of Ordinances
 PART II - CODE OF ORDINANCES Chapter 58 - LAND DEVELOPMENT CODE
 ARTICLE V - ENVIRONMENTAL PROTECTION REGULATIONS DIVISION 6, TREE
 PRESERVATION AND PROTECTION SECTION 58-287. REPLACEMENT OF
 PROTECTED TREES SHALL REQUIRE REPLACEMENT BY ONE OR TWO TREES WITH
 A DBH EQUAL TO OR GREATER THAN THREE INCHES BASED ON THE CALIPER
 INCH MEASUREMENT OF THE TREE TO BE REMOVED. IF THE DBH OF THE TREE
 TO BE REMOVED IS LESS THAN 19 INCHES, THEN ONE REPLACEMENT TREE IS
 REQUIRED TO BE REPLANTED. IF THE DBH OF THE TREE TO BE REMOVED IS 19
 INCHES, THEN TWO REPLACEMENT TREES ARE REQUIRED TO BE REPLANTED.

TREE REMOVAL CHART		
ID	SIZE/DBH	TYPE
A	24"	OAK
B	10"	CEDAR
C	10"	PALM
D	12"	PALM
E	12"	PALM
F	12"	PALM
G	10"	OAK
H	17"	OAK
I	14"	OAK
J	10"	PALM
K	8"	PALM
L	16"	CEDAR
M	16"	CEDAR
N	13"	CEDAR

8 TREES	9- 3" CALIPER TREES REQUIRED FOR REPLACEMENT
---------	--



1 TREE PROTECTION DETAIL Scale: N.T.S.



Seal
 Mary Katherine Magley
 State of Florida Lic. No. LA 9001275



10000 Lakeshore Blvd., Winter Park, Florida 32789
 351 E. Main Street, Suite 100, Winter Park, Florida 32789

THE STANDARD
 Winter Park, Florida



Revisions:

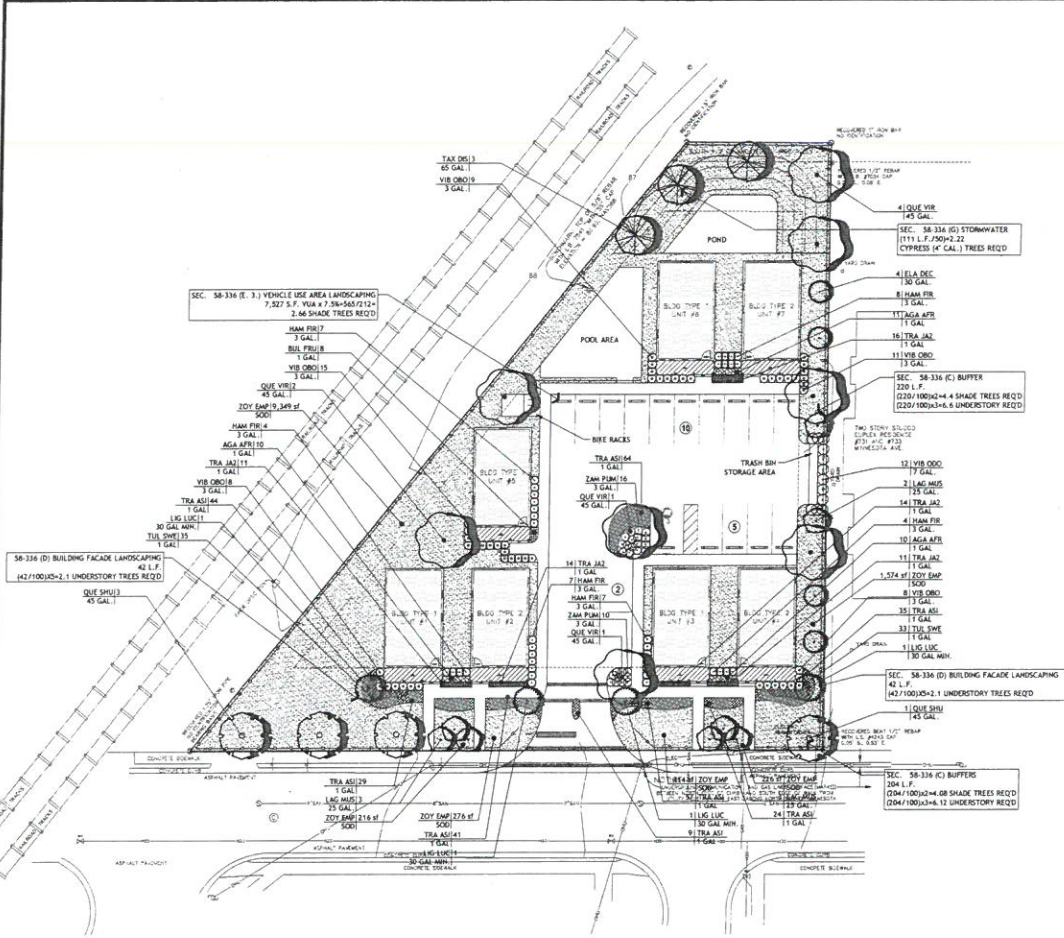
No.	Date:

Date: JUNE 1, 2016
 Scale: AS SHOWN
 Project Number: MD 1627

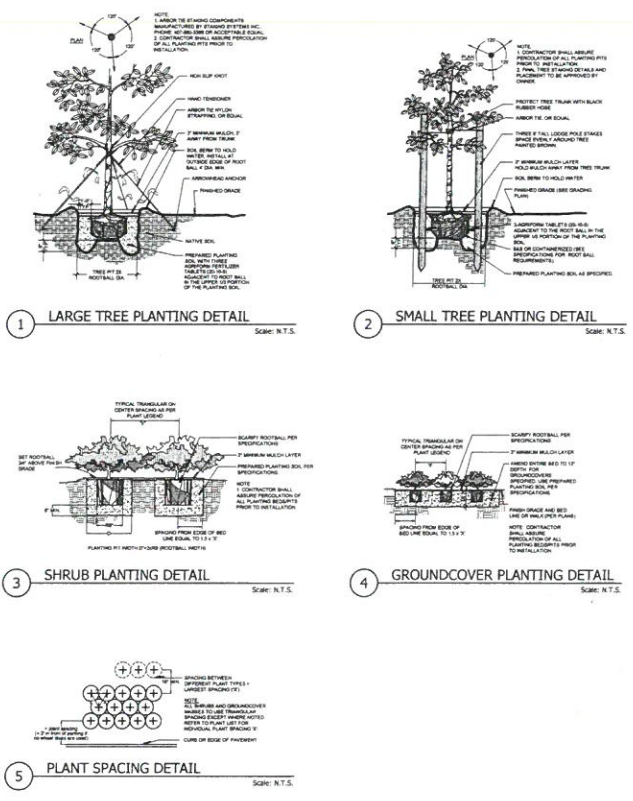
Sheet Title:
TREE MITIGATION PLAN

Sheet Number:
TM1

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PLANT SCHEDULE									
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPECIFICATION	WATER USAGE	NATIVE	REMARKS	
ELA DEC	4	ELAEAGARUS SCURPIENS TM	JAPANESE BLUEBERRY TREE	30 GAL.	2" CAL MIN 8' H X 3" S	MEDIUM	NO	SINGLE, STRAIGHT TRUNK, FULL	
LIG LUC	8	LIGUSTRUM LUCIDUM	LAVENDER CRAP MYRTLE	25 GAL.	2" CAL MIN 8' H X 5" S	LOW-MEDIUM	NO	MULTI TRUNK, FULL	
LIG LUC	4	LIGUSTRUM LUCIDUM	GLORY PINNAC	30 CAL MIN.	2" CAL MIN 17' CA	LOW	NO	MULTI TRUNK, FULL	
QUE SHU	4	QUERCUS VIRGINIANA	SHIGNARD RED OAK	45 GAL.	3" CAL MIN 12' H X 5" S	LOW	YES	SINGLE, STRAIGHT TRUNK, FULL	
QUE VIR	8	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	45 GAL.	3" CAL MIN 13' H X 6" S	LOW-MEDIUM	YES	SINGLE, STRAIGHT TRUNK, FULL	
TAX DIS	3	TAXODIUM DISTICHUM	BALD CYPRESS	45 GAL.	4" CAL MIN 14' H X 6" S	LOW	YES	SINGLE, STRAIGHT TRUNK, FULL	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPECIFICATION	WATER USAGE	NATIVE	REMARKS	
HAM FIR	37	HAMELIA PATENS	FIRE BUSH	3 GAL.	24" H X 18" S	LOW-MEDIUM	YES	FULL	
VIB OBO	51	VIBURNUM OBOVATUM	WALTER S. VIBURNUM	3 GAL.	22" H X 18" S	LOW	YES	FULL	
VIB OBO	12	VIBURNUM COCCINNEOSUM	SWEET VIBURNUM	3 GAL.	20" H X 24" S	LOW	NO	FULL	
EMM FRU	28	ZANNA PUNICA	COQUITE	3 GAL.	12" H X 12" S	LOW	YES	FULL	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPECIFICATION	WATER USAGE	NATIVE	SPACING	REMARKS
AGA APR	31	AGAPANTHUS AFRICANUS	LILY OF THE NILE	1 GAL.	12" O.A.	MEDIUM	NO	18" O.C.	FULL
BUL FRU	8	BALISIA FALCATA	STALLED BELLSHINE	1 GAL.	12" O.A.	LOW	NO	18" O.C.	FULL
TRA ASI	303	TRACHELOSPERMUM ASIATICUM	OWAF JASMINE	1 GAL.	10" H X 12" S	LOW-MED	NO	18" O.C.	FULL, 3 RUNNERS MIN.
TRA JAZ	66	TRACHELOSPERMUM JASANOIDES	CHEESE STAR JASMINE	1 GAL.	18" GA	LOW-MED	NO	18" O.C.	FULL, 3 RUNNERS MIN.
TUL SWE	68	TULBACHIA FRAGRANS	SWEET GARLIC	1 GAL.	10" GA	LOW-MED	NO	15" O.C.	FULL
SOD	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPECIFICATION	WATER USAGE	NATIVE	SPACING	REMARKS
ZDY EMP	12,054 SF	ZOYSIA JAPONICA EMPIRE	KOREAN GRASS	500	PALLET	LOW-MED	NO		CLEAN AND WEED FREE



Seal
 Mary Katherine Magry
 State of Florida Lic. No. LA 2001373



Registered Professional Landscape Architect
 5811 Westpark Dr. Suite 100
 Dallas, TX 75240

THE STANDARD
 Winter Park, Florida

Sunstine 811.com

Revisions:
 No. Date:

Date: JUNE 3, 2016

Scale: AS SHOWN

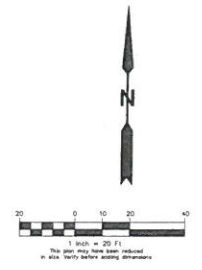
Project Number: MD 1627

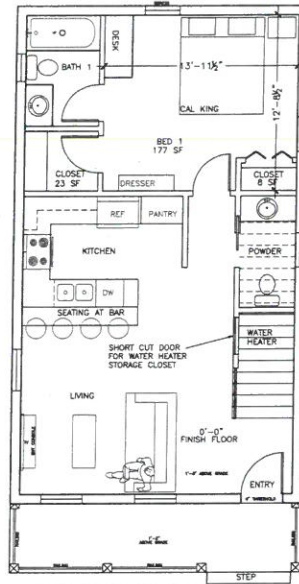
Sheet Title:

CONCEPTUAL
 LANDSCAPE
 PLAN

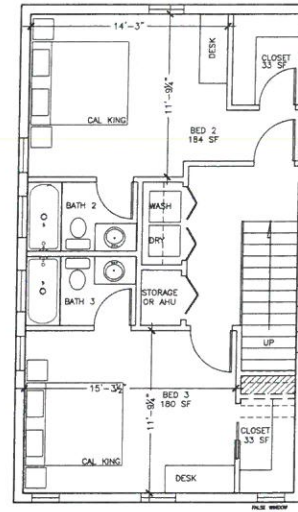
Sheet Number:

L1

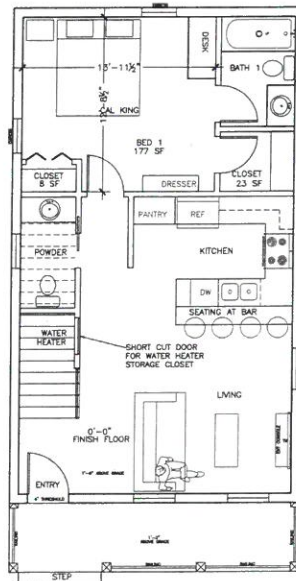




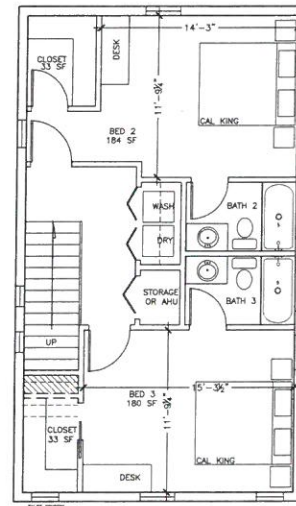
**1ST FLOOR PLAN
TYPE 1**



**2ND FLOOR PLAN
TYPE 1**



**1ST FLOOR PLAN
TYPE 2**



**2ND FLOOR PLAN
TYPE 2**

ISSUED FOR	
DATE	

**LAMAR DESIGN
INCORPORATED**
 Thomas B. Lamar II, M.Arch.
 10000 W. Lake Nona Blvd., Suite 100
 Winter Park, FL 32789
 407-842-3882

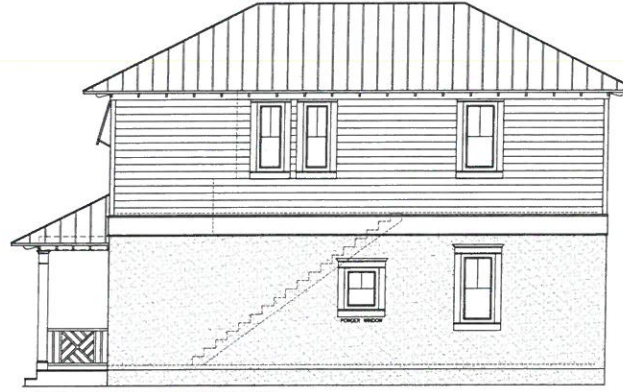
"THE STANDARD"
 PROPOSED FLOOR PLANS
 TYPE 1 AND TYPE 2
 WINTER PARK, FL 32789

DRAWN	IL
DATE	1 JUNE 2016
CHKD	IL
SHEET SCALE	1/4" = 1'-0"
PROJECT NO.	160514
SHEET NO.	

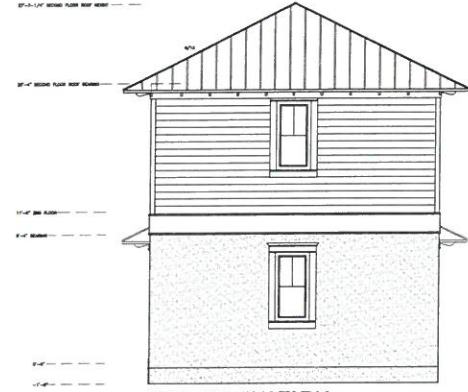
A-1



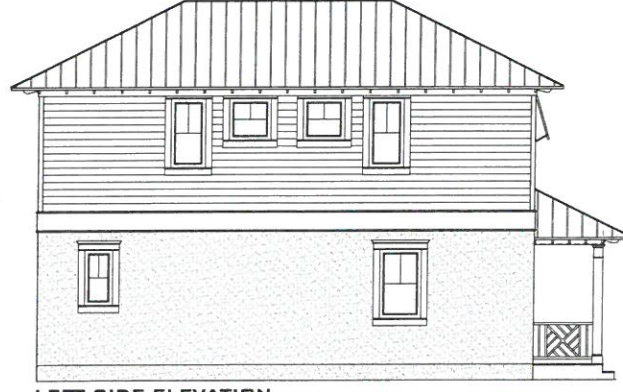
FRONT ELEVATION
TYPE 1
STUCCO WITH LAP OPTION



RIGHT SIDE ELEVATION
TYPE 1
STUCCO WITH LAP OPTION

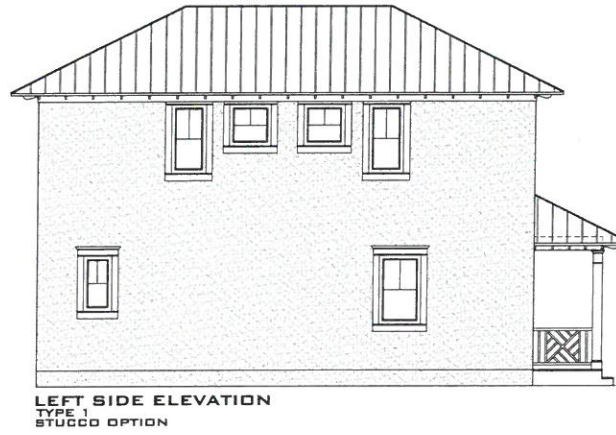
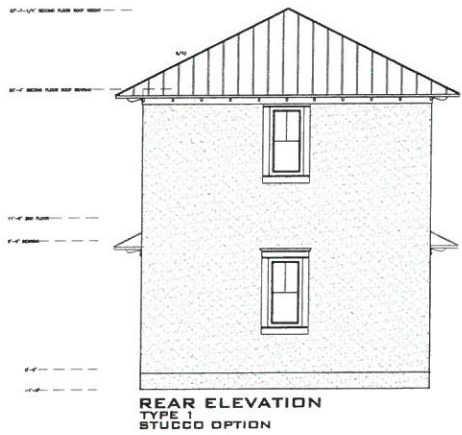
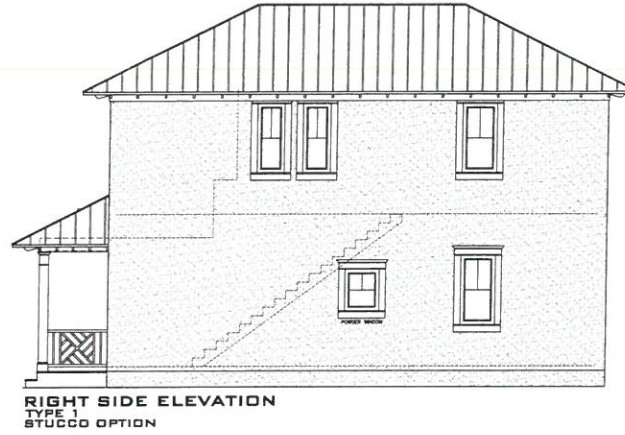
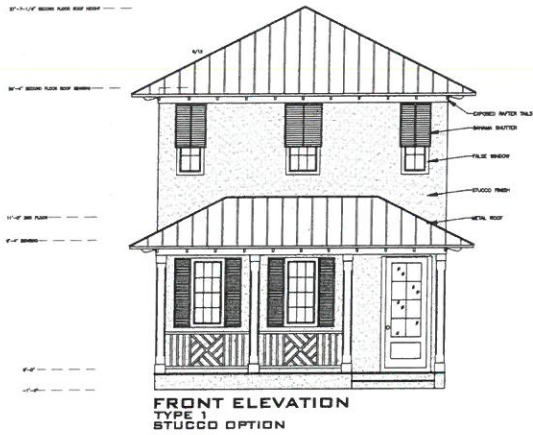


REAR ELEVATION
TYPE 1
STUCCO WITH LAP OPTION



LEFT SIDE ELEVATION
TYPE 1
STUCCO WITH LAP OPTION

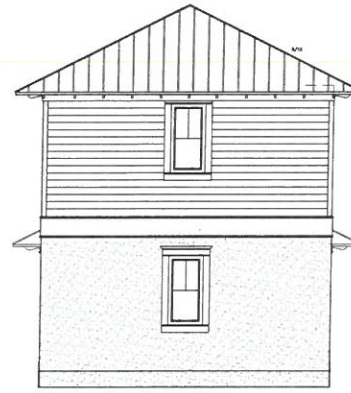
ISSUED FOR	
DATE	
LAMAR DESIGN INCORPORATED Thomas 1326 Palmetto Avenue Winter Park, FL 32789 407-643-5882	
"THE STANDARD" WINTER PARK, FL 32789	
PROPOSED ELEVATIONS TYPE 1 STUCCO AND LAP OPTION	
DRAWN	DL
DATE	1 APR 2014
CHKD	DL
SHEET SCALE	
1/4" = 1'-0"	
PROJECT NO.	
160514	
SHEET NO.	
A-2	



ISSUED FOR	
DATE	
LAMAR DESIGN AN INCORPORATED Thomas B. Lamar, P. E., M. Arch. 1328 Palmetto Avenue Winter Park, FL 32789 407-443-2822	
"THE STANDARD"	WINTER PARK, FL 32789
PROPOSED ELEVATIONS TYPE 1 STUCCO OPTION	
DRAWN BY	IS
DATE	1 JUNE 2016
CHECKED BY	IS
SHEET SCALE	
1/4" = 1'-0"	
PROJECT NO.	
160514	
SHEET NO.	
A-3	



RIGHT SIDE ELEVATION
TYPE 2
STUCCO WITH LAP OPTION



REAR ELEVATION
TYPE 2
STUCCO WITH LAP OPTION

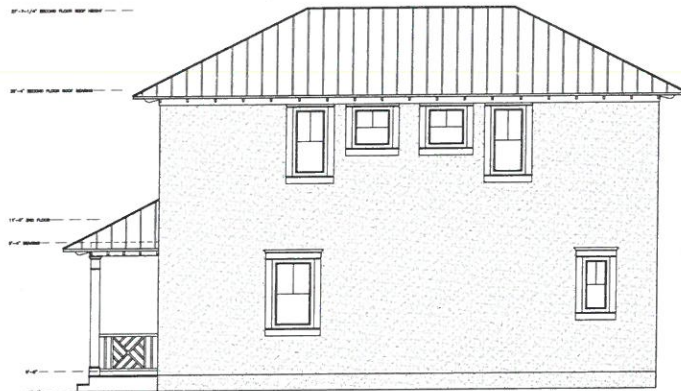


LEFT SIDE ELEVATION
TYPE 2
STUCCO WITH LAP OPTION

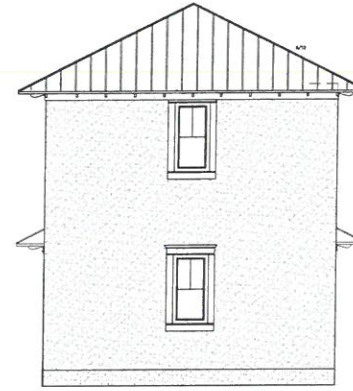


FRONT ELEVATION
TYPE 2
STUCCO WITH LAP OPTION

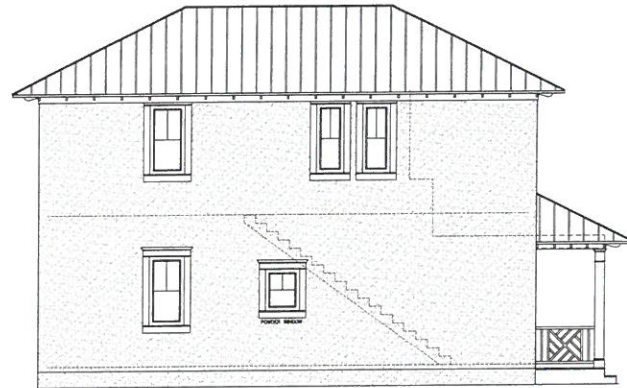
DATE	ISSUED FOR
LAMAR DESIGN INCORPORATED Thomas Lamar, P. E., Architect 1328 Park, FL 32789 Winter Park, FL 32789 407-640-5582	
"THE STANDARD" WINTER PARK, FL 32789	
PROPOSED ELEVATIONS TYPE 2 STUCCO AND LAP OPTION	
DRAWN	BY
DATE	1 JAN 2018
CHKD	BY
SHEET SCALE 1/4" = 1'-0"	
PROJECT NO. 160514	
SHEET NO.	
A-4	



RIGHT SIDE ELEVATION
 TYPE 2
 STUCCO OPTION



REAR ELEVATION
 TYPE 2
 STUCCO OPTION



LEFT SIDE ELEVATION
 TYPE 2
 STUCCO OPTION



FRONT ELEVATION
 TYPE 2
 STUCCO OPTION

DATE	ISSUED FOR

LAMAR DESIGN INCORPORATED
 Thomas R. Lamar II, March,
 Winter Park, FL 32789
 407-645-3582

"THE STANDARD"
 WINTER PARK, FL 32789

PROPOSED ELEVATIONS
 TYPE 2
 STUCCO OPTION

DRAWN	
DATE	1 JUNE 2018
CHKD	
SHEET SCALE	1/4" = 1'-0"
PROJECT NO.	160514
SHEET NO.	

A-5

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
July 5, 2016**

REQUEST OF THE INTERLACHEN NORTH PARTNERS, LLC
FOR: CONDITIONAL USE APPROVAL TO REDEVELOP THE PROPERTY AT 503 NORTH INTERLACHEN AVENUE WITH AN EIGHT UNIT, THREE STORY RESIDENTIAL PROJECT OF APPROXIMATELY 23,385 SQUARE FEET IN SIZE, ON PROPERTY ZONED R-3.

Interlachen North Partners, LLC are the new owners of the Casa Disena Apartment property at 503 N. Interlachen Avenue, which is zoned R-3. This request is for Conditional Use approval to redevelop this property with eight (8) new residential condominiums with a cumulative project size of up to 23,385 square feet, on this property zoned R-3. This is a Conditional Use because the building size exceeds 10,000 square feet.

Site and Zoning Parameters: This is a 21,165 square foot property (per survey) which based on 17/units per acre maximum density permits the eight units proposed. These eight new units will be condominiums with three units on the first two floors and then two units on the third floor. There are ten apartments in Casa Disena building that will be demolished.

Proposed Project: The project will be three stories in height. The total project size is 23,385 sq. ft. which is a FAR of 110.49% which is within the maximum R-3 FAR. The maximum lot coverage is 40% and the project has 7,860 square feet of building lot coverage which is 37.1%. The maximum impervious coverage is 70% and this project is at 60.8% (12,870 sq. ft.). Building height is shown at 35 feet per code including the parapet elements. There are also some architectural cornice elements added to the roofs for architectural interest that are 2 feet above the 35 foot height, which are permitted as architectural appendages.

The access to these condominiums is the common driveway down a ramp on the north side of the building into the basement parking level. In that below ground parking level are 20 parking spaces that include two spaces per unit and four visitor spaces which meet the parking requirements for 2½ spaces per unit.

Tree Preservation: Attached is the Existing Tree Survey and Tree Removal Plan for 503 N. Interlachen Avenue. All of the existing trees on the site are non-native, invasive trees that are not protected by the City except for the one 8" Weeping Yaupon Holly that is a multi-trunk tree, and one 24" Laurel Oak street tree located in the R.O.W. All of the trees will be removed except for the 24" laurel oak street tree. Based on the species of the larger trees, and size of the Weeping Yaupon, no compensation will be required. Attached also is the Landscape Plan that shows the proposed trees to be planted that include two live oaks, and thirteen holly trees. The perimeter walls will be planted with Fig Vine.

Storm Water Retention: The project intends to meet the storm water code for a 25 year storm event with above ground swales and also potentially a below ground exfiltration system for added volume within the open space green areas of the site. Full engineering of the required storm water retention system is required for the "final" CU review or may be delegated for approval to staff.

Applicable Comprehensive Plan Policies: There are two applicable policies in the Comprehensive Plan that relate to this project which are detailed below. The staff has previously mentioned in other conditional use requests, the Policy 1-3.8.6 from the Comprehensive Plan that "Except within the Central Business District geographical area, multi-family residential development within areas designated medium density residential (R-3) (the project) shall not exceed two stories in height unless approved via conditional use by the City Commission. In addition, such third floors must be entirely contained within a sloping roof having a maximum 12:12 roof slope". This location is within the Central Business District defined area so the vertical walls for the third floor are allowed and the applicant is not asking for an exception to the roof slope requirement.

Policy 1-3.8.6: Promote Appropriate Scale and Height for Medium Density Multi-Family Development. Except within the Central Business District geographical area, multi-family residential development within areas designated medium density residential (R-3) shall not exceed two stories in height unless approved via conditional use by the City Commission. In addition, such third floors must be entirely contained within a sloping roof having a maximum 12:12 roof slope.

Policy 1-3.6.4: Ensure Compatible Size, Form and Function are Achieved in Areas Designated Medium- and High-Density Residential. The City shall apply regulatory measures including, but not limited to, conditional use review process together with floor area ratio regulations within Medium and High-Density Residential designated areas in order to avoid land use compatibility conflicts due to dissimilar building types, size, mass, articulation, height, and other design features or ancillary loss of views, privacy, and access to light, as well as noxious impacts of traffic, noise, adverse changes in drainage patterns, and other negative effects of incompatible development. The conditional use process shall also be applied, together with other regulatory measures in managing land use issues surrounding the compatibility of the potentially negative impacts of transient accommodations on adjacent and nearby permanent residential areas.

Other Considerations: As P&Z is aware, special attention and due diligence is required with the excavation and construction of basement underground parking when in close proximity to other existing neighboring buildings. The staff is aware that this is a special concern of several adjacent neighbors to this project and so that P&Z will be aware, those neighbors have reached a private agreement with the applicants concerning those matters.

Summary: The conditional use request meets all the Comprehensive Plan and Zoning Code requirements and there are no variances or exceptions requested. The project has an attractive architectural appearance with garages/cars totally screened from view.

STAFF RECOMMENDATION IS FOR APPROVAL of both the Preliminary and Final Conditional Use approvals with the following conditions:

1. That the electric transformer/switch gear and all backflow preventers shall be located where least visible from a public street and shall also be landscaped so as to be effectively screened from view.
2. That a common area be provided (not in the right-of-way) for the placement of the 8 trash carts.
3. That the final storm water design be approved by the Public Works Dept.

OCPA Web Map


- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Florida turnpike
- Interstate 4
- Toll Road

- Proposed Ros
- Brick Road
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial/Institutional
- Governmental/Institutional
- Misc

- Parks
- Lakes and Rivers
- Building
- Block Number
- Waste Land

6 Lot Number
 06030 Parcel Number
 3106 Parcel Address
 111.9 Parcel Dimens

Courtesy Rick Singh, CFA, Orange County Property Appraiser



Map showing lots 25, 26, and 27 along E Swoope Ave. Lot 25 is highlighted in yellow. Lot 26 is highlighted in light blue. Lot 27 is highlighted in light green. Dimensions are shown for each lot.

E SWOOPE AVE

N KNOWLES AVE

N INTERLACHEN AVE

E CANTON AVE

N TON AVE

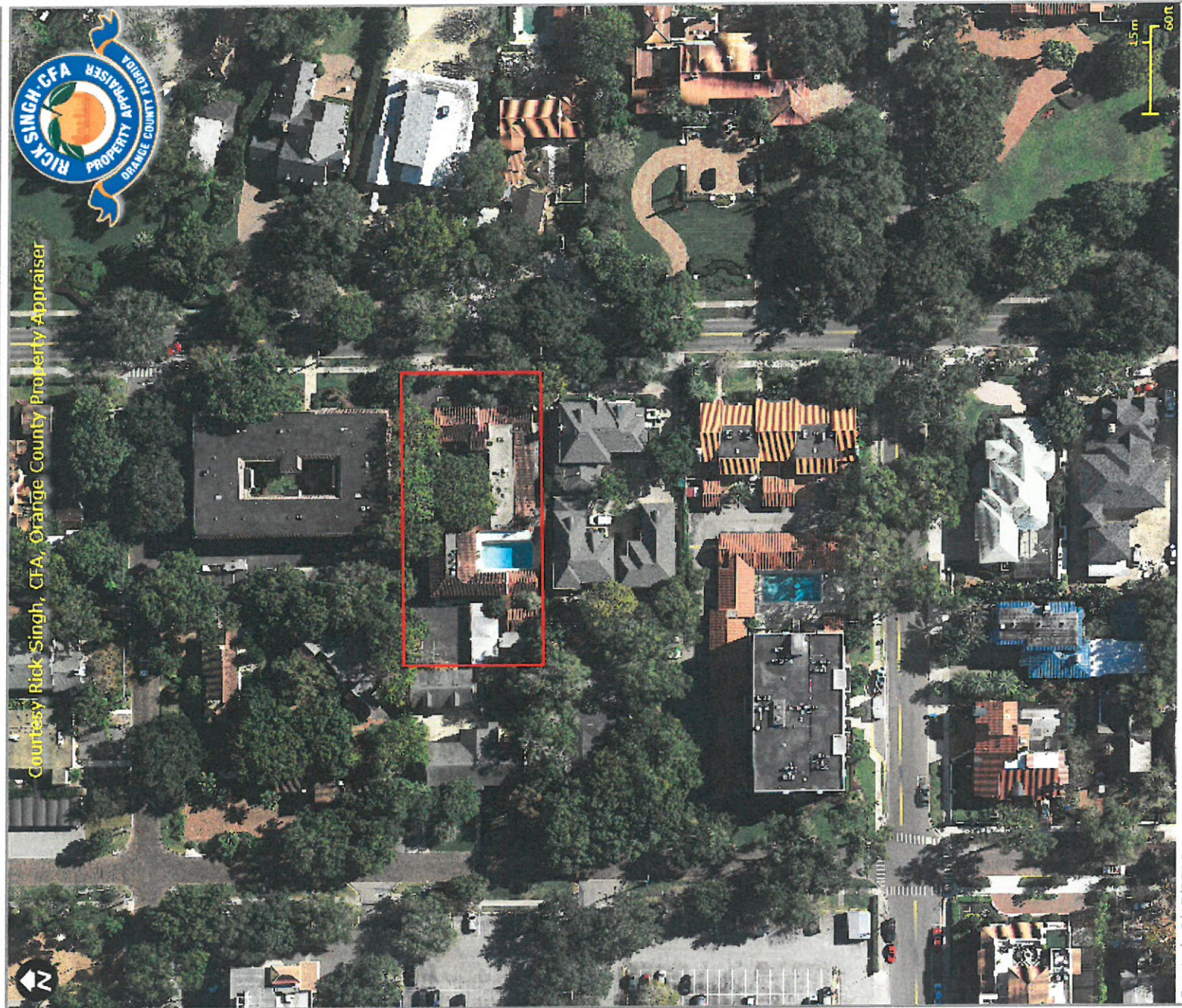


This map is for reference only and is not a survey.

Created: 6/17/2016

OCPA Web Map

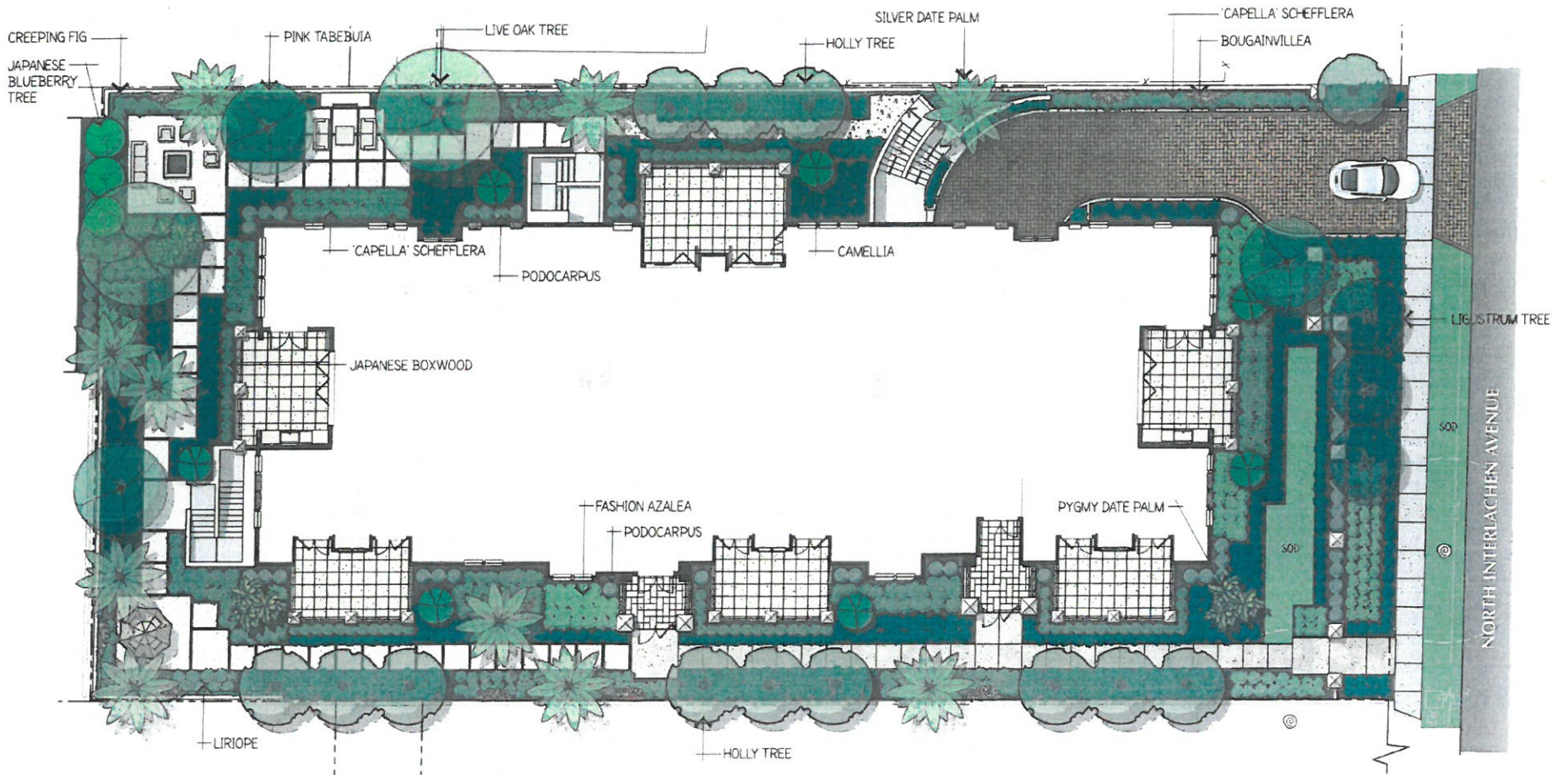
	Major Road		Proposed Road		Residential		Commercial		Parks		Lot Number
	Florida Turnpike		Brick Road		Agriculture		Vacant Land		Lakes and Rivers		Parcel Number
	Interstate 4		Block Line		Commercial/Institutional		Agricultural Curtilage		Building		Block Number
	Toll Road		Road Under Construction		Governmental/Institutional		Hydro		Waste Land		Parcel Dimension



Created: 6/17/2016

This map is for reference only and is not a survey.



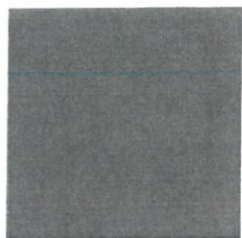


LANDSCAPE PLAN
NORTH INTERLACHEN
 WINTER PARK, FLORIDA



SW7005
PURE WHITE

SW6140
MODERATE
WHITE



SW7020
BLACK FOX



INTERLACHEN STREET ELEVATION

CONCEPTUAL COLOR ELEVATION
NORTH INTERLACHEN
16-012 6.3.16

NOTE: ALL COLORS BASED ON SHERWIN WILLIAMS.



UNIT A

NET A/C = 2,518 SF
 NET A/C (W/ STAIR, ELEV., LOBBY) = 2,783 SF
 GROSS = 3,312 SF
UNIT B

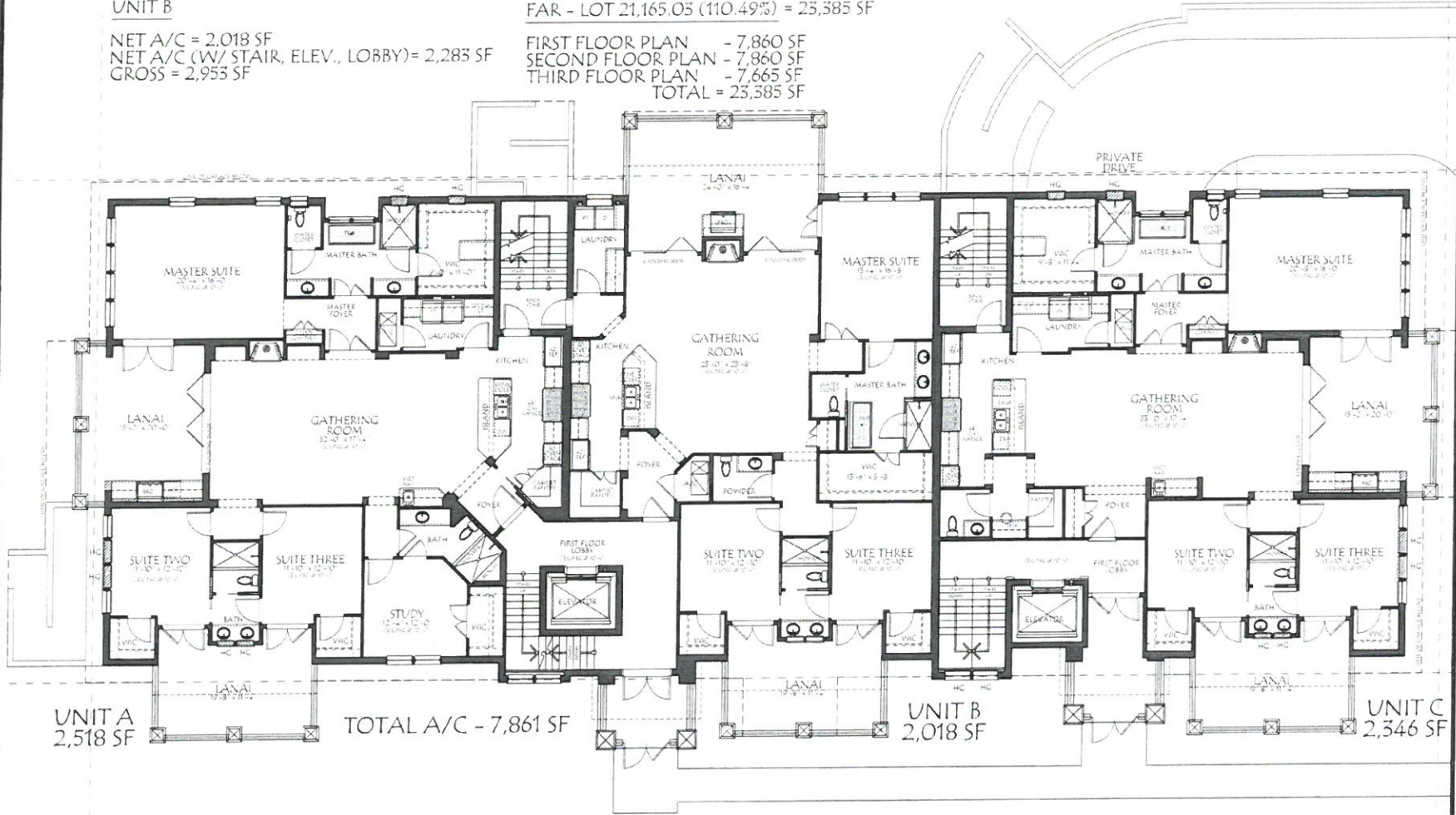
NET A/C = 2,018 SF
 NET A/C (W/ STAIR, ELEV., LOBBY) = 2,283 SF
 GROSS = 2,953 SF

UNIT C

NET A/C = 2,346 SF
 NET A/C (W/ STAIR, ELEV., LOBBY) = 2,795 SF
 GROSS = 3,443 SF

FAR - LOT 21,165.03 (110.49%) = 23,385 SF

FIRST FLOOR PLAN - 7,860 SF
 SECOND FLOOR PLAN - 7,860 SF
 THIRD FLOOR PLAN - 7,665 SF
 TOTAL = 23,385 SF



UNIT A
2,518 SF

TOTAL A/C - 7,861 SF

UNIT B
2,018 SF

UNIT C
2,346 SF

1 FIRST FLOOR PLAN - RESIDENTIAL
 SCALE 3/8" = 1'-0"

REVISIONS
 PERMIT SET
 XXX-XXX-XXX

SLOCUM PLATTS
 ARCHITECTS, P.A.



MANASSA, FLORIDA 33500
 415 SOUTH MAIN STREET, SUITE 1000
 TEL: (813) 791-1111
 WWW.SLOCUMPLATTS.COM

MALDEN, MASSACHUSETTS

FIRST FLOOR PLAN - RESIDENTIAL

INTERLACHEN NORTH
 A CONDOMINIUM

600 N. INTERLACHEN AVENUE, WINTER PARK, FLORIDA 32789

DESIGN
 LTB
 CHECKED BY
 JPM
 DATE
 06-03-10
 SCALE
 AS NOTED
 JOB NO.
 10-02
 SHEET

A2.2

UNIT D

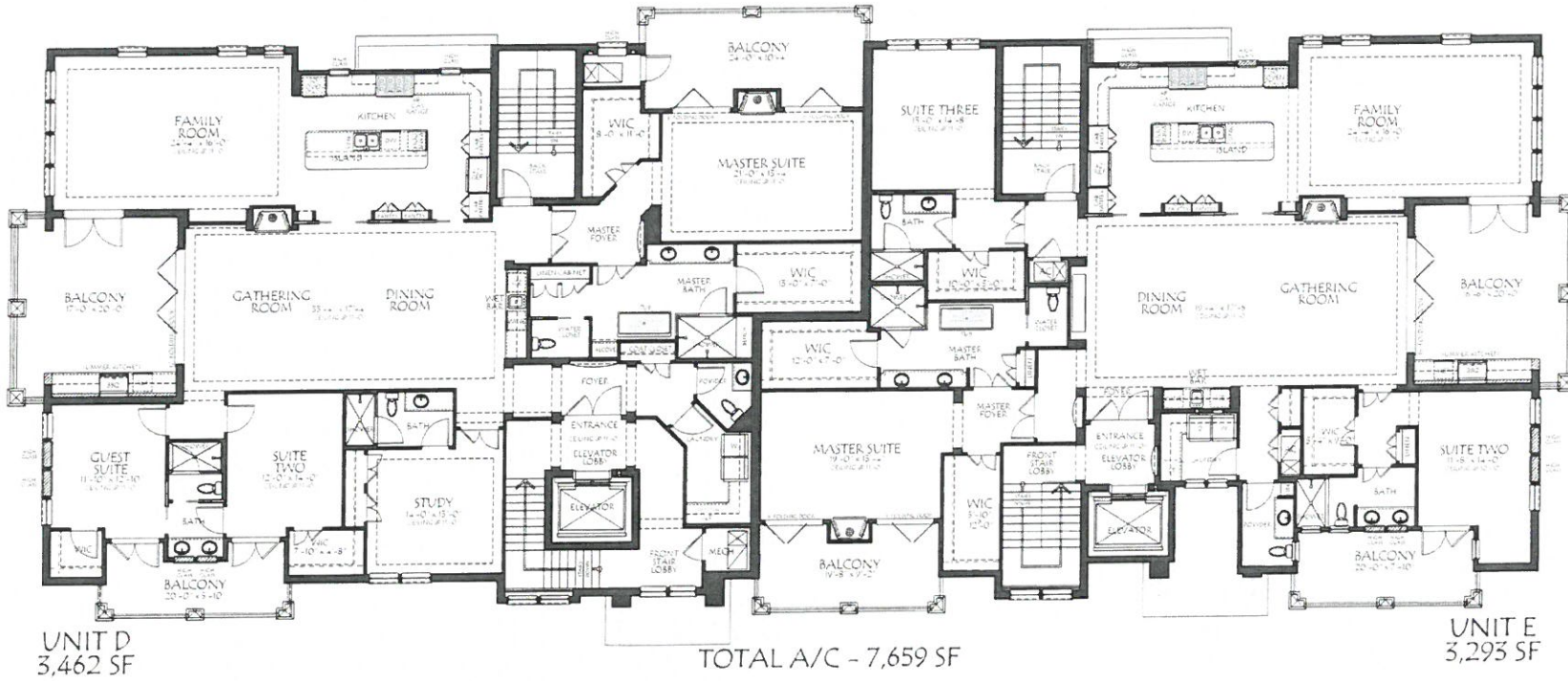
NET A/C = 3,462 SF
 NET A/C (W/ STAIR, ELEV., LOBBY) = 3,963 SF
 GROSS = 4,670 SF

UNIT E

NET A/C = 3,293 SF
 NET A/C (W/ STAIR, ELEV., LOBBY) = 3,696 SF
 GROSS = 4,352 SF

FAR - LOT 21,165.03 (110.49%) = 23,385 SF

FIRST FLOOR PLAN = 7,860 SF
 SECOND FLOOR PLAN = 7,860 SF
 THIRD FLOOR PLAN = 7,665 SF
 TOTAL = 23,385 SF



UNIT D
 3,462 SF

TOTAL A/C - 7,659 SF

UNIT E
 3,293 SF

① THIRD FLOOR PLAN - RESIDENTIAL PENTHOUSE LEVEL
 SCALE 3/8" = 1'-0"

REVISIONS	
PERMIT SET	
XX-XX-XX	

SLOCUM PLATTS
 ARCHITECTS, P.A.
 1000 W. WASHINGTON AVENUE, SUITE 1000
 WEST PALM BEACH, FLORIDA 33411
 TEL: (561) 833-3333
 WWW.SLOCUMPLATTS.COM

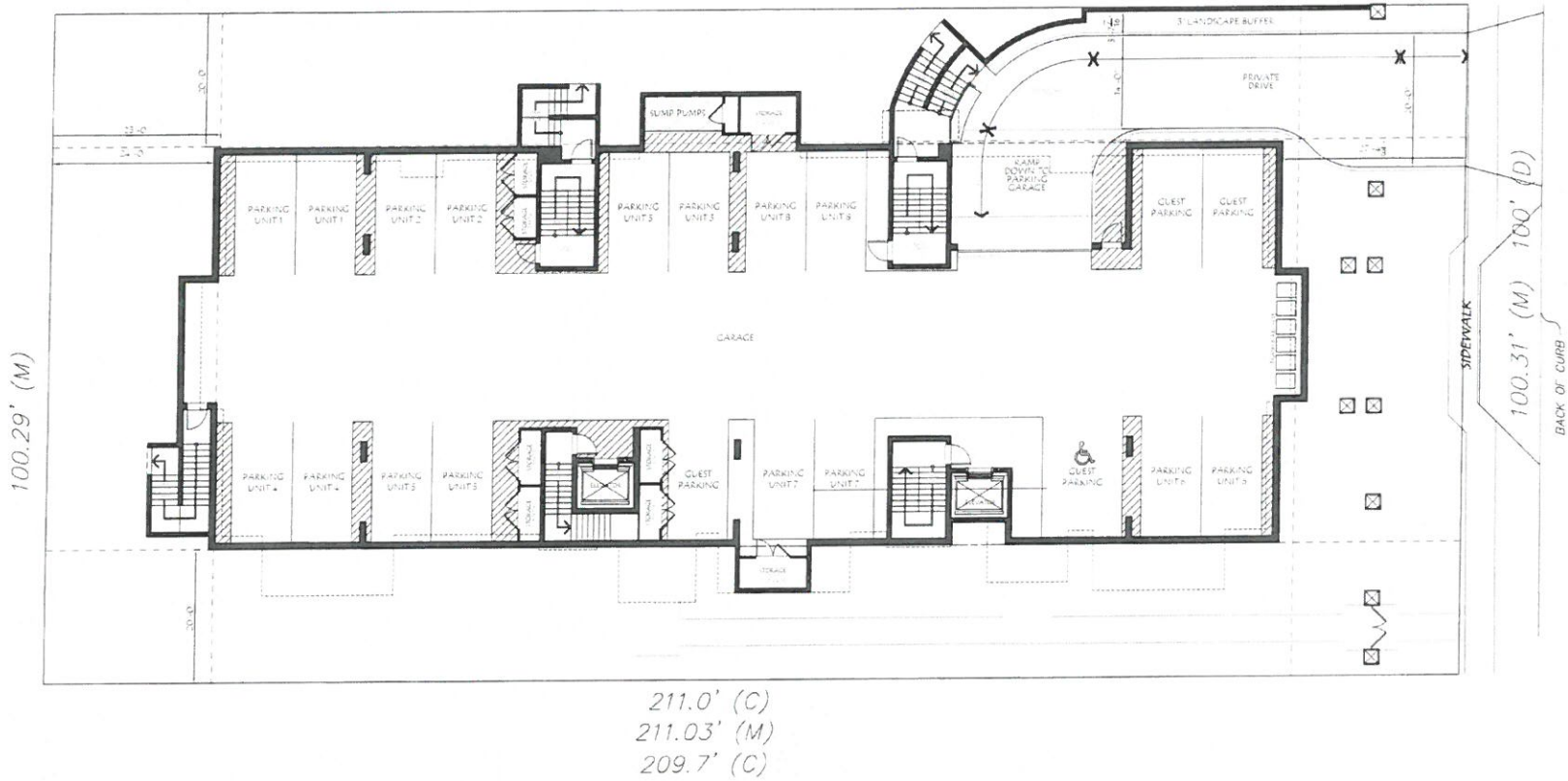
THIRD FLOOR PLAN - RESIDENTIAL
INTERLACHEN NORTH
 A CONDOMINIUM
 650 N. INTERLACHEN AVENUE, WINTER PARK, FLORIDA 32789

DRAWN	UTB
CHECKED	UTB
DATE	08-03-10
SCALE	AS NOTED
JOB NO.	10-02
SHEET	A2.4

IMPERVIOUS AREA CALCULATIONS AND BUILDING COVERAGE	
SITE AREA	2180 SF
BUILDING COVERAGE	
ALLOWABLE BUILDING COVERAGE (40%)	872 SF
COVERAGE SHOWN (57.38%)	1260 SF
IMPERVIOUS AREAS	
DRIVEWAY LANDSCAPE WALL AND STAIRS	174 SF
SIDE WALK AND ENTRANCES	70 SF
COLUMNS	24 SF
IMPERVIOUS ALLOWABLE (70%)	1428 SF
TOTAL IMPERVIOUS (ARCHITECTURAL SITE) EXCEEDS ALLOWABLE	832 SF

AREA CALCULATIONS	
SITE AREA	2180 SF
TANK PAV (70%)	2520 SF
PAV SHOWN (50.45%)	23380 SF
1ST FLOOR HVAC	1860 SF
2ND FLOOR HVAC	1860 SF
3RD FLOOR HVAC	1860 SF
TOTAL HVAC	5580 SF
GARAGE	(960 SF)
LANAI	(1000 SF)
BALCONIES	(2,100 SF)
TOTAL NON-HVAC	4,060 SF
NET TOTAL	31,900 SF

209.7' (C)
211.00' (M&C)



211.0' (C)
211.03' (M)
209.7' (C)

1 GARAGE FLOOR PLAN ON SITE
SCALE: 1/8" = 1'-0"

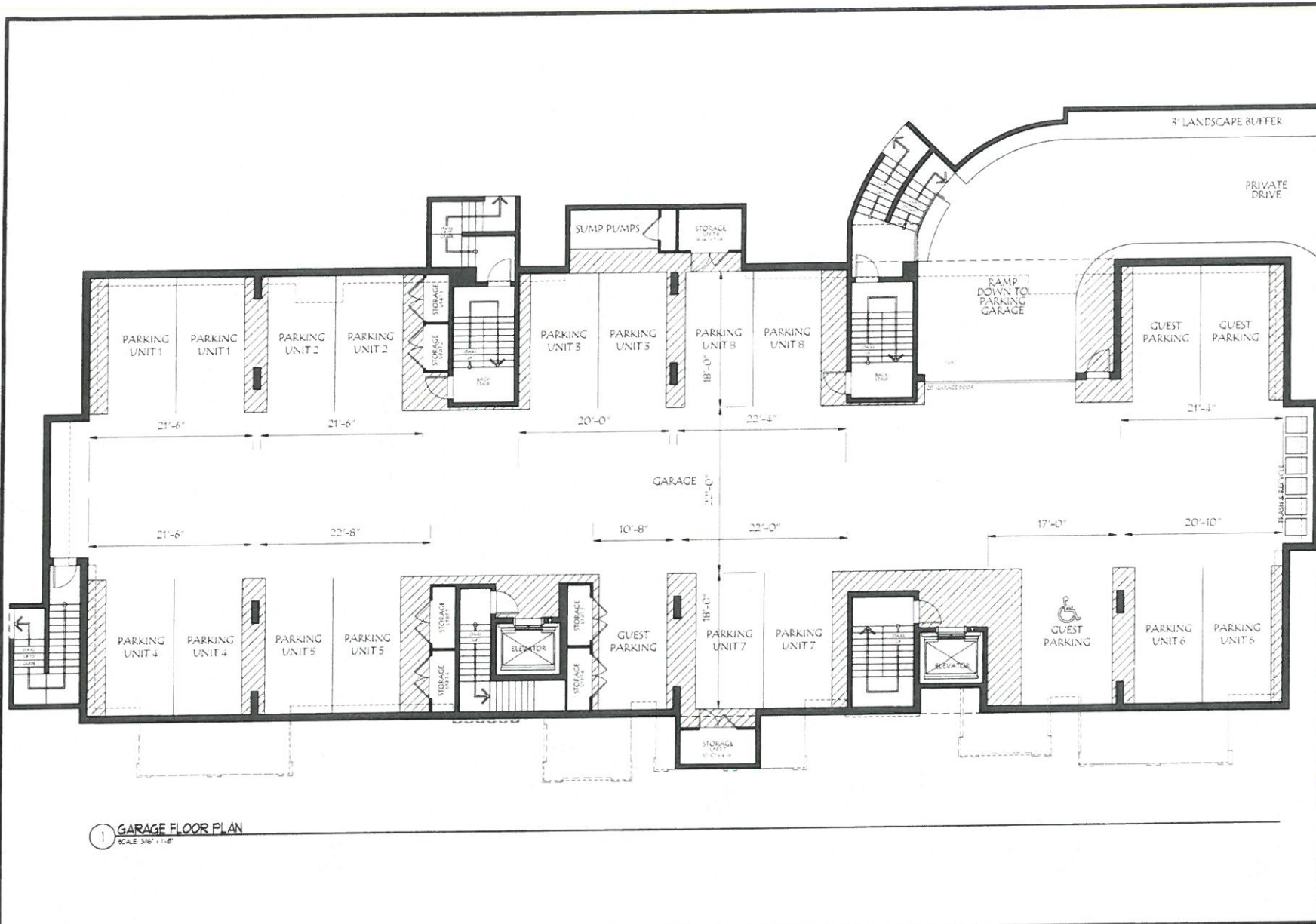
REVISIONS	
PERMIT SET	XX-XX-XX

SLOCUM PLATT
ARCHITECTS, P.A.
BARRELL J. SLOCUM 13388 WILLOW P. PLAZA #4 17022
415 NORTH W. 10TH ST. FORT MYERS, FL 33901
TEL: 889.344.3318 FAX: 889.344.3311
WWW.SLOCUMPLATT.COM



GARAGE FLOOR PLAN ON SITE
INTERLACHEN NORTH
A CONDOMINIUM
500 N. INTERLACHEN AVENUE, WINTER PARK, FLORIDA 32789

DRAWN	STB
CHECKED	STB
DATE	06-23-2016
SCALE	AS NOTED
JOB NO.	16-072
SHEET	A2.0



1 GARAGE FLOOR PLAN
SCALE 3/8" = 1'-0"

REVISIONS
PERMIT SET
XX-XX-XX

SLOCUM PLATT
ARCHITECTS, P.A.
MARSHALL L. SLOCUM AND JENNIFER WILLIAMS, P.L.L.C. ARCHITECTS
410 UNIVERSITY CITY CENTER
TEL: 404.524.3111 FAX: 404.524.3111
WWW.SLOCUMPLATT.COM

SP
ILLUSTRATION: JARROLD

GARAGE FLOOR PLAN
INTERLACHEN NORTH
A CONDOMINIUM
500 N. INTERLACHEN AVENUE, WINTER PARK, FLORIDA 32789

DRAWN	JTB
CHECKED	SP
DATE	06-03-2016
SCALE	AS NOTED
JOB NO.	16-02
SHEET	

A21

2'-0"
 11'-0"
 8'-11-0"
 55'-0"
 10'-8"
 10'-8"
 1'-0"



① EAST ELEVATION
 SCALE 1/4" = 1'-0"

REVISIONS

SLOCUM PLATT ARCHITECTS, P.A.

ANNUAL LICENSE NO. 12857 WILLIAM P. PLATT (BA 11/22/22)
 ANDREW J. SLOCUM (BA 11/22/22)
 TEL: (704) 844-2011 FAX: (704) 844-2771
 WWW.SLOCUMPLATT.COM

EAST ELEVATION

**NORTH INTERLACHEN AVE
 CONDOMINIUMS**

WINTER PARK
 FLORIDA

DRAWN	UTB
CHECKED	JSP
DATE	06-07-2016
SCALE	AS NOTED
JOB NO.	5-00
SHEET	A6.1



1 SOUTH ELEVATION - LEFT END
SCALE 1/4" = 1'-0"



1 SOUTH ELEVATION - RIGHT END
SCALE 1/4" = 1'-0"

REVISIONS	

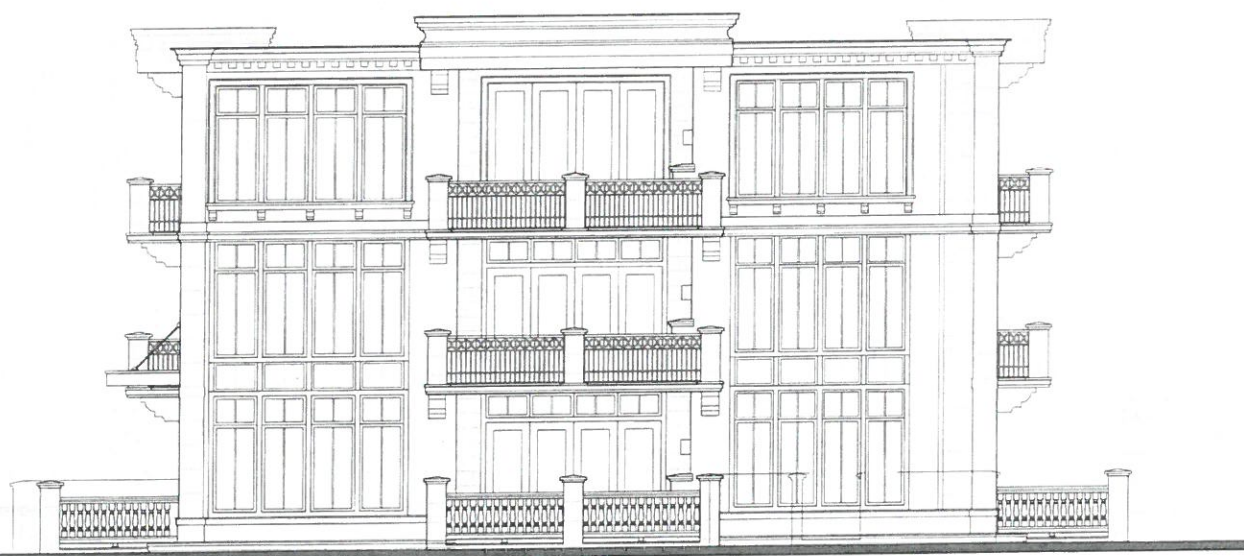
SLOCUM PLATTS
ARCHITECTS, P.A.

SP

RANDALL J. SLOCUM ARCHITECT
13000 WILLIAM P. PLATTEN AVENUE
FARMINGTON, CONNECTICUT 06031
TEL: (860) 442-3673 FAX: (860) 442-3771
WWW.SLOCUMPLATTS.COM

SOUTH ELEVATION
NORTH INTERLACHEN AVE
CONDOMINIUMS
FLORIDA
WINTER PARK

DRAWN	JTB
CHECKED	JFP
DATE	06-07-2016
SCALE	AS NOTED
FOR NO.	15-02
SHEET	A6.2



1 WEST ELEVATION
SCALE 1/4" = 1'-0"

REVISIONS

SLOCUM PLATT
ARCHITECTS, P.A.



470 NORTH OCEAN DRIVE, SUITE 100, PALM BEACH, FL 33480
 TEL: (561) 851-1000 FAX: (561) 851-2771
 WWW.SLOCUMPLATT.COM

SLOCUM PLATT ARCHITECTS, P.A.
REGISTERED ARCHITECTS

WEST ELEVATION
NORTH INTERLACHEN AVE
CONDOMINIUMS
 WINTER PARK
 FLORIDA

DRAWN	UTB
CHECKED	JFD
DATE	06-27-2016
SCALE	AS NOTED
JOB NO.	19-00
SHEET	A6.3



1 NORTH ELEVATION - LEFT END
SCALE 1/4" = 1'-0"



1 NORTH ELEVATION - RIGHT END
SCALE 1/4" = 1'-0"

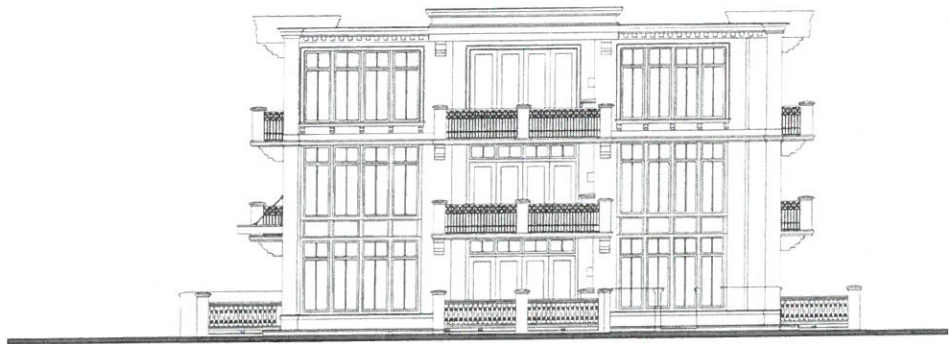
NO.	REVISIONS


SLOCUM PLATT
 ARCHITECTS, P.A.
BARRELL J. SLOCUM 13359 WILLIAM P. PLATT 1341 12142
 WINTER PARK FL 32789 TEL: (407) 444-3011 FAX: (407) 444-3771
 WWW.SLOCUMPLATT.COM

SLOCUM PLATT ARCHITECTS, P.A.
 ARCHITECTS, P.A.

SOUTH ELEVATION
NORTH INTERLACHEN AVE
CONDOMINIUMS
 WINTER PARK
 FLORIDA

DRAWN	JTB
CHECKED	JTB
DATE	06-07-2016
SCALE	AS NOTED
JOB NO.	5-212
SHEET	A6.4



1 WEST ELEVATION
SCALE 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE 1/4" = 1'-0"

REVISIONS	DATE	BY	APP'D

SLOCUM PLATT ARCHITECTS, P.A.
 MANALAPAN, FLORIDA 33408
 275 NORTH COLLEGE AVENUE, SUITE 100, MANALAPAN, FL 33408
 TEL: 561-241-1111
 WWW.SLOCUMPLATT.COM

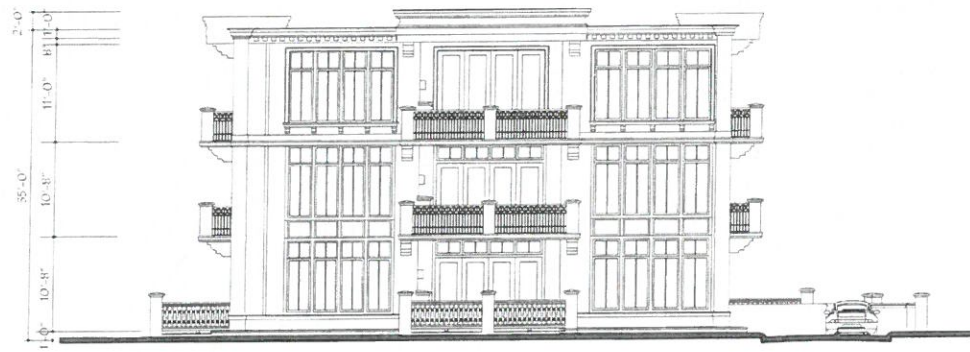


REGISTERED ARCHITECT
 FLORIDA

WEST + NORTH ELEVATIONS
 NORTH INTERLACHEN AVE.
 CONDOMINIUMS
 WINTER PARK
 FLORIDA

DATE	
SCALE	
BY	
APP'D	

A6.5



1 EAST ELEVATION
SCALE 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE 1/4" = 1'-0"

NO.	DESCRIPTION	DATE	BY

SLOCUM PLATT
ARCHITECTS, P.A.
 1000 W. WASHINGTON AVENUE, SUITE 1000, TAMPA, FL 33606
 TEL: 813.288.1111
 WWW.SLOCUMPLATT.COM

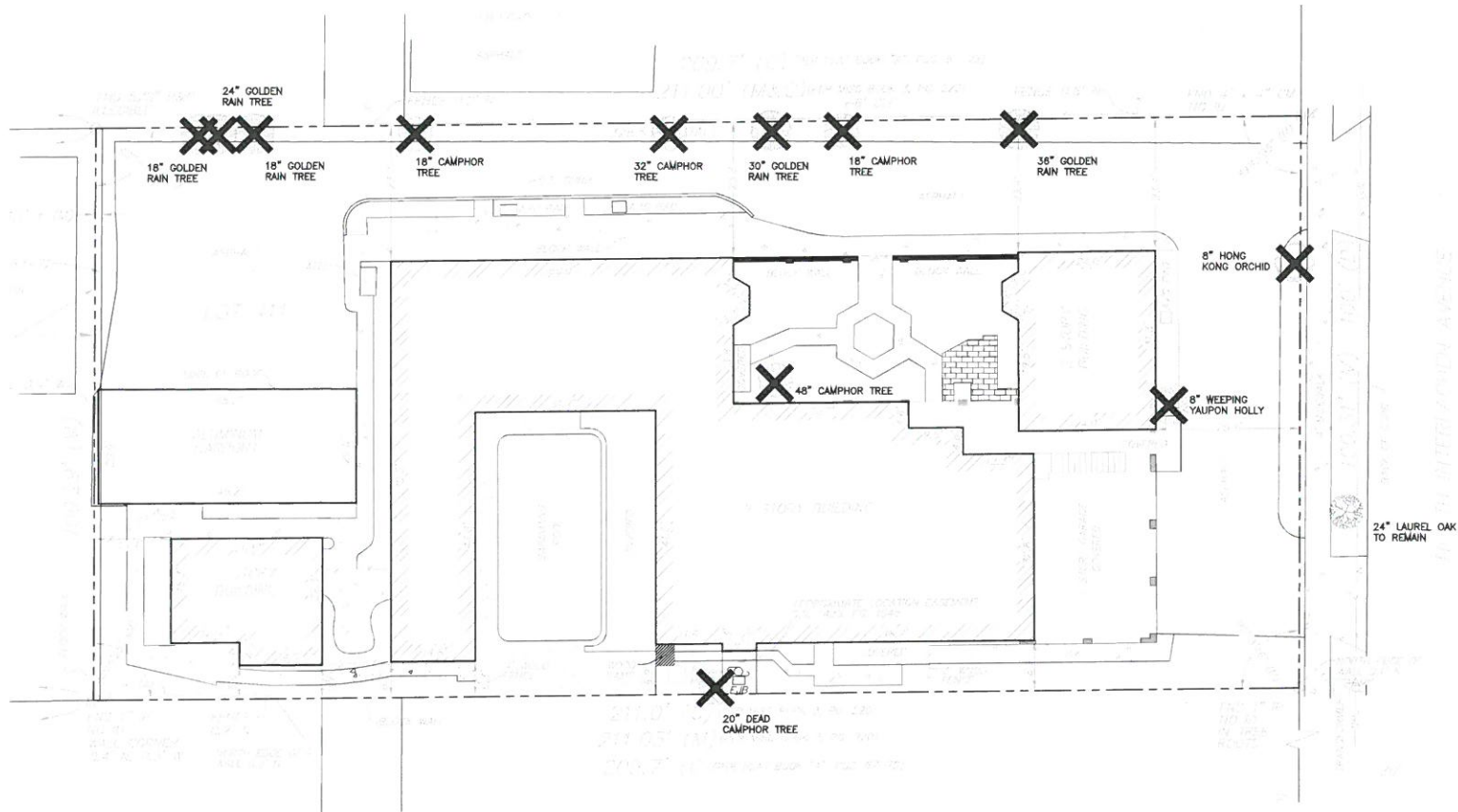


REGISTERED PROFESSIONAL ARCHITECT
 STATE OF FLORIDA
 NO. 12345

EAST + SOUTH ELEVATIONS
 NORTH INTERLACHEN AVE
 CONDOMINIUMS
 WINTER PARK
 FLORIDA

DATE	
BY	
CHECKED	
IN CHARGE	
SCALE	
PROJECT	

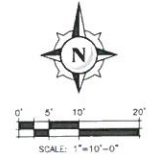
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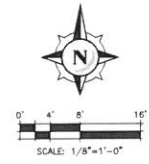
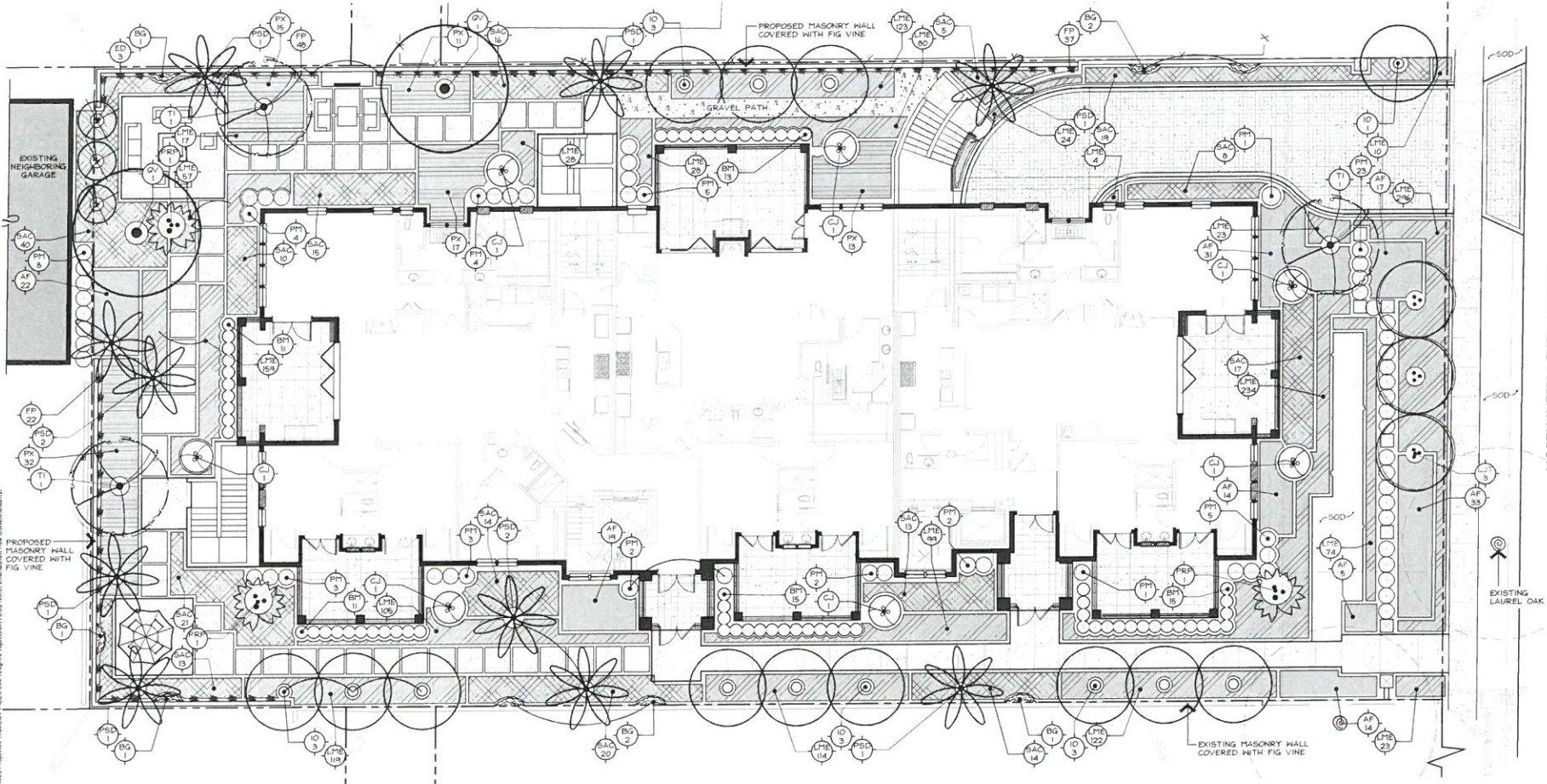


NO.	DATE	DESCRIPTION

EXISTING TREE SURVEY & REMOVAL PLAN
NORTH INTERLACHEN AVENUE CONDOMINIUMS
Prepared for: Interlachen North Partners, LLC
Winter Park, Florida

Ronnie J. Knight
L.A.-0000379
DESIGN BY: J. KNIGHT
DRAWN BY: R. GOOD
PROJECT NO: JK16.05
DATE: 21 APRIL 2016
SCALE: 1"=10'-0"





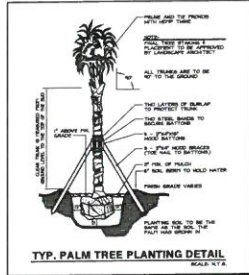
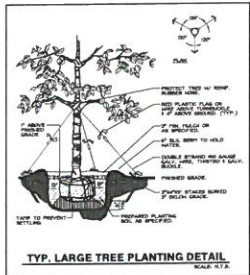
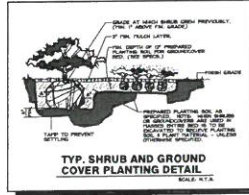
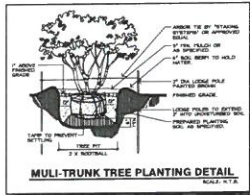
NORTH INTERLACHEN AVENUE
Landscape Plan
NORTH INTERLACHEN AVENUE CONDOMINIUMS
 Prepared for: Interlachen North Partners, LLC
 Winter Park, Florida



JOE KNIGHT
 Landscape Architects
 407.718.7399
 joe@joe-knight.com
 LA-0000379

REVISION	BY
LANDSCAPE REV. 04 JAN 2016	J.K.
ARCHIT. REV. 20 JUNE 2016	J.K.

Ronnie J. Knight
 L.A. 0000379
 DESIGN BY: J. KNIGHT
 DRAWN BY: R. GOOD
 PROJECT NO: JK16.05
 DATE: 21 APRIL 2016
 SCALE: 1/8"=1'-0"



GENERAL NOTES

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND ALL WORK AS CALLED FOR ON THE LANDSCAPE PLANS AND IN THE SPECIFICATIONS. THE LIST OF PLANT MATERIAL QUANTITIES ACCOMPANYING THE PLANS SHALL BE USED AS A GUIDE ONLY. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES AT THE TIME OF BIDDING.

ALL PLANT MATERIAL SHALL BE GRADED FLORIDA NO. 1 OR BETTER AS OUTLINED UNDER GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, STATE OF FLORIDA UNLESS OTHERWISE NOTED.

ALL PLANT BEDS SHALL BE TOP DRESSED WITH 1 1/2" OF PREMIUM QUALITY PINE BARK MULCH. PINE BARK MULCH SHALL BE TOLLING FOREST PRODUCTS, INC. "FIN PINE BARK NUGGETS" OR EQUAL.

ALL PLANT MATERIAL SHALL BE PROPERLY PLANTED WITH FRABLE TOPSOIL AND FERTILIZER MIXTURE CONTAINING AT LEAST 5% ORGANIC MATTER (HUMUS). FERTILIZER SHALL BE A COMPLETE BALANCED BLEND CONTAINING NITROGEN, PHOSPHORUS AND POTASSIUM, AS WELL AS MICRONUTRIENTS MAGNESIUM, IRON, COPPER, ZINC, BORON, AND MANGANESE SULFATE.

ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 180 DAYS.

LANDSCAPE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR THE STABILITY AND PLUMB CONDITION OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY THE INSTABILITY OF ANY PLANT MATERIALS. STAKING OF TREES AND SHRUBS, IF REQUIRED, SHALL BE DONE UTILIZING A METHOD AGREED UPON BY THE LANDSCAPE ARCHITECT.

LANDSCAPE CONTRACTOR SHALL REVIEW ARCHITECTURAL PLANS TO BECOME THOROUGHLY FAMILIAR WITH SURFACE AND SUB-SURFACE UTILITIES.

EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT AND FURNISHINGS. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN PROSECUTION OF THE WORK.

IRRIGATION:
THE IRRIGATION SYSTEM WILL PROVIDE 100% COVERAGE ON ALL LAWN AND LANDSCAPED AREAS, AND WILL MEET ALL APPLICABLE CODES.

PLANT LIST

SYM	QTY	BOTANICAL	COMMON	OC	SIZE	COMMENTS
TREES						
ED	3	ELAEOCARPUS DECIPENS	JAPANESE BLUEBERRY TREE 'STANDARD'	as shown	65 GAL.; 10'-12'x5'-6" S.P.; 3'-3 1/2" CAL.; FULL SPECIMEN FORM; 4" C.T. MIN.	--
IO	13	ILEX OPACA 'EAGLESTON'	HOLLY TREE	as shown	16'-18'x4'-8" S.P.; 5'-5 1/2" CAL.; SINGLE STR. TRK.; FULL SPECIMEN FORM	--
LJT	3	LIGUSTRUM JAPONICUM	TREE LIGUSTRUM	as shown	12'W/2" 3-5 MAIN TRKS.; WELL DEVELOPED SPECIMEN FORM	--
QV	2	QUERCUS VIRGINIANA	LIVE OAK	as shown	24'-26" X 12'-14" S.P.; 8" CAL.; SINGLE STRAIGHT TRUNK; WELL DEV. HEAD	--
TI	3	TABEBUIA IMPETIGINOSA	PINK TABEBUIA	as shown	14'-16" X 7'-8"; FULL WELL DEV. HEAD	--
PALMS						
PRP	3	PHOENIX ROEBELENI	PLYMOUTH DATE PALM	as shown	TRIPLE CROWN SPEC. FULL WELL DEV. CROWNS; 1 W/ 60" C.T.; 1 W/ 48" C.T.; 1 W/ 36" C.T.	--
PSD	10	PHOENIX SYLVESTRIS	SILVER DATE PALM	as shown	16" C.T.; MATCHING SPECIMENS	--
ACCENTS						
BG	8	BOUGAINVILLEA GLABRA	BOUGAINVILLEA	as shown	30 GAL. CONT.; BUSHY FORM; ON NURSERY TRELLIS	--
CJ	7	CAMELLIA JAPONICA	CAMELLIA	as shown	5' HT X 3' SPRD.; FULL SPECIMEN FORM	--
FP	107	FIGUS PUMILA	CREEPING FIG	as shown	1 GAL. CONT.; 3' O.C.; LONG TRAILING PLANTS	--
SHRUBS						
AF	155	AZALEA OBTUSUMM 'FASHION'	FASHION AZALEA	24"	15'-18" O.A.; BUSHY	--
BM	65	BUXUS MICROPHYLLA	JAPANESE BOXWOOD	24"	20"-24" O.A.; FULL ROUNDED FORM	--
PT	63	PODOCARPUS 'MACROPHYLLUS'	PODOCARPUS	30"	4 1/2'-5'x30" O.A.; FULL PLANTS	--
PX	86	PHILODENDRON 'XANADU'	DWARF PHILODENDRON	30"	7 GAL.; 24" O.A.	--
SAC	226	SCHEFFLERA 'CAPELLA'	VARIEGATED 'CAPELLA' SCHEFFLERA	30"	20"-24" O.A.; FULL AND BUSHY	--
GROUND COVERS						
LHE	173R	LIRIOPE 'HUSCARI EPHERALD GODDESS'	LIRIOPE	12"	1 GAL. FULL PLANTS	--
SOD		ST. AUGUSTINE 'SEVILLE'				



REVISIONS

NO.	DATE	BY

Landscaping Details & Notes
NORTH INTERLACHEN AVENUE CONDOMINIUMS
 Prepared for: Interlachen North Partners, LLC
 Winter Park, Florida

Ronnie J. Knight
 L.A.-0000379
 DESIGN BY: J. KNIGHT
 DRAWN BY: R. OOOD
 PROJECT NO: JK16.05
 DATE: 21 APRIL 2016
 SCALE: AS NOTED