

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
May 5, 2015**

REQUEST OF PHILIP KEAN FOR: SUBDIVISION OR LOT SPLIT APPROVAL TO DIVIDE THE PROPERTY AT 456 WEST LYMAN AVENUE INTO TWO BUILDABLE LOTS, EACH WITH 50 FEET OF LOT WIDTH AND 3,750 SQUARE FEET OF LOT AREA, ZONED R-1A. SUBDIVISION VARIANCES ARE REQUESTED FOR THE 50 FOOT LOT WIDTH AND 3,750 SQUARE FEET OF LOT AREA IN LIEU OF THE 75 FEET OF LOT WIDTH AND 8,500 SQUARE FEET OF LOT AREA REQUIRED IN THE R-1A ZONING.

Mr. Philip Kean is requesting subdivision or lot split approval to divide the property at 456 West Lyman Avenue into two single family lots. The zoning is R-1A. The property now holds one single family home, which is to be demolished.

When the City reviews small subdivisions or lot split requests there are two criteria. One is the 'Zoning Test' as to conformance with the zoning criteria. The other is the 'Comprehensive Plan Test' which is conformance to the neighborhood character.

ZONING TEST: Each building lot is 50 feet wide and 3,750 square feet in size. Variances are requested for each lot to be 50 feet in width in lieu of the minimum 75 feet of lot width required for R-1A and lot areas of 3,750 square feet in lieu of the required 8,500 square feet.

COMPREHENSIVE PLAN TEST: There are many neighborhoods in the City that are zoned R-1AA or R-1A but the existing character or typical dimensions may be significantly different than the zoning code minimums. In some cases the typical lots are smaller and in some cases the typical lots are larger. The Comprehensive test or comparison is a door that swings both ways. In some cases, it can substantiate a relaxation of the minimum lot dimensions and in other cases it can require larger lot sizes than the minimums.

As a result, the practice outlined in the Comprehensive Plan and the Subdivision Code (attached) is to look at the surrounding neighborhood to see what standard is for typical lot sizes. The Code dictates that the review area is within a 500 foot radius of the subject property and limited to those in the same zoning. Thus we only use properties zoned single family for our comparisons and did not include churches or properties used as parking lots in the comparisons.

There are 44 homes within this neighborhood on Lyman, Comstock, Virginia and Pennsylvania Avenues. The average lot width is 55 feet.

Using the "average" method is in some sense unfair to the applicant because when the smallest lot size is 50 feet, one can never have a comparison that supports 50 feet unless 100% of the lots are at that dimension. As soon as one starts adding in any larger lots, the average number then becomes larger. Another way to do a comparison is by looking at the "median" lot size.

The median lot width is 50 feet. From this 44 home survey, this neighborhood has 79.5% of the homes that are on 50 foot wide lots. Thus, 20.5% are on larger lots.

These subject lots are very shallow with only 75 feet of lot depth and thus 3,750 square feet of lot area. Most of the lots in this neighborhood have more typical 125-140 feet of lot depth. Thus, these lots do not compare favorably to the average lot size (6,875 sf) or the median lot size (6,550 sf).

Development Plans: The applicant has provided two versions of generalized elevations and floor plans for the types of homes anticipated to be built on these lots, if approved. The City can condition any approval upon the subsequent submission, review and approval of house plans, as well as place conditions upon this approval.

The first version depicts a two-story house that complies with the maximum FAR and impervious lot coverage and also meets all the setbacks that are 25 feet from the front; 25/35 feet from the rear and 7½ feet from the sides. That submittal is intended to show how a new home could be built that meets the City's zoning rules without any variance. It would permit on these 3,750 square foot lots, a new two-story home of 1,550 square feet.

The second version depicts a one-story house of 1,422 square feet that requests a variance for a 10 foot rear setback. The City can establish setbacks as part of this subdivision approval process and then in essence grant the 10 foot rear setback.

There are a six other blocks of the original Town of Winter Park plat within the Hannibal Square neighborhood that were originally platted at 68-69 feet deep. A number of years ago, the City recognized the hardship of the front/rear setbacks and the desirability for one-story homes. There is a special Zoning Code setback, excerpted below, that provides for a 10 foot rear setback. In essence this approval would be granting the same type of approval based on the same shallow 75 foot deep lot dimension.

Sec. 58-71. General Provisions for Residential Zoning Districts.

(w) *Lots with shallow depth.* The platted lots within Blocks 46 through 53 of the Town of Winter Park subdivision or any other lot with an average a lot depth of 70 feet or less shall be enabled to utilize a ten (10) foot rear setback in lieu of the twenty-five (25) foot rear setback given the unusual shallow depth of these platted lots, provided the overall building height does not exceed one story within the typical twenty-five (25) foot rear setback area.

Summary:

From the staff's perspective, the lot width and size variances are reasonable given that 80% of the homes in this immediate neighborhood area are on 50 foot wide lots. The City has seen very nice new homes constructed on such small lots as these requested within those blocks in the area between Denning; New England; Capen and Lyman. At one-story as required by this Code provision the new homes would be compatible with the street character.

Staff Recommendation is for Approval

RELEVANT COMPREHENSIVE PLAN POLICY:

Policy 1-3.6.8: Subdivision of Land and Lot Splits for Non-Lakefront Single Family and Low Density Multi-Family Property. The City shall consider approving subdivision and lot split applications, which are not lakefront properties and which are not estate lots in areas designated single family, low density or multi-family residential, when the proposed new lots are designed at size and density consistent with the existing conditions in the surrounding neighborhood within a radius of five hundred (500) feet.

ARTICLE VI. - SUBDIVISION AND LOT CONSOLIDATION REGULATIONS

Sec. 58-377. - Conformance to the comprehensive plan.

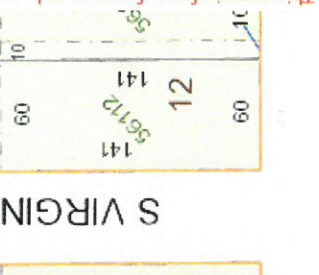
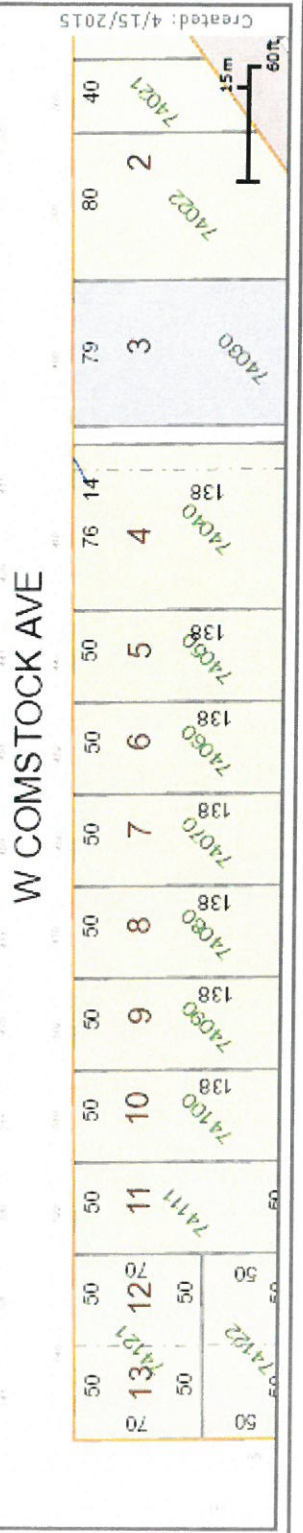
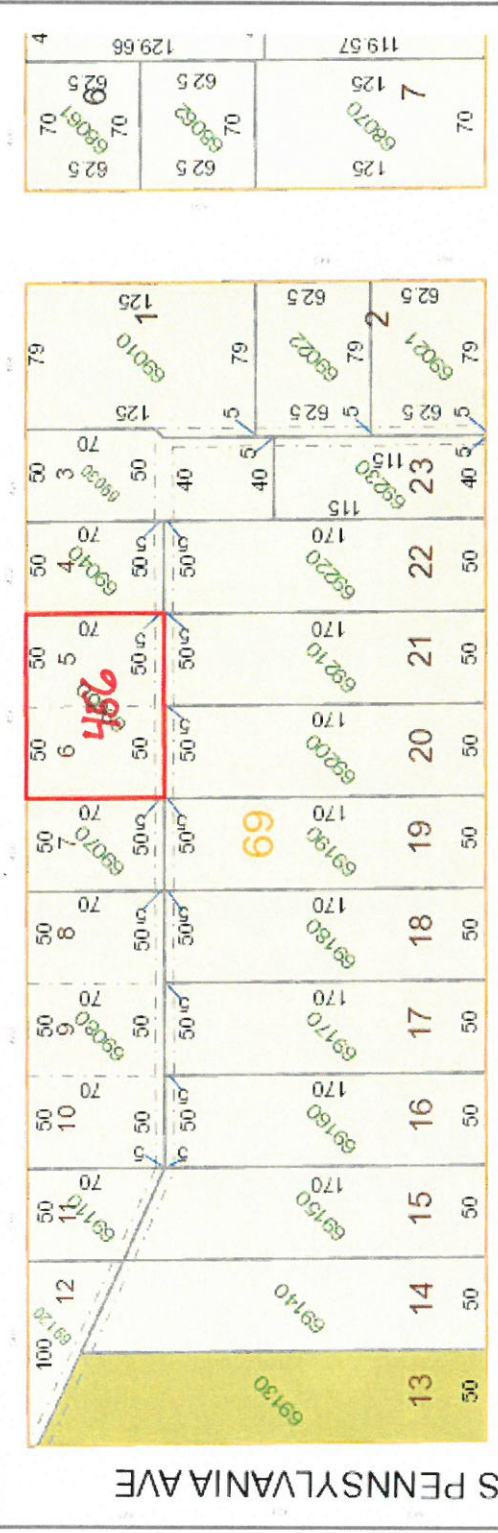
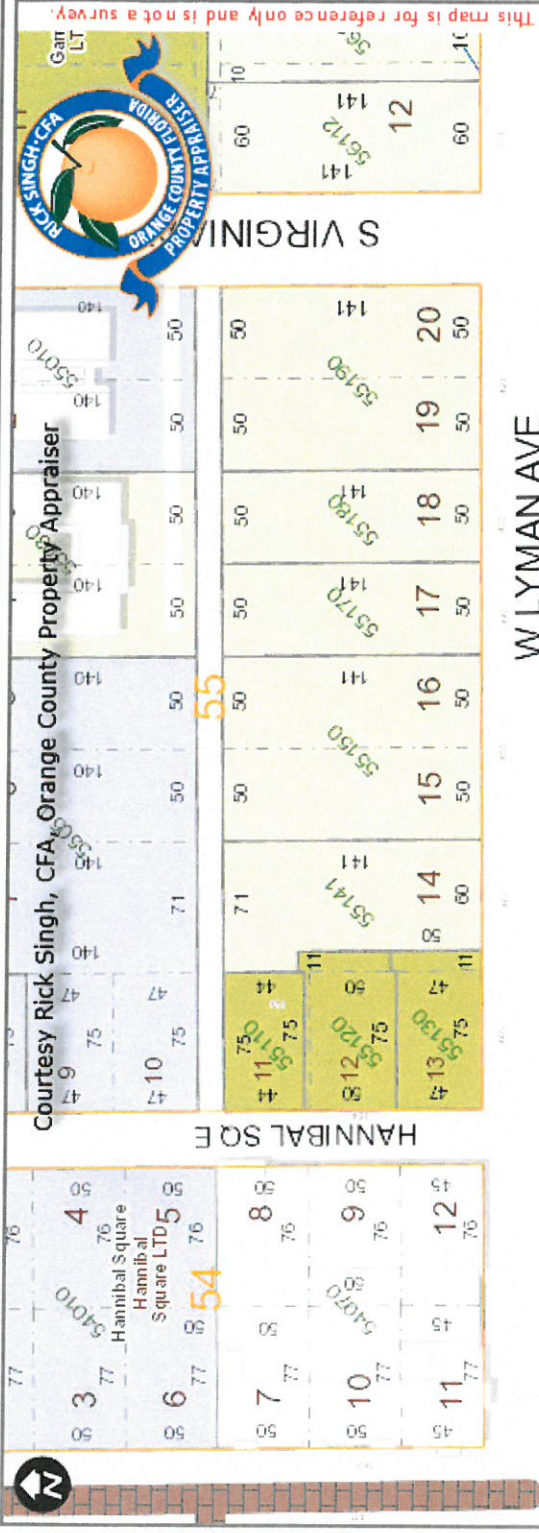
(a) In the City of Winter Park, as a substantially developed community, the review of lot splits, lot consolidations, plats, replats or subdivisions within developed areas of the city shall insure conformance with the adopted policies of the comprehensive plan as a precedent to the conformance with other technical standards or code requirements.

(b) In existing developed areas and neighborhoods, all proposed lots shall conform to the existing area of neighborhood density and layout. The proposed lot sizes, widths, depths, shape, access arrangement, buildable areas and orientation shall conform to the neighborhood standards and existing conditions. This provision is specifically intended to allow the denial or revision by the city of proposed lot splits, lot consolidations, plats, replats or subdivisions when those are not in conformance with the existing neighborhood density or standards, even if the proposed lots meet the minimum technical requirements of the zoning regulations.

(c) In determining the existing area or neighborhood density and standards, for the consideration of lot splits, plats, replats or subdivision of other than estate lots or lakefront lots, the planning and zoning commission and city commission shall consider the frontage and square foot area of home sites and vacant properties with comparable zoning within an area of 500-foot radius from the proposed subdivision.

(d) In order to implement the policies of the comprehensive plan, the city commission may also impose restrictions on the size, scale, and style of proposed building, structures, or other improvements. This provision shall enable the city commission to impose restrictions on the size, height, setback, lot coverage, impervious area or right-of-way access such that proposed building and other improvements match the dimension and character of the surrounding area or neighborhood.

- Florida turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- One Way
- Brick Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial/Institutional
- Governmental/Institutional/Misc
- Commercial/Industrial/Vacant Land
- Hydro
- Waste Land
- Agricultural Curtilage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- Block Number
- Lot Number
- Parcel Number
- Parcel Address
- Parcel Dimension



- Florida turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- Toll Ramp
- Interstate Ramp
- One Way
- Brick Road
- Rail Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial/Institutional
- Governmental/Institutional/Misc
- Commercial/Industrial/Vacant Land
- Hydro
- Waste Land
- Agricultural Curtilage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- Building



This map is for reference only and is not a survey.

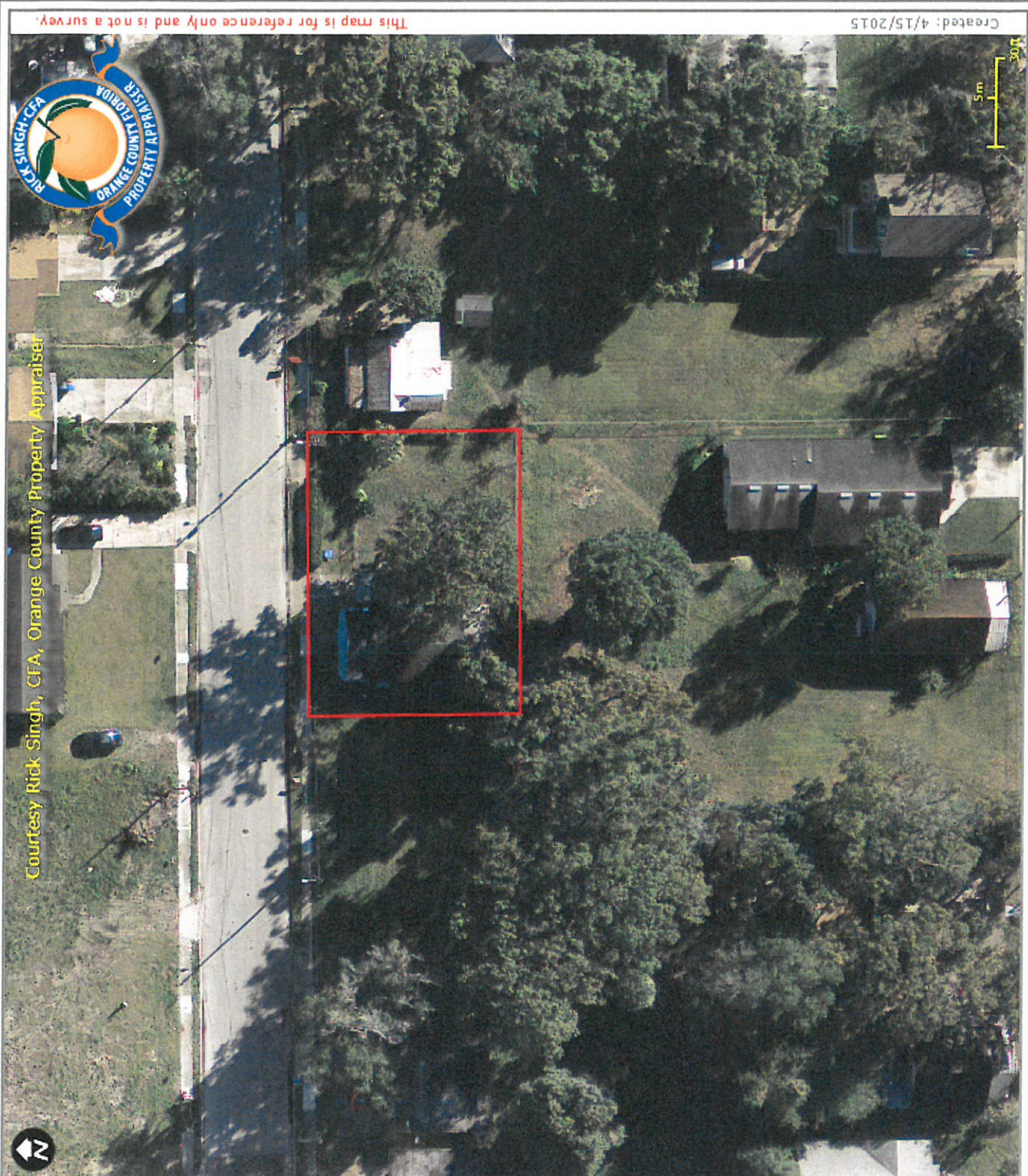


Courtesy Rick Singh, CFA, Orange County Property Appraiser

- Florida turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
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- Agricultural Curtilage
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- Parcel Number
- Parcel Address
- Parcel Dimension



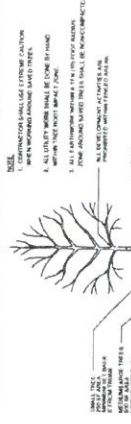
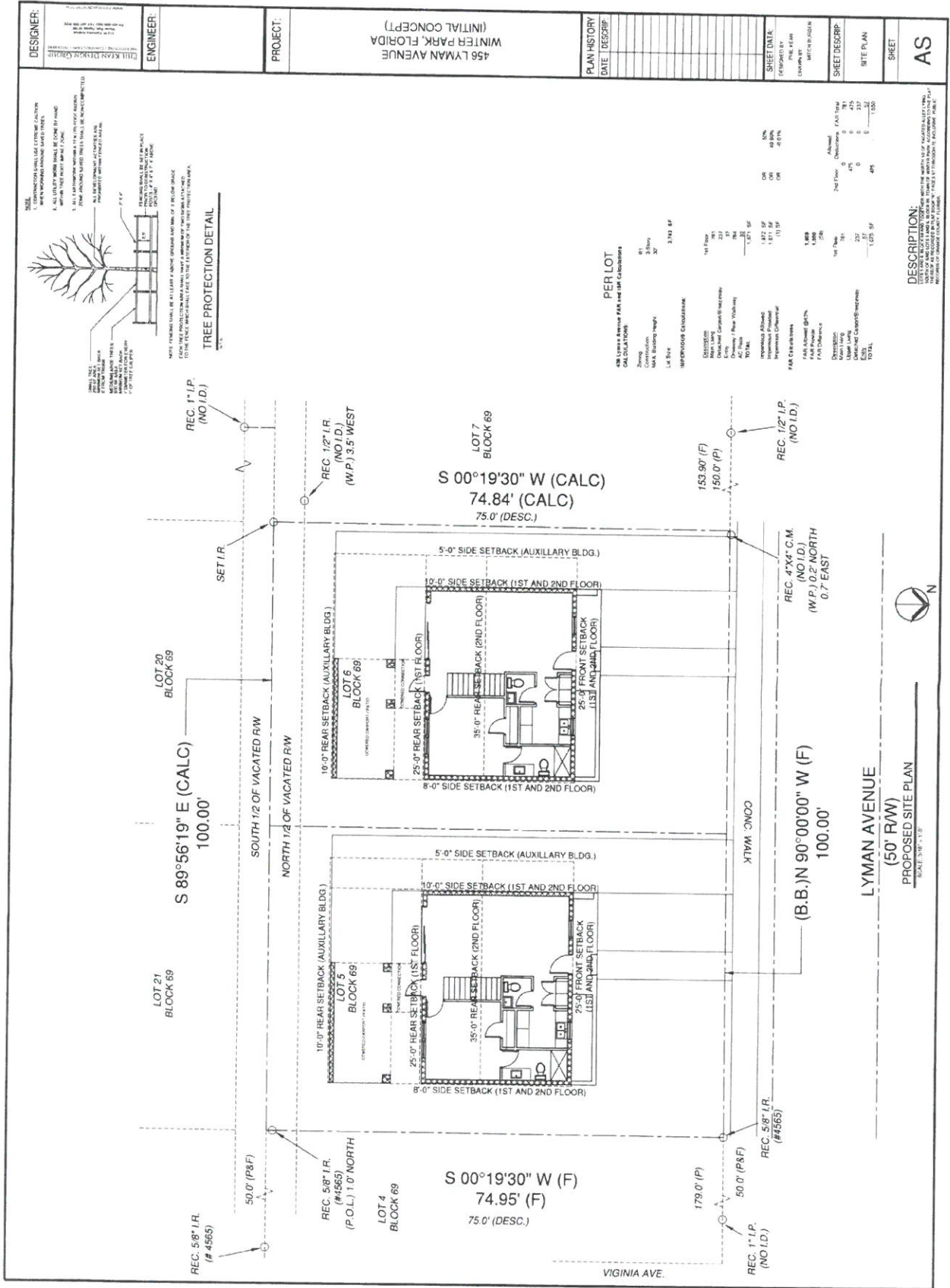
Courtesy Rick Singh, CFA, Orange County Property Appraiser



Created: 4/15/2015

This map is for reference only and is not a survey.

Version #1 Two Story Home - Meets Setbacks



PER LOT CALCULATIONS

Zone	Count	Area (SF)
Zone 1	1	3,743 SF
Zone 2	1	3,743 SF
Zone 3	1	3,743 SF
Zone 4	1	3,743 SF
Zone 5	1	3,743 SF
Zone 6	1	3,743 SF
Zone 7	1	3,743 SF
Zone 8	1	3,743 SF
Zone 9	1	3,743 SF
Zone 10	1	3,743 SF
Zone 11	1	3,743 SF
Zone 12	1	3,743 SF
Zone 13	1	3,743 SF
Zone 14	1	3,743 SF
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Zone 95	1	3,743 SF
Zone 96	1	3,743 SF
Zone 97	1	3,743 SF
Zone 98	1	3,743 SF
Zone 99	1	3,743 SF
Zone 100	1	3,743 SF

DESIGNER:
ENGINEER:
PROJECT: 456 LYMAN AVENUE (INITIAL CONCEPT)
PLAN HISTORY:
DATE:
DESCRIPTION:
SHEET DATE:
PREPARED BY:
CHECKED BY:
SCALE:
SHEET DESCRIP:
SITE PLAN:
SHEET: AS

Version #1 Two Story

ELEVATION NOTES:

- 1. STONE FINISH
- 2. STUCCO FINISH
- 3. 4" STUCCO BAND
- 4. TILE ROOF OVER APPOINTED WATER DRAINAGE OVER ROOF WEATHING
- 5. DECORATIVE SHUTTERS

DESIGNER:
THE KENNEDY GROUP

ENGINEER:

PROJECT:
456 LYMAN AVENUE
WINTER PARK, FLORIDA
(INITIAL CONCEPT)

PLAN HISTORY

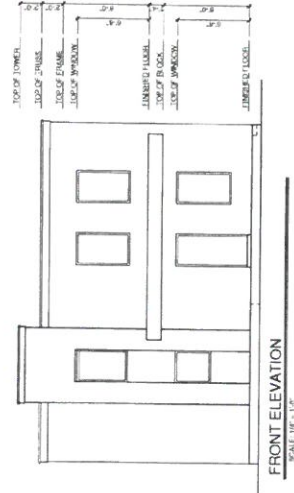
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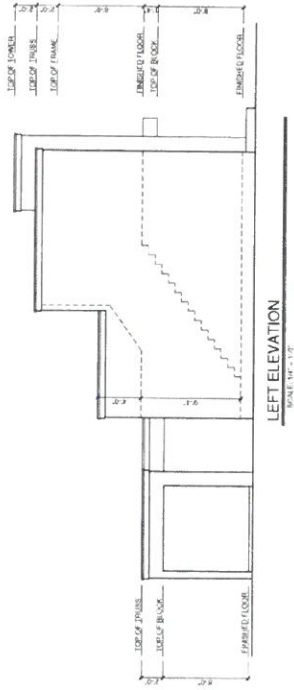
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FRONT AND REAR ELEVATIONS

SHEET

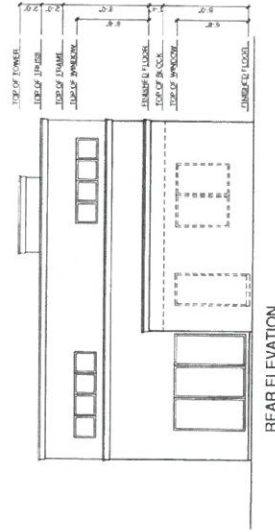
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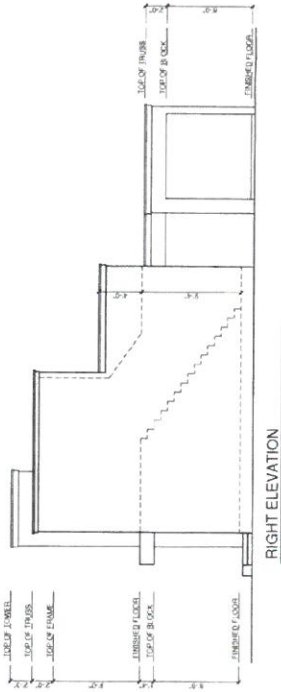
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

Version #2 One Story

DESIGNER: <small>THE K&M DESIGN GROUP</small>	ENGINEER: <small>THE K&M DESIGN GROUP</small>	PROJECT: 456 LYMAN AVENUE WINTER PARK, FLORIDA (CONCEPT WITH 10'-0" REAR SETBACK VARIANCE)	PLAN HISTORY DATE DESCRIP. _____ _____ _____	SHEET DATA PREPARED BY: RJC-CLM CHECKED BY: JMC-CLM DATE: 11/11/11	SHEET DESCRIP. MAIN LEVEL (UNFINISHED)	SHEET 2.0
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MAIN LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

ROOF PLAN
SCALE: 1/8" = 1'-0"

MAIN LEVEL

1000
1100
1200

TOTAL SHEET ROOF

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
May 5, 2015**

REQUEST OF ADAM BERT & TODD ALBERT FOR: SUBDIVISION OR LOT SPLIT APPROVAL TO DIVIDE THE PROPERTY AT 500 FAIRFAX AVENUE INTO TWO BUILDABLE LOTS, EACH WITH 50 FEET OF LOT WIDTH AND 12,500 SQUARE FEET OF LOT AREA, THAT ARE ZONED R-1AA. SUBDIVISION VARIANCES ARE REQUESTED FOR THE 50 FOOT LOT WIDTH IN LIEU OF THE 100 FEET OF LOT WIDTH REQUIRED IN THE R-1AA ZONING.

Mr. Adam Bert & Todd Albert are requesting subdivision or lot split approval to divide the property at 500 Fairfax Avenue into two single family lots. The zoning is R-1AA. The property now holds one single family home. Variances are requested for each lot to be 50 feet in width in lieu of the minimum 100 feet of lot width requirement.

When the City reviews small subdivisions or lot split requests there are two criteria. One is the 'Zoning Test' as to conformance with the zoning criteria. The other is the 'Comprehensive Plan Test' which is conformance to the neighborhood character.

ZONING TEST: This block on the south side of Fairfax Avenue from Pennsylvania Avenue to Richmond Road, was zoned R-2 until 1976. In 1976, this block on the south side of Fairfax Avenue was administratively rezoned from R-2 to single family, R-1AA, because it had developed primarily as single family homes. The R-1AA zoning then matches the single family zoning on the adjoining streets to the east.

Each proposed building lot in this request is approximately 50 feet wide and have lot areas of 12,500 square feet. The R-1AA minimum lot sizes (for new lots) are 100 feet of lot width and 10,000 square feet of lot area. Thus, variances are needed for the two lots at 50 feet in width.

COMPREHENSIVE PLAN TEST: There are many neighborhoods in the City that are zoned R-1AA or R-1A but the existing character or typical dimensions may be significantly different than the zoning code minimums. In some cases the typical lots are smaller and in some cases the typical lots are larger. The Comprehensive test or comparison is a door that swings both ways. In some cases, it can substantiate a relaxation of the minimum lot dimensions and in other cases it can require larger lot sizes than the minimums.

As a result, the practice outlined in the Comprehensive Plan and the Subdivision Code (attached) is to look at the surrounding neighborhood to see what standard is for typical lot sizes. The Code dictates that the review area is within a 500 foot radius of the subject property and limited to those in the same zoning. Thus we only use properties zoned single family for our comparisons in this case.

There are 30 homes within this neighborhood on the south side of Fairfax Avenue and on Richmond Road. There are another 11 homes on Bonnie Burn Circle in the neighborhood south of Howell Creek. One can make a case that those homes are in a different "neighborhood" but the staff has included them in this comparison. There are another 9 homes within the 500 foot radius that are on the west side of Pennsylvania Avenue within the Sevilla subdivision. The staff did not feel those are relevant to the neighborhood comparison.

The average lot width of the 30 homes on Fairfax and Richmond Road is 60.7 feet. When one adds in the 11 homes on Bonnie Burn Circle, the average rises to 71.5 feet. So from this comparison, the proposed lot sizes of 50 feet do not match the neighborhood characteristics.

Using the "average" method is in some sense unfair to the applicant because when the smallest lot size is 50 feet, one can never have a comparison that supports 50 feet unless 100% of the lots are at that dimension. As soon as one starts adding in any larger lots, the average number then becomes larger. Another way to do a comparison is by looking at the "median" lot size.

Using the "median" method, there are 22 properties on Fairfax and Richmond Road (71%) that are 50-53 feet wide and the median lot width is 50 feet. Adding in the 11 larger homes in the Bonnie Burn Circle neighborhood raises the median lot width to 62.4 feet. The applicant will point out that all 8 other homes on the south side of Fairfax Avenue are on 50 foot lots.

Development Plans: The applicant has provided generalized elevations and floor plans for the types of homes anticipated to be built on these lots, if approved. You will note that these lots are parallelograms. So the 50 feet is measured at an angle. The straight across dimension for each of these proposed lots is 48 feet each. Given the "streamfront" characteristics of these lots, the P&Z Board will review and approve any eventual plans due to the waterfront location.

Summary: Based on the strict application of the Code and the traditional method of using the average lot size for Comp. Plan comparison purposes, this subdivision request does not conform to the Zoning Test (it needs variances) or the Comprehensive Plan Test of the neighborhood comparison (based on average lot sizes). The P&Z Board then has the factual justification for denial based on those requirements and the recognition that these are 48 foot wide lots in terms of usable dimensions. However, the P&Z Board can also recognize and acknowledge that these two proposed lots are the same size (50 feet wide) as the 8 adjoining neighbors and that a "comparison" per the Comp. Plan could be based on the median method (71% are 50-53 feet wide) versus the average method. While the P&Z Board has some latitude in the perspective on this request, the planning staff feels compelled to recognize the zoning variances and that the traditional method of doing neighborhood comparison by the "average" method does not support the request.

Staff Recommendation is for Denial.

RELEVANT COMPREHENSIVE PLAN POLICY:

Policy 1-3.6.8: Subdivision of Land and Lot Splits for Non-Lakefront Single Family and Low Density Multi-Family Property. The City shall consider approving subdivision and lot split applications, which are not lakefront properties and which are not estate lots in areas designated single family, low density or multi-family residential, when the proposed new lots are designed at size and density consistent with the existing conditions in the surrounding neighborhood within a radius of five hundred (500) feet.

ARTICLE VI. - SUBDIVISION AND LOT CONSOLIDATION REGULATIONS

Sec. 58-377. - Conformance to the comprehensive plan.

(a) In the City of Winter Park, as a substantially developed community, the review of lot splits, lot consolidations, plats, replats or subdivisions within developed areas of the city shall insure conformance with the adopted policies of the comprehensive plan as a precedent to the conformance with other technical standards or code requirements.

(b) In existing developed areas and neighborhoods, all proposed lots shall conform to the existing area of neighborhood density and layout. The proposed lot sizes, widths, depths, shape, access arrangement, buildable areas and orientation shall conform to the neighborhood standards and existing conditions. This provision is specifically intended to allow the denial or revision by the city of proposed lot splits, lot consolidations, plats, replats or subdivisions when those are not in conformance with the existing neighborhood density or standards, even if the proposed lots meet the minimum technical requirements of the zoning regulations.

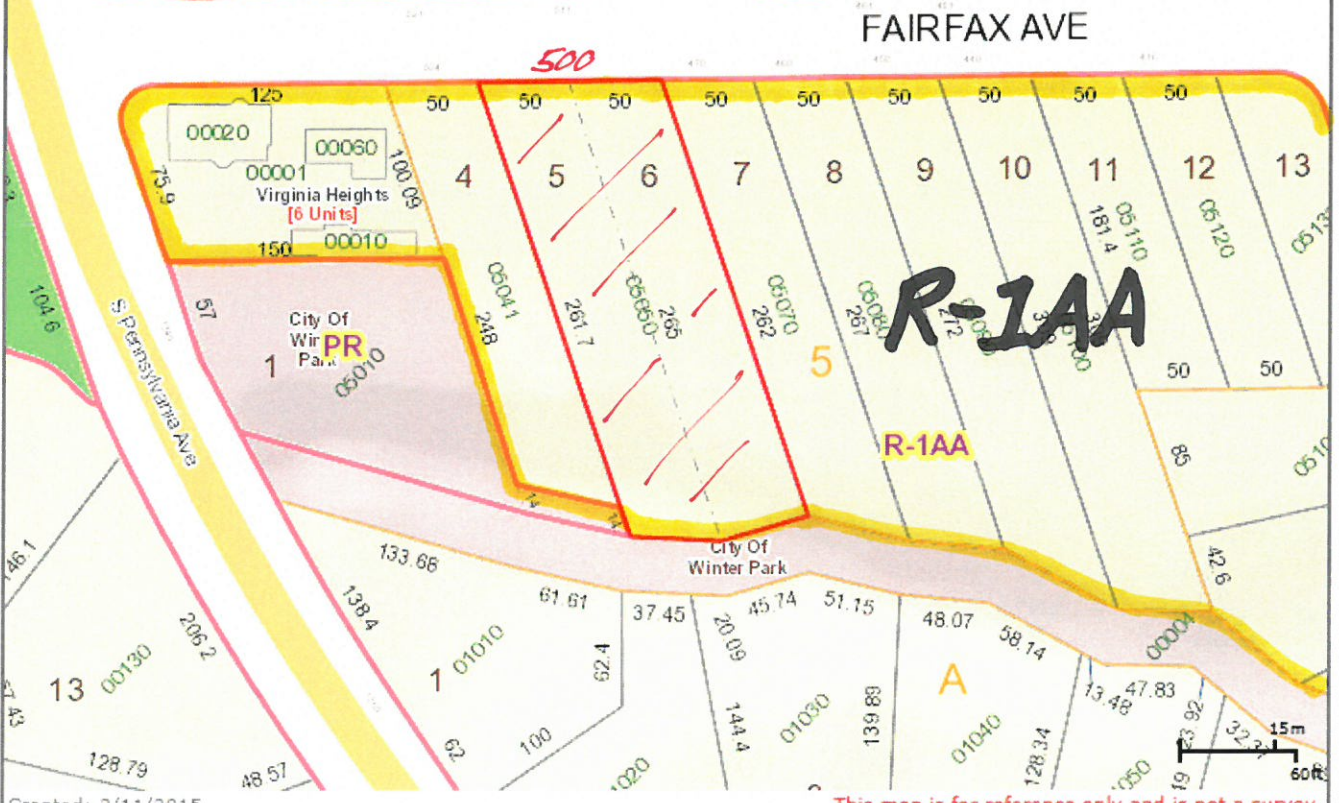
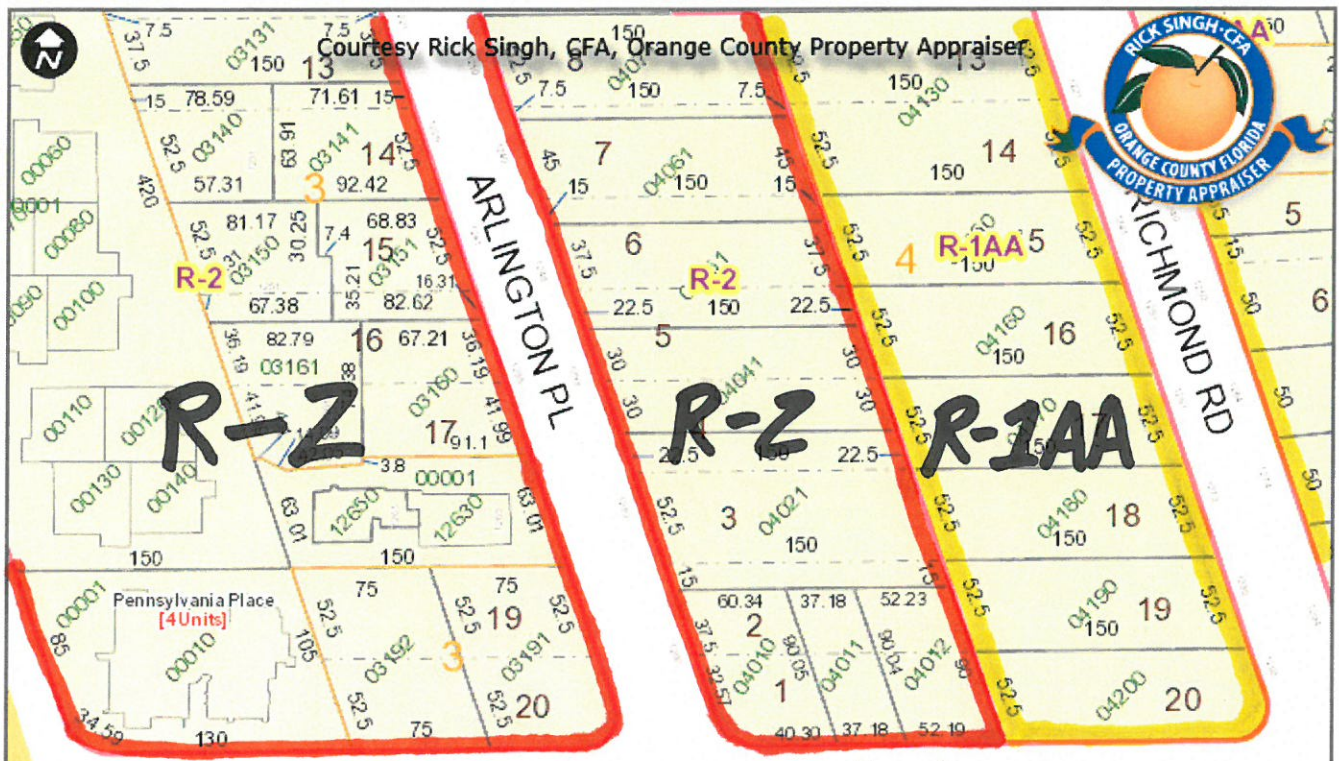
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(d) In order to implement the policies of the comprehensive plan, the city commission may also impose restrictions on the size, scale, and style of proposed building, structures, or other improvements. This provision shall enable the city commission to impose restrictions on the size, height, setback, lot coverage, impervious area or right-of-way access such that proposed building and other improvements match the dimension and character of the surrounding area or neighborhood.

OCPA Web Map

	Major Roads		Proposed Road		Residential		Commercial/Industrial/Vacant Land		Parks		6 Lot Number
	Florida Turnpike		Public Roads		Agriculture		Agricultural Curtilage		Building		06060 Parcel Number
	Interstate 4		Gated Roads		Commercial/Institutional		Hydro		Zoning		3106 Parcel Address
	Toll Road		Road Under Construction		Governmental/Institutional/Misc		Waste Land		E Block Number		111.9 Parcel Dimension
	Brick Road		Block Line		Lot Line						

Courtesy Rick Singh, CFA, Orange County Property Appraiser



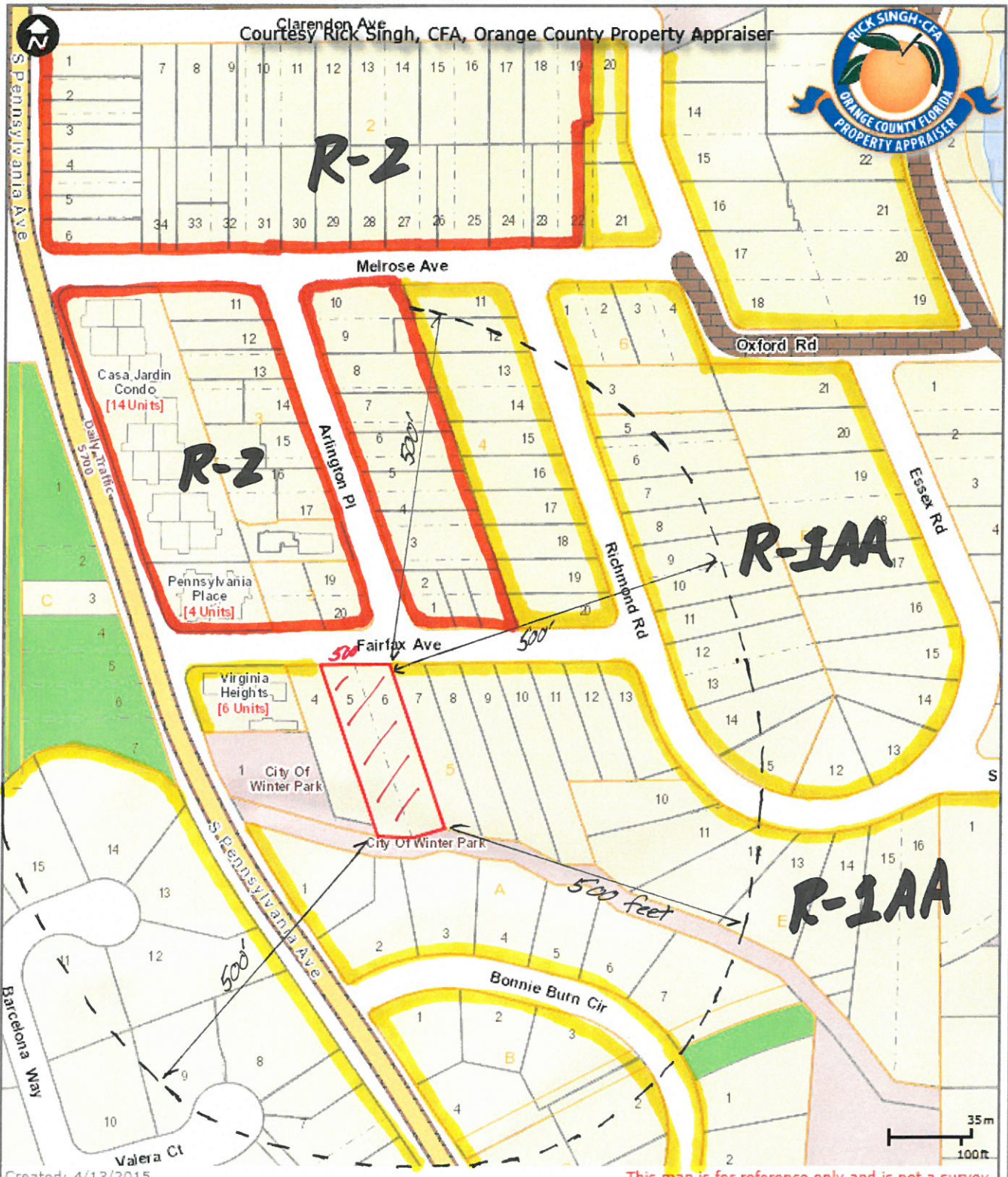
Created: 2/11/2015

This map is for reference only and is not a survey.

OCPA Web Map

- | | | | | | | |
|-------------------------|------------------|---------------|------------------------|-----------------------------------|-----------------|------------------|
| Florida Turnpike | Major Roads | Proposed Road | Block Line | Commercial/Institutional | Hydro | Golf Course |
| Interstate 4 | Public Roads | Brick Road | Lot Line | Governmental/Institutional/Misc | Waste Land | Lakes and Rivers |
| Toll Road | Gated Roads | Rail Road | Residential | Commercial/Industrial/Vacant Land | County Boundary | Building |
| Road Under Construction | Proposed SunRail | Agriculture | Agricultural Curtilage | Parke | Hospital | |

Clerendon Ave
 Courtesy Rick Singh, CFA, Orange County Property Appraiser



Created: 4/13/2015

This map is for reference only and is not a survey.

OCPA MAP & FUTURE LAND USE ELEMENT

VIRGINIA HEIGHTS - FAIRFAX AVENUE

WINTER PARK, FLORIDA



300 FAIRFAX AVENUE
LOT SPLIT
WINTER PARK, FLORIDA 32789

DATE: 11/15/2011
DRAWN BY: J. CONNER

OCPA MAP &
FUTURE LAND
USE ELEMENT

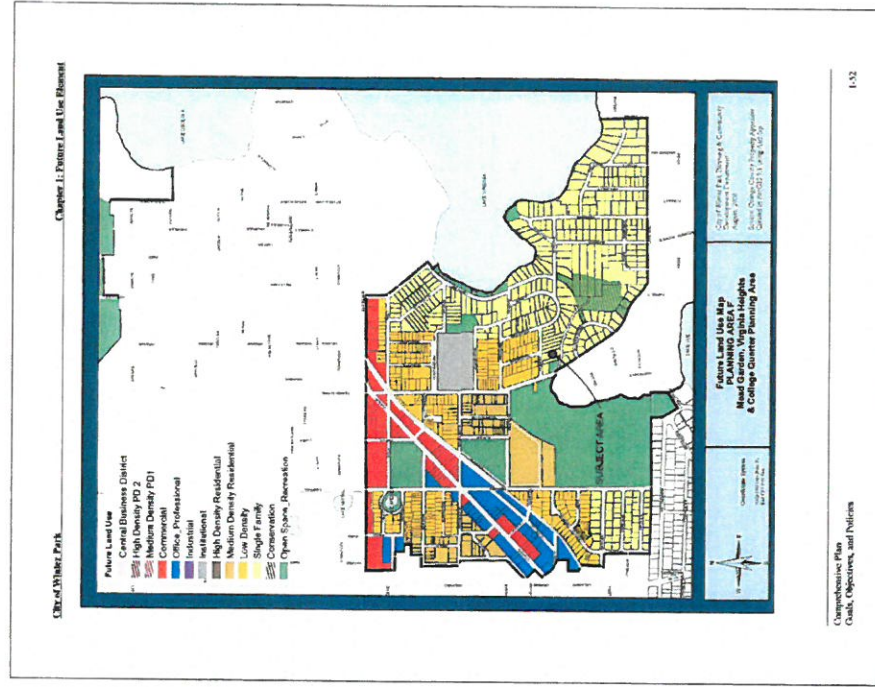
PROJECT: 300 FAIRFAX AVENUE
DATE: 11/15/2011
DRAWN BY: J. CONNER

SCALE: 1" = 100'
DATE: 11/15/2011
DRAWN BY: J. CONNER

DATE: 11/15/2011
DRAWN BY: J. CONNER

S-1.1

Sheet 1 of 1



Comprehensive Plan
Goals, Objectives, and Policies

1-32



**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
May 5, 2015**

REQUEST OF THE WINTER PARK RACQUET CLUB INC. TO: AMEND THE "COMPREHENSIVE PLAN" FUTURE LAND USE MAP SO AS CHANGE FROM SINGLE FAMILY RESIDENTIAL TO AN OPEN SPACE AND RECREATION FUTURE LAND USE DESIGNATION ON THE PROPERTY AT 2011 VIA TUSCANY.

REQUEST OF WINTER PARK RACQUET CLUB INC. TO: AMEND THE OFFICIAL ZONING MAP SO AS TO CHANGE FROM SINGLE FAMILY (R-1AA) DISTRICT ZONING TO PARKS AND RECREATION (PR) DISTRICT ZONING ON THE PROPERTY AT 2011 VIA TUSCANY.

REQUEST OF WINTER PARK RACQUET CLUB INC. FOR: CONDITIONAL USE APPROVAL TO AMEND THE SITE PLAN LAYOUT FOR THE RACQUET CLUB TO ADD THE PROPERTY AT 2111/2011 VIA TUSCANY, ELIMINATE THE NORTH DRIVEWAY AND MAKE OTHER SITE MODIFICATIONS.

The Winter Park Racquet Club at 2111 Via Tuscanly has a contract to purchase the adjacent single family home at 2011 Via Tuscanly. The 2011 Via Tuscanly property is designated Single Family in the Comprehensive Plan and zoned R-1AA. The Winter Park Racquet Club property is designated Open Space and Recreation and zoned Parks and Recreation (PR). The Racquet Club is asking for the Comprehensive Plan change from Single Family to Open Space and Recreation and for the Zoning change from Single Family (R-1A) to Parks and Recreation (PR) for the property so that they may use the property as part of the Club's activities.

This acquisition is beneficial to the Racquet Club for as number of reasons:

1. Acquiring the 2011 Via Tuscanly property 'squares off' the Racquet Club property. Actually the north 30 feet of that property is an easement for the driveway of the Racquet Club.
2. Acquiring the 2011 Via Tuscanly property allow the Club to widen the south entrance road/driveway for two-way traffic flow. That then permits eliminating the "north" driveway. The attached plan shows how that area can be improved with more green space, outdoor patio and pedestrian/bike path. It also removes the traffic impacts (noise/head lights) onto those adjacent residential neighbors to the north.
3. Acquiring the 2011 Via Tuscanly property allow the existing house to be converted for Club purposes such as administrative office space, an expanded tennis pro shop and for storage.

The Conditional Use component of this request is depicted on the attached site plan. It shows the elimination of the driveway on the north side of the tennis courts. It shows a new patio area and pedestrian/bike path in that area. This also allows a full sized regulation tennis court to be built up in the front where the City had previously approved an undersized new tennis court.

The ideas of how the Racquet Club would use the 2011 Via Tuscany property are conceptual at this point. This approval would allow the City to permit interior renovations to the home for use by the Racquet Club and for the connection of the two properties for circulation. However, if there are major changes to the building (additions over 500 sf) or major changes to the site layout (such as parking in the front yard) then those would require a future conditional use review/approval at subsequent public hearings. Given that there are adequate protections for the neighbors from the City approval processes, this property acquisition will not provide for something unforeseen that could be a nuisance for the neighbors.

As a point of information, the Winter Park Racquet Club is not a tax exempt entity. They pay property taxes on their current properties and thus would continue to pay property taxes on this newly acquired property.

Summary:

The Winter Park Racquet Club has voluntarily made several very significant safety, aesthetic and environmental improvement to their properties in recent years. The parking and driveways have been redone to add extra parking spaces and improved vehicle safety. New sidewalk/bike paths have been added to increase pedestrian safety. New storm water retention areas have been added and underground clay separators have been installed to improve the quantity and quality of the drainage systems. This acquisition of the property at 2011 Via Tuscany continues that program by improving traffic safety (two way drive) and squaring off the Club's boundaries. It does not represent an increase in the number of activities or traffic to/from the Racquet Club.

Staff Recommendation is for Approval.

- Florida turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- Toll Ramp
- Interstate Ramp
- One Way
- Brick Road
- Rail Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial/Institutional
- Governmental/Institutional/Misc
- Commercial/Industrial/Vacant Land
- Hydro
- Waste Land
- Agricultural/Curtilage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- Building



This map is for reference only and is not a survey.

Created: 4/1/2015

Courtesy Rick Singh, CFA, Orange County Property Appraiser



- Florida turnpike
- Interstate 4
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- Parks
- Golf Course
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- Block Number
- Lot Number
- Parcel Number
- Parcel Address
- Parcel Dimension

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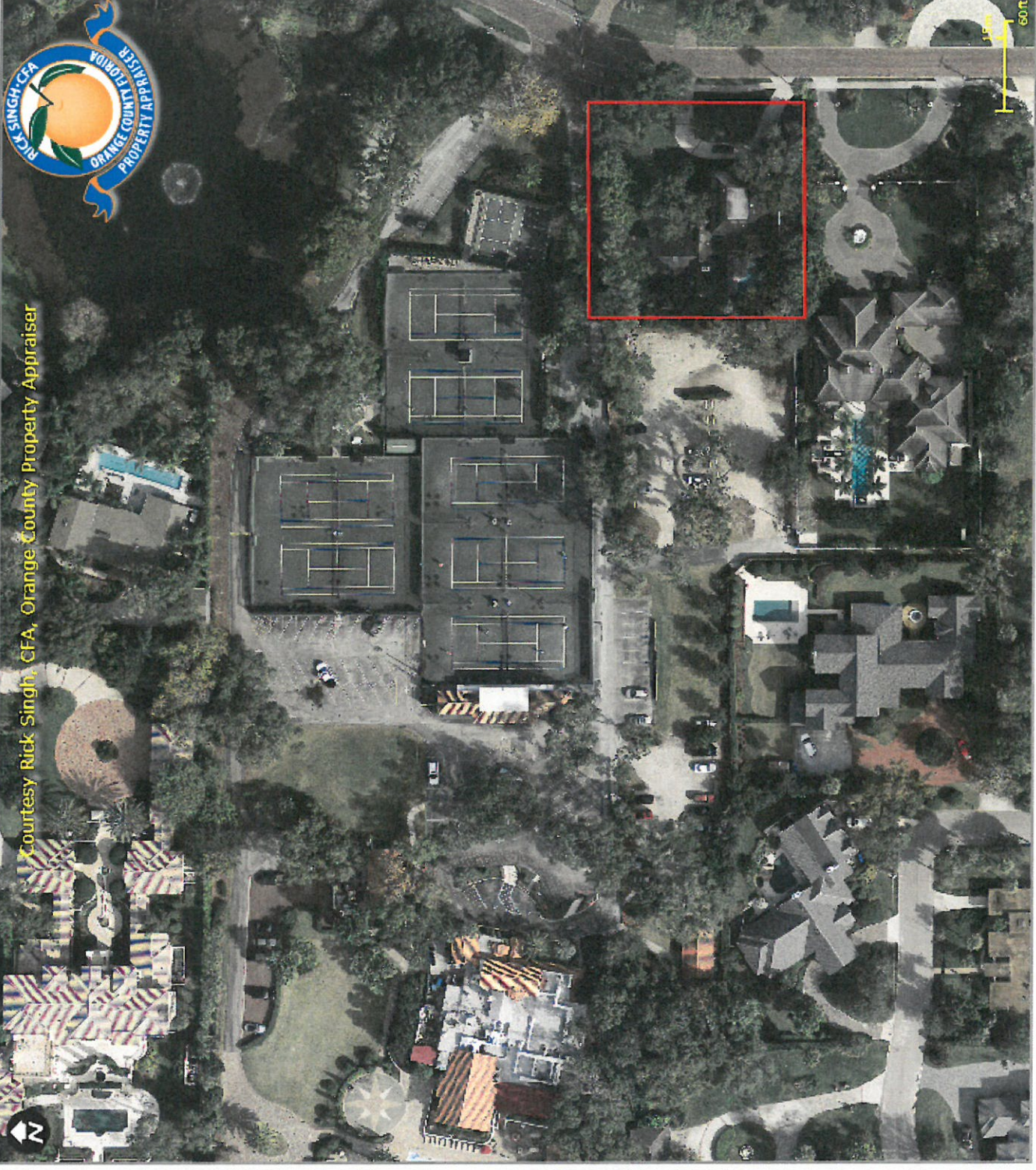
Courtesy Rick Singh, CFA, Orange County Property Appraiser



This map is for reference only and is not a survey.

Created: 4/21/2015

150ft
60ft





Winter Park Racquet Club

April 21st, 2015

Mr. Jeffrey Briggs
City of Winter Park
401 South Park Avenue
Winter Park, FL 32789

Dr. Mr. Briggs;

The Winter Park Racquet Club (WPRC) is a neighborhood club, governed by neighborhood volunteers, with over 350 multi-generational members residing within 1 mile of the club.

The club has entered into discussions with the owners of 2011 Via Tuscany, Winter Park, for the purchase of their property. The home is located south of the Clubhouse, directly across from our tennis courts and fitness center. As we move forward with the purchase, we respectfully request a change to the zoning of 2011 Via Tuscany to Parks and Recreation, which is consistent with the current WPRC property.

The zoning change will allow us to:

- Increase parks and recreation space
- Reduce single lane vehicle traffic and optimize pedestrian and vehicle safety
- Increase pedestrian paths and landscaping
- Retain the residential character of all buildings
- Cultivate green space to the north of the property.

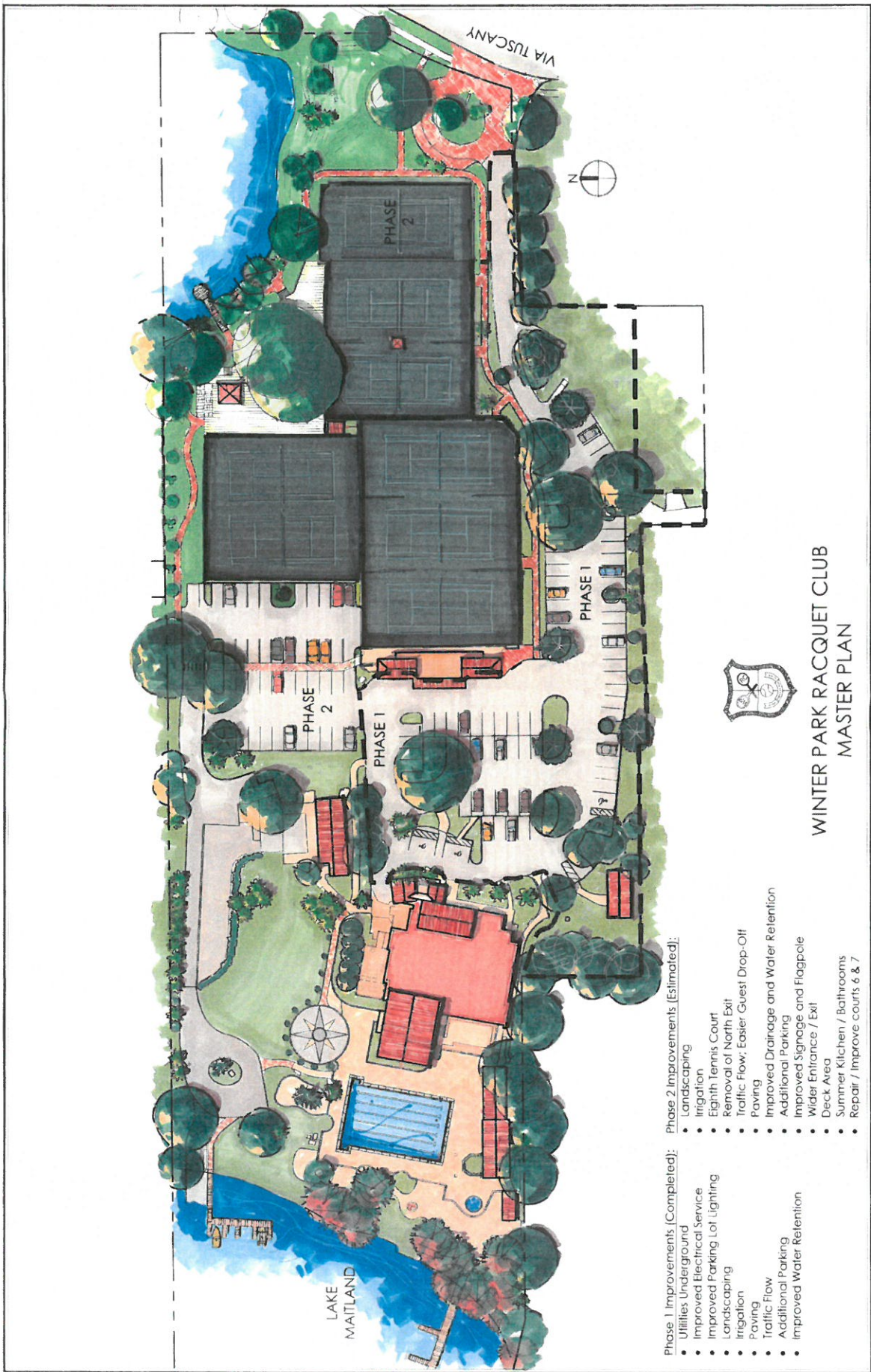
All of these ideas will function into the framework of the Club's vision to remain a neighborhood club.

It is always the Club's goal to ensure a mutually beneficial relationship with our neighbors and the surrounding Winter Park community.

Thank you for your attention to our request.

Warm regards,


Leslie Karen
General Manager
Winter Park Racquet Club



WINTER PARK RACQUET CLUB MASTER PLAN

Phase 1 Improvements (Completed):

- Utilities Underground
- Improved Electrical Service
- Improved Parking Lot Lighting
- Landscaping
- Irrigation
- Paving
- Traffic Flow
- Additional Parking
- Improved Water Retention

Phase 2 Improvements (Estimated):

- Landscaping
- Irrigation
- Eighth Tennis Court
- Removal of North Exit
- Traffic Flow; Easier Guest Drop-Off
- Paving
- Improved Drainage and Water Retention
- Additional Parking
- Improved Signage and Flagpole
- Wider Entrance / Exit
- Deck Area
- Summer Kitchen / Bathrooms
- Repair / Improve courts 6 & 7



<p>MADDEN MOORHEAD & GLUNT, INC. CIVIL ENGINEERS 431 E. HOBART AVE., STE. 200, WILMINGTON, FL 32703 • (407) 678-8330</p>	<p>ENGINEER IN CHARGE: DAVID F. GLUNT P.E. #57459 CERTIFICATE OF AUTHORIZATION NO. EB-000723</p>	<p>WPRO</p>
	<p>JOB NO. 12040 SEC.32 TWP.21 RANGE.30</p>	<p>ENGINEER IN CHARGE:</p>
	<p>DRAWN BY: RJS APPROVED BY: DFG</p>	<p>DATE: 4/3/15 SCALE: 1"=100'</p>
	<p>GRAPHIC SCALE (IN FEET) 1 inch = 100 ft</p>	

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 58 "LAND DEVELOPMENT CODE" ARTICLE I, "COMPREHENSIVE PLAN" SO AS TO CHANGE THE FUTURE LAND USE DESIGNATION OF SINGLE FAMILY RESIDENTIAL FUTURE LAND USE TO OPEN SPACE AND RECREATION ON THE PROPERTY AT 2011 VIA TUSCANY, MORE PARTICULARLY DESCRIBED HEREIN, PROVIDING FOR CONFLICTS, SEVERABILITY AND EFFECTIVE DATE.

WHEREAS, the Winter Park City Commission adopted its Comprehensive Plan on February 23, 2009 via Ordinance 2762-09, and

WHEREAS, Section 163.3184, Florida Statutes, establishes a process for adoption of comprehensive plans or plan amendments amending the future land use designation of property; and

WHEREAS, the City of Winter Park, the owner of the property, as petitioner for a future land use amendment, is desirous of amending the future land use designation from Single Family Residential to Open Space and Recreation; and

WHEREAS, this Comprehensive Plan amendment meets the criteria established by Chapter 163 and 166, Florida Statutes; and pursuant to and in compliance with law, notice has been given to Orange County and to the public by publication in a newspaper of general circulation to notify the public of this proposed Ordinance and of public hearings to be held; and

WHEREAS, the Winter Park Planning and Zoning Commission, acting as the designated Local Planning Agency, has reviewed and recommended adoption of the proposed Comprehensive Plan amendment, having held an advertised public hearing on May 5, 2015, provided for participation by the public in the process, and rendered its recommendations to the City Commission; and

WHEREAS, the Winter Park City Commission has reviewed the proposed Comprehensive Plan amendment and held advertised public hearings on June 8, 2015 and June 22, 2015 and provided for public participation in the process in accordance with the requirements of state law and the procedures adopted for public participation in the planning process.

NOW THEREFORE BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, AS FOLLOWS:

SECTION 1. Future Land Use Map Amendment. That Chapter 58 "Land Development Code", Article I, "Comprehensive Plan" future land use plan map is hereby amended so as to change the future land use map designation from Single Family Residential to Open Space and Recreation on the property at 2011 Via Tuscany, more particularly described as follows:

Lots 1 & 2 and the south 30 feet of the street to the north, Block C, Sicilian Shores subdivision, as recorded in Plat Book "O", Page 34 of the Public Records of Orange County, Florida. Parcel ID# 32-21-30-8020-03-010

SECTION 2. Severability. If any Section or portion of a Section of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other Section or part of this Ordinance.

SECTION 3. Conflicts. All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

SECTION 4. Effective Date. An amendment adopted under this paragraph does not become effective until 31 days after adoption. If timely challenged, an amendment may not become effective until the state land planning agency or the Administration Commission enters a final order determining that the adopted small scale development amendment is in compliance. Furthermore this amendment shall only become effective upon the purchase of this property by the Winter Park Racquet Club.

ADOPTED at a regular meeting of the City Commission of the City of Winter Park, Florida, held in City Hall, Winter Park, on this _____ day of _____, 2015.

Mayor

Attest:

City Clerk

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 58 "LAND DEVELOPMENT CODE" ARTICLE III, "ZONING" AND THE OFFICIAL ZONING MAP SO AS TO CHANGE SINGLE FAMILY RESIDENTIAL (R-1AA) DISTRICT ZONING TO PARKS AND RECREATION (PR) DISTRICT ZONING ON THE PROPERTY AT 2011 VIA TUSCANY, MORE PARTICULARLY DESCRIBED HEREIN, PROVIDING FOR CONFLICTS, SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the City of Winter Park, the owner of a property at 2011 Via Tuscanly has requested a Zoning map amendment consistent with the amended Comprehensive Plan, and the requested zoning change will achieve conformance with the Comprehensive Plan for the property, and such municipal zoning meets the criteria established by Chapter 166, Florida Statutes, and pursuant to and in compliance with law, notice has been given to Orange County and to the public by publication in a newspaper of general circulation to notify the public of this proposed Ordinance and of public hearings to be held; and

WHEREAS, the Planning and Zoning Board of the City of Winter Park has recommended approval of this Ordinance at their May 5, 2015 meeting; and

WHEREAS, the City Commission of the City of Winter Park held a duly noticed public hearing on the proposed zoning change set forth hereunder and considered findings and advice of staff, citizens, and all interested parties submitting written and oral comments and supporting data and analysis, and after complete deliberation, hereby finds the requested change consistent with the City of Winter Park Comprehensive Plan and that sufficient, competent, and substantial evidence supports the zoning change set forth hereunder; and

WHEREAS, the City Commission hereby finds that this Ordinance serves a legitimate government purpose and is in the best interests of the public health, safety, and welfare of the citizens of Winter Park, Florida.

NOW THEREFORE BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, AS FOLLOWS:

SECTION 1. Official Zoning Map Amendment. That Chapter 58 "Land Development Code", Article III, "Zoning" and the Official Zoning Map is hereby amended so as to change the zoning designation from Single Family (R-1AA) District to Parks and Recreation (PR) District on the property at 2011 Via Tuscanly, more particularly described as follows:

Lots 1 & 2 and the south 30 feet of the street to the north, Block C, Sicilian Shores subdivision, as recorded in Plat Book "O", Page 34 of the Public Records of Orange County, Florida. Parcel ID# 32-21-30-8020-03-010

SECTION 2. Severability. If any Section or portion of a Section of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other Section or part of this Ordinance.

SECTION 3. Conflicts. All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

SECTION 4. Effective Date. This Ordinance shall become effective upon the effective date of Ordinance _____. If Ordinance _____ does not become effective, then this Ordinance shall be null and void. Furthermore this amendment shall only become effective upon the purchase of this property by the Winter Park Racquet Club.

ADOPTED at a regular meeting of the City Commission of the City of Winter Park, Florida, held in City Hall, Winter Park, on this _____ day of _____, 2015.

Mayor

Attest:

City Clerk

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
May 5, 2015**

REQUEST OF ICON RESIDENTIAL FOR: CONDITIONAL USE APPROVAL TO REDEVELOP THE 3.45 ACRES OF PROPERTIES COLLECTIVELY REFERRED TO AS 1800 LEE ROAD, INCLUDING THE TAX PARCELS OF 1746/1800/1802/1806/1810/1814/1818/1824/1828/1832 LEE ROAD FOR A 30 UNIT TOWNHOUSE DEVELOPMENT (CLUSTER HOUSING), ON THESE PROPERTIES ZONED R-2.

This public hearing involves the request of Icon Residential for the redevelopment of the properties collectively referred to as the 1800 Lee Road property that are all in the same ownership but which have separate property addresses of 1746/1800/1802/1806/1810/1814/1818/1824/1828/1832 Lee Road. All of the properties have a Low Density Residential future land use designation in the Comprehensive Plan and are zoned Low Density Residential (R-2). The request is to for Conditional Use approval under the R-2 provision for Cluster Housing to redevelop the properties with 30, two-story townhouses. There are currently eight one-story duplexes on this property (16 units) which will be demolished to make way for this redevelopment.

Project Site:	3.45 acres
Existing Future Land Use Category:	Low Density Residential
Existing Zoning District:	R-2

Current Development Request: The proposed development consists of approximately 82,000 square feet of total residential buildings which yield townhouse units of an average size of 2,733 square feet inclusive of a two car garage for each unit. For purposes of comparison, the following table outlines the R-2 zoning requirements and the proposed dimensions of this project.

	R-2 Require-ments	Project Proposal
Property Size		3.45 acres
Floor Area Ratio	Max. 55%	53.3%
Lot Coverage	Max. 35%	27.2%
Max. Impervious Coverage	Min. 65%	62.5%
Lee Road setback	30 feet	35 feet
Lakeside	50 feet	50 feet minimum

setback		
Western Side setback	10 feet	20 feet
Northern Side setback	30 feet	38-84 feet
Parking Required	75 spaces	72 spaces
Bldg. Height	35 feet	30-32 feet

The 30 townhouse units are spread amongst nine separate buildings holding 2-4 units each. Four units in a building is the maximum permitted under the R-2 cluster housing regulations.

Parking spaces shown for this project are 72 spaces. Each townhouse has a two-car garage and there are 12 visitor parking spaces. Technically 15 visitor parking spaces are needed, so this project is requesting a variance for those 3 spaces with the belief that 12 visitor spaces will be sufficient based on their experience developing other townhouse communities.

Storm water retention will be accomplished through a combination of underground exfiltration and some retention swales within the lakefront portions of the site. Due to the shallow location of groundwater, given the lakeside location, the site has to be built up with fill so that there can be clearance between the underground exfiltration and the groundwater so that the system can function as designed.

The addition of this fill then necessitates the clear cut removal of all of the existing trees on the property except those bordering the lake edge. The landscape plan indicates the removal and compensation to be provided. There will be 33 existing oak trees to be removed of a total size of 850 caliper inches. The replacement is 46 trees, each of 3 inches in diameter for a replacement 138 caliper inches.

These units will be sold fee simple with a Homeowners Association for maintenance of the common elements. There will be a re-plat of this property for the "lots" and common area tracts to be maintained by the HOA as well as indicating the easement areas needed for utilities.

The common area amenities will include some amount of boat slip and gazebo/dock area for the use and enjoyment of the residents. The primary concern of the Lake Killarney Advisory Board is that the City control the number of structures and the number of boat/jet skis that add to the impact on lake usage. The applicant is asking for the ability for their residents to have 10 boat or jet ski slips and one common dock/gazebo for the residents. That number seems reasonable to staff but the actual design and location of these facilities is one item that needs further refinement. As such there will

be a condition of approval requiring a subsequent review and approval by P&Z, as to the actual design and location.

The project also proposes to redevelop the privacy wall that exists along the Lee Road frontage. The existing wall is not in good condition structurally in some sections due to tree root/growth impacts since 1964. The applicant is proposing to move the wall closer to Lee Road, at a 10 foot setback and is requesting a variance for 7 feet of wall height in lieu of the typical code maximum of 6 feet. The subdivision code requirement would also apply such that the walls may not be completely linear but must contain jogs which will vary the distance from the sidewalk between 2-3 feet. Staff understands the need for a little more height and sound buffering given the location adjacent to Lee Road. As there is not a firm design at this time, there will be a condition of approval requiring a subsequent review and approval by P&Z, as to the actual design and configuration of the wall.

Preliminary and Final CU: This application package is intended to provide the detail needed both for the "preliminary" and "final" conditional use approvals and as such includes the final site plan, civil engineering plans, architectural perspective images of the building facades, landscape plan, complete storm water retention design and a traffic impact information. Aside from the two items previously mentioned, which can be conditions of approval, everything else appears to have been provided.

History of the Property:

The current duplexes on these properties were built in 1964. In 2007 the P&Z Board and City Commission approved a redevelopment plan via this same Conditional Use process for a project of 27 two-story townhouses and based on that approval the property was sold to the current ownership group. However, shortly thereafter, the economy experienced the downturn and that project was not pursued. The current applicant has a contract to purchase these properties from that ownership group, contingent upon received these development approvals.

Context with Adjacent Properties:

This property location sits in between two office properties with the Lee World Center, a three story building of 62,000 square feet on the west and the one-story Bank of 6,500 square feet on the east. As such there are no neighborhood impacts from this project.

Traffic/Mobility Impacts:

The 30 townhouses will have a daily traffic generation of 285 trips per day. The existing 16 units generate 152 trips per day so the net increase is 133 trips per day. On Lee Road with an existing 35,500 cars a day, this increase is de minimus.

Staff Analysis of the Applicant's Requests:

Various city departments have reviewed this application including representatives from Planning & Community Development, Public Works, Electric Utility, Water and Wastewater Utilities, Fire, Urban Forestry, Parks & Recreation and City Administration. Their comments were as follows:

Fire Dept.: Applicant is aware of the fire hydrant and fire flow needs for the project.

Traffic Engineering/Police Dept.: The median on Lee Road allows left turns from the site. The added traffic impact is minimal.

Water/Sewer/Storm Water Utility: The applicant is aware of the requirements for the private lift station for sanitary sewer and the fire flow need for additional hydrants. The HOA will maintain the lift station and underground exfiltration system per Agreement with the City.

Summary and Conclusion:

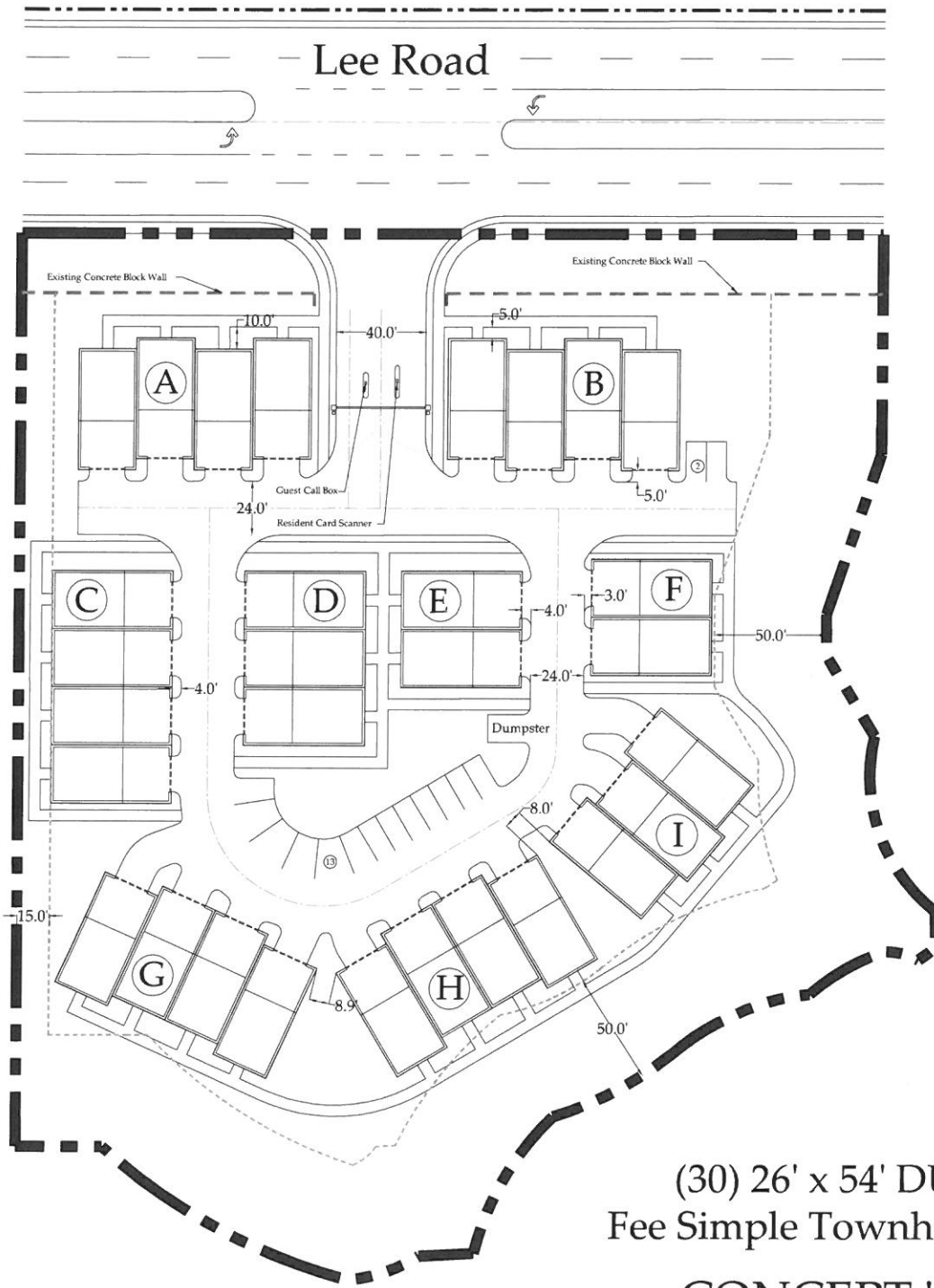
The Planning staff recognizes that in 2007 the City approved a redevelopment plan for this property with a similar concept (two-story townhouses) and density (27 units). This location is on a four lane arterial State Highway (Lee Road) with 35,500 cars/day and sits in between two office buildings. The one negative impact is that the storm water exfiltration design is causing the loss of many significant oak trees. Overall, the applicant has provided a plan that meets the requirements of the Comprehensive Plan and Land Development Code. The only items to define further are the boat docks/gazebo and exterior wall design. After significant review, staff has analyzed the Conditional Use and is recommending approval subject to the following special conditions:

1. The Icon Residential project entitlements comprise 30 residential two-story townhouses of approximately 82,000 total square feet which may be sold as fee simple units subject to the City's review and approval of the re-plat, covenants/restrictions and HOA documents by staff and city attorney.

2. The final number, location and design of the docks and gazebos shall be reviewed and approved by the Planning & Zoning Board but may not exceed accommodations for more than 10 boats/jet skis and the re-plat covenants/restrictions and HOA documents shall reflect this restriction.

3. The final design of the privacy wall along Lee Road shall be reviewed and approved by the Planning & Zoning Board.

STAFF RECOMMENDATION IS FOR APPROVAL of the "preliminary" Conditional Use subject to the three conditions outlined above.



(30) 26' x 54' DU
Fee Simple Townhomes

CONCEPT "D"

15 Guest Parking Spaces

Project Name: **Lee Road Winter Park**
Address: 1800 Lee Road, Winter Park
Description: 30 Fee Simple Townhomes
Zoning: R-2 Low Density Residential
(Cluster Housing Conditional Use)

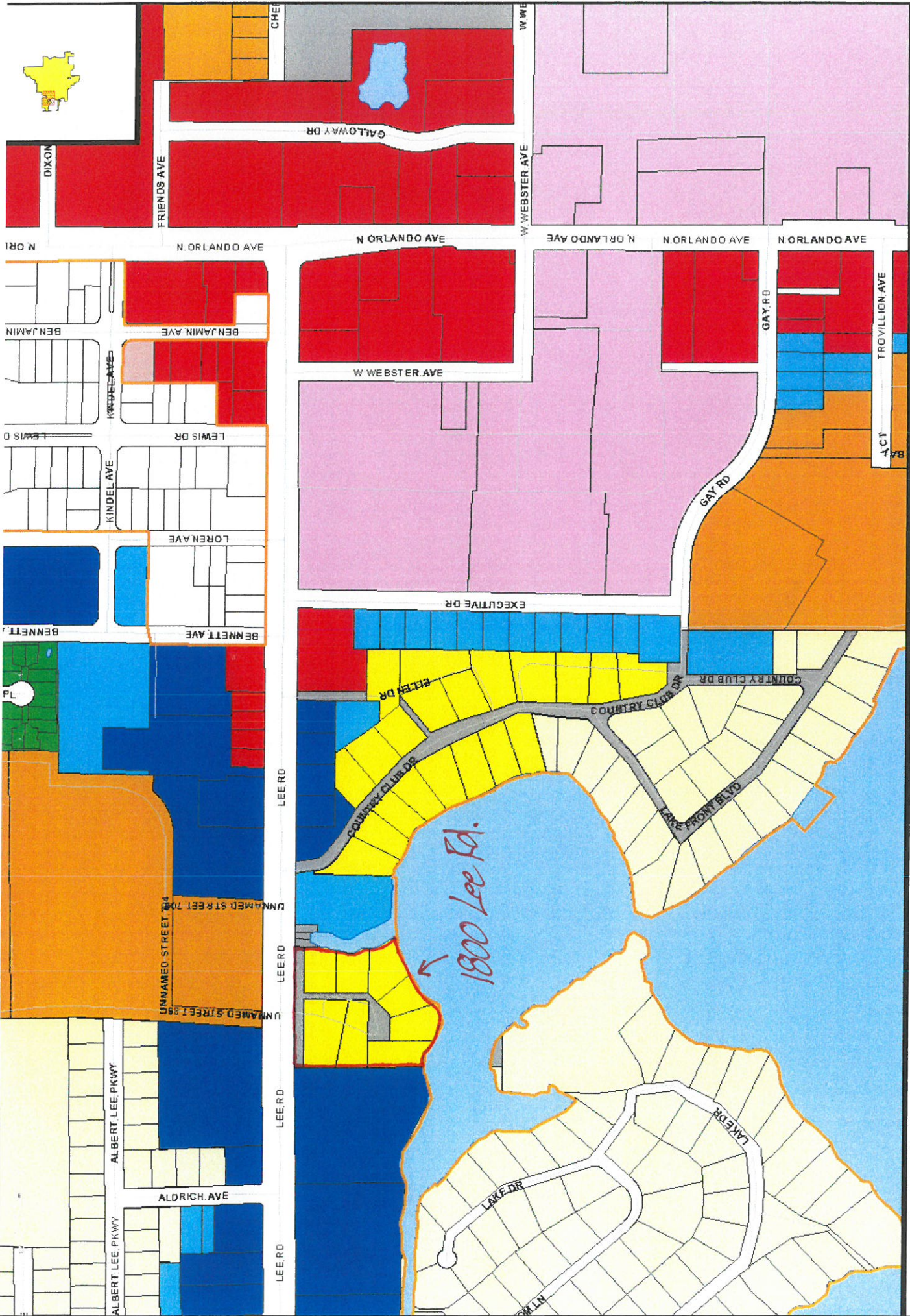
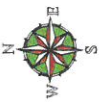
Contact Person: Ryan Studzinski
Date Submitted: 11/24/2014
Contact Phone: (813) 541-1821
Email: ryan@iconrev.com
Designed By: Brian Kiraly

Icon Real Estate Ventures, LLC
2190 Belcher Road, Suite B
Largo, FL 33771



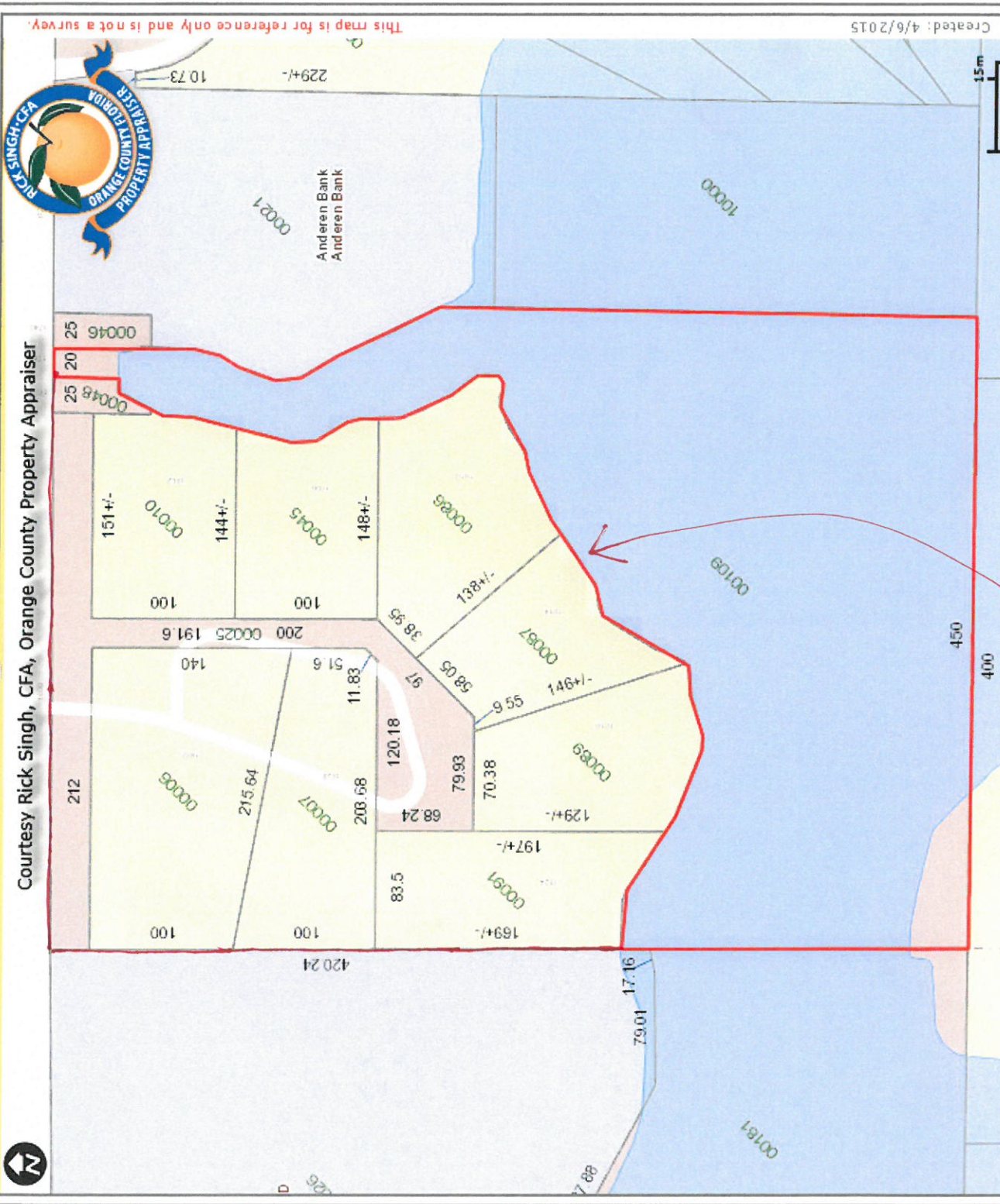
1 in. = 387.2 feet

1800 Lee Road



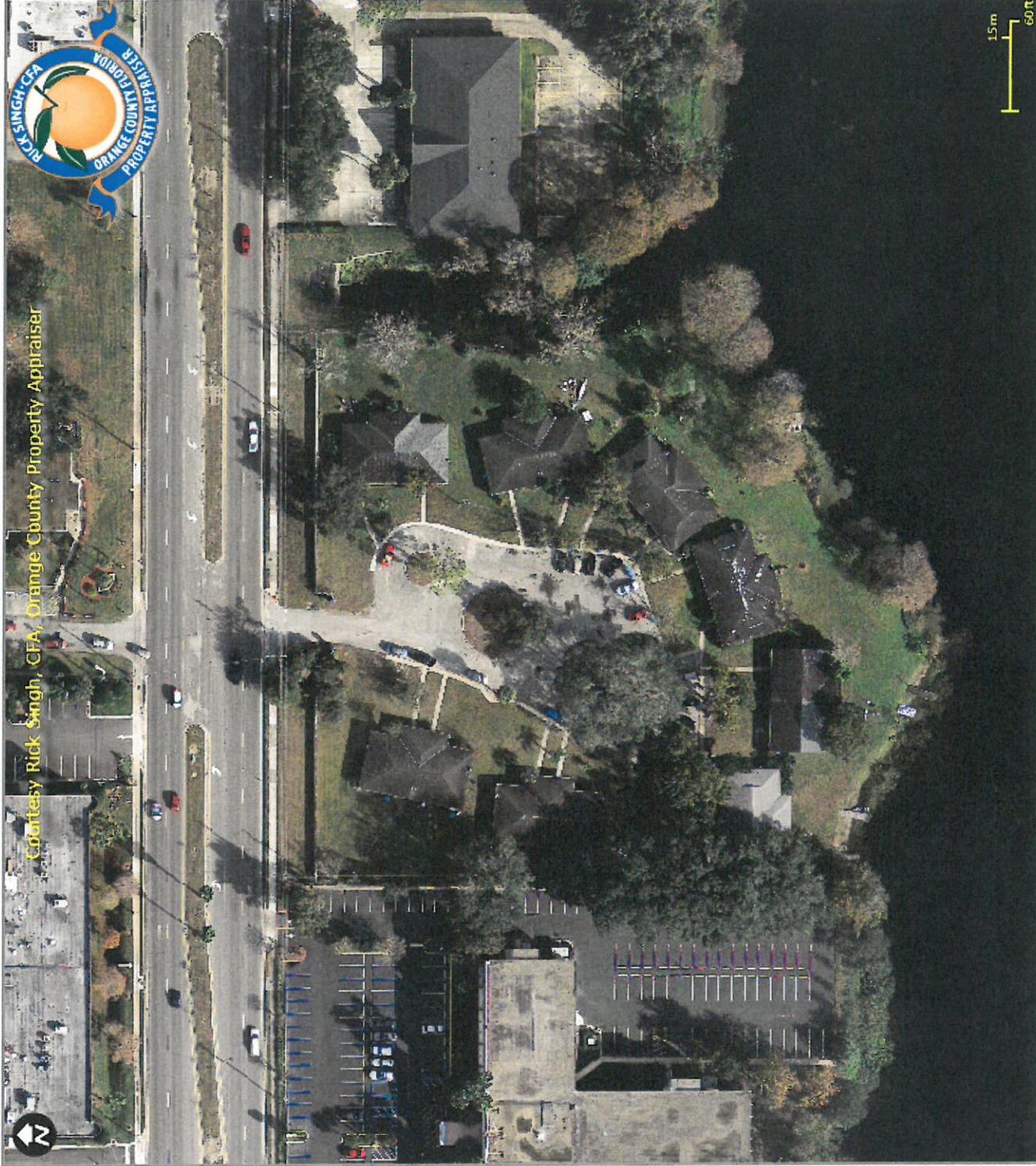
Map labels include street names: DIXON, FRIENDS AVE, GALLOWAY DR, W WEBSTER AVE, N ORLANDO AVE, BENJAMIN AVE, W WEBSTER AVE, LEERD, COUNTRY CLUB DR, EXECUTIVE DR, GAY RD, TROVILLION AVE, BENNETT AVE, LOREN AVE, LEWIS DR, KINDLE AVE, BENJAMIN AVE, UNNAMED STREET 704, UNNAMED STREET 390, ALDRICH AVE, ALBERT LEE PKWY, LAKE DR, LAKEFRONT, and W WEBSTER AVE.

- Florida turnpike
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1800 Lee Road

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- Parcel Number
- Parcel Address
- Parcel Dimension



Courtesy Rick Singh, CFA, Orange County Property Appraiser

This map is for reference only and is not a survey.

Created: 4/17/2015



1800 Lee Road Aerial



1800 Lee Road - Frantage

rojo

100 INTERNATIONAL
AVENUE
SUITE 100
MIAMI, FL 33130
TEL: 305.375.1000
WWW.ROJOARCHITECTS.COM



STATE OF FLORIDA
REGISTERED ARCHITECT
ROBERT A. JOHNSON
NO. 88751122

1800 LEE ROAD
TOWNHOMES
WINTER PARK, FL

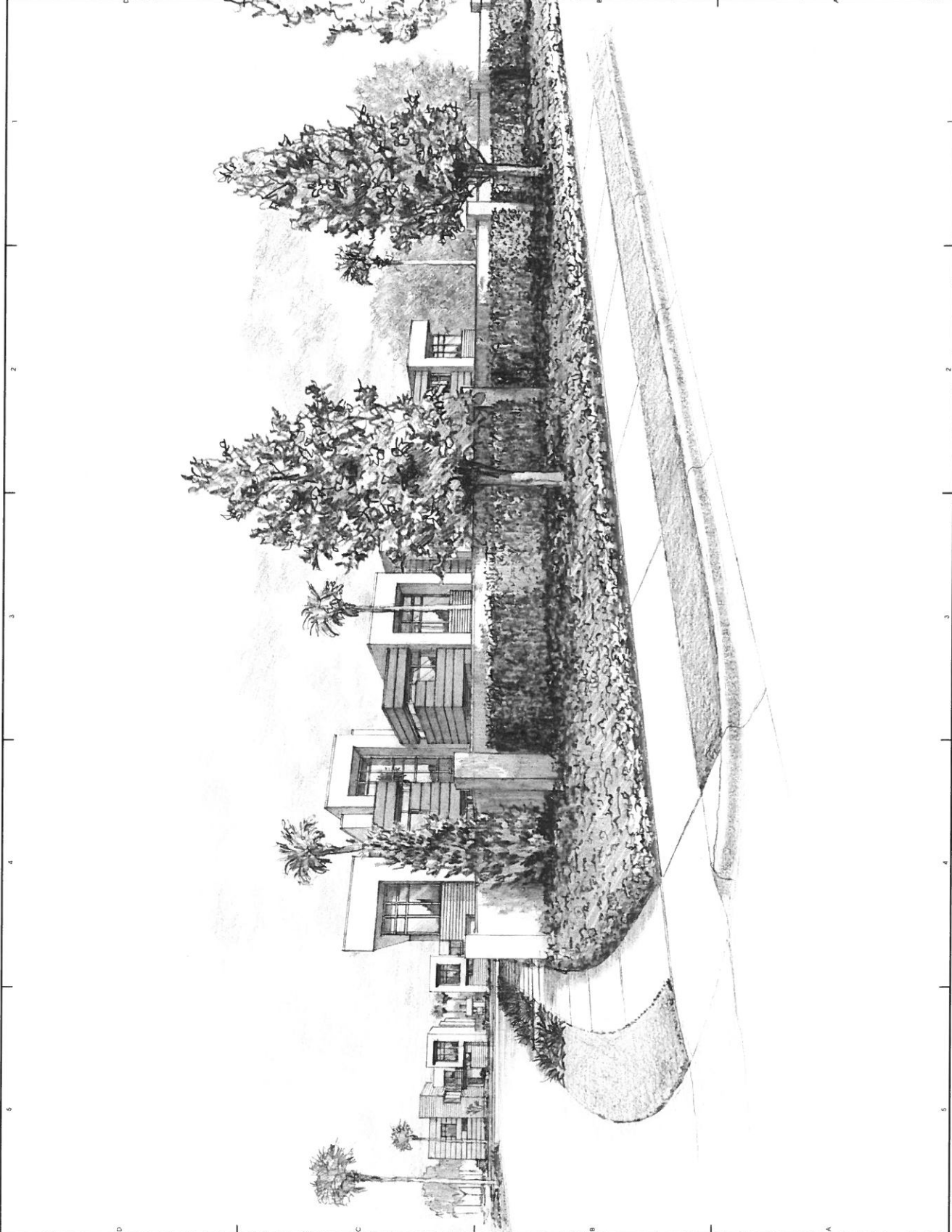
ICON
RESIDENTIAL

NO.	DATE	DESCRIPTION
1	05/08	CONCEPT
2	05/08	SCHEMATIC
3	05/08	PRELIMINARY
4	05/08	FINAL
5	05/08	AS-BUILT

STREET VIEW
W/ PROPERTY WALL

SCALE 1/8" = 1'-0"

A-1



rojo

rojo architecture
1721 NW 13th Ave, Suite 200
Fort Lauderdale, FL 33311
Tel: 754.770.7777
www.rojoarch.com



STATE OF FLORIDA
REGISTERED ARCHITECT
ROBERT A. SILENON
No. 12527

1800 LEE ROAD
TOWNHOMES
WINTER PARK, FL

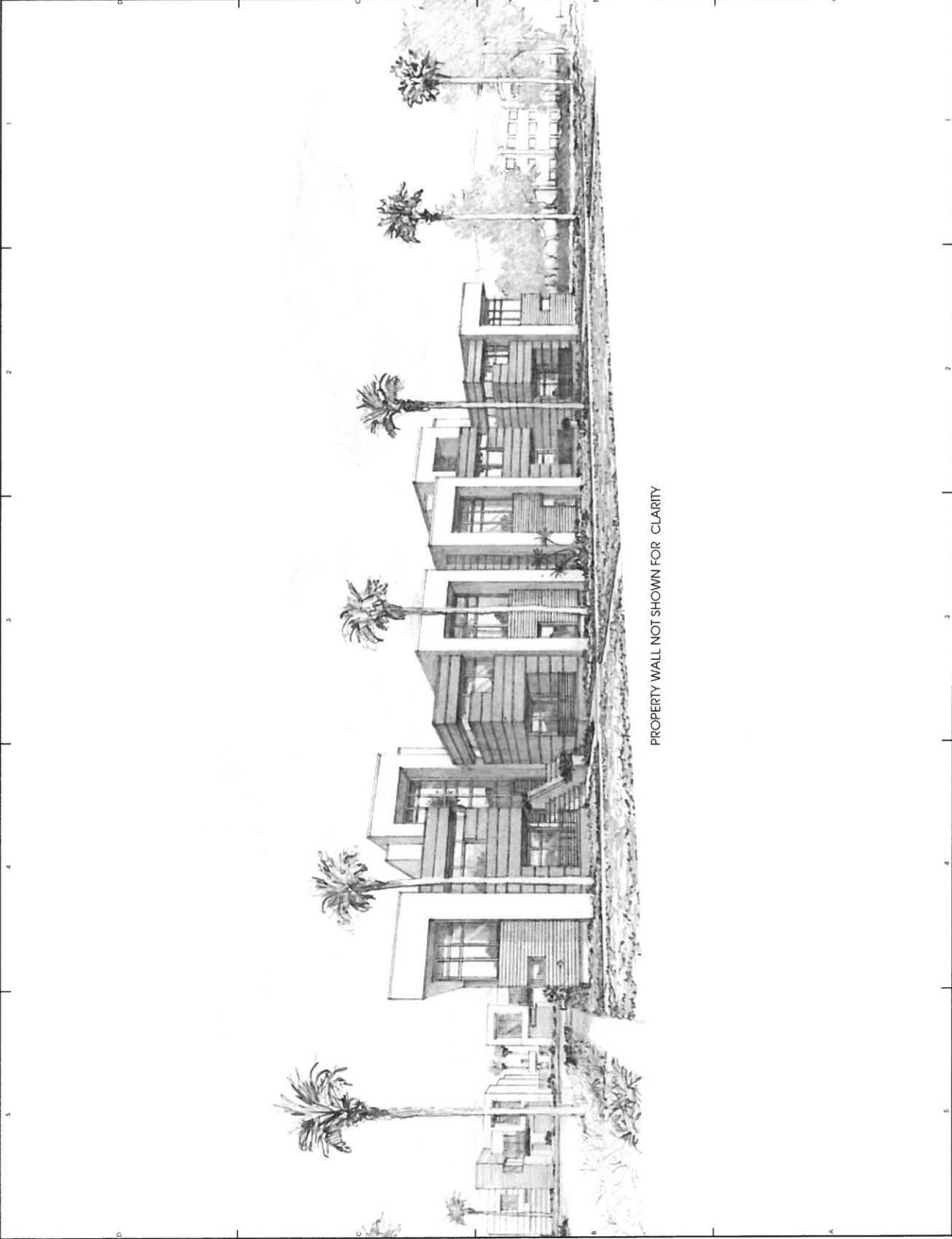
ICON
RESIDENTIAL

NO.	DATE	DESCRIPTION
1	10/15/2014	CONCEPT
2	11/10/2014	SCHEMATIC
3	12/15/2014	PRELIMINARY
4	01/15/2015	FINAL

VIEW FROM LEE ROAD
TYP. BUILDING "A" & "B"
BUILDING "A" SHOWN

SCALE N.T.S.

A-2



PROPERTY WALL NOT SHOWN FOR CLARITY

rojo

100 JACKSONVILLE AVENUE
SUITE 1000
JACKSONVILLE, FL 32202
TEL: 904.766.1000
WWW.ROJOARCHITECTS.COM



STATE OF FLORIDA
REGISTERED ARCHITECT
ROBERT A. LARSON
NO. 10078122

1800 LEE ROAD
TOWNHOMES
WINTER PARK, FL

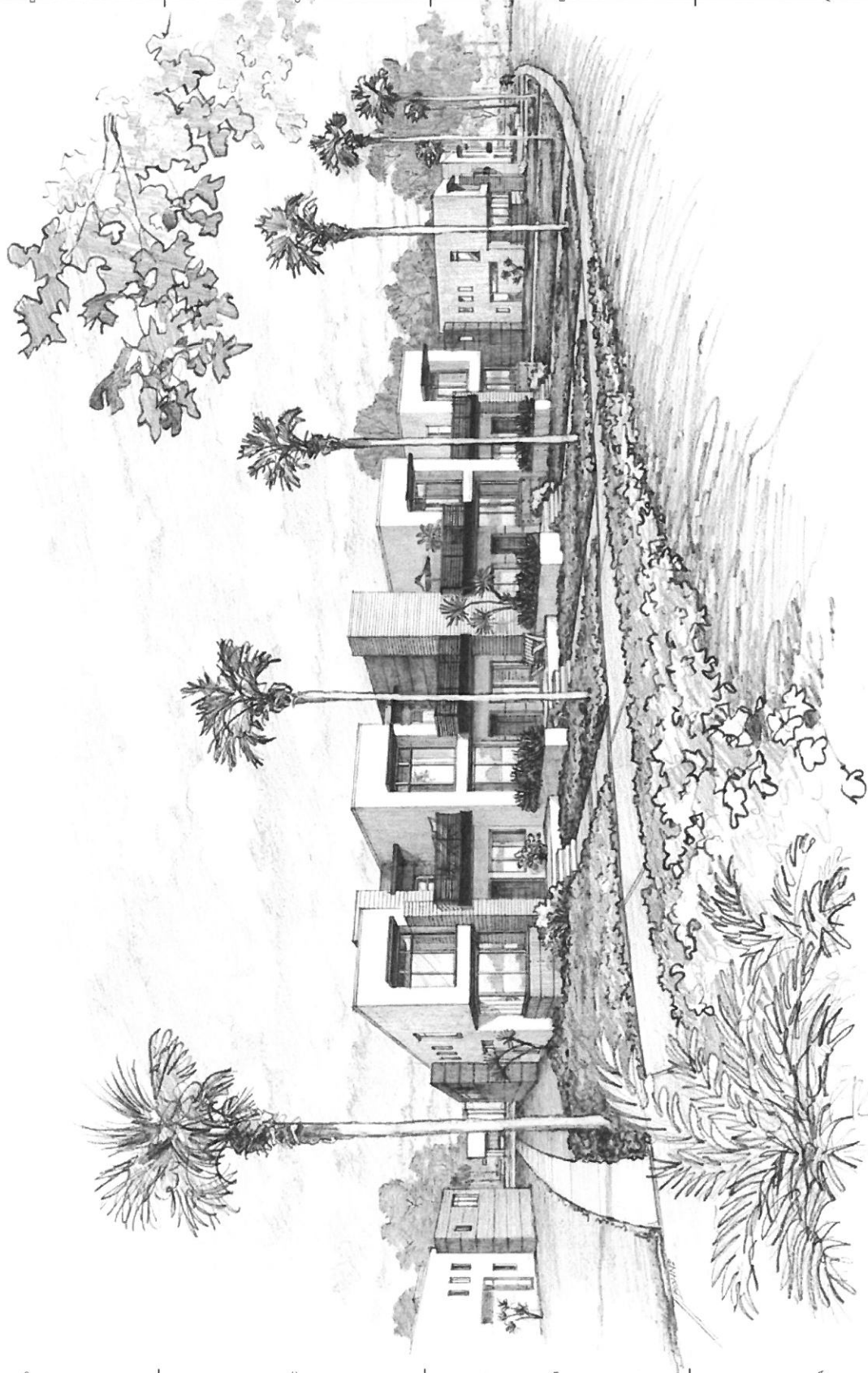


NO.	DATE	DESCRIPTION
1	10/15/18	CONCEPT
2	11/15/18	SCHEMATIC
3	12/15/18	PRELIMINARY
4	01/15/19	PERMIT SET
5	02/15/19	CONSTRUCTION
6	03/15/19	FINAL

VIEW FROM LAKE
TYPE: BUILDING 'C' - 14' x 11'

SCALE: 1/8" = 1'-0"

A-3



rojo

rojo architecture
300 N.W. 10th St.
Fort Lauderdale, FL 33304
Tel: 754.562.1000
www.rojoarch.com



STATE OF FLORIDA
REGISTERED PROFESSIONAL ENGINEER
KORENIA GLEASON
LICENSE NO. 12512

1800 LEE ROAD
TOWNHOMES
WINTER PARK, FL

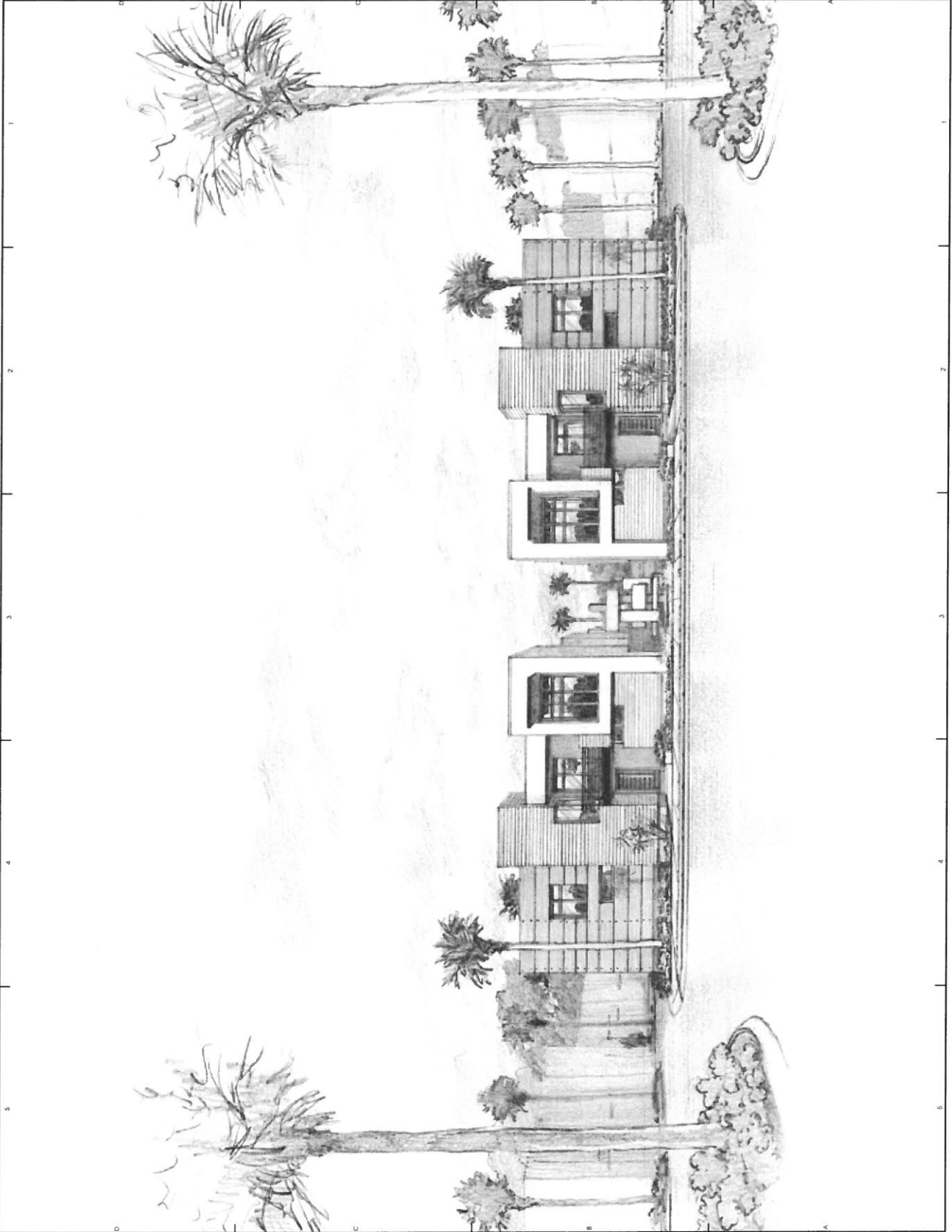
ICON
RESIDENTIAL

Mark	Date	Description
1	10/15/10	CONCEPTS
2	10/20/10	REVISED
3	11/01/10	REVISED
4	11/01/10	REVISED
5	11/01/10	REVISED
6	11/01/10	REVISED
7	11/01/10	REVISED
8	11/01/10	REVISED
9	11/01/10	REVISED
10	11/01/10	REVISED

VIEW FROM MAIN DRIVE
TYPE BUILDINGS "C", "D", "E" & "F"
BUILDINGS "D" & "E" SHOWN

SCALE N.T.S.

A-4



rojo

ROJO ARCHITECTURE
ARCHITECTS
1001 N. W. 10th St.
Suite 100
Fort Lauderdale, FL 33304
Tel: 954.561.1000
www.rojoarchitecture.com



STATE OF FLORIDA
REGISTERED ARCHITECT
ROBERT A. JOHNSON
No. 12812
08/19/12

1800 LEE ROAD
TOWNHOMES
WINTER PARK, FL

ICON RESIDENTIAL

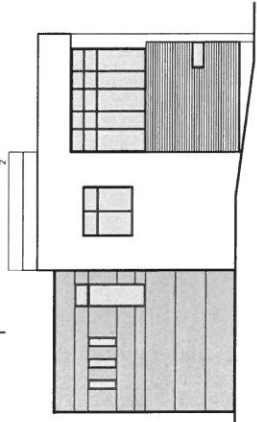
Month	Date	Description
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Month	Date	Description
March	15/08	Issue 1
March	15/08	Issue 2
March	15/08	Issue 3
March	15/08	Issue 4
March	15/08	Issue 5
March	15/08	Issue 6
March	15/08	Issue 7
March	15/08	Issue 8
March	15/08	Issue 9
March	15/08	Issue 10
March	15/08	Issue 11
March	15/08	Issue 12

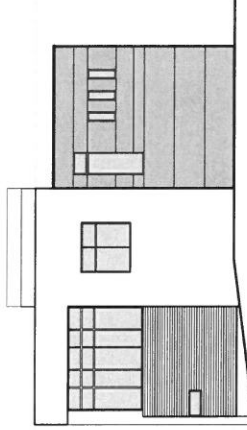
BUILDING 1
ELEVATIONS

SCALED

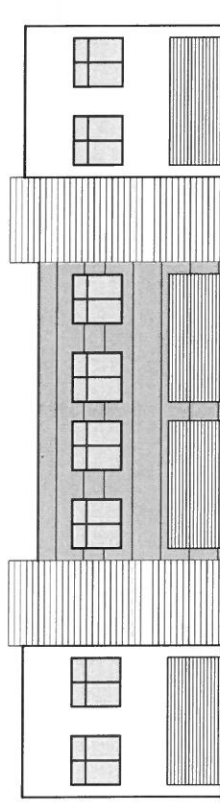
A-7.1



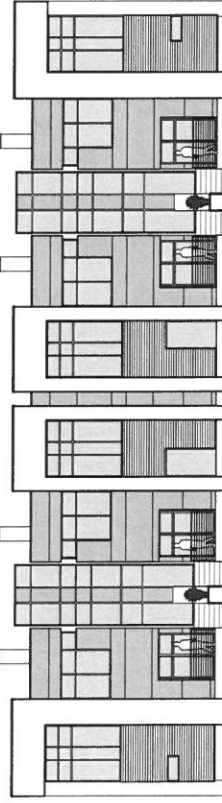
3D BUILDING 1 - SIDE ELEVATION
Scale: 1/8" = 1'-0"



3C BUILDING 1 - SIDE ELEVATION
Scale: 1/8" = 1'-0"



3B BUILDING 1 - GARAGE ELEVATION
Scale: 1/8" = 1'-0"



3A BUILDING 1 - FRONT ENTRY
Scale: 1/8" = 1'-0"

rojo

1030 ANDERSON BLVD
 SUITE 100
 MIAMI, FL 33136
 TEL: 305.375.1111
 WWW.ROJOARCHITECTS.COM



STATE OF FLORIDA
 REGISTERED ARCHITECT
 ROBERT A. JOHNSON
 NO. 14819
 08/18/12

1800 LEE ROAD
 TOWNHOMES
 WINTER PARK, FL

ICON
 RESIDENTIAL

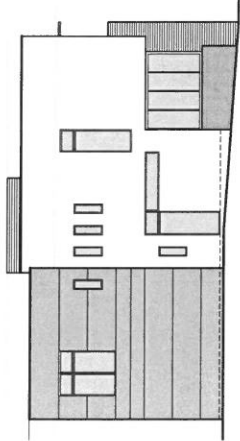
Mark Date Description

Rev	1	08/18/12	Initials	ROJO
Drawn By				
Checked By				
Scale				
Project No.				
Client				
Project Name				
Project Location				
Project Date				

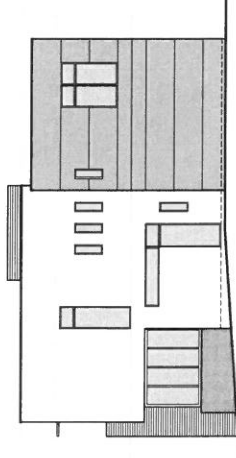
BUILDING III
 ELEVATIONS

SCALE: 1/8"=1'-0"

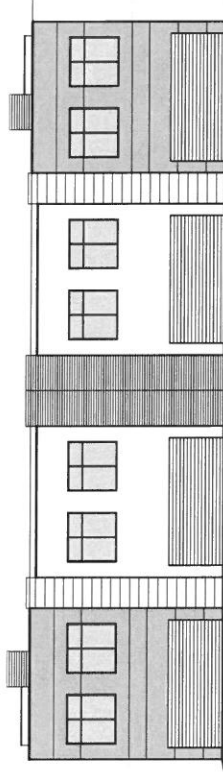
A-7.3



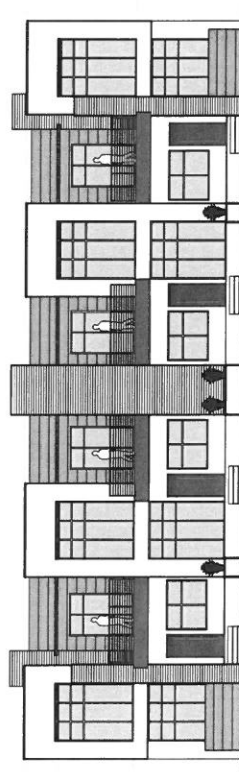
3D
 A-7.3
 BUILDING III - SIDE ELEVATION
 Scale: 1/8" = 1'-0"



3C
 A-7.3
 BUILDING III - SIDE ELEVATION
 Scale: 1/8" = 1'-0"



3B
 A-7.3
 BUILDING III - GARAGE ELEVATION
 Scale: 1/8" = 1'-0"



3A
 A-7.3
 BUILDING III - FRONT ELEVATION
 Scale: 1/8" = 1'-0"

LEE ROAD TOWNHOMES

1800 LEE ROAD
 WINTER PARK, FLORIDA

Christophe J. Beckwith
 Registered Landscape Architect

**CONCEPTUAL LANDSCAPE PLAN
 PRELIMINARY**

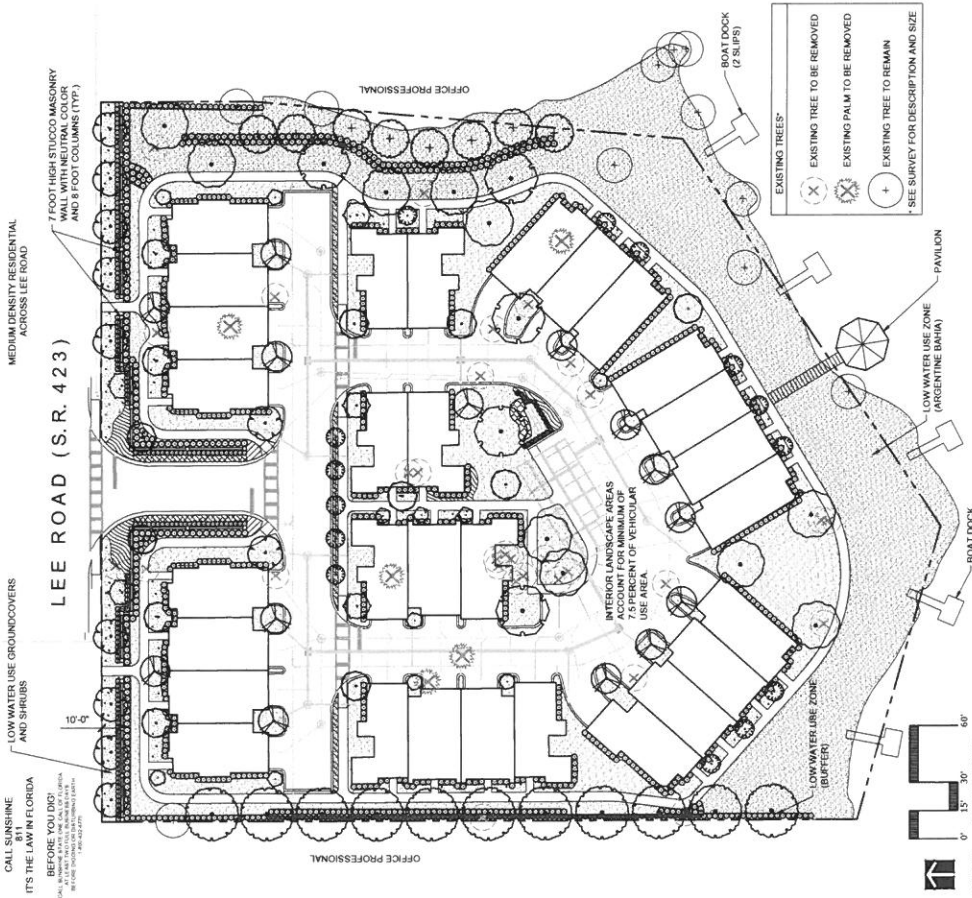
NOT FOR CONSTRUCTION
 THESE PLANS HAVE NOT BEEN APPROVED
 AND ARE SUBJECT TO CHANGE.

REV. DATE DESCRIPTION
 A
 B
 C
 D

Date: FEBRUARY 23, 2015
 Job No.: 2404
 Drawn By: CJA
 Checked By: CJA
 Sheet Title: LANDSCAPE PLAN
 Sheet No.: L1

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	HT.	SPRL.	CALIPER
+	8	Acer rubrum / Florida Flame / Florida Flame Red Maple	-	3"	MIN.
•	11	Magnolia grandiflora 'D.D. Blanchard' TM / Southern Magnolia	-	3"	MIN.
•	10	Quercus alumina / Shumard Red Oak	-	3"	MIN.
•	11	Quercus virginiana / Southern Live Oak	-	3"	MIN.
•	5	Ulmus alata / Winged Elm	-	3"	MIN.
PALM TREES					
•	14	Shear palmello / Cabbage Palmello	8'	SPRL.	CALIPER
•	14	BBG	8'	Clear	Trunk
UNDESIKORY TREES					
•	12	Cercis canadensis / Eastern Redbud	-	2"	MIN.
•	5	Elaeagnus decipiens TM / Japanese Blueberry Tree	-	2"	MIN.
•	11	Ilex x adamsii 'Eugenia' / Eugenia Holly Standard	-	2"	MIN.
•	14	Lagerströmia x 'Helena' / White Crapemyrtle Standard	-	2"	MIN.
SHRUBS					
•	41	BOZANICAL NAME / COMMON NAME	CONT.	HT.	SPRL.
•	244	Alphitonia zumbel 'Varegata' / Variegated Shell Ginger	3 gal	18"	18"
•	166	Ilex vomitoria 'Schilling's Dwarf' / Dwarf Schilling's Holly	3 gal	12"	12"
•	112	Poleosarpis macrophylla / Yew Pine	3 gal	24"	24"
•	73	Poleosarpis macrophylla mini / Shrubby Yew	3 gal	18"	18"
•	263	Scaevola arborescens / Translet / Scheffler	3 gal	24"	18"
•	71	Tripsacum dasyphyllum / Falsehatshee Grass	3 gal	18"	18"
•	254	Viburnum obtusum / Weller & Viburnum	3 gal	18"	18"
•	254	Viburnum suspensum / Standard Viburnum	3 gal	24"	24"
SHRUB AREAS					
•	25	Zinnia boriniana / Coonote Palm	CONT.	HT.	SPRL.
•	114	Dianella tasmanica / Blueberry Flax Lily	1 gal	12"	12"
•	49	Lantana x 'New Gold' / New Gold Lantana	1 gal	12"	12"
•	270	Liriodendron / Super Blue / Super Blue Lily Turf	1 gal	18"	18"
•	1,750	Trachelium pinnatifidum / Star Jasmine	1 gal	12"	12"
•	174	Tripsacum dasyphyllum / Florida Camassas	1 gal	12"	12"
SODSEED					
•	30,874 sq	Paspalum notatum / Argentine / Bahae Grass	CONT.	HT.	SPRL.
•	20,425 sq	Stenandrium secundatum / Thornam / Fotherm St. Augustine Sod	SOD		
MULCH					
•		ORGANIC MULCH - SHREDDED MULCH TO BE APPLIED TO ALL PLANTING BEDS, 3 INCH THICK DEPTH.			



NOTES:
 1) ALL LANDSCAPING SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF DC SEC. 58. V, DIVISION 9 AND 10 OF THE WINTER PARK CITY CODE. PLANTINGS SHALL BE PROVIDED BY THE CONTRACTOR. ADDITIONAL ENHANCEMENT PLANTINGS MAY BE PROVIDED. PLANTINGS SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM WITH 100% COVERAGE, BACKFLOW PREVENTER, AND A RAIN SENSOR DEVICE.
 2) SEE SHEET L2 FOR PLANTING DETAILS. SEE SHEET L3 FOR LANDSCAPE NOTES.

PLANT SCHEDULE NOTES:
 1. SOD QUANTITIES ARE SQUARE FOOT ESTIMATE. ANY DISTURBED AREAS ON SITE OR WITHIN THE R.O.W. THAT ARE NOT COVERED WITH LANDSCAPE MATERIAL OR SOD SHALL BE SODDED. SOD QUANTITIES SHOWN IN SCHEDULE ARE ESTIMATES AND FOR REFERENCE ONLY. ADDITIONAL SOD WILL BE REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING AND VERIFYING REQUIRED SOD QUANTITIES PRIOR TO BID.
 2. ALL PLANTING SHALL BE PROVIDED BY THE CONTRACTOR. PLANTING SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERMEN, INC. (AAIS) BULLETIN Z-201.1 - 1995 AND AS SET FORTH. ALL TREES MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
 3. NUMBER OF INSTALLED TREES LISTED AS BEING UP TO 4 INCHES SHALL BE MEASURED 6 INCHES ABOVE THE GROUND, AND THE CALIPER OF INSTALLED TREES LISTED AS MORE THAN 4 INCHES SHALL BE MEASURED 12 INCHES ABOVE THE GROUND.

CITY OF WINTER PARK LAND DEVELOPMENT CODE REQUIREMENTS
 SEC. 58-317. TREE REPLACEMENT REQUIREMENTS:
 PROTECTED TREES TO BE REMOVED UNDER 19 INCHES: 11" OAK, 12" WATER OAK, 13" WATER OAK, 14" OAK, 15" OAK, 16" OAK, 17" OAK, 18" OAK, 19" OAK, 20" OAK, 21" OAK, 22" OAK, 23" OAK, 24" OAK, 25" OAK, 26" OAK, 27" OAK, 28" OAK, 29" OAK, 30" OAK, 31" OAK, 32" OAK, 33" OAK, 34" OAK, 35" OAK, 36" OAK, 37" OAK, 38" OAK, 39" OAK, 40" OAK, 41" OAK, 42" OAK, 43" OAK, 44" OAK, 45" OAK, 46" OAK, 47" OAK, 48" OAK, 49" OAK, 50" OAK, 51" OAK, 52" OAK, 53" OAK, 54" OAK, 55" OAK, 56" OAK, 57" OAK, 58" OAK, 59" OAK, 60" OAK

CITY OF WINTER PARK LAND DEVELOPMENT CODE REQUIREMENTS
 SEC. 58-317. TREE REPLACEMENT REQUIREMENTS:
 PROTECTED TREES TO BE REMOVED UNDER 19 INCHES: 11 TREES AT 3 INCH CALIPER
 TOTAL REQUIRED REPLACEMENT TREES FOR PROTECTED TREES TO BE REMOVED UNDER 19 INCHES: 14 TREES AT 3 INCH CALIPER
 PROTECTED TREES TO BE REMOVED OVER 19 INCHES: 38 TREES AT 3 INCH CALIPER
 TOTAL REQUIRED REPLACEMENT TREES FOR PROTECTED TREES TO BE REMOVED OVER 19 INCHES: 46 CANOPY TREES AT 3 INCH CALIPER + PROPOSED UNDERSTORY TREES
 TOTAL TREES TO BE REMOVED AND REPLACED: 5 PALMS

Prepared By:

PlaceMaker
Design Studio, LLC
1800 Lee Road, Winter Park, Florida 32789
Phone: 772.764.0121
www.placemakerdesignstudio.com

Prepared For:

ICON Residential
1800 Lee Road, Winter Park, Florida 32789
Contact: Ryan Huchins
Phone: 813.348.8888

Project No. 1800 Lee Road, Winter Park, Florida 32789
Drawing No. 1800 Lee Road, Winter Park, Florida 32789

LEE ROAD TOWNHOMES

1800 LEE ROAD WINTER PARK, FLORIDA

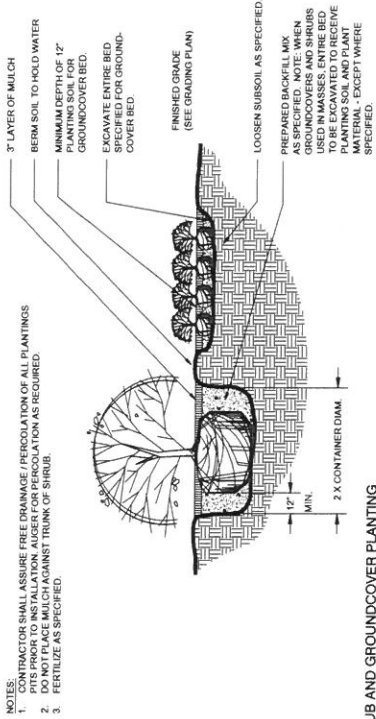
CONCEPTUAL LANDSCAPE PLAN
CONDITIONAL USE SUBMITTAL

NOT FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN APPROVED
AND ARE SUBJECT TO CHANGE.

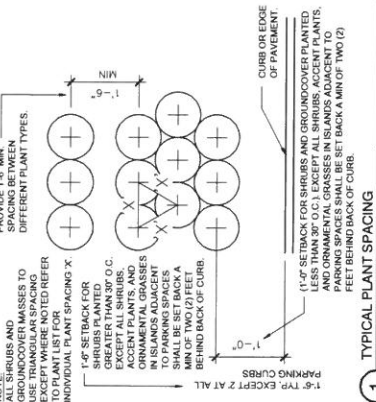
REV.	DATE	DESCRIPTION
1	FEBRUARY 22, 2015	DATE
2	FEBRUARY 22, 2015	JOB NO.
3	FEBRUARY 22, 2015	DRAWN BY:
4	FEBRUARY 22, 2015	CHECKED BY:
5	FEBRUARY 22, 2015	SHEET NO.

PLANTING DETAILS

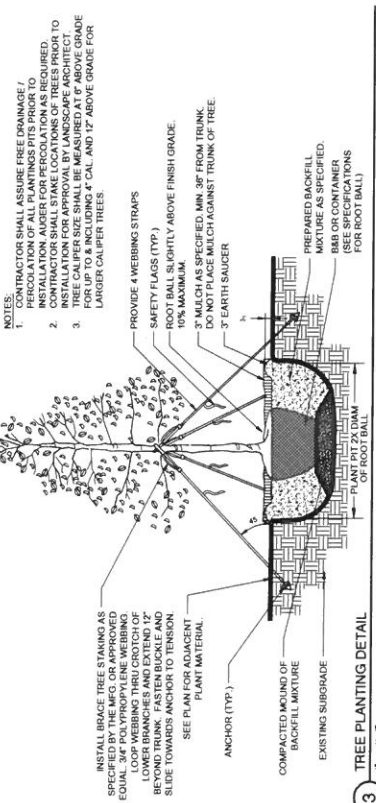
L2



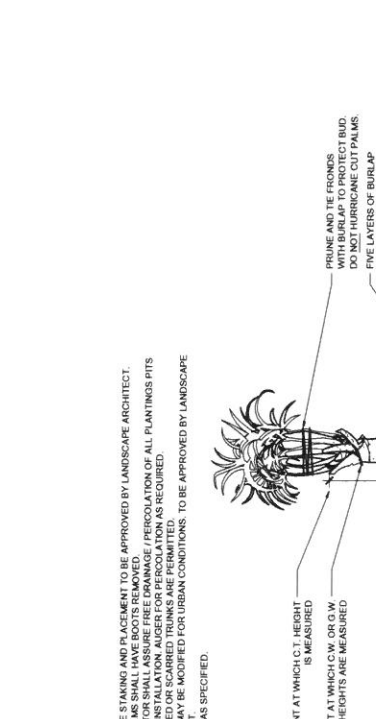
2 SHRUB AND GROUND COVER PLANTING
1" = 1'-0"



1 TYPICAL PLANT SPACING
1" = 1'-0"



3 TREE PLANTING DETAIL
1" = 1'-0"



4 PALM PLANTING DETAIL
N.T.S.

CALL SUNSHINE
BEFORE YOU DIG!
ITS THE LAW IN FLORIDA
FOR ANY EXCAVATION DEEPER THAN 4 FEET
OR ANY EXCAVATION THAT IS TO BE OPEN FOR
LONGER THAN 15 DAYS, YOU MUST OBTAIN
A PERMIT FROM THE FLORIDA DEPARTMENT OF
TRANSPORTATION AND CONSTRUCTION.

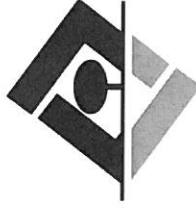
1800 Lee Rd. Townhomes

City of Winter Park, Florida Parcel I.D. #
01-22-29-5224-00-006,007,010,045,086,087,089,091,109

for



by



G L SUMMITT
—ENGINEERING INC—

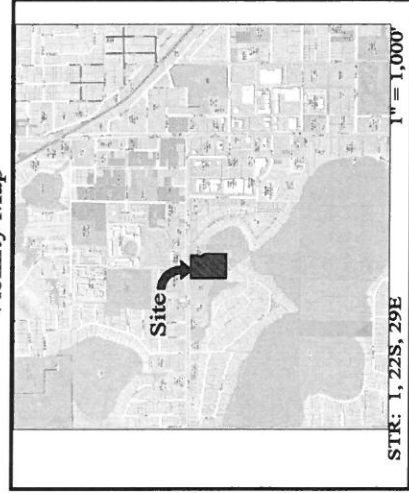
Project Team

Owner Or 1800 Associates, LTD 3137 Nw 163rd St. North Miami Beach, FL 33160 Ph: (407) 704-6101	Surveyor Ralph Thomas Snow, PSM 2424 Best History Circle Longwood FL 32779 Ph: (407) 704-6101	Civil Engineer ICON Residential 2190 Belcher Rd. S Suite B Largo, FL 33771 Ph: (813) 541-1821	Landscaper ICON Residential 2190 Belcher Rd. S Suite B Largo, FL 33771 Ph: (813) 541-1821	Landscaper Architect Architectural Design Studio, LLC 10000 E. Bay Blvd. Suite 301 Clearwater, FL 33759 Ph: (737) 724-6124	Environmental G L Summitt Engineering, Inc. 2002 S. Robinson St. Orlando, FL 32803 Ph: (407) 804-5969
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Utilities

Drinking Water City of Winter Park 401 S. Park Ave. Winter Park, FL 32789 Ph: (407) 599-3220	Sanitary Sewer City of Winter Park 401 S. Park Ave. Winter Park, FL 32789 Ph: (407) 599-3220	Garbage Disposal City of Winter Park 401 S. Park Ave. Winter Park, FL 32789 Ph: (407) 599-3220	Power City of Winter Park 401 S. Park Ave. Winter Park, FL 32789 Ph: (407) 599-3220	Telephone City of Winter Park 1222 S. Division St. Orlando, FL 32805 Ph: (407) 237-3046	Cable Bright House Networks 844 Magnolia Rd. Orlando, FL 32817 Ph: (407) 532-4109	Gas People's Gas 600 W. Robinson St. Orlando, FL 32801 Ph: (407) 423-4662
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Vicinity Map



Drawing Index

No.	Title	Revised
1	Coversheet	02-22-15
2	Symbols & Abbreviations	02-22-15
3	Boundary & Topo Survey	02-22-15
4	General Notes	02-22-15
5	Overall Site Plan	02-22-15
6	Existing Conditions Plan	02-22-15
7-8	Detailed Site Plans	02-22-15
9-10	Utility Plans	02-22-15
11-12	Paving & Drainage Plans	02-22-15
13	General Details	02-22-15



G L SUMMITT
—ENGINEERING INC—
Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
Tel: (407) 992-8650
Fax: (407) 992-8650
www.GLSummitt.com



ICON Residential, Inc.
2190 Belcher Rd. S
Suite B
Largo, FL 33771
(813) 541-1821

1800 Lee Road
Townhomes
City of Winter Park, Florida

Preliminary
Development Plan

Coversheet

GEORGEY L. SUMMITT, P.E.
Professional Engineer No. 24,201
Date of Registration 02/22/15
Certificate of Authorization #29046

Revisions	
No.	Description
1	
2	
3	
4	
5	
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12	
13	

SHEET NUMBER
1 OF 13



G. L. SUMMITT
ENGINEERING, INC.
Office: Lake Mary
1400 Lake Mary Blvd., Suite 307
Lake Mary, Florida 32746
Phone: 407-333-0703
Fax: 407-992-8510
www.gls.com



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2190 Belcher Rd. S
Suite B
Largo, FL 33771
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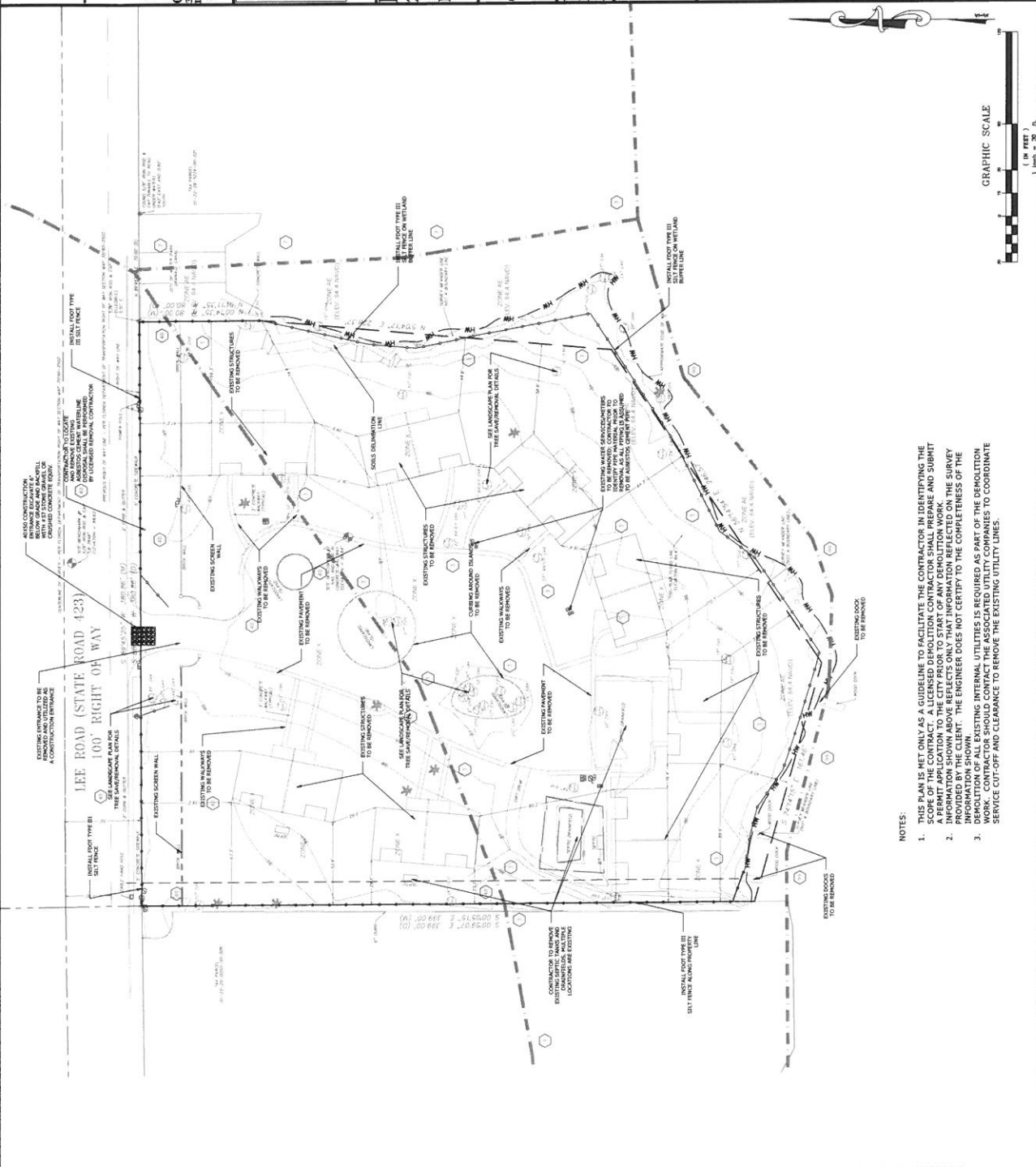
**Preliminary
Development Plan**

**Existing
Condition
Plan**

Drawn and Sealed Below:
GEORGEY L. SUMMITT, P.E.
Date: February 22, 2015
FL Registration No. 12172

Revisions	
No.	Description
1	
2	
3	
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SHEET NUMBER
6 OF 13



REVISIONS - GENERAL COMMENTS:

1. THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LINES AND LOCATIONS AND REPORT TO THE ENGINEER ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WINTER PARK AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE CONSTRUCTION OF THE PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WINTER PARK AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE CONSTRUCTION OF THE PROJECT.
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EROSION & SEDIMENT CONTROL NOTES (SEE 10)

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WINTER PARK AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE CONSTRUCTION OF THE PROJECT.
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TURBIDITY MONITORING REQUIREMENTS

CONSTRUCTION TURBIDITY MONITORING SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF WINTER PARK AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR THE CONSTRUCTION OF THE PROJECT.



G L SUMMITT
ENGINEERING INC
Office: Lake Mary
2407 Hillsummon Parkway
Lake Mary, FL 32746
Phone: 407-333-7700
Fax: 407-592-8650
www.gls.com



ICON Residential, Inc.
2190 Belcher Rd. S
Suite B
Largo, FL 33771
(813) 541-1821

**1800 Lee Road
Townhomes**
City of Winter Park, Florida

**Preliminary
Development Plan**

**Detailed
Site Plan**
2

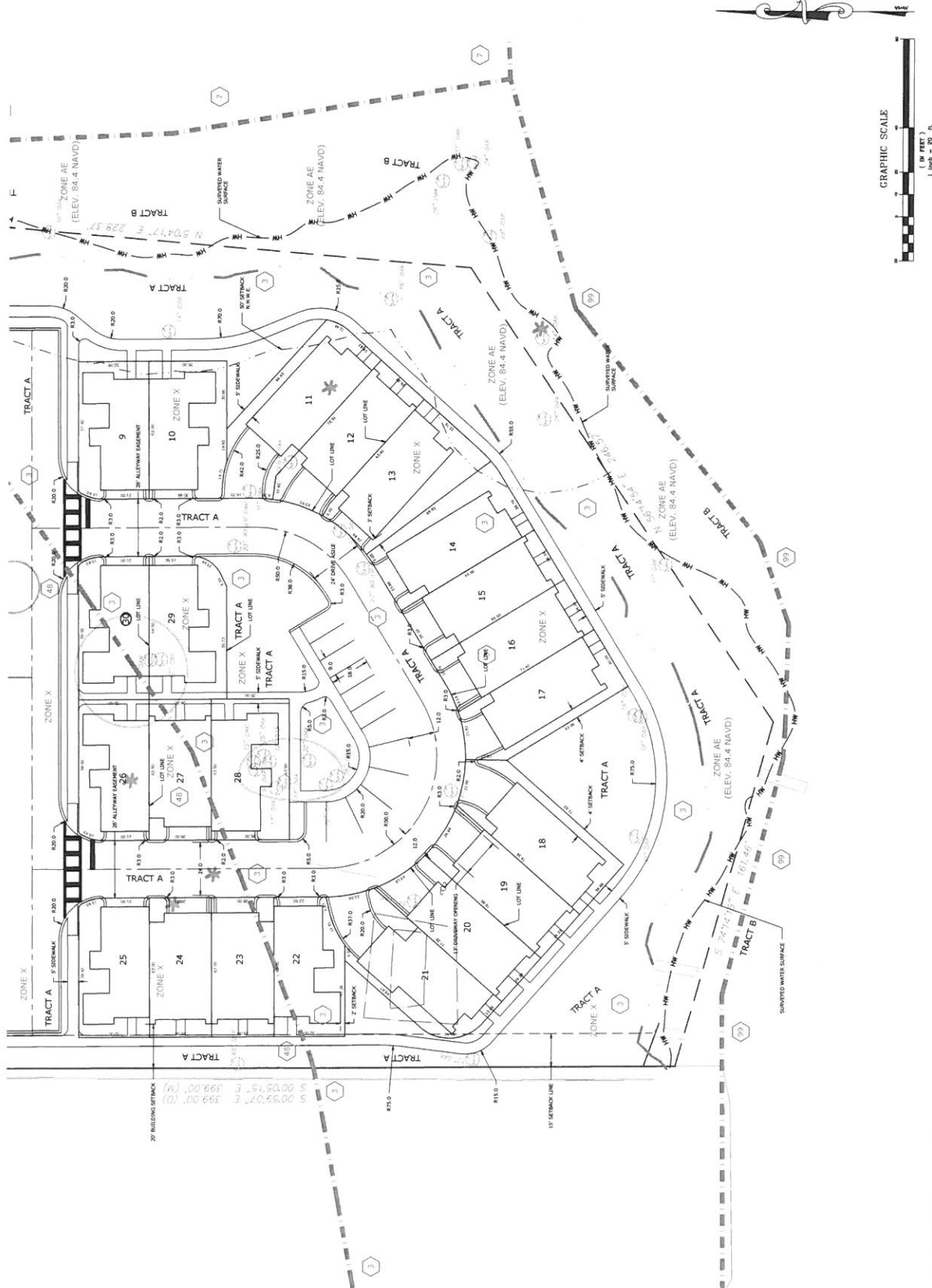
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Drawn and sealed below.

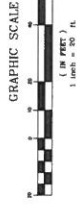
GEORREY L. SUMMITT, P.E.
P.E. Registration #29775
Outside of Jurisdiction #29665

Revisions	
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SHEET NUMBER
8 OF 13

SEE SHEET 7 OF 13





G L SUMMITT
ENGINEERING INC.
Office: Lake Mary
3667 Silimonten Place
Lake Mary, FL 32746
Phone: 407-333-9746
Fax: 407-992-8650
www.gls.com

ICON
RESIDENTIAL

ICON Residential, Inc.
2190 Belcher Rd. S
Suite B
Largo, FL 33771
(813) 941-1821

1800 Lee Road
Townhomes
City of Winter Park, Florida

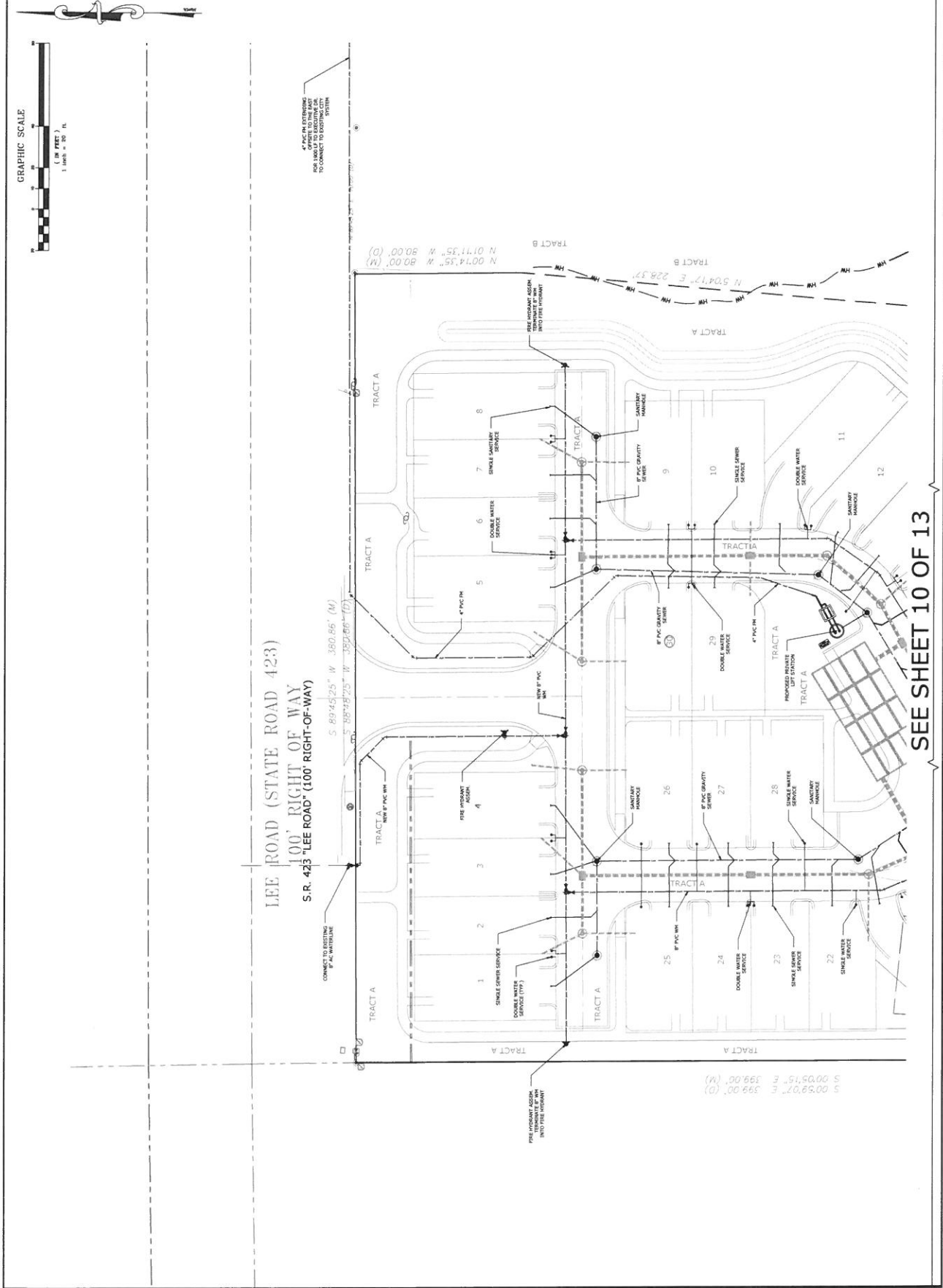
Preliminary
Development Plan

Utility
Plan 1

Printed and sealed below.
DATE: February 22, 2015
BY: [Signature]
GEOFFREY L. SUMMITT, P.E.
Certificate of Authorization #20045

Revisions	
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SHEET NUMBER
9 OF 13



SEE SHEET 10 OF 13



G L SUMMITT
ENGINEERING INC
Office: Lake Mary
3607 Silimonten Place
Lake Mary, FL 32746
Phone: 407-323-9705
Fax: 407-593-8650
www.gls.com



ICON Residential, Inc.
2190 Belcher Rd. S
Suite B
Largo, FL 33771
(813) 941-1821

**1800 Lee Road
Townhomes**
City of Winter Park, Florida

**Preliminary
Development Plan**

**Utility
Plan 2**

GEOFFREY L. SUMMITT, P.E.
Date: February 22, 2012
FL Registration #8773
Certified of Authorization #29665

Please see next column for
Printed and sealed below.

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**SHEET NUMBER
10 OF 13**

SEE SHEET 9 OF 13



NEW FIRE EXTINGUISHER
CABINET AT TOWNHOMES
WATERMETER LOCATION

5 00'59'07" (0)
5 00'59'15" (1)
5 00'59'23" (2)
5 00'59'31" (3)
5 00'59'39" (4)
5 00'59'47" (5)
5 00'59'55" (6)
5 00'59'03" (7)
5 00'59'11" (8)
5 00'59'19" (9)
5 00'59'27" (10)
5 00'59'35" (11)
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5 00'59'59" (14)
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5 00'59'35" (26)
5 00'59'43" (27)
5 00'59'51" (28)
5 00'59'59" (29)
5 00'59'07" (30)
5 00'59'15" (31)



G L SUMMITT
ENGINEERING INC
Office: Lake Mary
3667 Sturston Place
Lake Mary, FL 32746
Phone: 407-323-0705
Fax: 407-992-8650
www.GLSummitt.com

ICON
RESIDENTIAL

ICON Residential, Inc.
2190 Belcher Rd. S
Suite B
Largo, FL 33771
(813) 941-1821

1800 Lee Road
Townhomes
City of Winter Park, Florida

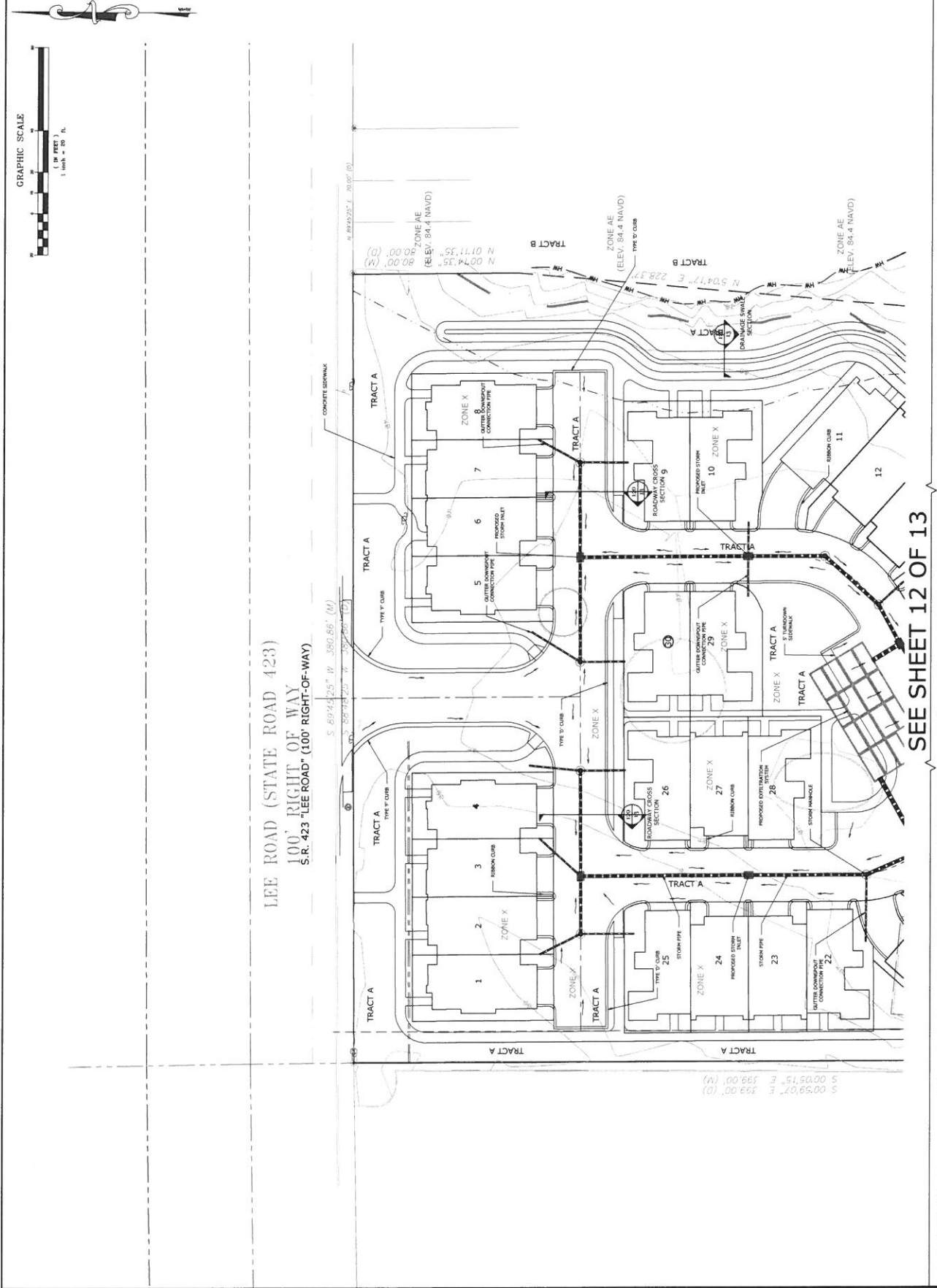
Preliminary
Development Plan
Paving &
Drainage
Plan I

Printed and sealed below.
GEOFFREY L. SUMMITT, P.E.
Date: February 22, 2015
FL Registration #27975
Certificate of Authorization #29665

Revisions

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SHEET NUMBER
11 OF 13



SEE SHEET 12 OF 13



G.I. SUMMITT
ENGINEERING INC.
Office: Lake Mary
3667 Shiloh Road, Suite 300
Lake Mary, Florida 32746
Phone: 407-992-4650
www.gisummitt.com



ICON Residential, Inc.
2190 Belcher Rd. S
Suite B
Largo, FL 33771
(813) 541-1821

**1800 Lee Road
Townhomes**
City of Winter Park, Florida

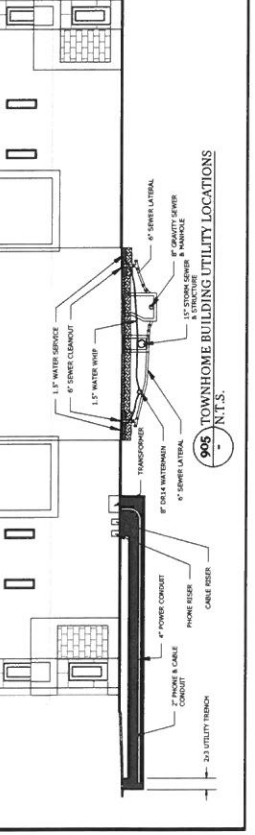
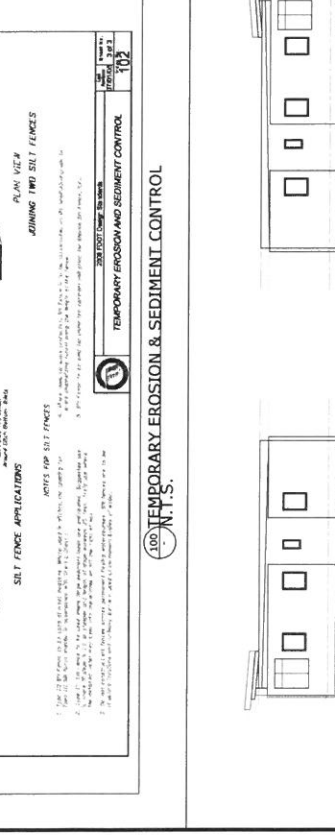
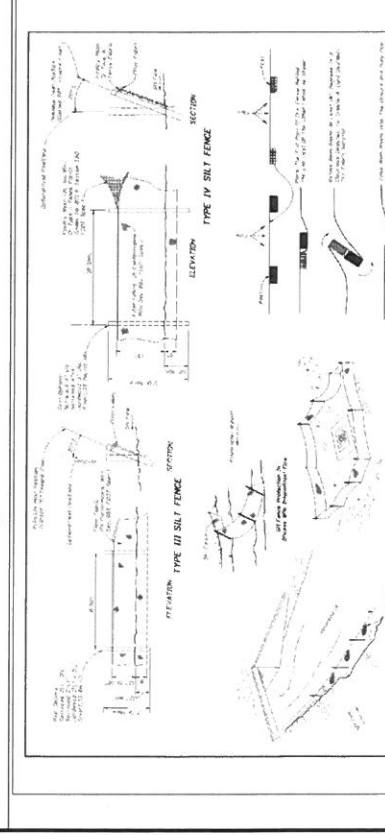
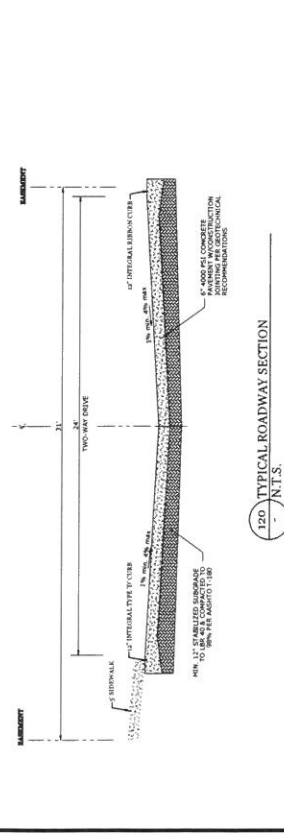
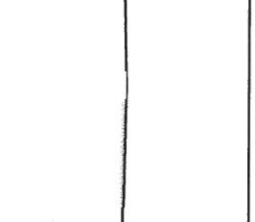
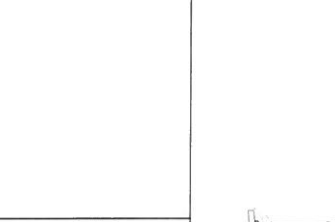
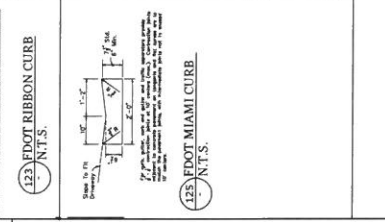
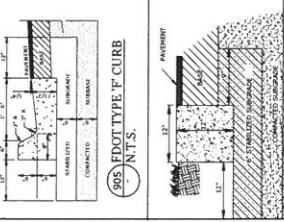
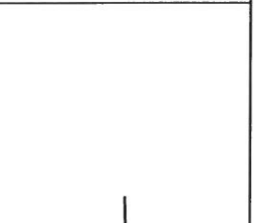
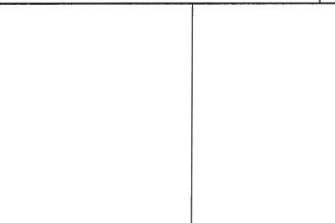
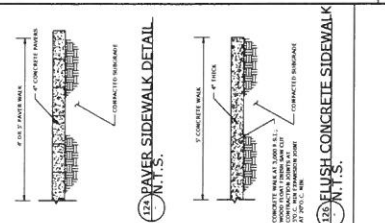
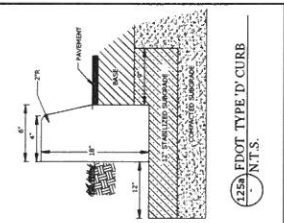
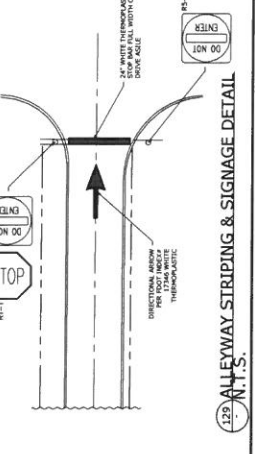
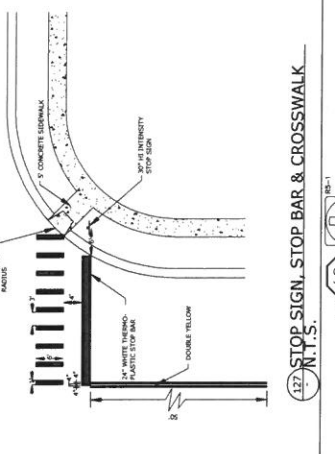
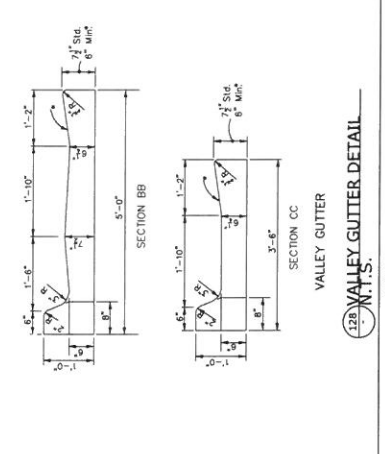
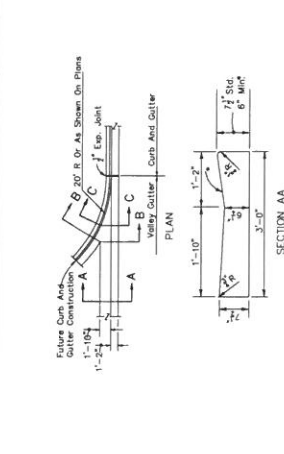
**Preliminary
Development Plan**

**General
Details 1**

Printed and sealed before
G. I. SUMMITT, P.E.
Date: February 22, 2013
Project: 1800 Lee Road
City of Winter Park, Florida

NO.	DATE	DESCRIPTION
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SHEET NUMBER
13 OF 13



**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
May 5, 2015**

SPR 2:15 Request of Mr. Sam Sebaali & Ms. Clara Herrera for approval of a new two-story single-family home located at 1205 Via Del Mar on Lake Tuscany.

Mr. Sam Sebaali & Ms. Clara Herrera (owners), are requesting approval for a new two-story single-family home at 1205 Via Del Mar on Lake Tuscany. This 13,933 sq. ft. lot has an existing home to be removed for this new project.

The new proposed two-story home with walkout basement on the lakeside will be 5,075 sq. ft., not including the 1,852 sf basement, which does not count in the FAR. Otherwise the home is at a FAR of 36.6% within the allotted bonus 38% FAR. Using the larger maximum FAR (38% vs. 33%) requires larger side setbacks. This new home will have impervious lot coverage of 6,614 sq. ft. or 47.5% within the maximum 50%.

TREE PRESERVATION: There is one older large hickory tree on the western side property line that is to be removed. The landscape plan shows a new live oak tree in the front yard, ten new cypress trees and some other tree plantings to be added to a largely un-landscaped property at this time.

VIEW FROM THE LAKE: This lot has some seven feet of grade drop throughout the length of the home from the front to the lakeside of the pool deck. They are overcoming or using the grade drop to their advantage by building the walkout basement. That drops the swimming/lap pool down to grade so that it is only one foot above grade on the lakeside.

VIEW OF NEIGHBORS: This new home and swimming/lap pool occupies all of the buildable area from the front setbacks to the minimum 50 foot lakefront setback. As such this new home is about 32 feet closer to the lake than the adjacent home to the west at 1129 Via Del Mar (Loulou Hires). A new home is being built for Darren Frost to the east but that home's lake view is not affected by this construction due to the angle of the lakefront. A copy of the plans and meeting notices have been mailed to both owners.

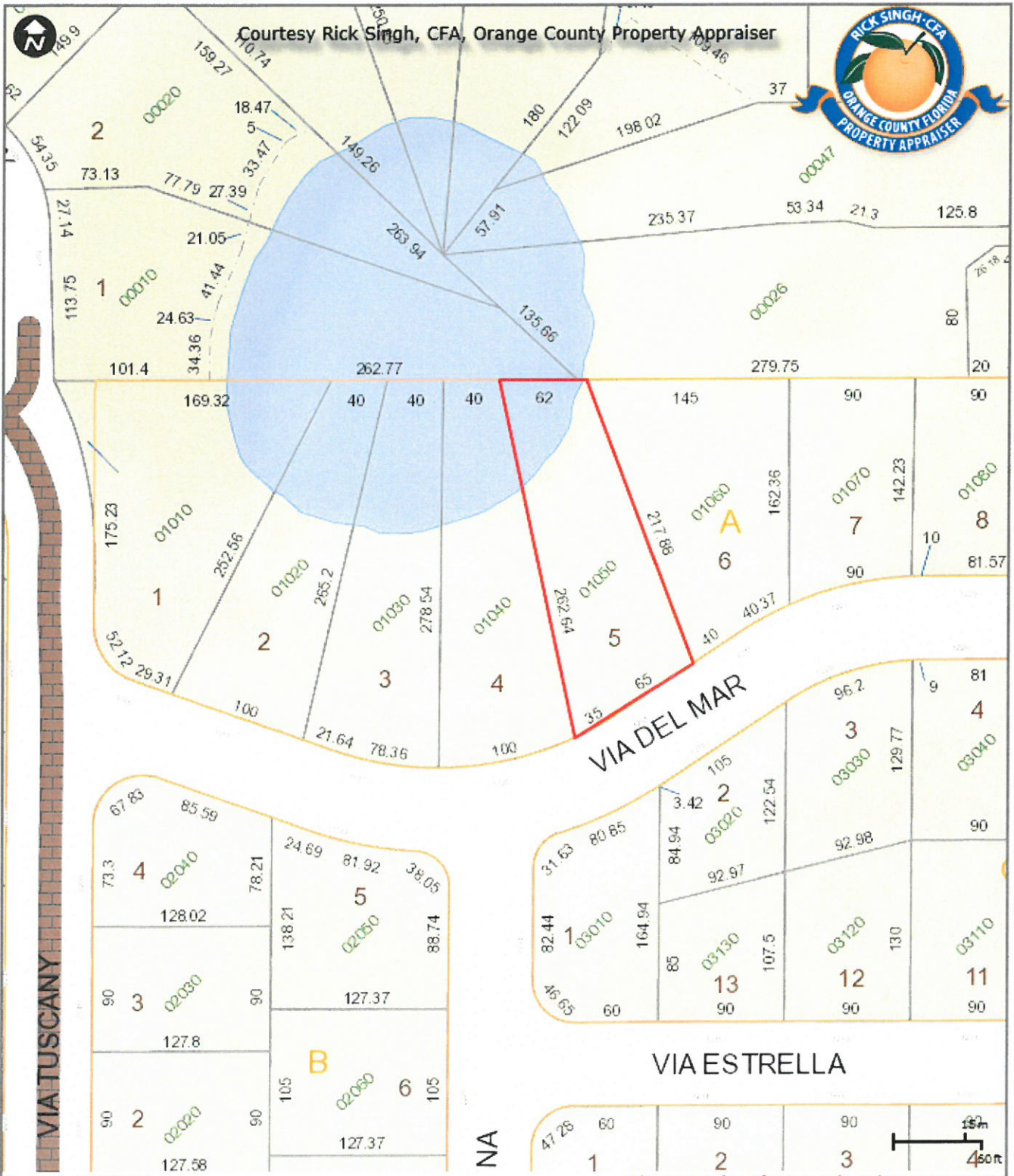
STORM WATER RETENTION: In order to insure that no storm water runoff impacts either neighbor, the rainfall runoff will be carried down to the lakefront via inlets and pipes on both sides of the new home. On the lakefront, a storm water retention swale has been engineered to achieve the required retention. Also to insure no impacts on the neighbors, both property lines will have a low 8 inch concrete block retaining wall to block any runoff and then there will be an open aluminum privacy fence on top of that curb/wall.

STAFF RECOMMENDATION IS FOR APPROVAL

OCA Web Map

- | | | | | | | |
|-------------------------|--------------|---------------------------------|--------------------------|-----------------------------------|------------------|----------------|
| Florida Turnpike | Major Roads | Proposed Road | Residential | Commercial/Industrial/Vacant Land | Parke | Lot Number |
| Interstate 4 | Public Roads | Brick Road | Agriculture | Agricultural Curtilage | Lakes and Rivers | Parcel Number |
| Toll Road | Gated Roads | Block Line | Commercial/Institutional | Hydro | Building | Parcel Address |
| Road Under Construction | Lot Line | Governmental/Institutional/Misc | Waste Land | Block Number | Parcel Dimension | |

Courtesy Rick Singh, CFA, Orange County Property Appraiser



Created: 4/23/2015

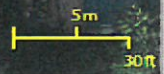
This map is for reference only and is not a survey.

OCPA Web Map

Major Roads	Proposed Road	Residential	Commercial/Industrial Vacant Land	Parks	6 Lot Number
Florida Turnpike	Brick Road	Agriculture	Agricultural Curtilage	Lakes and Rivers	06060 Parcel Number
Interstate 4	Gated Roads	Commercial/Institutional	Hydro	Building	3106 Parcel Address
Toll Road	Road Under Construction	Governmental/Institutional/Misc	Waste Land	E Block Number	111.9 Parcel Dimension
	Lot Line				



Courtesy Rick Singh, CFA, Orange County Property Appraiser

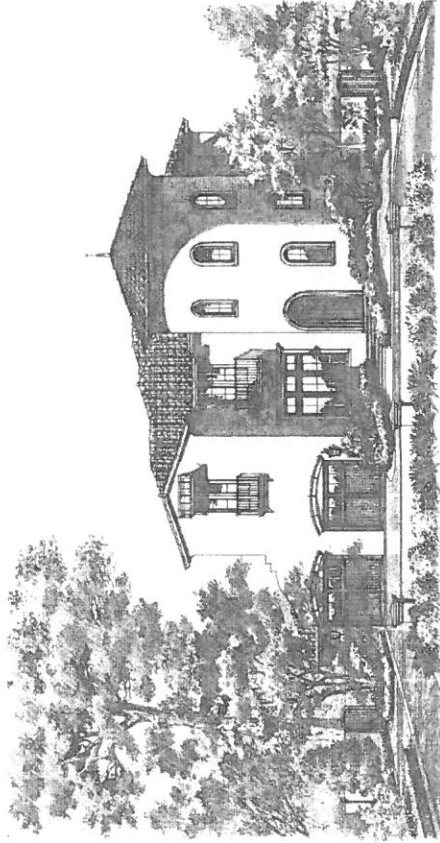


Created: 4/23/2015

This map is for reference only and is not a survey.

SEBAALI-HERRERA RESIDENCE

ON LAKE TUSCANY
WINTER PARK, FLORIDA



VIA DEL MAR VIEW



LAKE TUSCANY VIEW

SHEET INDEX

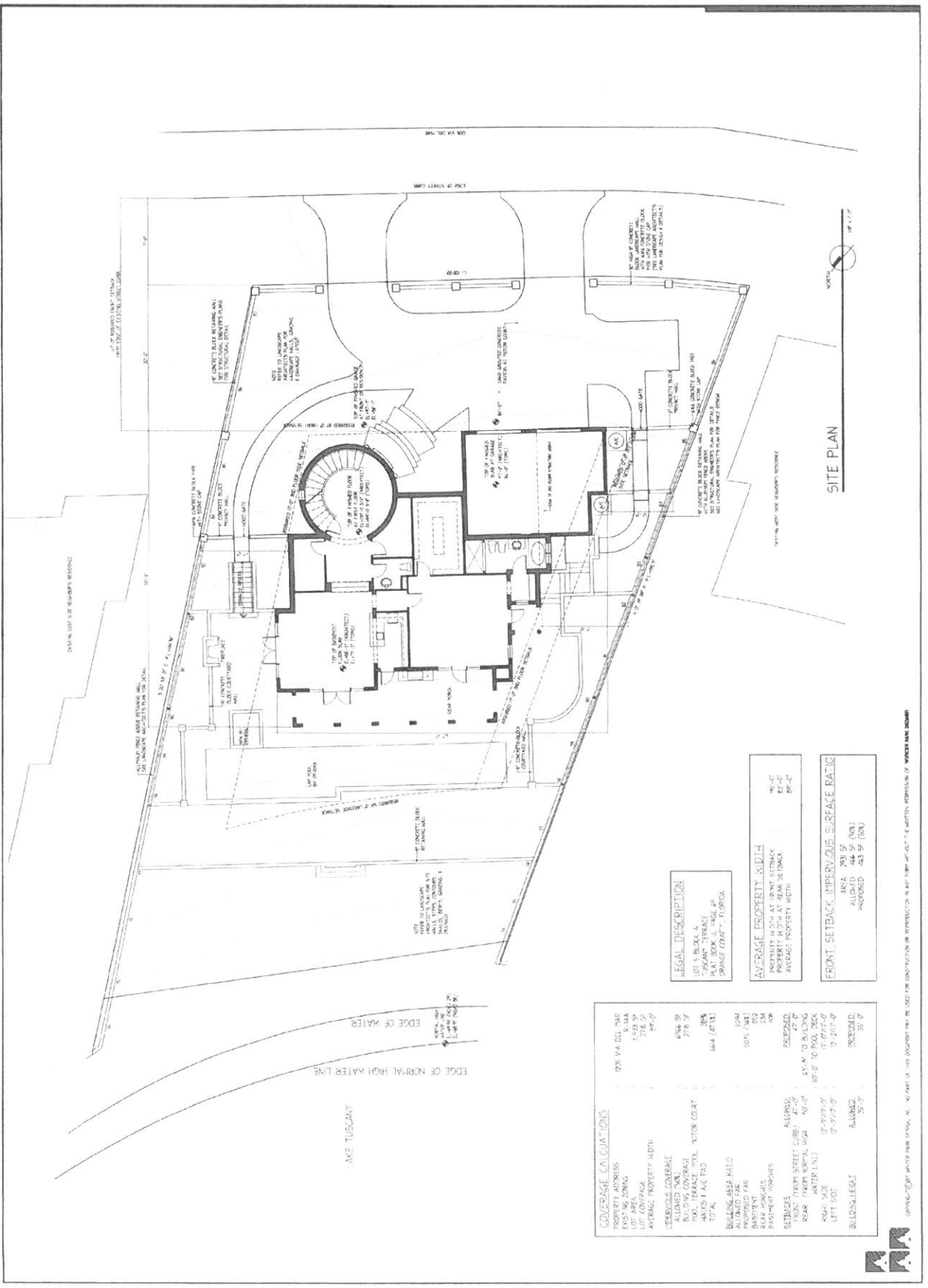
- CS COVER SHEET
- SS-1 SITE SURVEY
- C-1 GRADING & DRAINAGE PLAN
- C-2 GRADING & DRAINAGE NOTES, CALCULATIONS, & DETAILS
- LA-1 LANDSCAPE PLAN
- LA-2 PLANT SCHEDULE
- 1 ARCHITECTURAL SITE PLAN
- 2 FIRST FLOOR PLAN
- 3 SECOND FLOOR PLAN
- 4 BASEMENT FLOOR PLAN
- 5 FIRST FLOOR REFLECTED CEILING PLAN
- 6 SECOND FLOOR REFLECTED CEILING PLAN
- 7 BASEMENT REFLECTED CEILING PLAN
- 8 FRONT ELEVATION
- 9 LAKESIDE ELEVATION
- 10 RIGHT SIDE ELEVATION
- 11 LEFT SIDE ELEVATION
- 12 ROOF PLAN



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VIA DEL MAR RESIDENCE WINTER PARK, FLORIDA

DATE	11/11/11
SHEET NO.	1
PROJECT NO.	11-001
SCALE	AS SHOWN
DRAWN BY	MM
CHECKED BY	MM
DATE	11/11/11



LEGAL DESCRIPTION

LOT 5, BLOCK A,
 "VIA DEL MAR" TERRACE
 PLAT BOOK 1, PAGE 40
 COUNTY OF WINDY HILL, FLORIDA

AVERAGE PROPERTY WIDTH

AREA 703 SF (50%)
 PROPOSED 483 SF (50%)

FRONT SETBACK, IMPERVIOUS SURFACE RATIO

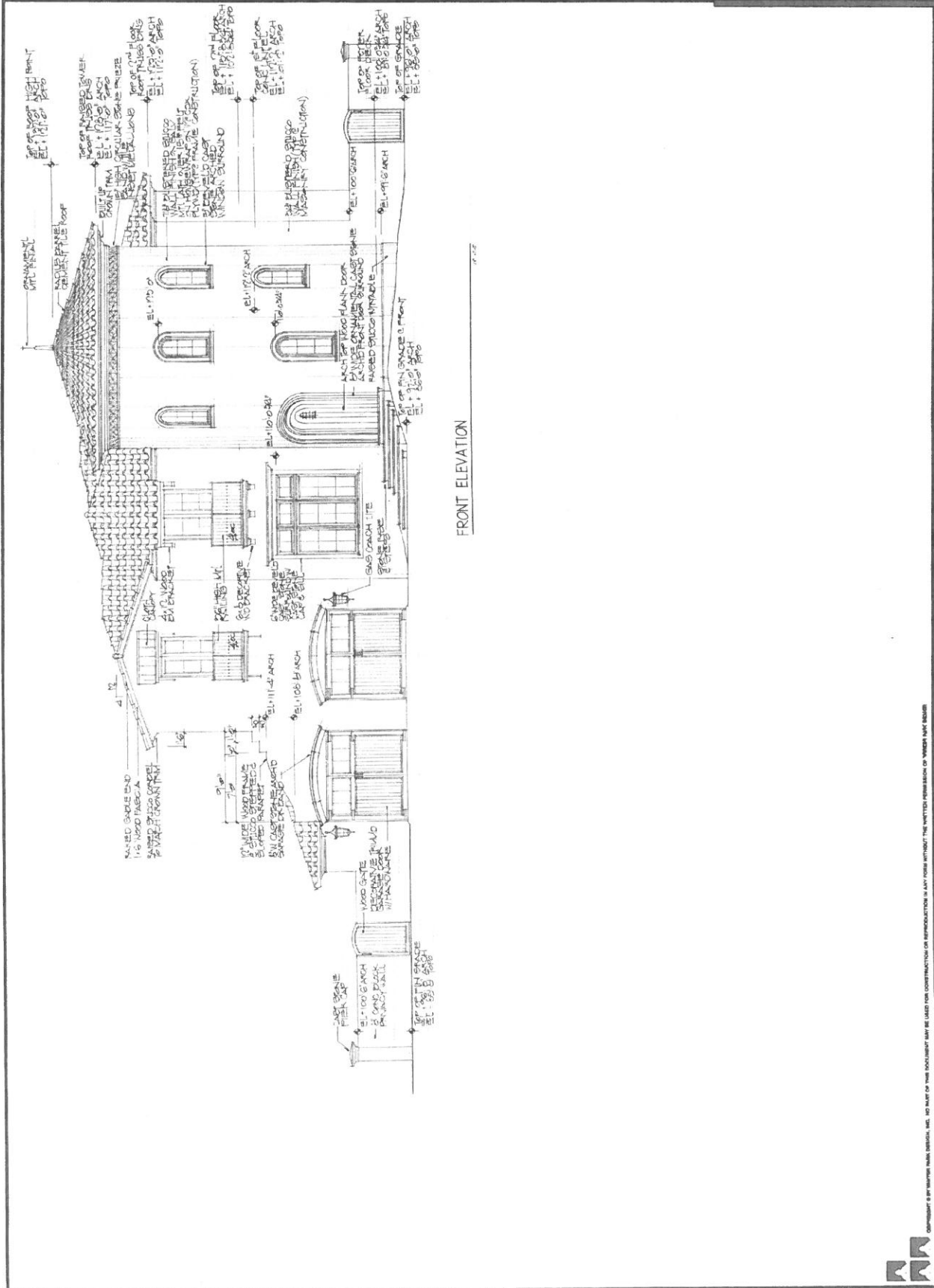
AREA 703 SF (50%)
 PROPOSED 483 SF (50%)

COVERAGE CALCULATIONS

775 VIA DEL MAR	5784
EXISTING ZONING	RS-10
LOT AREA	13,433 SQ FT
LOT COVERAGE	778 SF
AVERAGE PROPERTY WIDTH	84'-0"
PERMITTED COVERAGE	634 SF
ALLOWED COVERAGE	778 SF
POOL, TERRACE, PATIO, WALKWAY	38%
MAXIMUM ALLOWED PATIO	1444 (47.3%)
BUILDING AREA RATIO	5784
ALLOWED FAR	50%
BASINETS	25%
REAR PORCHES	45%
POST-VENT ROOFS	45%
SETBACKS	EXCEEDED
FRONT YARD SETBACK (MIN)	20'-0"
FRONT YARD SETBACK (MAX)	50'-0"
REAR SETBACK (MIN)	5'-0"
REAR SETBACK (MAX)	10'-0"
RIGHT SIZE WATER LINE	EXCEEDED
RIGHT SIDE	12'-0"
LEFT SIDE	12'-0"
BUILDING HEIGHT	ALLOWED
MAXIMUM	35'-0"

CONTRACTOR SHALL MAINTAIN EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR RECONSTRUCTION OF ANY UTILITIES DAMAGED OR INTERFERED WITH BY THE PROPOSED CONSTRUCTION. SEE SPECIFICATIONS FOR DETAILS.

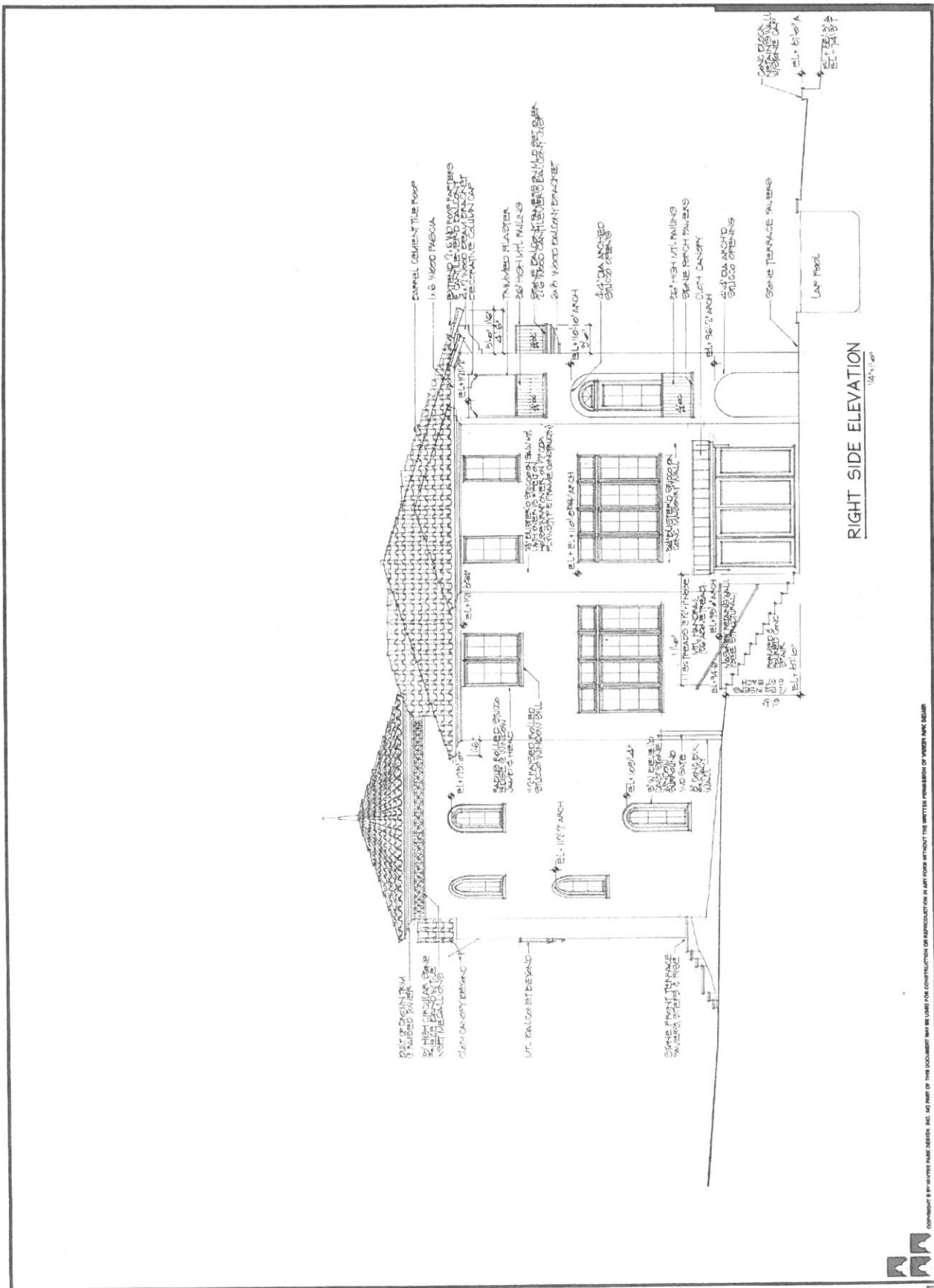




FRONT ELEVATION



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RIGHT SIDE ELEVATION

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