

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
May 3, 2016**

REQUEST OF THE WINTER PARK HEALTH FOUNDATION FOR: FINAL
CONDITIONAL USE APPROVAL TO REDEVELOP THE WELLNESS CENTER PROPERTY AT
2005 MIZELL AVENUE AND THE ADJACENT STREETS WITH A NEW TWO-STORY,
APPROXIMATELY 78,000 SQUARE FOOT "PROJECT WELLNESS" FACILITY ALONG WITH A
COMPANION PARKING GARAGE WITH 265 SPACES, ON PROPERTY ZONED O-1.

The Winter Park Health Foundation received approval in November, 2015 for:

1. A Comprehensive Plan text amendment to the Study Area "C" wherein their project is located to enable their property at 2005 Mizell Avenue to be redeveloped with a floor area ratio or total building size of 98%.
2. A companion Zoning Code text amendment to enact the same floor area ratio of 98% for their property at 2005 Mizell Avenue.
3. Preliminary Conditional Use for the "Project Wellness" facility encompassing the 82,263 of wellness center, medical space and common public use area along with a companion 265 space parking garage, and
4. Development Agreement providing assurances as to the consolidation of the various properties and the re-platting of the site to provide the road vacating and new dedications necessary for the project.

Those approvals were made with the following Preliminary CU conditions:

1. That the storm water discharge from the project shall not into the streets but via a storm-water pipe conveyance system.
2. That the final CU use submission shall provide screening detail for the trash collection if it is not located within the parking garage.
3. That enhanced pedestrian circulation is considered for the final CU with respect to wider sidewalks and pedestrian street crossings.
4. That landscape screening or other screening is considered, as appropriate, for the rears of the Benmore Drive properties that will now "front" on the new roadway.
5. The electric transformer/switch gear and all backflow preventers shall be located where not visible from a public street to the degree possible and shall also be landscaped so as to be effectively screened from view.
6. That the Health Foundation, YMCA and the City work in partnership to develop plans for alternative recreation facilities for the 18 month construction period in order to serve the 3,000 members of the Wellness Center.

Project Wellness: The project has not changed since the Preliminary CU. It still encompasses the current Wellness Center property at 2005 Mizell Avenue, a portion of the property at 2010 Mizell Avenue and the properties at 1992 Mizell Avenue, 101 S. Edinburgh Drive and 140 S. Edinburgh Drive. All of these properties will be consolidated as 2005 Mizell Avenue encompassing a new 4.213 acre site for redevelopment. All of the property has been zoned to Office (O-1).

The project still includes changes to the road network in this area. Some city streets areas are to be vacated and the Winter Park Health Foundation will dedicate/deed compensating land to the City and the WP Health Foundation will construct the new public streets so that these properties may be combined for this redevelopment. The Development Agreement approved at the Preliminary CU stage commits the City to these actions.

The Project total square footage of 83,363 square feet includes a 41,508 sq. ft. Wellness (YMCA) Center; 16,884 sq. ft. of new medical related offices; 24,970 sq. ft. of common public use areas, as well as a four-story, five level 271 space parking garage of 86,628 square feet. All of these improvements total 169,991 square feet of building area, which on this 4.213 acre site is a floor area ratio of 93%, so slightly smaller than the 98% FAR originally proposed.

Final Conditional Use Request and the Approval Process: Per city code, the public hearings advertised via city-wide notice for the conditional use review and approval in November, 2015 were for the "Preliminary" CU approval. The "Final" CU approval is the action to review compliance with the conditions of approval and to review the final civil engineering plans, final landscape plan, drainage plan, architectural details, lighting plans as well as the proposed final architectural elevations and project signage.

Final Architectural Design: The final architectural designs with building material call-outs are included in these plan submissions. Generally the architectural program is exemplary and will be a landmark architectural building. There are however, two architectural concerns to discuss:

1. Unfortunately rooftop mechanical equipment is a reality and the effective screening of these mechanical systems is essential. In this case, the southern exposure of the building is dominated by two, 15 foot tall mechanical enclosures above the roof top that are virtually the same height of the main architectural roof system at 48'-6" vs. 50'-10". Those mechanical enclosures are 11 feet above the roof parapet height. Staff has asked the design team to address what those screens wall systems will be constructed of and what they will look like as well as the need for such excessive height.
2. The City's concern with the aesthetics of parking garages, lead to the adoption in 2015 of Parking Garage Design Guidelines. This parking garage is a unique 'modern or contemporary' design (to match the main building) and as such does not meet the design guidelines exactly but in most ways is consistent with the intent of the guidelines.

However, the formula for aesthetically pleasing parking garages consists of two essential things; 1) attractive architectural treatments on the exterior (versus plain precast panels) and 2) an effective landscape screening package. The landscape screening can be accomplished in one of two methods. The formula for the adjacent Winter Park Hospital parking garage was to utilize the street side oak trees in the r/o/w along with some added landscaping adjacent to the Building. (See picture below). The same formula was approved at Lakeside Crossings. The other method when there isn't room for street trees is significant landscape screening at the parking garage walls as shown in the other pictures below of the Rollins/Sun Trust garage.

Unfortunately we don't have either method implemented in this case. However, a simple solution exists. The Aberdeen Way roadway has been designed that outside of the width of the actual driving lanes, there is 12 feet of open r/o/w on the east side for sidewalk and plantings and 20 feet of open r/o/w on the west side for sidewalk and plantings. What needs to happen, is to move the roadway over further to the west to get at least six or more feet of width for the "parkway" between the sidewalk and the roadway and then that area can hold street trees to the west and south sides of the parking garage similar to what is planned on the north side. Together with some enhanced parking garage façade screening, the goal of effective landscape screening can be accomplished.



Traffic Safety Hazard: The dumpster/solid waste/recycling pickup design unfortunately creates a traffic safety hazard. With only 20 feet from the curb to the roll-up trash doors, the typical garbage truck must park while the driver gets out to raise the trash doors. Then they have to pull out the container... backing into the street in order to dump the waste. They have to do this three times, each time blocking traffic in the roadway. Just as with the comment above, the relocation of the roadway further to the west within the r/o/w will provide more clearance and less of a traffic safety hazard for trash collection.

Sanitary Sewer Lift Station: The construction of this project will require the relocation of the on-site sanitary sewer lift station. Because of the non-attractive appearance of the lift station along with the chain link fencing surrounding it and occasional smell of the facility, the Project Wellness desires to move the undesirable sewer lift station off-site into the adjacent Cady Way park. The site that they have picked sits where a picnic table lunch break area exists amidst several oak trees. Given the attractiveness of this area of Cady Way park, a new location needs to be determined.

Conformance to Preliminary CU Conditions: There are some remaining issues with implementation of the conditions approved for the Preliminary CU, as follows:

1. *That landscape screening or other screening is considered, as appropriate, for the rears of the Benmore Drive properties that will now "front" on the new roadway.*

The oak trees shown on the plan intended for this purpose are in conflict with the overhead power lines and the existing water line underneath their proposed locations. A vinyl fence buffer and some lagustrum trees would accomplish the landscape screening and not be in conflict with the existing utilities.

2. *The electric transformer/switch gear and all backflow preventers shall be located where not visible from a public street to the degree possible and shall also be landscaped so as to be effectively screened from view.*

Nothing has been included in the design to make any attempt to implement this condition.

3. *That the Health Foundation, YMCA and the City work in partnership to develop plans for alternative recreation facilities for the 18 month construction period in order to serve the members of the Wellness Center.*

Hopefully there is some update on these efforts for the applicant to report.

Landscape Plan: A more detailed landscape plan for the project is included in the submittal package. Per the plan comments, the landscape architect has toured the site with the City's Urban Forestry Chief to assess the condition and health of the trees. There are 14 street trees in the existing right-of-ways that are to be removed and 14 new oak trees that will be restored in the city right-of-ways consistent with the Forestry's recommendation to restore the street canopy and Planning comments on the parking garage screening. Otherwise, 18 other protected trees are to be removed totaling 297 inches. The new landscape program adds back 10 new shade trees (live oak/magnolia); 12 new cypress trees around the retention areas and 48 understory trees such as Japanese blueberry or Eagleston holly.

Site Lighting: The plans contains the site lighting plan and photometrics which meet code and comply with the City's maximum 16 foot lighting pole height. The specific design of the lightning pole and fixtures for the parking garage has not yet been designed. Thus staff will suggest a condition to consistent with the parking garage design standards for interior LED lighting and rooftop pole fixture height not to exceed 12 feet mounted on the interior retaining wall.

Site Signage: The Development Agreement specifies the approval of variances for the size of the project's ID signs and tenant signage. The Agreement requests six signs and variances for 48 square feet in size for some versus the code maximum of 36 square feet. The staff understands that the O-1 zoning code is very restrictive on signage and that this is a 4.213 acre site. The staff agrees with these requests.

The Comprehensive Plan and Zoning Code Amendments:

The necessary Comprehensive Plan text amendment (below) was reviewed by the Florida Dept. of Economic Opportunity both after the first reading in November and after final adoption in January, 2016. In both circumstances, the FDEO had no comments and that amendment together with the Zoning Code amendment needed for this project have both been accomplished.

(New Policy) Policy 1-4.1.C.9: Floor Area Ratio for 2005 Mizell Avenue. The City may allow an increase in Floor Area Ratio (FAR), not to exceed 0.98 including parking garage, for the redevelopment of this block, in order to encourage the redevelopment of a community asset that provides health- and wellness-related uses. Such additional FAR will only be considered by City Commission if said development improves the road network, provides enhancements in the City park and additional parking options in the sub-area. The additional FAR may only be granted through a Conditional Use Permit.

Other Implementation Procedures:

The City Commission will need to either approve Ordinances to vacate the streets and accept dedications for the replacement streets or the applicant will do a re-plat of the area involved which then accomplishes the vacating and dedications. This approval shall constitute any subdivision plat approval required by the P&Z Board as necessary for that implementation method via re-plat.

Summary and Staff Recommendation:

The public benefit to this request is that the citizens will have a new, improved and enlarged Wellness Center and ancillary health and wellness facilities. The "final" Conditional Use submittal for the project includes all the required submissions for "final" conditional use approval subject to the conditions outline below.

There are many project details that still remain to be determined which is to be expected with a \$40 million dollar project that encompasses a new roadway system and the relocation of many existing utilities including, water, sewer, electric, etc. The planning staff feels that this request should be tabled or continued in order to

provide time to work out, in meetings, more of the specific details of this project especially since there is cost sharing anticipated for park improvements, pedestrian improvements, sanitary sewer relocations and electric undergrounding.

Staff Recommendation is to Table/Continue for one month. However, if P&Z desires to act, then a motion for Approval of the Final Conditional Use needs to contain the following conditions:

- 1. That the Aberdeen Way roadway location be adjusted in order to create a parkway between the sidewalk and the curb on the east and north sides of that street of at least six feet in width on the east and south sides of the Project. New oak shade street trees along that full length of Aberdeen Way shall be added to effectively assist in screening the parking garage and provide a roadway cross-section consistent with the design of other city roadways. The sanitary sewer force main can be relocated under the sidewalk per Utilities.**
- 2. That the parking garage façade landscape buffer understory tree consist of 2½ inch caliper Japanese blueberry or eagleston holy as presented, consistently at a 25 foot separation, together with the new aforementioned street side oak trees at 50 foot spacing.**
- 3. That the sanitary sewer lift station be relocated to a site agreeable to the Utilities and Park Dept. and that there be ornamental fencing and landscape screening of this facility with those plan details approved by the City.**
- 4. Per the Development Agreement, that a cost sharing agreement be negotiated for the agreed upon pedestrian circulation and crosswalk improvements with respect to pedestrian street crossings.**
- 5. Per the Development Agreement, that a cost sharing agreement be negotiated for the Cady Way park improvements.**
- 6. Per the Development Agreement, that a cost sharing agreement be negotiated for the off-site sanitary sewer upgrades anticipated.**
- 7. Per the Development Agreement, that a cost sharing agreement be negotiated for anticipated undergrounding of off-site electric utilities.**
- 8. That a Parking Management Plan be developed in conformance with the Parking Garage Design Guidelines.**
- 9. That the wall heights be increased to six feet or new vinyl fences be added at six feet in height along the rears and sides of the properties along Aberdeen way from Mizell Avenue to Edinburgh Drive and that landscape screening be implemented, for the rears and side of the Benmore Drive/Edinburgh Drive properties that will now "front" on the new roadway.**
- 10. The electric transformer/switch gear and all backflow preventers shall be located where not visible from a public street to**

the degree possible and shall also be landscaped so as to be effectively screened from view.

11. That the parking garage lighting, not yet designed, comply with the City's parking garage design guidelines for interior LED lighting and rooftop pole fixture height not to exceed 12 feet mounted on the interior retaining wall or 16 feet mounted on the top floor level.
12. That the Health Foundation, YMCA and the City work in partnership to develop plans for alternative recreation facilities for the 18 month construction period in order to serve the 3,000 members of the Wellness Center.

PREPARED BY AND RETURN TO:

City of Winter Park
Attn: City Clerk
401 Park Avenue
Winter Park, FL 32789
(407) 599-3440

Orange County Tax Parcels # A portion of 09-22-30-0120-05-010 AND ALL OF 09-22-30-0120-04-220;
09-22-30-0120-98-021; 09-22-30-0120-04-200 AND 09-22-30-0120-04-180

**FIRST AMENDMENT TO DEVELOPER'S AGREEMENT
(Winter Park Health Foundation)**

THIS FIRST AMENDMENT TO DEVELOPER'S AGREEMENT ("First Amendment") entered into and made as of the 23rd day of May, 2016, by and between the **CITY OF WINTER PARK, a Florida municipal corporation**, 401 S. Park Avenue, Winter Park, Florida 32789 (hereinafter referred to as the "City"), and Winter Park Health Foundation, a non-profit corporation who address is 220 S. Edinburgh Drive, Winter Park, FL 32792 (hereinafter referred to as "WPHF").

WITNESSETH

WHEREAS, on January 25, 2016 the City and WPHF entered into that certain Developer's Agreement recorded as document number 20160056826 in the Public Records of Orange County, Florida ("Original Developer's Agreement"); and

WHEREAS, the Original Developer's Agreement was executed concurrently with the Preliminary Conditional Use Permit; and

WHEREAS, on April 6, 2016, WPHF submitted an application for a Final Conditional Use Permit ("Final CUP"); and

WHEREAS, on May 23, 2016 the City Commission approved a Final Conditional Use Permit for the Project and desires to set forth the mutual obligations and agreements of the respective parties.

NOW THEREFORE, in consideration of the mutual promises and covenants herein contained, the City and WPHF agrees to the additional paragraphs as follows:

SECTION 16. PROJECT

The Project shall be designed, permitted and constructed in accordance with the engineering, architectural and landscape plans identified as _____.

SECTION 17. ROADWAY IMPROVEMENTS

The City agrees to extend the existing left-turn lane on Mizell Avenue at the intersection of Lakemont Avenue to provide a minimum of one hundred (100) feet of turn lane storage ("Intersection Improvement"). WPHF agrees to pay the City seven thousand five hundred dollars (\$7,500) to fund the

Intersection Improvement. Such payment shall be made no later than the issuance of the building permit for the Project. The City agrees to complete the Intersection Improvement no later than December 31, 2016. The funding of the Intersection Improvement along with the Road Realignment by WPHF shall fulfill any obligation for roadway network.

SECTION 18. ROAD NAMES

The City shall process the re-naming of the roads surrounding the Property as set forth on Exhibit “A” attached hereto.

SECTION 19. WARD PARK IMPROVEMENTS

The City and WPHF agree that it is important to create a visual and physical connection between the City’s Ward Park and the Project. Accordingly, WPHF agrees to fund improvements, in an amount up to twenty-five thousand dollars (\$25,000), on the western portion of Ward Park (“Ward Park Improvements”). The exact location and design of the Ward Park Improvements will be agreed upon by the City and WPHF by December 31, 2016. The Ward Park Improvements shall be owned and maintained by the City.

SECTION 20. TRIANGLE PARK IMPROVEMENTS

The City owns a park which is currently bounded by N. Perth Lane on the north and Perth Lane on the east (“Triangle Park”). WPHF shall design, permit and construct certain landscape and hardscape improvements at its expense as shown on sheet L-301 of the Final CUP in Triangle Park (“Triangle Park Improvements”). The Triangle Park Improvements will be dedicated to the City. WPHF shall maintain the Triangle Park Improvements for a period of thirty (30) years consistent with the care and quality of maintenance of the Project’s landscape and hardscape.

In addition, City authorizes construction of a Project identification sign within Triangle Park at the intersection of Perth Lane and N. Perth Lane as shown on W6.02 and L-002. WPHF shall own and maintain such sign.

SECTION 21. SIGNAGE

The City grants a waiver to Section 58-124, 58-125 and 58-131 of the Winter Park City Code to allow enhanced signage for the Project due to the configuration of the site, the number of right-of-way frontages and consistent with the Design Guidelines submitted with the Final CUP. The signage has been thoughtfully designed to be compatible with the architecture and landscaping. The signage also assists motorist and pedestrians navigate around the Project. The City approves six (6) total signs, including the sign in Triangle Park mentioned above, with a maximum sign copy area of 48 square feet per sign face for Project identification signs and a maximum of 36 square feet per sign face for wayfinding signs.

SECTION 22. UNDERGROUND UTILITY

City agrees to, simultaneously with WPHF’s construction of the Road Realignment, complete the previously commenced undergrounding of the electric power lines along the right-of-ways abutting the

Project, including the new Aberdeen Way (the “Underground Utility Improvements”). The City shall coordinate with any other utility provider (e.g. telecommunications, cable television, etc.) that utilizes aboveground lines on the City’s power poles to ensure that these lines are also relocated to underground. Note that this modifies the Original Developer’s Agreement section 3(a).

In addition, simultaneously with construction of the Road Realignment, the City shall relocate to Ward Park the existing electric switchgear currently located in Triangle Park. WPHF agrees to reimburse the City for the actual cost of the switchgear estimated to be approximately Thirty Thousand Dollars (\$30,000.00).

SECTION 23. STORMWATER IMPROVEMENTS

The stormwater management system shall be constructed in general conformance with sheet C400 of the Final Conditional Use Plan (FCUP) subject to final approval by the St. John’s River Water Management District. The exfiltration system depicted on sheet C400 of the FCUP is located on lands owned by WPHF and is for the primary purpose of providing water quality and rate attenuation for the relocated section of Mizell Avenue (to be known as Aberdeen Way). WPHF agrees to pay for the installation of the exfiltration system and shall dedicate appropriate easements over the facility to the City at no cost to the City. The exfiltration system shall be owned and maintained by the City.

SECTION 24. WASTEWATER AND POTABLE WATER IMPROVEMENTS

The wastewater and potable water systems shall be constructed in general conformance with sheet C300 of the Final Conditional Use Plan (FCUP). A new sanitary sewer lift station will be constructed by WPHF and shall be owned and maintained by the City. The location of the new sanitary lift station will be in Ward Park as generally depicted on sheet C300 of the FCUP. A separate agreement will be entered into between WPHF and the City for the sharing of costs related to construction of the lift station.

In addition, WPHF agrees to replace the existing 10-inch cast-iron sanitary force main with a new 10-inch High Density Polyethylene (HDPE) sanitary force main within the limits of the Road Realignment Right-of-Way Property at WPHF’s cost. The City agrees to replace the existing 10-inch cast-iron sanitary force main with a new 10-inch HDPE sanitary force main within Mizell Avenue extending from its intersection with Mizell Avenue (to be known as Aberdeen Way) to Lakemont Drive at the City’s cost.

SECTION 25. PEDESTRIAN CONNECTIVITY

The City and WPHF agree that pedestrian connectivity around the site, to the neighbors and to Ward Park are important in order to offer additional modes of transportation and encourage exercise. Accordingly, WPHF has agreed to build 8 ft. wide sidewalks around the Project. Additionally, WPHF will design, construct and fund two pedestrian cross-walks to Ward Park. The first cross-walk is located across Perth Lane from the Triangle Park to Ward Park (“North Crosswalk”). The North Crosswalk will consist of flashing LED pedestrian crossing signs and an elevated paver crosswalk (i.e., speed table). The second cross-walk is located on Perth Lane from the Project to Ward Park (“South Crosswalk”). The South Crosswalk will include pedestrian crossing signage and a paver crosswalk. The City agrees to allow the

open cutting of Perth Lane for the construction of Project utility and drainage improvements, with such open cuts to be repaired through the installation of these crosswalk improvements within the City's ROW. The City will own and maintain such improvements once they are completed by WPHF.

SECTION 26. LANDSCAPE AND TREE MODIFICATION In order to provide landscaping that is consistent with the architectural style and the vision of creating several gardens on-site, the following waivers to the City's landscape and tree code are approved by the City:

- A. At the building façade, some of the façade plants will be planted beyond 20 feet from the building or will be interrupted by hardscape areas.
- B. Instead of providing a continuous 4 foot high hedge facing the ROW to screen the stormwater pond, WPHF will provide a combination of shrubs, native grasses, and aquatics. Such planting will allow for views of the ponds which will be embellished with fountain features.
- C. The City will allow that mitigation trees may be placed off-site within the City ROW and within planting areas which measure 6'-0". This will allow the ROW canopy to be replaced with healthy trees.
- D. There are ROW trees shown on Final CUP, Sheet L-001 which are in a state of decline (poor health, severely topped due to powerlines and/or weak rooted laurel oaks). Due to these factors, such trees do not require mitigation.
- E. All landscape and tree replacement shall conform with Final CUP, Sheet L-001-___.

IN WITNESS WHEREOF, WPHF and the City have executed this First Amendment as of the day and year first above written.

(SIGNATURES TO FOLLOW)

Witnesses

Name: _____

Name: _____

WPHF

Winter Park Health Foundation, a non-profit corporation

By: _____

Name: _____

Its: _____

Date: _____

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me this ____ day of _____, 2016, by _____, as _____ of Winter Park Health Foundation, a non-profit corporation. He (She) is personally known to me or has produced _____ as identification.

(NOTARY SEAL)

Notary Public Signature

(Name typed, printed or stamped)

CITY OF WINTER PARK, FLORIDA

ATTEST:

By: _____
Mayor Steve Leary

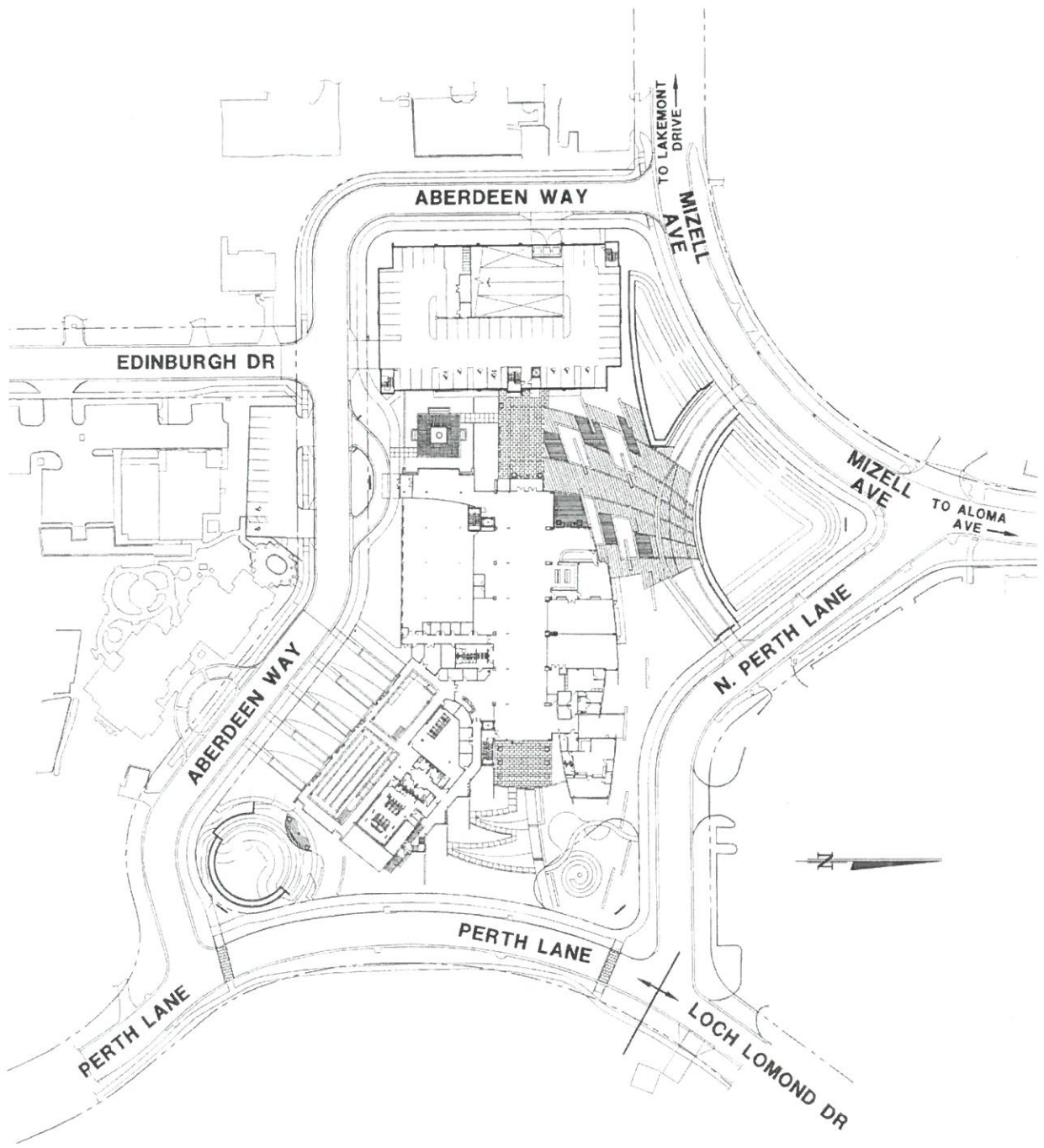
By: _____
City Clerk

STATE OF FLORIDA)
COUNTY OF ORANGE)

The foregoing instrument was acknowledged before me this ____ day of _____, 2016, by Steve Leary, as Mayor of the City of Winter Park, Florida, who is personally known to me.

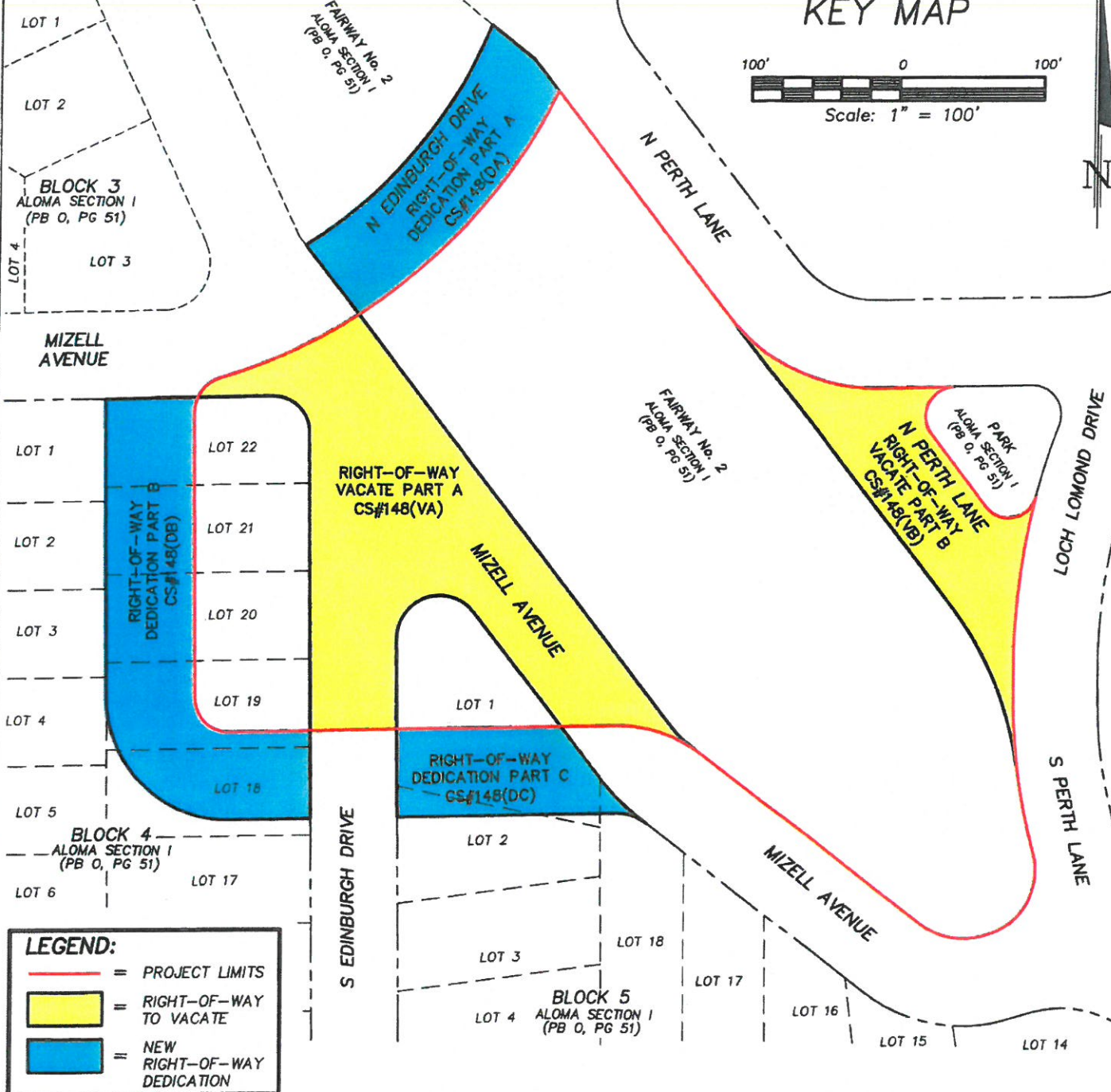
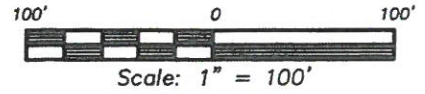
Notary Public
Printed Name: _____
My commission expires: _____

EXHIBIT "A"



**PROJECT WELLNESS
STREET NAMES**

RIGHT-OF-WAY KEY MAP



LEGEND:

- = PROJECT LIMITS
- = RIGHT-OF-WAY TO VACATE
- = NEW RIGHT-OF-WAY DEDICATION

PREPARED FOR:
WINTER PARK HEALTH FOUNDATION
 PROJECT WELLNESS - LOCATION MAP
 SECTION 09, TOWNSHIP 22 SOUTH, RANGE 30 EAST, ORANGE COUNTY, FL

DATE	BY	DESCRIPTION

REVISIONS

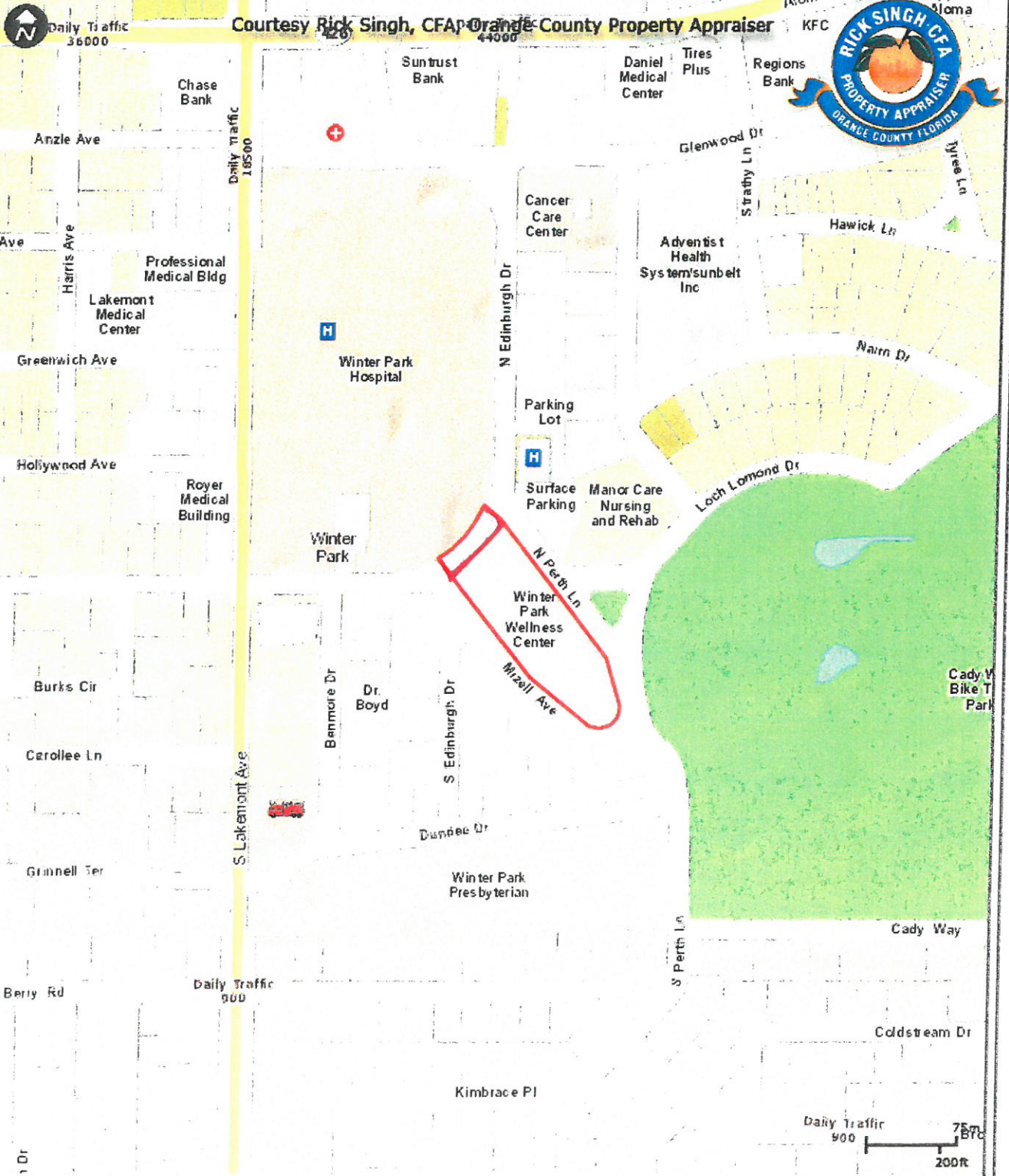
DONALD W. McINTOSH ASSOCIATES, INC.
 ENGINEERS PLANNERS SURVEYORS
 2200 PARK AVENUE NORTH, WINTER PARK, FLORIDA 32789 (407) 644-4068
 CERTIFICATE OF AUTHORIZATION NO. LB68

CS# 15-148(KM)

DRAWN BY: <u>JP/BW</u>	CHECKED BY: <u>RLC</u>	JOB NO. <u>14179.003</u>	SCALE <u>1"=100'</u>	SHEET <u>1</u>
DATE: <u>07/31/2015</u>	DATE: <u>08/2015</u>			OF <u>2</u>

OCA Web Map

Major Roads	Proposed Roe	Block Line	Commercial/Institutional	Hydro	Golf Course
Florida turnpike	Public Roads	Brick Road	Governmental/Institutional/Misc	Waste Land	Lakes and Rivers
Interstate 4	Gated Roads	Rail Road	Residential	County Boundary	Building
Toll Road	Road Under Construction	Proposed SunRail	Agriculture	Parks	Hospital



This map is for reference only and is not a survey.

OCPA Web Map

	Major Roads		Proposed Road		Residential		Commercial/Industrial/Vacant Land		Parks		6	Lot Number
	Florida Turnpike		Public Roads		Brick Road		Agriculture		Lakes and Rivers		06060	Parcel Number
	Interstate 4		Gated Roads		Block Line		Commercial/Institutional		Hydro		3106	Parcel Address
	Toll Road		Road Under Construction		Lot Line		Governmental/Institutional/Misc		Waste Land		E	Block Number
											111.9	Parcel Dimension



Created: 10/22/2015

This map is for reference only and is not a survey.

City of Winter Park

PARKING GARAGE DESIGN GUIDELINES

STATEMENT OF PURPOSE

The purpose of adopting Parking Garage Design Guidelines, within the Zoning Regulations, is to provide for architectural appeal and compatibility of the size, scale, intensity/mass and image of the parking garage structures with adjacent buildings and with the context of the surrounding area/neighborhood. Parking garages are significant buildings and the building facade treatment must be appropriately scaled and present a pedestrian friendly street image in order to compliment the commercial or multi-family project that it serves as well as be compatible and not detract from the character of the surrounding area. Additionally the interior of parking garage needs to be well lighted and attractive in order to provide a safe environment and one in which the users feel comfortable.

These Parking Garage Design Guidelines, within the Zoning Regulations, are supplementary to the other regulations within the Land Development Code and Building/Fire/Life Safety Codes of the City. All future parking garages shall comply in their design to the maximum extent possible with these guidelines. As to applicability, they shall apply to parking garages (multiple levels) and parking decks (single level) but shall not apply to underground parking structures (at least half the floor height below grade) and shall not apply to parking garages within the interior of projects that are not visible on the exterior.

The Zoning Regulations outline the process for administering these design guidelines. In summary, the city staff will make a determination as to whether the proposed plans for a parking garage structure conform to these design guidelines. Such determinations are then able to be appealed to the Planning and Zoning Board/City Commission or as will be more customary, the design will be part of a Conditional Use review. Economic impact shall not be deemed an adequate reason for non-compliance and shall not be a factor in any appeal or in determining the application of these requirements.

Landscape screening of parking garages

One method to provide for the enhanced visual appeal of parking garages is to hide them from view with significant landscaping and trees. This can be a successful approach and a critical element in the total design package. However, landscape screening alone is not to be used in place of exterior façade treatments but to complement those design features.

Below are pictures of successful examples within Winter Park where the use of landscaping/trees successfully screens the view of the parking garage by landscape elements.



Mature oak trees screen the view of the garage



Landscape buffer screens an otherwise non-descript facade



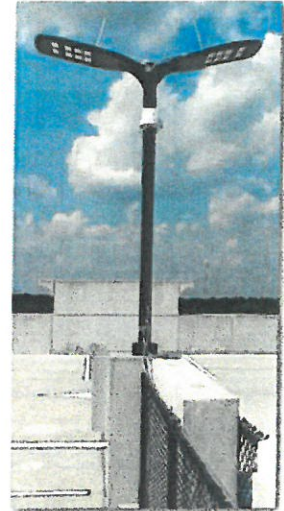
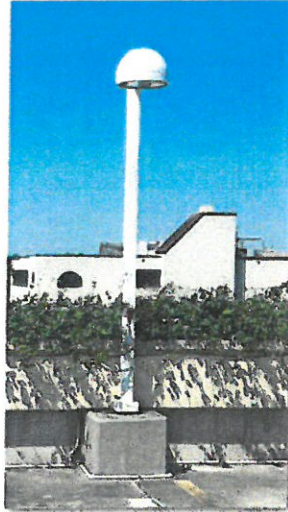
Landscaping is one element in attractive look of the Sun Trust garage.



Significant landscape screening works to screen a very long wall façade of this parking garage

Lighting

Lighting can enhance or detract from the appearance of the parking structure and be distracting to pedestrians and motorists if used improperly. On the exterior of the parking garage it should be used sparingly to accent signage, entrances, architectural details, and enhance the overall appearance of the property. Lights should be shielded and directed away from the view of pedestrians and motorists. Lighting within the interior levels of the parking structure and within the stairwells shall be at levels necessary for the safety and security of the users and designers are encouraged to design to exceed those levels in order to create a safe and inviting interior environment. Lighting on the top open rooftop level shall consist of lights including fixtures no higher than sixteen (16) feet above the floor level and shall be mounted on the interior (not exterior) areas of the rooftop level.



Low height poles and fixtures reduce the off-site rooftop visibility of rooftop lighting. Directional fixtures reduce light spread and meet "dark sky" requirements.

Signage and Other Provisions

Mechanical equipment, such as air conditioning units, satellite dish antennas or emergency generators, placed on roof tops or at grade must be hidden or screened from view by architectural elements compatible with the building design as per the Winter Park Land Development Code. If placed on a roof top, the equipment should be positioned near the center of the roof to reduce as much visibility of it as possible. Solid waste containers or dumpsters shall also be screened from view of surrounding properties, and plans for new construction must show the location of containers for solid waste disposal per the Winter Park Land Development Code.

Building Signage is also one of the most prominent visual elements on the street that affects the aesthetic appeal of the parking garage building. Appropriate signage is coordinated and adds interest and variety to the streetscape and parking garage façade, while enlivening the street scene.

PARKING MANAGEMENT PLAN

The construction of any parking garage shall require the submission and approval by the City of a Parking Management Plan (PMP). The PMP shall include, at a minimum, the following elements:

1. The PMP shall include any method of charging for use of the parking structure and the proposed charges to be incurred for use of the parking garage. Without the express approval of the City, the parking garage shall not charge any fees in any manner to park within the parking garage or include charges to tenants for the ability to park within the parking garage. Any proposal to change for parking either directly or indirectly with tenant leases shall include the method by which visitors to the residential units or customers/clients to the businesses shall be entitled to park without payment of fees so that such visitors/customers/clients are not incentivized to park off-site on streets or other properties.
2. The PMP shall also include and require the City approval of signage and the location of such signage that reserves parking for specific tenant business usage. The City may require that such reserved parking signage provide for the public use of those spaces at nights or on weekends when such businesses are closed in order to facilitate the public benefit of the parking structure.
3. The PMP shall also include the contacts for the property management company responsible for the maintenance and upkeep of the parking structure. Any dangerous or unsightly conditions such as trash, broken glass or graffiti shall be remedied with 48 hours of contact from the City or the failure to remedy shall be immediate grounds for action by the Code Enforcement Board.

It shall be the responsibility of the Owner(s) of the parking structure to request approval of any amendment to the PMP and no changes to the operations of the parking garage shall be undertaken without such consent.

Both the Owner(s) of the parking structure and the City may seek amendments or changes to the PMP. The City may seek changes to the PMP when the operation of the parking garage creates situations that adversely affect the City or other property owners.

PROJECT WELLNESS

FINAL CONDITIONAL

USE PLANS

PREPARED FOR

CITY OF WINTER PARK, FLORIDA

WINTER PARK HEALTH FOUNDATION

220 EDINBURGH DRIVE

WINTER PARK, FL 32792

PH: 407.644.2300



DEVELOPMENT TEAM

OWNER
Winter Park Health Foundation
Winter Park, FL 32792

ARCHITECT
Duda Paine Architects, LLP
333 Light Street
Dunsmuir, NC 27751

M/E/P ENGINEER
Jury Inc.
200 West Main Street
Winter Park, FL 32792

LANDSCAPE ARCHITECT
Jury Inc.
200 West Main Street
Winter Park, FL 32792

LANDSCAPE ARCHITECT
Jury Inc.
200 West Main Street
Winter Park, FL 32792

MECHANICAL ENGINEER
Winter Park Health Foundation
Winter Park, FL 32792

STRUCTURAL ENGINEER
Winter Park Health Foundation
Winter Park, FL 32792

UTILITY PROVIDERS

CITY OF WINTER PARK
Water Department
129 Forest Branch Road, Building 1
Winter Park, FL 32792

TELECOM NETWORKS
3744 Al American Boulevard
Dunsmuir, NC 27751

CENTURY LINE
500 New York Avenue
Winter Park, FL 32792

CITY OF WINTER PARK
Public Works Department
403 South Pine Avenue
Winter Park, FL 32792

TELECOM NETWORKS
3744 Al American Boulevard
Dunsmuir, NC 27751

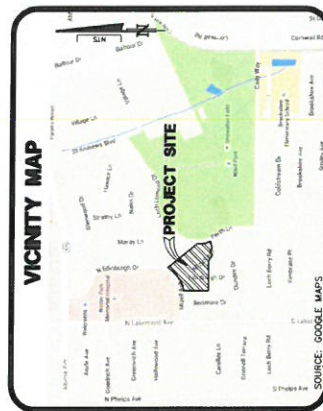
CENTURY LINE
500 New York Avenue
Winter Park, FL 32792

FINAL CONDITIONAL USE

NOT FOR CONSTRUCTION

This Document is for
FINAL CONDITIONAL USE

It is not to be used for permit or construction purposes.



SECTION 9, TOWNSHIP 22 S, RANGE 30 E
PROPERTY APPRaiser PARCEL ID # 09-22-30-00-0100-001,
09-22-30-00-04-0100-01, 09-22-30-00-04-0100-02,
09-22-30-0100-04-200 & 09-22-30-0100-04-220

SHEET INDEX

- C001 COVER SHEET
- C002 AERIAL
- C003 EXISTING CONFIGURATION
- C004 EXISTING CONDITIONS PLAN
- C201 SITE PLAN
- C300 UTILITY PLAN
- C400 DRAINAGE DETAIL
- L-000 ILLUSTRATIVE LANDSCAPE SITE PLAN
- L-001 ILLUSTRATIVE LANDSCAPE REMEDIAL PLAN
- L-002 OVERALL LAYOUT PLAN
- L-100 CODE LANDSCAPE REQUIREMENTS
- L-200 LANDSCAPE PLAN
- L-300 LANDSCAPE PLAN
- L-301 LANDSCAPE PLAN
- L-302 LANDSCAPE PLAN
- L-303 LANDSCAPE PLAN
- L-400 IRRIGATION PLAN, NOTES & DETAILS
- L-500 SITE LIGHTING PLAN, SCHEDULE
- L-501 SITE LIGHTING CUT SHEETS
- A-001 PERSPECTIVE VIEW
- A-002 PERSPECTIVE VIEW
- A-003 AERIAL VIEW
- A-201 NORTH ELEVATION VIEW
- A-202 WEST ELEVATION VIEW
- A-203 EAST ELEVATION VIEW
- A-204 EAST ELEVATION VIEW
- A-205 PARKING GARAGE ELEVATIONS

LEGAL DESCRIPTION

Parcel ID: 09-22-30-00-0100-01, according to the plat recorded as recorded in Plot Book G, Page 25, of the

Commission of the Southwest corner of Lot 1R, Block 4, according and plat recorded as recorded in Plot Book G, Page 25, of the

County of Polk, Florida, as shown on the map on file in the office of the County Surveyor, which said plat is subject to the following conditions:

1. The City of Winter Park, Florida, is the owner of the property described herein.
2. The City of Winter Park, Florida, is the owner of the property described herein.
3. The City of Winter Park, Florida, is the owner of the property described herein.
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100. The City of Winter Park, Florida, is the owner of the property described herein.

APRIL 6, 2016



OWNER:
Winter Park Health Foundation
200 Edinburg Drive
Winter Park, FL 32792

ARCHITECT:
Duda Ipaïne Architects
200 W. Lake Avenue North
Winter Park, FL 32792

ARCHITECTS:
Architects, LP
333 Upper Street
Durham, NC 27701

PLANNING:
Donald W. McIntosh Associates, Inc.
2000 Fort Avenue North
Winter Park, FL 32792

LANDSCAPE ARCHITECTS:
Petersen, Conrad & Associates, Inc.
10000 E. 15th Street
Ocala, FL 32063

STRUCTURAL ENGINEER:
Pruitt, Ford and Company
348 E. 25th Boulevard
Ocala, FL 32063

MECHANICAL ENGINEER:
101 Winterberry Place
Aurora, FL 32751

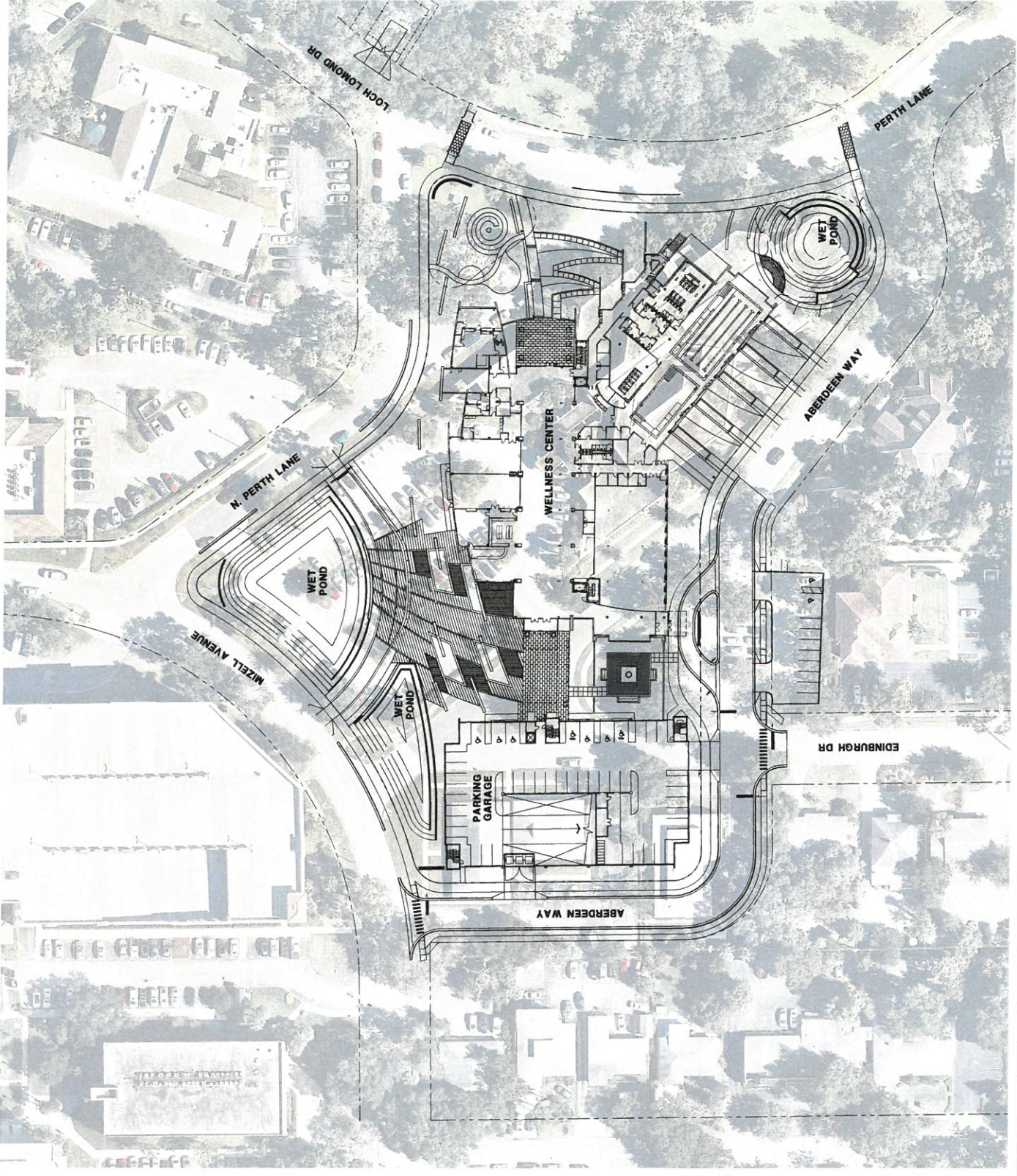
ELECTRICAL ENGINEER:
Atlantic Design & Engineering
504 E. 12th Orange Avenue
Ocala, FL 32061

LIGHTING CONSULTANT:
Lighting Concepts
Design, Inc.
10000 E. 15th Street, 4th floor
Winter Park, FL 32792

FOOD SERVICE CONSULTANT:
CASAVALLO
10000 E. 15th Street, 4th floor
Winter Park, FL 32792

PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

DATE:	11/17/2014
BY:	FCUP
PROJECT NO.:	14175
PROJECT NAME:	Aerial





DUDA PAINE ARCHITECTS

320 Park Street
Worcester, MA 01609

320 Park Street
Worcester, MA 01609

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DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS PLANNERS SURVEYORS

2000 Main Avenue North
Worcester, MA 01609

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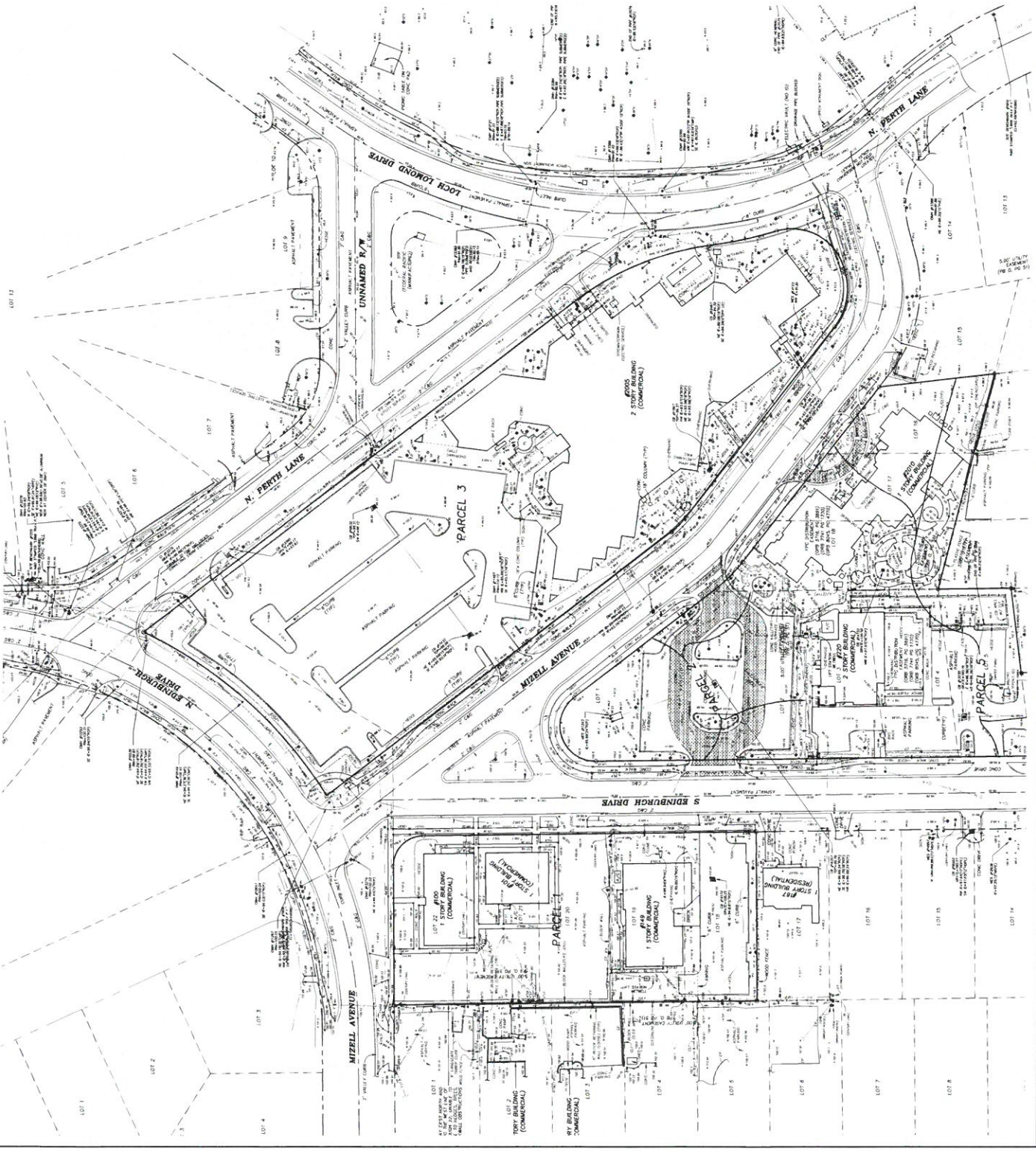
2000 Main Avenue North
Worcester, MA 01609

PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

Existing
Conditions
Plan

FCU/CP

C022



LOT 12

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LOT 6

LOT 5

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DUDA PAINE ARCHITECTS
 200 Park Avenue South
 Winter Park, FL 32789
 Phone: 407.329.1234
 200 N. Lombard Avenue
 Winter Park, FL 32792
 Phone: 407.329.1234

LANDSCAPE ARCHITECTS
 FUTURE CONSULTANTS & ASSOCIATES, INC.
 1001 E. First Street
 Winter Park, FL 32792
 Phone: 407.329.1234

STRUCTURAL ENGINEER
 FUTURE CONSULTANTS & ASSOCIATES, INC.
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MECHANICAL ENGINEER
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ELECTRICAL ENGINEER
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PLUMBING ENGINEER
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 Phone: 407.329.1234

GENERAL CONTRACTOR
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DONALD W. MCMINTOSH ASSOCIATES, INC.
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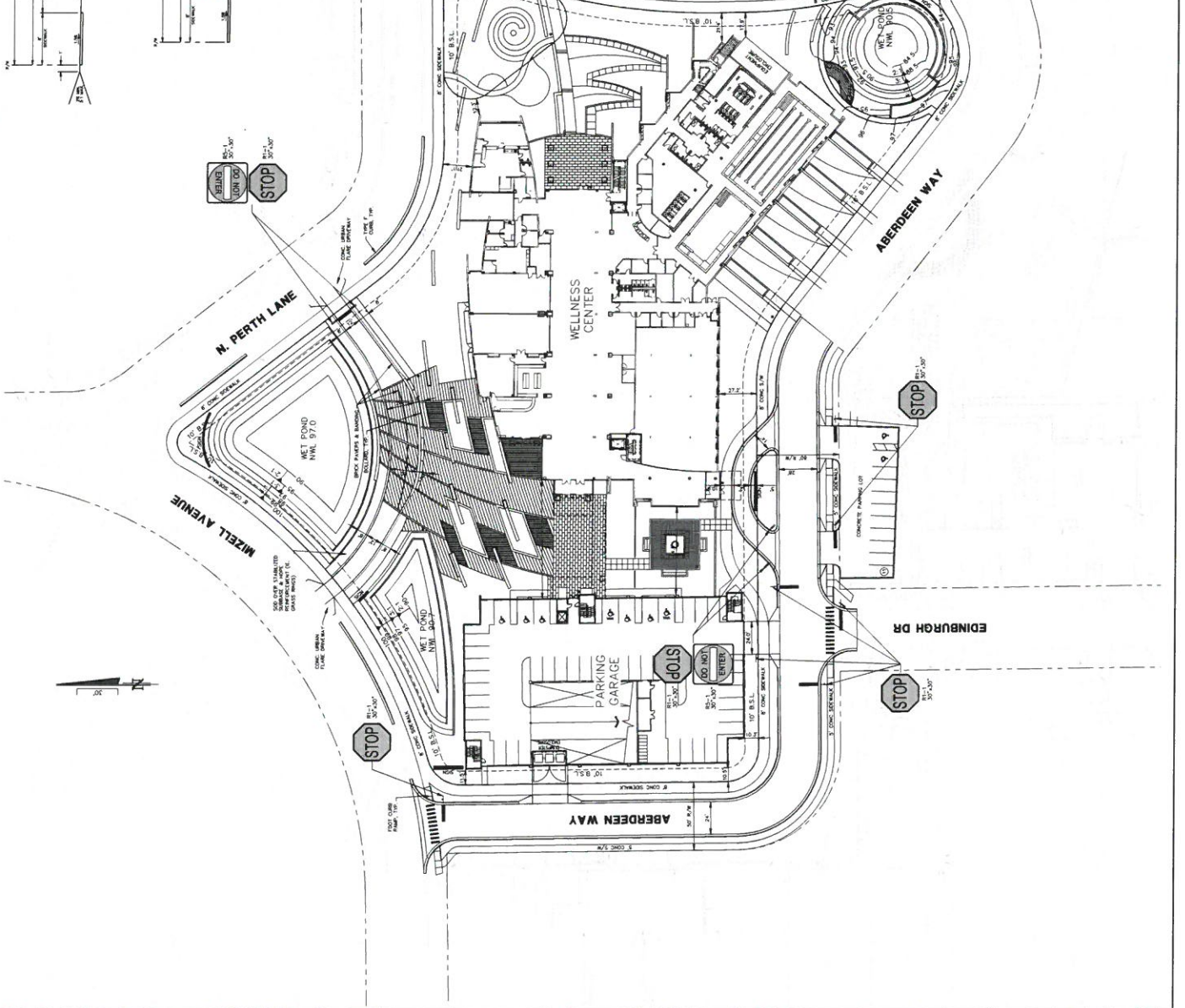
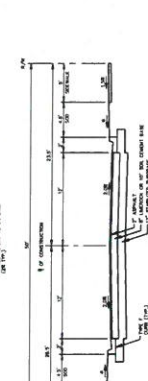
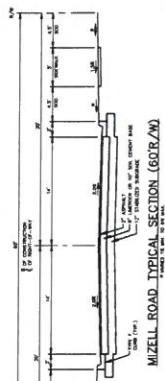
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PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS

CITY OF WINTER PARK, FLORIDA



DUDA PAINE ARCHITECTS
 285 Fairlight Drive
 Winter Park, FL 32789
 407-938-1100
 20016 Laramont Avenue
 Winter Park, FL 32792

ARCHITECT
 333 Lapan Street
 Dunham, NC 27731

STRUCTURAL ENGINEER
 2200 Park Avenue North
 Winter Park, FL 32789

LANDSCAPE ARCHITECT
 Foster, Corbin & Associates, Inc.
 1000 North Orange Avenue
 Orlando, FL 32801

MECHANICAL ENGINEER
 1031 Windesley Place
 McAlister, FL 32751

ELECTRICAL ENGINEER
 1031 Windesley Place
 McAlister, FL 32751

MECHANICAL CONSULTANT
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PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
 CITY OF WINTER PARK, FLORIDA



DONALD W. MCHINTOSH ASSOCIATES, INC.
 ENGINEERS PLANNERS SURVEYORS
 20016 Laramont Avenue
 Winter Park, FL 32792

ARCHITECT
 333 Lapan Street
 Dunham, NC 27731

STRUCTURAL ENGINEER
 2200 Park Avenue North
 Winter Park, FL 32789

LANDSCAPE ARCHITECT
 Foster, Corbin & Associates, Inc.
 1000 North Orange Avenue
 Orlando, FL 32801

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ELECTRICAL ENGINEER
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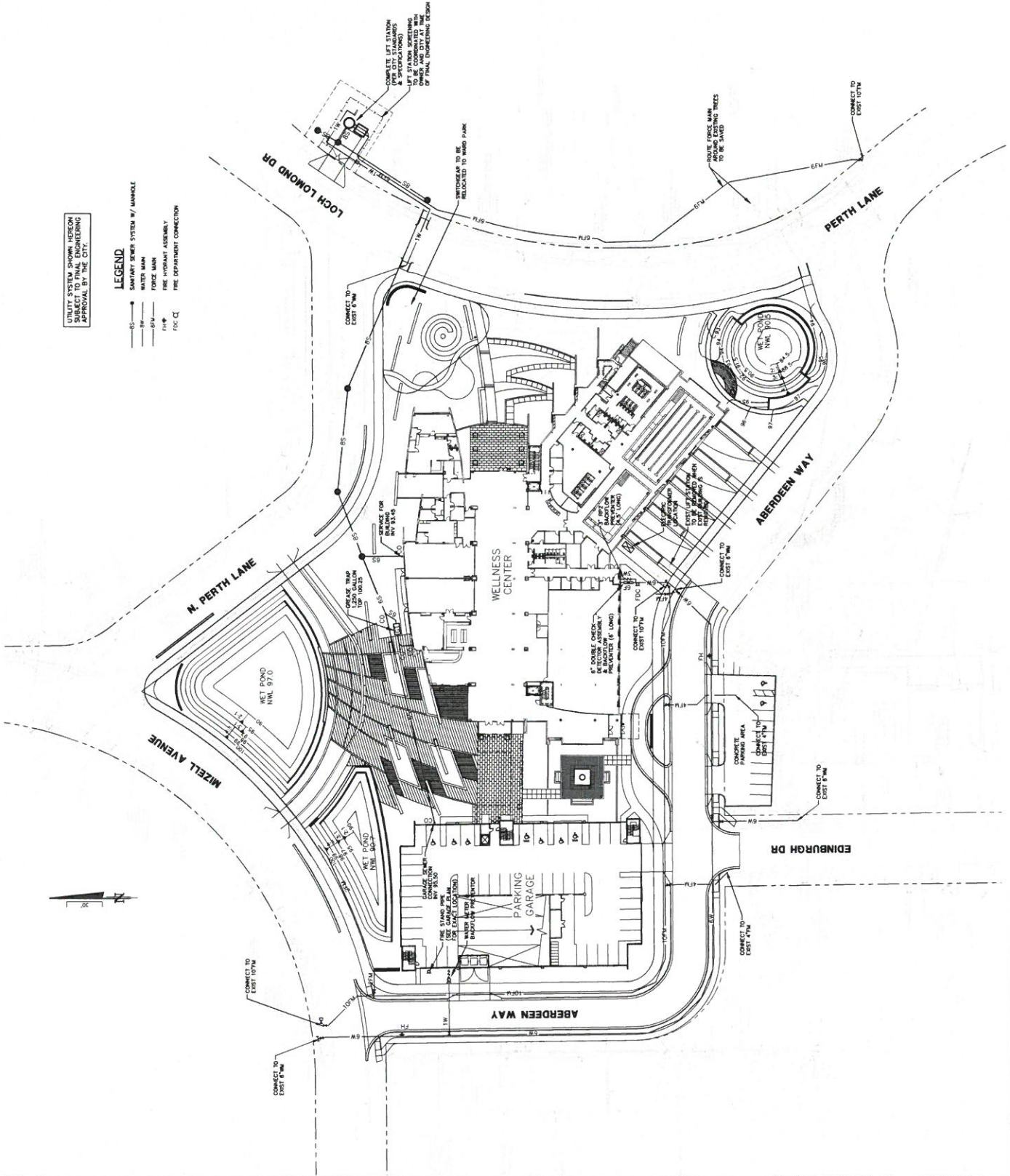
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 McAlister, FL 32751

MECHANICAL CONSULTANT
 1031 Windesley Place
 McAlister, FL 32751



LEGEND
 UTILITY SYSTEM SHOWN HEREON SUBJECT TO FINAL ENGINEERING APPROVAL BY THE CITY.

- SS SANITARY SEWER SYSTEM w/ MANHOLE
- WM WATER MAIN
- FM FIRE MAIN
- FI+P FIRE HYDRANT ASSEMBLY
- FDC CI FIRE DEPARTMENT CONNECTION





OWNER:
Winter Park Health Foundation
300 Edinburgh Drive
Winter Park, FL 32789

ARCHITECT:
DUDA PAINE ARCHITECTS
200 N. Loveland Avenue
Winter Park, FL 32792

ARCHITECTS:
Architects, LP
333 Legend Street
Dunsmuir, CA 95921

ENGINEER:
Donald W. McIntosh Associates, Inc.
1000 Park Avenue South
Winter Park, FL 32789

LANDSCAPE ARCHITECT:
LORIE GORDON & ASSOCIATES, INC.
1000 Park Avenue South
Winter Park, FL 32789

STRUCTURAL ENGINEER:
TERRI L. LONG AND COMPANY
1000 Park Avenue South
Winter Park, FL 32789

MECHANICAL ENGINEER:
1031 Woodway Place
Apalachicola, FL 32531

ELECTRICAL ENGINEER:
MARCUS TRIGAN & ENGINEERING
1000 Park Avenue South
Winter Park, FL 32789

PLUMBING CONSULTANT:
1000 Park Avenue South
Winter Park, FL 32789

MECHANICAL CONSULTANT:
Design Interiors, Inc., 4th Floor
New York, NY 10014

SOODER CONSULTANT:
CANNON DESIGN PARTNERS INC.
Atlanta, Georgia 30340

PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

DATE:	02/25/2014
SCALE:	AS SHOWN
PROJECT NUMBER:	00000014
DRAWING NUMBER:	00000014
DESIGNER:	
CHECKER:	
APPROVER:	

Drainage Plan

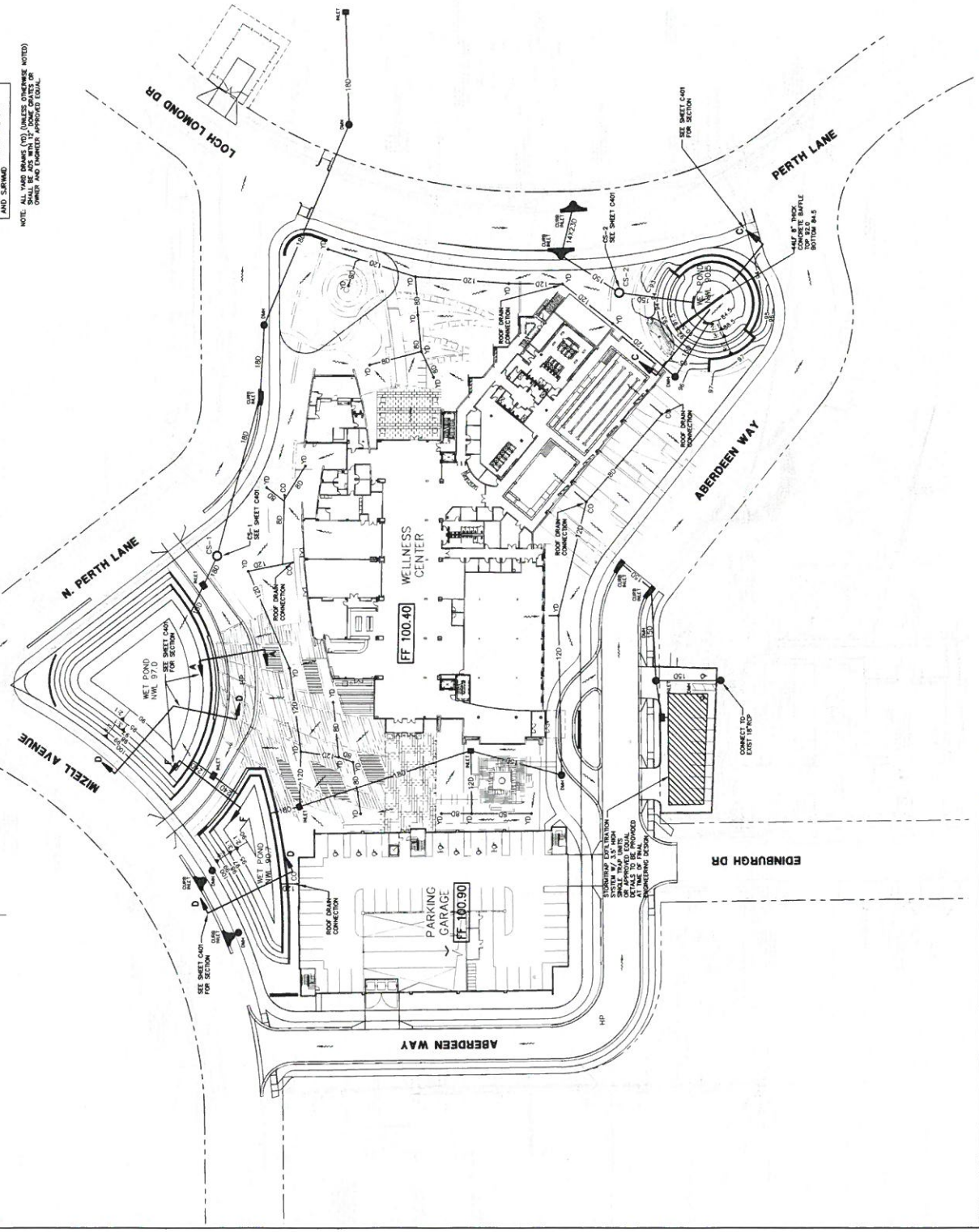
FCUP

C400

LEGEND

- STORM SEWER SYSTEM W/ MANHOLE
- GRID INLET
- YARD DRAIN
- DIRECTION OF FLOW

NOTE: ALL YARD DRAINS (YD) UNLESS OTHERWISE NOTED OWNED AND MAINTAINED BY THE CITY OF WINTER PARK, FLORIDA.





DONALD W. MCINTOSH ASSOCIATES, INC.
ENGINEERS PLANNERS SURVEYORS



DUDA IPAIME ARCHITECTS

CIVIL ENGINEER
Nashua Health Foundation
220 Edinboro Drive
Winter Park, FL 32792

CIVIL ENGINEER
Winter Park Memorial Hospital
3401 S. Redwood Blvd.
Winter Park, FL 32792

ARCHITECT
Architect, LLP
333 S. 1st Street
Duluth, NC 27791

CIVIL ENGINEER
Professional Association, Inc.
2200 Park Avenue North
Winter Park, FL 32799

ARCHITECT
Professional Association, Inc.
20 West Robinson Street
Duluth, NC 27791

STRUCTURAL ENGINEER
Professional Association, Inc.
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MECHANICAL ENGINEER
Professional Association, Inc.
325 S. 2nd Street
Duluth, NC 27791

ELECTRICAL ENGINEER
Professional Association, Inc.
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Duluth, NC 27791

LIGHTING CONSULTANT
Professional Association, Inc.
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Duluth, NC 27791

MECHANICAL CONSULTANT
Professional Association, Inc.
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ELECTRICAL CONSULTANT
Professional Association, Inc.
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PLUMBING CONSULTANT
Professional Association, Inc.
325 S. 2nd Street
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GEOTECHNICAL CONSULTANT
Professional Association, Inc.
325 S. 2nd Street
Duluth, NC 27791

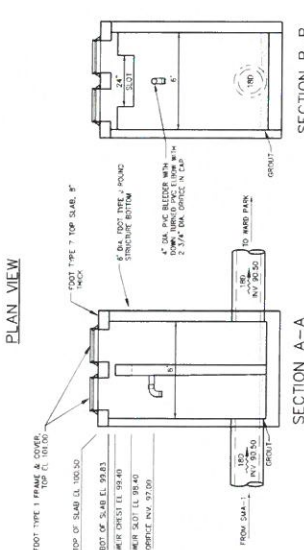
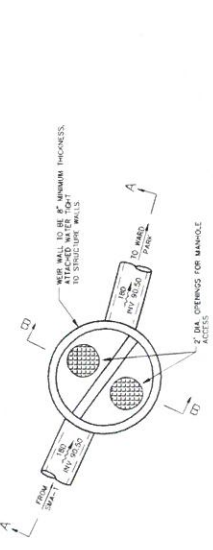
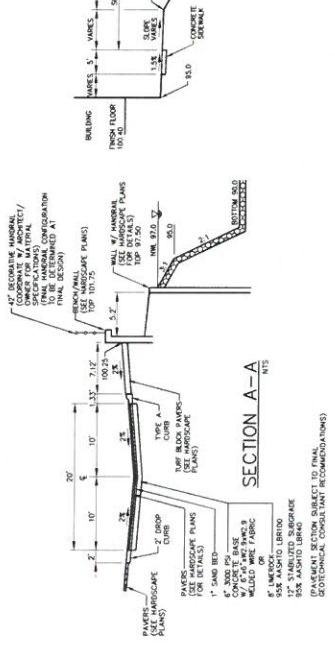
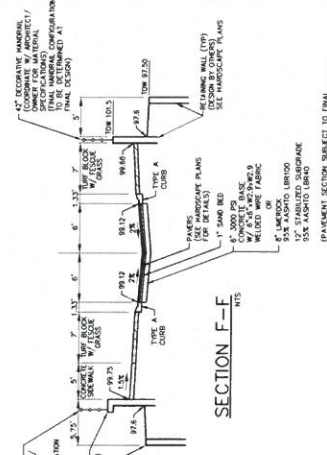
PROJECT WELLNESS FINAL CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

NO.	DATE	DESCRIPTION
1	05/15/23	ISSUED FOR PERMIT
2	05/22/23	ISSUED FOR PERMIT

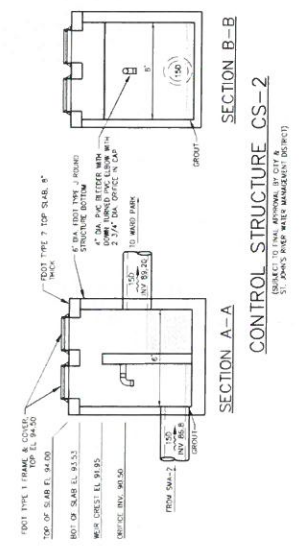
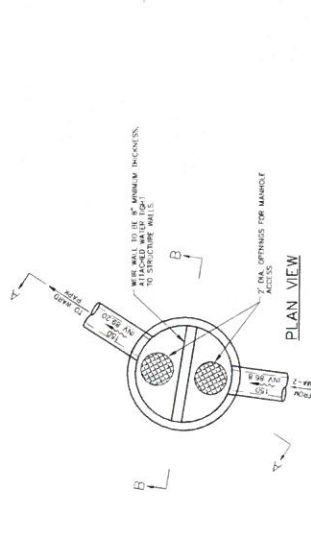
Drainage Details

FCUP

C401



CONTROL STRUCTURE CS-1



CONTROL STRUCTURE CS-2

14 INCH DEPTH FOR SAND TO 300 PSI
50% FINE SAND (LESS THAN 300 MICRONS) TO BE PASSING
75% SAND (NO. 40) COMPACTED TO
SOIL MAX 4400-1000 (OR APPROVED EQUAL)
NO. 10 MILLIMETER HPF. GEOTECHNICAL/SURFACE
SPECIFICATIONS
GEOTECHNICAL CONSULTANT RECOMMENDATIONS



DUDA IPAÏNE
ARCHITECTS

OWNER
Winter Park Health Foundation
1700 Parkway
Winter Park, FL 32789

ARCHITECT
Winter Park Associated Architects
200 N. Lafayette Avenue
Winter Park, FL 32789

LANDSCAPE ARCHITECT
Duda Ipaïne Architects, PA
333 Highland Street
Winter Park, FL 32789

CIVIL ENGINEER
Donald W. Hutchins Associates, Inc.
777 N. Main Street
Winter Park, FL 32789

LANDSCAPE ARCHITECT
Folpe, Conrad & Associates, Inc.
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Orlando, FL 32801

STRUCTURAL ENGINEER
Wolfe, Fox and Company
1000 N. Main Street
Orlando, FL 32801

MECHANICAL ENGINEER
105 Winterley Place
Orlando, FL 32801

POOL CONSULTANT
Natick Design & Engineering
3486 N. 72nd Avenue
Orlando, FL 32801

LIGHTING CONSULTANT
Design Pro, Inc. - 6th Floor
New York, NY 10016

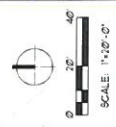
POOL SERVICE CONSULTANT
C.A. VACHO
Atlanta, Georgia 30306

PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

DATE:	10/15/2014	PROJECT NO.:	10000000000000000000
SCALE:	AS SHOWN	SHEET NO.:	1-000
<p>These drawings were prepared by the undersigned for the project and site described herein. They are not to be used for any other project or site without the written consent of the undersigned. The undersigned is not responsible for any errors or omissions in these drawings or for any consequences arising therefrom.</p>			

Illustrative
Landscape
Site Plan

F.C.U.P.
L-000





**DUDA IPAIRE
ARCHITECTS**

OWNER:
Winter Park Health Foundation
200 Landmark Drive
Winter Park, FL 32789
407-875-9500
200 N. Lanier Avenue
White Park, FL 32799

ARCHITECT:
Duda Ipaire Architects, PA
333 E. Highway 17, Suite 200
Orlando, FL 32801
407-875-9500

LANDSCAPE ARCHITECT:
FUTURE CONCEPTS AND DESIGN, INC.
1000 N. Orange Blossom Street
Orlando, FL 32809

STRUCTURAL ENGINEER:
THE TUCKER COMPANY
1000 N. Orange Blossom Street
Orlando, FL 32809

PE ENGINEER:
1000 N. Orange Blossom Street
Orlando, FL 32809

SOIL CONSULTANT:
AKR Engineering
200 N. Orange Blossom Street
Orlando, FL 32809

UTILITY CONSULTANT:
AKR Engineering
200 N. Orange Blossom Street
Orlando, FL 32809

PROJECT:
CITY OF WINTER PARK, FLORIDA
CONDITIONAL USE PLANS
FINAL

PROJECT WELLNESS

TREE PROTECTION / REMOVAL PLAN

F.C.U.P.

L-001

LEGEND

○ • EXISTING OAK TREE
○ • EXISTING CABBAGE PALM
○ • EXISTING PALM TREE
○ • EXISTING TREE (DIPLOMATA, SYCAMORE, LINDEN, GUM, PINE, etc.)

○ • EXISTING TREE OR PALM TO BE REMOVED

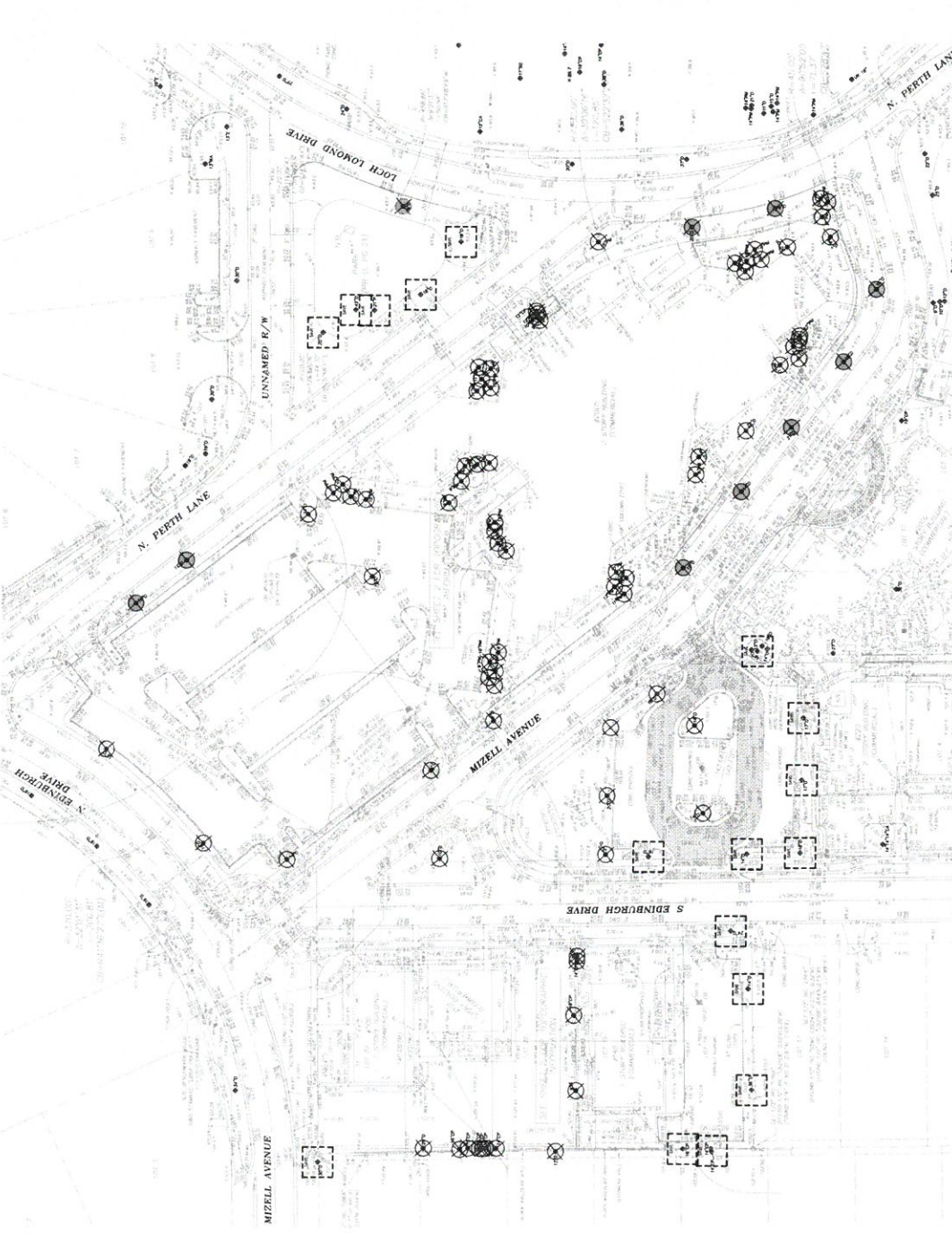
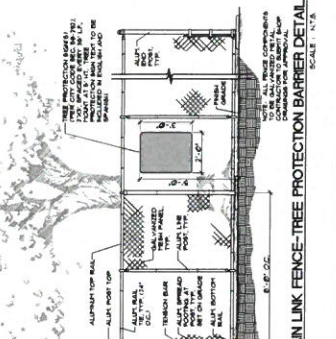
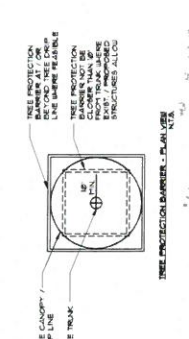
○ • DECLINING EXISTING TREE IN PITIGATION REQUIRED PER TREE PALM SIZE IN CALIPER (SEE DETAIL BARRIER LEGS)

○ • EXISTING TREE OR PALM TO BE REMOVED (SEE DETAIL BARRIER LEGS)

TREE PROTECTION NOTES:

1. PROTECT DESIGNATED EXISTING TREES SCHEDULED TO REMAIN. PROVIDE NECESSARY CUTTING, BRACING, OR SHIELDING OF ROOTS AND TRUNKS TO PREVENT DAMAGE FROM CONSTRUCTION OR EXCAVATION. INSTALL PROTECTIVE BARRIERS AND CHAIN LINK FENCING AROUND TREE PROTECTION ZONES. REMOVE ALL EXISTING TRUNK PROTECTION BARRIERS, CHAIN LINK FENCING, AND OTHER OBSTRUCTIONS TO PROTECTIVE BARRIERS. REMOVE ALL EXISTING TRUNK PROTECTION BARRIERS, CHAIN LINK FENCING, AND OTHER OBSTRUCTIONS TO PROTECTIVE BARRIERS.

2. REMOVE ALL EXISTING CHAIN LINK FENCING, BARRIERS, AND OTHER OBSTRUCTIONS TO PROTECTIVE BARRIERS. REMOVE ALL EXISTING TRUNK PROTECTION BARRIERS, CHAIN LINK FENCING, AND OTHER OBSTRUCTIONS TO PROTECTIVE BARRIERS. REMOVE ALL EXISTING TRUNK PROTECTION BARRIERS, CHAIN LINK FENCING, AND OTHER OBSTRUCTIONS TO PROTECTIVE BARRIERS.



TREE REMOVAL / REPLACEMENT CHART

SPECIES REMOVED	NO. OF PROTECTED TREES TO BE REMOVED	TOTAL CALIPER INCHES REMOVED	REPLACEMENT RATIO	REPLACEMENT SIZE	TOTAL REPLACEMENT CALIPER INCHES REQ'D
OAK (O)	18	281"	1" TO 1"	MIN. 3" CAL.	281"
SPECIES REMOVED	NO. OF PROTECTED TREES TO BE REMOVED	TOTAL CALIPER INCHES REMOVED	REPLACEMENT RATIO	REPLACEMENT SIZE	TOTAL REPLACEMENT CALIPER INCHES REQ'D
OAK (O)	16	16"	N/A	N/A	NO PITIGATION REQ'D (SEE NOTE 1)

NOTE 1: BASED ON A SITE MEETING WITH THE CITY ARBORIST ON FEBRUARY 2, 2024, IT WAS DETERMINED THAT A NUMBER OF EXISTING TREES WITHIN THE CITY ROW WERE IN A STATE OF DECLINE AND WOULD BE REMOVED DUE TO INTERFERENCE WITH OVERHEAD POWER LINES, WERE BEING REMOVED DUE TO STRUCTURAL DEFICIENCIES, OR WERE OTHERWISE UNSOUND. AND THE FACT THAT THESE TREES WERE WITHIN THE CITY ROW. THE ARBORIST AGREED THAT PITIGATION WOULD BE REQUIRED FOR THE REMOVAL OF TREES WITHIN THE CITY ROW. THE CITY ARBORIST HAS REVIEWED THE TREE SURVEY SHOWN ON THE INITIAL TREE SURVEY WERE ALREADY TAKEN DOWN BY THE CITY.





DUDA PAINE ARCHITECTS

OWNER
Winter Park Health Foundation
7700 Lake Nona Blvd
Winter Park, FL 32792

ARCHITECT
DUDA PAINE ARCHITECTS, PA
333 Highland Street
Winter Park, FL 32792

CIVIL ENGINEER
CIVIL ENGINEERING ASSOCIATES, INC.
1777 Alford Avenue
Winter Park, FL 32792

LANDSCAPE ARCHITECT
AUSTIN COOPER & ASSOCIATES, INC.
1000 N. Orange Avenue
Orlando, FL 32801

STRUCTURAL ENGINEER
JULIUS F. FORBES COMPANY
304 E. Forsyth Street
Orlando, FL 32801

MECHANICAL ENGINEER
RMT, INC.
1001 Winterberry Place
Melbourne, FL 32935

POOL CONSULTANT
TRACIFIC DESIGN & ENGINEERING
1800 E. Colonial Avenue
Orlando, FL 32809

MECHANICAL ENGINEER
CHRYSLER FINANCIAL GROUP
Design Project Center, 4th Floor
New York, NY 10036

FOOD SERVICE CONSULTANT
CANTUCHO
1000 Peachtree Street, NW
Atlanta, Georgia 30309

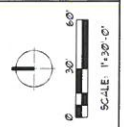
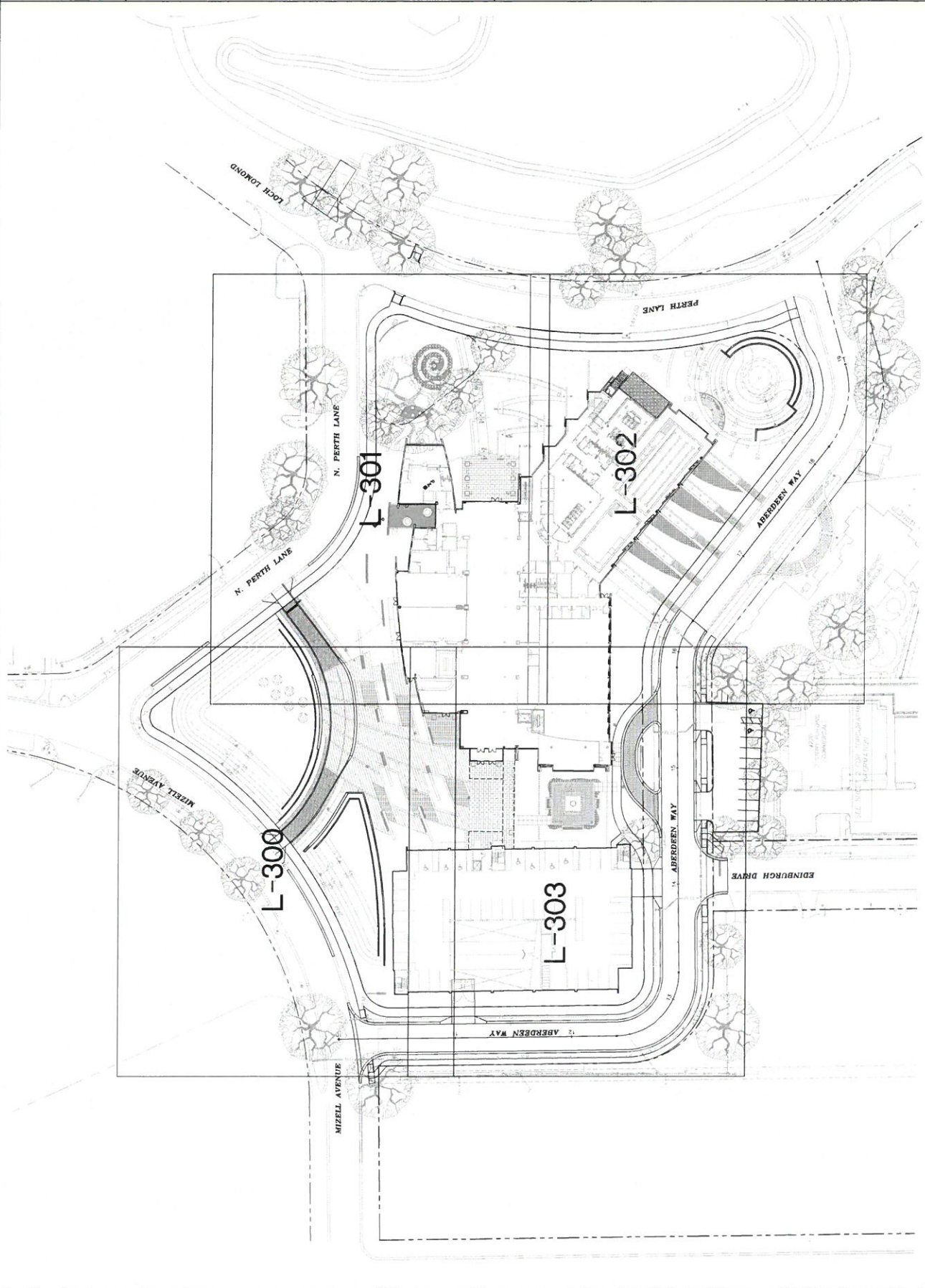
PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

DATE	02/15/2024
SCALE	AS SHOWN
PROJECT NUMBER	24000010
PROJECT NAME	WINTER PARK HEALTH FOUNDATION
PROJECT ADDRESS	7700 LAKE NONA BLVD
CITY	WINTER PARK, FL
STATE	FLORIDA
COUNTY	SEMINOLE
ZONING	CU-1
PROJECT PHASE	FINAL
DESIGNER	DUDA PAINE ARCHITECTS, PA
DATE	02/15/2024

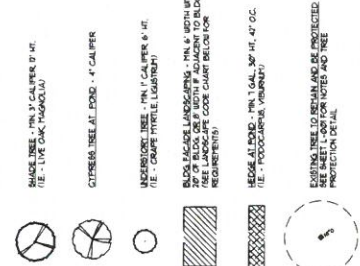
Overall Key
Plan

F.C.U.P.

L-002



LANDSCAPE LEGEND

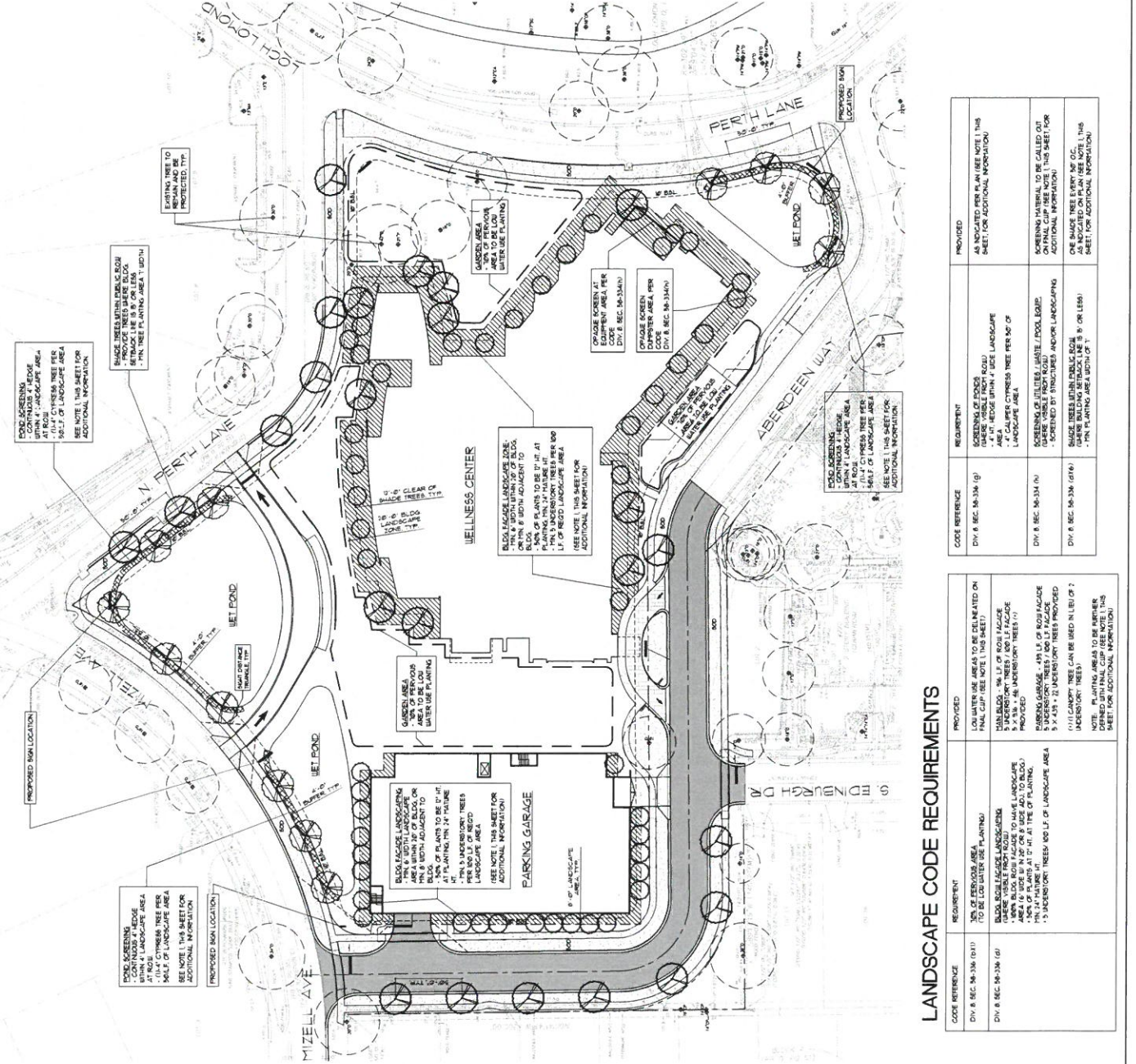


CODE TREE MITIGATION CHART

TOTAL CALIPER INCHES TO BE MITIGATED (SEE SHEET L-100)	SEE NOTE A/1
SUPPORT OF REPLACEMENT TREES	4"
TREES AT PUBLIC ROOF (8" SHADE TREES = 3" CAL)	4"
BUILDING FACADE TREES	4"
BELLEVUE CENTER - (2) UNDERSTORY TREES = 4" CAL	4"
PARKING GARAGE - (2) UNDERSTORY TREES = 4" CAL	4"
NOTE: TOTAL OF 48 UNDERSTORY TREES = 4" CAL (CODE PERMITS 20% OF BLOCK OR 50% IF ADJACENT TO BLOCK REQUIREMENTS)	
CODE TABLE OF BLOCK TREES - (2) UNDERSTORY TREES = 4" CAL	
TREES AT SET POINTS (2) CYPRESS TREES = 4" CAL	4"
TOTAL REPLACEMENT TREES PER PLAN	137
TOTAL MITIGATION INCHES REMAINING (SEE NOTE B/1)	365

GENERAL NOTES

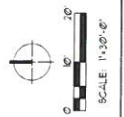
- THE PURPOSE OF THIS PLAN IS TO SHOW THE LANDSCAPE DESIGN AND LOCATION TO BE APPROVED IN FINAL CITY LANDSCAPE PLAN.
- THE FINAL LANDSCAPE PLAN SHALL BE A FLORIDA FRIENDLY PLAN PER SECTION 90-333 (4) AS SET FORTH IN DIVISION 8 LANDSCAPE REGULATIONS CITY OF WINTER PARK, CODE OF ORDINANCES.
- ALL LANDSCAPE MATERIAL SHALL BE IN CONFORMANCE WITH THE LATEST FLORIDA GRASSES AND BULBS HANDBOOK FOR NURSERY PLANTS DIVISION OF PLANT INDUSTRIES.
- ALL PLANTING AT INTERSECTIONS AND CORNERS TO CONFORM TO INTERSECTION AND RIGHT-OF-WAY VISIBILITY REQUIREMENTS AS SET FORTH IN SECTION 90-333 (4) AS SET FORTH IN DIVISION 8 LANDSCAPE REGULATIONS.
- MULCH CREATED FROM CYPRESS TREES SHALL NOT BE UTILIZED DURING CONSTRUCTION. DOCUMENTATION FOR MULCH DISPOSAL TO BE PROVIDED FOR RECORD.
- ALL ROAD AREAS TO BE 9" AUGURINE BODEN UNLESS OTHERWISE NOTED.



LANDSCAPE CODE REQUIREMENTS

CODE REFERENCE	REQUIREMENT	PROVIDED
DIV. 8 SEC. 90-336 (9)(1)	10% OF PERVIOUS AREA (TO BE LOSS WATER USE PLANTING)	PROVIDED
DIV. 8 SEC. 90-336 (9)	BUILDING FACADE LANDSCAPE (UNDERSTORY TREES / DOG LIP FACADE AREA & SIDE BY 2' OR 8' SIDE ADJ. TO BLOCK) - 1" CAL PER TREE PER 100 SF OF PLANTING AREA	PROVIDED
DIV. 8 SEC. 90-336 (9)(4)	PARKING GARAGE - 4" CAL OR 8" CAL FACADE UNDERSTORY TREES / DOG LIP FACADE 5' X 4.5' - 12 UNDERSTORY TREES PROVIDED	PROVIDED
DIV. 8 SEC. 90-336 (9)(6)	(1) CANOPY TREE CAN BE USED IN LIEU OF 2 UNDERSTORY TREES	PROVIDED

CODE REFERENCE	REQUIREMENT	PROVIDED
DIV. 8 SEC. 90-336 (9)	LANDSCAPE SCREENING (UNDERSTORY TREE)	PROVIDED PER PLAN (SEE NOTE 1) THIS SHEET FOR ADDITIONAL INFORMATION
DIV. 8 SEC. 90-336 (9)	SCREENING OF UTILITIES (WASTE POOL EQUIPMENT) - 4" CAL PER CYPRESS TREE PER 50 SF OF LANDSCAPE AREA	PROVIDED
DIV. 8 SEC. 90-336 (9)(6)	SHADE TREES (UNDERSTORY TREES) - 1" CAL PER TREE PER 100 SF OF PLANTING AREA (MULCH BY 8" OR LESS)	PROVIDED PER PLAN (SEE NOTE 1) THIS SHEET FOR ADDITIONAL INFORMATION





DUDA PAINE ARCHITECTS

Winter Park Health Foundation
200 Garrison Drive
Winter Park, FL 32790
White Pine Medical Building
200 N. Limestone Avenue
Winter Park, FL 32790
ARCHITECT
DUDA PAINE ARCHITECTS, PA
333 Magnolia Street
Winter Park, FL 32790
OWNER
DUNCAN W. ANDERSON ASSOCIATES, INC.
1200 North 1st Street
Winter Park, FL 32790
LANDSCAPE ARCHITECT
FORER CONSULTANTS & ASSOCIATES, INC.
1501 North 1st Street
Chorley, PA 32801
STRUCTURAL ENGINEER
PAUL J. FORER AND COMPANY
3100 West Lake Street
Chorley, PA 32801
MECHANICAL ENGINEER
105 Woodbury Place
Chorley, PA 32801
ELECTRICAL ENGINEER
105 Woodbury Place
Chorley, PA 32801
FOOD CONSULTANT
FOODSERVICE DESIGN & ENGINEERING
1400 S. Orange Avenue
Suite 1700
Orlando, FL 32809
LIGHTING CONSULTANT
LUXUS LIGHTING
Design Inc. 1000 Peach Ave. Floor
New York, NY 10014
FOOD SERVICE CONSULTANT
CASAACHIO
CASAACHIO INDUSTRIES INC
Atlanta, Georgia 30300

PROJECT WELLNESS FINAL CONDITIONAL USE PLANS

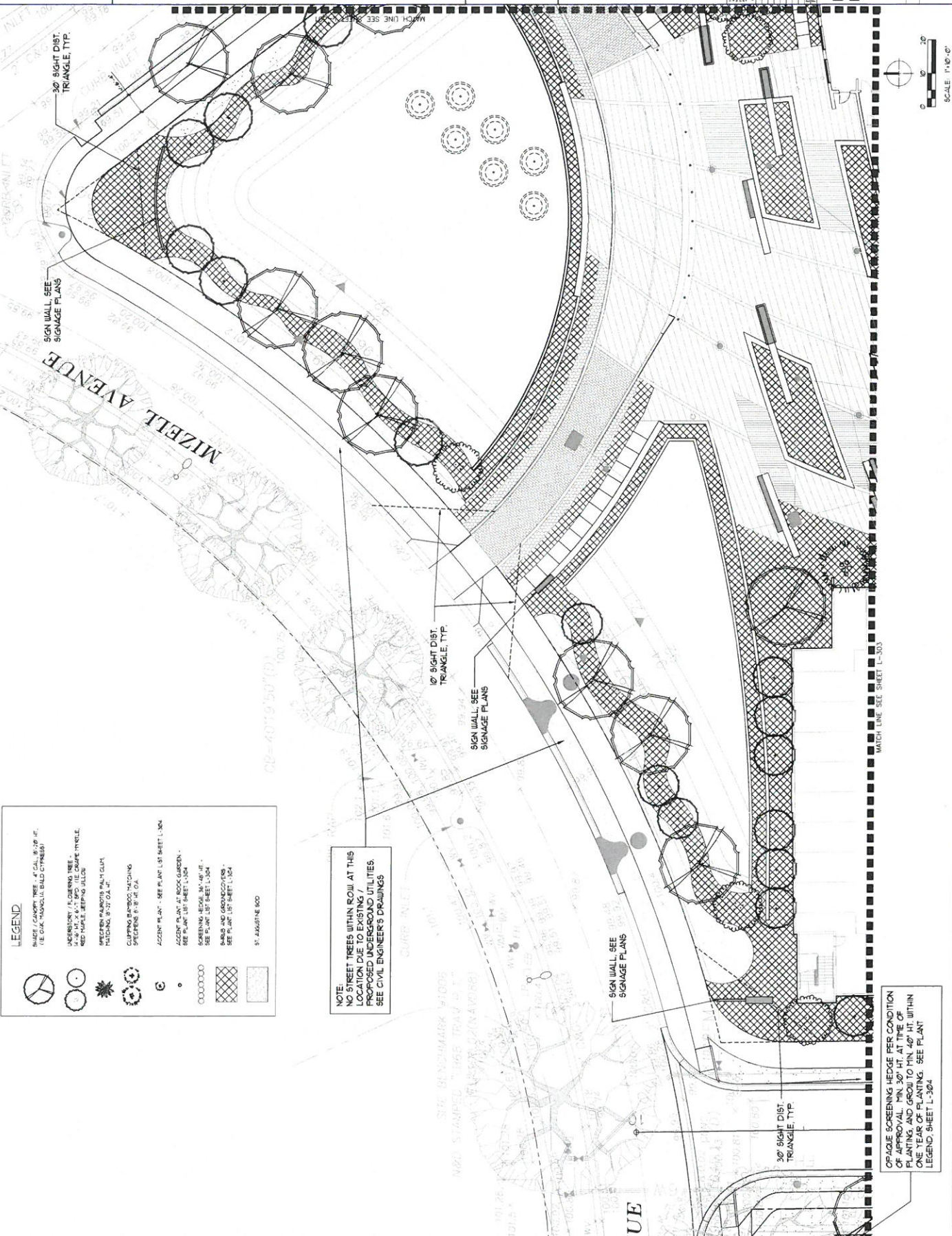
CITY OF WINTER PARK, FLORIDA

DATE: 04/05/2018
DESIGNER: [Name]
PROJECT NUMBER: [Number]

Landscaping Plan

FC.U.P.

L-300



LEGEND

- BLUISH-GREEN TREE 4" CAL. @ 10' SP. HT. (I.E. OAK, MANICURIED BULO OBTUSIFOLIA)
- UNIDENTIFIED PLANTING TREE 6" CAL. @ 10' SP. @ 10' HT. (I.E. OAK, MANICURIED BULO OBTUSIFOLIA)
- RED MAPLE, KEEPING YELLOW
- WINTER PINE, PLANTING WITH CLUMP MATCHING 8" @ 10' HT.
- CLIPPING BARBERS MATCHING SPECIENS 8" @ 10' HT. O.A.
- ACCENT PLANT - SEE PLANT LIST SHEET L-304
- AGONY PLANT - SEE PLANT LIST SHEET L-304
- SPRINGING BUSHES 4" @ 10' HT. SEE PLANT LIST SHEET L-304
- BULBS AND ASSOCIATED ROCK SEE PLANT LIST SHEET L-304
- ST. JAGGIE 500

NOTE:
NO STREET TREES WITHIN ROW AT THIS LOCATION DUE TO EXISTING / PROPOSED UNDERGROUND UTILITIES. SEE CIVIL ENGINEER'S DRAWINGS

OP AQUE SCREENING HEDGE PER CONDITION OF APPROVAL, MIN. 30' HT. AT TIME OF PLANTING, AND GROW TO MIN. 40' HT WITHIN ONE YEAR OF PLANTING. SEE PLANT LEGEND, SHEET L-304



OWNER
Winter Park Health Foundation
100 Carborough Drive
Winter Park, FL 32789

ARCHITECT
Duda Paine Architects, PA
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Orlando, FL 32801

LANDSCAPE ARCHITECT
Foster Conroy & Associates, Inc.
1000 Park Avenue South
Orlando, FL 32801

STRUCTURAL ENGINEER
Paul J. Long Structures Company
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Orlando, FL 32801

MEP ENGINEER
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POOL CONSULTANT
Azzurra Design & Engineering
1000 Park Avenue South
Orlando, FL 32801

LIGHTING CONSULTANT
Design by Light
1000 Park Avenue South
Orlando, FL 32801

FOOD SERVICE CONSULTANT
Cavacchio
1000 Park Avenue South
Orlando, FL 32801

PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

PROJECT NUMBER	065000018
DATE	06/20/2018
DESIGNER	DUDA PAINE ARCHITECTS, PA
PROJECT NAME	WINTER PARK HEALTH FOUNDATION
PROJECT ADDRESS	1000 PARK AVENUE SOUTH, ORLANDO, FL 32801
PROJECT NUMBER	065000018
DATE	06/20/2018
DESIGNER	DUDA PAINE ARCHITECTS, PA
PROJECT NAME	WINTER PARK HEALTH FOUNDATION
PROJECT ADDRESS	1000 PARK AVENUE SOUTH, ORLANDO, FL 32801

Landscape
Plan

F.C.U.P.
L-301

LEGEND

- SHADE / CANOPY TREE - 4" CAL. @ 20' INT. (IE OAK, MAGNOLIA BOLD CYPRESS)
- ACCENTORY / FLOERING TREE - 4" CAL. @ 20' INT. (IE OAK, MAGNOLIA BOLD CYPRESS)
- SPECIEN PLANTING'S PAINT GUT. PLANTING @ 20' O.A. INT.
- DESIGNER'S SUGGESTION PLANTING SPECIENS @ 20' O.A. INT.
- ACCENT PLANT - SEE PLANT LIST SHEET L-304
- ACCENT PLANT AT POOL GARDEN - SEE PLANT LIST SHEET L-304
- SHADE AND GROUNDCOVERS - SEE PLANT LIST SHEET L-304
- 9" ALUMINUM ROD

NOTE:
NO STREET TREES
LOCATED AT THIS
EXISTING / PROPOSED
UNDERGROUND
UTILITIES. SEE CIVIL
ENGINEER'S DRAWINGS





OWNER
Winter Park Height Foundation
Winter Park, FL 32789

ARCHITECT
DUDA PAINE ARCHITECTS, PA
333 Light Street
Winter Park, FL 32789

CIVIL ENGINEER
DORIS W. ACHARY, Assoc. P.E.
Winter Park, FL 32789

LANDSCAPE ARCHITECT
JAMES COOPER & ASSOCIATES, INC.
1000 E. US Highway 1
Orlando, FL 32816

STRUCTURAL ENGINEER
3205 LINDSEY COMPANY
3205 Lindsey Company
3048 E. US Highway 1
Orlando, FL 32816

MECHANICAL ENGINEER
3205 LINDSEY COMPANY
3048 E. US Highway 1
Orlando, FL 32816

POOL CONSULTANT
CITY OF WINTER PARK, FLORIDA
100 South Orange Avenue
Orlando, FL 32816

IRRIGATION CONSULTANT
Clem Irrigation Irrigation
1000 E. US Highway 1
Orlando, FL 32816

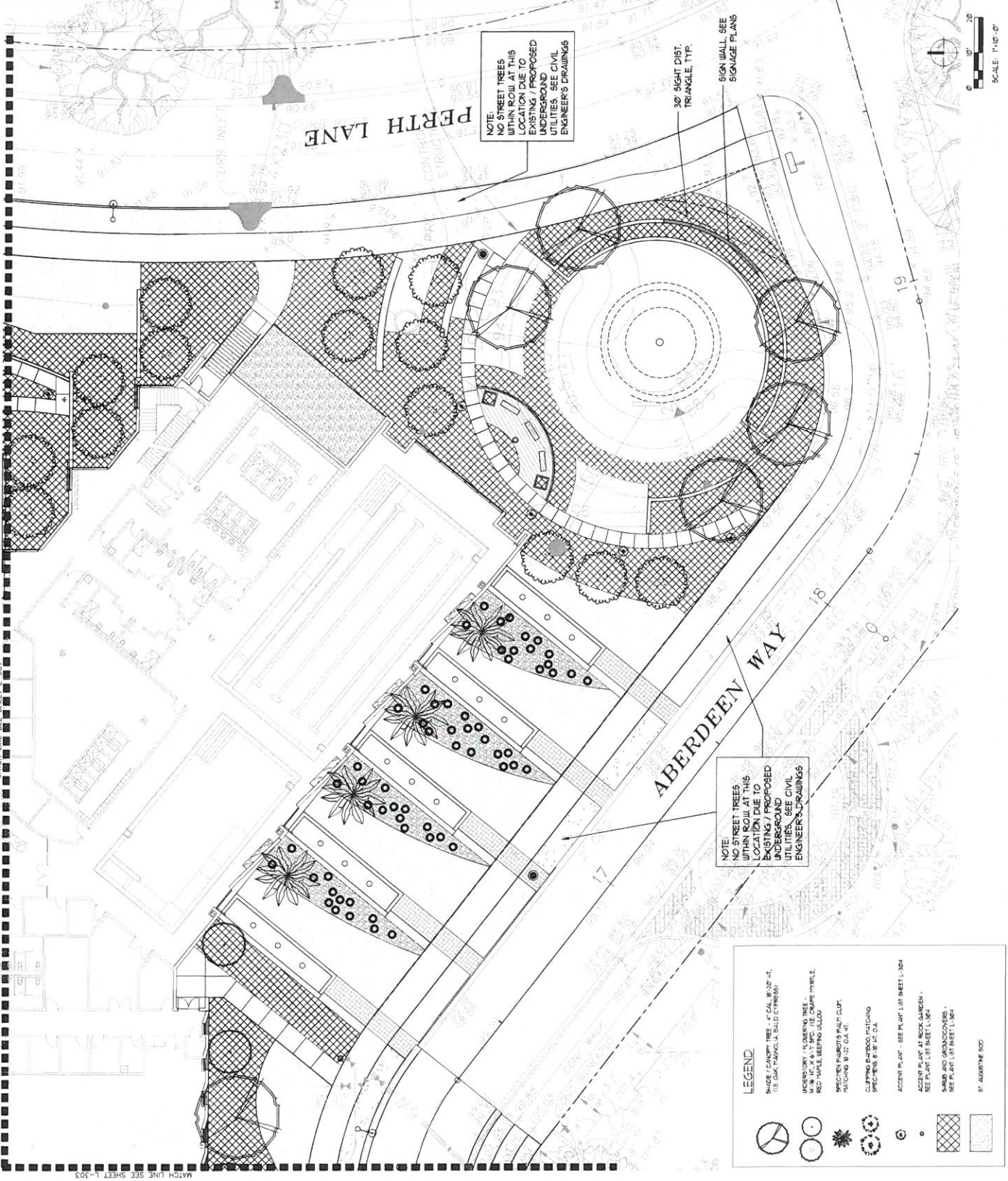
POOL SERVICE CONSULTANT
6235 Peachtree Parkway Blvd
Atlanta, Georgia 30360

PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS

CITY OF WINTER PARK, FLORIDA

PROJECT NUMBER	0400000000
DATE	08/20/2018
SCALE	1"=10'-0"

Project Name: PROJECT WELLNESS
Final Conditional Use Plans
Scale: 1"=10'-0"
F.C.U.P.
L-302



LEGEND

- SHADE PLANTING: TREE - 4" CAL. W/ 20" HT. (IE OAK, PALM, LA BOLD CYPRUS)
- INVENTORY: PLANTING: TREE - 18" W/ 4" X 6" SPC. (IE CREMA MYRTLE, RED TUPLO, BEEBEE JALLO)
- SPRINKLER: PARROT'S PALM CLIP MATCHING: 18" 22" CAL. HT.
- CLIPPING: BARBADOE MATCHING: 18" 22" CAL. HT.
- ACCENT PLANT: SEE PLANT LIST SHEET L-304
- ACCENT PLANT AT ROCK GARDEN: SEE PLANT LIST SHEET L-304
- BARB AND GRASS COVERS: SEE PLANT LIST SHEET L-304
- 5' AUGURINE BOD.



MATCH LINE SEE SHEET L-301

MATCH LINE SEE SHEET L-301

PROPOSED PLANT LIST

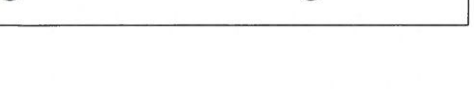
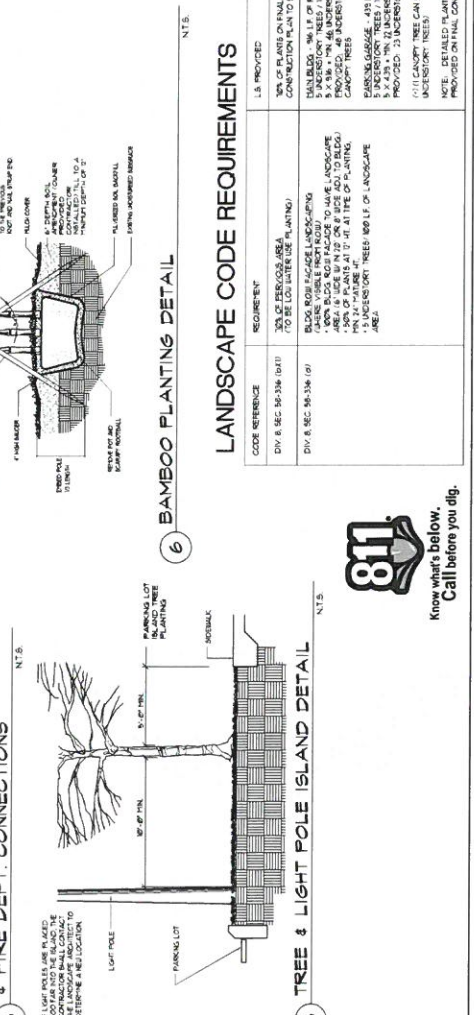
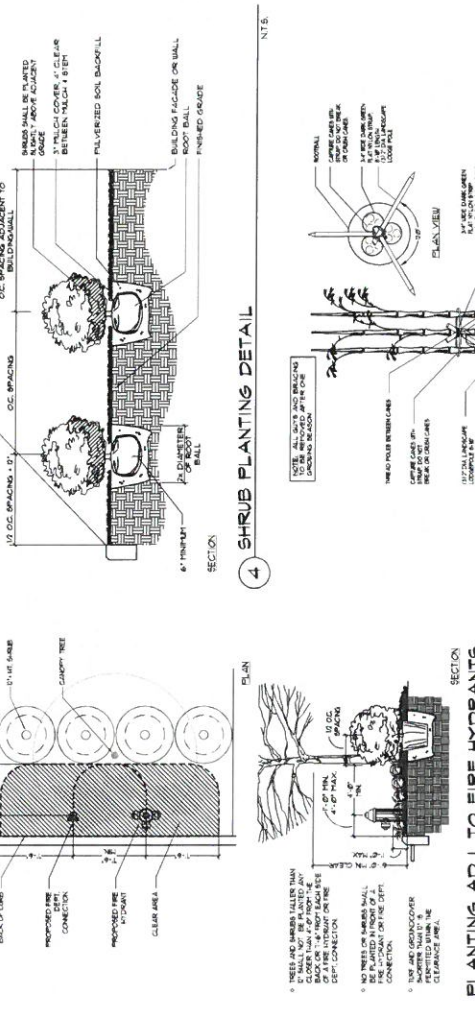
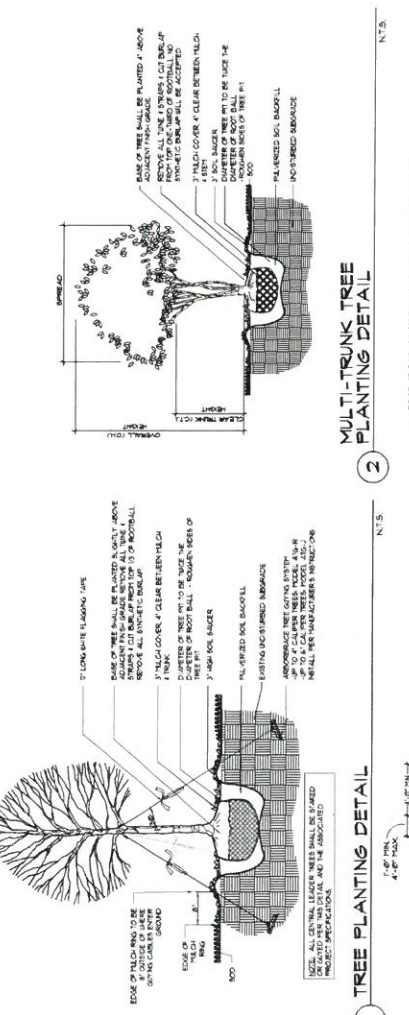
CANOPY TREE SYMBOL	SYMBOL	SCI. NAME	COTTON NAME	PROPAGATION	PLANTING NOTES
1	ACER RUBRA SUPER RED	ACER RUBRA SUPER RED	RED MAPLE	3" CAL. 10' H. X 4" SPIND.	3
2	MAHOGANY	MAHOGANY	RED BAY	4" CAL. 10' H. X 4" SPIND.	3
3	QUERCUS VIRENNA	QUERCUS VIRENNA	LIVE OAK	4" CAL. 10' H. X 4" SPIND. 6" CTR.	3
4	TAXODIUM DISTICHUM	TAXODIUM DISTICHUM	BALD CYPRESS	4" CAL. 10' H. X 4" SPIND. 4" CTR.	3
UNDERSTORY TREES					
1	NYCTAGINUS DEPUMBATUS	NYCTAGINUS DEPUMBATUS	JAPANESE SILVERBERRY	3" CAL. 10' H. X 4" SPIND. 10" S.	31
2	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE HOLLY	3" CAL. 10' H. X 4" SPIND. 10" S.	31
3	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
4	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
5	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
6	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
7	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
8	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
9	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
10	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
11	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
12	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
13	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
14	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
15	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
16	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
17	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
18	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
19	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31
20	LEUCOPHYLLA	LEUCOPHYLLA	JAPANESE PRIVET	3" CAL. 10' H. X 4" SPIND. 10" S.	31

GENERAL LANDSCAPE NOTES

- THE PURPOSE OF THIS PLAN IS TO SHOW THE REQUIRED LANDSCAPE AREA AND APPLICATION OF PLANTING NOTES. CLIENT IS REQUESTING DIRECTION IN PLANTING. A COMPLETE LANDSCAPE PLAN WILL BE PROVIDED AT A LATER DATE.
- ALL LANDSCAPE MATERIAL SHALL BE IN CONFORMANCE WITH THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS RECOMMENDED IN THE LATEST FLORIDA GRADING AND STANDARD MANUAL FOR NURSERY PLANTS BY STATE OF FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES DIVISION OF PLANT INDUSTRIES.
- PLANTING NOTES IN RED INDICATE SPECIES AND CULTIVARS TO CONFORM TO INTERSECTION AND RIGHT-OF-WAY VISIBILITY REQUIREMENTS AS SET FORTH IN SECTION 91.04 OF THE CITY OF WINTER PARK CODE OF ORDINANCES.
- MUCH CREATED PROTECTIVE TREES SHALL NOT BE UTILIZED.
- IRRIGATION PLAN SHALL BE PROVIDED DURING CONSTRUCTION DOCUMENTATION AND SHALL BE EQUIPPED WITH A FUNCTIONING MAIN SYSTEM AS REQUIRED BY FLORIDA STATE LAWS.
- ALL SOO AREAS TO BE 91.04 AMBROSIA SOO UNLESS OTHERWISE NOTED.

LANDSCAPE CODE REQUIREMENTS

CODE REFERENCE	REQUIREMENT	IS PROVIDED
DIV. 8 SEC. 94-336 (9)	SCREENING OF ROADS (WHERE VISIBLE FROM ROAD) AREA - HEDGE WITH 7 FEET LANDSCAPE AREA - 1 CALIFORNIA CYPRESS TREE PER 50' OF LANDSCAPE	NO
DIV. 8 SEC. 94-336 (10)	SCREENING OF INTERSECTIONS AND/OR LANDSCAPING (WHERE VISIBLE FROM ROAD) - SCREENED BY STRUCTURES AND/OR LANDSCAPING	NO
DIV. 8 SEC. 94-336 (11)	SHADE TREES WITH CANOPY AREA OF 100 SQ. FT. PER 100' OF ROAD	NO
DIV. 8 SEC. 94-336 (12)	SHADE TREES WITH CANOPY AREA OF 100 SQ. FT. PER 100' OF ROAD	NO





DUDA IPAÏNE
ARCHITECTS

OWNER
Winter Park Health Foundation
220 Edinburgh Drive
Winter Park, FL 32789

ARCHITECT
DUDA IPAÏNE ARCHITECTS
220 N. Laramie Avenue
Winter Park, FL 32789

ARCHITECT
ARCHITECTS, P.A.
333 Light Street
Dunsmuir, NC 27831

LANDSCAPE ARCHITECT
Foster Conroy & Associates, Inc.
1000 West Main Street
Orlando, FL 32801

STRUCTURAL ENGINEER
Paul J. Egan and Company
3400 Lake Nona Boulevard
Orlando, FL 32833

MEP ENGINEER
1051 Winesaple Place
Orlando, FL 32833

POOL CONSULTANT
Aquatic Design & Engineering
3446 1720 Orange Avenue
Orlando, FL 32833

LIGHTING CONSULTANT
Design Pro, Inc. (Lighting Design)
New York, NY 10016

POOL SERVICE CONSULTANT
CAVALLO
Atlanta, Georgia 30340

PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

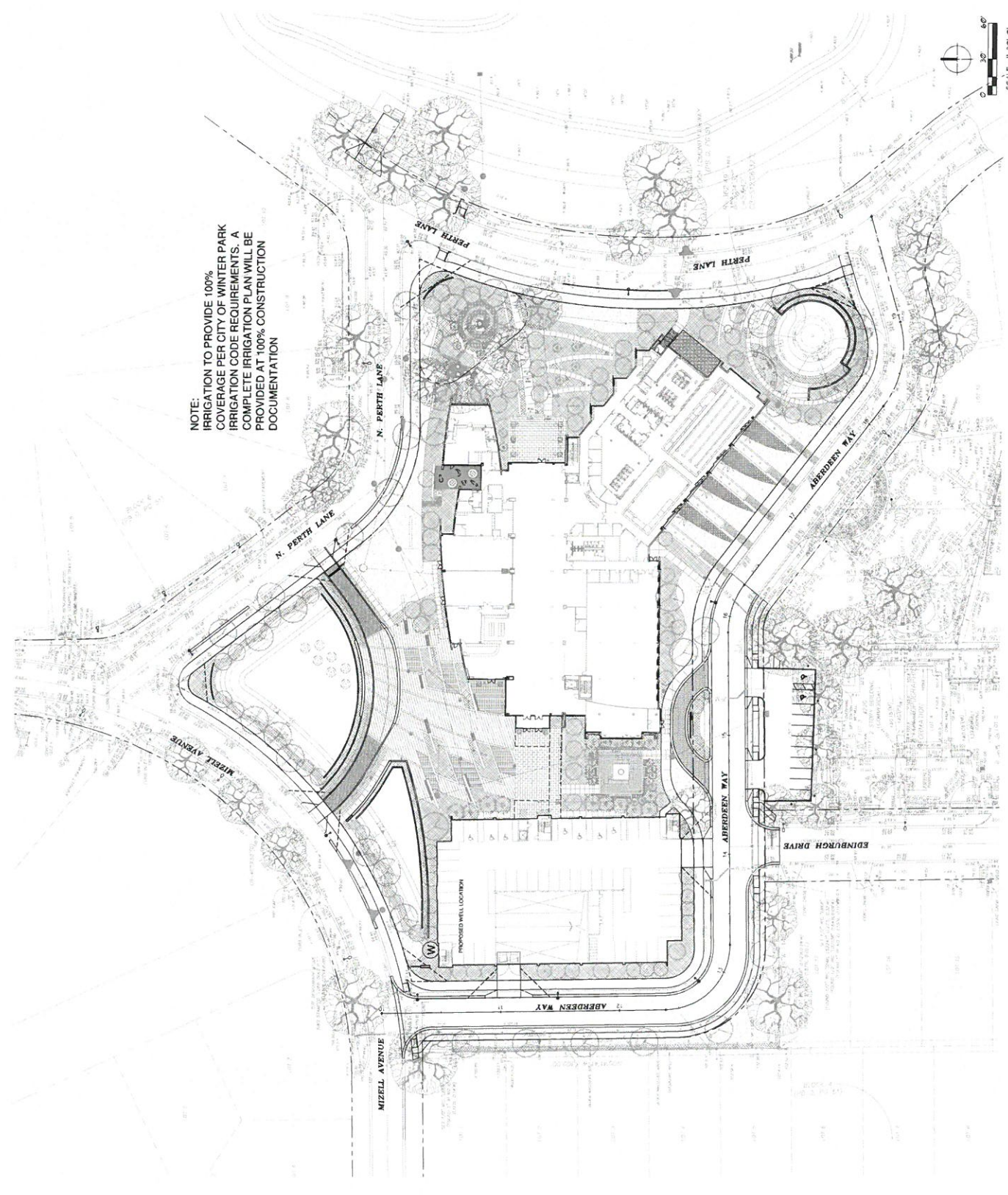
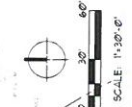
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SCALE:	1"=30'-0"
PROJECT NO.:	16-001
CLIENT:	Winter Park Health Foundation
LOCATION:	Winter Park, FL
DESIGNER:	DUDA IPAÏNE ARCHITECTS
DATE:	10/20/2016
SCALE:	1"=30'-0"
PROJECT NO.:	16-001
CLIENT:	Winter Park Health Foundation
LOCATION:	Winter Park, FL
DESIGNER:	DUDA IPAÏNE ARCHITECTS

Irrigation Plan

F.C.U.P.

L-400

NOTE:
IRRIGATION TO PROVIDE 100%
COVERAGE PER CITY OF WINTER PARK
IRRIGATION CODE REQUIREMENTS. A
COMPLETE IRRIGATION PLAN WILL BE
PROVIDED AT 100% CONSTRUCTION
DOCUMENTATION





DUDA PAINE ARCHITECTS
 200 N. Latham Avenue
 White Park, FL 32799
 Phone: 813.333.4444
 Fax: 813.333.4444
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ELECTRICAL ENGINEERS
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PLUMBING ENGINEERS
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CONSULTANTS
 200 N. Latham Avenue
 White Park, FL 32799
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 Website: www.dudapaine.com

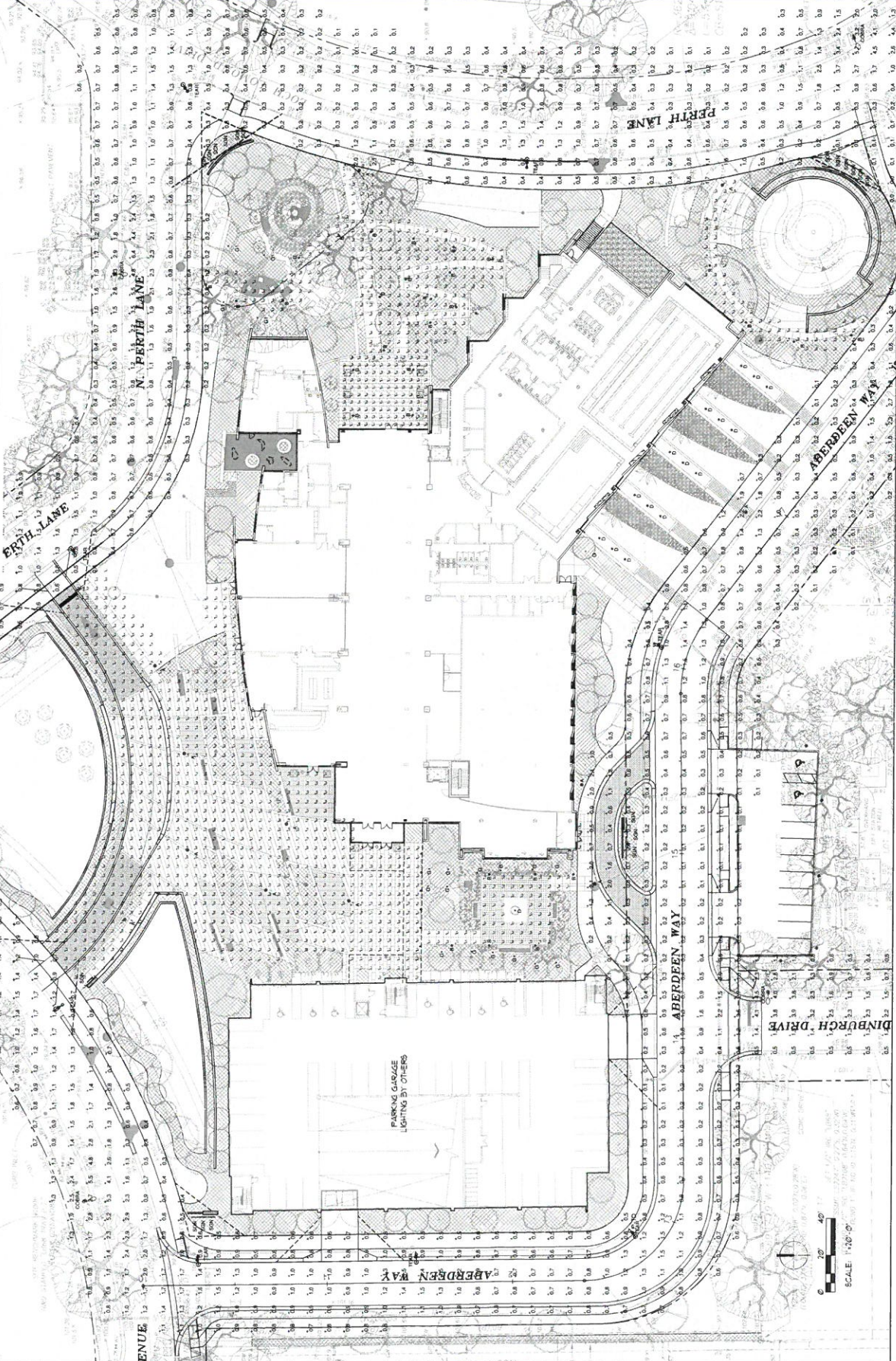
PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
 CITY OF WINTER PARK, FLORIDA

Lighting Plan & Schedule

F.C.U.P. **L-500**

ITEM	DESCRIPTION	QUANTITY	UNIT	DATE	REVISION
1	REVISION				
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EXISTING CITY CORRAL LIGHT FIXTURE AND POLE TO REMAIN (FOR REFERENCE ONLY)
 CORRAL
 PROPOSED SCHEDULE OF CITY WALK BIKE TRAIL LIGHT FIXTURE AND POLE AT RCU
 (BY OTHERS) (FOR REFERENCE ONLY)
 TRAIL



ITEM	DESCRIPTION	QUANTITY	UNIT	DATE	REVISION
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DUDA PAINE ARCHITECTS

OWNER
Winter Park Heights Foundation
1051 W. Highway 124
Winter Park, FL 32792

DESIGNER
White Pine Architectural
200 N. Lakemont Avenue
Winter Park, FL 32797

CONTRACTOR
DUSA Lighting Architects, PA
333 Hightway Street
Winter Park, FL 32792

CIVIL ENGINEER
CONVERSE WAINWORTH ASSOCIATES, INC.
1051 W. Highway 124
Winter Park, FL 32797

LANDSCAPE ARCHITECT
FOLLOW COMPANY & ASSOCIATES, INC.
1051 W. Highway 124
Winter Park, FL 32797

STRUCTURAL ENGINEER
7271 Forest Road Company
5001 N. Lakemont Avenue
Winter Park, FL 32797

MECHANICAL ENGINEER
1051 W. Highway 124
Winter Park, FL 32797

ELECTRICAL ENGINEER
1051 W. Highway 124
Winter Park, FL 32797

POOL CONSULTANT
1051 W. Highway 124
Winter Park, FL 32797

MECHANICAL ENGINEER
1051 W. Highway 124
Winter Park, FL 32797

STRUCTURAL ENGINEER
1051 W. Highway 124
Winter Park, FL 32797

ELECTRICAL ENGINEER
1051 W. Highway 124
Winter Park, FL 32797

POOL CONSULTANT
1051 W. Highway 124
Winter Park, FL 32797

MECHANICAL ENGINEER
1051 W. Highway 124
Winter Park, FL 32797

STRUCTURAL ENGINEER
1051 W. Highway 124
Winter Park, FL 32797

ELECTRICAL ENGINEER
1051 W. Highway 124
Winter Park, FL 32797

POOL CONSULTANT
1051 W. Highway 124
Winter Park, FL 32797

PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

Site
Lighting
Cut Sheets

F.C.U.P.

L-501

Table with 3 columns: REVISION NUMBER, DATE, DESCRIPTION

4800 LED
Bank of Tota Mount
Fountain Fixture

DESCRIPTION
The fixture is a 4800 LED bank of Tota Mount Fountain Fixture. It is a modern, minimalist design with a cylindrical body and a wide, shallow top. The fixture is made of aluminum and has a powder-coated finish. It is designed to be mounted on a pole and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- 4800 LED bank
- Tota Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

5 FOUNTAIN LIGHT DETAIL- SYMBOL 'D'

Amertek
Amertek LED
Fountain Fixture

DESCRIPTION
The fixture is a modern, minimalist design with a cylindrical body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted on a pole and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- Amertek LED bank
- Amertek Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

7 SIGN WALL UPLIGHT- SYMBOL '6N'

Amertek
Amertek LED
Sign Wall Uplight

DESCRIPTION
The fixture is a modern, minimalist design with a rectangular body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted on a wall and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- Amertek LED bank
- Amertek Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

6 TREE MOUNT DOWNLIGHT- SYMBOL '6I'

HUNZA
HUNZA LED
Tree Mount Downlight

DESCRIPTION
The fixture is a modern, minimalist design with a cylindrical body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted on a tree and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- HUNZA LED bank
- HUNZA Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

5 WALL/TREE UPLIGHT- SYMBOL '6'

HUNZA
HUNZA LED
Wall/Tree Uplight

DESCRIPTION
The fixture is a modern, minimalist design with a cylindrical body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted on a wall or tree and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- HUNZA LED bank
- HUNZA Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

2 PEDESTRIAN LIGHT BOLLARD DETAIL- SYMBOL 'B'

Amertek
Amertek LED
Pedestrian Light Bollard

DESCRIPTION
The fixture is a modern, minimalist design with a cylindrical body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted on a pole and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- Amertek LED bank
- Amertek Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

INVUE®
INVUE LED
Pedestrian Light Bollard

DESCRIPTION
The fixture is a modern, minimalist design with a cylindrical body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted on a pole and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- INVUE LED bank
- INVUE Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

2 PEDESTRIAN LIGHT BOLLARD DETAIL- SYMBOL 'B'

Amertek
Amertek LED
Pedestrian Light Bollard

DESCRIPTION
The fixture is a modern, minimalist design with a cylindrical body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted on a pole and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- Amertek LED bank
- Amertek Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

6 TREE MOUNT DOWNLIGHT- SYMBOL '6I'

HUNZA
HUNZA LED
Tree Mount Downlight

DESCRIPTION
The fixture is a modern, minimalist design with a cylindrical body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted on a tree and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- HUNZA LED bank
- HUNZA Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

5 WALL/TREE UPLIGHT- SYMBOL '6'

HUNZA
HUNZA LED
Wall/Tree Uplight

DESCRIPTION
The fixture is a modern, minimalist design with a cylindrical body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted on a wall or tree and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- HUNZA LED bank
- HUNZA Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

5 WALL/TREE UPLIGHT- SYMBOL '6'

HUNZA
HUNZA LED
Wall/Tree Uplight

DESCRIPTION
The fixture is a modern, minimalist design with a cylindrical body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted on a wall or tree and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- HUNZA LED bank
- HUNZA Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

2 PEDESTRIAN LIGHT BOLLARD DETAIL- SYMBOL 'B'

Amertek
Amertek LED
Pedestrian Light Bollard

DESCRIPTION
The fixture is a modern, minimalist design with a cylindrical body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted on a pole and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- Amertek LED bank
- Amertek Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

INVUE®
INVUE LED
Pedestrian Light Fixture

DESCRIPTION
The fixture is a modern, minimalist design with a cylindrical body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted on a pole and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- INVUE LED bank
- INVUE Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

1 PEDESTRIAN LIGHT FIXTURE DETAIL- SYMBOL 'A'

Amertek
Amertek LED
Pedestrian Light Fixture

DESCRIPTION
The fixture is a modern, minimalist design with a cylindrical body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted on a pole and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- Amertek LED bank
- Amertek Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

5 WALL/TREE UPLIGHT- SYMBOL '6'

HUNZA
HUNZA LED
Wall/Tree Uplight

DESCRIPTION
The fixture is a modern, minimalist design with a cylindrical body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted on a wall or tree and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- HUNZA LED bank
- HUNZA Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

4 WALL WASH LIGHT- SYMBOL 'F'

Amertek
Amertek LED
Wall Wash Light

DESCRIPTION
The fixture is a modern, minimalist design with a rectangular body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted on a wall and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- Amertek LED bank
- Amertek Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

2 UNDER BENCH LIGHT- SYMBOL 'B'

Amertek
Amertek LED
Under Bench Light

DESCRIPTION
The fixture is a modern, minimalist design with a rectangular body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted under a bench and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- Amertek LED bank
- Amertek Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°

2 UNDER BENCH LIGHT- SYMBOL 'B'

Amertek
Amertek LED
Under Bench Light

DESCRIPTION
The fixture is a modern, minimalist design with a rectangular body and a wide, shallow top. It is made of aluminum and has a powder-coated finish. The fixture is designed to be mounted under a bench and is suitable for use in parks, plazas, and other outdoor spaces. The fixture is rated for use in wet locations and has a life expectancy of up to 50,000 hours.

COMPONENTS
- Amertek LED bank
- Amertek Mount
- Aluminum body
- Powder-coated finish

SPECIFICATIONS
- Voltage: 120V AC
- Power: 150W
- Color Temperature: 3000K
- Beam Spread: 120°



NOTE:
WORKING PLAN TO COMPLY WITH ALL STANDARDS OUTLINED IN
THE CITY OF WINTER PARK, FL CODE OF ORDINANCES, INTRODUCTION
10 - EXTERIOR LIGHTING STANDARDS, SEC. 56-3.4



OWNER
Winter Park Health Foundation
220 E. Barnburgh Drive
Winter Park, FL 32789

ARCHITECT
Duda | Paine Architects, PA
3374 Uppsett Street
Winter Park, FL 32789

LANDSCAPE ARCHITECT
Landscape Architecture, Inc.
2001 Park Avenue North
Dunsmuir, NC 27801

STRUCTURAL ENGINEER
Proff, Fournier & Company
5146 250
Cherokee, IL 32803

M/E ENGINEER
1051 Westside Place
Apopka, FL 32711

POOL CONSULTANT
Aquatic Design & Engineering
11220 Orange Avenue
Orlando, FL 32811

LIGHTING CONSULTANT
Design Renaissance Lighting
4th Floor
Winter Park, FL 32789

FOOD SERVICE CONSULTANT
CASAALTO
4000 Lake Nona Blvd
Apopka, Orlando 32709

PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

NO.	DATE	DESCRIPTION
1	04/04/2017	PROJECT NUMBER
2	04/04/2017	DATE
3	04/04/2017	PROJECT NAME
4	04/04/2017	PROJECT NUMBER
5	04/04/2017	DATE
6	04/04/2017	PROJECT NAME
7	04/04/2017	PROJECT NUMBER
8	04/04/2017	DATE
9	04/04/2017	PROJECT NAME
10	04/04/2017	PROJECT NUMBER
11	04/04/2017	DATE
12	04/04/2017	PROJECT NAME
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14	04/04/2017	DATE
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22	04/04/2017	PROJECT NUMBER
23	04/04/2017	DATE
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97	04/04/2017	PROJECT NUMBER
98	04/04/2017	DATE
99	04/04/2017	PROJECT NAME
100	04/04/2017	PROJECT NUMBER

PERSPECTIVE
VIEW

F.C.U.P.
A-001



WELCOME GARDEN VIEW FROM MIZELL
N.T.S.



OWNER
Winter Park Health Foundation
Winter Park, FL 32787

Winter Park Memorial Hospital
209 N. Lakemont Avenue
Winter Park, FL 32787

ARCHITECT
DUDA PAINE ARCHITECTS, PA
333 Lippell Street
Winter Park, FL 32789

CIVIL ENGINEER
Dwight W. Anderson Associates, Inc.
5705 West 11th Street
Winter Park, FL 32789

LANDSCAPE ARCHITECT
Foster Conant & Associates, Inc.
1505 North US Highway 1
Orlando, FL 32801

STRUCTURAL ENGINEER
MVA Structural Company
3175 Madison Street
Suite 750
Orlando, FL 32803

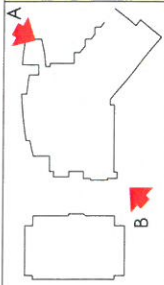
ELECTRICAL ENGINEER
USA Insulation Plus
1554 Westside Drive
Orlando, FL 32817

MECHANICAL ENGINEER
TWS Design & Engineering
1515 Orange Avenue
Suite 1220
Orlando, FL 32817

SOIL MECHANICAL ENGINEER
GCI Engineering Group
Orlando, FL 32801

DESIGNER
Design, Inc.
1300 East Main Street, 4th Floor
New York, NY 10013

FOOD SERVICE CONSULTANT
CAVARRO
1300 East Main Street, 4th Floor
New York, NY 10013



PERSPECTIVE VIEW FROM NORTHEAST **A**
N.T.S.



PERSPECTIVE VIEW FROM SOUTHWEST **B**
N.T.S.

PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

DATE: 12/11/2019

SCALE: AS SHOWN

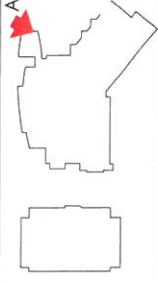
PROJECT: PROJECT WELLNESS

SHEET: 101

PERSPECTIVE VIEWS

F.C.U.P.

A-002



1001792



OWNER:
Winter Park Health Foundation
200 E. Washington Blvd.
Winter Park, FL 32789
202 N. Lakemont Avenue
Winter Park, FL 32792

ARCHITECT:
Duda | Paine Architects, PA
333 Lippell Street
Durham, NC 27701
2200 Park Avenue North
Durham, NC 27705

LANDSCAPE ARCHITECT:
Foster Conner & Associates, Inc.
2000 S. Orange Avenue, Suite 100
Orange, FL 32801

STRUCTURAL ENGINEER:
Frost J. Formwalt Company
10001 Lake Boulevard
Suite 250
Orlando, FL 32803

M/E/P ENGINEER:
H2 Engineering
1051 Winstedley Place
Aurora, FL 32817

POOL CONSULTANT:
AquaLife Design, L.P. Engineering
1201 W. Orange Avenue
Suite 1220
Orlando, FL 32801

LIGHTING CONSULTANT:
Design by Night
10001 Lake Boulevard, 4th Floor
Orlando, FL 32803

POOD SERVICE CONSULTANT:
CANA-INC.
10001 Lake Boulevard, 4th Floor
Orlando, FL 32803



PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

DATE	DESCRIPTION
04/20/2017	ISSUED FOR PERMIT
04/20/2017	ISSUED FOR PERMIT
04/20/2017	ISSUED FOR PERMIT

PROJECT NUMBER: 04/20/2017
PROJECT NAME: PROJECT WELLNESS
PROJECT NUMBER: 3147

BIRD'S EYE VIEW FROM NORTHEAST A
AERIAL VIEW
N.T.S.

F.C.U.P.
A-003



OWNER
Winter Park Health Foundation
275 Highland Way
Winter Park, FL 32789

ARCHITECT
Duda Paine Architects PA
333 Uppert Street
Winter Park, FL 32789

GENERAL CONTRACTOR
Dudman Construction Associates, Inc.
2255 Park Avenue South
Winter Park, FL 32789

LANDSCAPE ARCHITECT
Eggle, Corbett & Associates, Inc.
1301 West 11th Street
Ocala, FL 32061

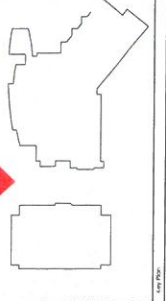
STRUCTURAL ENGINEER
Paul J. Formwalt Company
5486 25th Street
Ocala, FL 32061

MECHANICAL ENGINEER
1031 Westchase Place
Moultrie, FL 32071

POOL CONSULTANT
Aquatic Design & Engineering
1346 1220 Orange Avenue
Ocala, FL 32061

LIGHTING CONSULTANT
Design Inc. Design Services, Lighting
New York, NY 10011, 4th Floor

POD/FENCE CONSULTANT
CAMA/CHO
Alpharetta, Georgia 30106



WELLNESS CENTER

PARKING GARAGE

NORTH ELEVATION

1/16"=1'-0"



STREET | PARK

WELLNESS CENTER

PARKING GARAGE

STREET | OFFICE

NORTH ELEVATION - EXTENDED

1/32"=1'-0"

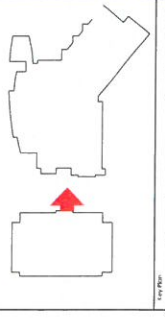
PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

DATE	2018	DATE	2018
DESCRIPTION		DESCRIPTION	
PROJECT NUMBER	2117	PROJECT NUMBER	2117
SUBMIT DATE	04/20/18	SUBMIT DATE	04/20/18

NORTH ELEVATION VIEW

F.C.U.P.

A-201



OWNER
Winter Park Health Foundation
226 E. Babcock Drive
Winter Park, FL 32789

ARCHITECT
DUDA | PAINE ARCHITECTS
200 N. Lakemont Avenue
Winter Park, FL 32782

ARCHITECT
DUDA | PAINE ARCHITECTS, P.A.
333 Upphill Street
Durham, NC 27701

STRUCTURAL ENGINEER
DUDAKOWSKI ENGINEERING ASSOCIATES, INC.
2200 Oak Avenue North
Durham, NC 27705

LANDSCAPE ARCHITECT
FOTTE, GURTEK & ASSOCIATES, INC.
10000 Lakeview Street
Orlando, FL 32801

MECHANICAL ENGINEER
Fink, J. Ferrini & Company
10000 Lakeview Street
Orlando, FL 32801

ELECTRICAL ENGINEER
MEZ ENGINEERS
1051 Wrenthley Place
Orlando, FL 32801

POOL CONSULTANT
Aquatic Design & Engineering
5400 E. Colonial Avenue
Suite 1220
Orlando, FL 32801

LIGHTING CONSULTANT
Design Illumination Lighting
10000 Lakeview Street, 4th Floor
Orlando, FL 32801

FOOD SERVICE CONSULTANT
CMAA/CDC
10000 Lakeview Street, 4th Floor
Orlando, FL 32801



ONSITE IMPROVEMENTS - WET POND

WELLNESS CENTER

STREET

WINTER PARK HEALTH FOUNDATION OFFICE

WEST ELEVATION

1/16" = 1'-0"



WINTER PARK WOMEN'S HEALTH PAVILION

ONSITE IMPROVEMENTS WET POND

WELLNESS CENTER

STREET

WINTER PARK HEALTH FOUNDATION OFFICE

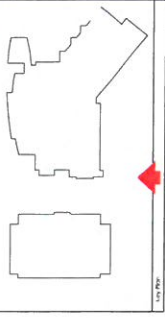
WEST ELEVATION - EXTENDED

1/32" = 1'-0"

PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

DATE	2021	DESCRIPTION
ISSUE DATE	04/04/2021	214
PROJECT NUMBER	04/04/2021	214

WEST ELEVATION VIEW



OWNER
Winter Park Health Foundation
200 N. Lakemont Avenue
Winter Park, FL 32787

ARCHITECT
DUDA PAINE ARCHITECTS, PA
233 Lipsett Street
Winter Park, FL 32789

CIVIL ENGINEER
DORRIS W. WILSON ENGINEERING, INC.
200 N. Lakemont Avenue
Winter Park, FL 32789

LANDSCAPE ARCHITECT
JETER, CORRELL & ASSOCIATES, INC.
1000 S. Orange Avenue
Orlando, FL 32811

MECHANICAL ENGINEER
T.M. J. FORMAN COMPANY
1000 S. Orange Avenue
Orlando, FL 32811

ELECTRICAL ENGINEER
MAYNARD ENGINEERING
1000 S. Orange Avenue
Orlando, FL 32811

POOL CONSULTANT
AGRICULTURAL DESIGN & ENGINEERING
3400 S. Orange Avenue
Suite 1220
Orlando, FL 32811

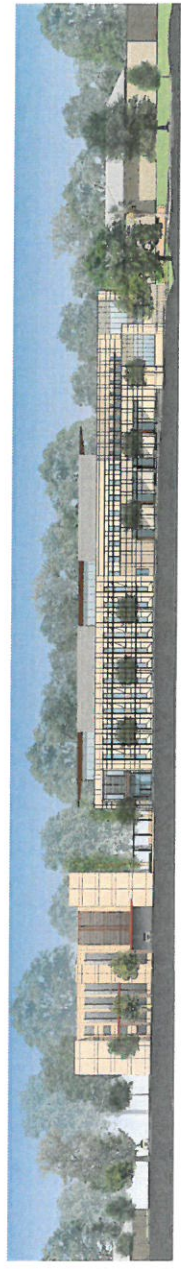
LIGHTING CONSULTANT
DESIGN INC.
1000 S. Orange Avenue
Suite 1220
Orlando, FL 32811

FOOD SERVICE CONSULTANT
CANTALUPO, INCORPORATED
ALBANY GROUP, 3330



PARKING GARAGE | STREET | OFFICE | WELLNESS CENTER | MANOR CARE NURSING & REHABILITATION CENTER

SOUTH ELEVATION
1/16"=1'-0"



OFFICE | STREET | PARKING GARAGE | WELLNESS CENTER | MANOR CARE NURSING & REHABILITATION CENTER

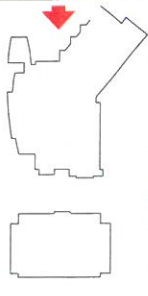
SOUTH ELEVATION - EXTENDED
1/32"=1'-0"

PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

DATE	DESCRIPTION
04/20/2017	ISSUE DATE
04/20/2017	PROJECT NUMBER
212	

SOUTH ELEVATION VIEW

F.C.U.P.
A-203



OWNER
Winter Park Health Foundation
1000 Winter Park Blvd., Suite 200
Winter Park, FL 32787

Winter Park Memorial Hospital
200 N. Lakemont Avenue
Winter Park, FL 32792

ARCHITECT
DUDA PAINE ARCHITECTS, PA
233 Upperfield Street
Winter Park, FL 32789

GENERAL CONTRACTOR
GRIFFIN BISHOP ARCHITECTS, INC.
1000 Winter Park Blvd., Suite 200
Winter Park, FL 32789

LANDSCAPE ARCHITECT
KOPPEL CORRELL & ASSOCIATES, INC.
2000 N. Lakemont Avenue
Winter Park, FL 32792

STRUCTURAL ENGINEER
P&J FORMER COMPANY
200 N. Lakemont Avenue
Suite 200
Winter Park, FL 32792

MER ENGINEER
1051 Westside Pkwy
Kissimmee, FL 34741

POOL CONSULTANT
AQUACON DESIGN & ENGINEERING
1200 W. Colonial Avenue
Suite 1200
Orlando, FL 32801

MECHANICAL ENGINEER
Design Inc.
1000 Winter Park Blvd., 4th Floor
New York, NY 10018

FOOD SERVICE CONSULTANT
CANTALUCCIO
1000 Winter Park Blvd., 4th Floor
New York, NY 10018



STREET | WELLNESS CENTER | MIZELL AVENUE BEYOND | PARKING GARAGE BEYOND

EAST ELEVATION
1/16" = 1'-0"



RESIDENCE BEYOND | STREET | WELLNESS CENTER | PARKING GARAGE BEYOND | MANOR CARE NURSING & REHABILITATION CENTER

EAST ELEVATION - EXTENDED
1/32" = 1'-0"

PROJECT NO.	2107
DATE	12/18/21
SCALE	AS SHOWN
DESIGNER	DUDA PAINE ARCHITECTS, PA
CHECKED BY	
APPROVED BY	
TITLE	CONDITIONAL USE PLANS
PROJECT/SUBJECT	2107

EAST ELEVATION VIEW



OWNER
Winter Park Health Foundation
Winter Park, FL 32789

ARCHITECT
Winter Park Memorial Hospital
200 N. Lakemont Avenue
Winter Park, FL 32789

MECHANICAL ENGINEER
ELECTRICAL ARCHITECT, P.A.
10000 US Highway 1
Dunwoody, GA 30091

CIVIL ENGINEER
DORRIS W. WILSON ASSOCIATES, INC.
10000 US Highway 1
Dunwoody, GA 30091

LANDSCAPE ARCHITECT
TOMER CORRELL & ASSOCIATES, INC.
10000 US Highway 1
Dunwoody, GA 30091

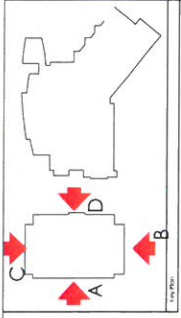
STRUCTURAL ENGINEER
WILLIAMS BROS. ENGINEERING
10000 US Highway 1
Dunwoody, GA 30091

MER ENGINEER
MER, INC.
10000 US Highway 1
Dunwoody, GA 30091

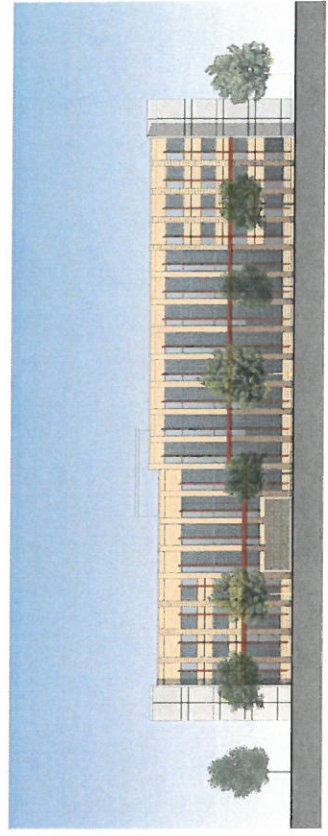
POOL CONSULTANT
WILLIAMS BROS. ENGINEERING
10000 US Highway 1
Dunwoody, GA 30091

GENERAL CONTRACTOR
STANLEY BROTHERS LIGHTING
10000 US Highway 1
Dunwoody, GA 30091

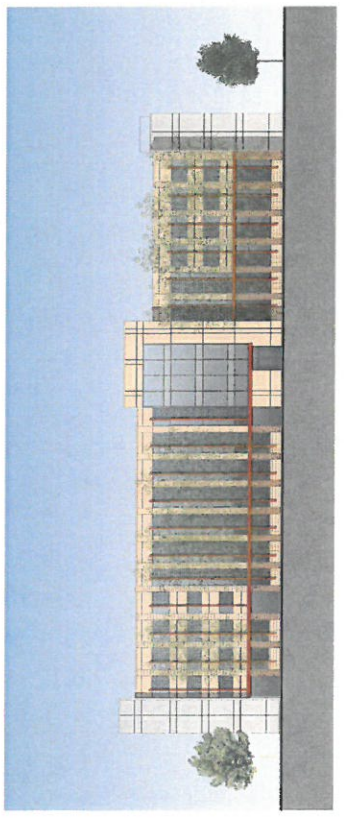
FOOD SERVICE CONSULTANT
NACAC LLC
20000 Peachtree Dunwoody Ave
Atlanta, Georgia 30328



PARKING DECK SOUTH ELEVATION B
1/16"=1'-0"



PARKING DECK WEST ELEVATION A
1/16"=1'-0"



PARKING DECK EAST ELEVATION D
1/16"=1'-0"



PARKING DECK NORTH ELEVATION C
1/16"=1'-0"

PROJECT WELLNESS
FINAL
CONDITIONAL USE PLANS
CITY OF WINTER PARK, FLORIDA

PROJECT NUMBER	04020011
DATE	11/12/17
SCALE	AS SHOWN
DESIGNER	DUDA PAINE ARCHITECTS
DATE	11/12/17

F.C.U.P.
A-205

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1. INTRODUCTION	W1.00
2. DEFINITIONS	W2.00
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4. FONTS	W4.00
5. RELATED CONTRACT DOCUMENTS	W5.00
6. SITE SIGN TYPES	W6.00
ELEVATIONS AND DETAILS	
1. List of Site Sign Types and Mounting Conditions	W6.01
2. Site Signage Location Plan	W6.02
3. Site Signage Standard Color/Materials	W6.03
4. Site Signage Lighting Study	W6.04
5. Site Sign Reference Images	W6.05 - W6.10
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Sign type 3e	W6.3e.1
Sign type 6a	W6.6a.1
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ELEVATIONS AND DETAILS	
1. List of Interior Sign Types	W7.01
2. Sample of Interior Sign Type Family and Mounting Heights	W7.02
3. Interior Sign Type Details and Elevations	W7.03 - W7.19
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Sign type W2	W7.W2
Sign type W3	W7.W3
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Sign type W5	W7.W5
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Sign type W7	W7.W7
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Sign type W9	W7.W9
3. Interior Sign Type Details and Elevations	W7.00 continued
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Sign type W12	W7.W12
Sign type W13	W7.W13
Sign type W14	W7.W14
Sign type W15	W7.W15
Sign type W16	W7.W16
Sign type W17	W7.W17
Sign type W18	W7.W18
Sign type W19	W7.W19

Section 1.0 Introduction

TEAM



DUDA | PAINE
ARCHITECTS



MARI FRITHI
ASSOCIATES
2016 ALL RIGHTS RESERVED

CLIENT



Winter Park
Health Foundation

PROJECT

PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE

WAYFINDING
PACKAGE

DRAWING TITLE

INTRO SHEET
INTRODUCTION TO
DESIGN GUIDE

SHEET

INTRODUCTION
W1.00

Introduction

As originally noted in the Lorencc Yoo, design guide for Health Village, for this and all projects on the Florida Hospital Orlando Campus, it is critically important that the staff and visitors of the campus arrive at their destination with the information necessary to get them closest to the location by vehicle before they set their path by foot. Wayfinding signs are an important component in this goal beginning on site, arriving to the desired interior space and turning around to exit.

Also noted and further detailed in this comprehensive site and interior signage design guide, is that the campus is composed of several independent structures, enclosed and surface parking lots. With the advent of the Women's Hospital building, (approximately 350,000 GSF+), the masterplan of the primary entrance will be complete. The new twelve story building, is a linear plan, which includes connections at north to existing Children's Hospital, and the south connection by bridge to the new Administration Building. The building orientation is situated for its primary entrance at its east.

The typical user group is of "women", patients, staff, and visitors, but floors shall be reserved for overflow "adult" patients and their visitors. All visitors shall require secure check-in which is located at both bridge entry from parking garage and the individual floors, upon vertical access through elevators.

Other notable building entries are that for 'ambulance deliveries' or other independent drivers serving either triage access, or possibly MarketPlace deliveries.

Technology, flexibility, modularity, ease of update (maintenance) and security are paramount in the selection of sign systems, their components and principles of usage.

Mari Frith Associates has prepared these Sign Design Guidelines in order to establish a signage program for the Florida Hospital for Women, Orlando campus that shall provide for a cohesive identification and directional communication concept, sensitive to current standards, while upgrading to latest codes, and sympathetic to the building design. Guidelines for signs shall maintain the objective to consider

balance of sign size to its overall environment, its 'readers' and successful communication of the messages, while also striving for design that does not become obsolete, is therefore sustainable, is maintainable, and allows FHO control of required updates, changes and management.

All signs within the program must reflect the image and quality standards set forth in these Design Guidelines.

The Design Guidelines are organized as follows:

SECTION 1 serves as this Introduction which outlines the structure of the Guidelines.

SECTION 2 defines terms, which may be used throughout these Guidelines.

SECTION 3 defines logo usage, typical symbol, and arrow formats for graphics.

SECTION 4 defines fonts and its typical usages.

SECTION 5 defines related project contract documents.

SECTION 6 provides sample sign families, as examples to stimulate discussion for project consideration and direction. Sample families included those that exist as standards for Florida Hospital Orlando, and its Children's Hospital as well as other healthcare and large building programs.

Also included is the site signage family as designed by Lorencc-Yoo as standard for Health Village, which along with current updated standards, shall be the mandated design for all site signs.

SECTION 7

Section 7 shall provide copies of the Lorencc-Yoo guidelines for all elements of the site signage sign system including graphic tools and material / color specifications that are intended as relevant to this project.

The fabricator is cautioned to obtain all known updates from the Owner of the specifications as there may be changes that occurred from inception to implementation and follow-up.

SECTION 8

Section 8 shall include, for the Interior Sign System, design intent details in terms of function, overall size, basic construction /mounting, location, colors, typestyle and graphic areas.

SECTION 9

The subsequent chapters of Section 9 include the wayfinding analysis that contributes to the concepts and design formulas set in place for development of final design. This chapter includes at its start, a copy of an analysis and its brief, conducted for another health care facility that shares the similar wayfinding access system of Florida Hospital Orlando.

In addition, this chapter identifies the wayfinding formula and its application.

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WAYFINDING
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DRAWING TITLE

INTRODUCTION

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W1.01

Section 2.0 Definitions

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INTRO SHEET
DEFINITIONS

SHEET
DEFINITIONS

W2.00

Definition of Terms

<p>ABANDONED SIGN - A sign which identifies or advertises a business which is no longer operating.</p> <p>ANIMATED SIGNS - Any sign or part of sign which changes physical position by movement or rotation.</p> <p>AWNING - A shelter that extends from a building that is normally supported entirely from the exterior wall of a building and composed of nonrigid materials (such as canvas) except for the supporting framework.</p> <p>BANNER SIGNS - Any sign intended to be hung either with or without frames, possessing characters, letters, illustrations, ornamental designs applied to paper, plastic or fabric of any kind, and shall include flags, streamers, ribbons, balloons or other gas-filled figures and pennants.</p> <p>BOUNDARY MARKER - A permanent ground mounted, freestanding sign which identifies property perimeter located at primary property entrances.</p> <p>BUILDING FRONTAGE - The face of a building which contains the main building entrance. If more than one main entrance occurs, the building frontage shall be that which faces the more highly trafficked street or walkway area.</p> <p>BUILDING MONUMENT - A permanent ground mounted, freestanding sign which identifies a building, district, driveway or other area. The message may not include promotional, advertising, or temporary items.</p> <p>BUILDING IDENTITY - A permanent wall sign mounted at a height and size that is viewable from a far distance which identifies a building. A building sign does not project more than twelve inches from the face of the building.</p> <p>BULLETIN BOARD SIGNS - Sign detailing the name address and number of a building or institution, as well as the names and occupations of the various businesses or occupants that reside on that property.</p> <p>CANOPY SIGN (OR MARQUEE) - A permanent roof-like shelter extending from part or all of a building face over a sidewalk or public right-of-way, and constructed of some durable material such as wood, metal, glass or plastic.</p> <p>CHANGING SIGN - A sign such as an electronically or electrically controlled public service time, temperature and date sign, message center or reader board, where different copy changes are shown on the same lamp bank.</p> <p>CONSTRUCTION SIGN - Any temporary sign erected between the time of issuance of a building permit and the issuance of a certificate of occupancy and located on the premises where construction is taking place, indicating the description of the project, the telephone numbers of the architects,</p>	<p>engineers, landscape architects, contractors or similar artisans, and the owners, financial supporters, sponsors and similar persons having a role or interest in the structure or project.</p> <p>DETACHED SIGN - Any rigidly assembled, free-standing sign, display or device permanently affixed to the ground or permanently attached to a building by uprights, braces or inherently permanent structure. Any sign attached to a flat surface, except a wall as defined herein, such as a fence or wall not apart of a principal building, shall be considered a detached sign.</p> <p>DIRECTIONAL SIGN - Any sign used for direction of vehicular or pedestrian traffic. Such sign shall contain no advertising or commercial identification of any product or service.</p> <p>DIRECTORY - Any sign that states the name and/or occupation of the occupants of a structure, including office building directories, church directories and apartment house directories.</p> <p>DIRECTLY ILLUMINATED SIGN - Any sign that does not produce artificial light from within itself but which is opaque and back lighted or illuminated by spotlights or floodlights.</p> <p>ENTRY SIGN - A monument or pier sign which provides the name of a district, service area, business, subdivision, or development. No advertising or promotional information may be included.</p> <p>FLAG - A fabric element used to display an emblem, logo, or other symbol of a town, city, state, country, business, organization or charity.</p> <p>FLASHING SIGN - Any directly or indirectly illuminated sign which exhibits intermittent or flashing natural or artificial light or color effects by any means whatsoever. Automatic changing signs such as public service time, temperature and date signs or electronically controlled message centers are classed as changing signs, not flashing signs.</p> <p>GROUND SIGN - A sign affixed to the ground supported by poles, uprights, or braces extending from the ground or a permanently mounted object on the ground but not attached to any part of the building.</p> <p>HEIGHT - The vertical distance between the uppermost portion of a sign and ground level.</p> <p>ILLUMINATED SIGN - A sign that incorporates an internal or external integral lighting feature intended to illuminate the sign message only.</p> <p>IDENTIFICATION SIGN - A sign which is limited to the name, address and number of the building or institution and to the activity carried on in the building or institution, or the name of the occupant.</p>	<p>INDIRECTLY ILLUMINATED SIGN - Any sign that emits artificial light from within the sign by shining through a translucent surface.</p> <p>MARKETING SIGN - A temporary sign utilized for advertising or identification of a business for a short (usually 180 days or less) period of time.</p> <p>MARQUEE SIGN - A sign mounted to a permanent canopy projecting horizontally from a building facade.</p> <p>MIXED USE BUILDING - Some combination of residential, commercial, industrial, office, institutional, or other use within the same building.</p> <p>MULTI-TENANT BUILDING - Any business or group of businesses under a common roof.</p> <p>NEON SIGNS - A sign constructed entirely of or to accommodate neon glass tube illumination.</p> <p>NON-CONFORMING SIGN - Any sign which may be lawfully constructed but which does not meet the requirements of land use, setback, size or lighting conditions, or which later does not comply due to changing conditions or requirements.</p> <p>OUTDOOR ADVERTISING SIGN - Any offsite sign, or sign which not displayed as accessory to another activity on the same premises.</p> <p>PERMANENT SIGN - A sign that is attached to or painted upon a permanent structure, a wall, a pier, a building facade, or the ground.</p> <p>PERMIT - A sign and/or electrical permit issued by the local Building Department and subject to the requirements of this sign guideline.</p> <p>POLE MOUNTED BANNER SIGN - A sign which is affixed to a supporting pole which is independent of any other structure or support.</p> <p>PORTABLE SIGN - A sign that is not permanently affixed to a building, structure, or the ground.</p> <p>PROFILE METHOD (MEASURING) - A method of measuring the area of a building face or a sign face. In elevation form, drawing a plain rectangular box around the area of the building face or sign face including all extremities of the form being measured. Calculate the length and height of the rectangular box and multiply to determine the sign area in square feet or inches.</p> <p>PROJECTING SIGN - A sign other than a wall sign which projects from a wall and is supported by a wall.</p> <p>ROOF LINE - The highest continuous horizontal line of a roof. On a sloping roof, the roof line is the principal ridge line, or the highest line common to one or more principal slopes of the roof. On a flat roof, the roof line is the highest continuous line of the roof or parapet, whichever is higher.</p>	<p>ROOF SIGN - A sign which projects above the roof line or is located on the roof of the building.</p> <p>SETBACK DISTANCE - The shortest horizontal distance from the property line to the nearest point of the sign or its supporting members, whichever is nearest to the property line.</p> <p>SIGN - Any letter, figure, character, mark, or plane, point, marquee sign, design, poster, pictorial, picture, stroke, stripe, line, trademark, reading matter or illuminated surface, which shall be so constructed, placed, attached, painted, or erected, fastened or manufactured in any manner whatsoever, so that the same shall be used to advertise, draw the attention of the public to, or promote the interests of any person or product, use, facility, service, activity, or entertainment, person, event, institution, business, which is displayed in any manner whatsoever out-of-doors.</p> <p>SIGNABLE AREA - The surface area in square feet within any regular geometric figure or combination of figures encompassing all parts of a sign, including the outer extremities of all letters, figures, characters, background, frame, trim, molding, but excluding structural supports whether they be columns, pylons, or a building or part thereof unless the sign is printed directly on the wall of such structure.</p> <p>SIGN CONTENT - Any language, wording or expression not related to the economic interests of the speaker and its audience, such speech generally considered to be ideological, political, or of a public interest nature.</p> <p>SIGN STRUCTURE - Any construction designed to support or to provide a surface for a sign, including any marquee, awning, canopy or clock.</p> <p>SIGN UNIT - Any display and/or display device containing elements organized, related and/or composed to form a single unit. Where the display of any elements is in a random manner without organized relationship of elements, each element shall be considered a separate sign. A double-faced sign shall be considered a single sign.</p> <p>STREET SIGNS - A permanent sign that displays the official names of streets.</p> <p>TEMPORARY SIGN - A non-permanent sign utilized for a specific, approved length of time.</p> <p>WALL - The surface of the exterior of a principal building exposed to the public view within a single plane.</p> <p>WALL SIGN - Any sign that is painted on the outside of the building or a sign attached flat to or pinned away from the wall with a face horizontally parallel to the building.</p> <p>WIND SIGN - Devices such as pennants, spinners, and streamers fastened in such a manner as to move upon being subjected to pressure by wind or breeze.</p> <p>WINDOW SIGN - A sign which is applied or attached to, or located within three feet of the interior window, on a structure or vehicle which can be seen through or from the window of the structure or vehicle.</p>
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DEFINITION OF TERMS

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Section 3.0 Logos, Symbols, Arrows

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INTRO SHEET
LOGOS, SYMBOLS
ARROWS

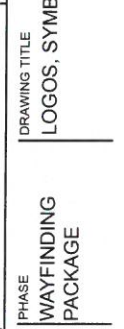
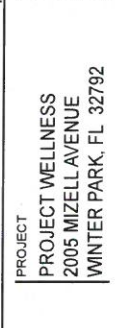
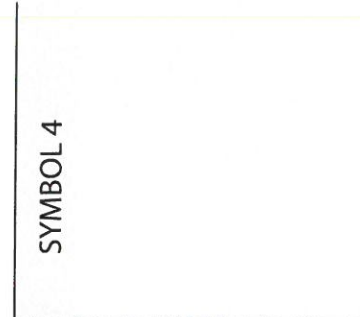
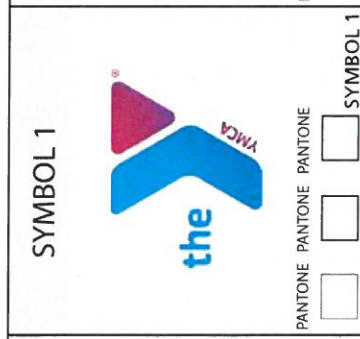
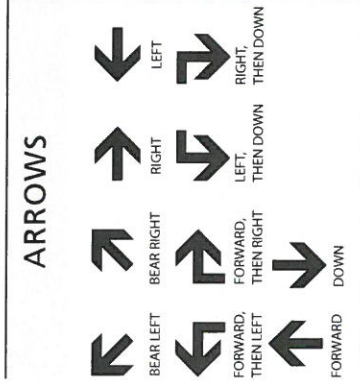
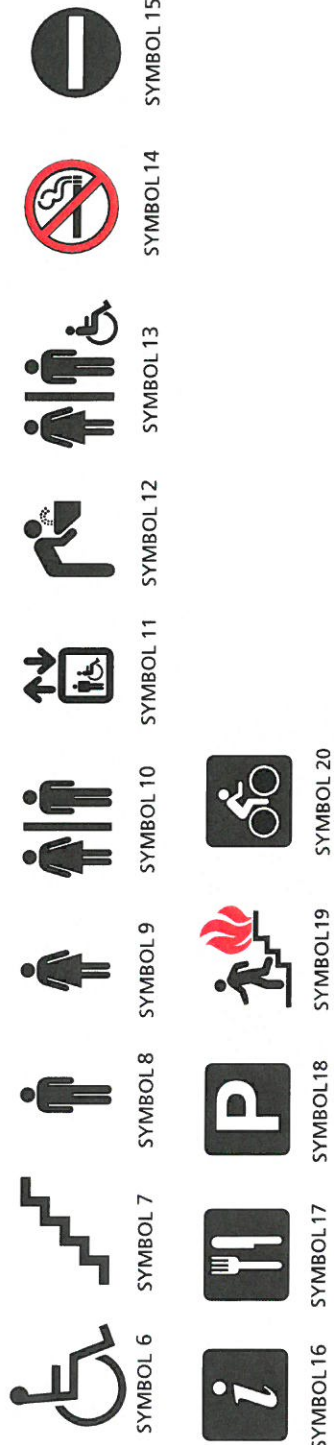
SHEET

W3.00

SYMBOLS

INTERIOR SIGNAGE

SYMBOL 1 FOR USE AT



SYMBOLS

VECTOR, FULL-COLOR, "FLAT" LOGO - Pantone Color

Use when textured version of logo is not able to be used because of digital file constraints or design of collateral material requires a more simplified version of the illustration.



YMCA Logo

Placeholder for
Winter Park Health Foundation Logo

Placeholder for
Healthy Living Cafe Logo

Placeholder for
Healthy Living Center Logo

Please refrain from using any other colors.



Full Pantone Colors-According to Pantone Coated and Pantone Tint Selector

Full Pantone Colors-According to Pantone Coated and Pantone Tint Selector

Full Pantone Colors-According to Pantone Coated and Pantone Tint Selector

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LOGOS, SYMBOLS, ARROWS

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W3.02

Section 4.0 Fonts

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DRAWING TITLE

INTRO SHEET
FONTS

SHEET

FONTS
W4.00

FONT FAMILIES FOR LOGOS AND SIGNAGE

LOGOS - OPTION 1

PRIMARY TYPE FACE - GT FUTURA

A B C D E F G H I J K L M N O P Q R S T U V W
X Y Z
abcdefghijklmnopqrstuvwxyz
1234567890

HEALTHY LIVING CENTER

LOGOS - OPTION 2

PRIMARY TYPE FACE - OCEAN SANS BOLD

A B C D E F G H I J K L M N O P Q R S T U V W
X Y Z
abcdefghijklmnopqrstuvwxyz
1234567890

HEALTHY LIVING CENTER

LOGOS - OPTION 3

PRIMARY TYPE FACE - GT TWENTIETH CENTURY

A B C D E F G H I J K L M N O P Q R S T U V W
X Y Z
abcdefghijklmnopqrstuvwxyz
1234567890

HEALTHY LIVING CENTER

INTERIOR SIGNAGE

WAYFINDING AND OVERHEAD TYPE FACE - FRUTIGER SAIN BOLD

A B C D E F G H I J K L M N O P Q R S T U V W
X Y Z
abcdefghijklmnopqrstuvwxyz
1234567890

TACTILE AND SMALLER CASE - FRUTIGER LT 55 ROMAN

A B C D E F G H I J K L M N O P Q R S T U V W
X Y Z
abcdefghijklmnopqrstuvwxyz
1234567890

SITE SIGNAGE

VEHICULAR WAYFINDING - TO BE DETERMINED

LOGOS - OPTION 4

PRIMARY TYPE FACE - GT GIL SANS BOLD

A B C D E F G H I J K L M N O P Q R S T U V W
X Y Z
abcdefghijklmnopqrstuvwxyz
1234567890

HEALTHY LIVING CENTER

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Section 5.0 Related Contract Documents

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RELATED CONTRACT
DOCUMENTS

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Section 6.0 Site Sign Types Details and Elevations

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DRAWING TITLE
INTRO SHEET
SITE SIGN TYPES,
DETAILS AND ELEVATIONS

SHEET

W6.00

THE FOLLOWING SIGN TYPES ARE FOR SITE SIGNAGE INDICATED BY USE OF A NUMERIC INDICATOR AND ALPHA SUFFIX.

SITE SIGNAGE

SITE SIGN TYPES - DESIGN GUIDELINES SHEET SERIES	DESCRIPTION
--	-------------

W6.01 SITE SIGN TYPES
 W6.02 SITE SIGNAGE LOCATION PLAN
 W6.03 SITE SIGNAGE STANDARDS COLORS AND MATERIALS
 W6.04 SITE SIGNAGE LIGHTING STUDY
 W6.05 SITE SIGN REFERENCE IMAGES

SIGN TYPE 1
 NOT USED

SIGN TYPE 4
 NOT USED

SIGN TYPE 2
 NOT USED

SIGN TYPE 5
 SITE REGULATORY SIGNAGE

SIGN TYPE 3

SITE IDENTIFICATION SIGNAGE

- W6.3a.1 3a PRIMARY IDENTITY ON SITE WALL
- W6.3b.1 3b PRIMARY IDENTITY MONUMENT
- W6.3c.1 3c SECONDARY IDENTITY MONUMENT
- W6.3d.1 3d TERTIARY IDENTITY WITH "BENCH" WALL
- W6.3e.1 3e TERTIARY IDENTITY WITH DIRECTIONAL

SIGN TYPE 6
 W6.6.0 6.0 FAMILY OF MISCELLANEOUS MESSAGE SIGNAGE
 W6.6a.1 6a DROP-OFF DIRECTIONAL

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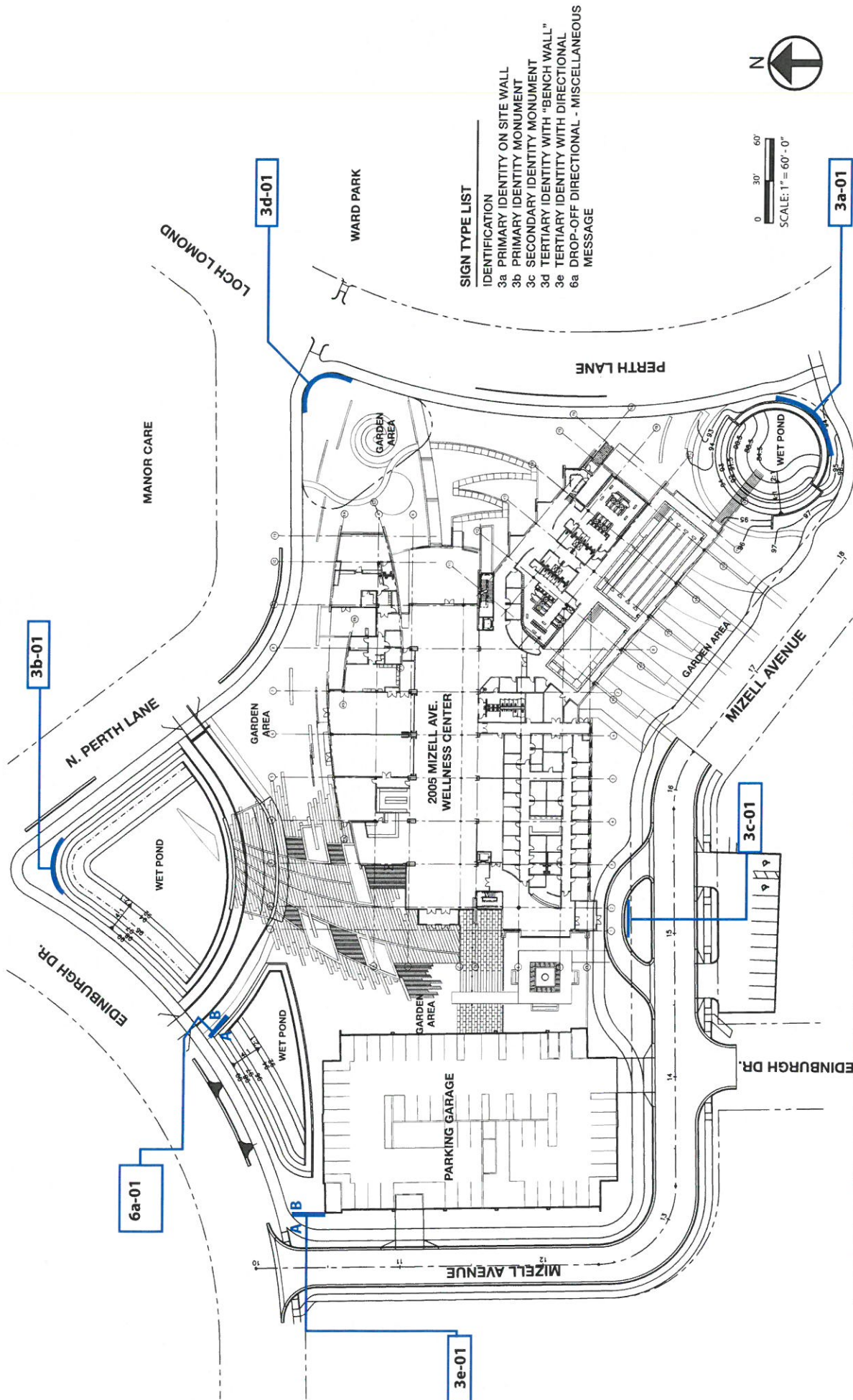
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PACKAGE

DRAWING TITLE
SITE
SIGN TYPES

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- SIGN TYPE LIST**
- IDENTIFICATION
- 3a PRIMARY IDENTITY ON SITE WALL
 - 3b PRIMARY IDENTITY MONUMENT
 - 3c SECONDARY IDENTITY MONUMENT
 - 3d TERTIARY IDENTITY WITH "BENCH WALL"
 - 3e TERTIARY IDENTITY WITH DIRECTIONAL
 - 6a DROP-OFF DIRECTIONAL - MISCELLANEOUS MESSAGE



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	To Be Selected
P1	Warm White
P2	Cream Textured - To match existing site stucco
P3	Yellow
P4	Gold
P5	Silver
P6	Red
P7	Terra Cotta
P8	DOT Green
P13	Light Brown
P14	Dark Bronze
P15	Dark Grey
P19	Black

V1	White	Gerber Premium Scotchcal Cast Opaque Vinyl - #225-20
V2	White	Gerber Premium Scotchlite Reflective HP Series #280-10
V3	White Frosted	Gerber Premium Specialty Vinyl - #210-314
V4	Red	Gerber Premium Scotchcal Cast Opaque Vinyl - #220-253
V5	Silver	Gerber Premium Scotchcal Metallic Vinyl - #225-120
V6	Vivid Green	3M Translucent Vinyl - #3630-156
V7	Black	Gerber Premium Scotchcal Cast Opaque Vinyl - #225-22
V8	Black	Gerber Premium Scotchlite Reflective HP Series #280-85
V9	Kelly Green	Avery Reflective Vinyl - #A7825-R

OPTIONAL COLORS

Pantone 7499 C	
Pantone 471C	
Pantone 7524 C	
Pantone 725 C	

MATERIAL	SPECIFICATION	PRODUCT LINE	SOURCE
M1	Clear Acrylic	3/4" Clear Acrylic acrylic sheet	Acrylite
M2	Tempered Glass	Provided by fabricator	Provided by fabricator
M3	Brushed Stainless Steel	Provided by fabricator	Provided by fabricator
M4	Brushed Aluminum	Provided by fabricator	Provided by fabricator
M5	Polished Aluminum	Provided by fabricator	Provided by fabricator
M7	Lexan	Lexan Sheet	Cadillac Plastics
M8	Velvet Satin Acrylic	Acrylite Satin Ice Velvet Texture OFOOSC	Acrylite
M9	Crystal Satin Acrylic	Acrylite Satin Ice Crystal Texture	Acrylite
M10	COR-TEN	1/4" COR-TEN Flat Stock (A606-4)	COR-TEN, U.S. Steel

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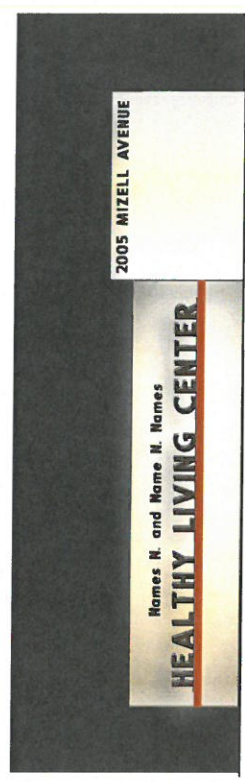
SITE SIGNAGE STANDARD
COLOR/MATERIALS

SHEET

W6.03



1 SAMPLE CONCEPT - SITE SIGN - GROUND SOURCE ILLUMINATION
PROJECTING AND ANGLE BRACKETED FLAT CUT LETTERS - DAY TIME VIEW
SCALE: 1/4" = 1'-0"



2 SAMPLE CONCEPT - SITE SIGN - GROUND SOURCE ILLUMINATION
PROJECTING AND ANGLE BRACKETED FLAT CUT LETTERS - EVENING VIEW
SCALE: 1/4" = 1'-0"

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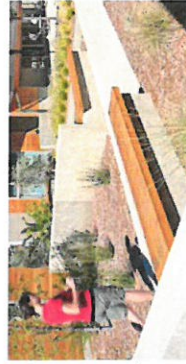
DRAWING TITLE
RENDERINGS / SKETCHES
SITE SIGNAGE
LIGHTING STUDY

SHEET
W6.04

SIGN ARCHITECTURE COMPLIMENTS SITE ARCHITECTURE



SUPPORT WALLS SERVE AS BUFFERS FOR TRAFFIC AND RETENTION



INTEGRATION OF SEATING ELEMENTS AS PART OF SUPPORT WALLS



SUPPORT WALLS ALIGN WITH RHYTHM OF HARDSCAPE AND SITE FEATURES



LOW GROUND COVER PLANTINGS INTENDED TO SOFTEN SUPPORT WALL EDGES



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SITE SIGN REFERENCE IMAGES - SITE ARCHITECTURE

SHEET

W6.05

FORM AND MATERIALS

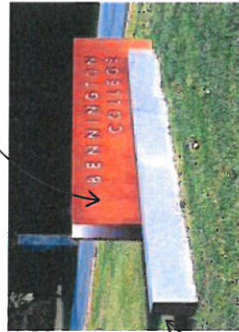


FIN OF NATURAL MATERIAL
NATURAL COLOR FOR SUPPORT WALL

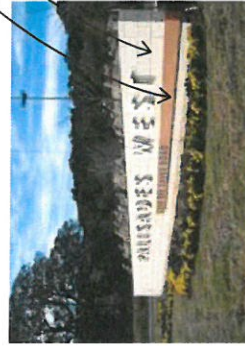
SIGN PANEL PLANE
OVERLAYS TO
SUPPORT WALL



"COR-TEN" NATURAL RUST COLOR



SIGN
PANEL
PLANES
INTERSECT
WITH
SUPPORT
WALL



TERRA COTTA COLOR FOR FIN
NATURAL COLOR FOR SUPPORT WALL



DARK METALLIC LETTERS
OF SANS SERIF FONTS
NATURAL COLOR
SUPPORT WALL

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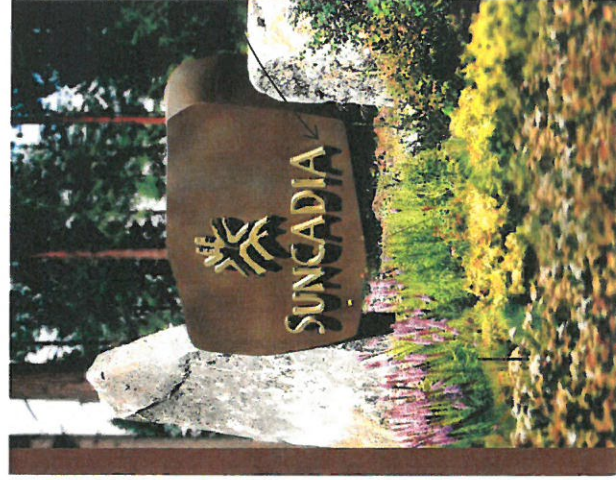
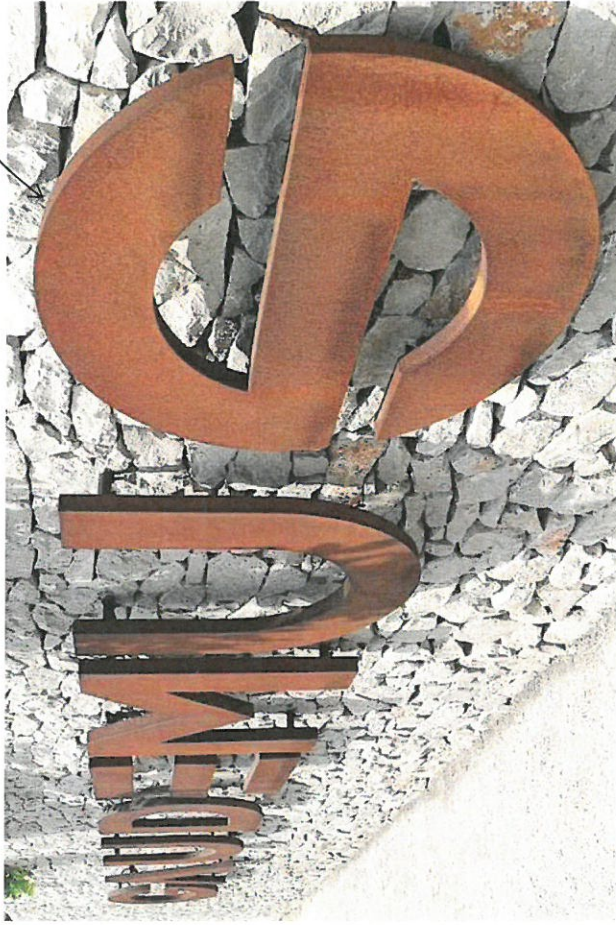
SITE SIGN REFERENCE
IMAGES - FORM AND
MATERIALS

SHEET

W6.06

FORM AND MATERIALS

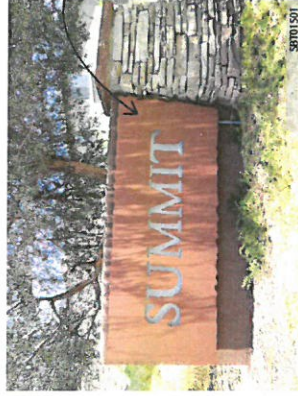
"COR-TEN" AS EXAMPLE OF STUD-MOUNTED DIMENSIONAL LETTERS



SURFACE MOUNTED DIMENSIONAL LETTERS



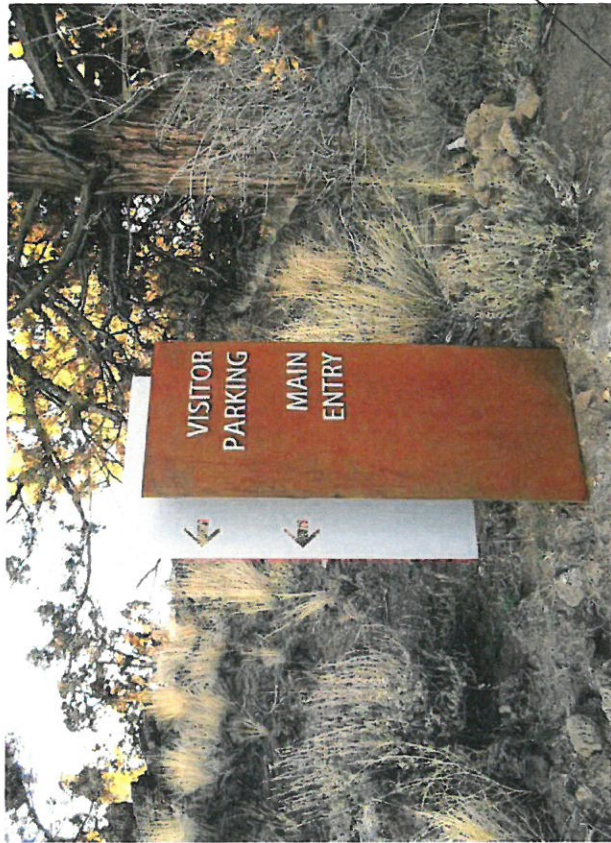
SIGN MATERIALS COMPLEMENT BUILDING ARCHITECTURE



SIGN PANEL OVERLAY TO SUPPORT WALL

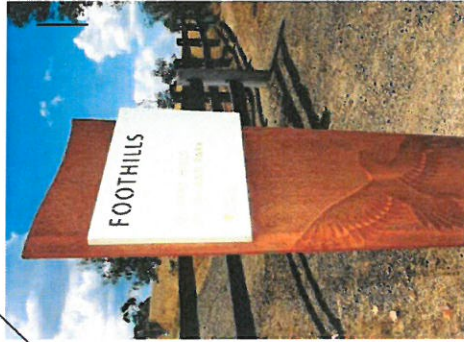
TEAM	 DUDA IPAINÉ ARCHITECTS	CLIENT	 MARI FRITH ASSOCIATES 2016 ALL RIGHTS RESERVED	PROJECT	PROJECT WELLNESS 2005 MIZELL AVENUE WINTER PARK, FL 32792	PHASE	WAYFINDING PACKAGE	DRAWING TITLE	SITE SIGN REFERENCE IMAGES- FORM AND MATERIALS	SHEET	W6.07
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FORM AND MATERIALS



"COR-TEN" RUST/TERRA COTTA
COLOR WITH WHITE
LETTERS - LIGHT ON DARK

SIGN PANEL
OVERLAYS TO
SUPPORT
STRUCTURES



TEAM



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ARCHITECTS



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Winter Park
Health Foundation

PROJECT
PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE
WAYFINDING
PACKAGE

DRAWING TITLE
SITE SIGN REFERENCE
IMAGES - FORM AND
MATERIALS

SHEET

W6.08

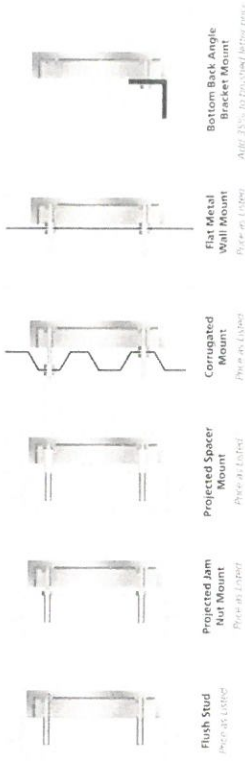
ABC 123



45

Mounting Options

Go to GeneralProducts.com to view, print or save PDF CAD drawings of all mounting and construction options. Call Metal & Resources



Flush Stud Mount
Price as Listed

Projected Jam Nut Mount
Price as Listed

Projected Spacer Mount
Price as Listed

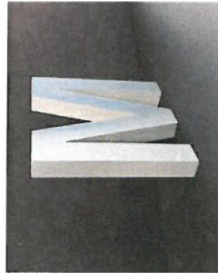
Corrugated Mount
Price as Listed

Flat Metal Wall Mount
Price as Listed

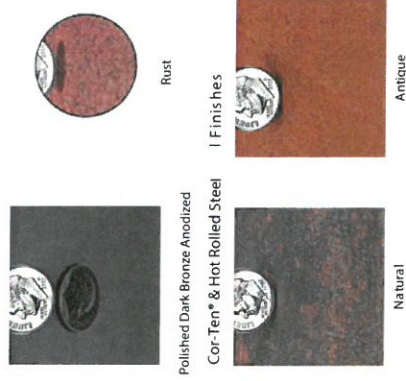
Bottom Back Angle Bracket Mount
Price as Listed

ABC 123 is designed to be free.

1" THICK DIMENSIONAL FLAT CUT METAL LETTER OR FABRICATED METAL LETTER FOR IDENTITY NAME



1/2" THICK DIMENSIONAL FLAT CUT METAL LETTER FOR ADDRESS AND DONOR RECOGNITION



Polished Dark Bronze Anodized

Cor-Ten* & Hot Rolled Steel

Rust

Antique

Natural

METAL LETTER FINISH OPTIONS

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Health Foundation

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PROJECT WELLNESS
2005 WIZELL AVENUE
WINTER PARK, FL 32792

PHASE

WAYFINDING
PACKAGE

DRAWING TITLE

SITE SIGN REFERENCE
IMAGES - LETTER
DETAIL OPTIONS

SHEET

W6.09

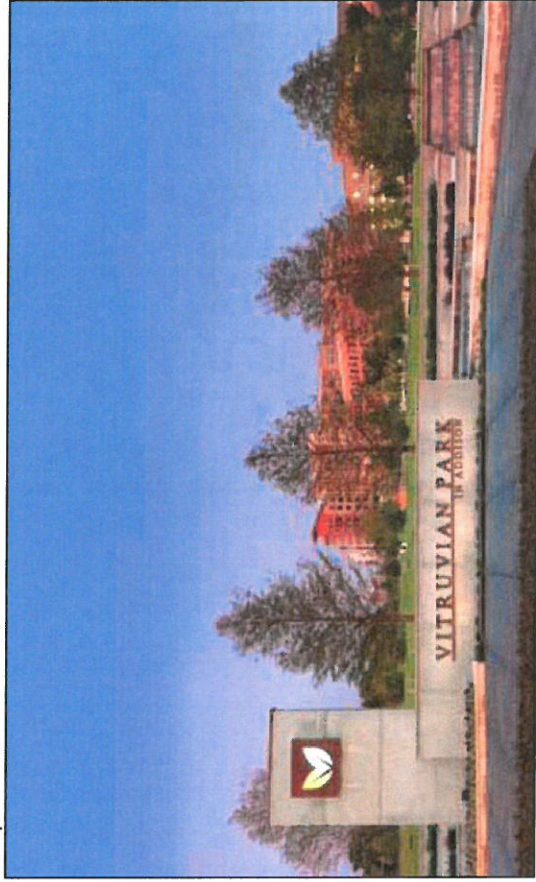
LIGHTING



EVENING VIEW OF INTERIOR ILLUMINATED CABINET SIGN - LIGHT COPY DARK BACKGROUND WITH PUSH THROUGH WHITE TRANSLUCENT ACRYLIC LETTERS



EVENING VIEW OF GROUND ILLUMINATED DIMENSIONAL LETTERS - LIGHT BACKGROUND



DUSK VIEWS OF GROUND ILLUMINATED DIMENSIONAL LETTERS - DARK COPY LIGHT BACKGROUND



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Winter Park
Health Foundation

PROJECT

PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE

WAYFINDING
PACKAGE

DRAWING TITLE

SITE SIGN REFERENCE
IMAGES-LIGHTING

SHEET

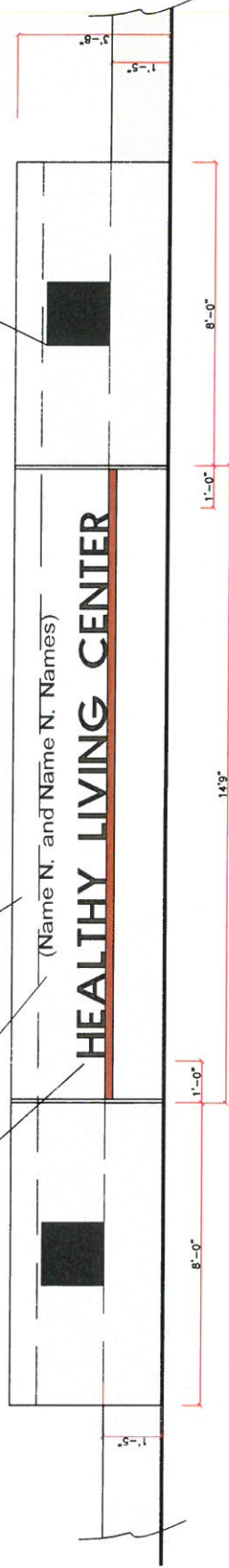
W6.10

Sign Area = 48sf

Font Height = 4 inch

Font Height = 8 inch

Logo Placeholder=18"x18"



1 SIGN TYPE 3a Elevation

SCALE: 3/8" = 1'-0"

2 NOTES

SCALE: NTS

- SIGN SUPPORT WALLS SHALL BE STUCCO ON C.M.U. BY SITE CONTRACTOR OF COLOR T.B.D. BY ARCHITECT.
- SIGN ELEMENTS ARE DIMENSIONAL CHARACTERS STUD MOUNTED TO WALLS OR ANGLE BRACKETED FOR SPECIFIC CONDITIONS, AND EPOXY SECURED. SMALL CHARACTERS ARE OFFSET AT 1/2". LARGE CHARACTERS ARE OFFSET AT 1 INCH. LETTERS ARE NON-ILLUMINATED. FOCAL GROUND SOURCE LIGHTING BY SITE CONTRACTOR SHALL SERVE DURING LOW LIGHT OR EVENING SETTINGS.
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TEAM



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Winter Park
Health Foundation

PROJECT

PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE

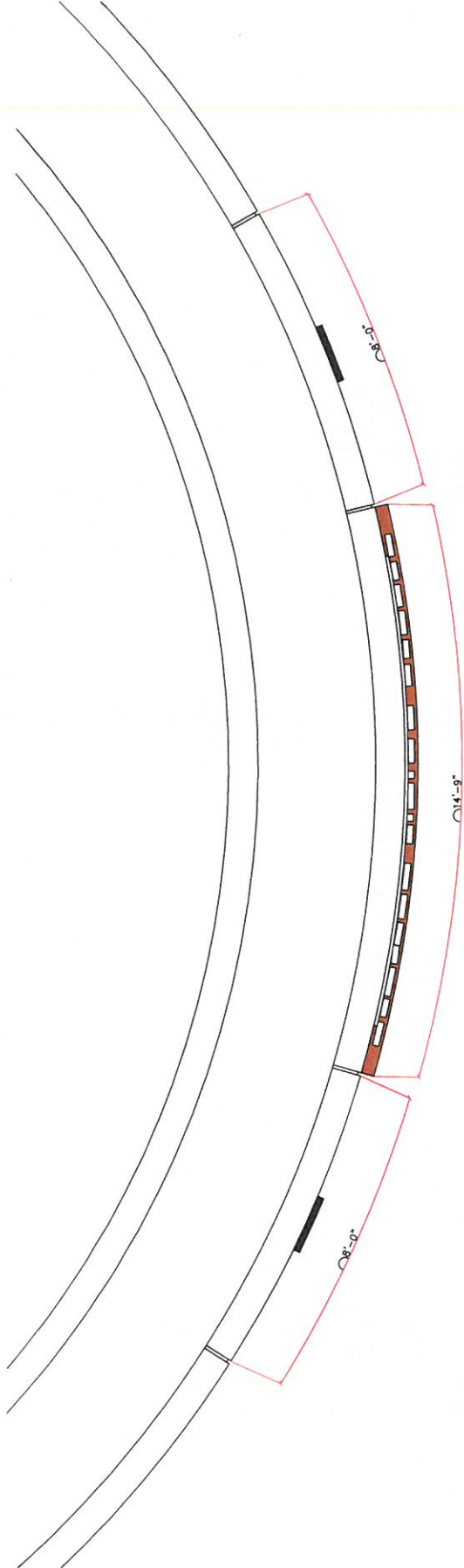
WAYFINDING
PACKAGE

DRAWING TITLE

ST 3a PRIMARY
IDENTITY ON SITE WALL

SHEET

W6.3a.1



1 SIGN TYPE 3a Plan View

SCALE: 3/8" = 1'-0"

FABRICATION NOTES:

1. SIGN SUPPORT WALLS SHALL BE STUCCO ON C.M.U. BY SITE CONTRACTOR OF COLOR T.B.D. BY ARCHITECT.
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2 NOTES

SCALE: NTS

TEAM



CLIENT



PROJECT
PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE
WAYFINDING
PACKAGE

DRAWING TITLE
ST 3a PRIMARY
IDENTITY ON SITE WALL

SHEET

W6.3a.2



1 SIGN TYPE 3b Enlarged Site Plan
SCALE: 3/16" = 1'-0"

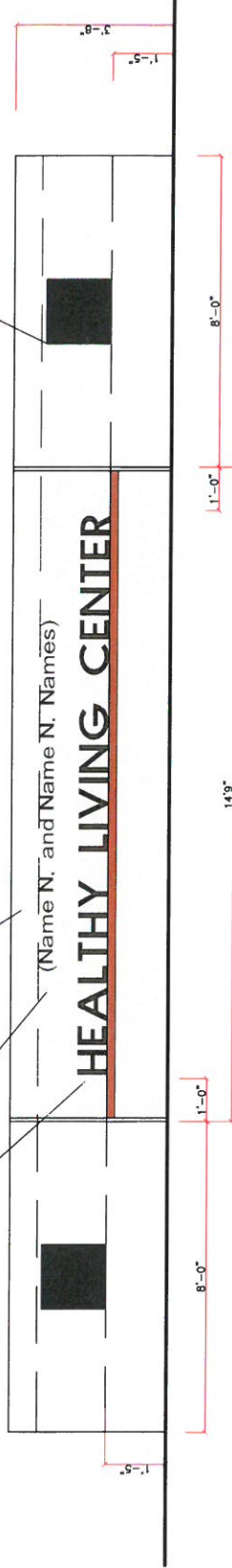
TEAM			CLIENT		PROJECT	PROJECT WELLNESS 2005 MIZELL AVENUE WINTER PARK, FL 32792	PHASE	WAYFINDING PACKAGE	DRAWING TITLE	ST 3b PRIMARY IDENTITY ON SITE WALL	SHEET	W6.3a.3

Sign Area = 48sf

Font Height = 4 inch

Font Height = 8 inch

Logo Placeholder=18"x18"



1 SIGN TYPE 3b Elevation

SCALE: 3/8" = 1'-0"

2 NOTES

SCALE: NTS

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TEAM



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PROJECT

PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE

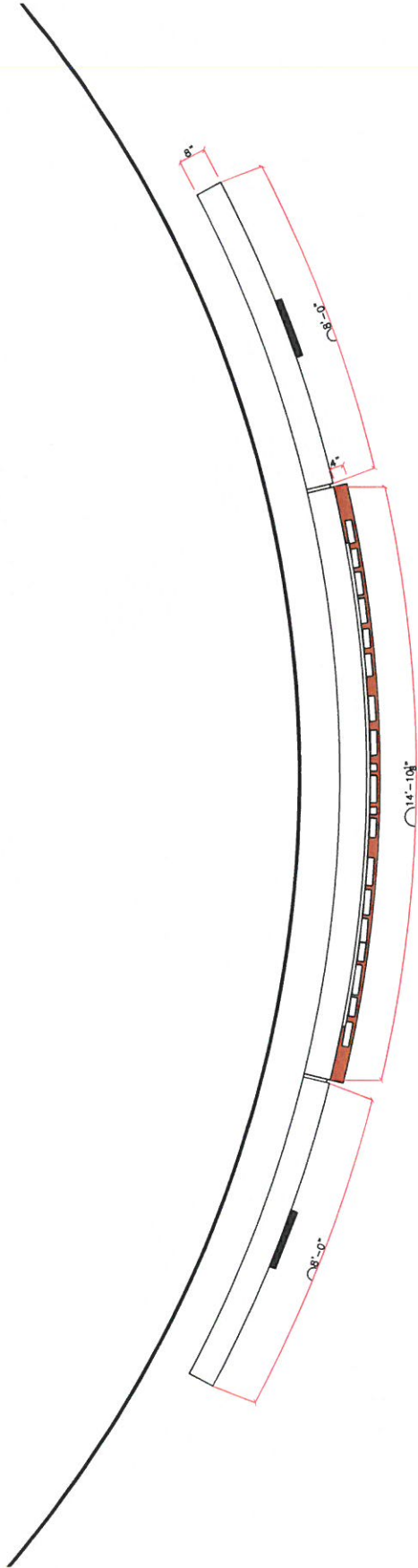
WAYFINDING
PACKAGE

DRAWING TITLE

ST 3b PRIMARY
IDENTITY MONUMENT

SHEET

W6.3b.1



1 SIGN TYPE 3b Plan View

SCALE: 3/8" = 1'-0"

FABRICATION NOTES:

1. SIGN SUPPORT WALLS SHALL BE STUCCO ON C.M.U. BY SITE CONTRACTOR OF COLOR T.B.D. BY ARCHITECT.
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2 NOTES

SCALE: NTS

TEAM



CLIENT



PROJECT

PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE

WAYFINDING
PACKAGE

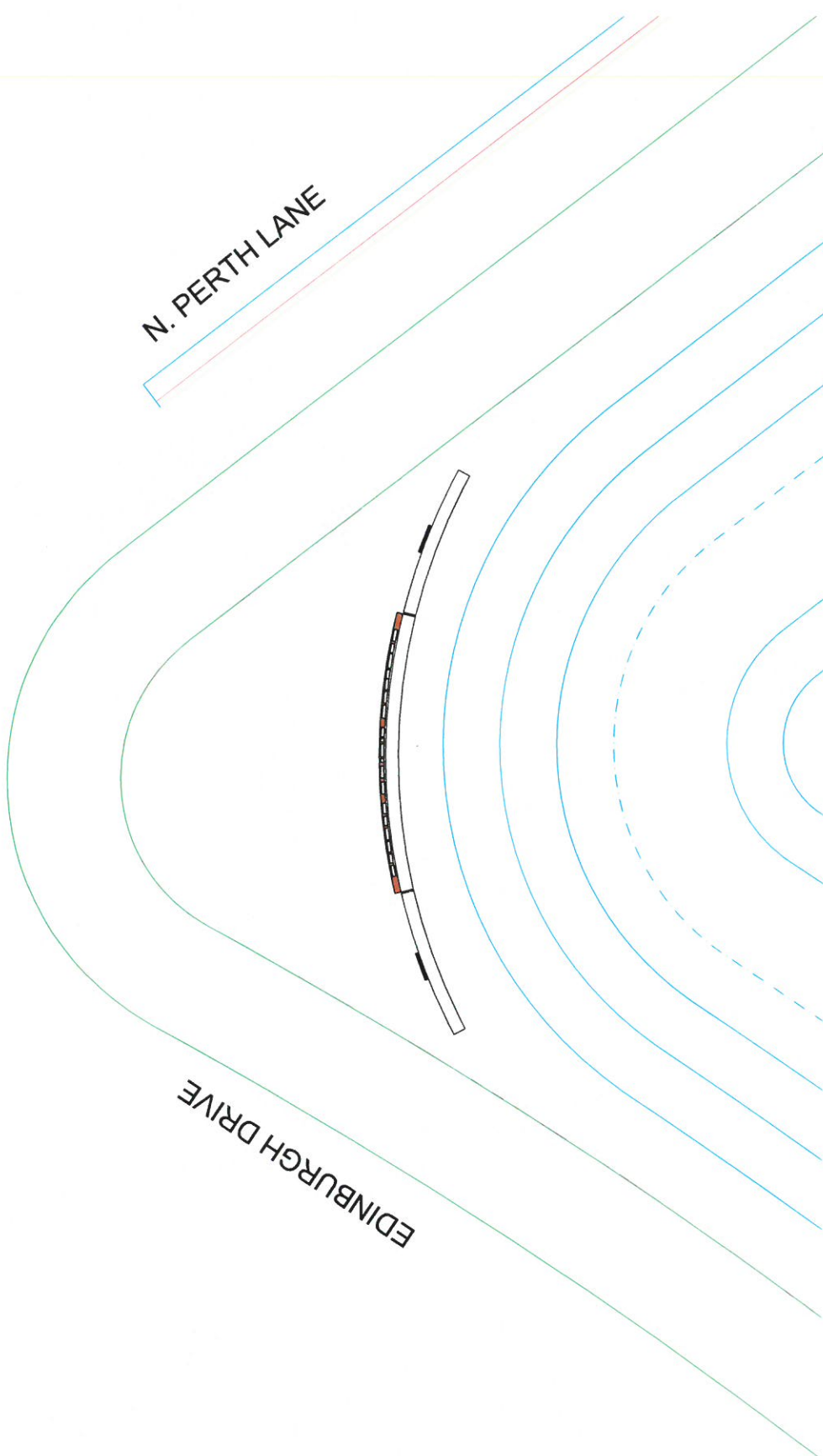
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ST 3b PRIMARY
IDENTITY MONUMENT

SHEET

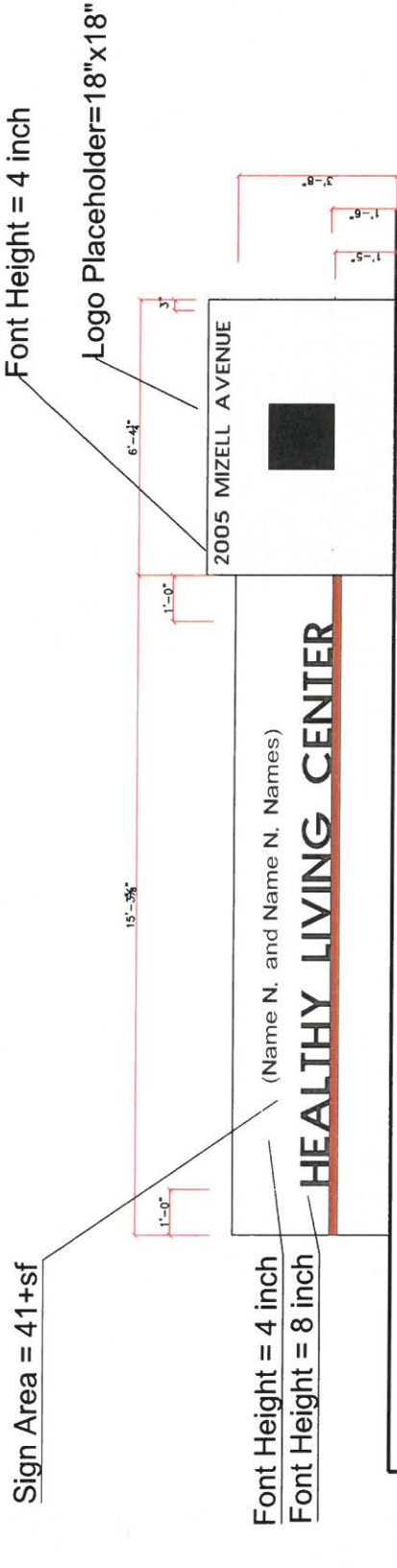
W6.3b.2





1 SIGN TYPE 3b Enlarged Site Plan
SCALE: 3/16" = 1'-0"

<p>TEAM</p>  <p>DUDA PAINE ARCHITECTS</p>	<p>CLIENT</p>  <p>MARI FRITH ASSOCIATES 2016 ALL RIGHTS RESERVED</p>	<p>PROJECT</p> <p>PROJECT WELLNESS 2005 MIZELL AVENUE WINTER PARK, FL 32792</p>	<p>PHASE</p> <p>WAYFINDING PACKAGE</p>	<p>DRAWING TITLE</p> <p>ST 3b PRIMARY IDENTITY MONUMENT</p>	<p>SHEET</p> <p>W6.3b.3</p>
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Sign Area = 41+sf

Font Height = 4 inch

Logo Placeholder=18"x18"

Font Height = 4 inch
 Font Height = 8 inch

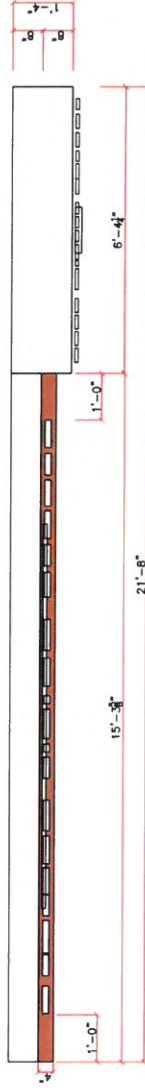
1 SIGN TYPE 3c Elevation
 SCALE: 3/8" = 1'-0"

FABRICATION NOTES:

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2 NOTES
 SCALE: NTS

TEAM		CLIENT		PROJECT	PROJECT WELLNESS 2005 MIZELL AVENUE WINTER PARK, FL 32792	PHASE	WAYFINDING PACKAGE	DRAWING TITLE	ST 3c SECONDARY IDENTITY MONUMENT	SHEET	W6.3c.1
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1 SIGN TYPE 3c Plan View

SCALE: 3/8" = 1'-0"

FABRICATION NOTES:

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2 NOTES

SCALE: NTS

TEAM



CLIENT



PROJECT

PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE

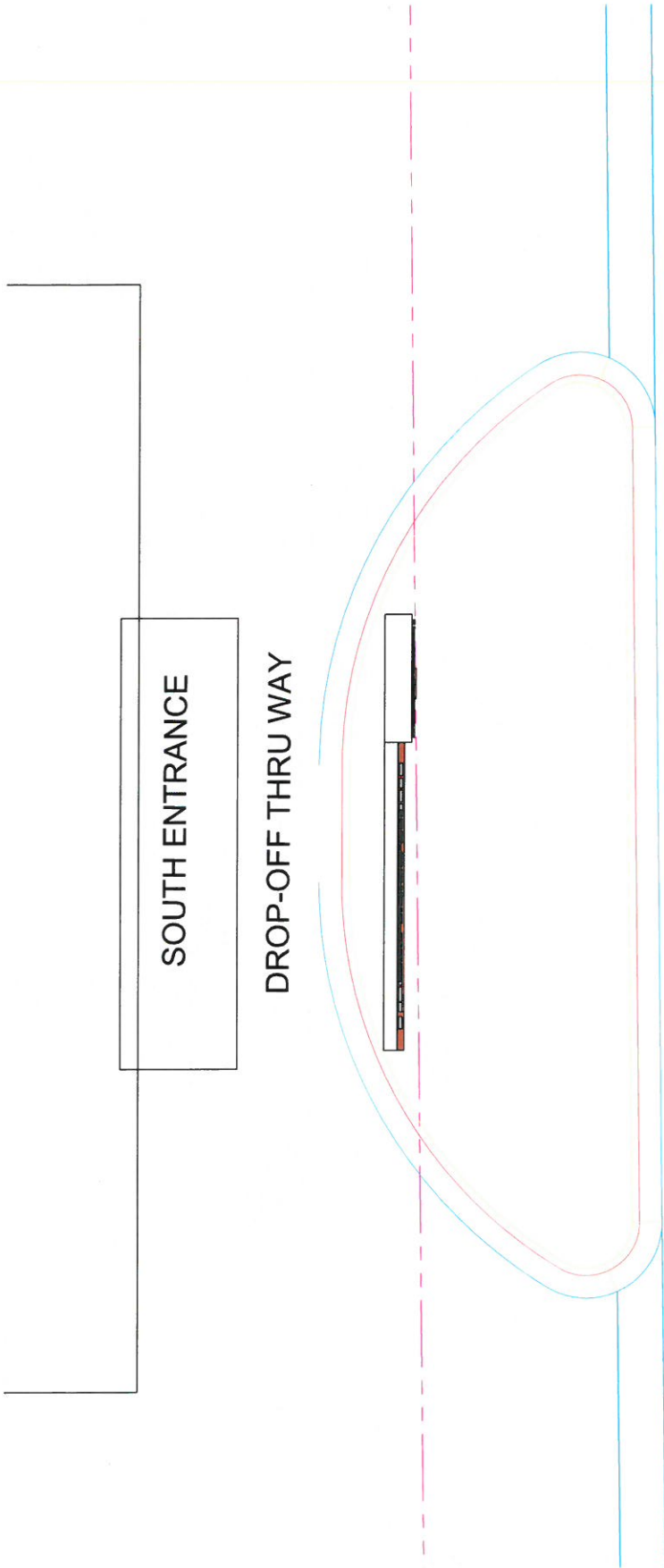
WAYFINDING
PACKAGE

DRAWING TITLE

ST 3c SECONDARY
IDENTITY MONUMENT

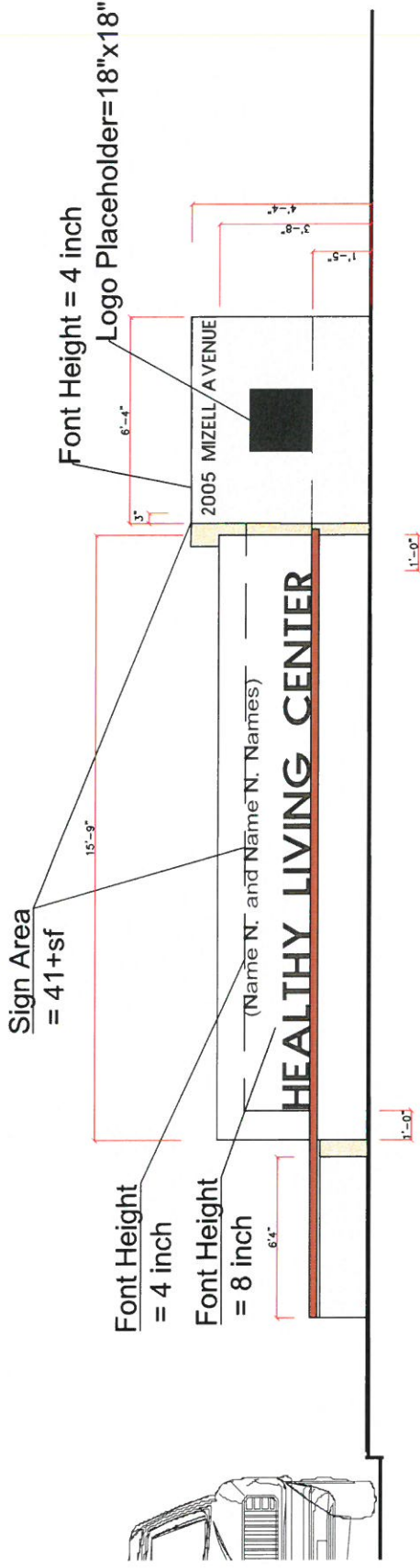
SHEET

W6.3c.2



1 SIGN TYPE 3c Enlarged Site Plan
SCALE: 3/8" = 1'-0"

<p>TEAM</p>  <p>DUDA PAINE ARCHITECTS</p>	<p>CLIENT</p>  <p>MARI FRITH ASSOCIATES 2016 ALL RIGHTS RESERVED</p>	 <p>Winter Park Health Foundation</p>	<p>PROJECT</p> <p>PROJECT WELLNESS 2005 MIZELL AVENUE WINTER PARK, FL 32792</p>	<p>PHASE</p> <p>WAYFINDING PACKAGE</p>	<p>DRAWING TITLE</p> <p>ST 3c SECONDARY IDENTITY MONUMENT</p>	<p>SHEET</p> <p>W6.3c.3</p>
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1 SIGN TYPE 3d Elevation
SCALE: 3/8" = 1'-0"

- FABRICATION NOTES:
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2 NOTES
SCALE: NTS

TEAM

DUDA | PAINE ARCHITECTS

CLIENT

MARI FRITH ASSOCIATES
2016 ALL RIGHTS RESERVED

Winter Park Health Foundation

PROJECT

PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE

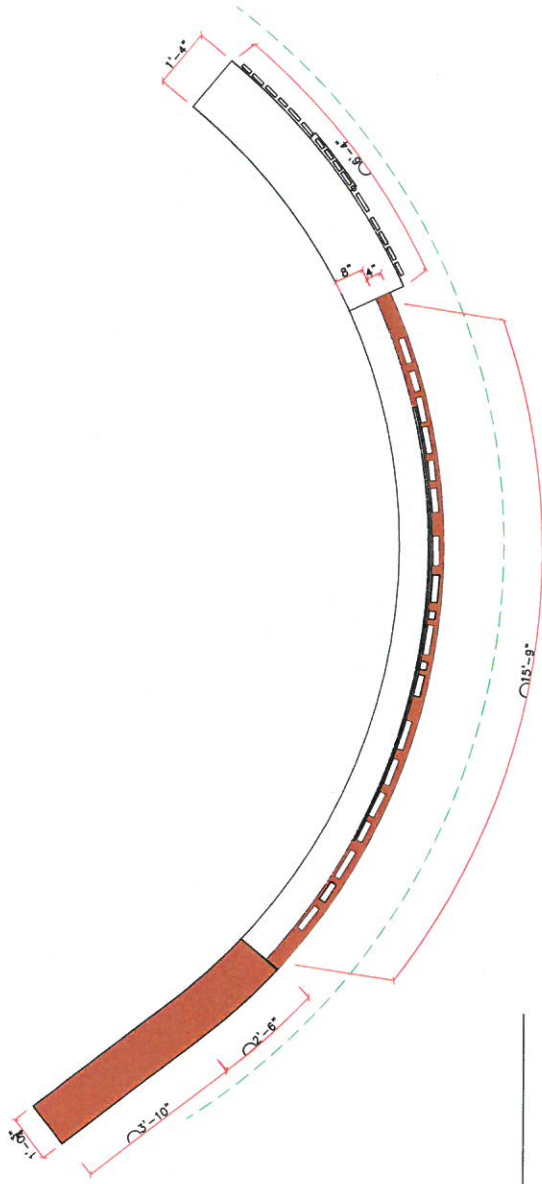
WAYFINDING PACKAGE

DRAWING TITLE

ST 3d TERTIARY IDENTITY WITH "BENCH" WALL

SHEET

W6.3d.1



1 SIGN TYPE Plan View

SCALE: 3/8" = 1'-0"

2 NOTES

SCALE: NTS

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TEAM



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PROJECT
PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE
WAYFINDING
PACKAGE

SHEET

DRAWING TITLE
ST 3d TERTIARY
IDENTITY WITH "BENCH"
WALL

W6.3d.2

LOCH LOMOND

N. PERTH LANE

PERTH LANE



1 SIGN TYPE 3d Enlarged Site Plan

SCALE: 3/16" = 1'-0"

TEAM



CLIENT



PROJECT

PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE

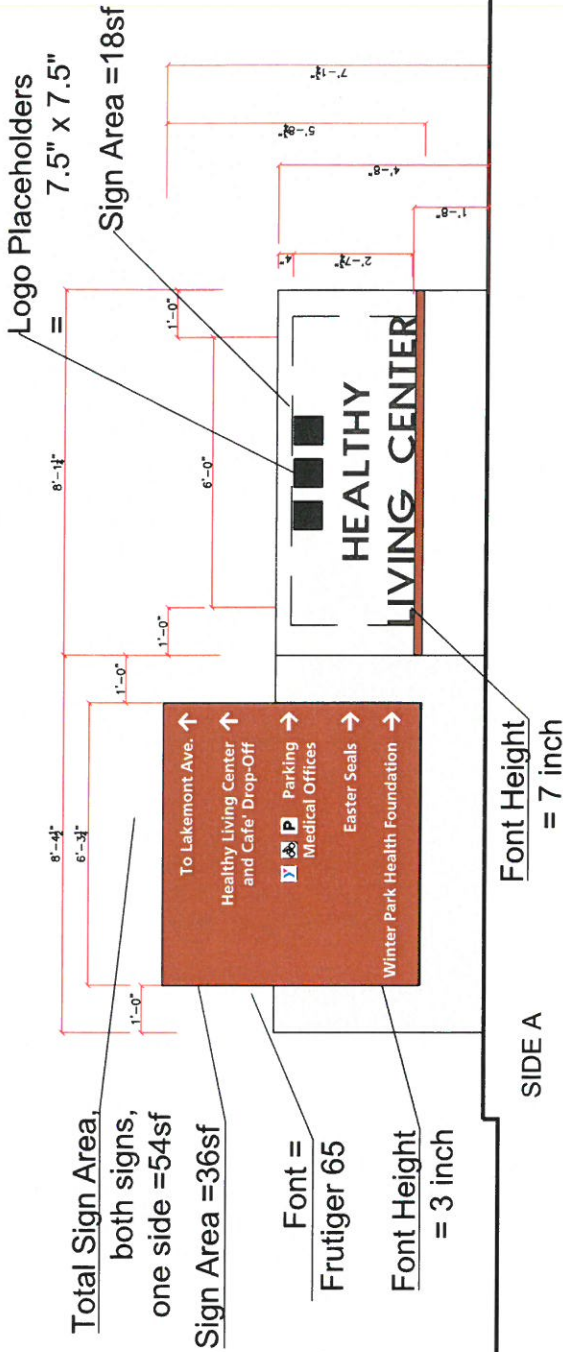
WAYFINDING
PACKAGE

DRAWING TITLE

ST 3d TERTIARY
IDENTITY WITH "BENCH"
WALL

SHEET

W6.3d.3



Total Sign Area,
both signs,
one side =54sf
Sign Area =36sf

Font =
Frutiger 65
Font Height
= 3 inch

Font Height
= 7 inch

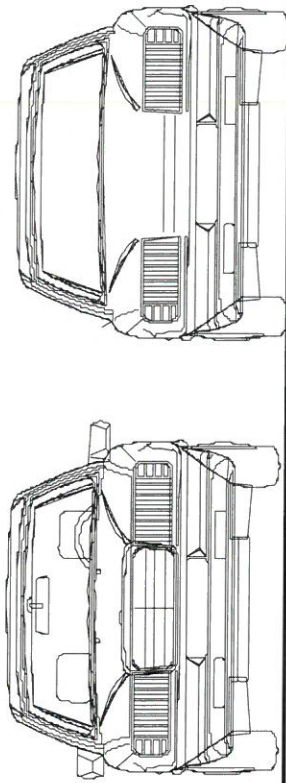
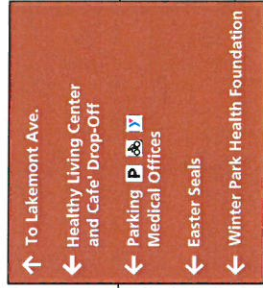
1 SIGN TYPE 3e Elevation - Side A
SCALE: 3/8" = 1'-0"

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2 NOTES
SCALE: NTS

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TEAM	DUDA PAINE ARCHITECTS	CLIENT	MARI FRITH ASSOCIATES 2016 ALL RIGHTS RESERVED	PROJECT	PROJECT WELLNESS 2005 MIZELL AVENUE WINTER PARK, FL 32792	PHASE	WAYFINDING PACKAGE	DRAWING TITLE	ST 3e TERTIARY IDENTITY WITH DIRECTIONAL SIGN PANELS	SHEET	W6.3e.1
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SIDE B

1 SIGN TYPE 3e Elevation - Side B
SCALE: 3/8" = 1'-0"

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2 NOTES
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TEAM



CLIENT



PROJECT

PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE

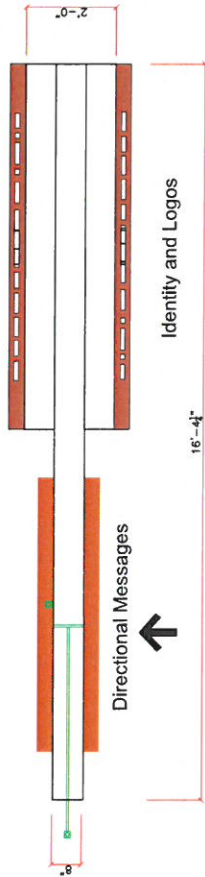
WAYFINDING
PACKAGE

DRAWING TITLE

ST 3e TERTIARY
IDENTITY WITH DIRECTIONAL
SIGN PANELS

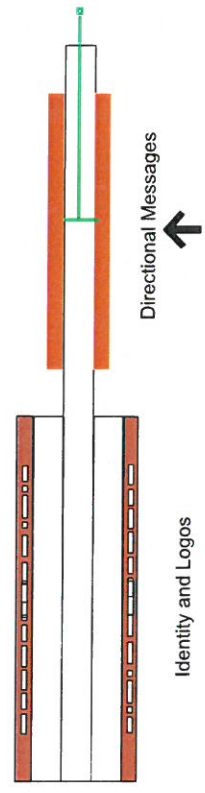
SHEET

W6.3e.2



SIDE A

1 SIGN TYPE 3e Plan View - Side A Approach
SCALE: 3/8" = 1'-0"



SIDE B

2 SIGN TYPE 3e Plan View - Side B Approach
SCALE: 3/8" = 1'-0"

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3 NOTES
SCALE: NTS

TEAM

CLIENT

PROJECT

PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE

WAYFINDING
PACKAGE

DRAWING TITLE

ST 3e TERTIARY
IDENTITY WITH DIRECTIONAL
SIGN PANELS

SHEET

W6.3e.3



1 SIGN TYPE 3e Enlarged Site Plan
SCALE: 3/16" = 1'-0"

TEAM



CLIENT



PROJECT

PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE

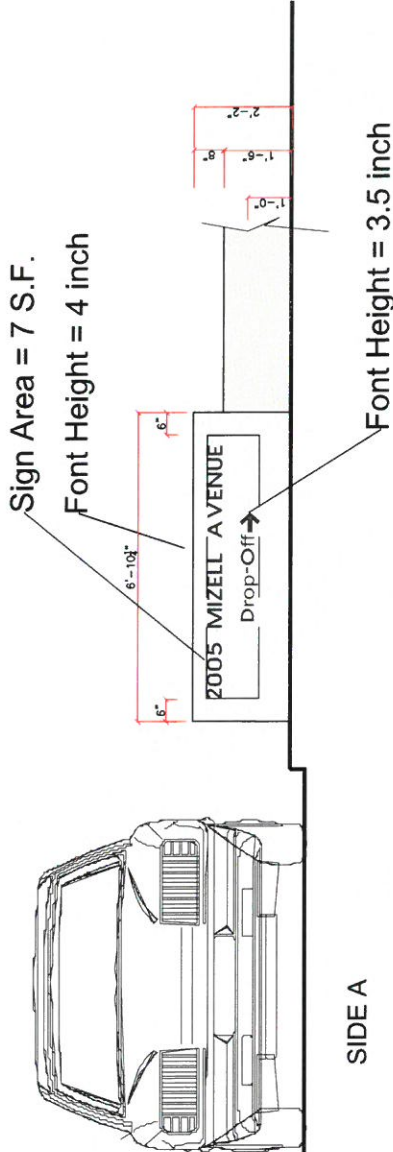
WAYFINDING
PACKAGE

DRAWING TITLE

ST 3e TERTIARY
IDENTITY WITH DIRECTIONAL
SIGN PANELS

SHEET

W6.3e.4



SIDE A

1 SIGN TYPE 6a Elevation Side A
SCALE: 3/8" = 1'-0"

2 NOTES

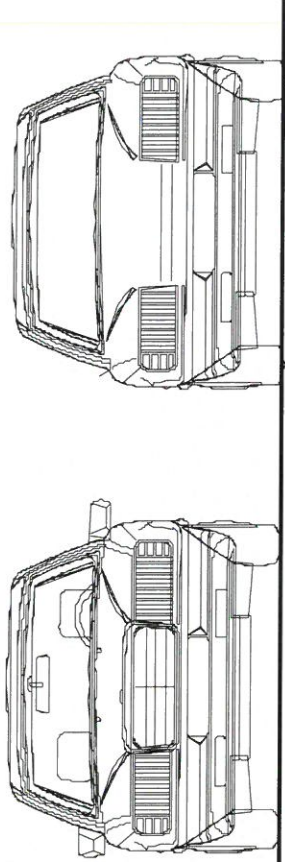
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2 NOTES
SCALE: NTS

TEAM		CLIENT		PROJECT	PROJECT WELLNESS 2005 MIZELL AVENUE WINTER PARK, FL 32792	PHASE	WAYFINDING PACKAGE	DRAWING TITLE	ST 6a MISCELLANEOUS MESSAGE - DROP-OFF DIRECTIONAL	SHEET	W6.6a.1
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2005 MIZELL AVENUE
 ← Drop-Off

SIDE B

1 SIGN TYPE 6a Elevation Side B
 SCALE: 3/8" = 1'-0"

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2 NOTES
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TEAM



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 ARCHITECTS

CLIENT



MARI FRITH
 ASSOCIATES
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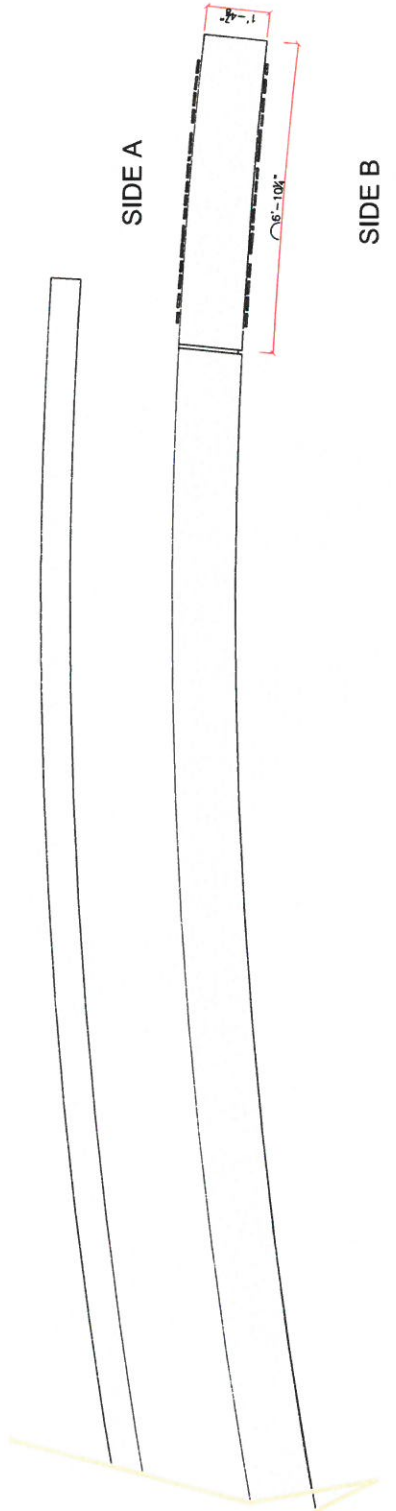
PROJECT
 PROJECT WELLNESS
 2005 MIZELL AVENUE
 WINTER PARK, FL 32792

PHASE
 WAYFINDING
 PACKAGE

DRAWING TITLE
 ST 6a MISCELLANEOUS
 MESSAGE - DROP-OFF
 DIRECTIONAL

SHEET

W6.6a.2



1 SIGN TYPE 6a Plan View

SCALE: 3/8" = 1'-0"

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2 NOTES

SCALE: NTS

TEAM



CLIENT



PROJECT
PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE

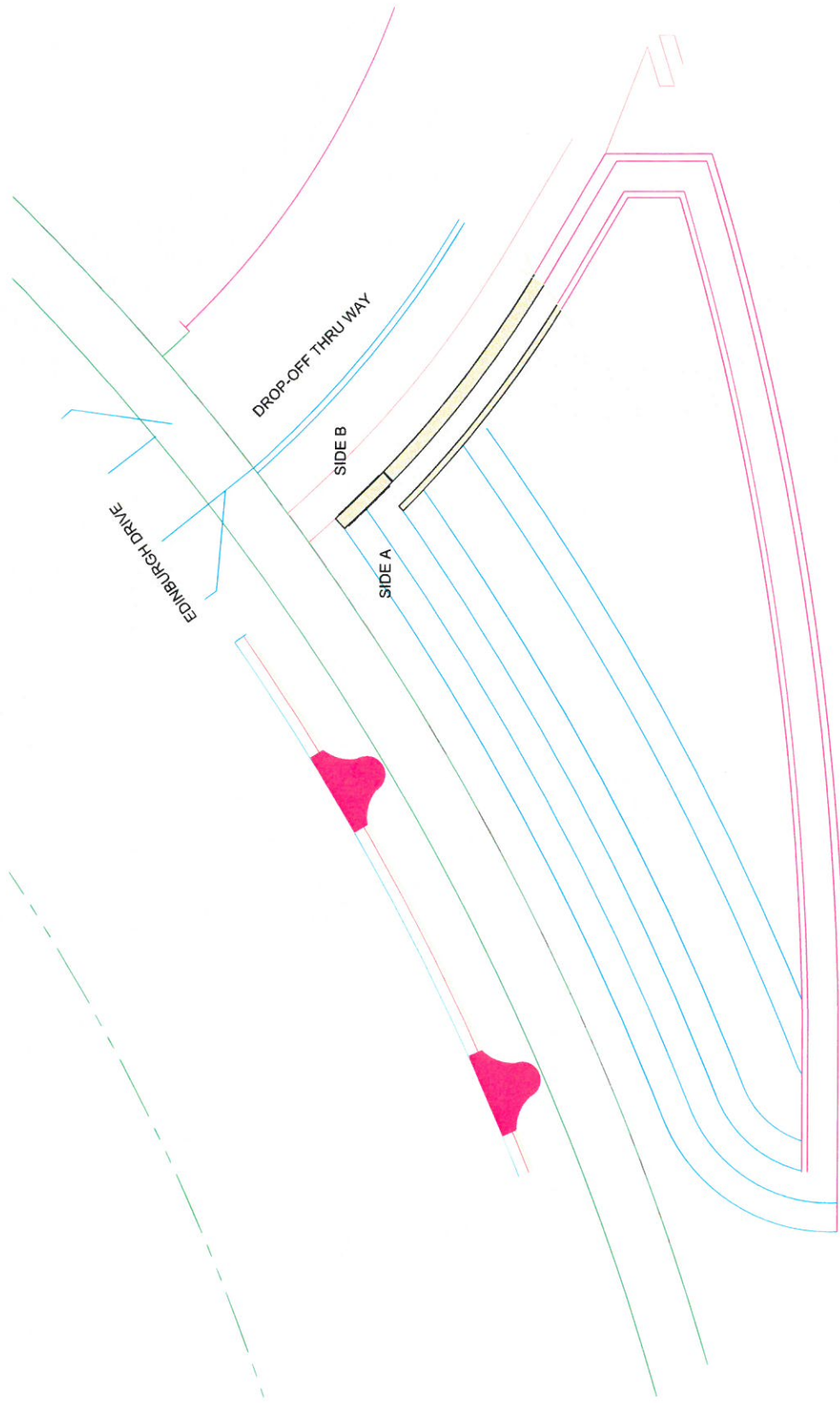
WAYFINDING
PACKAGE

DRAWING TITLE

ST 6a MISCELLANEOUS
MESSAGE - DROP-OFF
DIRECTIONAL

SHEET

W6.6a.3



1

SIGN TYPE 6a Enlarged Site Plan
SCALE: 3/16" = 1'-0"



TEAM



DUDA | PAINE
ARCHITECTS

CLIENT



Winter Park
Health Foundation

PROJECT

PROJECT WELLNESS
2005 MIZELL AVENUE
WINTER PARK, FL 32792

PHASE

WAYFINDING
PACKAGE

DRAWING TITLE

ST 6a MISCELLANEOUS
MESSAGE - DROP-OFF
DIRECTIONAL

SHEET

W6.6a.4

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
May 3, 2016**

REQUEST OF MR. ROBERT MOORE TO: AMEND THE "COMPREHENSIVE PLAN" FUTURE LAND USE MAP TO CHANGE FROM CENTRAL BUSINESS DISTRICT FUTURE LAND USE DESIGNATION ON THE PROPERTY AT 354 HANNIBAL SQUARE, EAST TO MEDIUM-DENSITY RESIDENTIAL AND FROM SINGLE FAMILY RESIDENTIAL TO MEDIUM-DENSITY RESIDENTIAL ON THE PROPERTIES AT 463 AND 455 WEST LYMAN AVENUE.

REQUEST OF MR. ROBERT MOORE TO: AMEND THE OFFICIAL ZONING MAP TO CHANGE FROM COMMERCIAL (C-2) DISTRICT ZONING TO MEDIUM DENSITY MULTIPLE FAMILY RESIDENTIAL (R-3) DISTRICT ZONING ON THE PROPERTY AT 354 HANNIBAL SQUARE, EAST AND FROM SINGLE FAMILY RESIDENTIAL (R-1A) DISTRICT ZONING TO MEDIUM DENSITY MULTIPLE FAMILY RESIDENTIAL (R-3) DISTRICT ZONING ON THE PROPERTIES AT 463 AND 455 WEST LYMAN AVENUE.

REQUEST OF MR. ROBERT MOORE FOR: CONDITIONAL USE APPROVAL TO REDEVELOP THE PROPERTIES AT 326 AND 354 HANNIBAL SQUARE, EAST AND AT 465; 463 AND 455 WEST LYMAN AVENUE WITH A 12 UNIT, THREE STORY RESIDENTIAL PROJECT.

Mr. Robert Moore (property owner) is requesting the following:

1. Changing the Comprehensive Plan future land use designations of Central Business District future land use on the property at 354 Hannibal Square, East to Medium-Density Residential and on the properties at 463 and 455 West Lyman Avenue from Single Family Residential to Medium-Density Multi-Family Residential;
2. Changing the Zoning on the same properties to Multi-Family (R-3); and
3. Conditional Use for the three-story, duplex townhouse units, of 12 units, as shown on the plans submitted.

Property Zoning Characteristics: The entire site is 35,018 square feet (0.8 acres) with 141 feet of frontage on Hannibal Square East and 248 feet of frontage along W. Lyman Avenue. Generally, the western 86 feet along Hannibal Square E. (326/354 Hannibal and 465 W. Lyman), which is one-third of the site, currently have land use designations of Central Business District with C-2 zoning and Medium Density Residential with R-3 zoning. Both allow up to 17 units per acre. The remaining two-thirds of the site on the eastern side have future land use designations of Single Family Residential with R-1A zoning.

Property Development Potential (Before and After the Rezoning): Under the existing zoning the western 75 feet could be developed with a four unit, three story townhouse building per the R-3 entitlements. The eastern 173 feet could yield three single-family homes, seven units total. The proposal for rezoning to R-3 is for twelve total units, an increase of 5 units which is a 71% increase in residential unit density.

Under the existing zoning the western 75 feet could be developed with up to 12,842 square feet of townhouse building per the R-3 FAR of 110% entitlements. The eastern 173 feet could yield 10,037 square feet per the R-1A FAR of 43% entitlements. That would be 22,879 square feet total. Under the current request the proposal is for 37,440 total square feet, an increase of 14,561 square feet which is a 64% increase in residential square footage density.

Comprehensive Plan Policy Guidance: Policy 1-3.84 in the adopted Comprehensive Plan applies directly to this request. It states that applications such as this one, requesting a land use change from either single family or low density residential development to multi-family residential are strongly discouraged. The intent of the Comprehensive Plan policy is to protect the single family and low density residential character of neighborhoods such as the Hannibal Square neighborhood. It is important to note that this policy does not discourage a change from single family residential to low density residential (R-2) which is a density increase from 5 DU/acre to 10 DU/acre.

Policy 1-3.8.4: Encourage Single-Family Detached Homes. The City shall encourage single family detached homes as opposed to apartments and condominiums by strongly discouraging Future Land Use Map amendments from Single-Family Residential or Low-Density Residential to Medium or High-Density Residential. The intent of this policy is to provide a smooth transition of density/ intensity of land use.

Previous Related Rezoning Requests in the Hannibal Square Neighborhood:

There is some important guidance in how to view this request based upon actions in similar requests before the P&Z Board and City Commission in recent years.

The first related request occurred in February, 2013, when the City considered the future land use change and rezoning of what became the duplex townhouse project at 250 West Lyman Avenue, which was reviewed together with the relocation of the Grant Chapel. The Comprehensive Plan policy (above) was important guidance for the City Commission, in their ultimate decision, as well as their reaction to the three story townhouses proposed and the density that R-3 permits. The applicants argued that the site was next to the Central Business District (CBD), adjacent to the City's Electric Utility yard and the Railroad and thus was appropriate for R-3 zoning. The City Commission rejected that request and compromised (in accordance with the Comprehensive Plan policy) by agreeing to change the future land use and rezone to R-2. The duplex townhouses on Lyman Avenue then were built to R-2 standards of two stories and 55% FAR. Those duplex townhouses are compatible with the area and fit well into the residential character of Lyman Avenue.

The second related request came in April through October 2014, to the Planning Board for the redevelopment of the Canton/Capen properties adjacent to the parking garage for the Atlantic Housing senior apartments. The applicant cited their location adjacent to a parking garage as the primary rationale why a future land use change and rezoning was justified. In April, the P&Z Board tabled the request to designate the property as Medium and High Density Residential with R-3 and R-4 zoning districts due to density concerns.

At the September 2nd P&Z meeting the request was modified to request R-2 zoning together with a development plan to consolidate all of the 10 individual properties into one unified development site, and build 16 units in two story buildings. Again due density concerns, the P&Z Board voted 4-2 for denial and the request was subsequently withdrawn by the applicant.

Finally in October 2014 the project was revised again to a subdivision of 11 lots to be built (now under construction) by David Weekly Homes of single family homes under the existing R-1A zoning standards at an FAR of 43%.

The third related request from June 2015 was across the street from this application at 426 W. Lyman Avenue. That request was to rezone that property from R-1A to R-2 as the applicant desired the FAR of R-2 (55%) versus the R-1A FAR (43%). That request was denied by the P&Z Board and subsequently withdrawn. The P&Z Board was committed to maintaining single family zoning directly across the street from this proposed project.

Conditional Use for the Townhouse Project: This application contains preliminary site plans and elevation drawings for Conditional Use approval contingent upon the rezoning to R-3. The planning staff believes that regardless of the decision on the rezoning, the Conditional Use request should be tabled or denied.

A major site design issue centers on the northwest corner of the site that is currently a storm water retention facility proving storm water retention for the 450 W. New England building as well as then entire alley parking lot from Virginia Avenue to Hannibal Square, East., which together occupy one acre of land. City staff has serious concerns regarding the ability to recreate that volume of storm water retention for the current one acre of impervious coverage plus the new storm water retention required for this project's ½ acre of new impervious surface, in an underground exfiltration system. The current plan shows no method of storm water retention and includes no explanation of how this will be accomplished, which is a code requirement for any preliminary conditional use approval. Conditional Use approvals are site plan specific entitlements once approved. The City should not approve 12 units on a site that may not be able to be built, in the manner shown, without the code required civil engineering conceptual explanation of how storm water retention can be accomplished to meet the State and City codes.

The planning staff also recommends denial of the exceptions or variances regarding setbacks for the third floor. The major exception requested is to the required third floor roof slope and thus setbacks of the third floor of this project. Policy 1-3.8.6 from the Comprehensive Plan and as also incorporated in the R-3 Zoning states that "within areas designated medium density residential (R-3) (the project) shall not exceed two stories in height unless approved via conditional use by the City Commission. In addition, such third floors must be entirely contained within a sloping roof having a maximum 12:12 roof slope". In essence this requirement provides the appearance of a 2½ story building with dormer windows for the 3rd floor tucked into the roof slope versus a three story vertical wall building appearance.

This is exactly the type of location that this policy was intended to address. There are and will be single family homes on the opposite side of W. Lyman Avenue. If the building is to be 3 stories, the building should look like the Comp. Plan and Zoning Code requires, which is a 2½ story façade facing Lyman Avenue. In that way the single family neighbors across Lyman Avenue will be looking at 2½ stories with roof slope versus having a 40 foot tall vertical wall facing them. But, instead of moderating the visual impact of a 3 story building in deference to their single family neighbors, the applicant does not want to give up any square footage on the third floor of these units by complying with this Comp. Plan policy and R-3 code requirement. Instead they desire to have vertical 40 foot tall walls facing the neighboring single family homes.

The other exception or variance is from the requirement to provide 2½ parking spaces for the multi-family project that is proposed. The City's Parking Code (Sec. 58-86) requires "two and one-half parking spaces per dwelling unit for any residential project of three units or more". This Conditional Use application is for a residential project of 12 units; so six additional parking spaces are required beyond the two car garages shown for each unit.

Planning Staff Summary and Recommendation: Staff recommends denial of the request to change the Comprehensive Plan future land use map and Zoning Map change to Multi-Family Residential (R-3) from Single Family Residential (R-1A). Staff recognizes the transitional nature of this block and the fact that the R-3 and C-2 zoning on this property have been part of the block since the redevelopment of the parking garage and the commercial to the north. Transitioning near a parking garage is difficult but the ability to consider low density residential future land use and R-2 zoning for new townhouse units at 2 stories in height is more in keeping with the existing, well established single family residential along Lyman than 3 story, 40 foot tall townhouses.

The request for rezoning to R-3 violates the Comprehensive Plan policy which instructs the City that this exact type of application is to be "strongly discouraged". It is true that there commercial buildings and a parking garage to the north and to the west of this development site. But there also will be single family homes across the street to the south and directly next door to the east.

The P&Z Board has a history of considering the density impacts of residential development in the Hannibal Square neighborhood, such as:

- a. Canton/Capen – City rejects R-3 zoning adjacent to and across the street from single family (R-1A) zoning even with a multi-story parking garage as an adjacent neighbor.
- b. 426 W. Lyman – City rejects R-2 zoning to keep single family homes only across the street from this subject property.
- c. 250 W. Lyman – City rejects R-3 zoning (adjacent to CBD/Railroad/Elec. Utility yard) in favor of R-2 zoning for the David Weekly townhomes.

The request also could be precedent setting for the properties to the east. The City's actions with respect to zoning must be fair and consistent. It will be difficult for the City to approve a Comprehensive Plan future land use change and rezoning to R-3 zoning in this case (in violation of the Comp. Plan policy) and then deny it to the three adjacent properties directly to the east. Their arguments in favor will be similar to this request.

STAFF RECOMMENDATION IS FOR DENIAL OF ALL THE REQUESTS, as currently submitted for the reasons stated in this staff report.

M. REBECCA WILSON

rebecca.wilson@lowndes-law.com
215 North Eola Drive, Orlando, Florida 32801-2028
T: 407-418-6250 | F: 407-843-4444
MAIN NUMBER: 407-843-4600



April 5, 2016

Jeff Briggs
Planning Director
City of Winter Park
401 Park Avenue South
Winter Park, FL 32789

Re: W. Lyman Square Application

Dear Jeff:

As you know, this firm represents the applicant for W. Lyman Square Duplexes. The property is currently comprised of 5 lots. One lot is zoned C-2 which allows 17 units an acre and 3-stories (40 ft.). Two of the lots are zoned R-3 which allows 17 units an acre and 3-stories (35 ft.). We are requesting that the additional lots which are zoned R-1A, be rezoned to R-3.

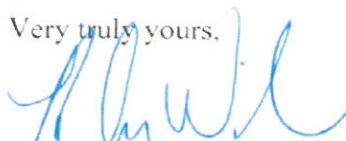
This request will allow six duplexes for a total of twelve units on the property. We believe this creates an appropriate transition from the C-2 development on the northern portion of the block (40 ft. high) down to 35 ft. on the southern block. To the south of the W. Lyman R-O-W the existing R-1A allows up to 35 ft. It should also be noted that the parking garage to the west is 55 ft. high.

The six duplexes are designed in a manner to be compatible with the houses and duplexes south of W. Lyman Ave. The buildings are separate from each other with greater distances than if they were 2-story single-family structures lined up along W. Lyman Ave. In the instance of single-family structures, the first floor of each home would be separated by 15' to the next first floor (7.5' setback) and the second floor of each home would be separated by 20' (10' second floor setback). By comparison, we are proposing that each building be separated by 25' at the driveway and 28' at the courtyard. Another benefit to the proposed configuration is that it minimizes curb cuts and driveways on W. Lyman Ave. in favor of a center greenspace. If this had been developed as single-family structures, there would be 5 curb cuts and driveways, eating up most of the open space. In addition, the single-family open space would likely be fenced in the backyards as opposed to visible from the public streets as proposed.

Jeff Briggs
April 5, 2016
Page 2

We look forward to working with staff to bring this residential project to the neighborhood.

Very truly yours,



M. Rebecca Wilson

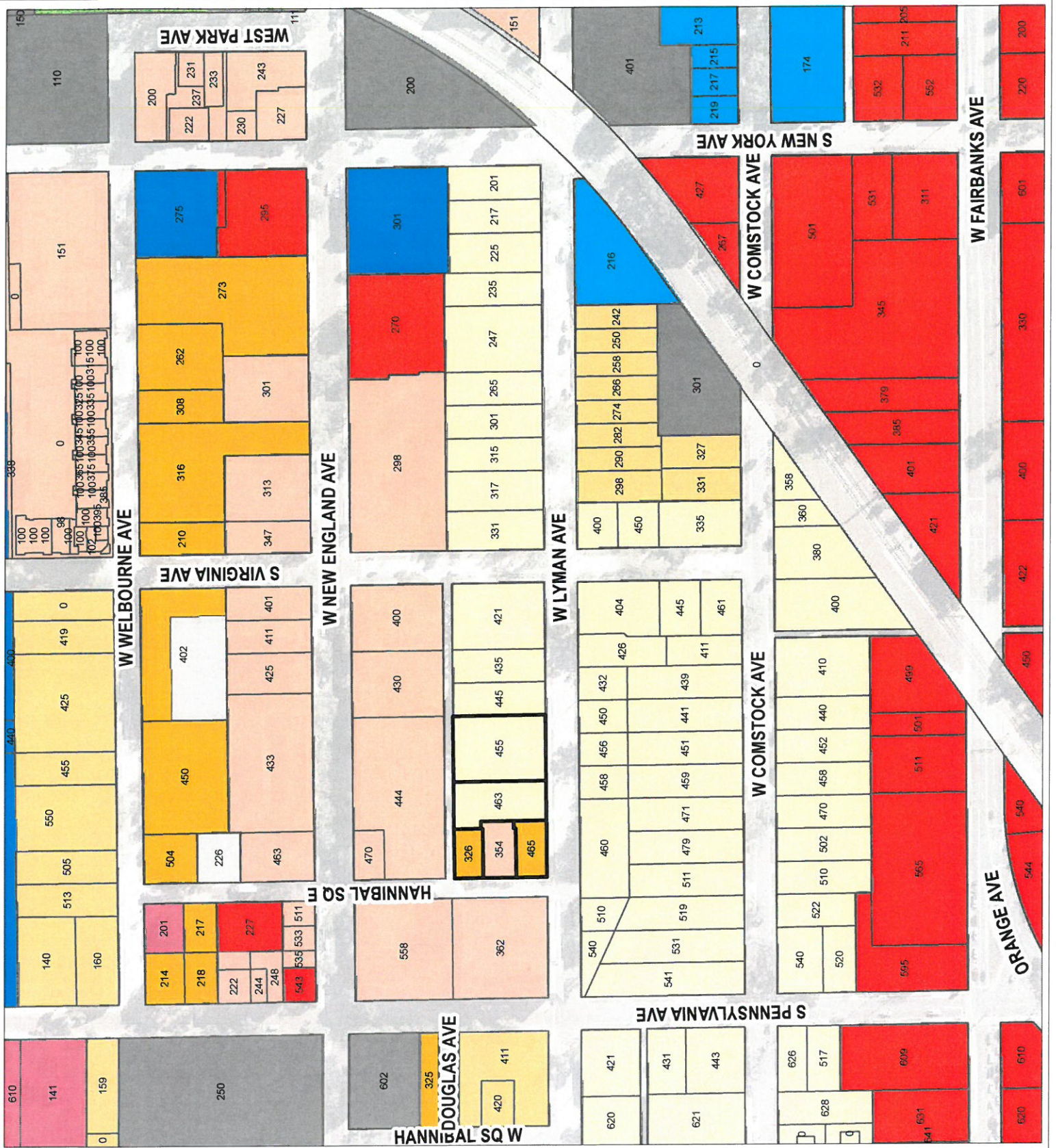
MRW/dmv



**City of Winter Park
Florida**

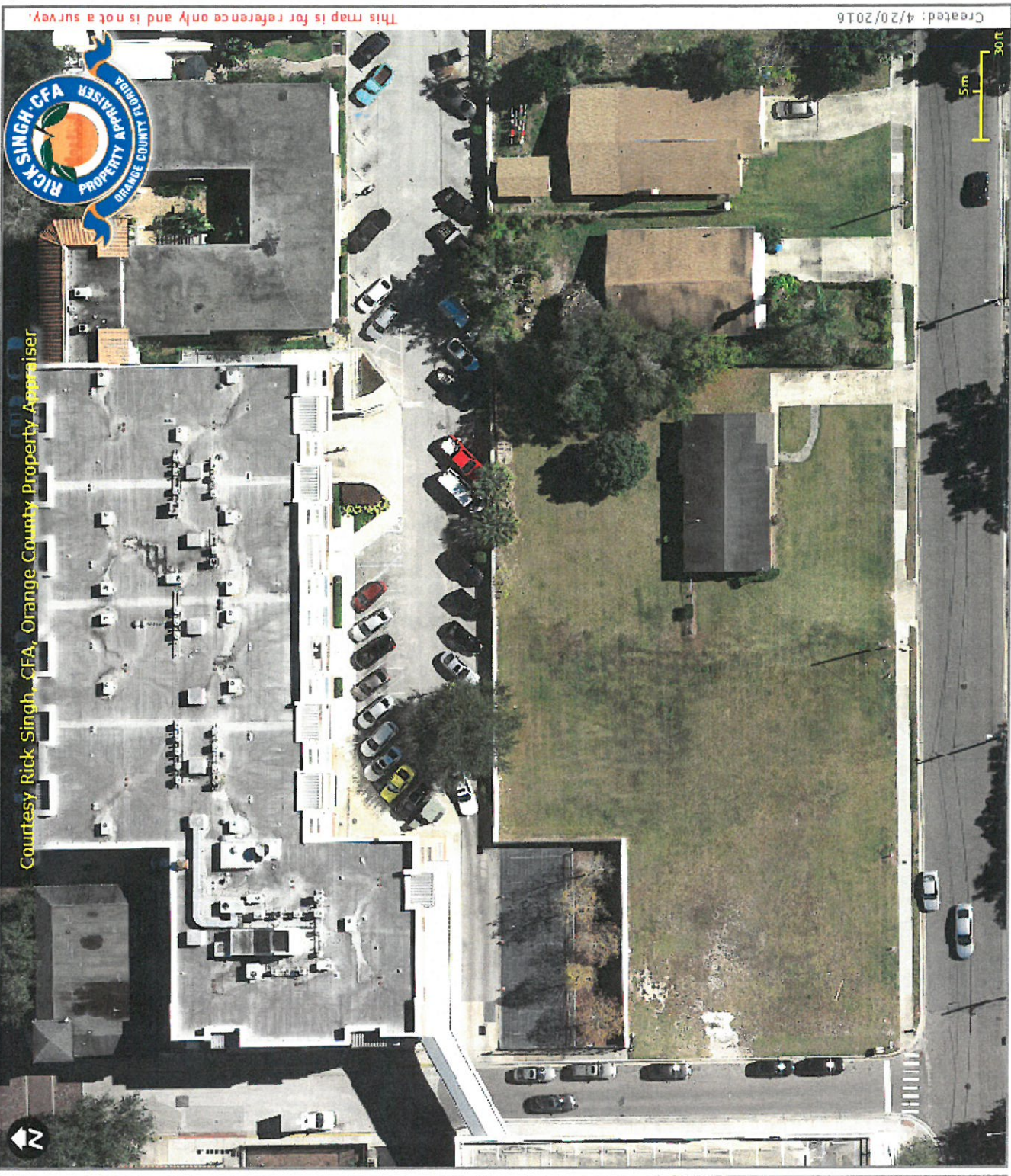
Legend

- C-2
- C-3
- C-3A
- O-1
- O-2
- PL
- PQP
- PR
- R-1A
- R-2
- R-3



Date: 4/20/2016

- Florida turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- One Way
- Brick Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial/Institutional
- Governmental/Institutional/Misc
- Commercial/Industrial/Vacant Land
- Hydro
- Waste Land
- Agricultural Curtilage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- Block Number
- Lot Number
- Parcel Number
- Parcel Address
- Parcel Dimension

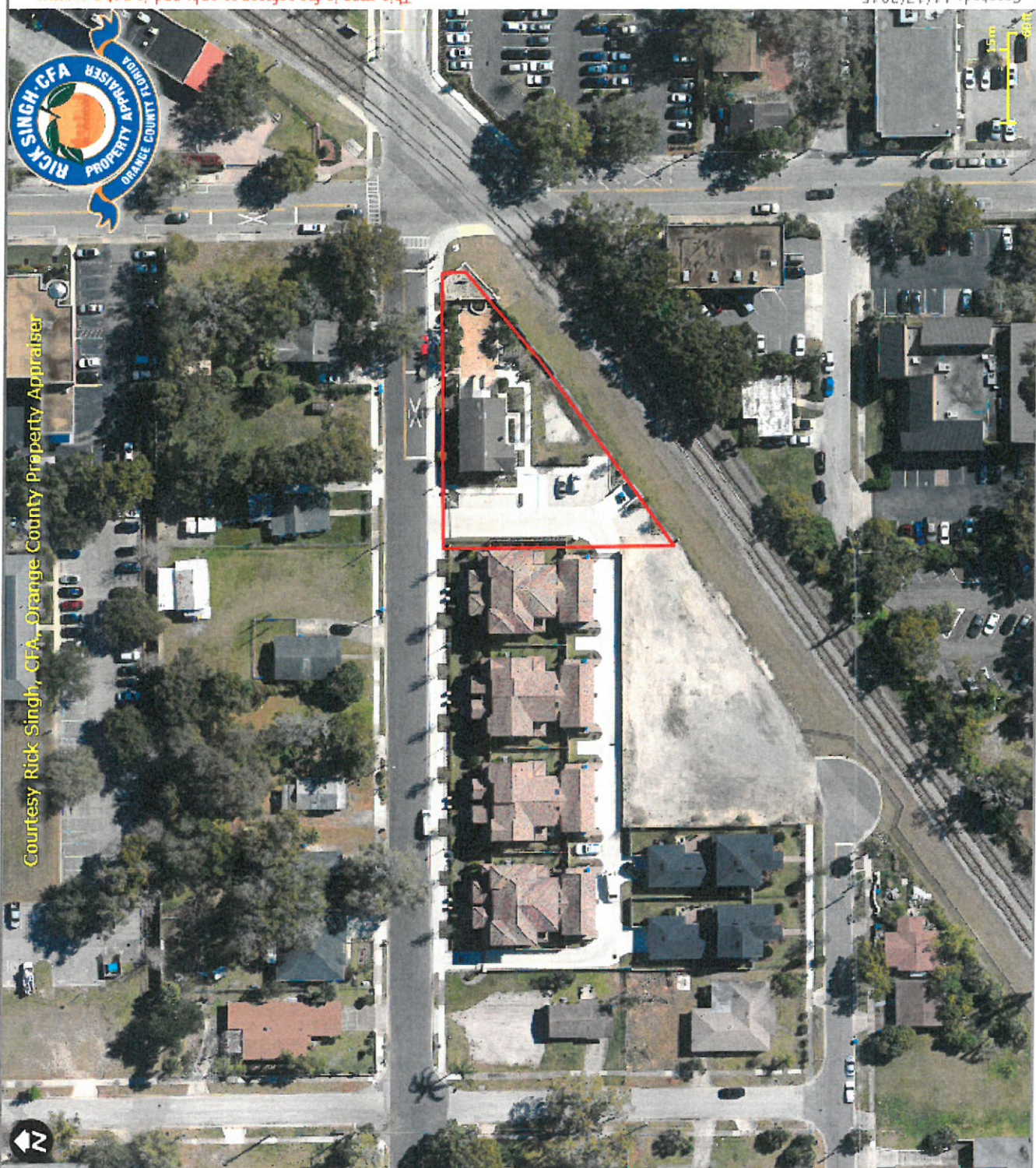


Courtesy Rick Singh, CFA, Orange County Property Appraiser

This map is for reference only and is not a survey.

Created: 4/20/2016

- Florida turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- One Way
- Brick Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
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- Commercial/Institutional
- Governmental
- Institutional/Misc
- Commercial/Industrial/Vacant Land
- Hydro
- Waste Land
- Agricultural Curtilage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- Block Number
- Lot Number
- Parcel Number
- Parcel Address
- Parcel Dimension



Courtesy Rick Singh, CFA, Orange County Property Appraiser

This map is for reference only and is not a survey.

Created: 11/17/2015





444-402-7100 FAX 402-7100
1100 N. W. 10th Street
LA 00019

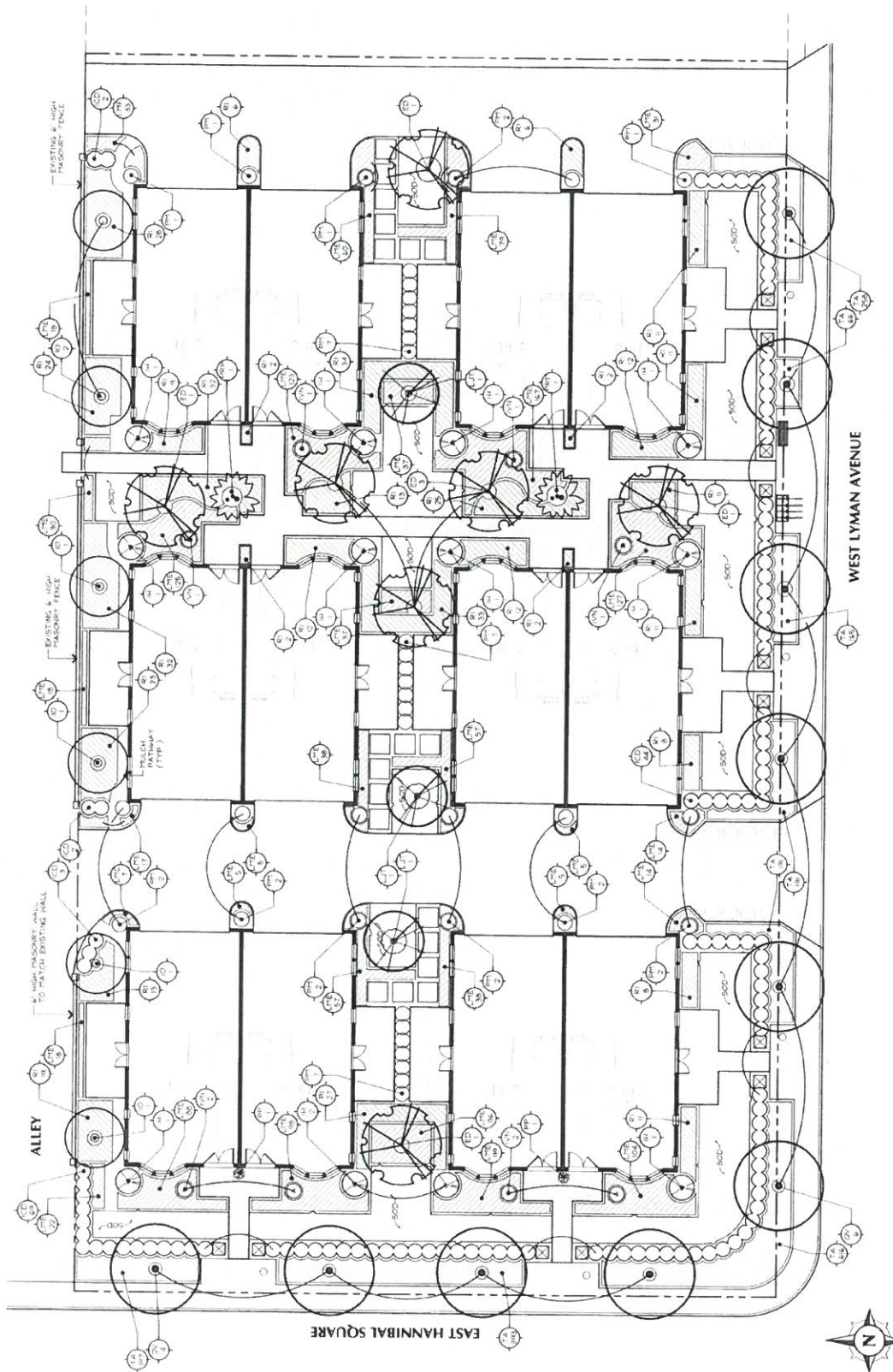
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CLIENT	
DESIGNER	
ARCHITECT	
ENGINEER	
PLUMBER	
ELECTRICAL	
MECHANICAL	
ENVIRONMENTAL	
LANDSCAPE ARCHITECT	
PAINTER	
CONTRACTOR	
GENERAL CONTRACTOR	
OWNER	
PREPARED BY	
CHECKED BY	
APPROVED BY	
DATE	

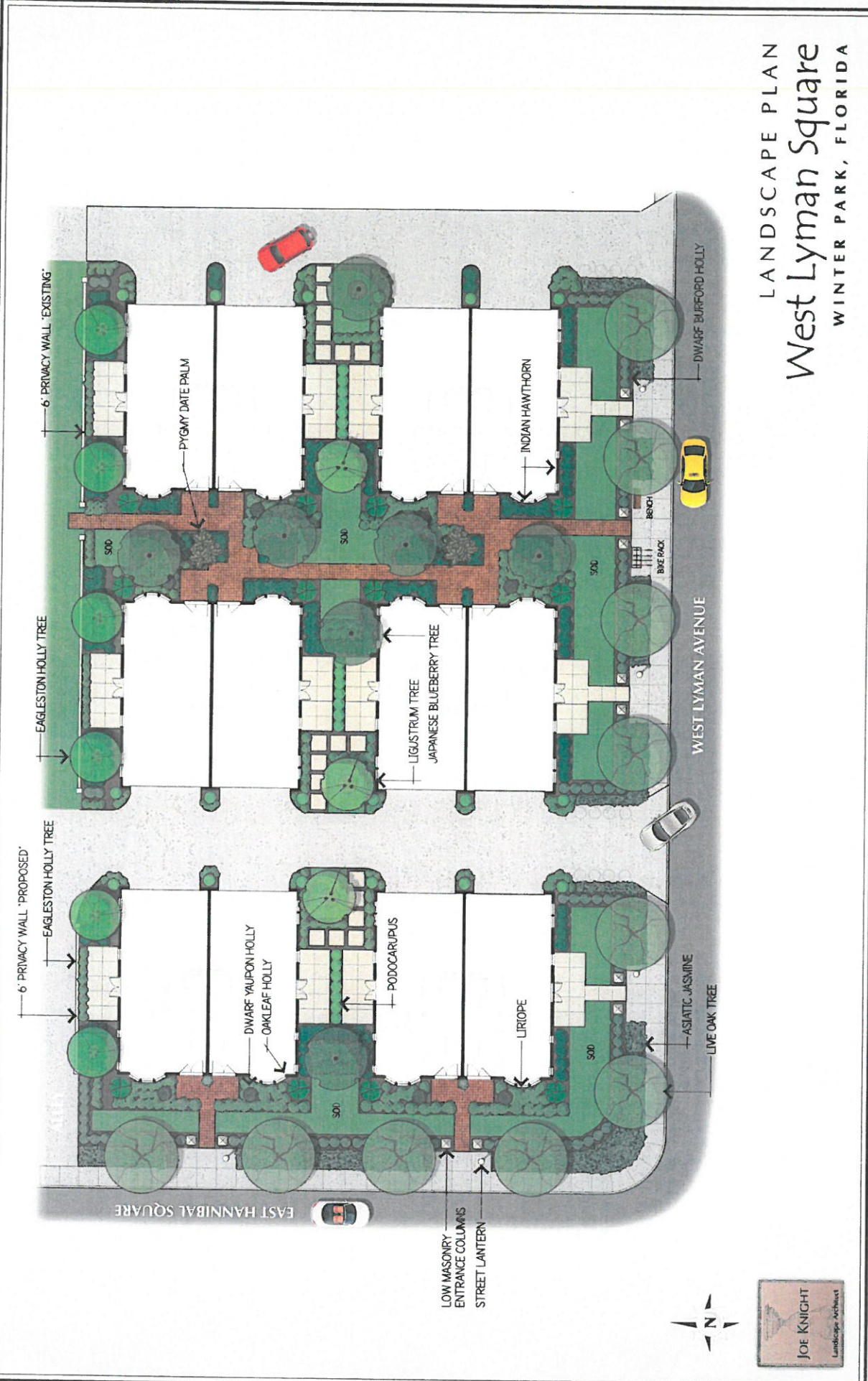
Landscape Plan
 Prepared for: Orc Lyman, LLC
 Winter Park, Florida
WEST LYMAN SQUARE

Joe Knight
 Landscape Architect
 License No. R 00000
 Project No. W18117
 Date: 11 APRIL 2018
 Scale: 1" = 10'-0"

LA-1

OF 2 SHEETS





LANDSCAPE PLAN
West Lyman Square
 WINTER PARK, FLORIDA

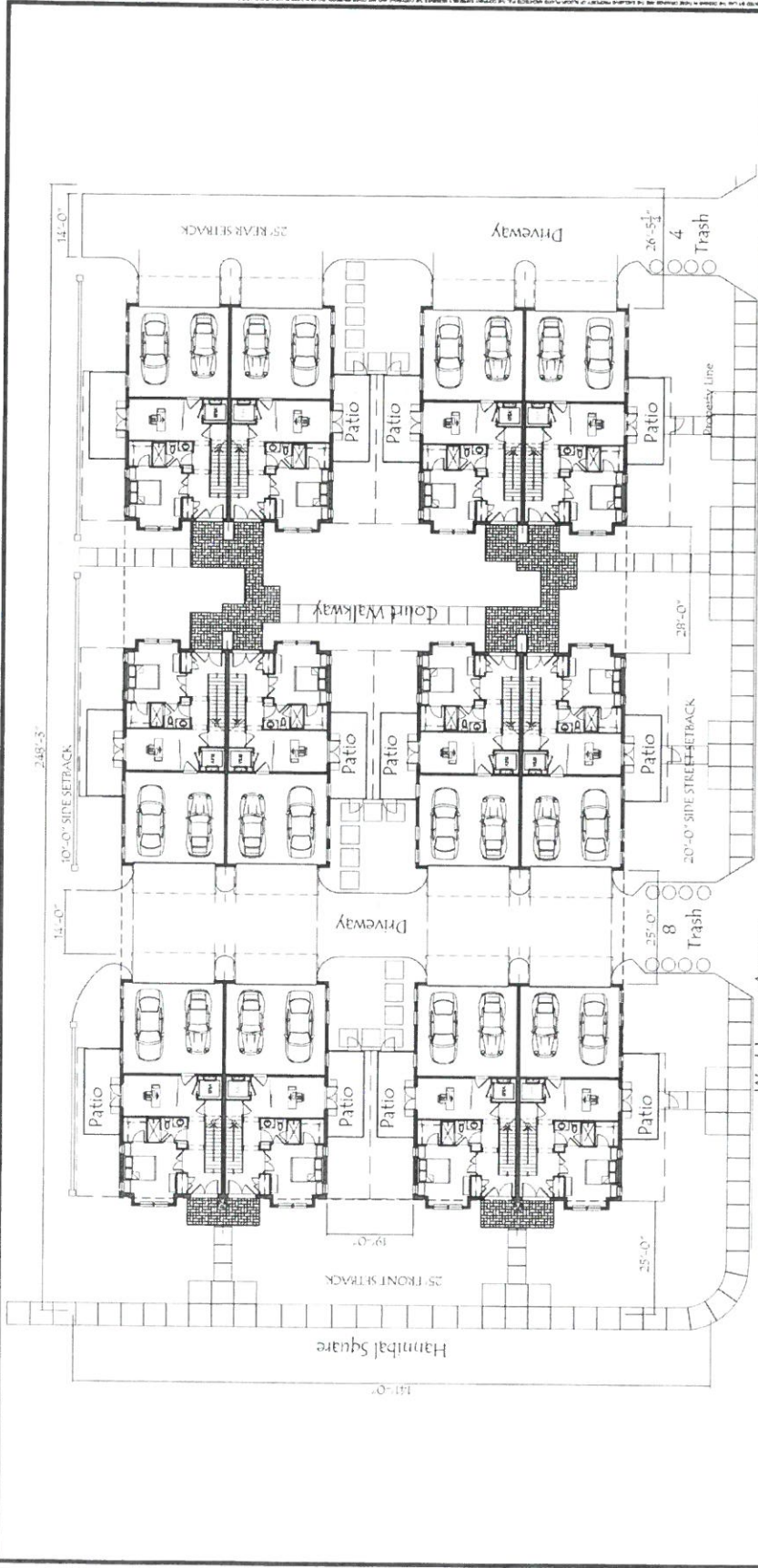


REVISIONS	DATE	BY	DESCRIPTION

SLOCUM PLATTS ARCHITECTS, P.A.
 410 NORTH CHERRY AVENUE, SUITE 100, PALM BEACH, FL 33480
 TEL: (561) 832-1111 FAX: (561) 832-1112
 WWW.SLOCUMPLATTS.COM

FLORIDA
 WEST LYMAN SQUARE
 SITE PLAN

WATER PARK
 A1.0



IMPERVIOUS AREA CALCULATIONS

SITE AREA:	35,018 SF
IMPERVIOUS AREAS:	
-1ST FLOOR HVAC	633 SF
-GARAGE	468 SF
TOTAL (1 BLDG.)	1,101 SF
TOTAL (12 BLDGS.)	13,212 SF
-DRIVEWAY / COURTYARD PAVERS	9,031 SF
MECHANICAL WALLS/SLABS	
TOTAL IMPERVIOUS	22,243 SF
ALLOWABLE (65%) SHOWN (63%)	
ALLOWABLE IMPERVIOUS (65%)	22,762 SF
TOTAL IMPERVIOUS SHOWN (63%)	22,243 SF

AREA CALCULATIONS

SITE AREA	35,018 SF
1ST FLOOR HVAC	633 SF
2ND FLOOR HVAC	10,148 SF
3RD FLOOR HVAC	334 SF
TOTAL	7,815 SF
TOTAL HVAC (12 TOTAL UNITS)	33,300 SF
GARAGE	468 SF
MECHANICAL STORAGE	12 SF
TOTAL	25 SF
TOTAL SF NON-HVAC (12 TOTAL UNITS)	6,060 SF
TOTAL SF ALL FLOORS (12 UNITS)	37,440 SF
MAX FAR (100%)	38,519 SF
FAR SHOWN (53%)	31,740 SF
MAX BUILDING COVERAGE (40%)	14,007.2 SF
BUILDING COVERAGE SHOWN (38.2%)	13,398 SF

Lyman Hannibal
 SITE PLAN CONCEPT
 SCALE: 1/8" = 1'-0"



A2.0

DATE: 04.09.2006
SCALE: AS NOTED
JOB NO.: 0504
SHEET

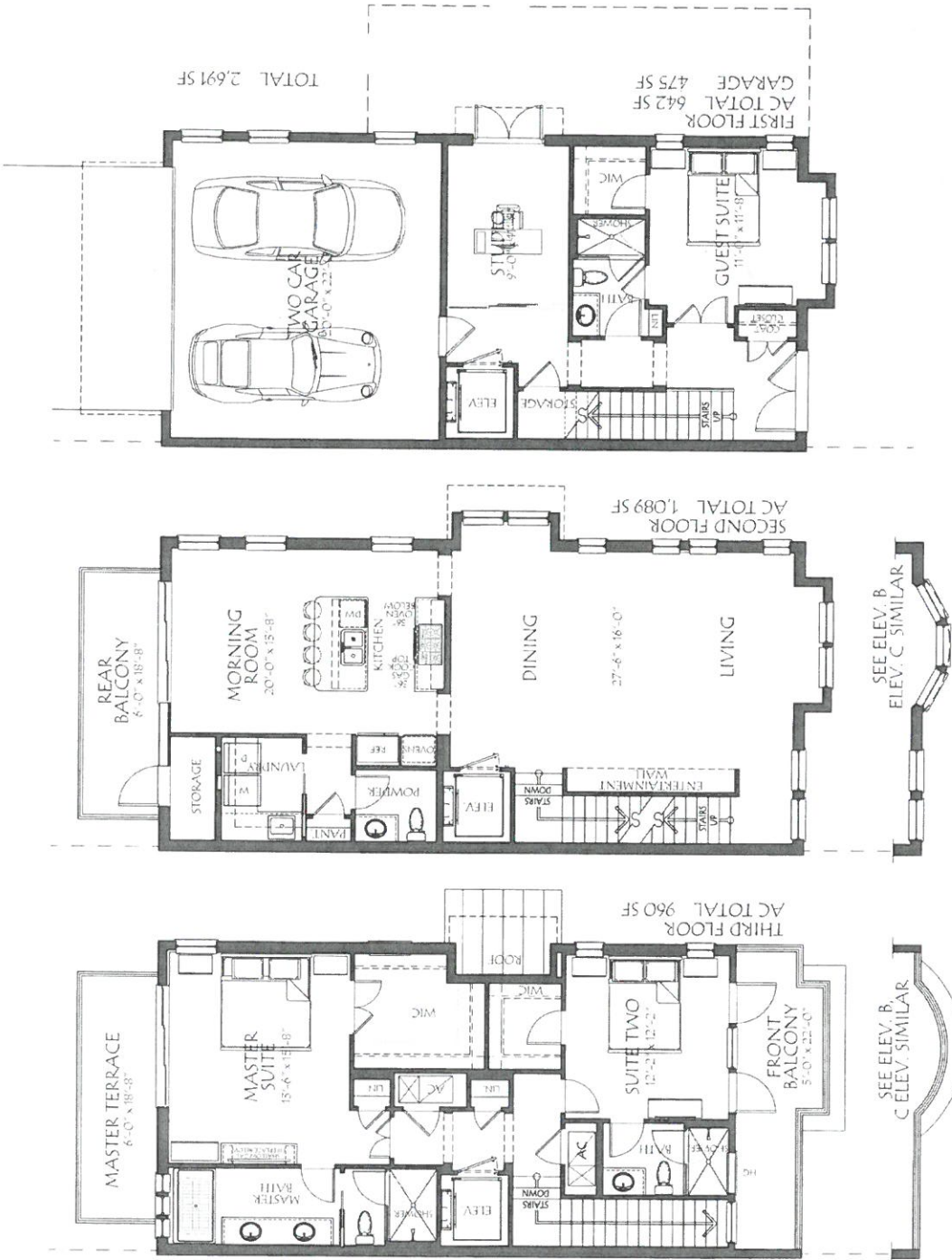
UNT - FLOOR PLANS
WEST LYMAN SQUARE
FLORIDA
WINTER PARK



SLOCUM PLATTS
ARCHITECTS, P.A.
MANAGEMENT, 15000 W. WILLOW PARK DRIVE, SUITE 100, MARIETTA, GA 30067
TEL: (404) 478-2771
WWW.SLOCUMPLATTS.COM

NO.	DESCRIPTION	DATE

2 FIRST, SECOND AND THIRD FLOOR PLANS
SCALE: 1/8" = 1'-0"



NO.	REVISIONS


SLOCUM PLATTS ARCHITECTS, P.A.
410 NORTH OAKLAND AVENUE SUITE 1810 PHILADELPHIA, PA 19106
 TEL: (215) 561-2777 FAX: (215) 561-2778
 WWW.SLOCUMPLATTS.COM

FLORIDA
 SLOCUM PLATTS ARCHITECTS, P.A.
 LICENSE NO. 12000

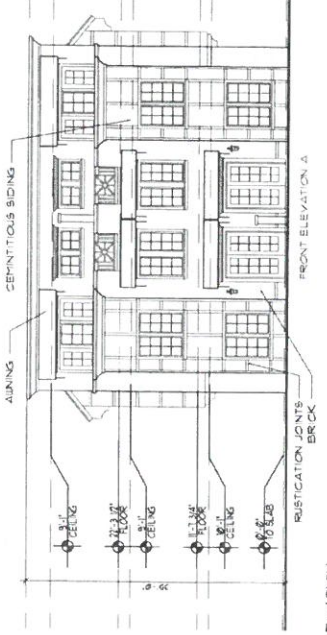
WEST LYMAN SQUARE
 EXTERIOR ELEVATIONS
 WINTER PARK
 FLORIDA

DATE: 04-09-2024
 DRAWN BY: JTB
 CHECKED BY: JTB
 SCALE: AS NOTED
 JOB NO: 24-001
 SHEET: 6-004

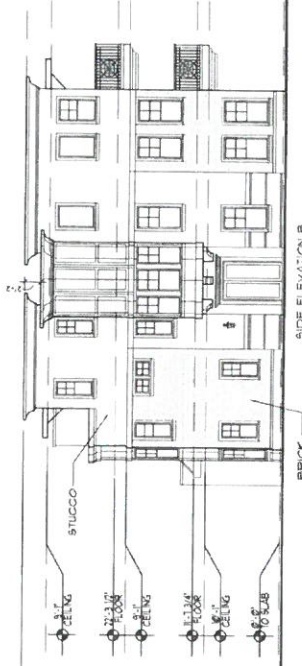
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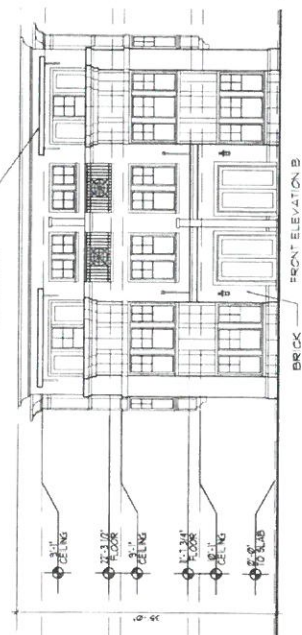
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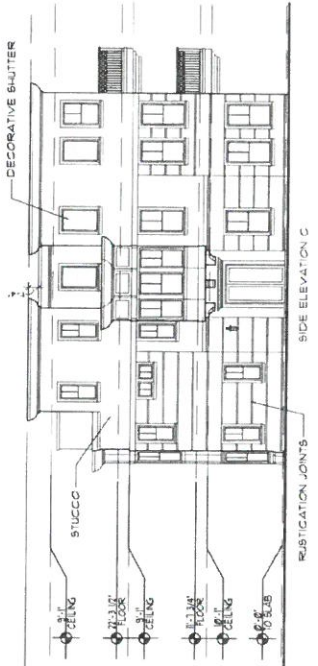
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B ELEVATION
 SCALE: 1/8" = 1'-0"



B ELEVATION
 SCALE: 1/8" = 1'-0"



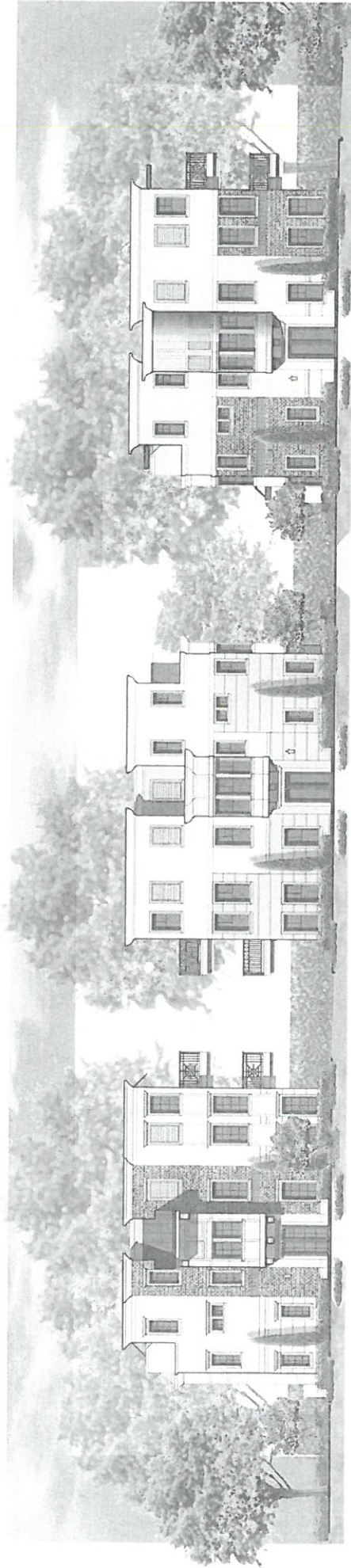
C ELEVATION
 SCALE: 1/8" = 1'-0"



C ELEVATION
 SCALE: 1/8" = 1'-0"



FRONT ELEVATION B
FRONT ELEVATION A
HANNIBAL SQUARE STREET ELEVATION



FRONT ELEVATION B
FRONT ELEVATION A
SIDE ELEVATION C
SIDE ELEVATION B
SIDE ELEVATION A
WEST LYMAN AVENUE ELEVATION

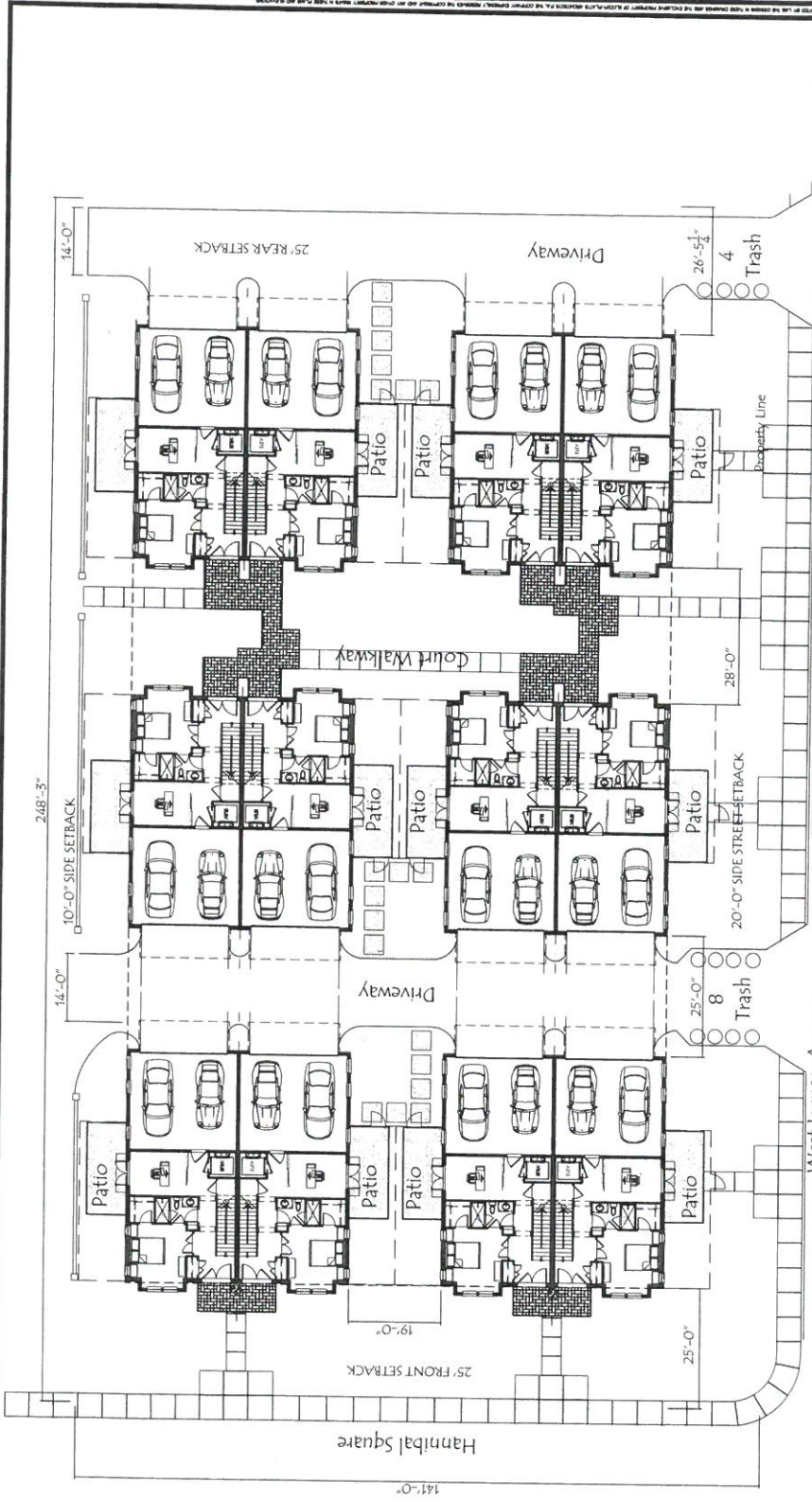
WEST LYMAN SQUARE
16-004
4.6.16

REVISIONS	DATE	BY

SLOCUM PLATTS ARCHITECTS, P.A.
 430 NORTH GILMAN AVENUE, SUITE 1001, MALDEN, FL 32751
 TEL: (813) 875-9121 FAX: (813) 875-7711
 WWW.SLOCUMPLATTS.COM

WEST LYMAN SQUARE
 FLORIDA
 WINTER PARK
 SITE PLAN

A1.0
 SHEET
 TOTAL IMPERVIOUS SHOWN (63%)
 ALLOWABLE IMPERVIOUS (65%)
 ALLOWABLE (65%) SHOWN (63%)
 TOTAL IMPERVIOUS (63%)
 TOTAL IMPERVIOUS SHOWN (63%)



AREA CALCULATIONS

SITE AREA	35,019 SF.
1ST FLOOR HVAC:	633 SF.
2ND FLOOR HVAC:	1,048 SF.
3RD FLOOR HVAC:	934 SF.
TOTAL	2,615 SF.
GARAGE	468 SF.
MECHANICAL STORAGE	12 SF.
TOTAL	505 SF.
TOTAL SF NON-HVAC: (2 TOTAL UNITS)	6,060 SF.
TOTAL SF ALL FLOORS: (2 UNITS)	37,440 SF.
MAX FAR (100%):	38,519 SF.
FAR SHOWN (93%):	37,440 SF.
MAX BUILDING COVERAGE (46%):	14,007 SF.
BUILDING COVERAGE SHOWN (38%):	13,398 SF.

IMPERVIOUS AREA CALCULATIONS

SITE AREA:	35,019 SF.
IMPERVIOUS AREAS:	633 SF.
-1ST FLOOR HVAC	468 SF.
-GARAGE	1,048 SF.
TOTAL (1 BLDG.)	1,949 SF.
TOTAL (2 BLDGS)	3,898 SF.
-DRIVEWAY / COURTYARD PAVERS	9,291 SF.
MECHANICAL WALLS/SLABS	2,243 SF.
TOTAL IMPERVIOUS	15,432 SF.
ALLOWABLE (65%) SHOWN (63%)	22,767 SF.
ALLOWABLE IMPERVIOUS (65%)	22,767 SF.
TOTAL IMPERVIOUS SHOWN (63%)	22,743 SF.

Lyman Hannibal
SITE PLAN CONCEPT
 SCALE: 1/32" = 1'-0"





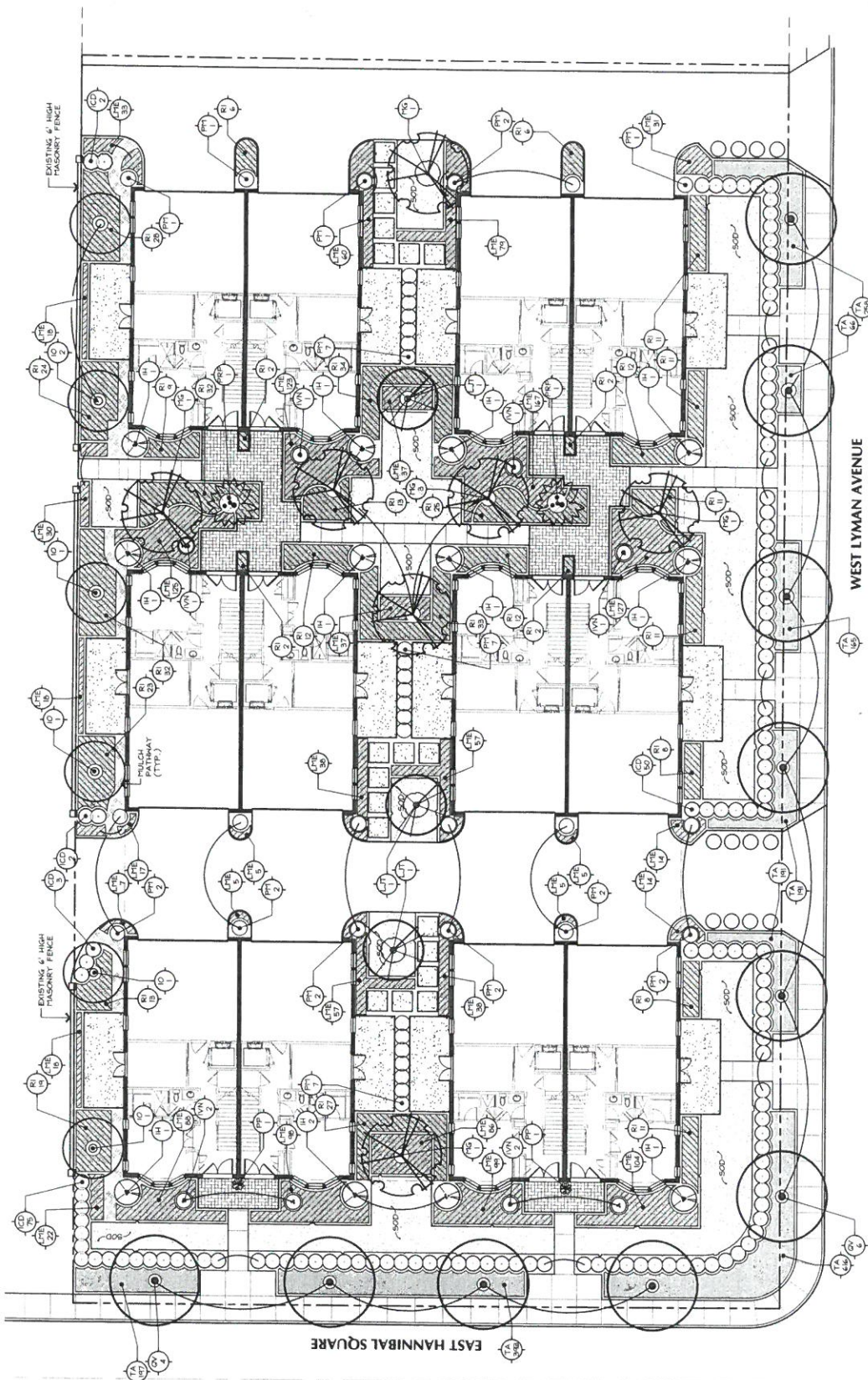
JOE KNIGHT ARCHITECT
 407.718.5700
 www.joe-knight.com
 12000 N.W. 12th St., Suite 200
 Coral Gables, FL 33134

REVISIONS	BY	DATE

Landscape Plan
 Prepared for: Orc Lyman, LLC
 Winter Park, Florida
WEST LYMAN TOWNHOMES

Prepared by: Joe Knight
 License No.: LA 00001779
 Project No.: R. 0000
 Date: 04 APRIL 2016
 Scale: 1" = 10'-0"

LA-1
 OF 2 SHEETS



GENERAL NOTES

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND ALL WORK AS CALLED FOR ON THE LANDSCAPE PLANS AND IN THE SPECIFICATIONS. THE LIST OF PLANT MATERIALS AND QUANTITIES AND REPORTS SHALL BE USED AS A GUIDE ONLY. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORTS ANY DISCREPANCIES AT THE TIME OF BIDDING.

ALL PLANT MATERIAL SHALL BE GRADED FLORIDA NO. 1 OR BETTER AS OUTLINED UNDER GRADES AND STAKES. PLANT MATERIALS, PASSAGE OF PLANT MATERIALS, STATE OF FLORIDA UNLESS OTHERWISE NOTED.

ALL PLANT BERRIES, SERRAS, FOLIAGE, OR OTHER PLANT MATERIALS SHALL BE IDENTIFIED BY COMMON NAME, SCIENTIFIC NAME, AND COLOR. PLANT BERRIES, SERRAS, FOLIAGE, OR OTHER PLANT MATERIALS SHALL BE IDENTIFIED BY COMMON NAME, SCIENTIFIC NAME, AND COLOR. PLANT BERRIES, SERRAS, FOLIAGE, OR OTHER PLANT MATERIALS SHALL BE IDENTIFIED BY COMMON NAME, SCIENTIFIC NAME, AND COLOR.

ALL PLANT MATERIAL SHALL BE PROPERLY PLANTED WITH FRANKLE TORBOL AND FERTILISER MIXTURE CONTAINING AT LEAST 5% ORGANIC MATTER (HUMUS). FERTILISER SHALL BE A COMPLETE BALANCED BLEND CONTAINING NITROGEN, PHOSPHORUS AND POTASSIUM, AS WELL AS MICRO-NUTRIENTS MAGNESIUM, IRON, COPPER, ZINC, MANGANESE AND BORON.

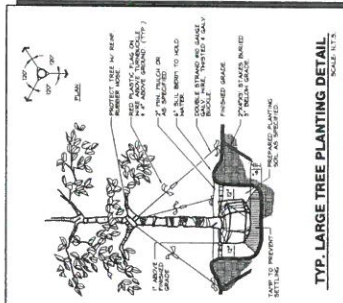
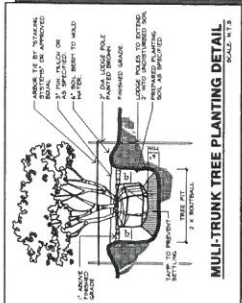
ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 180 DAYS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY AND PLUMB CONDITION OF ALL TREES AND SHRUBS. STAKING OF TREES AND SHRUBS, IF REQUIRED, SHALL BE DONE UTILISING A METHOD AGREED UPON BY THE LANDSCAPE ARCHITECT.

LANDSCAPE CONTRACTOR SHALL REVIEW ARCHITECTURAL PLANS TO BECOME THOROUGHLY FAMILIAR WITH SURFACE AND SUB-SURFACE UTILITIES.

EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT AND FURNISHINGS. LANDSCAPE CONTRACTOR SHALL BE HELDLY RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN PROSECUTION OF THE WORK.

IRRIGATION: IRRIGATION SYSTEM WILL PROVIDE 100% COVERAGE ON ALL LAWN AND LANDSCAPED AREAS, AND WILL MEET ALL APPLICABLE CODES.



PLANT LIST

SYM	QTY	BOTANICAL	COMMON	OC	SIZE	COMMENTS
TR	6	ILEX OPACA 'SAGLETON'	HOLLY TREE	on shown	100 GAL., 12-14\"/>	
LJ	3	LIGUSTRUM JAPONICUM	TREE LIGUSTRUM	on shown	100 GAL., 12-14\"/>	
MG	7	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	on shown	100 GAL., 10-12\"/>	
QV	10	QUERCUS VIRGINIANA	LIVE OAK	on shown	20-22\"/>	
PA	2	PHOENIX ROSEBENHII	PIGMY DATE PALM	on shown	TRIPLE CROWN SPEC. FULL WELL DEV. CROWNS, 1\"/>	
AC	12	ILEX 'OAK LEAF'	OAK LEAF HOLLY	on shown	8-10\"/>	
SH	132	ILEX CORNUTA 'DWARF'	DWARF BURFORD HOLLY	36\"/>		
IV	8	ILEX VICTORIA 'NANA'	DWARF YAUPOH HOLLY	30\"/>		
PO	34	PODOCARPUS	PODOCARPUS	30\"/>		
RI	484	RAPHIOLEPS INDICA 'ALBA'	INDIAN HANTHORN	24\"/>		
LI	162	LIRIOPE MUSCARI	LIRIOPE	12\"/>		
TA	2077	TERRALD GODESS' ASIATICUM	CONFEDERATE JASMINE	6\"/>		



A2.0

UNIT - FLOOR PLANS
WEST LYMAN SQUARE
FLORIDA
WINTER PARK
SHEET
16-0004
LSP NO.
DATE NOTED
04-06-2016
DATE
DWG
CHECKED
DATE
DATE
DATE
DATE

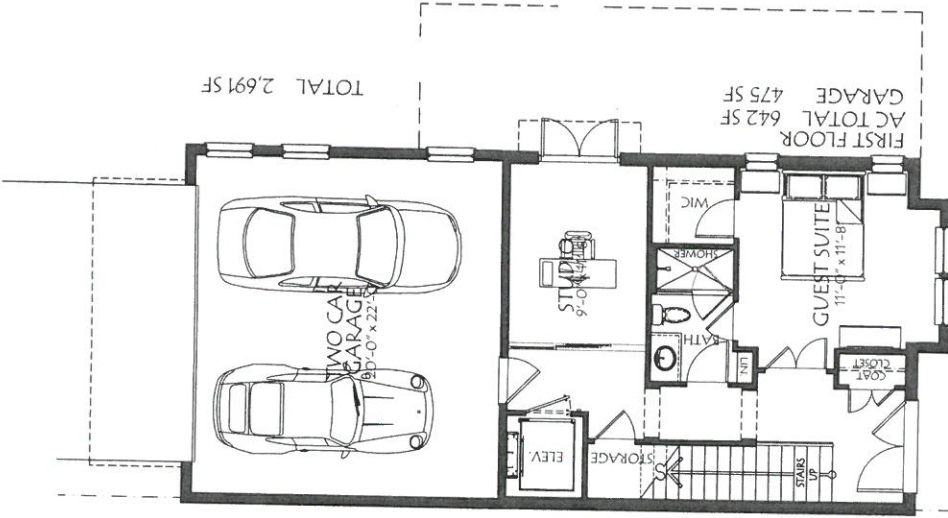
SLOCUM PLATTS ARCHITECTS, P.A.
370 NORTH ORLANDO AVENUE, SUITE 1000 WELLSVILLE, FL 32781
TEL: 352.486.3018 FAX: 352.486.2771
WWW.SLOCUMPLATTS.COM



REVISIONS

2 FIRST, SECOND AND THIRD FLOOR PLANS
SCALE: 1/4" = 1'-0"

FIRST FLOOR AC TOTAL 642 SF
GARAGE 475 SF
TOTAL 2,691 SF

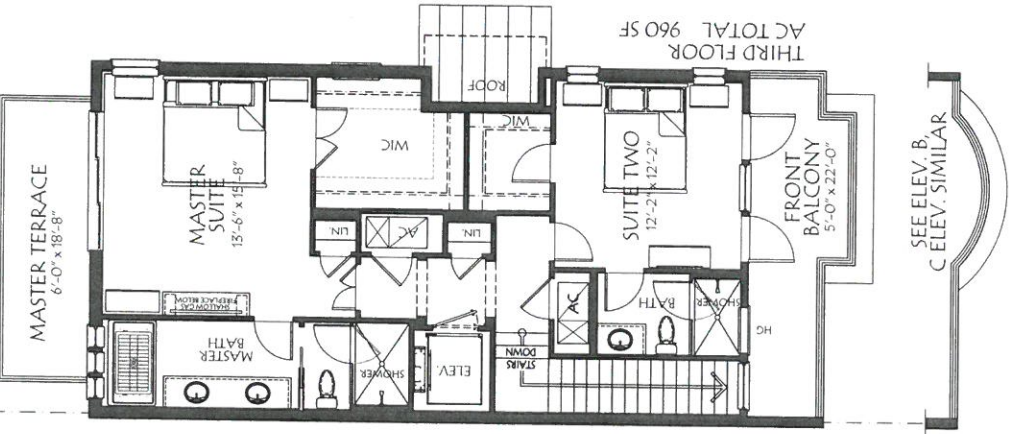


SECOND FLOOR AC TOTAL 1,089 SF



SEE ELEV. B
ELEV. C SIMILAR

THIRD FLOOR AC TOTAL 960 SF



SEE ELEV. B
ELEV. C SIMILAR

REVISIONS

SLOCUM PLATTS ARCHITECTS, P.A.
RANDALL J. SLOCUM ARCHITECT
175 NORTH ORLANDO AVENUE, SUITE 1001, ORLANDO, FL 32781
TEL: (407) 838-4300 FAX: (407) 838-2771
WWW.SLOCUMPLATTS.COM

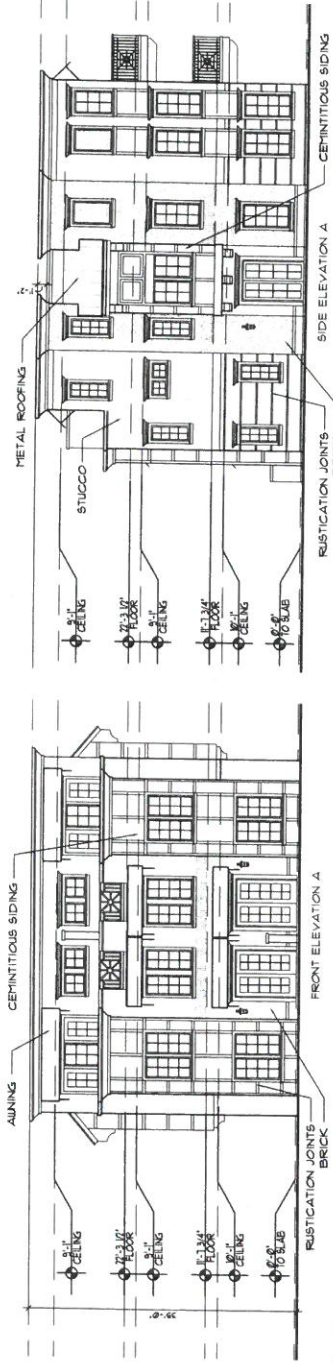


WEST LYM AN SQUARE
FLORIDA

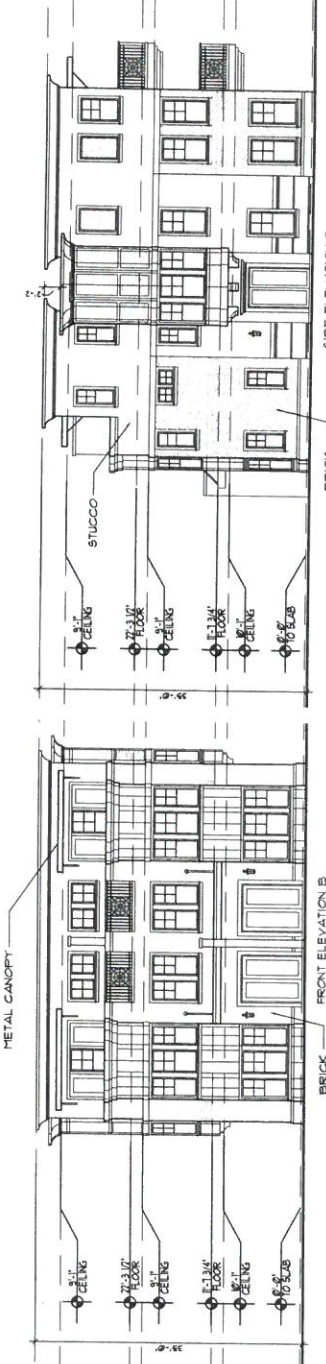
WEST LYM AN SQUARE
EXTERIOR ELEVATIONS
WINTER PARK

DRAWN: UTB
CHECKED: JWP
DATE: 04-05-2016
SCALE: AS NOTED
JOB NO: 16-004
SHEET 16-004

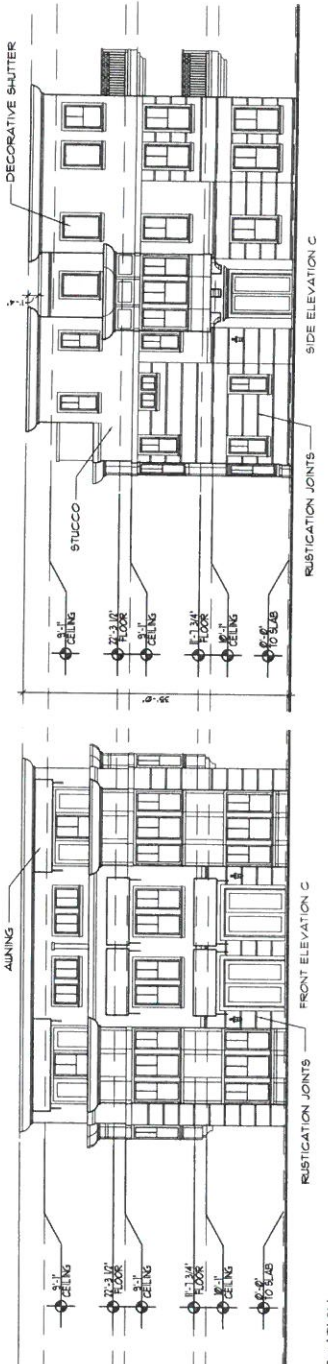
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A ELEVATION
SCALE 1/8" = 1'-0"



B ELEVATION
SCALE 1/8" = 1'-0"



C ELEVATION
SCALE 1/8" = 1'-0"



FRONT ELEVATION B
 HANNIBAL SQUARE STREET ELEVATION



SIDE ELEVATION A

SIDE ELEVATION C

SIDE ELEVATION B

WEST LYMAN AVENUE ELEVATION

WEST LYMAN SQUARE
 16-004 4.6.16

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
May 3, 2016**

REQUEST OF MORSE AND PENNSYLVANIA, LLC TO: AMEND THE CONDITIONAL USE APPROVAL GRANTED ON OCTOBER 12, 2015 TO REDEVELOP THE PROPERTY LOCATED AT 652 WEST MORSE BOULEVARD IN ORDER TO DEVELOP 10 RESIDENTIAL UNITS IN LIEU OF THE APPROVED 11 RESIDENTIAL UNITS, AND TO MODIFY THE APPROVED ARCHITECTURAL ELEMENTS.

This public hearing involves the request by Morse and Pennsylvania, LLC to amend the previously approved Conditional Use for redevelopment of the property located at 652 West Morse Boulevard, just to the west of the Coop Restaurant. This amendment involves changing the proposed number of residential units to 10 in lieu of the approved 11 units, and to modify the approved architectural elements of the buildings.

Project History: As you may recall, in October of 2015, the City Commission approved the following requests subject to a Development Agreement:

1. Change to the Comprehensive Plan Future Land Use map from Commercial to Central Business District; and
2. Change to the Zoning Map from Office (O-1) to Commercial (C-2); and
3. Conditional Use for the construction of eleven residential townhouses, 2 & 3 stories in height with a total project size of 40,566 square feet.

The property is 110 feet along Morse Boulevard, approximately 300 feet deep, and is 29,190 square feet (0.67 acres) in size. The existing two story office building and parking lot is to be removed for the redevelopment of this land. At the first public hearing on September 28, 2015, the City Commission asked for a Development Agreement which would include a requirement for the future Homeowners Association to maintain the city-owned parcel to the west.

Amendment of the Conditional Use: The property is now zoned C-2, which allows a maximum of 17 units per acre. Based on this lot size of 29,036 square feet, the originally proposed eleven (11) units were the maximum number permitted. The applicant is requesting to amend this approval to build ten (10) units in lieu of the approved eleven (11) units. They have also decreased the total building coverage by 233 square feet, and reconfigured the layout of the buildings to allow for additional greenspace in-between the five buildings. This has reduced the floor area ratio (FAR) from the originally approved 139.7% to 133.4%.

The applicant has also made changes based on the Planning and Zoning Board recommendations from the September 1, 2015 meeting. The buildings, as you can

see from the attached elevations, are terraced and stepped back from the exterior face of the lower floors. Also, an additional three parallel parking spaces parking spaces were created with the rearrangement of Welbourne Avenue.

The architectural elements of the buildings have also changed (see attached renderings). The applicant is also working with the City's Parks and Recreation department to receive approvals of their landscape plan. All other details of the original Conditions Use are to remain the same.

Staff Analysis of the Applicant's Requests:

This project is intended to be developed as fee simple townhouses pursuant to a replat (not as a condominium). To the extent that any "subdivision approval" is required, then this process provides that approval. This fee simple/replat marketing approach is what was approved by the City for the 400 Swoope townhouse project, Morse/Virginia townhouse project, 125 South Interlachen Avenue, and 170 East Morse Boulevard project.

Special attention needs to be paid to the placement of the electric transformers and back flow preventers. It is not a significant issue with the green electric transformer or switch gear boxes but the appearance of the backflow preventers next to the sidewalk quickly diminishes the visual appeal of the development. While one can accept that in commercial locations, it is not acceptable on Morse Boulevard. There are conditions recommended to address these circumstances.

The scale of this project and the materials presented allows the City to combine the amendments to the Preliminary and Final Conditional Use approvals. The final civil engineering and landscape plans can be administratively approved. However, the Code requires, even with amendments, two public hearings for approval by the City Commission for three story buildings within the Central Business District.

STAFF RECOMMENDATION IS FOR APPROVAL of the amendment to the Conditional Use approvals with the following conditions:

1. The electric transformer/switch gear and all backflow preventers shall be located where not visible from a public street and shall also be landscaped so as to be effectively screened from view.
2. That a common area be provided in the rear (not in the right-of-way) for the placement of the 10 trash carts.
3. That a Development Agreement incorporate a mutual use and maintenance provision for the adjacent city park land property as well as the construction of the three offsite parking spaces.

MORSE AND PENNSYLVANIA TOWNHOMES



WINTER PARK
PARKS AND REC CENTER

WARD CHAPEL

SFR

WOMEN'S
CENTER

BUILDING 5

BUILDING 4

BUILDING 3

BUILDING 2

BUILDING 1

THE COOP

SEASIDE NATIONAL
BANK AND TRUST

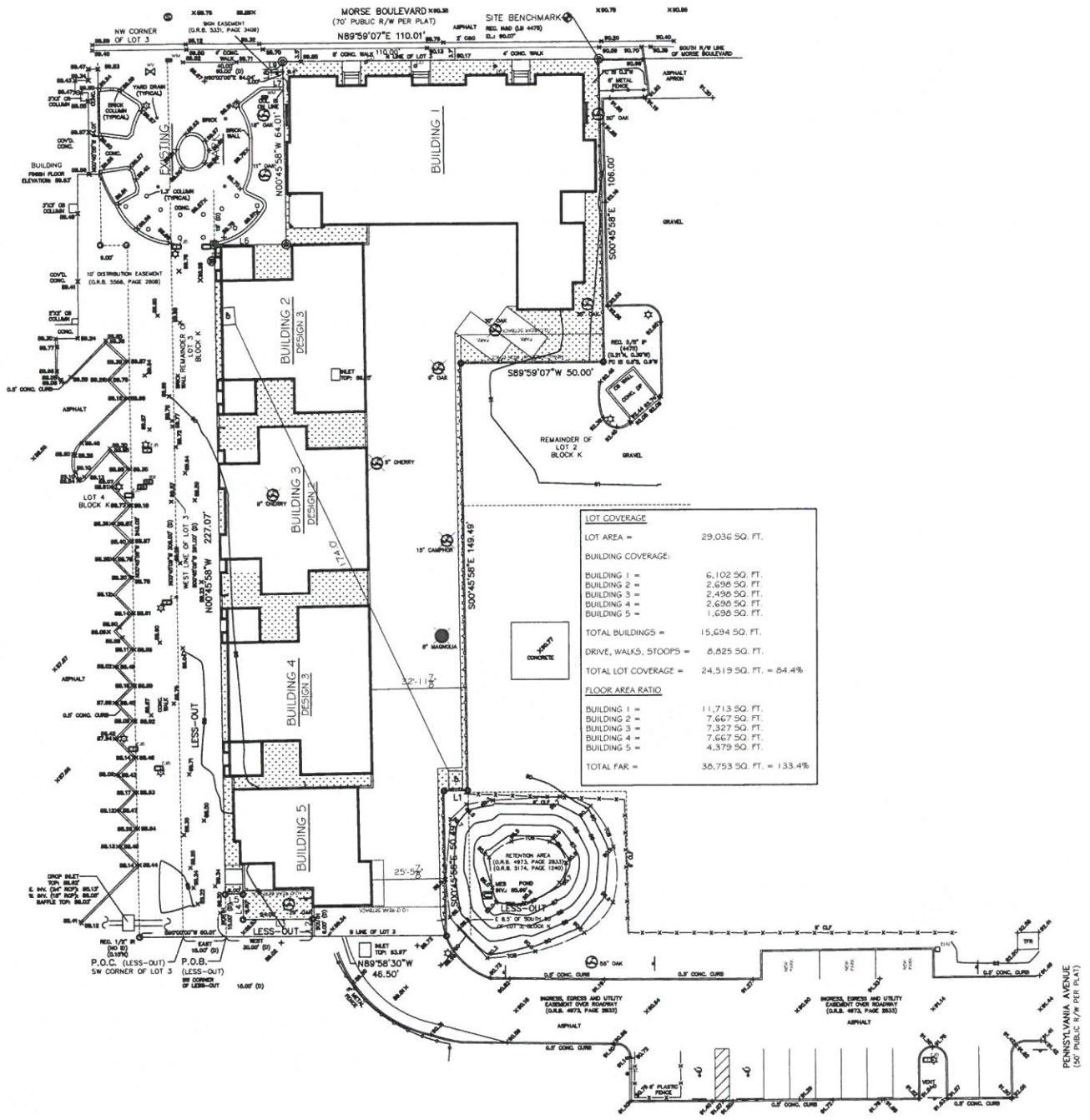
MARC MICHAELS

MORSE AVENUE

PENNSYLVANIA AVENUE

OFFICES

OFFICES

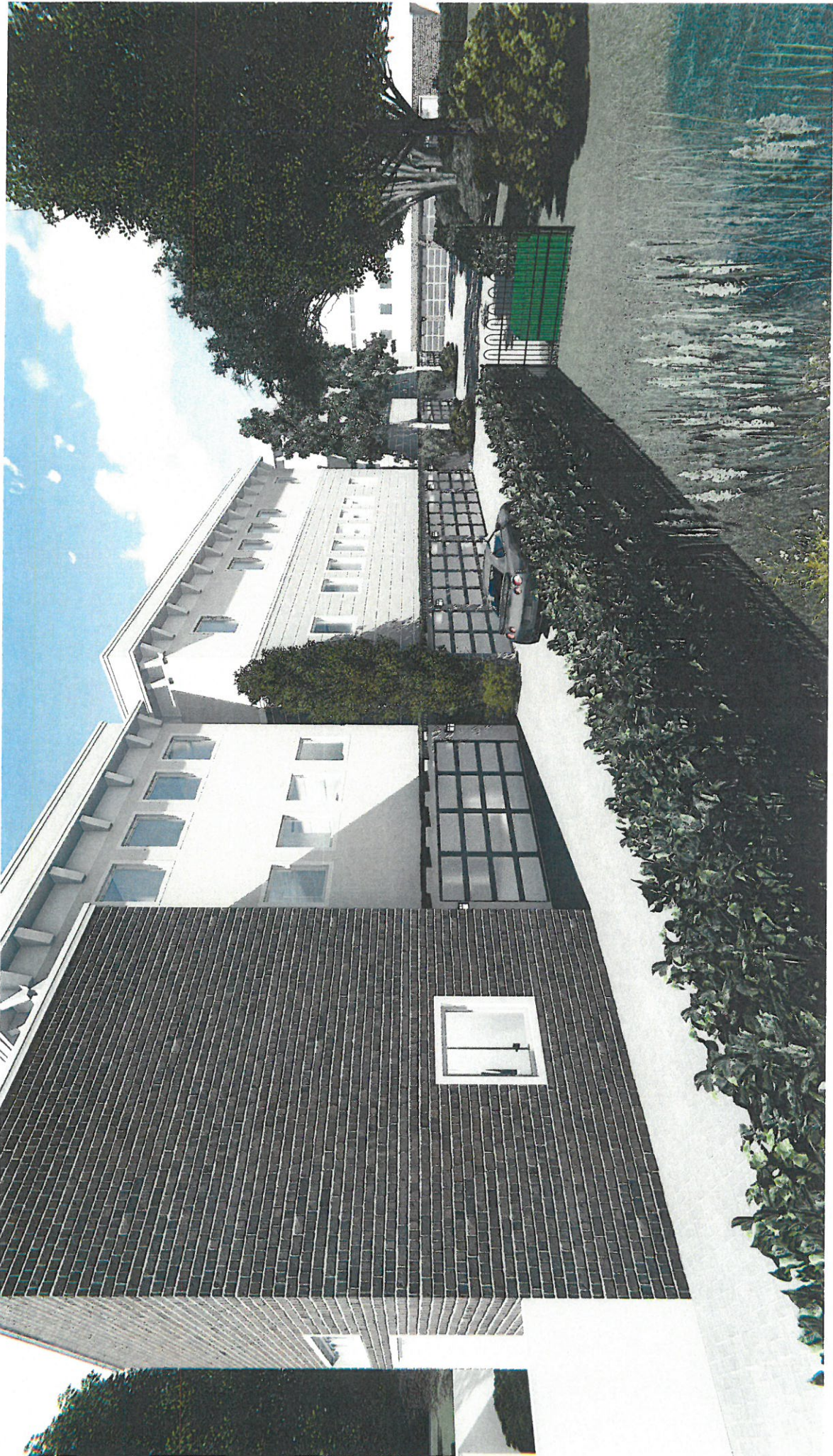


PENNSYLVANIA AVENUE
(50' PUBLIC R/W PER PLAN)



















**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
May 3, 2016**

SPR 2:16 Request of Charles Clayton Construction for approval of a new two-story, single-family home located at #6 Isle of Sicily on Lake Maitland.

Charles Clayton Construction, representing the owners (Oliver and Rosie Dawoud), is requesting approval to construct a new two-story, single-family home located at #6 Isle of Sicily on Lake Maitland. The upland area of this lot equals 33,404 square feet, and had a previous 10,136 square foot, two-story, single-family home that is being demolished. An existing boat dock also exists along the lakefront that is to remain.

The proposed two-story home will be 12,785 square feet in size. Per the City's floor area ratio (FAR) calculations this home yields a 37.2% FAR, which is inclusive of the living area, garages and pool cabana square footage. The maximum FAR for this property is 38% based on the increased side setbacks of 21' in lieu of 18' for the first floor and 28' in lieu of 25' for the second floor. Therefore, the proposed home is within the maximum allowed FAR. The proposed home will have an impervious lot coverage of 13,330 square feet, or 39.9%, which is within the maximum 50%.

TREE PRESERVATION: One of the Code requirements for these lakefront reviews is "to preserve existing trees to the degree reasonably possible". In December of 2015, without the required tree removal permit, the owners of this property hired a company to remove trees throughout this property starting on a Friday afternoon. The neighboring property owners noticed the tree removal activity over the weekend, and alerted City staff on Sunday. Winter Park Police halted the tree removal activity, and the City Manager, Randy Knight, and Urban Forestry Manager, Dru Dennison, issued an 'After the Fact' tree removal permit for trees that had been cut down and for trees that were damaged with no chance of survival. This permit totaled a removal of five 141" DBH (diameter at breast height) Cypress trees that were along the lakefront, and a 24" Oak tree. Nineteen other invasive or non-protected trees were also removed that were not a part of this tree removal permit due to their species type. The mitigation approved for this permit included planting 40" total caliper magnolia trees (five trees at 8" caliper each per the plan) and 20" total caliper cypress trees (five trees at 4" caliper each per the plan) which totals 9 new trees at 60" total caliper inches mitigated by planting. The attached landscape plans reflect this information. For the remaining mitigation required, the owners deposited \$29,805 into a tree trust fund.

An additional two tree removal permits were issued. One permit was issued to remove a 24" oak tree that was in good health due to the fact that it was located in the proposed home's building footprint. The mitigation for this permit included depositing \$2,640 into the tree trust fund. The last permit issued was to remove a 24" live oak, 14" magnolia and 11" bay tree. These trees were permitted to be removed due to their location or their physical condition. The mitigation for this permit included depositing \$5,390 into the tree trust fund.

VIEW FROM THE LAKE: This lot does not have any significant grade issues as there is only about three feet of grade change throughout the property. The swimming pool

deck/cabana is less than one foot above existing grade which is below the three foot limit. Otherwise, there are no issues with the views from the lake.

VIEW OF NEIGHBORS: The rear of the north adjoining home (7 Isle of Sicily) is oriented to the northwest, and the proposed home does not place any visual impact on the lake views of this adjoining home. The south adjoining home (5 Isle of Sicily) is situated at a similar lakefront setback, and the building lines of the proposed home generally follow that of this adjoining home.

While not significantly impactful on lake views, the pool cabana is situated closer to the north adjoining property than the rest of the home, at 15 feet from the property boundary, which complies with the accessory building setback requirements. However, since this portion of the home is situated closer to the property line, Staff feels that additional shade trees should be planted near the pool cabana to buffer and screen the neighbors. This has been customarily done for several homes in Windsong. Additionally, Staff feels that additional shade trees should also be planted along the southern property line to preserve the south adjoining property's privacy that was lost due to the removal of existing trees.

STORM WATER RETENTION: Five storm water retention areas are proposed for this lot. As shown on the attached plans, two retention areas are located in the front yard, two are located within the side setbacks, and remaining retention area is located along the lakefront. These retention areas are sufficient to meet the City's runoff code requirements.

SUMMARY: Staff does not see any concerns with the new home itself as presented but the issue and concern is the proper method of complying with the Zoning Code requirements that the approved plan "preserves existing trees to the degree reasonably possible" and "maintains the lakefront as natural as reasonably possible". To that end, Staff recommends that the landscape plan include an additional three Magnolia trees along the neighboring properties lines in the locations shown on the attached plan for additional privacy and to mitigate the trees that were removed along the property lines. Staff also feels that any future tree removal applications need to be reviewed by the Planning and Zoning Board (P&Z) prior to permit issuance.

Obviously this is a unique situation given the purposeful illegal tree removals that have occurred. The clear cutting and devastation to the existing tree canopy on this lakefront lot requires significant replanting versus simply writing a check. That is why the Planning Staff believes that additional tree plantings are necessary and that P&Z review of any future tree removals are necessary to adequately address the Zoning Code requirements for lakefront lots that were circumvented by the illegal non permitted weekend removal of trees at the end of last year.

STAFF RECOMMENDATION IS FOR APPROVAL with the following conditions:

1. That the final landscape plan includes an additional five Magnolia trees along the neighboring properties lines in the locations shown on the attached plan in order to accomplish the code direction to "maintain the lakefront as natural as reasonably possible" and to compensate for trees lost outside of the buildable area of the lot.
2. That all future tree removal applications must be approved by the P&Z Board.

