

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
April 7, 2015**

REQUEST OF PHILIP KEAN FOR: CONDITIONAL USE APPROVAL UNDER THE CLUSTER HOUSING PROVISIONS OF THE R-2 ZONING DISTRICT TO ALLOW THE CONSTRUCTION OF THREE, TWO-STORY TOWNHOUSE UNITS ON THE PROPERTIES AT 1047 AND 1049 NORTH KENTUCKY AVENUE, ZONED R-2.

Philip Kean and Bradley Grosberg are the recent purchasers of the properties at 1047 & 1049 N. Kentucky, which are on the northeast corner of N. Kentucky and Ward Avenues. This request is for Conditional Use approval to develop a three unit townhouse project on this property, zoned R-2. This is a Conditional Use because three or more units fall under cluster housing.

Site and Zoning Parameters: This is a 12,115 square foot property and the R-2 zoning permits one unit for each 4,000 square feet of land, thus permitting three residential units. There are two existing houses on this combined property. The development request increases density by one unit. These will be sold fee simple with a Homeowners Association for maintenance of the common elements.

Proposed Project: The project consists of three townhouses that will each be two stories in height. The total project size is 6,604 sq. ft. which is a FAR of 54.5% within the maximum R-2 FAR of 55%. The maximum building lot coverage (footprint) is 35% and the project is at 28.3%. The maximum impervious coverage is 65% and this project is at 53.1%. Building height is shown at 30 feet and the Code would permit 35 feet. The architectural style is contemporary with flat roof elements.

	R-2 Requirements	Project Proposal
Property Size		12,115 sq. ft.
Floor Area Ratio	Max. 55%	54.5%
Lot Coverage	Max. 35%	28.3%
Min.Open Space	Min. 35%	46.9%
Kentucky Avenue setback	25 feet	25 feet
Ward Avenue setback	20 feet	20 feet
Rear Alley Street setback	20 feet	20 feet
Interior Side setback	10 feet	105 feet

Bldg. Height	35 feet	30 feet
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There is a platted city alleyway between these properties that front on N. Kentucky Avenue and the properties that front on Fairbanks Avenue. It runs from Ward Avenue to Denning Drive. The site plan layout utilizes the city alleyway for access providing rear entry driveways from the alleyway into two car garages for each unit. This works to hide the cars from view and present a more attractive building image on the two streets. The two car garages are sized at 20 x 20.6 feet. Technically the parking requirement is 2.5 spaces per unit, so the rear driveways would also count toward meeting that parking requirement, as visitors could park in those driveways.

There are a number of existing trees on the property but except for the palm trees, the existing trees are in a very deteriorated condition. The staff will suggest a condition of approval to address replanting of significant replacement canopy for the 9-12 existing trees to be removed that are in deteriorated condition.

Storm Water Retention: The project will need to provide on-site storm water retention. At this preliminary stage, that plan has not been engineered but there is ample site area/yard, especially with the corner building setbacks to accomplish the required retention.

Staff Analysis of the Applicant's Requests:

Various city departments have reviewed this application including representatives from Planning & Community Development, Public Works, Electric Utility, Water and Wastewater Utilities, Fire, Urban Forestry, Parks & Recreation and City Administration. Given the small nature of this triplex project there were only a few departments with comments as follows:

Traffic Engineering: The alley needs to be improved and widened for the length of this project.

Electric Utility: There are power poles in the alley that will need to be removed and electric service to be put underground. An easement for a transformer location will need to be provided.

Urban Forestry Depts.: Compensation for tree removal will be determined at the time of a tree removal permit.

Comprehensive Plan policy and Cluster Housing criteria: There are some Comprehensive Plan policies that relate to this type of land use and project. Also this specific conditional use within the R-2 Zoning District has generalized criteria for these conditional uses which are referred to as "appearance review". Those Comprehensive Plan policies and Zoning Code sections are included as an appendix to this staff report.

The key element in these conditional use reviews is compatibility with the scale and character of the surroundings. Historically this neighborhood developed in the 1940's as small one story houses primarily due to the location and small lot sizes. However, all of the redevelopment and newer construction on South Kentucky Avenue has been two story houses or townhouse projects. The single family homes

in this neighborhood that are owner occupied are attractive and well maintained but not as much the case for the rental homes which dominate much the neighborhood. While this will be a large 6,600 square foot, two story structure, the owners could build the same size and scale of two individual 3,300 square foot single family homes with no conditional use or appearance review. To date, none of the redevelopment within this neighborhood has been subject to appearance review criteria.

It is important to note that this project location on the corner of N. Kentucky and Ward Avenues is directly adjacent to a Mobil Lube Express store, a Goodyear Tire/Car repair business and a two story office building to the north and west.

Summary: This project is located on the edge of a neighborhood and on the edge of commercial development. While the scale is much larger than the existing pattern of development, it is not realistic to expect redevelopment that will match the one story, 800-1,100 square foot homes that were developed in the 1940's. The project meets all the development standards of the R-2 zoning district and will have an attractive architectural appearance with garages/cars screened from view.

Staff Recommendation is for Approval with three conditions:

- 1. That the alleyway be paved and improved for the full width of the alley within the confines of this project.**
- 2. That the project replant seven new oak trees, evenly spaces along the N. Kentucky and Ward Avenue frontages.**
- 3. That the project remove the power poles in the alley area and underground electric and other utilities and provide an easement for an electric transformer to serve these three homes.**

Relevant Comprehensive Plan Policies:

Policy 1-2.2.2: Low-Density Residential. *This land use designation is designed to indicate areas to be zoned for and used for low density residential use. The compatible zoning district for this designation shall be the R-2 zoning district. The residential uses intended for these areas include single family homes, duplexes, and cluster housing that do not exceed one unit per 4,000 square feet of land which is approximately ten units per acre. The floor area ratio shall not exceed 0.55 (55%) and shall include the floor area of above grade, attached and unattached garages.*

Policy 1-3.6.3: Ensure Compatible Size, Form and Function are Achieved in Areas Designated Low-Density Residential. *Since much of the land designated Low-Density Residential is at densities up to ten (10) dwelling units per acre, the City shall enforce regulatory measures and develop additional land use and design standards to mitigate adverse impacts caused by varied types of uses and structures, such as single-family homes, duplexes, townhouses, and small apartments. The City shall apply the conditional use review process together with floor area ratio regulations within Low-Density Residential designated areas in order to avoid land use compatibility conflicts due to dissimilar building types, size, mass, articulation, and height. The City shall promote redevelopment and renovation in these areas but the City shall place restrictive controls on the height, size and coverage of duplex, townhouse, and apartment buildings and required off-street parking to ensure compatibility, achieve a smooth transition in density, and protect adjacent Single-Family Residential designated areas.*

Cluster Housing Appearance Review criteria:

Sec. 58-67. Low Density Residential (R-2) District

(e) *Conditional uses.* The following uses may be permitted as conditional uses only after review by the planning and zoning commission and approval by the city commission in accordance with the provisions of this article.

(2) Cluster housing, but not including garden apartments or density in a single building greater than defined for this use. Cluster housing on property, which is abutting or across the street from single family zoned property shall utilize a maximum floor area ratio of 45 percent. Cluster housing on property which is abutting single family zoned property shall provide the same rear yard setback as required in the abutting single family zoned property, except where the abutting single family zoned property is not used for residential purposes, such as churches, parks, community centers, etc.

(3) Appearance review shall be conducted during the cluster housing application process to ensure compatibility with surrounding neighborhoods and to encourage the development of traditional building elevations with low density single family residential appearance while allowing flexibility of building design and site layout. The intent of the appearance review is to apply the basic design considerations described below in a manner, which meets the criteria while allowing a variety of architectural styles. Specific architectural types shall not be mandated, but rather many housing styles are encouraged while minimizing any negative impacts, such as large building mass next to smaller buildings on surrounding properties. Extremely unusual styles, not prevalent in the city, shall be prohibited. They shall include but are not limited to: dome houses, homes constructed of cast in place concrete with exposed unfinished walls, pyramid homes, and similar unusual styles unless approved as part of the conditional use.

(4) The following parameters shall provide objective guidelines for preparing building plans for approval under the appearance review process:

- a. Building(s) layout: Each site must provide a layout, which maintains the scale of a single family dwelling with attention to yards and open space.
- b. Location and adequacy of parking: Parking must be located to the side and rear of the main dwellings with access from the rear through a private driveway or alley where possible.
- c. Exterior building finish: All finishes must be traditional siding, clapboard, stucco (or similar coating material), brick, cedar shakes (or similar alternate), finished block, board and battens, stone or combinations of these finishes.
- d. Roof shape: Roof patterns must be traditional standard shapes such as gable, hip, shed, gambrel, or flat with parapet walls.
- e. Fenestration: Window and door openings must blend with and be in balance with architecture of the building and not undersized or oversized for any street front elevation, such as a small, out of scale window next to a larger window.
- f. Porch/Balcony: Open porches or covered entry ways must be located on the street front side of the building with a minimum porch depth of seven feet for those cluster dwellings with street front locations. Balconies may project into a required setback by 3.5 feet.
- g. Building elevations: All street fronting elevations must provide approximately 15 percent window openings and provide a main entry for dwelling units with a street front location.
- h. Height of building: The relationship of the height of buildings to that of nearby structures shall be taken into consideration through designs which utilize stepped down roof areas if the new buildings are located among homes with one-story or lower building heights. However, the design may utilize the height allowed under the development standards.
- i. Use of impervious coverage: In achieving the 65 percent allowable impervious coverage, use of pervious paving materials may be utilized to enhance stormwater retention to the extent permitted by the city stormwater engineer. However, use of these materials shall not reduce the provision of landscaping on at least 25 percent of the property.
- j. Landscaping: All sides of property along street frontages shall be landscaped. The landscape plan shall be prepared by a licensed design professional and shall be submitted to the city for review and approval.
- k. Tree canopy and protection: Unless additional restrictions are imposed by the planning and zoning commission or city commission during the public review process, arbor control shall be regulated by the tree ordinance in section 58-281 et seq.
- l. Waste containers: Use of individual waste disposal containers shall be required, except that large solid waste containers may only be used for developments utilizing four units per building or larger. When large solid waste containers are provided, a decorative enclosure shall be provided so as to blend in with the architecture of the buildings.
- m. Alternative materials or designs may be considered during the appearance review process.

- Florida Turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- One Way
- Brick Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial/Institutional
- Governmental/Institutional/Misc
- Commercial/Industrial Vacant Land
- Hydro
- Waste Land
- Agricultural Curtilage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- Block Number
- Lot Number
- Parcel Number
- Parcel Address
- Parcel Dimension

Courtesy Rick Singh, CFA, Orange County Property Appraiser



































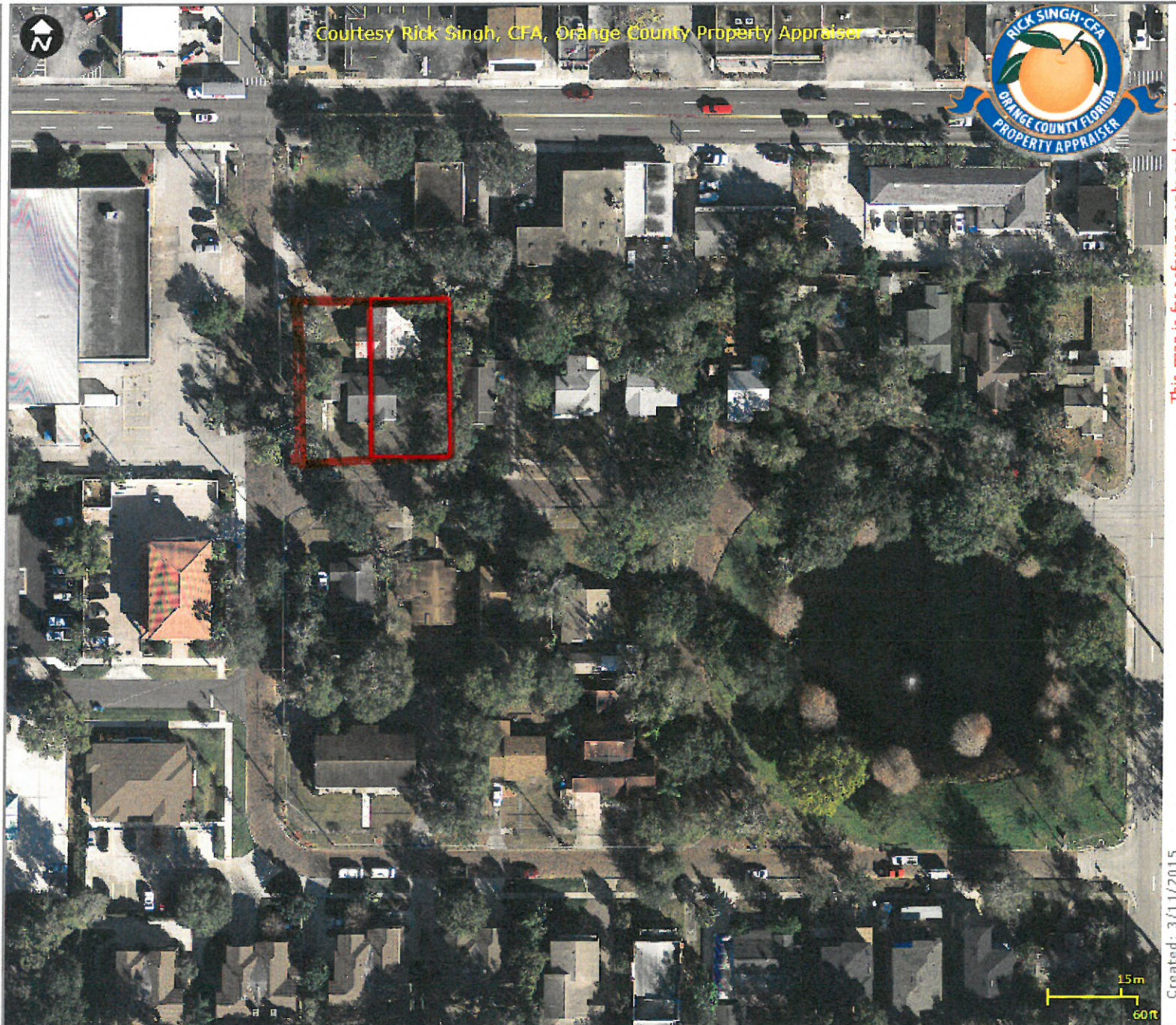
This map is for reference only and is not a survey.

Daily Traffic 4400

Created: 3/11/2015

JING DR

-  Florida Turnpike
-  Interstate 4
-  Toll Road
-  Major Roads
-  Public Roads
-  Gated Roads
-  Road Under Construction
-  Proposed Road
-  US Road
-  State Road
-  County Road
-  One Way
-  Brick Road
-  Proposed SunRail
-  Block Line
-  Lot Line
-  Residential
-  Agriculture
-  Commercial/
Institutional/
Governmental/
Institutional/Misc
-  Commercial/
Industrial Vacant
Land
-  Hydro
-  Waste Land
-  Agricultural
Curtilage
-  County Boundary
-  Parks
-  Golf Course
-  Lakes and Rivers
-  E
-  6
-  06060
-  3106
-  111.9



Courtesy Rick Singh, CFA, Orange County Property Appraiser



This map is for reference only and is not a survey.

Created: 3/11/2015

DESIGNER:

PHILLIPS DESIGN GROUP
ARCHITECTS & INTERIORS
1000 W. MAIN STREET
N. KY. 40018
(502) 261-0000 FAX (502) 261-0001

ENGINEER:

PROJECT:

PROPERTY AT CORNER OF
N. KENTUCKY AVE. AND WARD AVE.

PLAN HISTORY

DATE	DESCRIP.

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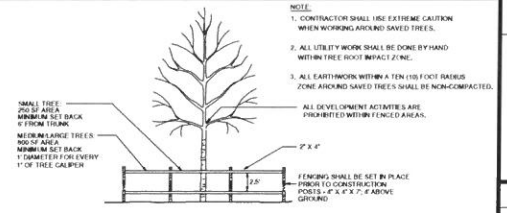
DESIGNED BY: PHIL KEAN
DRAWN BY: MITCH BURDEN

SHEET DESCRIP:

SITE PLAN

SHEET

AS



NOTE: FENCING SHALL BE AT LEAST 4' ABOVE GROUND AND MIN. OF 9' BELOW GRADE.

EACH TREE PROTECTION AREA SHALL HAVE A MINIMUM OF TWO SPUNS ATTACHED TO THE FENCE WHICH SHALL FACE TO THE EXTERIOR OF THE TREE PROTECTION AREA.

TREE PROTECTION DETAIL
N.T.A.

1947 & 1968 N. Main/Kentucky Avenue FAR and IRR Calculations

CALCULATIONS:

Zoning	R-2
Condition	2.2b(5)
MAX. Building Height	30'
Lot Size	12,415 SF

IMPERVIOUS Calculations

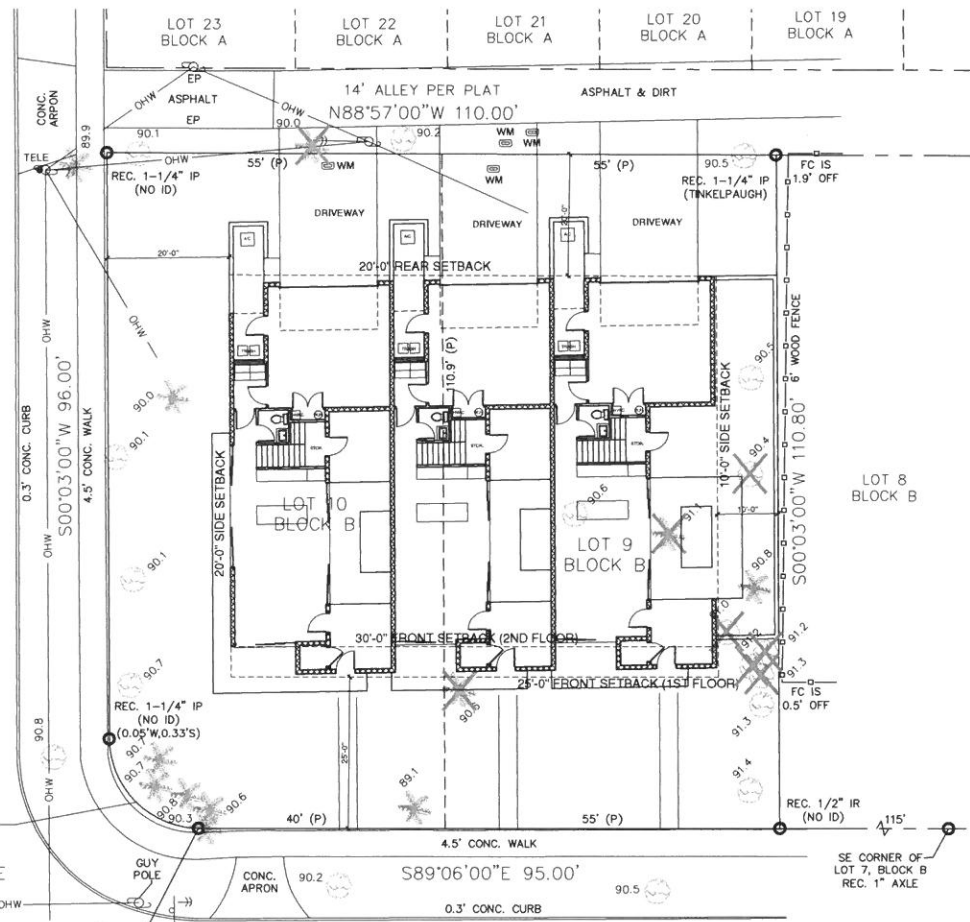
DEL./DESIGN	1st Floor	2nd Floor	ALLOWED	IMPERVIOUS PROVIDED	IMPERVIOUS DEFERENCE
Unit 'A'	875	0	875	0	0
Main Living	450	0	450	0	0
Garage	79	0	79	0	0
Land	104	0	104	0	0
Entry	43	0	43	0	0
Back Entry	38	0	38	0	0
Porch Walkway	85	0	85	0	0
Rear Driveway/Walkway	435	0	435	0	0
Patio/Pool	200	0	200	0	0
Unit 'B'	875	0	875	0	0
Main Living	450	0	450	0	0
Garage	79	0	79	0	0
Land	104	0	104	0	0
Entry	43	0	43	0	0
Back Entry	38	0	38	0	0
Porch Walkway	85	0	85	0	0
Rear Driveway/Walkway	435	0	435	0	0
Patio/Pool	200	0	200	0	0
Unit 'C'	875	0	875	0	0
Main Living	450	0	450	0	0
Garage	79	0	79	0	0
Land	104	0	104	0	0
Entry	43	0	43	0	0
Back Entry	38	0	38	0	0
Porch Walkway	85	0	85	0	0
Rear Driveway/Walkway	435	0	435	0	0
Patio/Pool	200	0	200	0	0
TOTAL	6,435 SF	0 SF	6,435 SF	0 SF	0 SF
Impervious Allowed	7,875 SF	0 SF	7,875 SF	0 SF	0 SF
Impervious Provided	6,435 SF	0 SF	6,435 SF	0 SF	1,440 SF
Impervious Deference	1,440 SF	0 SF	1,440 SF	0 SF	0 SF

FAR Calculations

DEL./DESIGN	1st Floor	2nd Floor	ALLOWED	FAR PROVIDED	FAR DEFERENCE
Unit 'A'	875	0	875	0	0
Main Living	450	0	450	0	0
Garage	79	0	79	0	0
Land	104	0	104	0	0
Entry	43	0	43	0	0
Back Entry	38	0	38	0	0
Unit 'B'	875	0	875	0	0
Main Living	450	0	450	0	0
Garage	79	0	79	0	0
Land	104	0	104	0	0
Entry	43	0	43	0	0
Back Entry	38	0	38	0	0
Unit 'C'	875	0	875	0	0
Main Living	450	0	450	0	0
Garage	79	0	79	0	0
Land	104	0	104	0	0
Entry	43	0	43	0	0
Back Entry	38	0	38	0	0
TOTAL	4,291 SF	0 SF	4,291 SF	0 SF	2,144 SF
Building Coverage Allowed @ 50%	4,240	0	4,240	0	0
Building Coverage Provided	4,229	0	4,229	0	11
Building Coverage Deference	11	0	11	0	0

Building Coverage

DEL./DESIGN	1st Floor	2nd Floor	ALLOWED	BUILDING COVERAGE TOTAL
Unit 'A'	875	0	875	0
Main Living	450	0	450	0
Garage	79	0	79	0
Land	104	0	104	0
Entry	43	0	43	0
Back Entry	38	0	38	0
Unit 'B'	875	0	875	0
Main Living	450	0	450	0
Garage	79	0	79	0
Land	104	0	104	0
Entry	43	0	43	0
Back Entry	38	0	38	0
Unit 'C'	875	0	875	0
Main Living	450	0	450	0
Garage	79	0	79	0
Land	104	0	104	0
Entry	43	0	43	0
Back Entry	38	0	38	0
TOTAL	4,291 SF	0 SF	4,291 SF	0 SF



R=15.00
CA=91'10"27"
L=23.87'
CB=S44°21'04"E
CH=21.43'

NORTH KENTUCKY AVENUE
(50' PUBLIC R/W PER PLAT)

PROPOSED SITE PLAN

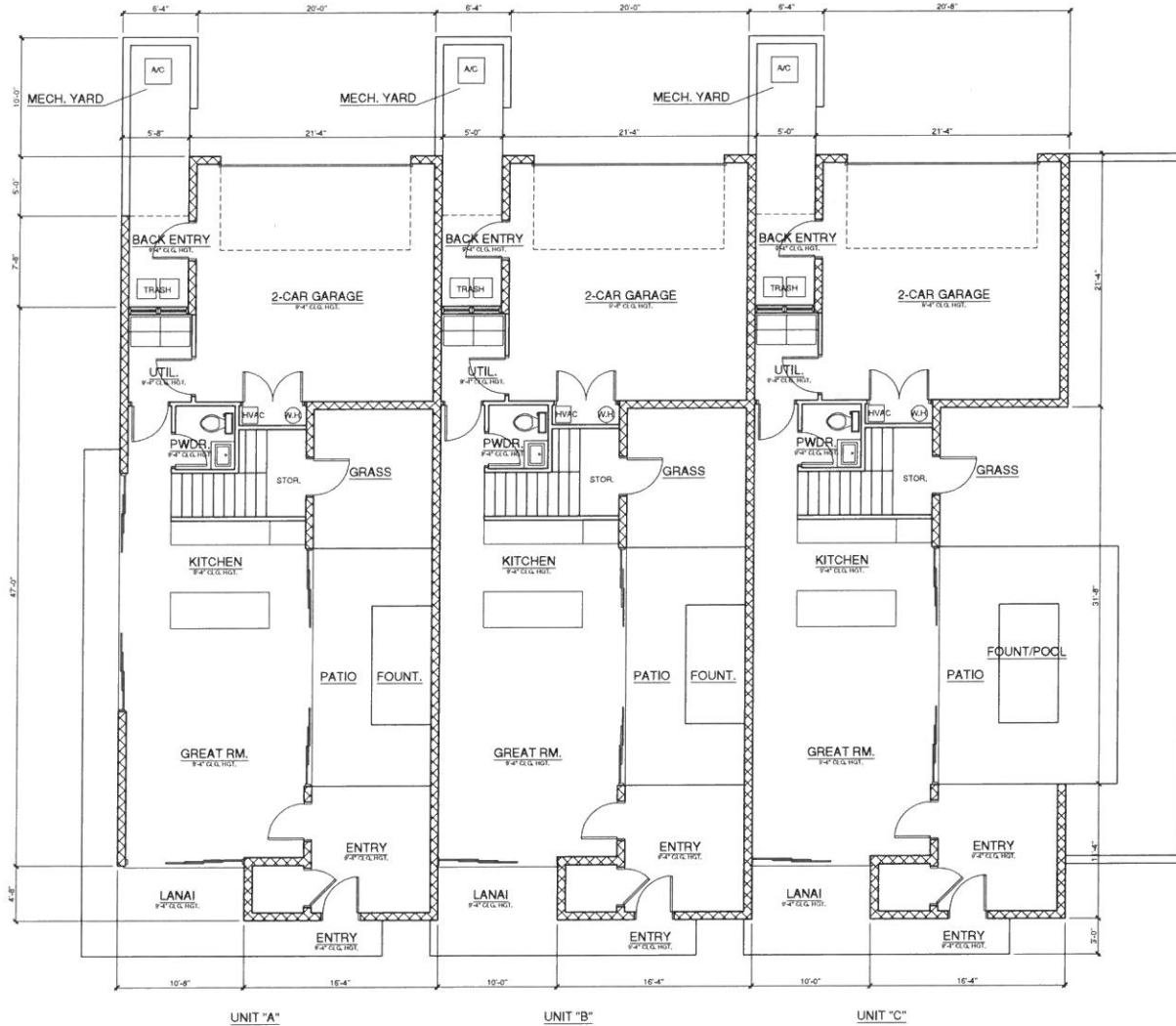
SCALE 1" = 30'-0"



BRICK ROAD
SITE BENCHMARK
N. RIM EL.: 89.98'

SE CORNER OF LOT 7, BLOCK B
REC. 1" AXLE

DWELLING / GARAGE SEPARATION (TABLE R302.6)	
SEPARATION	MATERIAL
FROM RESIDENCE AND ATTICS	NOT LESS THAN 5/8 INCH GYPSUM BOARD OR EQUIVALENT TO THE GARAGE SIDE
FROM HABITABLE ROOMS ABOVE GARAGE	NOT LESS THAN 1/2 INCH TYPE X GYPSUM BOARD OR EQUIVALENT
STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.



MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

UNIT "A"	
MAIN LEVEL	
AC	675
GARAGE	450
LANAI	104
ENTRY	175
BACK ENTRY	43
TOTAL UNDER ROOF	1447
UPPER LEVEL	
AC	1062
TOTALS	
TOTAL A.C.	1737
GARAGE	450
LANAI	104
ENTRY	175
BACK ENTRY	43
TOTAL UNDER ROOF	2509
PATIO/POOL	200
UNIT "B"	
MAIN LEVEL	
AC	675
GARAGE	450
LANAI	78
ENTRY	175
BACK ENTRY	36
TOTAL UNDER ROOF	1416
UPPER LEVEL	
AC	1047
TOTALS	
TOTAL A.C.	1781
GARAGE	450
LANAI	78
ENTRY	175
BACK ENTRY	36
TOTAL UNDER ROOF	2463
PATIO/POOL	200
UNIT "C"	
MAIN LEVEL	
AC	675
GARAGE	455
LANAI	78
ENTRY	182
BACK ENTRY	36
TOTAL UNDER ROOF	1428
UPPER LEVEL	
AC	1052
TOTALS	
TOTAL A.C.	1786
GARAGE	455
LANAI	78
ENTRY	182
BACK ENTRY	36
TOTAL UNDER ROOF	2490
PATIO/POOL	300

PLAN NOTES:

1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL HAVE A 20 MIN. FIRE RATED DOOR OR SOLID WOOD DOOR NOT LESS THAN 1 AND 3/4 INCHES IN THICKNESS OR SOLID OR HONEYCOMB DOOR.

WALL LEGEND

	6-4" BLOCK WALL
	2X INTERIOR WALL
	2X INTERIOR BEARING WALL

DESIGNER:

PHIL KEAN DESIGN GROUP
ARCHITECTURAL, ENGINEERING, INTERIORS
1100 N. Kentucky Ave., Ste. 100
Lexington, KY 40504
www.philkeandesign.com

ENGINEER:

PROJECT:

PROPERTY AT CORNER OF
N. KENTUCKY AVE. AND WARD AVE.

PLAN HISTORY

DATE DESCRIP.

SHEET DATA:

DESIGNED BY: PHIL KEAN
DRAWN BY: MITCH BURDEN

SHEET DESCRIP:

MAIN LEVEL FLOOR PLAN NOTED

SHEET

2.1

DWELLING / GARAGE SEPARATION (TABLE R302.6)	
SEPARATION	MATERIAL
FROM RESIDENCE AND ATTICS	NOT LESS THAN ½ INCH GYPSUM BOARD OR EQUIVALENT TO THE GARAGE SIDE
FROM HABITABLE ROOMS ABOVE GARAGE	NOT LESS THAN ½ INCH TYPE X GYPSUM BOARD OR EQUIVALENT
STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN ½ INCH GYPSUM BOARD OR EQUIVALENT
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT	NOT LESS THAN ½ INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.



UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

UNIT "A"	
MAIN LEVEL	
A/C:	675
GARAGE:	450
LANAI:	104
ENTRY:	175
BACK ENTRY:	43
TOTAL UNDER ROOF:	1447
UPPER LEVEL	
A/C:	1062
TOTALS	
TOTAL A/C:	1737
GARAGE:	450
LANAI:	104
ENTRY:	175
BACK ENTRY:	43
TOTAL UNDER ROOF:	2509
PATIO/POOL:	200
UNIT "B"	
MAIN LEVEL	
A/C:	675
GARAGE:	450
LANAI:	78
ENTRY:	175
BACK ENTRY:	38
TOTAL UNDER ROOF:	1416
UPPER LEVEL	
A/C:	1047
TOTALS	
TOTAL A/C:	1781
GARAGE:	450
LANAI:	78
ENTRY:	175
BACK ENTRY:	38
TOTAL UNDER ROOF:	2453
PATIO/POOL:	200
UNIT "C"	
MAIN LEVEL	
A/C:	675
GARAGE:	455
LANAI:	78
ENTRY:	182
BACK ENTRY:	38
TOTAL UNDER ROOF:	1428
UPPER LEVEL	
A/C:	1062
TOTALS	
TOTAL A/C:	1786
GARAGE:	455
LANAI:	78
ENTRY:	182
BACK ENTRY:	38
TOTAL UNDER ROOF:	2490
PATIO/POOL:	300

DESIGNER:

PHIL KEAN DESIGN GROUP
 1155 W. STATE STREET
 SUITE 100
 N. KENTUCKY AVE. AND WARD AVE.
 N. KENTUCKY AVE. AND WARD AVE.
 KY 40102 | TEL: 502-538-9887
 WWW.PHILKEANDSIGN.COM

ENGINEER:

PROJECT:

PROPERTY AT CORNER OF
 N. KENTUCKY AVE. AND WARD AVE.

PLAN HISTORY

DATE	DESCRIP.

SHEET DATA:

DESIGNED BY: PHIL KEAN
 DRAWN BY: MITCH BURDEN

SHEET DESCRIP:

UPPER LEVEL FLOOR PLAN NOTES

SHEET

3.1

PLAN NOTES:

- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL HAVE A 20 MIN. FIRE RATED DOOR OR SOLID WOOD DOOR NOT LESS THAN 1 AND 3/8 INCHES IN THICKNESS OR SOLID OR HONEYCOMB DOOR.

WALL LEGEND

	9'-4" BLOCK WALL
	2X INTERIOR WALL
	2X INTERIOR BEARING WALL

- ELEVATION NOTES:**
- | DESCRIPTION |
|---|
| 1. STONE FINISH. |
| 2. STUCCO FINISH. |
| 3. 6" STUCCO BAND. |
| 4. TILE ROOF, OVER APPROVED WATER BARRIER, OVER ROOF SHEATHING. |
| 5. DECORATIVE SHUTTERS |

DESIGNER:
 PHIL KEAN DESIGN, CHARLOTTE
 1113 S. GARDNER STREET
 CHARLOTTE, NC 28203
 PHONE: 704.544.8000
 WWW.PHILKEANDSIGN.COM

ENGINEER:

PROJECT:
 PROPERTY AT CORNER OF
 N. KENTUCKY AVE. AND WARD AVE.

PLAN HISTORY

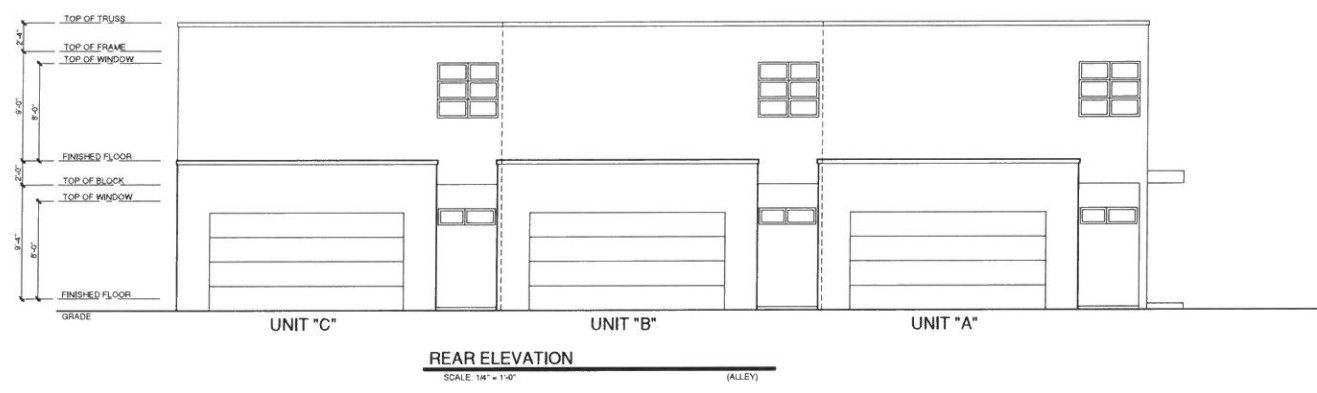
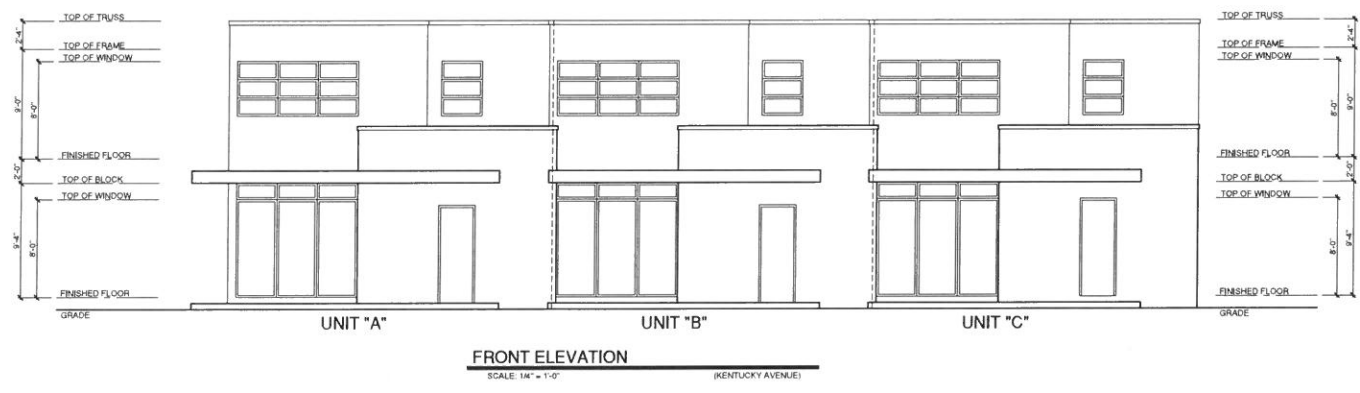
DATE	DESCRIP.

SHEET DATA:
 DESIGNED BY: PHIL KEAN
 DRAWN BY: MITCH BURDEN

SHEET DESCRIP.:
 FRONT AND REAR ELEVATIONS

SHEET

4.0



ELEVATION NOTES:

DESCRIPTION
1. STONE FINISH.
2. STUCCO FINISH.
3. 6" STUCCO BAND.
4. TILE ROOF, OVER APPROVED WATER BARRIER, OVER ROOF SHEATHING.
5. DECORATIVE SHUTTERS.

DESIGNER:

PHIL KEAN DESIGN GROUP
ARCHITECTS AND INTERIORS INC.
1000 N. KY. 100
CINCINNATI, OH 45226
TEL: 513.963.7661
WWW.PHILKEANDSIGN.COM

ENGINEER:

PROJECT:

PROPERTY AT CORNER OF
N. KENTUCKY AVE. AND WARD AVE.

PLAN HISTORY

DATE	DESCRIP.

SHEET DATA:

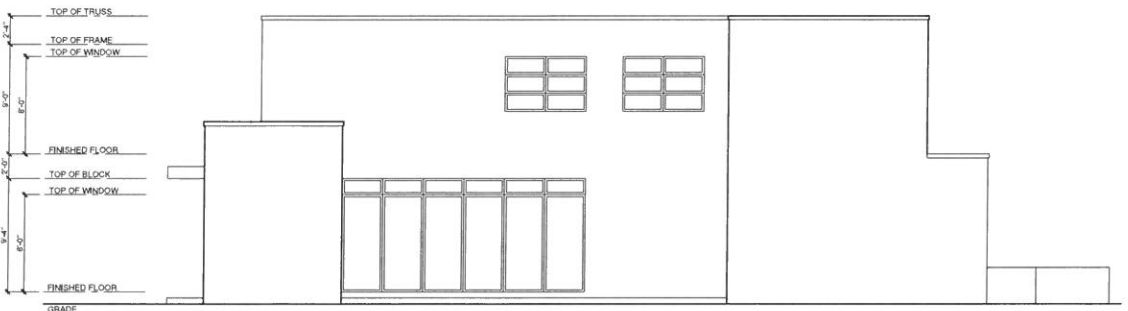
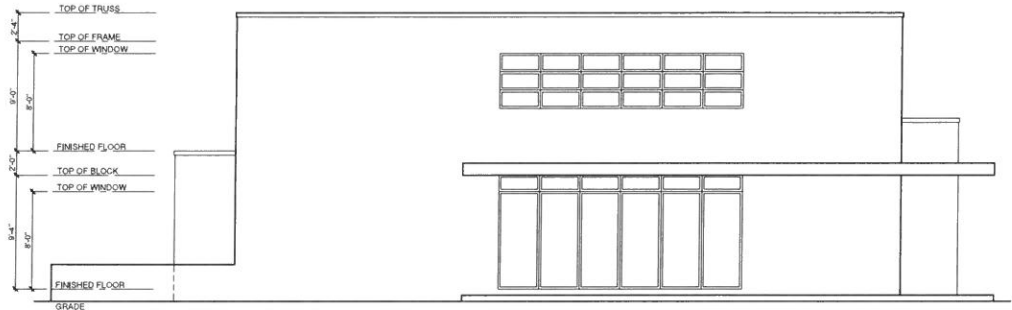
DESIGNED BY: PHIL KEAN
DRAWN BY: MITCH BURDEN

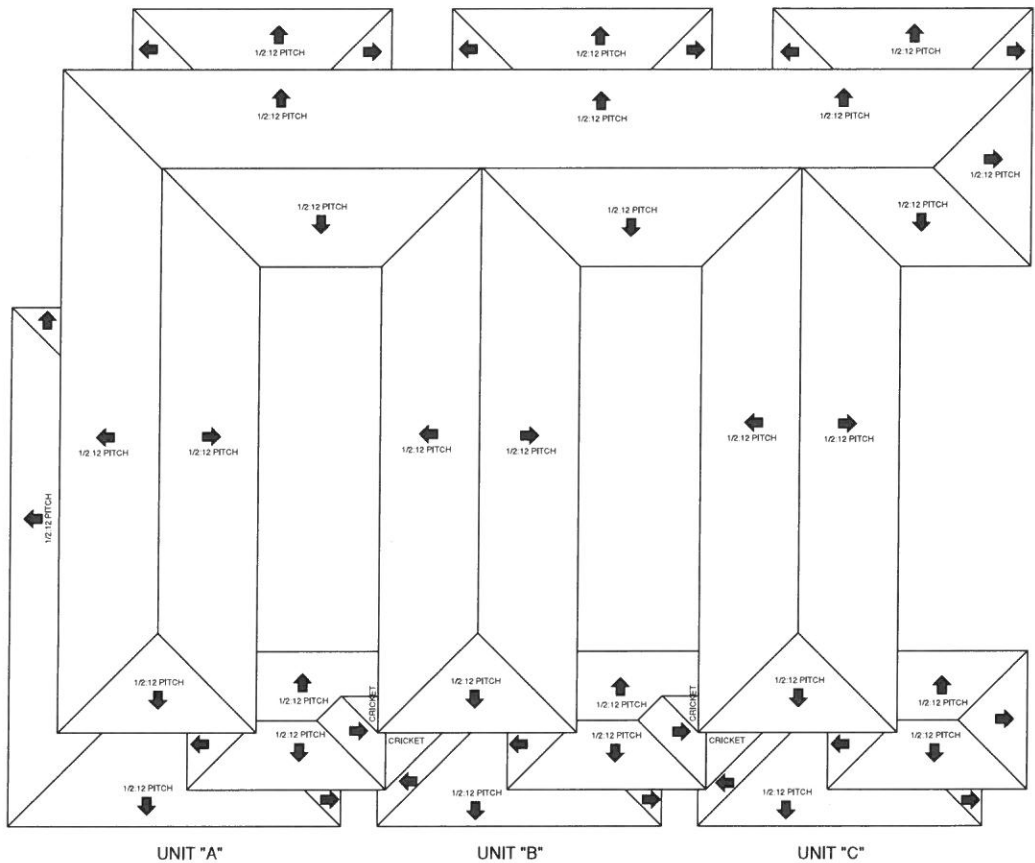
SHEET DESCRIP:

LEFT AND RIGHT ELEVATIONS

SHEET

4.1





UNIT "A"

UNIT "B"

UNIT "C"

ROOF PLAN
SCALE: 1/4" = 1'-0"

DESIGNER:

PHIL KEAN ARCHITECTS
100 W. BROAD ST. SUITE 100
INDIANAPOLIS, IN 46202
TEL: 317.335.1234 FAX: 317.335.1235
WWW.PHILKEANARCHITECTS.COM

ENGINEER:

PROJECT:

PROPERTY AT CORNER OF
N. KENTUCKY AVE. AND WARD AVE.

PLAN HISTORY

DATE	DESCRIP.

SHEET DATA:

DESIGNED BY: PHIL KEAN
DRAWN BY: MITCH BURDEN

SHEET DESCRIP:

ROOF PLAN

SHEET

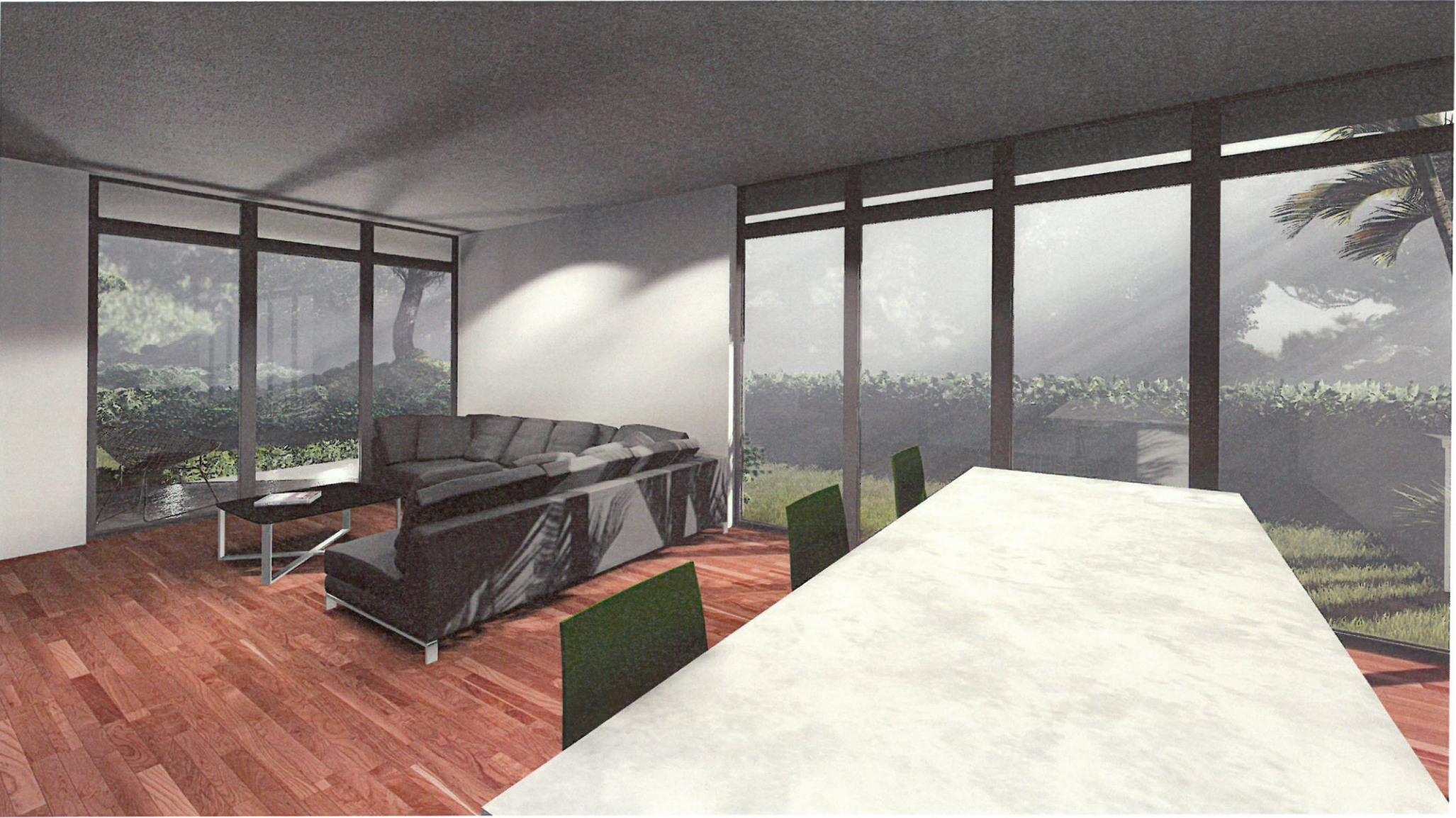












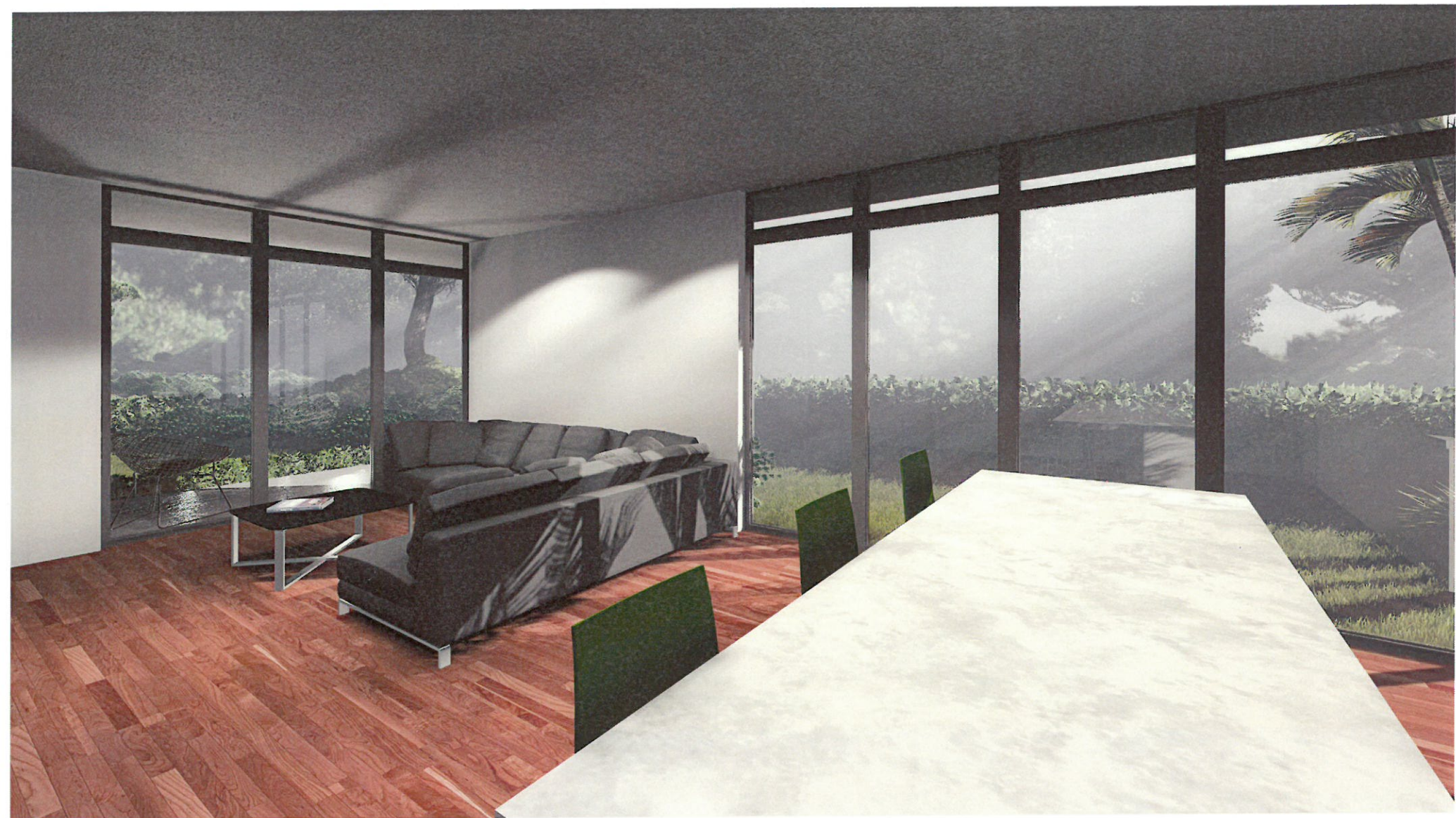












**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
April 7, 2015**

REQUEST OF FIFTH THIRD BANK TO: AMEND THE "COMPREHENSIVE PLAN" FUTURE LAND USE MAP SO AS CHANGE FROM SINGLE FAMILY RESIDENTIAL TO A PARKING LOT FUTURE LAND USE DESIGNATION ON THE PROPERTY AT 453 NORTH LAKEMONT AVENUE.

REQUEST OF FIFTH THIRD BANK TO: AMEND THE OFFICIAL ZONING MAP SO AS TO CHANGE FROM SINGLE FAMILY (R-1A) DISTRICT ZONING TO PARKING LOT (PL) DISTRICT ZONING ON THE PROPERTY AT 453 NORTH LAKEMONT AVENUE.

REQUEST OF FIFTH THIRD BANK FOR: CONDITIONAL USE APPROVAL TO DEVELOP THE PROPERTIES AT 1851/1861/1871 ALOMA AVENUE AND 443/453 NORTH LAKEMONT AVENUE FOR A ONE-STORY 3,500 SQUARE FOOT BRANCH BANK WITH DRIVE-THRU TELLERS AND 5,715 SQUARE FEET OF PROFESSIONAL OFFICE, ON THESE PROPERTIES ZONED O-1 AND PROSPECTIVELY PL.

This public hearing involves the requests of Fifth Third Bank for the development of the properties at 443/453 North Lakemont Avenue and 1851/1861/1871 Aloma Avenue. All of the properties are zoned Office (O-1) except for the 453 N. Lakemont parcel which is zoned Single family (R-1A). The request is to:

1. Change the Comp. Plan FLU and Zoning for the 453 N. Lakemont Avenue parcel to Parking Lot (PL) zoning so that it may be incorporated into the project for use as storm water retention; and
2. Approve a Conditional Use for Fifth Third Bank component of the project as it contains drive-thru components

Project Site:	1.25 acres
Existing Future Land Use Category:	Office/Single Family
Existing Zoning District:	O-1/R-1A
Proposed Future Land Use Category:	Office/Parking Lot
Proposed Zoning Districts:	O-1/PL

The proposed development consists of a 3,872 square foot branch bank for Fifth Third with two drive-in tellers and companion 5,410 square feet of "for lease" office space. Total size of the one-story building is 9,282 square feet which is a 17.0% FAR; well within the maximum FAR of 45%. The building is centered on the site so it is significantly behind the perimeter setbacks.

Impervious coverage or green area also exceeds the minimum 15% requirements by a significant amount at 57.5%.

For purposes of comparison, the following table outlines the O-1 zoning requirements and the proposed dimensions of this project.

	O-1 Requirements	Project Proposal
Property Size		1.25 acres
Floor Area Ratio	Max. 45%	17.0%
Lot Coverage	Max. 45%	17.0%
Min.Open Space	Min. 15%	57.5%
Aloma Avenue setback	10 feet	58 feet
Lakemont Avenue setback	10 feet	84 feet
Western Side setback	5 feet	44 feet
Northern Side setback	30 feet	38-84 feet
Landscape Protection Zone	8 feet	8-9 feet
Bldg. Height	55 feet	20 feet

Parking spaces shown for this project are 37 spaces to meet the code requirement based on one space for 250 square feet of office floor space (4 per 1,000). That meets the code for general business office but not for medical office space as that requirement is one space for every 200 square feet (5 per 1,000) for medical uses. The applicant would like the flexibility to create the 6 additional spaces needed within the landscape area along the western boundary of the site, if they lease to a medical tenant. However, they did not want to show those spaces now as they believe that the 15 spaces provided for the bank and the 22 spaces provided for the non-medical office space are in excess of their daily needs especially given the quick turnover of bank visitors and the trend toward increasing internet banking for customers. Bicycle parking is provided to meet code.

Current Development Request: This application package is intended to provide the detail needed both for the "preliminary" and "final" conditional use approvals and as such includes the final site plan, architectural perspective images of the building facades with materials, landscape plan, complete storm water retention design, photometric plan and a traffic impact report. The current lease on the Fifth Third Bank branch to the east at 2011 Aloma Avenue (next to Mellow Mushroom) is expiring and they need to move quickly for this project as the replacement.

Comp. Plan FLU/Rezoning Request:

The northernmost 50 feet of this property (453 N. Lakemont – Lot 25) is zoned single family (R-1A). The applicant is requesting a Comp. Plan and Zoning change to Parking lot (PL). They would use the property primarily for the bulk of the storm water retention as well as four parking spaces.

The City created the Parking Lot zoning category for just this type of situation where the use of the land is limited to only parking or storm water retention as proposed. No other use and no buildings can be put on that land, if zoned PL. The only permitted uses in PL zoning are surface parking spaces and storm water retention. (If it were rezoned as office then it would bestow the ability for future buildings)

From the staff's perspective there are two choices for the City and the neighbors. If the property stays zoned single family (R-1A) then Fifth Third Bank will sell the lot and then likely a new two-story home will be constructed on that property. Fifth Third Bank can accommodate all of their storm water retention via underground exfiltration and the 4 parking spaces can be relocated to the landscape area on the western boundary. This then puts a new SF house in the 'backyards' of the three existing homes at 1850, 1860 & 1890 Edwin Blvd. Alternatively, the proposed plan maintains the vast majority of this property as open space via the use confined and restricted to storm water retention. This seems to the planning staff to be a more favorable neighboring use for those three homeowners.

Protection for Adjacent Residential Properties:

These plans do include some measures meant to provide protection and screening for the residential neighbors to the north on Edwin Blvd. On that common boundary line will be a six foot block stucco wall painted to match the building. There are also 8 sweetgum trees and 6 cypress trees that are planned to help screen views above the wall height.

The City has historically resisted (and denied) attempts at rezoning this Fifth Third Bank property to commercial. The primary reason was to limit the impacts from commercial businesses associated with noise from 24 hour businesses (convenience stores/pharmacies/gas stations) and restaurants. The City has typically imposed conditions on speaker box audio when adjacent to residential and will suggest similar conditions with this request.

Staff Analysis of the Applicant's Requests:

Various city departments have reviewed this application including representatives from Planning & Community Development, Public Works, Electric Utility, Water and Wastewater Utilities, Fire, Urban Forestry, Parks & Recreation and City Administration. Their comments were as follows:

Fire Dept.: Applicant is aware of the fire hydrant and fire flow needs for the project.

Traffic Engineering/Police Dept.: The median on Aloma Avenue prohibits any left turns from the site making that driveway 'right-in & right-out' only. The City was considering extending the median on Lakemont about 25 feet to deal with left turn issues from the Mobil gas station. To insure that this Lakemont Avenue driveway also functions only as 'right-in & right-out' the median needs to be extended at developer's expense.

Water/Sewer Utility: There are complications with the locations of the sanitary sewer service lines and water main extensions that have been discussed with the applicant and will be their responsibility to fund and improve.

Parks/Urban Forestry Depts.: There are a number of older trees in deteriorated condition that will be removed. The one specimen live oak tree at the Aloma/Lakemont corner is to be preserved. Other oak trees are preserved as possible. The 5 new live oaks, 8 sweetgum trees and 6 cypress trees (in the retention area) will be sufficient compensation for the trees planned to be removed.

Building Dept.: The plan exceeds the one foot candle maximum at the western property line due to the State mandated lighting requirements for the ATM to be located in the drive-in lane. While the City understands the convenience for user of the ATM; there is no variance to that lighting standard and the ATM may need to be wall mounted on the bank façade unless compliance with the lighting code is achieved.

Traffic Study:

As required by the Land Development Code, the developer has provided a traffic study (which they have labeled as a "traffic generation statement") to outline the traffic impacts of this project. This project will generate 499 new trips per day recognizing that there is no traffic generation now based on the vacant status of the land today. The report also uses medical office traffic generation which is larger than what other non-medical business office usage would generate. However, 43% of that traffic (214 cars/day) are passerby trips meaning that they are cars already on these roads and stopping by the bank or the office as part of their normal daily driving activities. With 36,000 cars/day on Aloma and 18,500 cars/day on Lakemont, this amount of net new traffic (285 cars/day) split between the two roadways is a .0039-.0076% increase.

Summary and Conclusion:

The planning staff understands that there is not any enthusiasm for another branch bank at this gateway location into the City. However, Fifth Third bank purchased this property ten years ago in 2005 with the intention of building someday on this site. Overall, the applicant has provided a plan that meets the requirements of the Comprehensive Plan and Land Development Code. The only exceptions are the rezoning request and flexibility to add parking should a medical tenant arise. From the planning staff's perspective, the rezoning seems to be in the best interests of the neighbors and the additional parking for a medical tenant can be added since the project exceeds the "green" or pervious area required by Code. After significant review, staff has analyzed the Conditional Use/Rezoning and is recommending approval subject to the following special conditions:


1. The Fifth Third Bank project entitlements comprise 9,282 square feet of office development including two drive-thru teller lanes.
2. The project is required to have a minimum of 37 parking spaces to meet the anticipated needs of the development plan and may create the additional 6 parking spaces needed for medical tenant usage of the 5,410 square feet of associated office space within the landscape area along the western border of the site.
3. The entrance/exits to the project along Aloma and Lakemont Avenues will be restricted to 'right in/right out' only and the center line median on Lakemont Avenue shall be extended to the north 25 feet at the expense of the applicant.
4. The project signs along the two streets shall be limited to non-interior illuminated monument signs as presented.
5. The western building elevation facing 17,000 cars a day traveling east on Aloma Avenue shall include significant brick veneer façade coverings to match the architectural pattern of the other building facades.
6. The hours of operation of the drive-in teller speaker system is restricted to no later than 10:00 pm and no drive-in teller speaker noise shall be audible within any adjacent residential building.

STAFF RECOMMENDATION IS FOR APPROVAL of the "preliminary" Conditional Use subject to the six conditions outlined above.

OCPA Web Map Legend

- Florida Turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- Brick Road
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial Institutional
- Governmental
- Industrial
- Commercial
- Industrial Curtilage
- Hydro
- Waste Land
- Parks
- Lakes and Rivers
- Building
- Block Number
- Lot Number
- Parcel Number
- Parcel Address
- Parcel Dimension

Courtesy Rick Singh CFA, Orange County Property Appraiser



50	37.5	25	25	37.5	50	50	50	50	50	50	50	50	50	40	35	86.1	110
50	50	50	13	37	26	24	40	10	30	30	20	65	61	85	46.42	46.42	600390
51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68
139.26	139.26	139.26	139.26	139.26	139.26	139.26	139.26	139.26	139.26	139.26	139.26	139.26	139.26	139.26	139.26	139.26	139.26

00520 00530 00541 00551 00561 00571 00581 00591 00601 00611 00621 00631 00641 00651 00661 00671 00681 00691 00701



EDWIN BLVD

50	50	50	25	25	50	50	50	50	50	50	50	50	50	50	75	75	75	75	75
35	34	33	32	31	30	29	28	27	26	25	25	25	25	25	50	50	50	50	50
00350	00340	00330	00320	00310	00300	00290	00280	00270	00261	00250	00240	00230	00220	00210	00200	00190	00180	00170	00160

Winter F Corner Wellington Nostatt
 Mobil The Staffl Estate
 Starbucks Cc Blue Deg Investments
 Masby Properties LLC
 Fifth Third Bank
 Fifth Third Bank
 Fifth Third Bank
 Fifth Third Bank
 Starbuck & Co Blue Deg Investments
 Starbucks Cc Blue Deg Investments

R-1A R-1A R-1A O-2 O-1

Daily Traffic 18500

Daily Traffic 36000

RIS AVE

52.5	1	52.5	11	12	13	14	15	16	1	2	3	4
120.3	120.3	120.3	120.3	120.3	120.3	120.3	120.3	120.3	120.3	120.3	120.3	120.3
0010	00110	00121	00131	00141	00151	00161	00171	00181	00191	00201	00211	00221

Daily Traffic 426

Daily Traffic 426

Daily Traffic 44000

Starbuck & Co Blue Deg Investments

Created: 3/25/2015

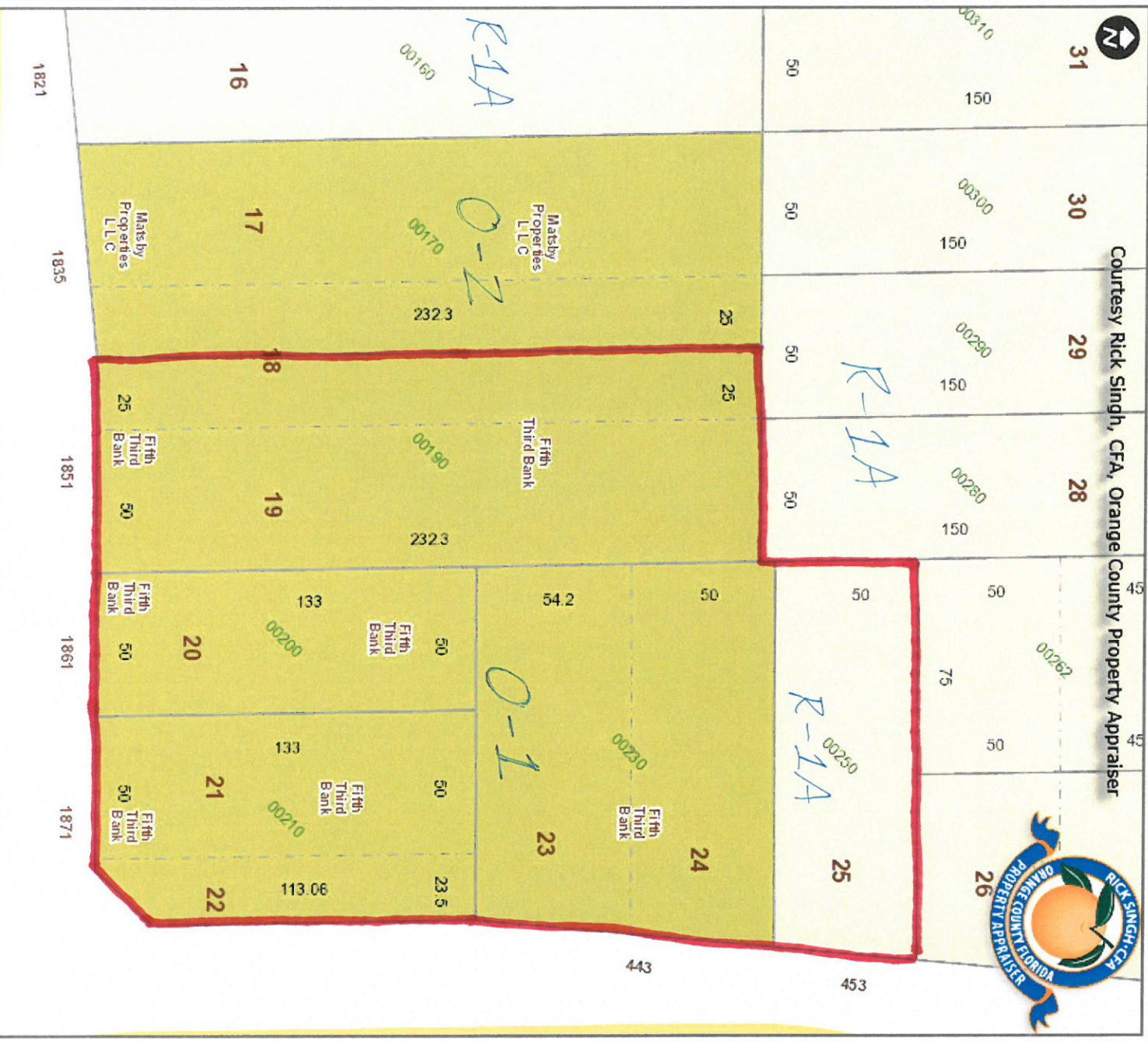
This map is for reference only and is not a survey.



OCPA Web Map

	Florida Turnpike		Proposed Road		Residential		Commercial/Industrial		Parks		6	Lot Number
	Interstate 4		Brick Road		Agriculture		Vacant Land		Lakes and Rivers		06060	Parcel Number
	Toll Road		Block Line		Commercial/Institutional		Agricultural Curtilage		Building		3106	Parcel Address
	Road Under Construction		Lot Line		Governmental/Institutional		Hydro		E		141.9	Parcel Dimension
					Waste Land							

Courtesy Rick Singh, CFA, Orange County Property Appraiser



Created: 3/25/2015 426

This map is for reference only and is not a survey.

OCPA Web Map	
	Major Roads
	Florida Turnpike
	Interstate 4
	Toll Road
	Public Roads
	Galad Roads
	Road Under Construction
	Proposed Road
	Brick Road
	Block Line
	Lot Line
	Residential
	Agriculture
	Commercial/Institutional
	Governmental/Institutional
	Commercial/Industrial
	Industrial/Vacant Land
	Agricultural Curtilage
	Hydro
	Waste Land
	Parks
	Lake and Rivers
	Building
	Block Number
	6 Lot Number
	06060 Parcel Number
	3106 Parcel Address
	111.9 Parcel Dimension

Courtesy: Rick Singh, CFA, Orange County Property Appraiser



Created: 3/25/2015

This map is for reference only and is not a survey.

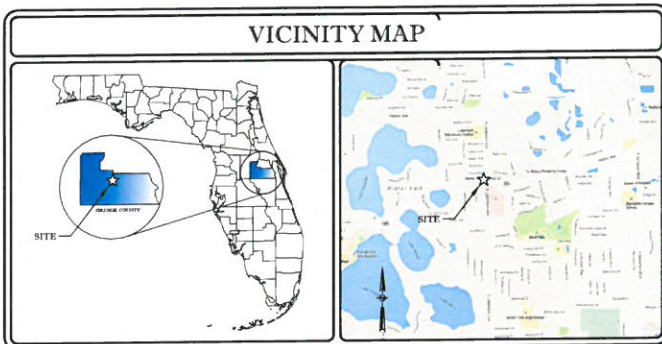
CONDITIONAL USE/REZONE PLANS FOR:



FIFTH THIRD BANK

FIFTH THIRD BANK NO. 17818

1871 ALOMA AVENUE
WINTER PARK, FL 32789



PROJECT TEAM

<p>PROPERTY OWNER: FIFTH THIRD BANK 38 FOUNTAIN SQUARE ROAD CINCINNATI, OH 45263 PH: (941) 329-4600 CONTACT: MIKE CHARLES</p> <p>DEVELOPER/APPLICANT: FIFTH THIRD BANK 38 FOUNTAIN SQUARE ROAD CINCINNATI, OH 45263 PH: (941) 329-4600 CONTACT: MIKE CHARLES</p> <p>SURVEYORS: EG SURVEYING 8415 SUNSTATE STREET TAMPA, FLORIDA 33614 PH: (813) 886-6080 FAX: (813) 886-6081 CONTACT: ERIC BLACKBURN</p>	<p>ARCHITECT: BDG ARCHITECTS 2100 1ST AVE. N., STE 100 BIRMINGHAM, AL 35203 PH: (205) 252-8222 FAX: (205) 252-8899</p> <p>CIVIL ENGINEER: INFINITY ENGINEERING GROUP, LLC 1135 MARBELLA PLAZA DRIVE TAMPA, FLORIDA 33619 PH: (813) 434-4770 FAX: (813) 445-4211 CONTACT: NEST SAPPAKHAO</p> <p>AUTHORIZED AGENTS: INFINITY ENGINEERING GROUP, LLC 1135 MARBELLA PLAZA DRIVE TAMPA, FLORIDA 33619 PH: (813) 434-4770 FAX: (813) 445-4211 CONTACT: BRETT NEVARIL</p>
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CIVIL DRAWING INDEX

SHEET NO.	SHEET TITLE
CS-1	COVER SHEET
C1-0	PROPOSED DEVELOPMENT PLAN
C2-0	STORM WATER RETENTION AND DRAINAGE PLAN
L-1	TREE PRESERVATION/REMOVAL PLAN
L-2	LANDSCAPE PLAN
PH1-0	PHOTOMETRIC PLAN
1 OF 1	ALTA/ACSM BOUNDARY AND TOPOGRAPHIC SURVEY

ARCHITECTURAL DRAWING INDEX

SHEET NO.	SHEET TITLE
A-1	EXTERIOR ELEVATIONS
	BUILDING PERSPECTIVE
	BUILDING PERSPECTIVE
	BUILDING PERSPECTIVE
	BUILDING AERIAL PERSPECTIVE

LEGAL DESCRIPTION:

THE EAST 1/2 OF LOT 18, AND ALL OF LOTS 19, 20, 21, 22, 23, 24, AND 25, CAMPO BELLO, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK "L", PAGE 23, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS THOSE PORTIONS THEREOF DESCRIBED IN DEEDS RECORDED IN O.R. BOOK 1453, PAGE 361 AND O.R. BOOK 2220, PAGE 107, AND ORDER OF TAKING RECORDED IN O.R. BOOK 2281, PAGE 164, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PLANS PREPARED BY:



INFINITY ENGINEERING GROUP, LLC

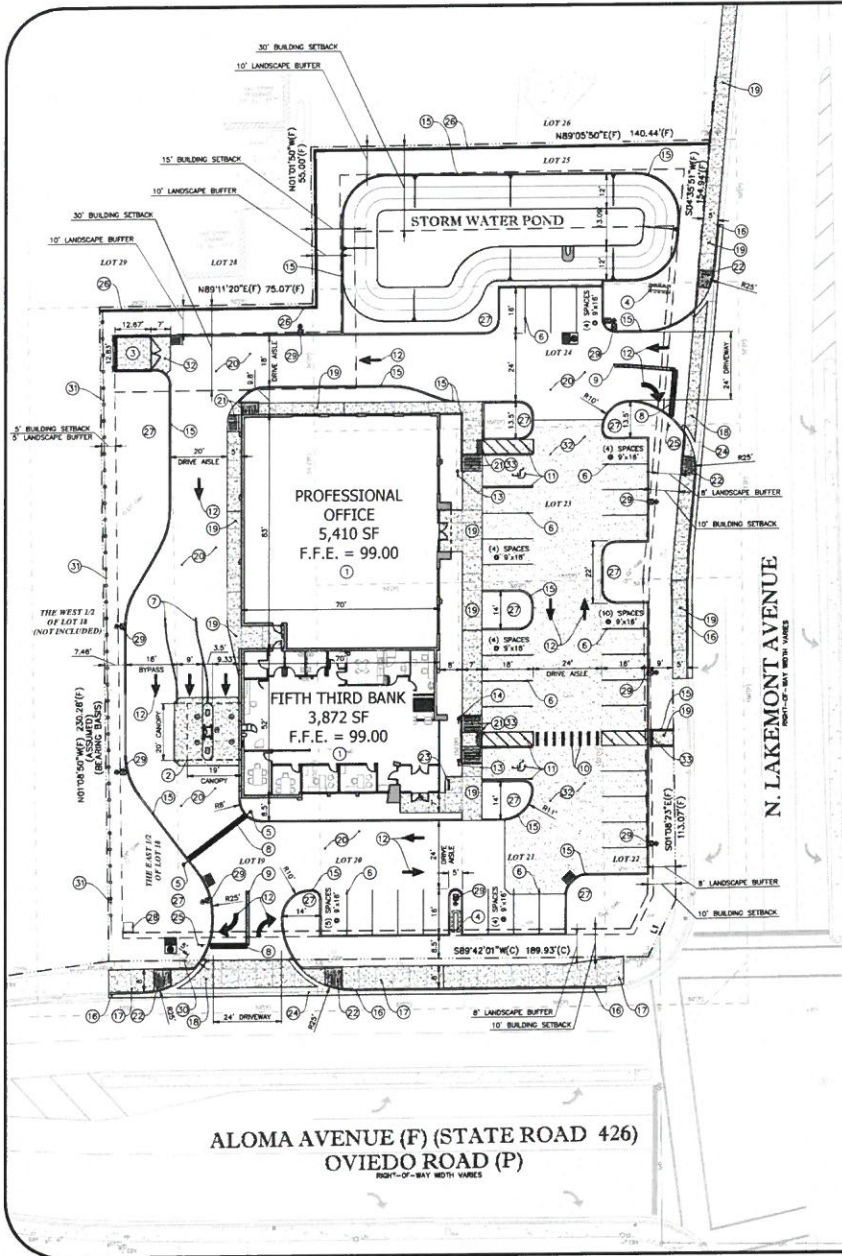
1135 Marbella Plaza Drive
Tampa, Florida 33619

[p] 813.434.4770
[f] 813.445.4211

www.ieggroup.net

Certificate of Authorization No. 27889
IEG JOB NO. 15-21.00





SITE PLAN KEYED NOTES

ITEM	DESCRIPTION
1	NEW 3,872 SF FIFTH THIRD BANK BUILDING AND NEW 5,410 SF OFFICE BUILDING
2	NEW DRIVE THRU CANOPY (2 LANES)
3	NEW 12'-8" DEEP X 12'-10" WIDE TRASH ENCLOSURE AND 7' OF 6" CONCRETE PAVEMENT
4	NEW 18.25 SF FIFTH THIRD BANK "M18" MONUMENT ID SIGN
5	NEW R1-1 "STOP" & R5-1 "DO NOT ENTER" SIGN PER BANK STANDARD (SEE DETAIL SHEET)
6	NEW 4" WHITE THERMOPLASTIC PARKING STRIPE (TYPICAL)
7	NEW 6" WHITE THERMOPLASTIC LANE STRIPE (TYPICAL)
8	NEW 24" WHITE THERMOPLASTIC STOP BAR
9	NEW 6" DOUBLE YELLOW THERMOPLASTIC STRIPPING
10	NEW 6" WIDE CROSSWALK USING 12" WHITE THERMOPLASTIC STRIPPING @ 38" FROM CENTER TO CENTER
11	NEW THERMOPLASTIC PAVEMENT MARKINGS FOR HANDICAP PARKING SPACE AND ASSOCIATED ACCESS ISLE
12	NEW WHITE THERMOPLASTIC DIRECTIONAL ARROWS (TYPICAL)
13	NEW POLE MOUNTED HANDICAP PARKING SIGN PER BANK STANDARD (SEE DETAIL SHEET)
14	NEW POLE MOUNTED "LOW EMISSION VEHICLE PARKING" SIGN PER BANK STANDARD (SEE DETAIL SHEET)
15	NEW 6" X 18" VERTICAL CURB (TYPICAL)
16	NEW TYPE "T" CURB AND GUTTER PER FOOT INDEX NO. 300
17	NEW CONCRETE SIDEWALK PER FOOT INDEX NO. 310
18	6" CONCRETE PAVEMENT WITHIN RIGHT-OF-WAY - FOOT APPROVAL MIX (SEE DETAIL SHEET)
19	NEW 4" CONCRETE SIDEWALK. SEE PLAN FOR DIMENSIONS
20	NEW 1 1/2" TYPE S-II ASPHALT PAVEMENT
21	NEW HANDICAP RAMP WITH DETECTABLE WARNING PER FBC 2010
22	NEW CR-C RAMP PER FOOT INDEX 304
23	NEW 5 STALL RIBBON BICYCLE PARKING RACK
24	NEW VALLEY GUTTER PER FOOT INDEX 300
25	NEW 36" R1-1 "STOP" SIGN AND R3-7 "RIGHT TURN ONLY" SIGN WITH CONCRETE FOUNDATION
26	8-FOOT HEIGHT MASONRY SCREEN WALL. FINISHED TO MATCH PRIMARY STRUCTURE
27	NEW LANDSCAPE AREA
28	PROPOSED ELECTRICAL TRANSFORMER
29	NEW AREA LIGHT (TYPICAL). SEE PHOTOMETRIC PLAN.
30	MAINTAIN MINIMUM 4' SEPARATION BETWEEN POWERPOLE AND FACE OF CURB PER FOOT INDEX 700
31	NEW 8-FOOT HEIGHT BLACK WROUGHT IRON ROD FENCE.
32	NEW 6" CONCRETE PAVEMENT
33	NEW DETECTABLE WARNING

SITE AREAS

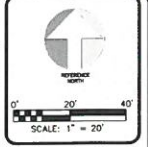
GROSS SITE AREA:	= 34,239 SF	1.25 ACRE	100.00%
PERVIOUS AREA:	= 19,558 SF	0.45 ACRE	36.08%
IMPERVIOUS AREA:	= 34,878 SF	0.80 ACRE	63.94%
BUILDING AREA	= 9,282 SF		17.11%
SIDEWALK AREA	= 2,203 SF		4.08%
TRASH ENCLOSURE	= 163 SF		0.30%
VEHICULAR USE AREA	= 23,033 SF		42.47%
REQUIRED INTERNAL/VEHICULAR USE LANDSCAPE AREA:			
	= 7.5% OF VEHICULAR USE AREA	= 1,727 SF REQUIRED	
	= 0.075 X 23,033 SF	= 8,403 SF PROVIDED	

SITE PLAN LEGEND

TYP	DESCRIPTION
H/C	TYPICAL HANDICAP RADIUS
R	RIGHT-OF-WAY
R/W	DIRECTIONAL ARROW
↔	HANDICAP PARKING
▬	PROPOSED CURB
▬	PROPOSED CURB TRANSITION
▬	PROPOSED OVERHEAD WIRE
▬	PROPOSED CONCRETE
▬	EXISTING CONCRETE PAVEMENT
▬	NEW ASPHALT PAVEMENT
▬	PROPERTY LINE
▬	RIGHT-OF-WAY
▬	EXISTING EDGE OF PAVEMENT
▬	EXISTING OVERHEAD WIRE
▬	EXISTING MONITORING WELL
▬	EXISTING CLEANOUT

SITE DATA

- SITE ADDRESS: 1871 ALOMA AVENUE, THE EAST 1/2 OF LOT 18 AND ALL OF LOTS 19-25, WINTER PARK, FLORIDA.
- EXISTING LOTS OWNED BY FIFTH THIRD BANK: EAST 1/2 OF LOT 18 & ALL OF LOT 19. PARCEL ID: # 05-22-30-1140-00-190. EXISTING ZONE: OFFICE DISTRICT (O-2).
- TOTAL SITE AREA: 54,319 SF, 1.247 AC. SURPLUS AREA: 19,897 SF, (0.457 AC).
- EXISTING ZONING: OFFICE DISTRICT (O-2) / R1-A.
- DEVELOPED USE: BANK W/ DRIVE THRU & OFFICE.
- USE PERMITTED: YES.
- PARKING DATA: 1 SPACES PER 250 SF (3,872 + 5,410 SF) / 750 SF = 37 SPACES. PARKING PROVIDED: 12' X 18' HANDICAP SPACE = 2 SPACES, 9' X 18' PARKING SPACE = 8 SPACES, 9' X 18' PARKING SPACE (ADJACENT TO PERIMETER LANDSCAPE BUFFER) = 27 SPACES.
- TOTAL PARKING SPACES REQUIRED = 37 SPACES. TOTAL PARKING SPACES PROVIDED = 37 SPACES.
- TOTAL BICYCLE PARKING REQUIRED (10% OF PARKING) = 4 SPACES. TOTAL BICYCLE PARKING PROVIDED = 5 SPACES.
- DRIVE THRU QUEUE: NO SPECIFIC CITY REQUIREMENT.
- BUILDING SETBACKS: (DRIVE-THRU AISLES INCLUDED / DUMPSTER NOT INCLUDED): BUILDING SETBACK ALOMA AVENUE 10 FT, BUILDING SETBACK LAKEMONT AVENUE 10 FT, BUILDING SETBACK SIDE (WEST) 5 FT / 15 FT RESIDENTIAL, BUILDING SETBACK REAR (NORTH) 30 FT.
- LANDSCAPE BUFFERS: LANDSCAPE BUFFER ALOMA AVENUE 8 FT, LANDSCAPE BUFFER LAKEMONT AVENUE 8 FT, LANDSCAPE BUFFER REAR (NORTH) 10 FT, LANDSCAPE BUFFER SIDE (WEST) 5 FT / 10 FT RESIDENTIAL.
- FLOOD ZONE: THE PROPERTY SHOWN HEREON APPEARS TO LIE IN FLOOD ZONE "X" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 12078, PANEL NUMBER 0025, SUFFIX 7, EFFECTIVE SEPTEMBER 5, 2009, FOR ORANGE COUNTY, FLORIDA.
- LEGAL DESCRIPTION: THE EAST 1/2 OF LOT 18, AND ALL OF LOTS 18, 20, 21, 22, 23, 24, AND 25, CAMPO BELLO, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK "C", PAGE 23, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. LESS THOSE PORTIONS THEREOF DESCRIBED IN DEEDS RECORDED IN O.R. BOOK 1453, PAGE 381 AND O.R. BOOK 2220, PAGE 107, AND ORDER OF TAKING RECORDED IN O.R. BOOK 2281, PAGE 164, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
- PROPERTY OWNER: FIFTH THIRD BANK, 38 FOUNTAIN SQUARE PLZ, MD 10A7A, CINCINNATI, OH 45202.



Date	Drawn

INFINITY
INFINITY ENGINEERING GROUP, LLC
1115 Melrose Plaza Drive
Tampa, Florida 33619
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(813) 913-4431
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Civ. Engr. No. 27899

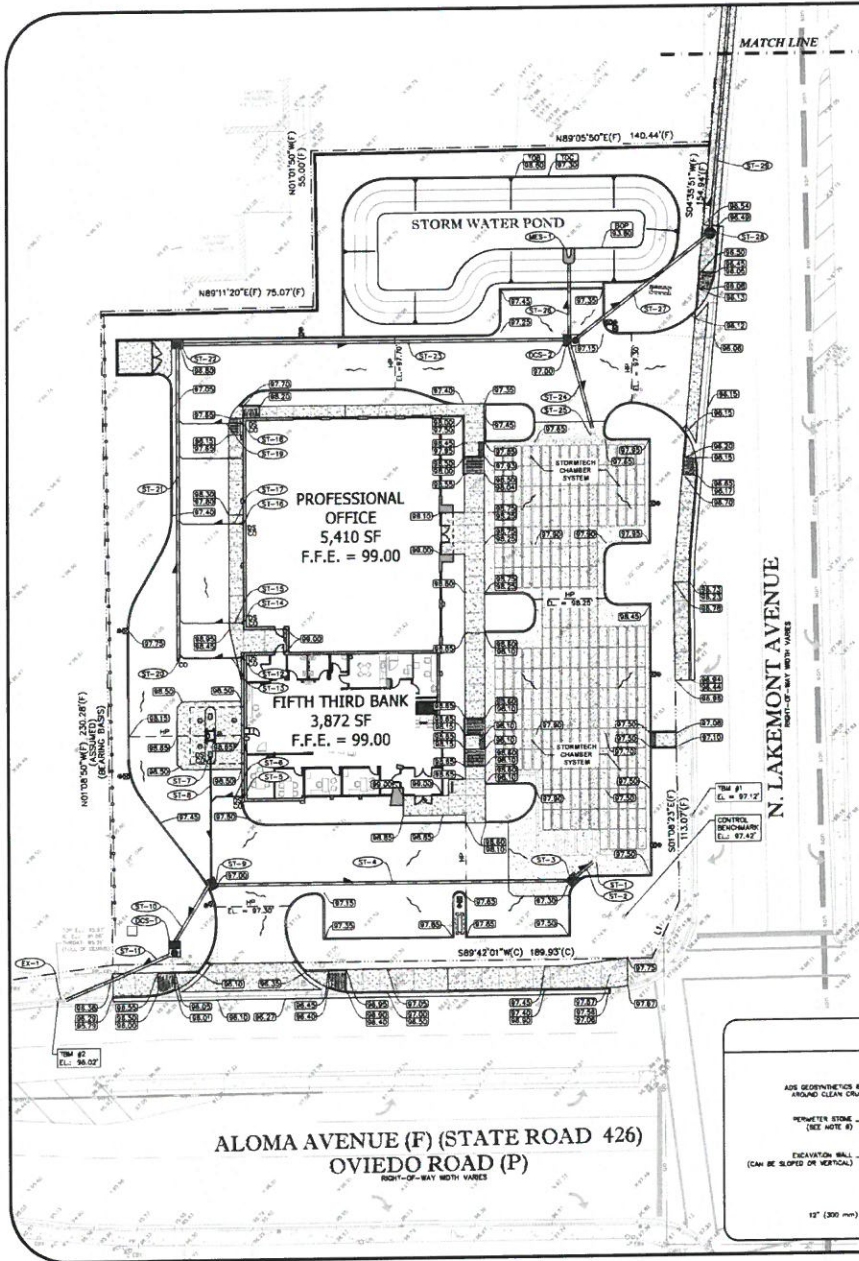
Client Name and Address
FIFTH THIRD BANK
CBRE

NS11 SAPPAROAD, P.E.
FL REG. NO. 64085

DATE

Project Name and Address
FIFTH THIRD BANK NO. 17818
1871 ALOMA AVENUE
WINTER PARK, FL 32789
Sheet Title
PROPOSED DEVELOPMENT PLAN

15-21.00
03/03/15
AS NOTED
C10



GRADING PLAN LEGEND

- BOF BOTTOM OF POND
- TOB TOP OF BANK
- TOC TOP OF CURB
- E ELEVATION
- TPV TYPICAL
- CO CLEAOUT
- E INVERT ELEVATION
- SE SUMP ELEVATION
- EXE EXISTING ELEVATION
- PEP PROPOSED PAVEMENT ELEVATION
- GA GRATE AILET
- FYE FINISH FLOOR ELEVATION
- RCP REINFORCED CONCRETE PIPE
- SSC STORM SEWER STRUCTURE NUMBER
- EC EROSION CONTROL
- HP HIGH POINT
- MEG MATCH EXISTING GRADE
- BDS BUILDING DOWN SPOUT
- DS 12" OR GREATER STORMWATER PIPE
- SS 12" OR GREATER STORMWATER PIPE LESS THAN 12" STORMWATER PIPE
- PSF PROPOSED SURFACE STORMWATER FLOW
- DF DIRECTION OF PIPE FLOW
- TSW TOP OF SIDEWALK/CURB
- EP EDGE OF PAVEMENT

EXISTING STORM DATA

EX-1 EXISTING STORMWATER INLET WITHIN RIGHT-OF-WAY
 EX. TOP = 95.97
 E (EXISTING) = 91.08
 E (PROPOSED) = 93.00
 CONTRACTOR TO CORE DRILL EXISTING STRUCTURE AND SEAL WITH NON-SHRINK GROUT

EX-2 EXISTING STORMWATER CURB INLET
 TOP EL. = 98.08
 E (12" W/ N) = 92.13

EX-3 EXISTING 12" STORMWATER PIPE
 @ 1.13% SLOPE

EX-4 EXISTING STORMWATER MANHOLE
 E = 91.11

STORM STRUCTURE/PIPING DATA

ST-1 30" NYLOPLAST JUNCTION BOX
 W/ 2" SUMP MIN.
 TOP EL. = 97.15
 E (S) = 94.55

ST-2 23 LF OF 12" HDPE
 @ 1.87% SLOPE

ST-3 TYPE "C" CATCH BASIN
 FOOT INDEX NO. 232
 GRATE
 E (N, W) = 94.70

ST-4 110 LF OF 12" HDPE
 @ 0.25% SLOPE

ST-5 CLEAOUT TOP ELEVATION
 SHALL MATCH PROPOSED GRADE ELEVATION
 E = 95.50

ST-6 12 LF OF 6" PVC
 @ 1.13% SLOPE

ST-7 CLEAOUT TOP ELEVATION
 SHALL MATCH PROPOSED GRADE ELEVATION
 E = 95.50

ST-8 44 LF OF 6" PVC
 @ 1.13% SLOPE

ST-9 TYPE "C" CATCH BASIN
 FOOT INDEX NO. 232
 GRATE
 E (N, E, SW) = 95.00

ST-10 12 LF OF 12" HDPE
 @ 0.40% SLOPE

OCS-1 TYPE "E" OUTFALL CONTROL STRUCTURE
 TOP = 97.00
 E (S) (N) = 94.70
 E (N) (N) = 95.10
 E (SW) (OUT) = 94.00
 WEIR SIZE = 1'x1'
 WEIR BOTTOM EL. = 94.67

ST-11 58 LF OF 12" RCP
 @ 0.43% SLOPE

ST-12 CLEAOUT TOP ELEVATION
 SHALL MATCH PROPOSED GRADE ELEVATION
 E = 95.50

ST-13 23 LF OF 6" PVC
 @ 0.90% SLOPE

ST-14 CLEAOUT TOP ELEVATION
 SHALL MATCH PROPOSED GRADE ELEVATION
 E = 95.50

ST-15 23 LF OF 4" PVC
 @ 1.30% SLOPE

ST-16 CLEAOUT TOP ELEVATION
 SHALL MATCH PROPOSED GRADE ELEVATION
 E = 95.50

ST-17 23 LF OF 4" PVC
 @ 2.87% SLOPE

ST-18 CLEAOUT TOP ELEVATION
 SHALL MATCH PROPOSED GRADE ELEVATION
 E = 95.50

ST-19 23 LF OF 4" PVC
 @ 4.04% SLOPE

ST-20 CLEAOUT TOP ELEVATION
 SHALL MATCH PROPOSED GRADE ELEVATION
 E = 95.30

ST-21 110 LF OF 12" PVC
 @ 0.90% SLOPE

ST-22 TYPE "C" CATCH BASIN
 FOOT INDEX NO. 232
 GRATE
 E (S, E) = 94.30

ST-23 137 LF OF 12" HDPE
 @ 0.25% SLOPE

ST-24 33 LF OF 12" HDPE
 @ 0.45% SLOPE

ST-25 30" NYLOPLAST JUNCTION BOX
 W/ 2" SUMP MIN.
 TOP EL. = 97.40
 E (N) = 94.55

ST-26 28 LF OF 12" HDPE
 @ 0.53% SLOPE

MES-1 12" MITERED END SECTION
 FOOT INDEX NO. 272
 E = 93.80

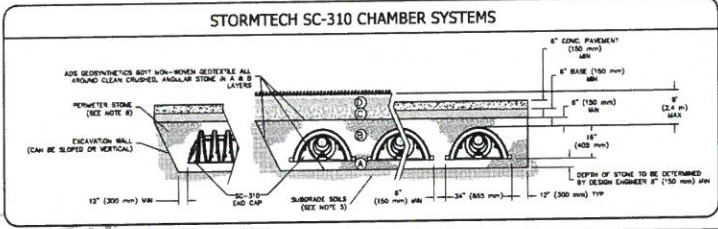
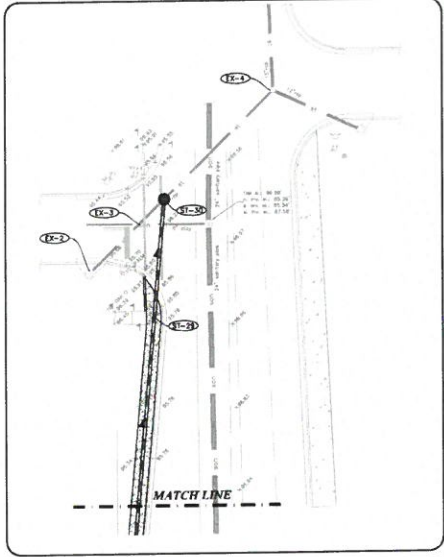
OCS-2 TYPE "E" OUTFALL CONTROL STRUCTURE
 TOP = 97.00
 E (S) (N) = 94.70
 E (N, N) (N) = 93.95
 E (SW) (OUT) = 93.95
 WEIR SIZE = 1.3'x1.3'
 WEIR BOTTOM EL. = 94.00

ST-27 58 LF OF 12" RCP
 @ 0.43% SLOPE

ST-28 TYPE "P" MANHOLE
 FOOT INDEX NO. 200
 (ALTERNATE A: 3'-6" ROUND)
 TOP EL. = 98.50
 E (N, SW) = 93.75

ST-29 170 LF OF 12" RCP
 @ 0.44% SLOPE

ST-30 TYPE "P" DOORHOUSE MANHOLE
 FOOT INDEX NO. 200
 (ALTERNATE A: 3'-6" ROUND)
 TOP EL. = 98.50
 E EX-3 = 91.68
 E (S) = 93.00



BENCHMARKS

ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE COUNTY BENCHMARK "X 440" DESCRIBED AS VERTICAL CONTROL DISK ON CONCRETE MONUMENT, 41.3'± NORTH OF THE CENTERLINE OF WEST BOUND LANES OF STATE ROAD 426 AND 78.3'± WEST OF THE CENTERLINE OF THE WEST BOUND LANES OF LAKEMONT AVENUE. ELEVATION: 97.42' (NORTH AMERICAN VERTICAL DATUM)

ON-SITE TBM #1: STATION IS A FOUND NAIL & DISK "TANGLEPAUGH" IN CONCRETE CURB LOCATED 237.2'± SOUTH AND 5.7'± WEST OF THE NORTHEAST CORNER OF THE PROPERTY DESCRIBED HEREON. ELEVATION: 97.12' (NORTH AMERICAN VERTICAL DATUM)

ON-SITE TBM #2: STATION IS A SET NAIL & DISK "LB 7882" IN CONCRETE INLET LOCATED 12.2'± SOUTH AND 19.3'± WEST OF THE SOUTHWEST CORNER OF THE PROPERTY DESCRIBED HEREON. ELEVATION: 95.02' (NORTH AMERICAN VERTICAL DATUM)

SCALE: 1" = 20'

INFINITY ENGINEERING
 1115 Michelle Plaza Drive
 Tampa, Florida 33611
 (813) 434-4770
 www.infinityeng.com
 Cert. of Ass. No. 27889

Client Name and Address

FIFTH THIRD BANK
CBRE

NEST SAPPAROHAD, P.C.
 FL. REG. NO. 64005

DATE

Project Name and Address

FIFTH THIRD BANK NO. 17618
 WINTER PARK, FL 32789

Sheet Title

STORM WATER RETENTION AND DRAINAGE PLAN

Scale

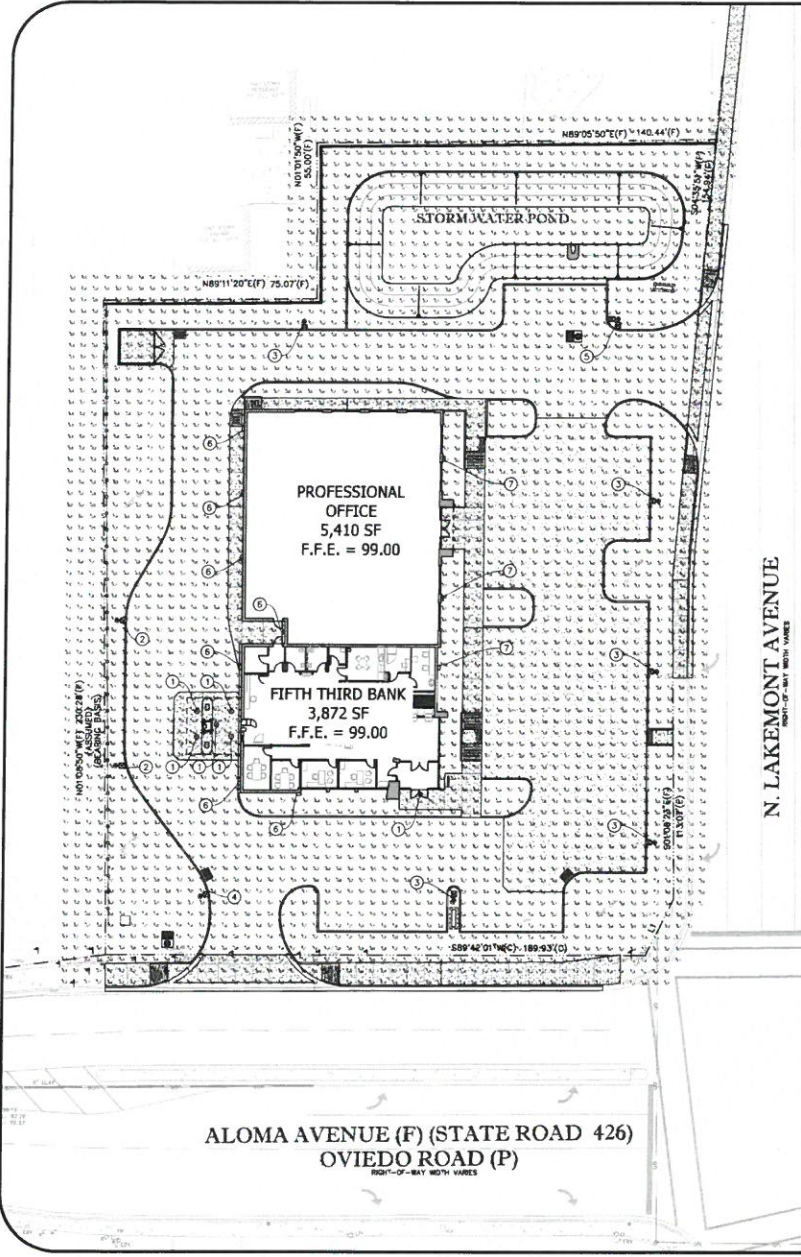
15'-31.00

Date

03/03/15

AS NOTED

C2.0



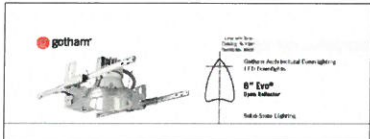
POLE FIXTURES MOUNTED TO CONCRETE POLES BY OTHERS. OAH # 20' A.F.O.

Luminaire Schedule

Symbol	Qty	Label	Arrangement	LLD	LOD	BF	LLP	Lum. Lumens	Lum. Watts	Total Watts	Description
Ⓞ	6	1	SINGLE	0.950	0.950	1.000	0.903	873	11.8	70.8	Lithonia LOW VOLT 3600 LORAN 120
Ⓢ	3	2	SINGLE	0.950	0.950	1.000	0.903	1871	269	837	Lithonia DECK LED 60C 1000 40K TSM MVOLT RPA DOB040A120-180 mid to concrete pole by others
Ⓢ	4	3	SINGLE	0.950	0.950	1.000	0.903	13356	209	836	Lithonia DECK LED 60C 1000 40K TSM MVOLT RPA HS DOB040A120-180 mid to concrete pole by others
Ⓢ	1	4	SINGLE	0.950	0.950	1.000	0.903	12192	209	209	Lithonia DECK LED 60C 1000 40K TSM MVOLT RPA HS DOB040A120-180 mid to concrete pole by others
Ⓢ	1	5	2 @ 90 DEGREE	0.950	0.950	1.000	0.903	18171	209	418	Lithonia DECK LED 60C 1000 40K TSM MVOLT RPA DOB040A120-180 mid to concrete pole by others
Ⓢ	7	6	SINGLE	0.950	0.950	1.000	0.903	5643	75	525	Lithonia DECK LED 30C 1000 40K TSM MVOLT DOB020
Ⓢ	4	7	SINGLE	0.950	0.950	1.000	0.903	8727	120	438	Lithonia DECK LED 30C 1000 40K TSM MVOLT DOB020

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	AvghMin	MaxMin
CalcFts	Luminaire	Fc	3.16	18.8	0.0	N.A.	N.A.
ATM	Luminaire	Fc	7.34	18.8	2.3	3.18	8.17
TD	Luminaire	Fc	7.43	18.8	3.0	2.46	8.27



NOTES

PHOTOMETRICS SHOWN ON THIS PLAN DO NOT INCLUDE SOME EXISTING LIGHT FIXTURES FOR THE PURPOSE OF SHOWING NEW FIXTURE ILLUMINATIONS ONLY.

LUMINAIRE SCHEDULE

NOTES:

- POLE FIXTURES MOUNTED AT 20'-0" A.F.O.
- WALL MOUNT FIXTURE MTD. AT 10'-0" A.F.O.

Project: Fifth Third - Lem Turner

Utilities Structures, Inc.
PC Box 9303 Ft. Myers, FL 33901
Ph: 1-800-798-7663 Fax: 1-941-332-7132
"Your Precast Concrete Pole Producer"

D-Series Size 1 LED Wall Luminaire

Specifications

- Material: 2" Dia. 27" Ht.
- Height: 27"
- Weight: 110 lbs.
- Capacity: 150 lbs.
- Finish: RAL 9005 (White)
- Back Box (BXX) ELCV
- Mounting: 2" Dia. 27" Ht.
- Capacity: 150 lbs.
- Finish: RAL 9005 (White)

D-Series Size 1 LED Area Luminaire

Specifications

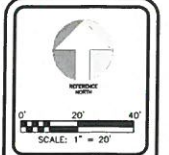
- Material: 2" Dia. 27" Ht.
- Height: 27"
- Weight: 110 lbs.
- Capacity: 150 lbs.
- Finish: RAL 9005 (White)
- Back Box (BXX) ELCV
- Mounting: 2" Dia. 27" Ht.
- Capacity: 150 lbs.
- Finish: RAL 9005 (White)

PRELIMINARY

PROJ: []

DATE: []

Light Pole Detail:
FH = 2.37" OD Galv. Tensar
Tensar is clamped internally and stamped to steel via grounding clamp.
1" PVC CHASE
27'
3.6" x 2" HANDHOLE
1" PVC INLET
Base 6.6"
12'



Date	Revision/Notes

INFINITY

INFINITY ENGINEERING GROUP, LLC

1155 Middle Florida Drive
Tampa, Florida 33611

(813) 814-4478
(813) 814-4211
www.infinityeng.com

Client Name and Address

FIFTH THIRD BANK

CBRE

HSIT SAPPAPPAH, P.E.
FL REG. NO. 84085

DATE

Project Name and Address

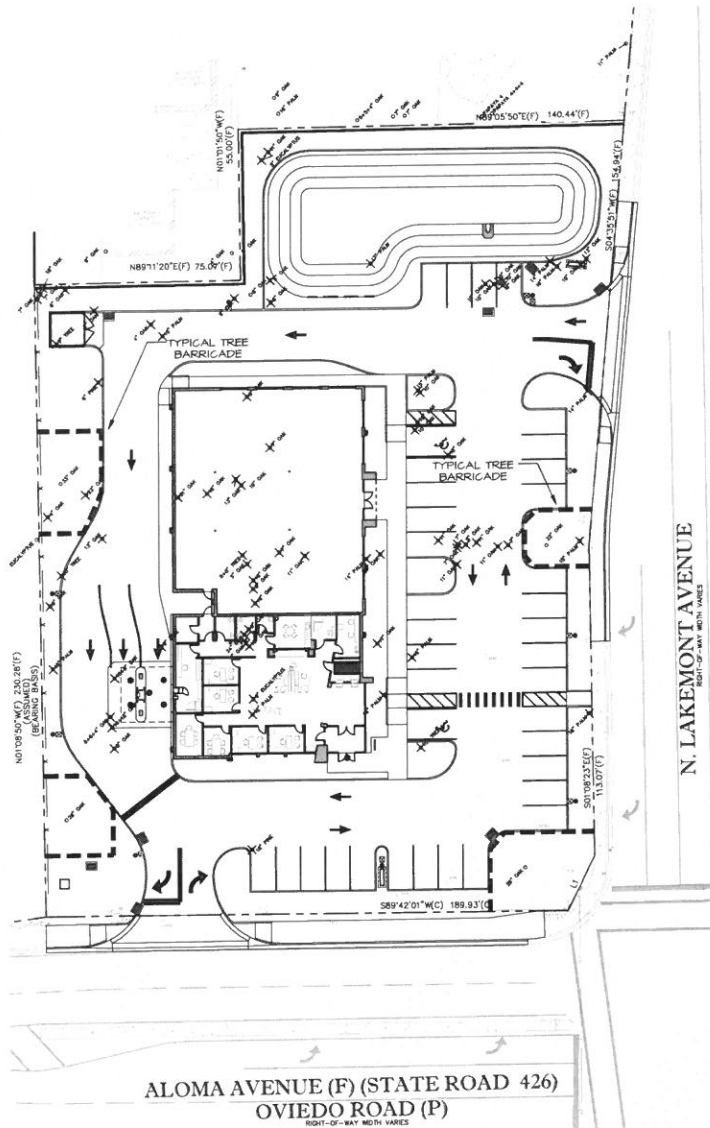
FIFTH THIRD BANK NO. 17618
1871 ALOMA AVENUE
WINTER PARK, FL 32789

Sheet Title
STREET SIGNS AND OUTDOOR LIGHTING

Scale
AS NOTED

Date
03/03/15

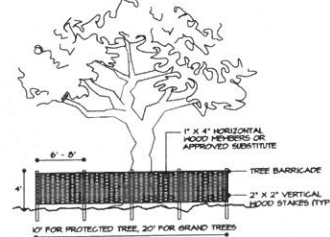
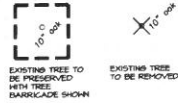
PH1.0



ALOMA AVENUE (F) (STATE ROAD 426)
 OVIEDO ROAD (P)
 RIGHT-OF-WAY WIDTH VARIES

N. LAKEMONT AVENUE
 RIGHT-OF-WAY WIDTH VARIES

EXISTING TREE LEGEND



TREE PROTECTION DETAIL

ALL EXISTING TREES TO REMAIN SHALL BE BARRICADED AS PER THE DETAIL. BARRICADES SHALL BE ERECTED BEFORE SITE WORK BEGINS AND SHALL REMAIN FOR THE ENTIRE DURATION OF THE WORK.

EXOTIC PEST PLANT REMOVAL NOTES

- 1) ALL INVASIVE EXOTIC SPECIES SUCH AS BRAZILIAN PEPPER, CHINESE TALLON, AND PINK TREES, MUST BE REMOVED FROM THE SITE. EXOTIC TREES AND SHRUBS SHALL BE CUT FLUSH WITH FINISH GRADE. RESULTING STUMPS SHALL BE REMOVED FROM THE SITE OR TREATED WITH AN APPROVED HERBICIDE.
- 2) CONTRACTOR SHALL TREAT CUT STUMPS WITH GARLON 8A, TRICOPR, OR RODEO HERBICIDE TO THE CAMBIAL LAYER AS PER MANUFACTURER'S INSTRUCTIONS, AT THE RECOMMENDED STRENGTH TO PREVENT RE-GROWTH. APPLY HERBICIDE IMMEDIATELY AFTER TRUNKS ARE CUT TO PREVENT SAP FLOW SEALING WOUNDS. REMOVE ALL WASTE MATERIALS PRODUCED BY THIS WORK FROM THE SITE AND DISPOSE OF THEM IN A LEGAL MANNER.
- 3) CONTRACTOR SHALL ALSO MAKE SURE THAT ALL NATIVE MANGROVES NOT BE HARMED DURING THE REMOVAL AND TREATMENT OF THE INVASIVE SPECIES.

TREE PROTECTION NOTES

- 1) PROTECTIVE BARRICADES SHALL BE PLACED AROUND ALL PROTECTED TREES AND GRAND TREES DURING SITE CLEARING TO CREATE A PROTECTIVE ROOT ZONE AND SHALL REMAIN IN PLACE UNTIL LAND ALTERATION, SITE CLEARING AND CONSTRUCTION ACTIVITIES ARE COMPLETE. BARRICADES FOR THE PROTECTIVE ROOT ZONE SHALL BE ERECTED AT A MINIMUM DISTANCE OF TEN (10) FEET FROM THE EDGE OF TRUNK OF PROTECTED TREES AND TWENTY (20) FEET FROM THE EDGE OF TRUNK OF GRAND TREES.
- 2) A MINIMUM DISTANCE OF TEN (10) FEET FROM ALL PROTECTED TREES AND TWENTY (20) FEET FROM ALL GRAND TREES SHALL BE MAINTAINED WHEN INSTALLING UNDERGROUND UTILITIES. IF THIS RESULTS IN UNREASONABLE HARDSHIP, A SOIL AUGER SHALL BE USED TO TUNNEL UNDER THE ROOT SYSTEMS.
- 3) INSTALLATION OF ARTIFICIAL BARRIERS SUCH AS PROTECTIVE BARRICADES, FENCES, POSTS OR WALLS SHALL NOT DESTROY OR IRREVERSIBLY HARM THE ROOT SYSTEM OF PROTECTED TREES AND GRAND TREES. FOOTERS FOR WALLS SHALL END AT THE POINT WHERE LARGER ROOTS ARE ENCOUNTERED, AND THE ROOTS SHALL BE BRIDGED. POST HOLES AND TRINGLES LOCATED CLOSE TO PROTECTED TREES OR GRAND TREES SHALL BE ADJUSTED TO AVOID DAMAGE TO MAJOR ROOTS.
- 4) ALL ROOTS TO BE REMOVED DURING THE SITE CLEARING PHASE SHALL BE SEVERED CLEAN AT THE PERIMETER OF THE DESIGNATED PROTECTIVE ROOT ZONE.
- 5) A THOUGHT LAYER OF MULCH SHALL BE APPLIED OVER THE SURFACE OF EXPOSED ROOTS OF PROTECTED TREES AND GRAND TREES DURING THE SITE CLEARING PHASE.
- 6) A PROTECTIVE DRY WELL AND DRAINAGE/AERATION SYSTEM SHALL BE PROVIDED WHERE PROTECTED TREES OR GRAND TREES WILL BE ADVERSELY AFFECTED BY RAISING THE GRADE.
- 7) A PROTECTIVE RETAINING WALL SHALL BE CONSTRUCTED AT THE PERIMETER OF THE PROTECTIVE ROOT ZONE AROUND A PROTECTED TREE OR GRAND TREE WHERE THE PROTECTED TREE OR GRAND TREE WILL BE ADVERSELY AFFECTED BY LOWERING THE GRADE.
- 8) ALL TRIMMING OF PROTECTED TREES AND GRAND TREES DURING DEVELOPMENT SHALL BE DONE BY A QUALIFIED, LICENSED TREE SERVICE.

ROOT AND BRANCH PRUNING NOTES

- 1) BRANCH PRUNING: ALL STRUCTURAL AND ELEVATION PRUNING MUST BE PERFORMED PRIOR TO LAND CLEARING BY A LICENSED CERTIFIED ARBORIST ACCORDING TO ANSI, 300 PRUNING STANDARDS.
- 2) ALL EXISTING OAKS ON SITE MUST BE PRUNED BY AN ARBORIST CERTIFIED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) OR A REGISTERED CONSULTING ARBORIST WITH THE AMERICAN SOCIETY OF CONSULTING ARBORISTS (ASCA). PRIOR TO THE PRUNING OF OAKS A NOTARIZED AFFIDAVIT AFFIRMING AN ISA CERTIFIED ARBORIST OR AN ASCA REGISTERED CONSULTING ARBORIST WILL CONDUCT OR PROVIDE ON-SITE SUPERVISION OF THE PRUNING SHALL BE SUBMITTED TO THE CITY. AN ISA CERTIFIED ARBORIST OR AN ASCA REGISTERED CONSULTING ARBORIST CONTRACTED BY A PROPERTY OWNER TO PRUNE A GRAND OAK SHALL ASSUME FULL RESPONSIBILITY FOR ALL PRUNING ACTIVITIES DETERMINED IN NON-COMPLIANCE WITH STANDARDS SPECIFIED WITHIN THE LAND DEVELOPMENT CODE.
- 3) ROOT PRUNING: BEFORE GRADING, PAD PREPARATION OR EXCAVATION FOR PARKING AREA CURBS, SIDEWALKS, OR DRIVEWAYS, THE ROOTS OF IMPACTED TREES MUST BE PRUNED WITH APPROVED EQUIPMENT ONE FOOT OUTSIDE OF BARRIERS, AND BE SEVERED CLEAN FROM TREE. ALL ROOT PRUNING SHALL BE CONDUCTED BY A LICENSED CERTIFIED ARBORIST, AND MAY REQUIRE THE CITY'S ARBORIST TO BE PRESENT DURING THIS PROCEDURE.
- 4) A DETAILED REPORT OUTLINING THE REQUIRED ROOT PRUNING PROCEDURES SHALL BE PREPARED BY A LICENSED, CERTIFIED, CONSULTING ARBORIST, TO BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT FOR APPROVAL.
- 5) ALL DAMAGED ROOTS ARE TO BE EXPOSED TO SOUND TISSUE AND SEVERED CLEANLY. ROOTS SHALL BE PRUNED TO A DEPTH OF 10 INCHES BELOW THE EXISTING GRADE OR TO THE DEPTH OF DISTURBANCE IF LESS THAT IS INCHES FROM THE EXISTING GRADE.
- 6) PROPAGULANT TREATMENTS, SUCH AS THE APPLICATION OF FUNGICIDES INTO THE PRUNING TRENCH WILL BE REQUIRED TO ENSURE THE LEAST AMOUNT OF DAMAGE TO PRUNED ROOTS.
- 7) AFTER COMPLETION OF ROOT PRUNING, ALL BARRIERS ARE TO BE REINSTALLED, AND THE AREA INSIDE THE BARRIER IS TO RECEIVE CORE AERATION.
- 8) ADEQUATE WATER MUST BE SUPPLIED TO ROOT PRUNED TREES TO AIDE IN ROOT REGENERATION AND DECREASE STRESS.

REVISIONS

No.	Date	Description

SCALE: 1" = 20'

ANDERSON LESNAK LIMITED, INC.
 1811 S. WETMORE ROAD, SUITE 200
 TAMPA, FLORIDA 33611
 813-878-8888 FAX 813-878-8888
 www.andersonlesnak.com
 project no. 15117

Client Name and Address

L. ALTON UTTER, III
 FL. REG. NO. LA0001183

DATE

Project Name and Address

FIFTH THIRD BANK NO. 17818
 1817 ALOMA AVENUE
 WINTER PARK, FL 32789

Sheet Title

TREE PRESERVATION/REMOVAL PLAN

DATE

03/02/15

AS NOTED

L-1

PLANT MATERIAL LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	SPACINGS	NATIVE
TD	6	TAXODIUM DISTICHUM	BALD CYPRESS	14' HT X 5" SPD, 4" CALIPER	AS SHOWN	YES
UA	4	ULMUS ALATA	WINGS ELM	12' HT X 5" SPD, 3" CALIPER	AS SHOWN	YES
QV	5	QUERCUS VIRGINIANA "SOLIN"	CATHEDRAL LIVE OAK	12' HT X 5" SPD, 3" CALIPER	AS SHOWN	YES
LS	8	LIQUIDAMBAR STRYACIFLUA	SHEETSUM	12' HT X 5" SPD, 3" CALIPER	AS SHOWN	NO
LA	15	LAVANDRINA INDICA "MUSKOGEE"	LAVENDER GRAPE HYRTILE	8' HT X 4" SPD, 2" CALIPER	AS SHOWN	NO
LJ	7	LIGUSTRUM JAPONICUM	TREE FORM LIGUSTRUM	8' HT X 4" SPD, 2" CALIPER	AS SHOWN	NO
CC	13	GERGUS CANADENSIS	EASTERN REDBUD	8' HT X 4" SPD, 2" CALIPER	AS SHOWN	YES
VO	271	VIBURNUM OBOVATUM	HALTER'S VIBURNUM	30" HT X 30" SPD, 1 GALLON	36" OC	YES
SB	137	SPARTINA BAKERI	SAND CORDGRASS	24" HT X 24" SPD, 3 GALLON	36" OC	YES
MC	35	MILLENBERGIA CAPILLARIS	MALEY GRASS	24" HT X 24" SPD, 3 GALLON	36" OC	NO
SA	128	SCHEFFLERA "GOLD CAPELLA"	DWARF VARIEGATED SCHEFFLERA	18" HT X 18" SPD, 3 GALLON	30" OC	YES
ZP	115	ZAMIA FUMILA	COOKATE	15" HT X 15" SPD, 3 GALLON	36" OC	YES
RI	455	RAPHIOLEPIS INDICA	DWARF INDIAN HAWTHORN	12" HT X 15" SPD, 3 GALLON	30" OC	NO
LM	280	LIRIOPE "SUPER BLUE"	SUPER BLUE LIRIOPE	12" HT X 10" SPD, 1 GALLON	24" OC	NO
TA	864	TRACHELOSPERMUM ASIATICUM	MINIMA JASMINE	12" SPD, MIN B PFP, 1 GALLON	18" OC	NO

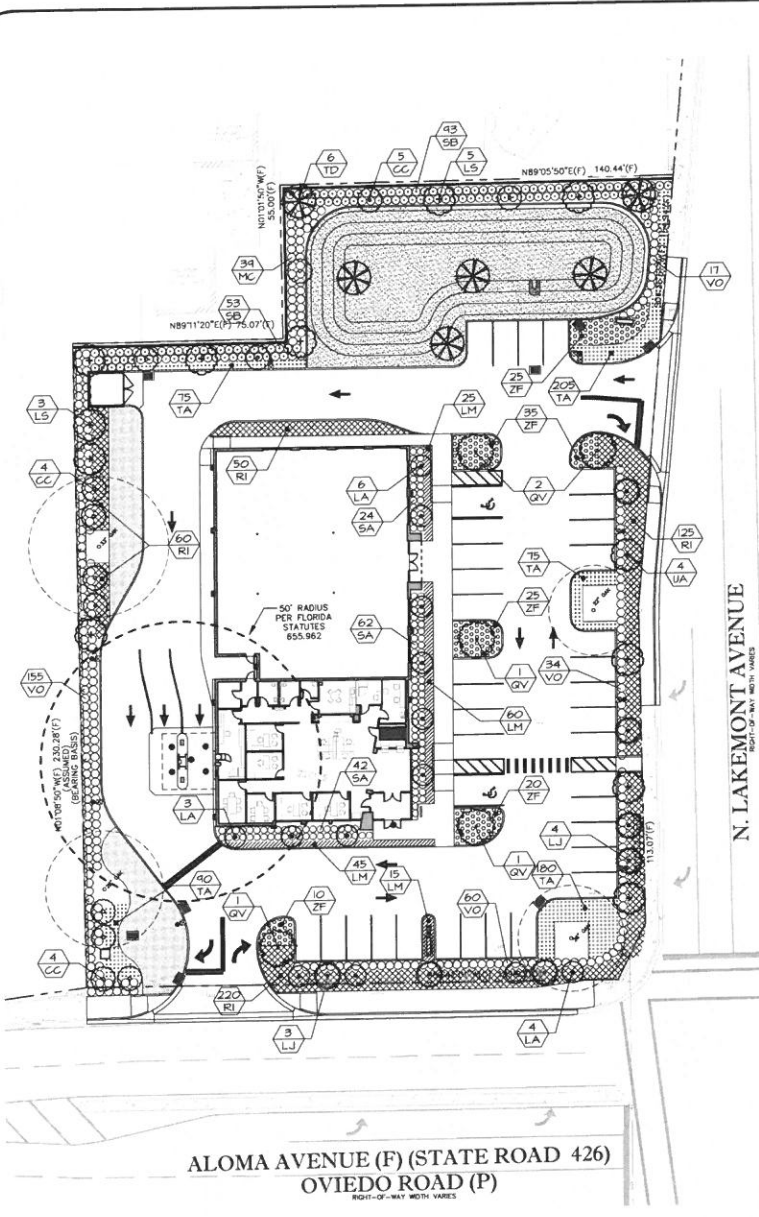
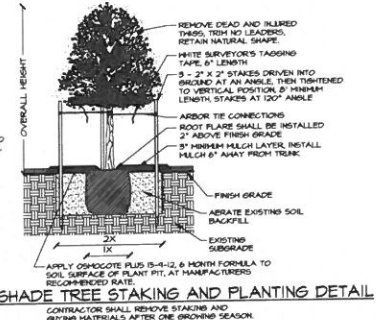
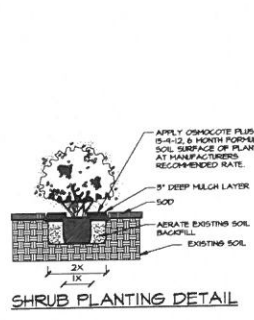
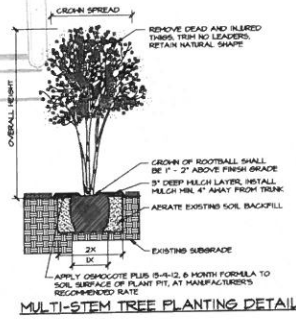
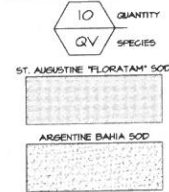
LANDSCAPE INSTALLATION NOTES

- 1) ALL PLANT MATERIALS SHALL BE FLORIDA #1 OR BETTER AS GIVEN IN GRASSES AND STANDARDS FOR NURSERY PLANTS FEBRUARY 1980 EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- 2) LOCATION OF PLANTS ON THE PLAN ARE DIAGRAMMATIC - SEE THE LANDSCAPE ARCHITECT FOR QUESTIONS ON EXACT LOCATIONS. THE PLANT MATERIALS LIST IS PROVIDED FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. SHOULD THERE BE ANY DISCREPANCY BETWEEN THE PLANT LIST AND THE PLAN THE PLAN SHALL PREVAIL.
- 3) IT IS THE LANDSCAPE CONTRACTORS RESPONSIBILITY TO INSURE THAT ALL PLANT BED AREAS HAVE PROPER DRAINAGE FOR OPTIMUM GROWTH OF LANDSCAPE MATERIAL BEFORE INSTALLATION BEGINS.
- 4) THE CONTRACTOR SHALL INSURE THAT ALL PLANTING ISLANDS AND OTHER AREAS SHALL BE CLEAN OF TRASH, CONSTRUCTION DEBRIS, OR OTHER WASTE MATERIALS TO A DEPTH OF 24" PRIOR TO LANDSCAPE INSTALLATION.
- 5) ALL PLANT BEDS AND TREE RINGS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE AND THEN TOP-DRESSED WITH 5" DEEP FINE BARK MULCH. CONTRACTOR SHALL INSTALL A HOVEN REED BARRIER FABRIC IN ALL SHRUB AND GROUND COVER BEDS. ALL NEW TREES SHALL HAVE A TREE RING WITH A MINIMUM OF 24" RADIUS. ALL NEW TREES AND PALMS SHALL BE STAKED.
- 6) NEW 500 SHALL BE ST. AUGUSTINE "FLORATAM" 500 APPROXIMATELY 1750 SQ FT OR ARGENTINE BAHIA 500 IN THE POND APPROXIMATELY 5500 SQ FT. CONTRACTOR SHALL DETERMINE EXACT QUANTITIES IN THE FIELD. 500 AREAS SHALL BE MAINTAINED BY THE CONTRACTOR FROM THE TIME OF INSTALLATION TO THE TIME OF FINAL ACCEPTANCE.
- 7) TREES SHRUBS AND GROUND COVER SHALL BE INSTALLED USING THE FOLLOWING PROCEDURE. PLANT PITS SHALL BE EXCAVATED TO THREE TIMES THE DIAMETER OF THE PLANT ROOT BALL. AERATE EXISTING SOIL BEFORE BACKFILLING PIT. ADD AGRIFORM FERTILIZER TABLETS TO EACH PLANT PIT, AS PER THE SPECIFICATIONS.
- 8) TREE INSTALLATION, ALL REQUIRED TREES SHALL BE INSTALLED 2" ABOVE FINISH GRADE. TREES INSTALLED OR BURIED TOO DEEP SHALL BE RESET TO THIS STANDARD. REMOVE THE TOP 1/3 OF THE WIRE BASKETS ON ALL B & B STOCK.
- 9) CONTRACTOR MUST REMOVE ALL EXISTING PAVEMENT AND PAVEMENT BASE MATERIAL IN THE AREAS WHERE NEW LANDSCAPE HILL OCCUR. THE EXISTING SUB-BASE IN THESE AREAS SHALL BE BROKEN UP TO ALLOW DRAINAGE THROUGH THIS LAYER. THE NEW FILL SOIL FOR THE LANDSCAPE AREAS SHALL BE A NATIVE SOIL THAT IS WELL DRAINED, SANDY LOAM WITH A PH RANGE OF 5.5 TO 7. REMOVE STONES, ROOTS, PLANTS, SOIL CLOTS, GLAY LUMPS AND ALL OTHER DEBRIS BEFORE FILL OPERATIONS.

TREE REQUIREMENTS

- NORTH PERIMETER**
 10' BUFFER WITH ONE SHADE AND ONE UNDERSTORY TREE PER 80 LF
 28' / 30' = 4 SHADE TREES AND 4 UNDERSTORY TREES
- EAST PERIMETER**
 10' BUFFER WITH ONE SHADE AND ONE UNDERSTORY TREE PER 50 LF
 205' / 30' = 4 SHADE TREES AND 4 UNDERSTORY TREES
- SOUTH PERIMETER**
 10' BUFFER WITH ONE SHADE AND ONE UNDERSTORY TREE PER 50 LF
 166' / 30' = 5 SHADE TREES AND 5 UNDERSTORY TREES
- WEST PERIMETER**
 10' BUFFER WITH ONE SHADE AND ONE UNDERSTORY TREE PER 50 LF
 285' / 30' = 6 SHADE TREES AND 6 UNDERSTORY TREES PER 50 LF
- BUILDING FACADE**
 ONE UNDERSTORY TREE PER 30 LF
 EAST: 18' / 30' = 5 UNDERSTORY TREES
 SOUTH: 36' / 30' = 3 UNDERSTORY TREES
- TOTAL TREE REQUIREMENTS**
 17 SHADE TREES AND 26 UNDERSTORY TREES

SYMBOL LEGEND



ALOMA AVENUE (F) (STATE ROAD 426)
OVIEDO ROAD (P)
RIGHT-OF-WAY WITH VARIES

N. LAKEMONT AVENUE
RIGHT-OF-WAY WITH VARIES

Revision/Name	Date

ANDERSON LERNER LIMITED, INC.
 1891 S. WESTSHORE BOULEVARD
 WEST PALM BEACH, FLORIDA 33411
 (561) 833-6600 FAX 833-4485
 www.andersonlerner.com

Client Name and Address

L. ALYSON UITER, P.E.A.
 FL. REG. NO. LA0001163

DATE

Project Name and Address
FIFTH THIRD BANK NO. 17818
 1811 ALOMA AVENUE
 WEST PALM BEACH, FL 33409

Sheet Title
LANDSCAPE PLAN

Scale: 15'-21"=0'

Date
 03/03/15

L-2

LEGAL DESCRIPTION

THE EAST 1/2 OF LOT 18, AND ALL OF LOTS 19, 20, 21, 22, 23, 24, AND 25, CHAMP BEACH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 23, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS THOSE PORTIONS THEREOF RECORDED IN DEEDS RECORDED IN O.S. BOOK 1432, PAGE 361 AND O.S. BOOK 2320, PAGE 107, AND ORDER OF TABLE RECORDED IN O.S. BOOK 2381, PAGE 184, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

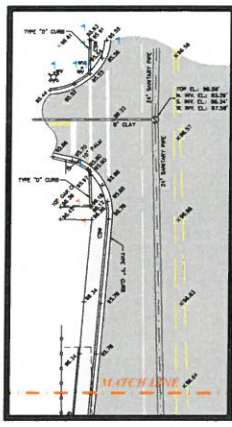
EBI Surveying
6415 Sunstate Street
Tampa, Florida 33634
Phone: (813) 886-6080 / Fax: (813) 886-6081
Certificate of Authorization Number: LB-7652

ALTA/ACSM BOUNDARY AND TOPOGRAPHIC SURVEY
1861 ALOMA AVENUE
THE EAST 1/2 OF LOT 18 AND ALL OF LOTS 19-25
ORANGE COUNTY

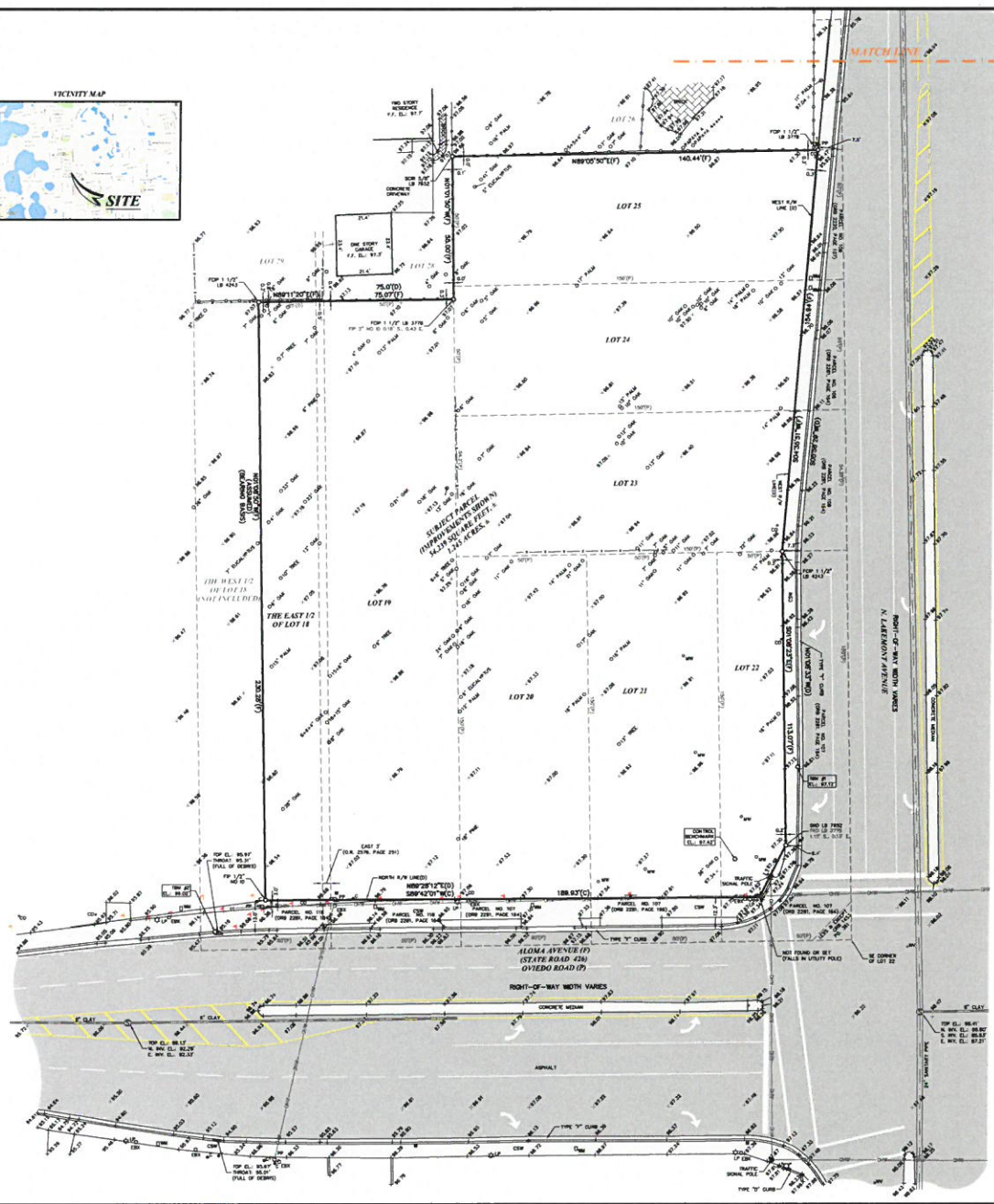
REVISIONS: APPD.

DATE OF SURVEY: 02/13/2015
DRAWN: DLS
CHECKED: JLS
REVISION:
FILE: 896ALTA.XXD
SCALE: 1" = 20'
PROJECT NUMBER: NYF0096
SHEET NO.

1 OF 1



SITE PHOTOGRAPH



1:25,000 MAP



GRAPHIC SCALE
1 inch = 20 feet

LEGEND table with symbols for various survey features like concrete monuments, iron pins, and utility lines.

CONTROL MONUMENTS
ELEVATIONS SHOWN HEREIN ARE BASED ON ORANGE COUNTY BEACHMOUND T.V. MAP DESCRIBED AS VERTICAL CONTROL, ONE OF CONCRETE MONUMENTS 1/2 E. NORTH OF THE CENTERLINE OF WEST BOUNDARY LANE OF STATE ROAD 201 AND 1/2 E. WEST LANE OF CENTERLINE OF WEST BOUNDARY LANE OF LASSALLE ELEVATION: 81.7' (ORANGE AMERICAN METEORICAL DATA 1988)

SURVEY NOTES:
1. THIS SURVEY WAS MADE FOR THE PURPOSES OF THE SUBDIVISION OF LAND...
2. THE PROPERTY SHOWN HEREIN APPEARS TO BE IN FLOOD ZONE 'X' ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 1978A, PANEL NUMBER 0801, DATED 7/11/2010, BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY...
3. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, INCLUDING CONSTRUCTION OR REPAIRS OF TREATMENT STRUCTURES, AT THE FIELD SURVEY...
4. THERE WAS NO OBSERVED EVIDENCE OF THE USE AS A BOND WAREHOUSE, DAMP, SAND OR LAMPGLASS ON SURVEYED PARCELS AT TIME OF FIELD SURVEY.

TO: FIFTH THIRD BANK, A NATIONAL BANKING CORPORATION, THE BERNHARTY FAMILY LIMITED PARTNERSHIP, A FLORIDA LIMITED PARTNERSHIP, OLD REDUCED, AN IRONDA, S.I.E. INSURANCE COMPANY, PRINITY ENGINEERING, GROUP
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARDS OF PRACTICE FOR ALTA/ACSM LAND SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY THE F.S. AND F.S.P.S. AND INCLUDES TABLES 2, 3, 4, 5, 6, 11(a), 13, 14, 16, 18, 19 AND 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 02/13/2015.
AND I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY DIRECTION AND MEETS THE MINIMUM TECHNICAL STANDARDS, REQUIREMENTS OF CHAPTER 30-17 OF THE FLORIDA ADMINISTRATIVE CODE.

JAY L. WICKLER DATE SIGNED
SURVEYOR AND MAPPER NUMBER: 65-6201

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FIFTH THIRD BANK
ALOMA & LAKEMONT BRANCH
WINTER PARK, FLORIDA

JOB NO. 15409

DATE: 3-1-15

DRAWN BY: SMN

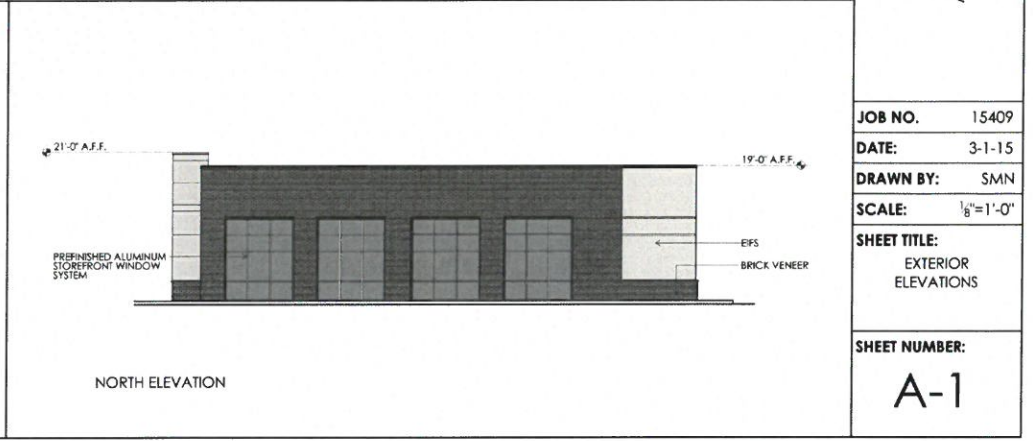
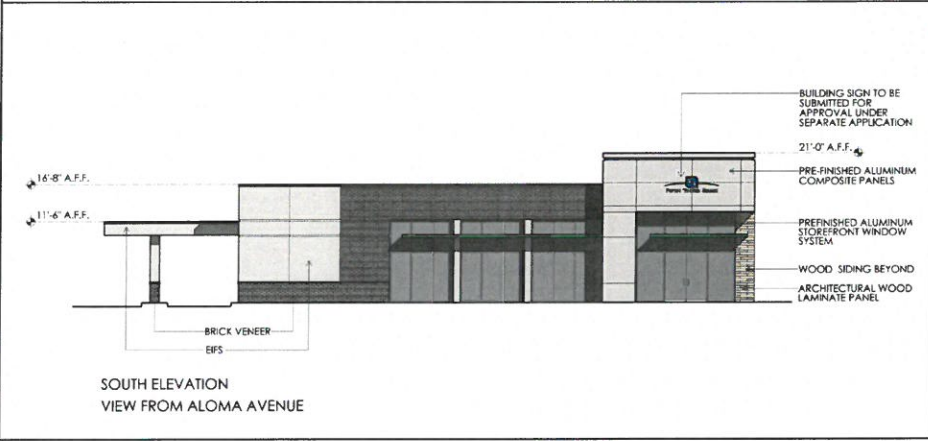
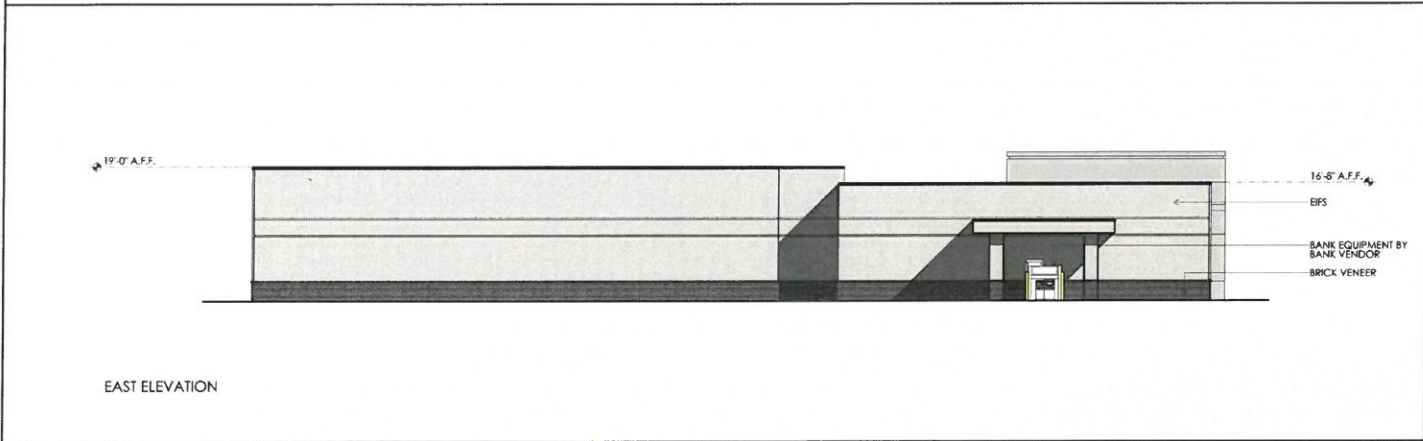
SCALE: 1/8" = 1'-0"

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:

A-1

EXTERIOR FINISH SCHEDULE	
BRICK VENEER	
ACME, SLATE GRAY	
ACM	
ALCOA ARCHITECTURAL PRODUCTS	
REYNOBOND	
BRIGHT SILVER METALLIC	
EFS	
S10	
DV104 DOVER SKY	
WOOD PANEL	
ARCHITECTURAL WOOD LAMINATE	
MAPLE STAIN FINISH	





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ALOMA & LAKEMONT BRANCH
WINTER PARK, FLORIDA





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WINTER PARK, FLORIDA





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WINTER PARK, FLORIDA



SIMMO
5601 Col
O 561.47
Certific



TRAFFIC GENERATION STATEMENT

**FIFTH THIRD BANK
CITY OF WINTER PARK, FLORIDA**

Prepared for:

Infinity Engineering Group, LLC
1135 Marbella Plaza Drive
Tampa, Florida 33619

Job No. 15-013

Date: 03/03/2015

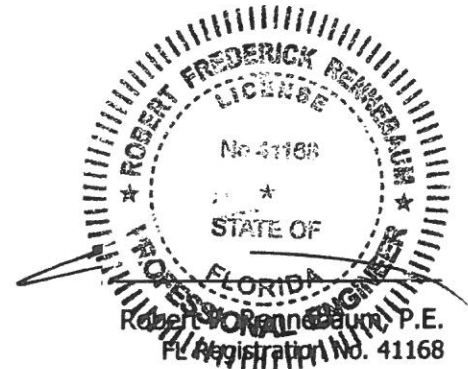


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2.0 TRAFFIC GENERATION 2

3.0 SITE RELATED IMPROVEMENTS..... 2

4.0 CONCLUSION 3

1.0 SITE DATA

The subject parcel is located on the northwest corner of Aloma Avenue (State Road 426) and Lakemont Avenue in the City of Winter Park, Florida and contains approximately 1.247 acres. The Street Address for the subject parcel is 1871 Aloma Avenue, Winter Park, Florida. The Parcel Identification Numbers for the subject parcel are as follows:

05-22-30-1140-00-190
05-22-30-1140-00-200

05-22-30-1140-00-210
05-22-30-1140-00-230

Proposed site development on the currently unimproved parcel consists of a 3872 SF bank with two drive-through lanes and a contiguous 5410 SF medical office facility. Site access is proposed via right-in, right-out driveway connections to both Aloma Avenue and Lakemont Avenue. For additional information concerning site location and layout, please refer to the Site Plan prepared by Infinity Engineering Group, LLC.

2.0 TRAFFIC GENERATION

The traffic to be generated by the proposed development has been calculated in accordance with the traffic generation rates listed in the ITE Trip Generation Manual, 9th Edition as shown in Tables 1, 2 and 3. Table 1 shows the daily traffic generation associated with the proposed plan of development. Tables 2 and 3 show the A.M. and P.M. peak hour traffic generation, respectively. The traffic to be generated by the proposed plan of development consisting of a 3872 SF bank and 5410 SF medical office facility may be summarized as follows:

Daily Traffic Generation	=	499 tpd
A.M. Peak Hour Traffic Generation (IN/OUT)	=	36 pht (24 IN/12 OUT)
P.M. Peak Hour Traffic Generation (IN/OUT)	=	71 pht (31 IN/40 OUT)

3.0 SITE RELATED IMPROVEMENTS

The A.M. and P.M. peak hour turning movement volumes and directional distributions at the project entrances for the overall development with no reduction for passer-by credits are shown in Tables 2 and 3 attached with this report and may be summarized as follows:

**DIRECTIONAL
DISTRIBUTION
(TRIPS IN/OUT)**

= 37 / 23
= 53 / 62

3.0 SITE RELATED IMPROVEMENTS (CONTINUED)

As mentioned in the SITE DATA section of this report, site access is proposed via right-in, right-out driveway connections to both Aloma Avenue and Lakemont Avenue. Table 5 attached with this report charts the project driveway turning movements and Figure 1 graphically represents the same. Based on the projected turning movements at the project driveways, no turn lanes appear warranted.

4.0 CONCLUSION

The proposed development will result in an increase of 499 daily trips, 36 A.M. peak hour trips and 71 PM peak hour trips at project build-out. The minimal increases in peak hour trips is negligible and will have an insignificant impact on the surrounding roadways.

PROPOSED DEVELOPMENT

TABLE 1 - Daily Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split		Gross Trips		Internalization		External Trips		Pass by		Net Trips
				In	Out	In	Out	In	Out	In	Out	%	Trips	
Medical Office	720	5.410	36.13	0.50	0.50	195		0		195		0%	0	195
Drive-In Bank	912	3.872	148.15	0.50	0.50	574		0		574		47%	270	304
Grand Totals:				0.50	0.50	769		0	0.0%	769		35%	270	499

TABLE 2 - AM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split		Gross Trips		Internalization		External Trips		Pass by		Net Trips
				In	Out	In	Out	In	Out	In	Out	%	Trips	
Medical Office	720	5.410	2.39	0.79	0.21	10	3	0	0	10	3	0%	0	10
Drive-In Bank	912	3.872	12.08	0.57	0.43	27	20	0	0	27	20	47%	22	14
Grand Totals:						37	23	0	0.0%	37	23	37%	22	24

TABLE 3 - PM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity	Rate/Equation	Dir Split		Gross Trips		Internalization		External Trips		Pass by		Net Trips
				In	Out	In	Out	In	Out	In	Out	%	Trips	
Medical Office	720	5.410	$\ln(T) = 0.90 \ln(X) + 1.53$	0.28	0.72	6	15	0	0	6	15	0%	0	6
Drive-In Bank	912	3.872	24.3	0.50	0.50	47	47	0	0	47	47	47%	44	25
Grand Totals:						53	62	0	0.0%	53	62	38%	44	31



FIFTH THIRD BANK

03/03/15

ROADWAY	ORIGIN / DESTINATION	PROJECT DISTRIBUTION	DAILY	NET PROJECT TRIPS			
				AM PEAK HOUR ENTER	AM PEAK HOUR EXIT	PM PEAK HOUR ENTER	PM PEAK HOUR EXIT
ALOMA AVENUE (SR 426)	WEST OF NORTH LAKEMONT AVENUE	30%	150	7	4	9	12
ALOMA AVENUE (SR 426)	EAST OF NORTH LAKEMONT AVENUE	25%	120	6	2	8	10
NORTH LAKEMONT AVENUE	NORTH OF ALOMA AVENUE	15%	75	4	2	5	6
NORTH LAKEMONT AVENUE	SOUTH OF ALOMA AVENUE	30%	150	7	4	9	12
TOTAL			499	24	12	31	40



TABLE 5
Project Driveway Turning Movements

DRIVEWAY	ENTERING NET PROJECT TRIPS				EXITING NET PROJECT TRIPS					
	PROJECT DISTRIBUTION	ORIGIN	DAILY	AM PEAK HOUR	PM PEAK HOUR	DAILY	DESTINATION	DAILY	AM PEAK HOUR	PM PEAK HOUR
ALOMA AVENUE (SR 426) DRIVEWAY	25%	EAST	96	8	13	30%	WEST	115	7	18
	30%	SOUTH	115	11	16					
	30%	WEST	115	11	16					
NORTH LAKEMONT AVENUE DRIVEWAY	15%	NORTH	58	5	8	15%	NORTH	58	3	9
						25%	EAST	96	6	16
						30%	SOUTH	115	7	19

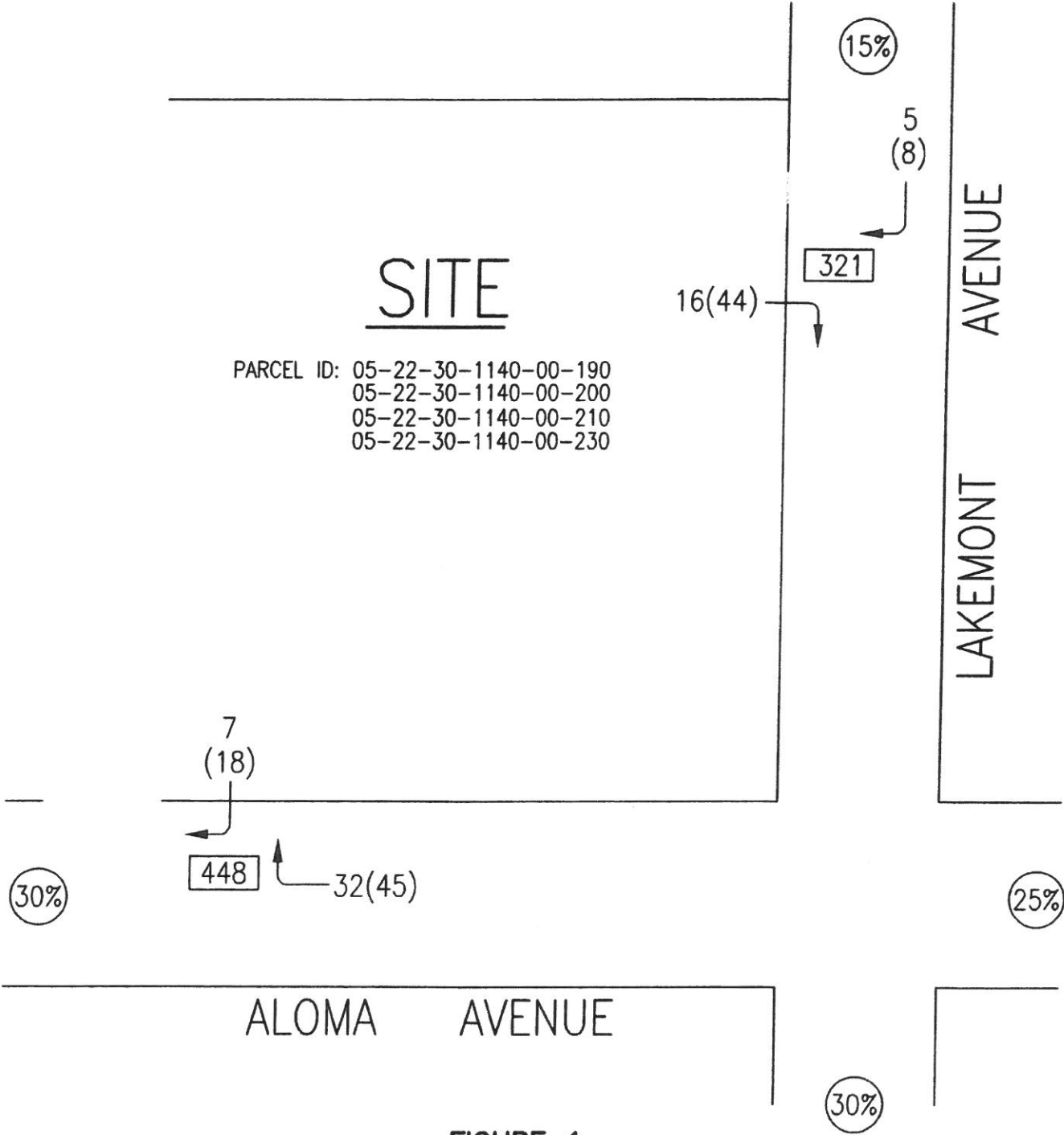


FIGURE 1

TURNING MOVEMENT WORKSHEET AND PROJECT DISTRIBUTION

LEGEND

- 2 A.M. PEAK HOUR TURNING MOVEMENT
- (11) P.M. PEAK HOUR TURNING MOVEMENT
- 148 A.A.D.T.
- 30% PROJECT DISTRIBUTION

FIFTH THIRD BANK

15-013 KD 03-03-15

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
April 7, 2015**

REQUEST OF UNICORP NATIONAL DEVELOPMENTS, INC. FOR:
FINAL CONDITIONAL USE APPROVAL FOR LAKESIDE CROSSING, A REDEVELOPMENT OF THE FORMER MT. VERNON INN PROPERTY WITH APPROXIMATELY 37,435 SQUARE FEET OF RETAIL AND RESTAURANT SPACE INCLUDING A PARKING GARAGE AND SURFACE PARKING OF APPROXIMATELY 300 SPACES ON THE PROPERTY AT 110 S. ORLANDO AVENUE, ZONED C-3 AND PROVIDING FOR CERTAIN EXCEPTIONS AND CONDITIONS.

Unicorp National Developments, Inc. is requesting "final" conditional use approval for their Lakeside Crossing project pursuant to the "preliminary" conditional use approved by the Planning Board on January 6, 2015 and by the City Commission on February 9, 2015, for the property at 110 N. Orlando Avenue, zoned C-3.

The City Commission approved the "preliminary" conditional use with same 11 conditions as recommended by P&Z; that are listed below:

1. The Lakeside Crossing Development entitlements comprise 37,473 square feet of commercial development which includes restaurants and retail space.
2. The project is required to have a minimum of 300 parking spaces to meet the anticipated needs of the development plan, which includes a parking garage and surface parking lot. Restaurant seating and floor plans will only be permitted that meet the parking code and no parking variances are to be granted.
3. The entrance to the project along Orlando Avenue will be restricted to right in/right out only.
4. The developer will coordinate and install intersection traffic signal improvements for the full Morse Boulevard/Orlando Avenue intersection to include restricted left turn signals in all directions subject to FDOT and city approval.
5. The developer will contribute \$50,000 to the cost of new mast arms as part of the improvements to Orlando Avenue and West Morse Boulevard.

6. The developer will pay and install adaptive traffic signal control technology improvements at the Morse Boulevard/Orlando Avenue intersection.

7. The developer will install and maintain decorative paving within the entire Morse Boulevard/Orlando Avenue intersection for safer pedestrian crossing.

8. The developer commits to using 5" caliper street trees along street frontages for landscaping.

9. The developer will work with the city's Arborist regarding any tree replacement and maintenance along Orlando Avenue, Morse Avenue and Harper Avenue as it affects his property.

10. The developer will provide bike parking to be determined as part of the final conditional use review.

11. To incorporate the condition that requires the applicant contribute \$50,000 toward the full signaling cost of West New England Avenue and South Orlando Avenue should the City of Winter Park and FDOT deem it necessary within three years of issuance of certificate of occupancy.

The Approval Process:

Per city code, the public hearings advertised for the conditional use review and approval in January/February were for the "preliminary" CU approval. The "final" CU approval is the action to review compliance with the conditions of approval and to review the civil, landscaping, drainage and lighting details as well as the proposed architectural elevations and project signage.

The New Plan Submittals:

Overall the Lakeside Crossing project is the same as was approved for the Preliminary CU but there have been two important revisions:

1. The total square footage of the commercial project is virtually the same with 37,473 sf for the "preliminary" CU and now 37,435 sf now at "final" CU. There has been a decrease in the common area spaces from 2,820 sf to 1,135 sf. At this time, the "for lease" floor space is 36,300 sf. The significant changes have been that the mix of the retail and restaurant has changed with more space being devoted to retail store space versus restaurant usage and dropping to three restaurants now versus four restaurants previously. The square footage of retail has increased from 7,353 square feet to 16,800 square feet. The square footage of the restaurant spaces has decreased from 27,300 square feet down to 19,500 square feet. That means that the

parking allocation has also changed. Now of the 300 spaces provided, there are the 40 spaces required for the Lakeside project across the street, 67 spaces provided for the retail space and 193 spaces for the restaurant space. That translates into 579 restaurant seats versus 690 seats previously. This averages 193 seats per restaurant. This new mix should significantly alter the peak usage of the project as the retail store usage is spread more evenly throughout the day versus the lunch and dinner peaks for the restaurants. It also reduces the traffic generation for the project.

2. The final parking count has also changed due to the need to enlarge the landscape islands, to provide the required number of handicapped spaces and due to providing more truck circulation and loading space. However, the final parking count is still at the 300 spaces required by the "preliminary" CU approval.

This "final" conditional use provides new plan details for review:

1. Landscape Plan – a more detailed landscape plan for the project is attached. It is not a "permit ready" landscape plan as it does not specify the height, type, quantity, spacing of landscape materials. But we do now see the location of 40+ new shade trees to be planted for the project.
2. Storm Water Drainage Plans – the specific method of meeting the City's and St. Johns River Water Management District's drainage criteria is primarily via underground storm water exfiltration and a vault area within the parking garage in order to achieve the required volumes.
3. Site Lighting – The plan contains the site lighting plan and photometrics which meet code and comply with the City's maximum 16 foot lighting pole height. The specific design of the site lightning pole and fixtures is shown on page 43 of the submittal.
4. Site Signage - these plans include the detail for the monument signage for the Orlando Avenue frontage, also on page 43 of the submittal. The only other signage will be those on the buildings of the individual tenant spaces.
5. Final Architecture – the package contains numerous architectural perspective elevations of the retail and restaurant buildings and the parking garage. The design of the retail and restaurant spaces is attractive. The exterior facades of the parking garage are more a work in progress. The staff will be suggesting a condition of approval to achieve more of a SunTrust quality in the final elevations.

Development Agreement:

A draft Development Agreement will be executed (once all the conditions of approval are agreed upon) to record the approvals granted and all conditions of approval which then runs with title to the land. This "final" CU approval will authorize approval and execution of that Development Agreement pursuant to the review and approval of the document by the City Attorney.

The Morse Boulevard Design Guidelines:

One of the “preliminary” CU conditions was conformance to the Morse Blvd. Design Guidelines. Those design guidelines are generalized concepts for the look and appearance of building orientation, building facades and signage along that corridor. The images presented to the City in this package are consistent with those design guidelines. The orientation of project, with the buildings fronting on Morse Blvd. (and the parking screened) are consistent. The “storefront” appearance of the retail and restaurant spaces along Morse Blvd. with the outdoor café seating in the ‘public’ realm, also conforms. The signage also is consistent. However, since the individual tenants are often making those final sign design decisions, it is important to include in this approval the condition (from the Morse guidelines) that there be no interior illuminated signage (light bulbs in a plastic box).

Mobility/Traffic Conditions:

The “preliminary” approval requires the developer to “coordinate and install intersection traffic signal improvements for the full Morse Boulevard/Orlando Avenue intersection to include restricted left turn signals in all directions subject to FDOT and City approval”. In discussions with FDOT, they prefer that the City be the applicant for the FDOT permit to upgrade that traffic signal. As a result, staff will be modifying that condition for the developer to reimburse the City for the engineering/application costs of the submittal for permit by FDOT.

Since the approval of the “preliminary” CU, it has been determined that the ‘proportionate share’ of the costs of the adaptive traffic signal control technology improvements at the Morse Boulevard/Orlando Avenue intersection are \$5,000.

These “final” CU plans have been modified to provide 15 bicycle parking spaces. While this is less than the 30 spaces required, staff is comfortable that this provides adequate bicycle parking opportunities.

STAFF RECOMMENDATION IS FOR APPROVAL OF THE “FINAL” CONDITIONAL USE pursuant to the condition that a Development Agreement be executed (following approval by the City Attorney) to incorporate the approvals granted, the conditions of approval from the “preliminary” and “final” CU process and enforcement methods for those conditions. The conditions to be added to or modified from the “preliminary” approval are as follows:

- 1. That the final landscape site plan be modified to include more substantial landscape screening and trees for the parking garage in the setback areas including new trees and other landscape materials determined by the City Staff and that only oak trees be allowed within the interior of the project wherever it is determined new tree plantings will occur where space is adequate for oak trees.**

- 2. That the parking garage final elevations and interior design be returned for subsequent approval to achieve a higher "Sun Trust Parking Garage" standard of architectural treatment.**
- 3. That the Development Agreement include the requirement for a "Parking Management Plan" for subsequent approval by the City to maintain oversight on the management of the parking garage, including areas reserved for tenants and/or valet, fees to be charged , etc.**
- 4. In conformance with the Morse Blvd design guidelines, there shall be no interior illuminated signage for the project.**
- 5. The developer shall reimburse the City for the engineering/application costs of the submittal for permit by FDOT of the traffic signal upgrade.**
- 6. That the proportionate share for the adaptive traffic signal control technology improvements at the Morse Boulevard/Orlando Avenue intersection shall be \$5,000.**

- OCPA Web Map**
- Florida Turnpikes
 - Interstate 4
 - Toll Road
 - Major Roads
 - Public Roads
 - Galad Roads
 - Road Under Construction
 - Proposed Road
 - Brick Road
 - Rail Road
 - Proposed SunRail
 - Block Line
 - Lot Line
 - Residential
 - Agriculture
 - Commercial/Institutional
 - Governmental
 - Misc
 - Commercial/Industrial
 - Vacant Land
 - Agricultural
 - Hydro
 - Waste Land
 - County Boundary
 - Parks
 - Golf Course
 - Lakes and Rivers
 - Building
 - Hospital



Courtesy Rick Singh, CFA, Orange County Property Appraiser



1	2	3	4	8	10	11
15	16	17	18	19	20	21
29	30	31	32	33	34	
Vacant Commercial Under Construction Lakeside Winter Park LLC			Carmel Cafe and Wine Bar Pjs Carmel Land Holdings II LLC		Secco Lighting 1133 W Morse Blvd LLC	

1	2	3	4	5	6	7	8	9	10	11
12	13	14	15	16	17	18	19	20	21	22
23	24	25	26	27	28	29	30	31	32	33
Best Western Int. Vernon Inn Mt Vernon Motor Lodge Of Winter Park Inc [147 Rooms]		276 S Orlando Avenue LLC		Worse Blvd 7000		Daily Traffic				

1	2	3	4	5	6	7	8	9	10	11
12	13	14	15	16	17	18	19	20	21	22
23	24	25	26	27	28	29	30	31	32	33
Fairview Ave		Beadview Ave		[4 Units]		Worse Blvd		Worse Blvd		

1	2	3	4	5	6	7	8	9	10	11
12	13	14	15	16	17	18	19	20	21	22
23	24	25	26	27	28	29	30	31	32	33
Grove Ave		Fairview Ave		[4 Units]		Worse Blvd		Worse Blvd		

1	2	3	4	5	6	7	8	9	10	11
12	13	14	15	16	17	18	19	20	21	22
23	24	25	26	27	28	29	30	31	32	33
Worse Blvd		Worse Blvd		Worse Blvd		Worse Blvd		Worse Blvd		

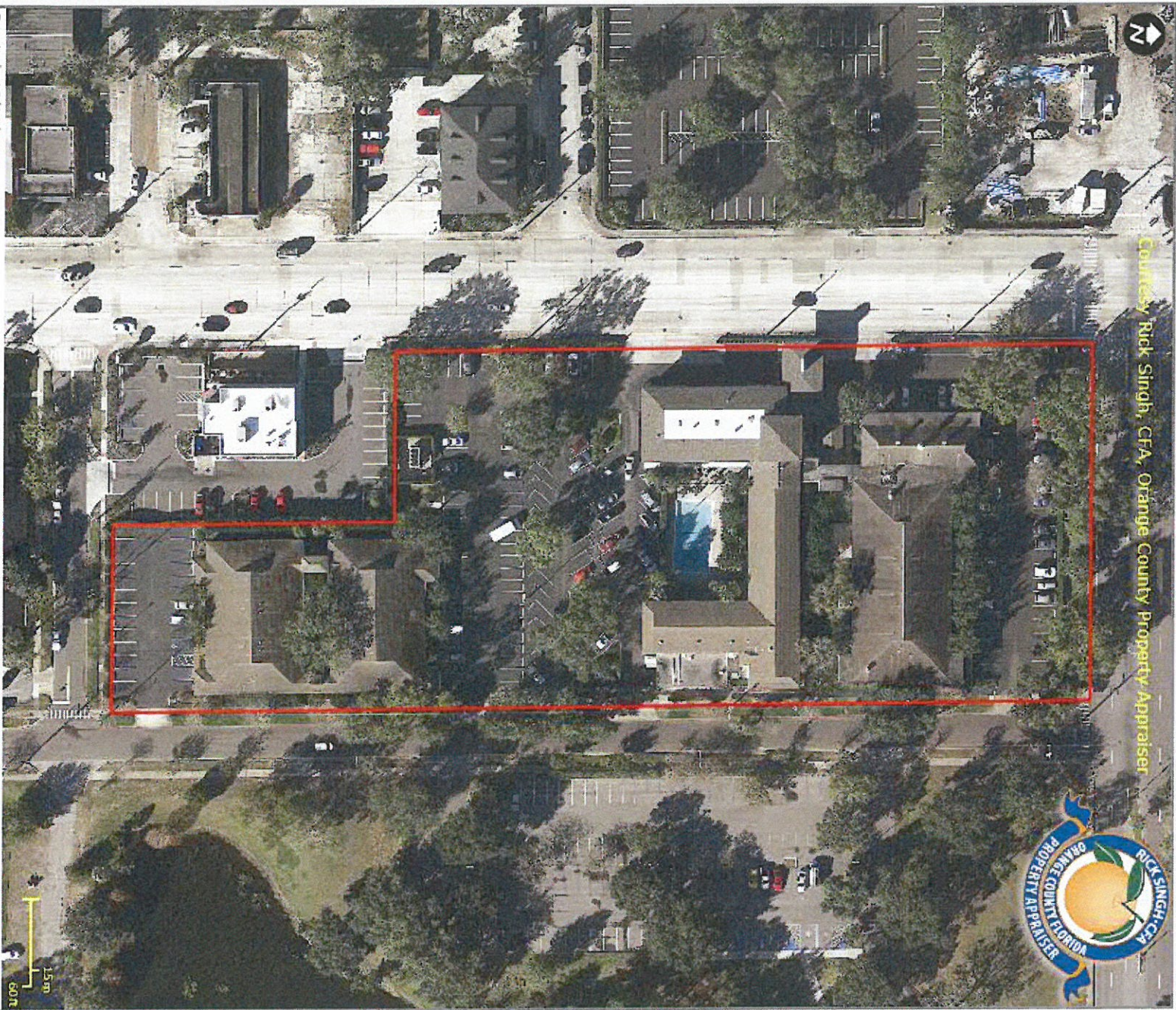
Created: 10/28/2014

This map is for reference only and is not a survey.



	Florida Turnpike		Major Roads		Proposed Rose		Residential		Commercial/Vacant Land		Park	6	Lot Number
	Interstate 4		Public Roads		Brick Road		Agriculture		Agricultural/Citrus		Lakes and Rivers	06090	Parcel Number
	Toll Road		Gasad Roads		Block Line		Commercial/Institutional		Hydro		Building	3106	Parcel Address
	Road Under Construction		Lot Line		Governmental/Institutional		Waste Land		E	111.9	Parcel Dimens		

Courtesy Rick Singh, CFA, Orange County Property Appraiser



Created: 10/28/2014

This map is for reference only and is not a survey.





LAKESIDECROSSING

WINTER PARK

PLANNING AND ZONING BOARD

CITY OF WINTER PARK, FLORIDA

HEARING DATE : APRIL 7TH, 2015



LAKESIDECROSSING

WINTER PARK

Unicorp National Developments Developer | Antunovich Associates Architect | Kimley Horn Civil Engineer

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LAKE KILLARNEY


MORSE BLVD

THE SITE

ORLANDO AVENUE

HARPER STREET

LAKE MENDESEN

SCALE : NTS 

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WINTER PARK

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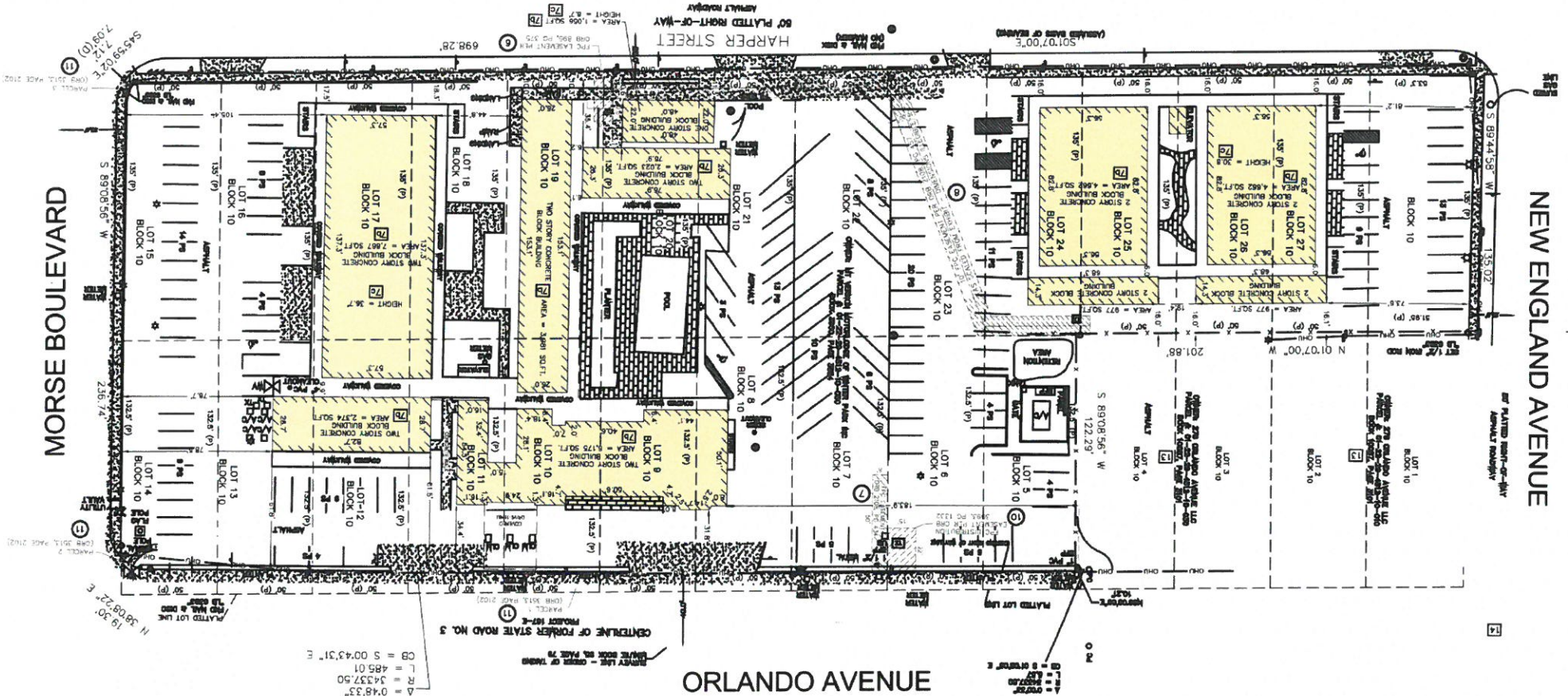
PROJECT LOCATION

HARPER STREET

NEW ENGLAND AVENUE

MORSE BOULEVARD

ORLANDO AVENUE



$\Delta = 0.4833"$
 $L = 485.01$
 $R = 34337.50$
 $CB = 5.0045331"$



LAKESIDECROSSING
WINTER PARK

SITE SURVEY - MT. VERNON INN

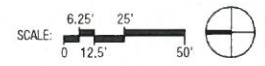


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EXISTING SITE PHOTOS

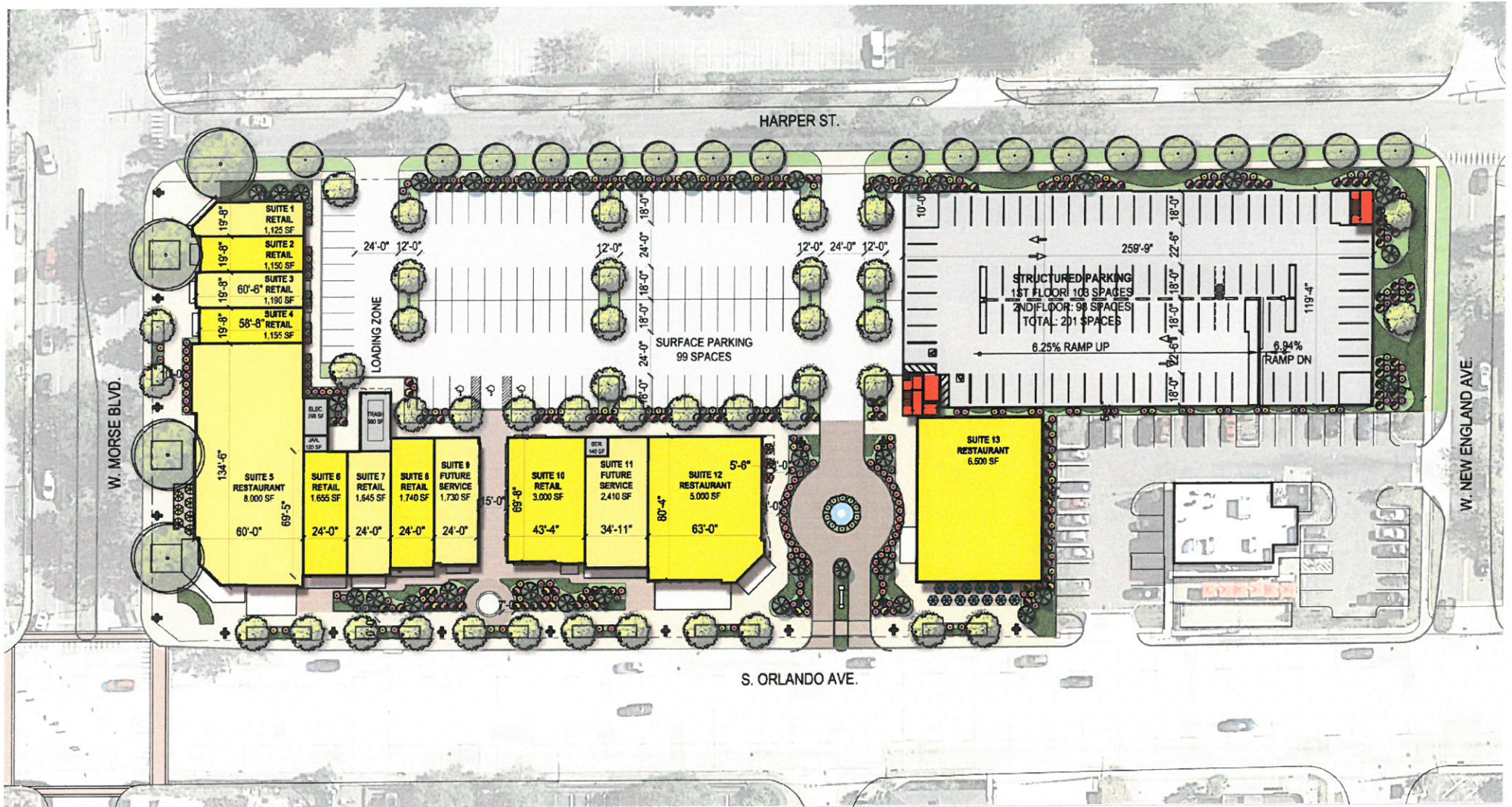


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SITE PLAN

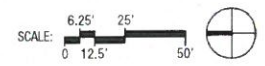


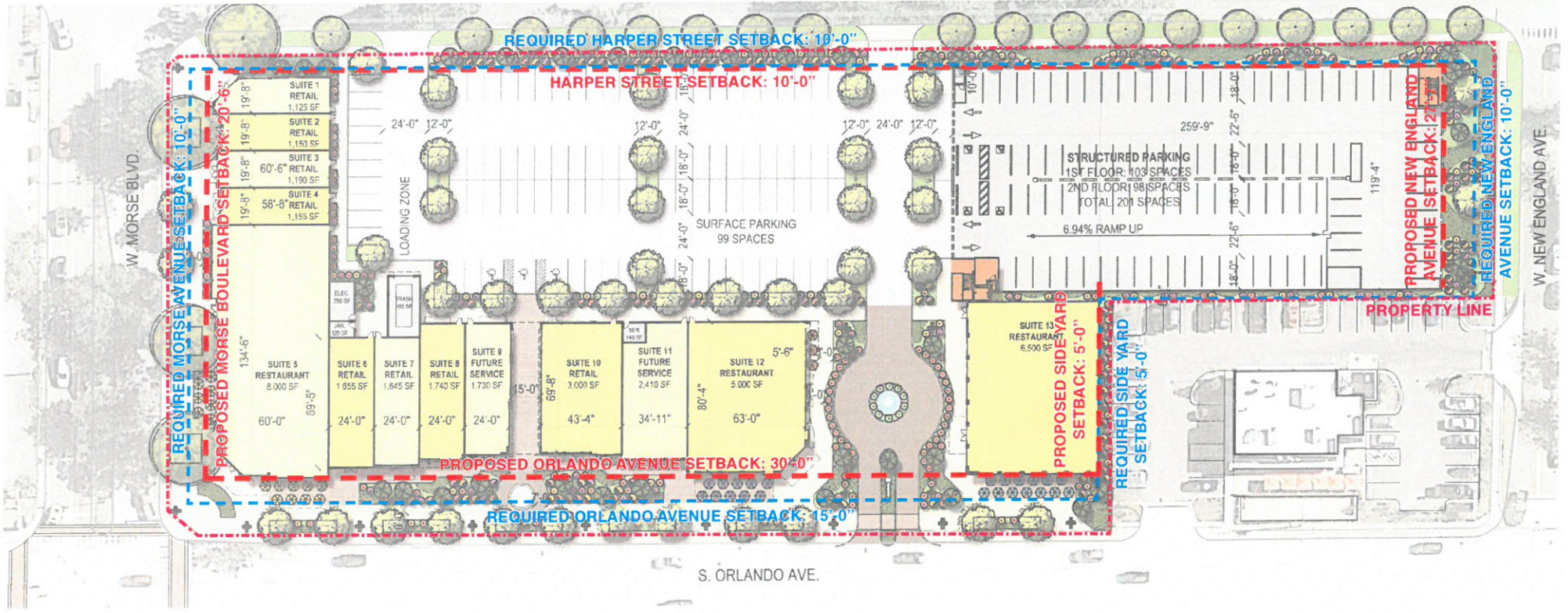
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GARAGE SECOND FLOOR PLAN





LAKESIDE CROSSING - AREA ANALYSIS: OPTION 1										
LEVEL	FLOOR HEIGHT	PARKING			BUILDING HEIGHT	RETAIL			GROSS BUILT AREA	FAR AREA
		GARAGE	SURFACE	GSF		COMMON	RSF	GSF		
2	10'-6"	98		31,168				31,168	0	
1	0	103	99	31,168	+/- 25'-0"	1,135	36,300	37,435	68,603	
TOTAL		201	99	62,336		1,135	36,300	37,435	68,603	

C-3 ZONING ANALYSIS				
	PROPOSED	REQUIRED		
SITE AREA	155,314	-	FRONT YARD (Orlando Ave)	30'
LOT COVERAGE	44.17%	45% Max	FRONT YARD (Other)	Morse Blvd.
FAR	44.17%	45% Max		Harper St.
PERVIOUS SPACE	15.42%	15% Min		New England Ave.
PARKING TOTAL	300	300	SIDE YARD	5'

* One story retail building height is 25' to top of roof

SCALE : NTS

LAKESIDECROSSING

WINTER PARK

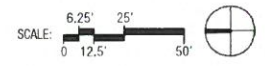
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SETBACK DIAGRAM & PROJECT ANALYSIS

WINTER PARK, FLORIDA | MARCH 6TH, 2015



LANDSCAPE LEGEND	
	EXISTING SHADE TREE
	NEW SHADE TREE
	ORNAMENTAL TREE
	FLOWERING SHRUBS
	GROUND COVER & FLOWERING PERENNIALS
	GRASS



LAKESIDECROSSING

WINTER PARK

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LANDSCAPE PLAN 9

WINTER PARK, FLORIDA | MARCH 6TH, 2015



LAKESIDECROSSING

WINTER PARK

PERSPECTIVE - CORNER OF MORSE BLVD & HARPER ST | 10



LAKESIDECROSSING
WINTER PARK

PERSPECTIVE - CORNER OF ORLANDO AVE & MORSE BLVD | 11



LAKESIDECROSSING

WINTER PARK

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PERSPECTIVE - ORLANDO AVE PROMENADE | 12

WINTER PARK, FLORIDA | MARCH 6TH, 2015



LAKESIDECROSSING

WINTER PARK

PERSPECTIVE - ORLANDO AVE PROMENADE 13



LAKESIDECROSSING

WINTER PARK

PERSPECTIVE - ORLANDO AVE ENTRANCE 14



LAKESIDECROSSING

WINTER PARK

PERSPECTIVE - ORLANDO AVE | 15

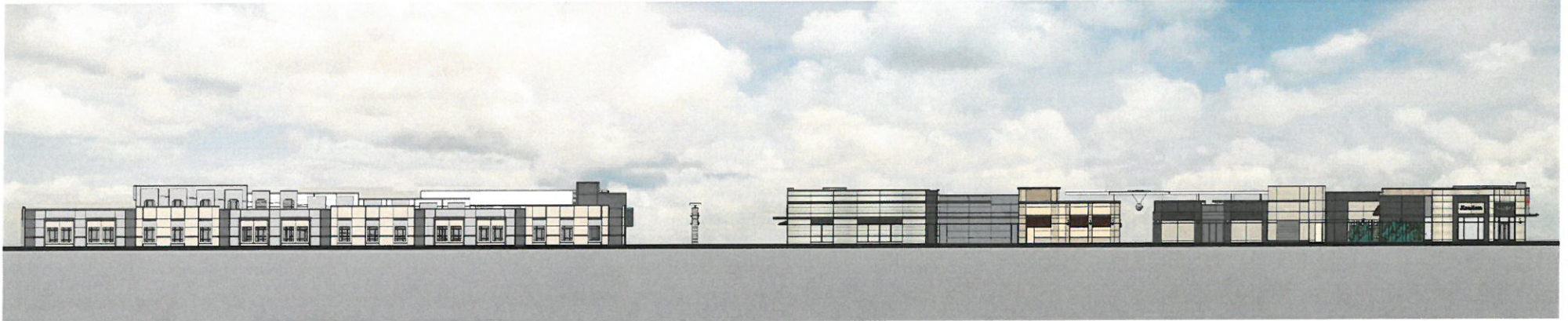


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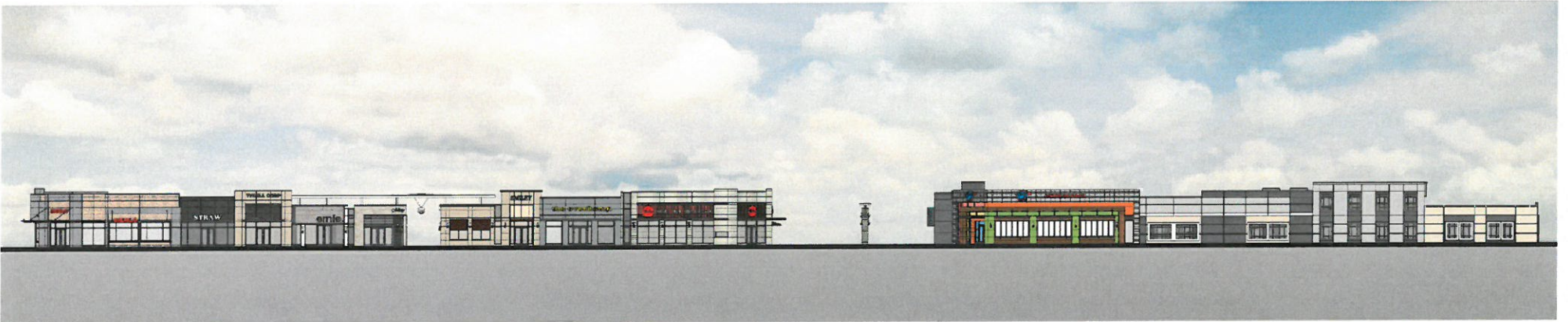
WINTER PARK

PERSPECTIVE - HARPER ST ENTRANCE 16

NOTE : NORTH AND SOUTH BUILDING ELEVATIONS SHOWN ON THEIR RESPECTIVE SECTIONS



EAST ELEVATION



WEST ELEVATION

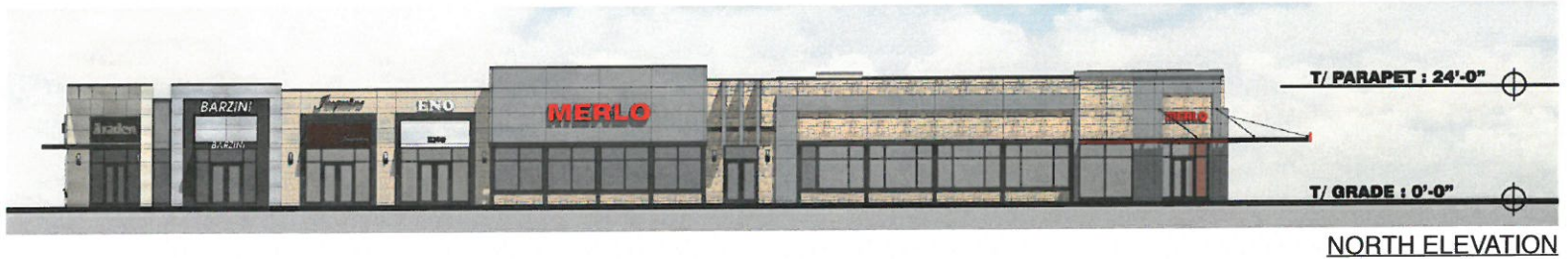
LAKESIDECROSSING

WINTER PARK

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OVERALL BUILDING ELEVATIONS 17

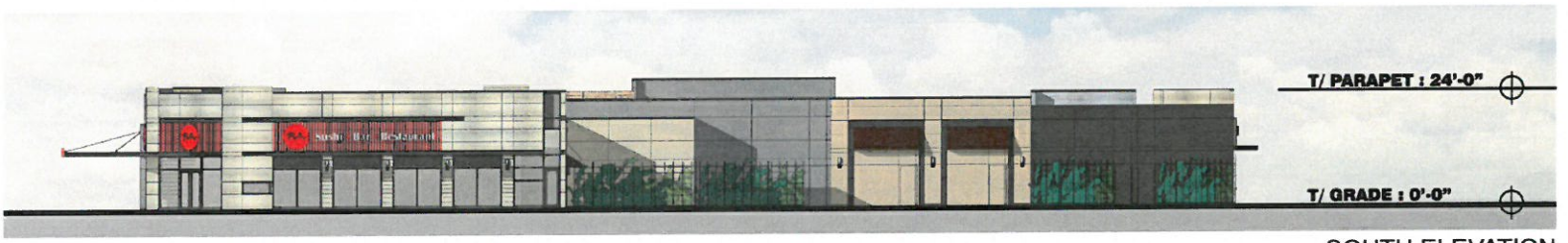
WINTER PARK, FLORIDA | MARCH 6TH, 2015



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

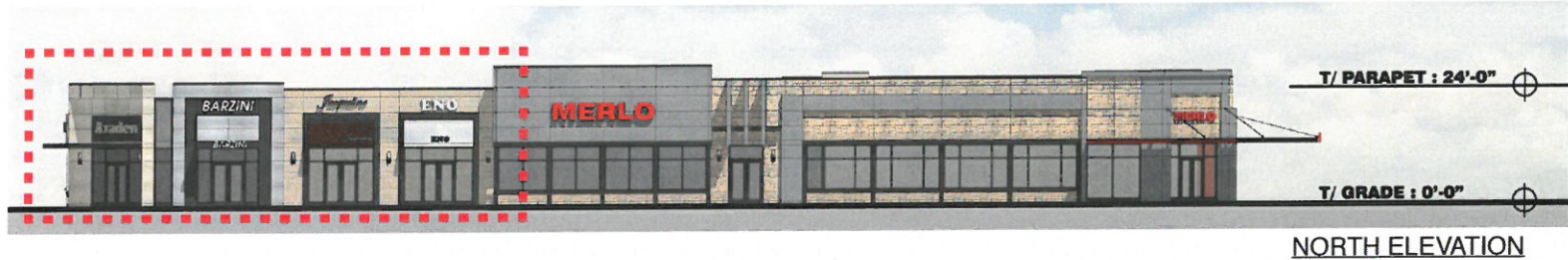
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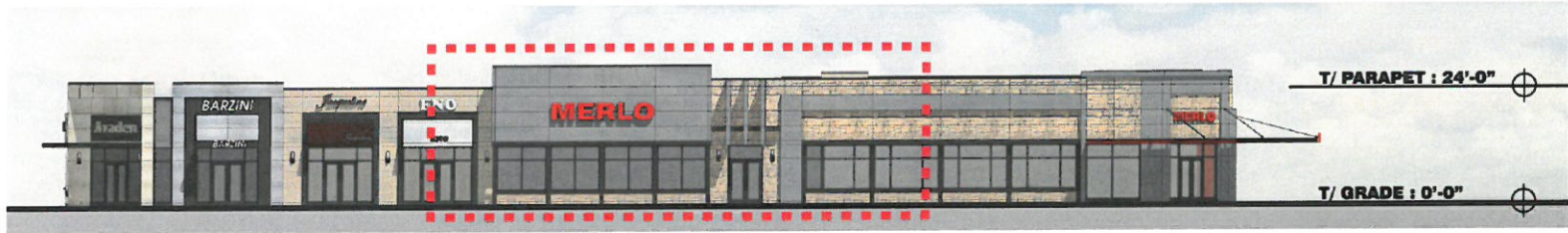
WINTER PARK

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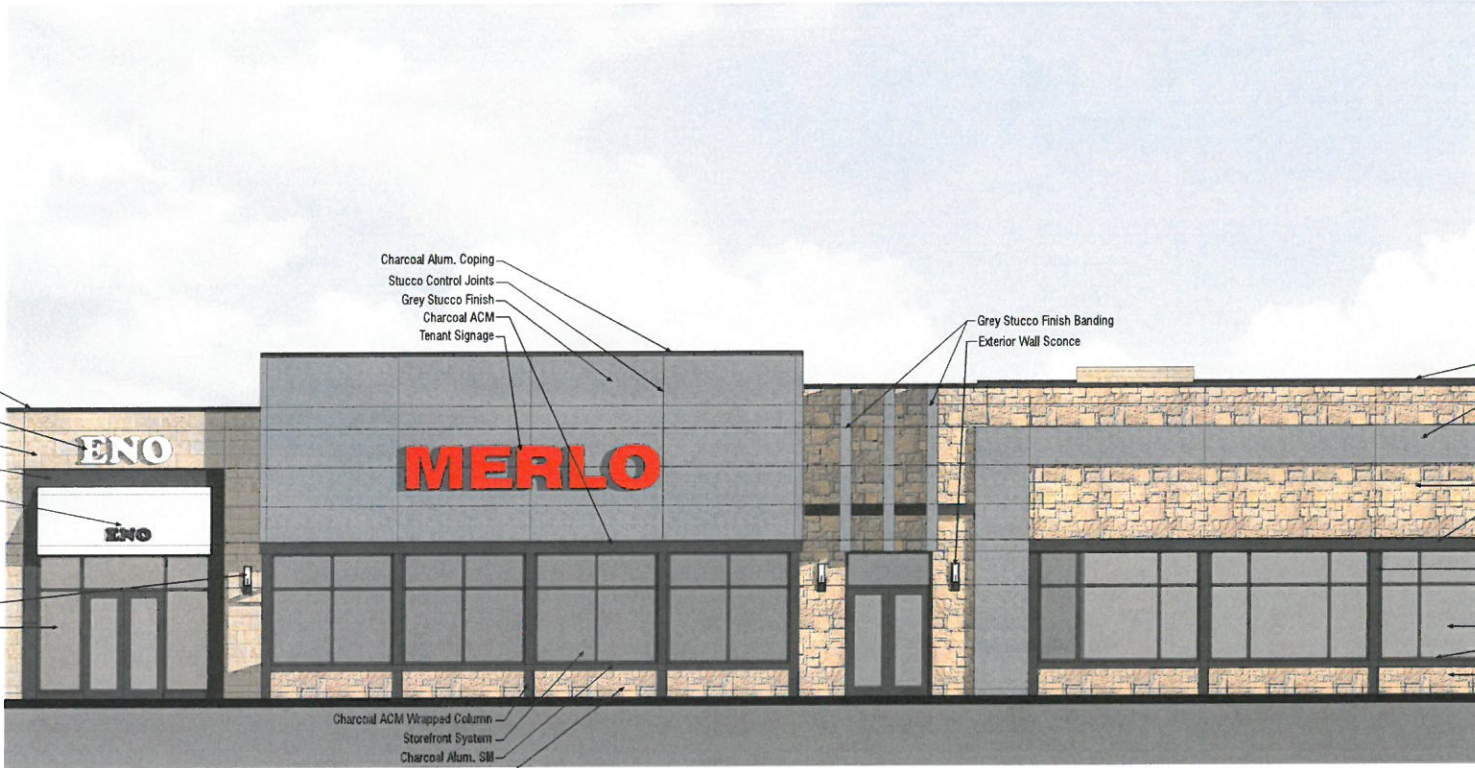
ENLARGED BUILDING ELEVATION | 18

WINTER PARK, FLORIDA | MARCH 6TH, 2015

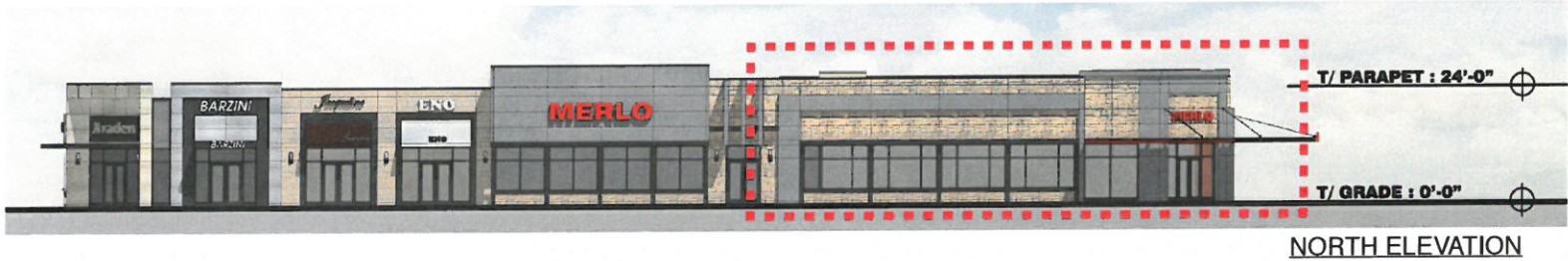




NORTH ELEVATION



ENLARGED NORTH ELEVATION





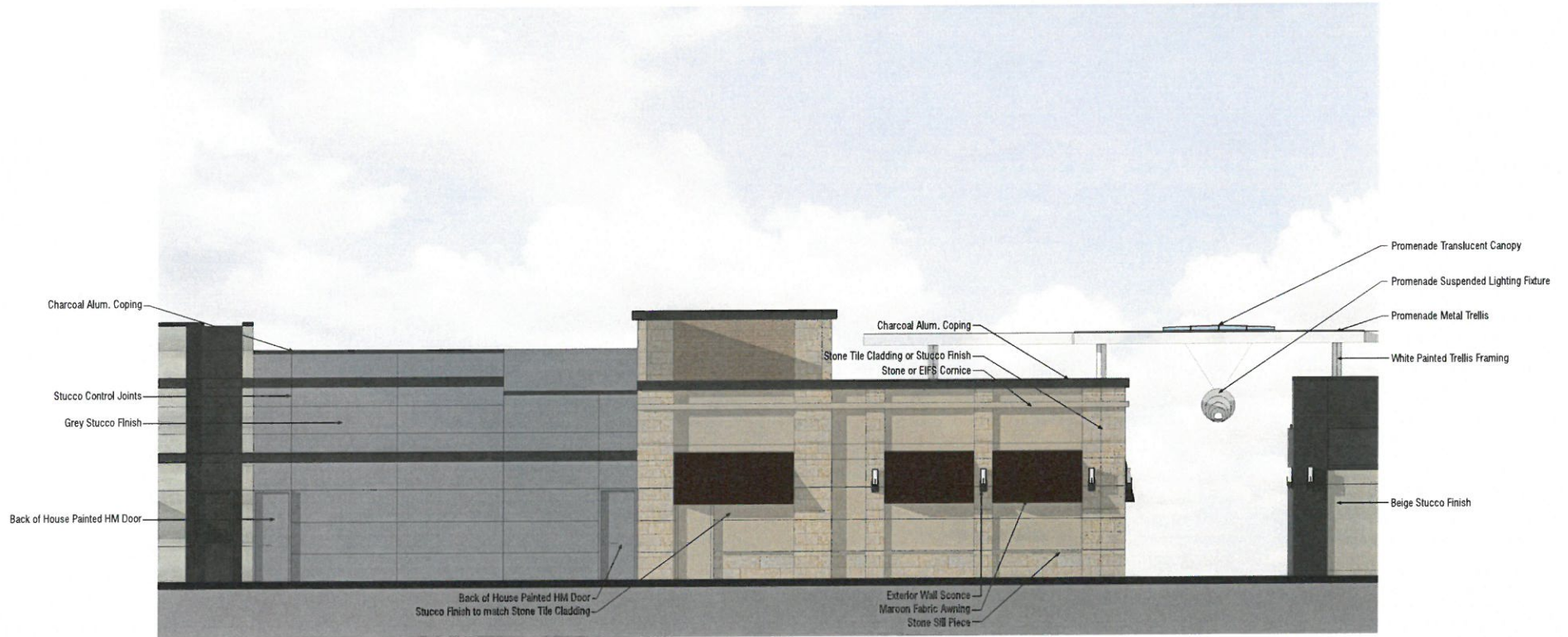
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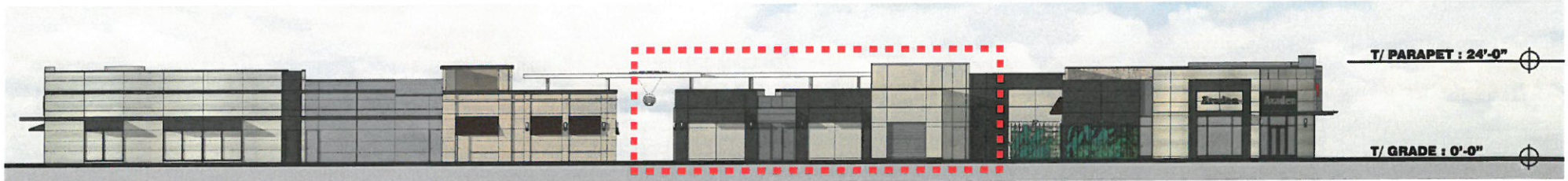
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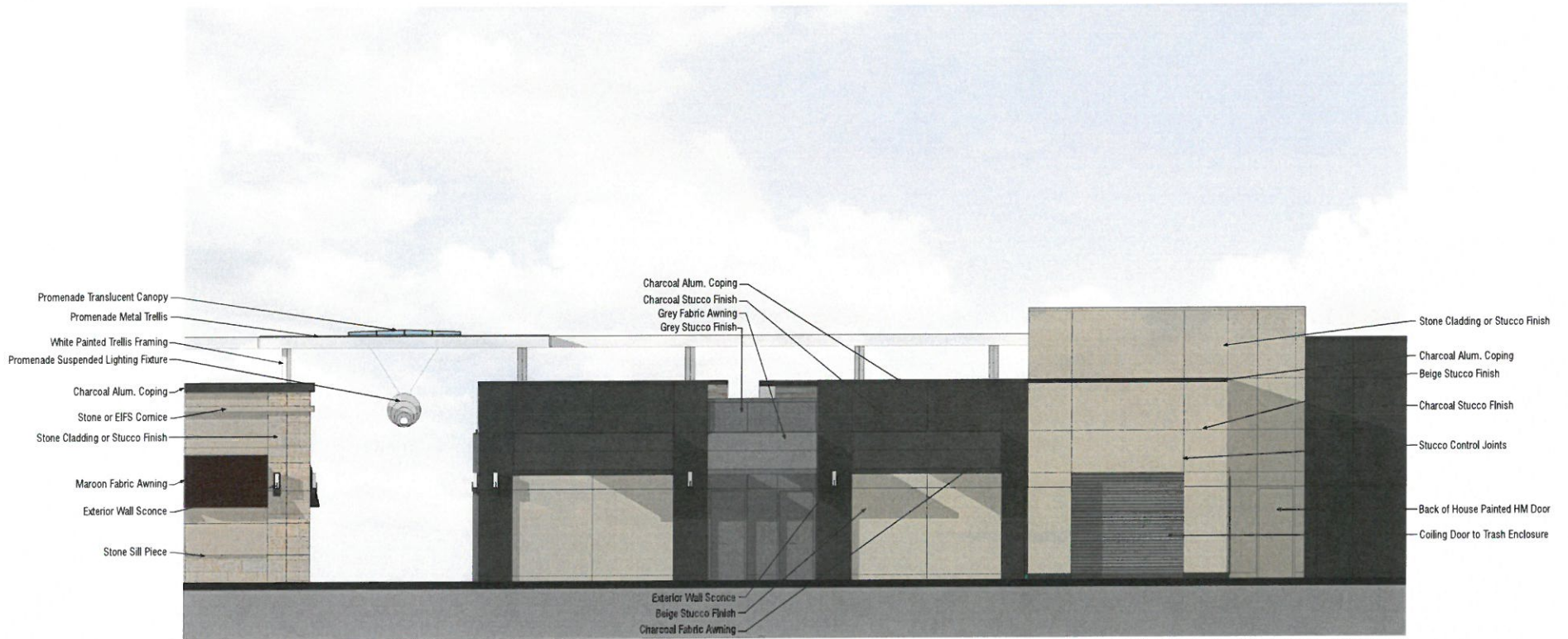
EAST ELEVATION



ENLARGED EAST ELEVATION



EAST ELEVATION



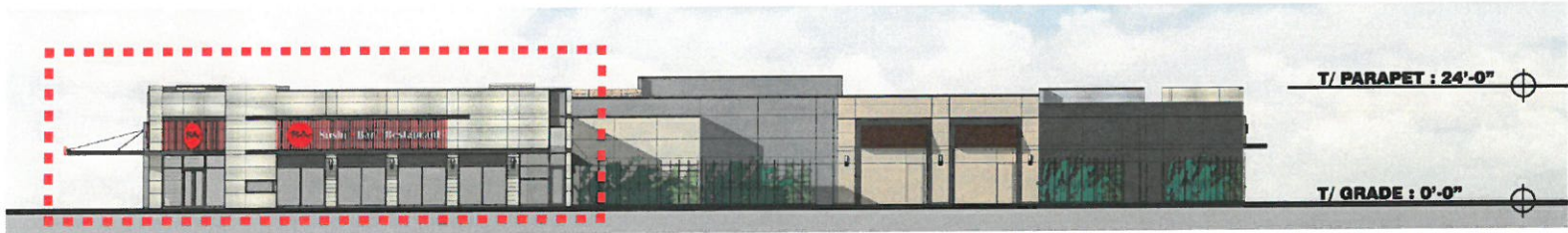
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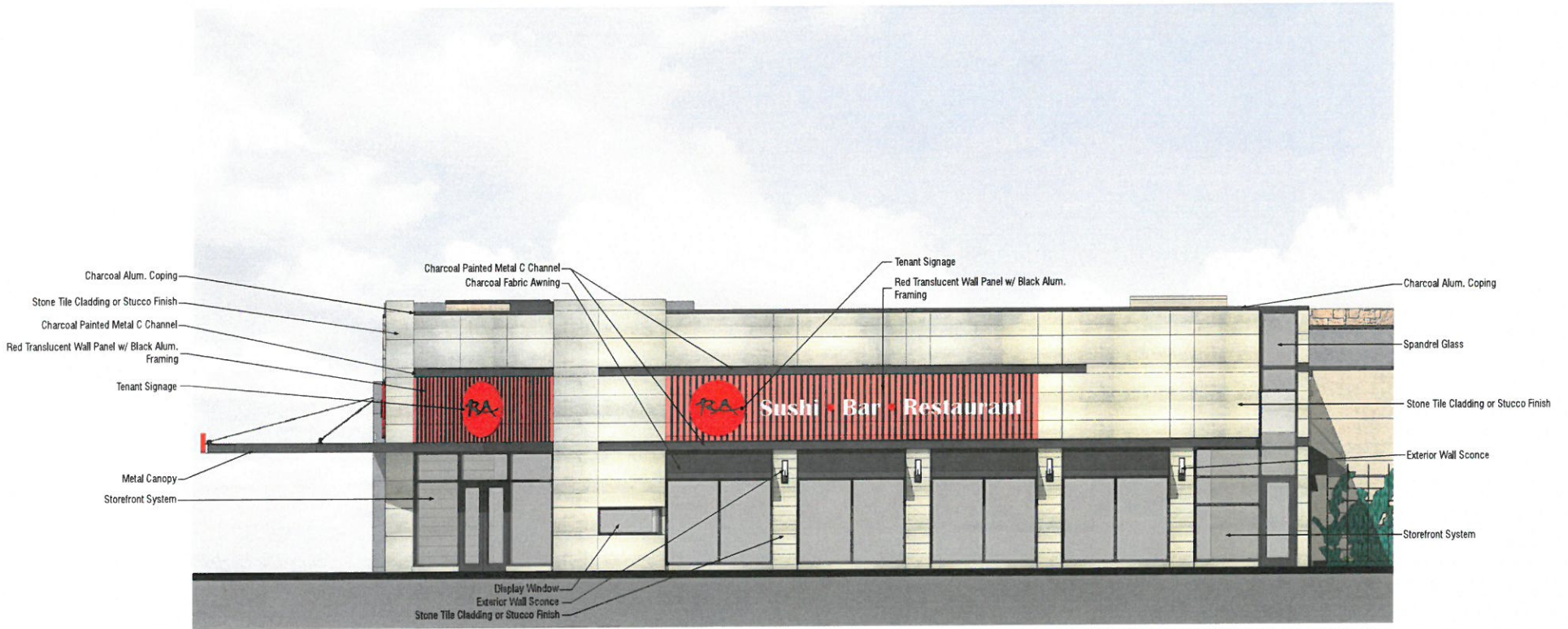
EAST ELEVATION



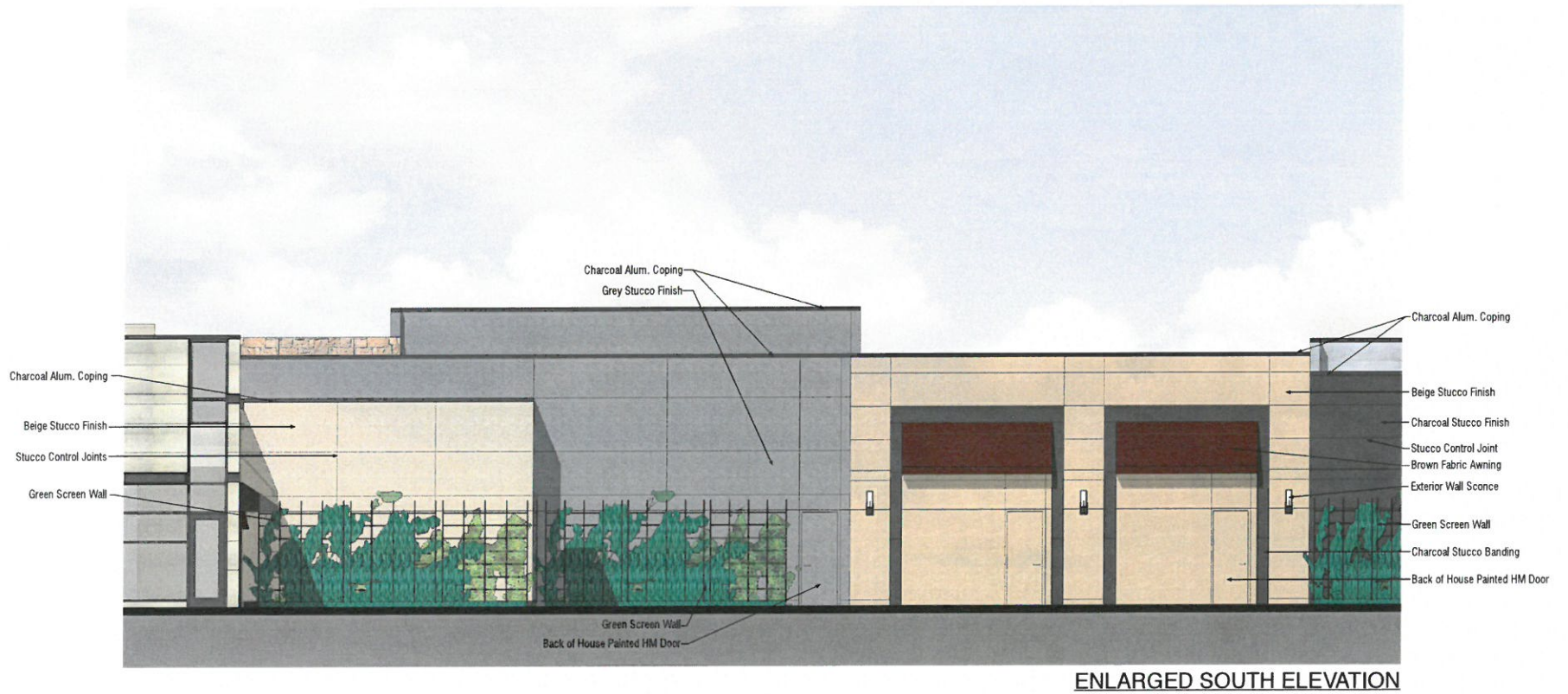
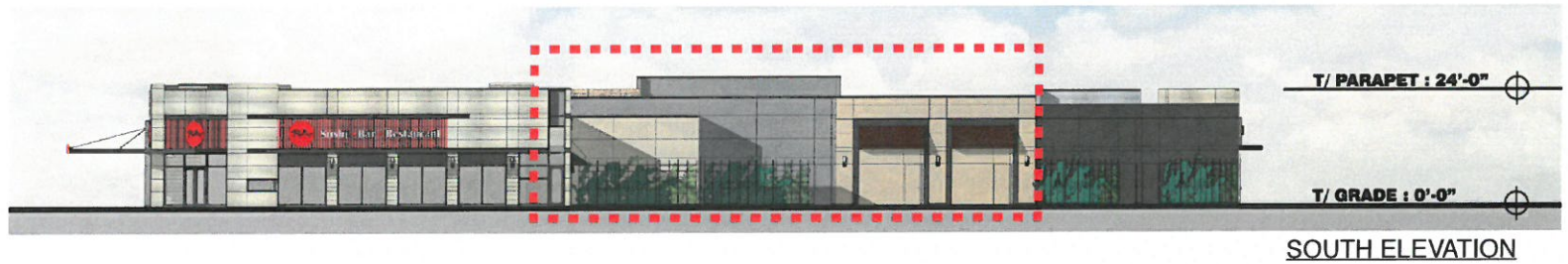
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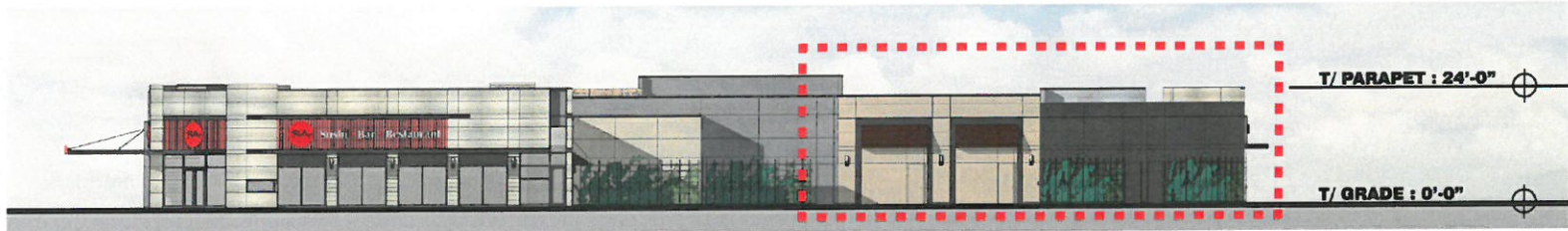


SOUTH ELEVATION



ENLARGED SOUTH ELEVATION





SOUTH ELEVATION



ENLARGED SOUTH ELEVATION



WEST ELEVATION



ENLARGED WEST ELEVATION



WEST ELEVATION



ENLARGED WEST ELEVATION



WEST ELEVATION



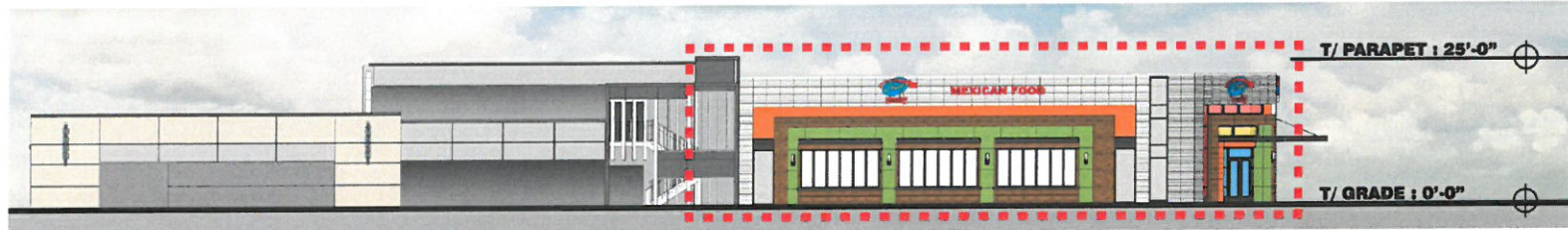
ENLARGED WEST ELEVATION



WEST ELEVATION



ENLARGED WEST ELEVATION



NORTH ELEVATION

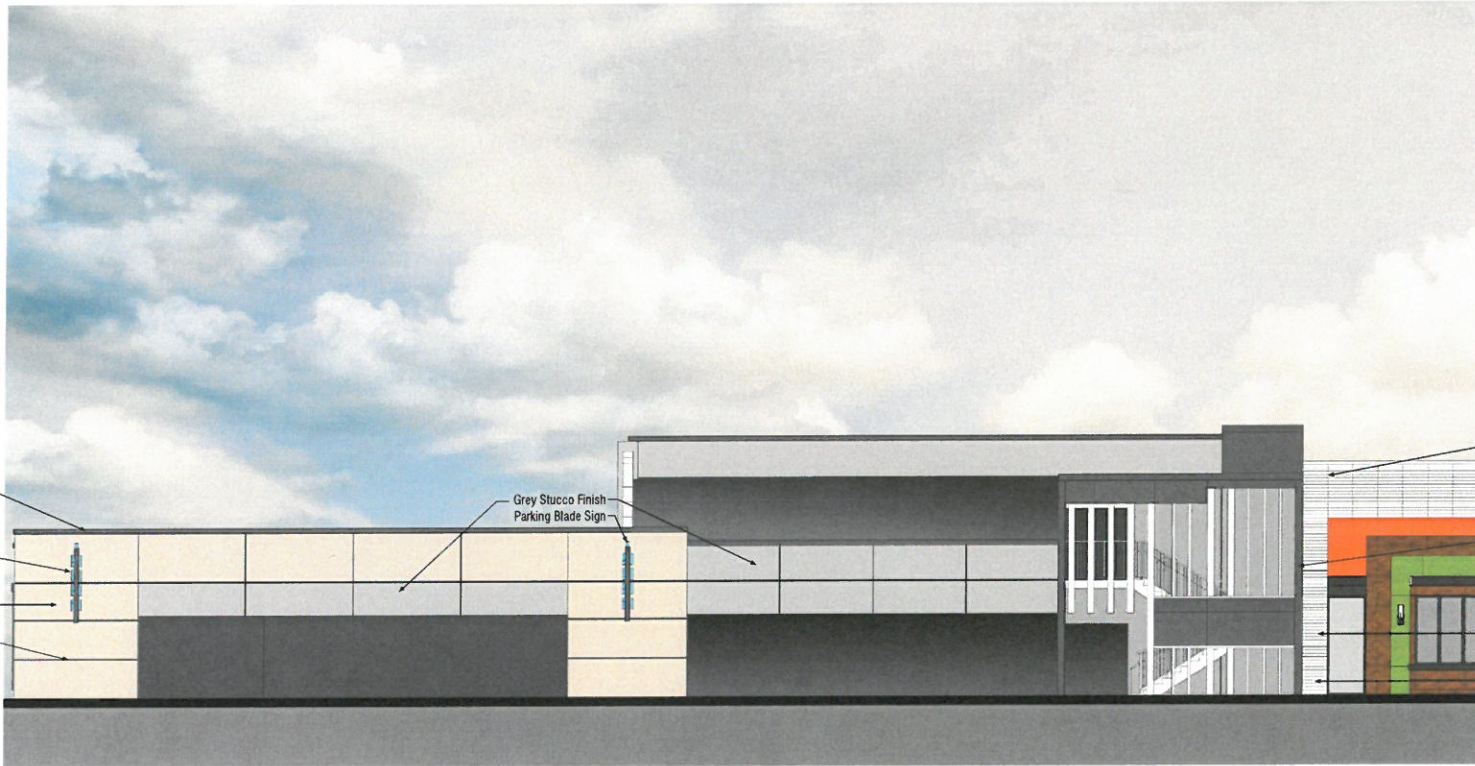
NOTE : SUITE 13 REPRESENTATION IS AN ARTISTIC IMPRESSION ONLY. ACTUAL BUILDING DESIGN ELEMENTS & MATERIALITY MAY DIFFER FROM TENANT DESIGN DOCUMENTATION.



ENLARGED NORTH ELEVATION



NORTH ELEVATION



ENLARGED NORTH ELEVATION



EAST ELEVATION

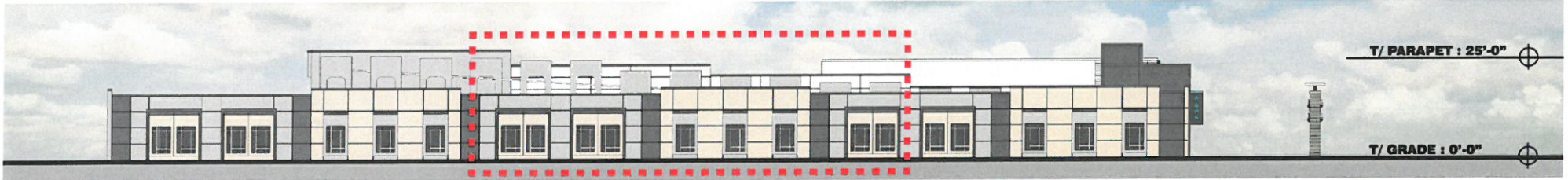


- Charcoal Stucco Banding w/ Metal Coping
- Charcoal Stucco Finish Banding @ Opening
- Beige Stucco Finish
- Decorative White Metal Screens
- Grey Stucco Finish
- Charcoal Stucco Finish
- Stucco Control Joints

- Charcoal Stucco Banding w/ Metal Coping
- Charcoal Stucco Finish
- Grey Stucco Finish
- Charcoal Stucco Finish Banding @ Opening
- Stucco Control Joints
- Beige Stucco Finish
- Decorative White Metal Screens

- Grey Stucco Finish Banding @ Opening
- Decorative White Metal Screens

ENLARGED EAST ELEVATION



EAST ELEVATION



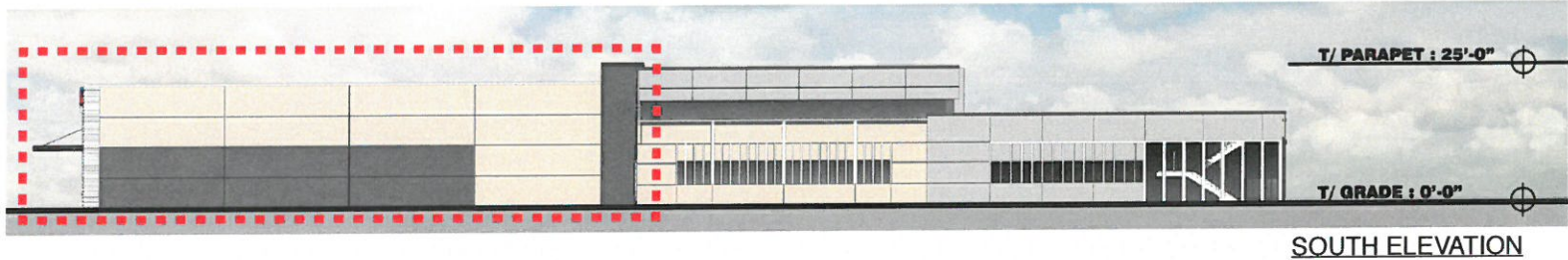
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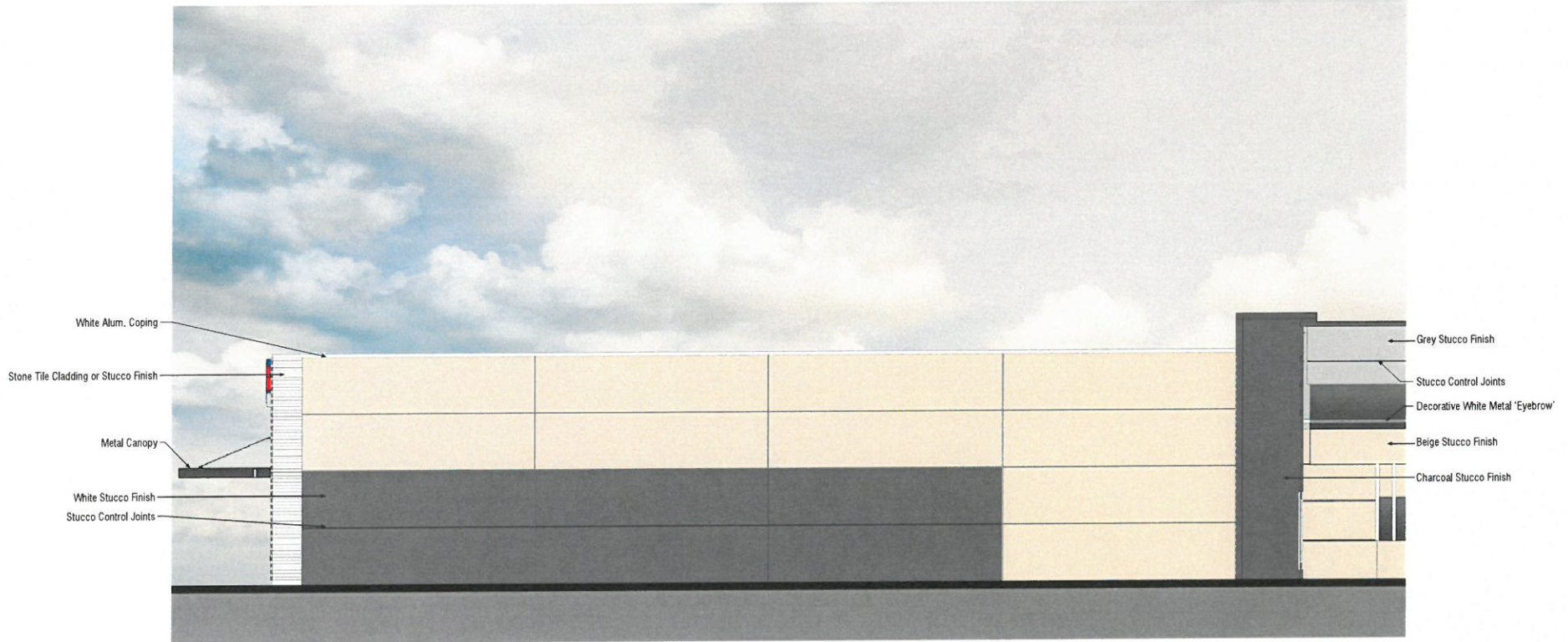
EAST ELEVATION



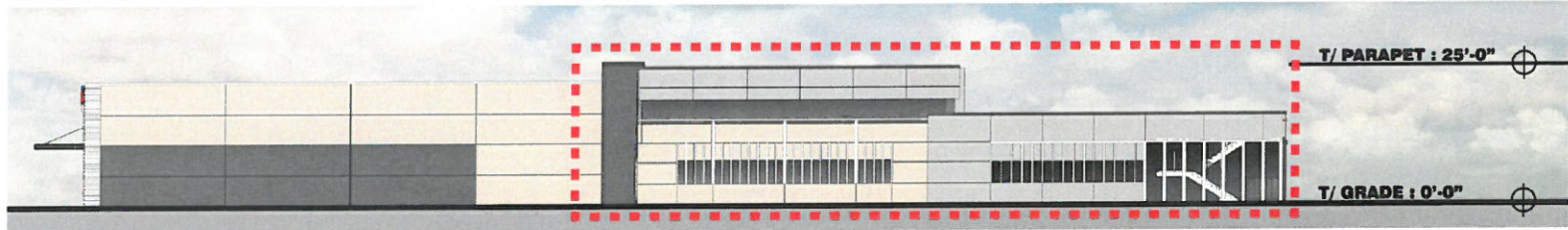
ENLARGED EAST ELEVATION



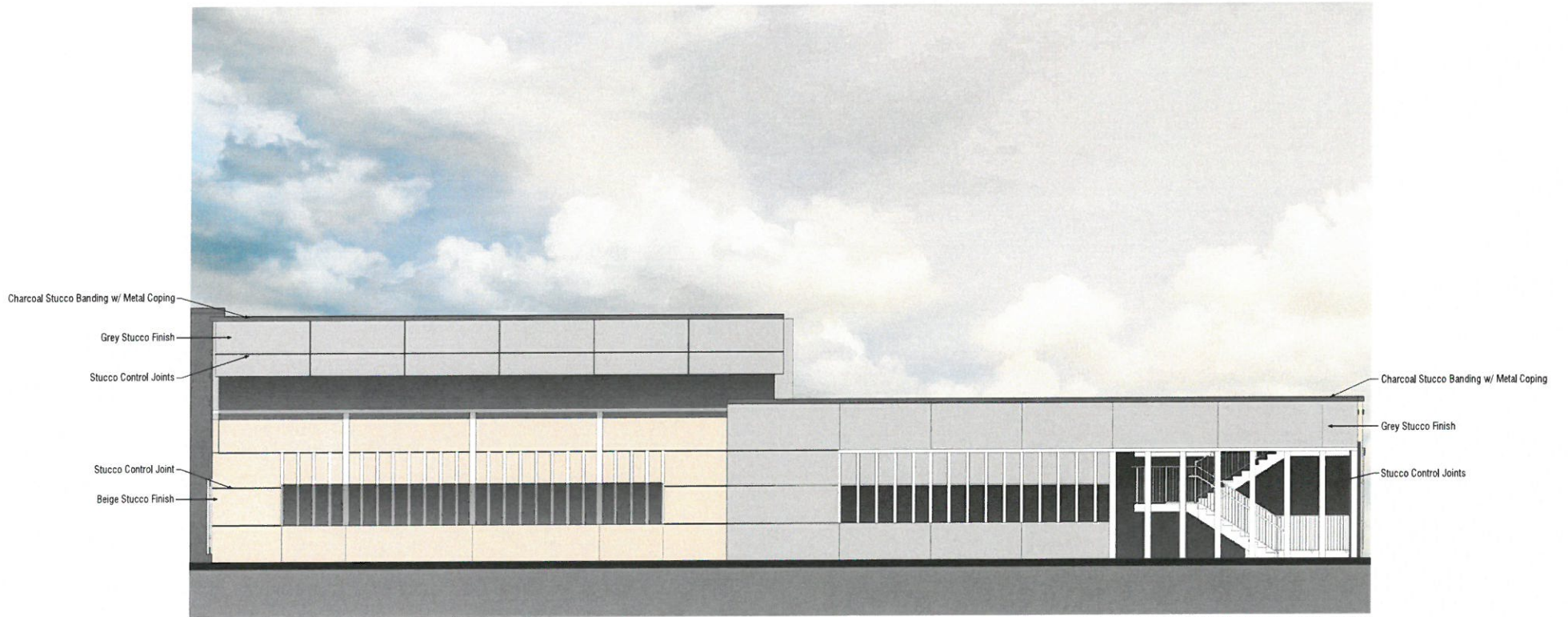
SOUTH ELEVATION



ENLARGED SOUTH ELEVATION



SOUTH ELEVATION



ENLARGED SOUTH ELEVATION

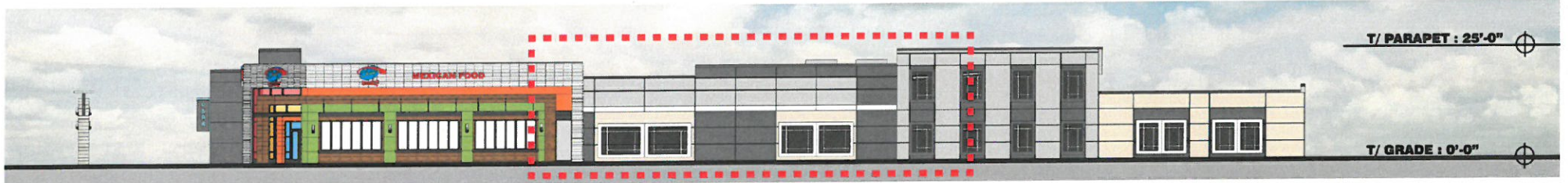


WEST ELEVATION

NOTE : SUITE 13 REPRESENTATION IS AN ARTISTIC IMPRESSION ONLY. ACTUAL BUILDING DESIGN ELEMENTS & MATERIALITY MAY DIFFER FROM TENANT DESIGN DOCUMENTATION.



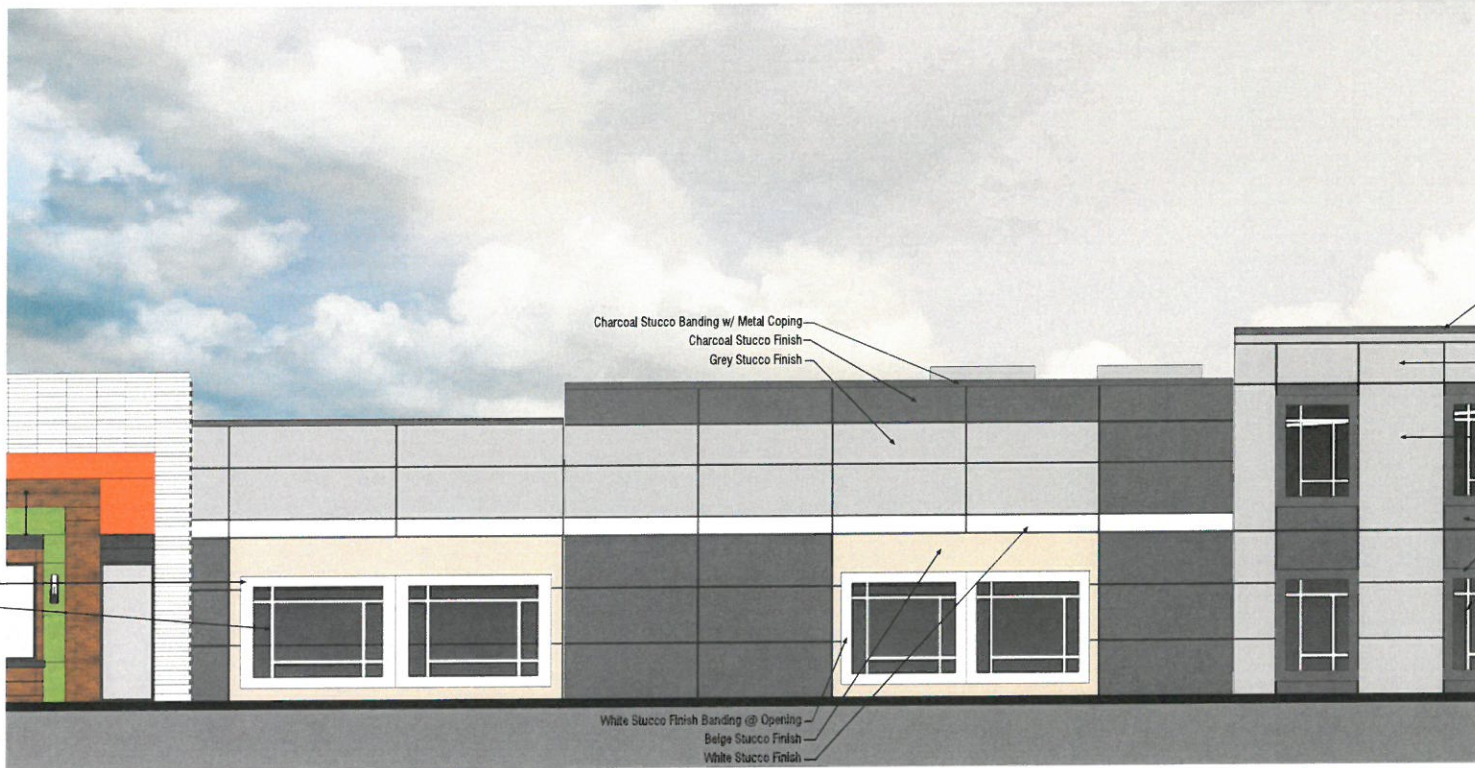
ENLARGED WEST ELEVATION



T/ PARAPET : 25'-0"

T/ GRADE : 0'-0"

WEST ELEVATION



White Stucco Finish Banding @ Opening
Decorative White Metal Screens

Charcoal Stucco Banding w/ Metal Coping
Charcoal Stucco Finish
Grey Stucco Finish

Charcoal Stucco Banding w/ Metal Coping

Stucco Control Joints

Grey Stucco Finish

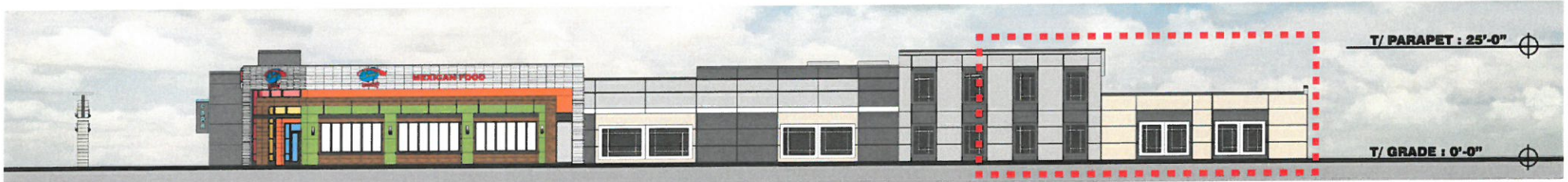
Charcoal Stucco Finish

Charcoal Stucco Finish Banding @ Opening

Decorative White Metal Screens

White Stucco Finish Banding @ Opening
Beige Stucco Finish
White Stucco Finish

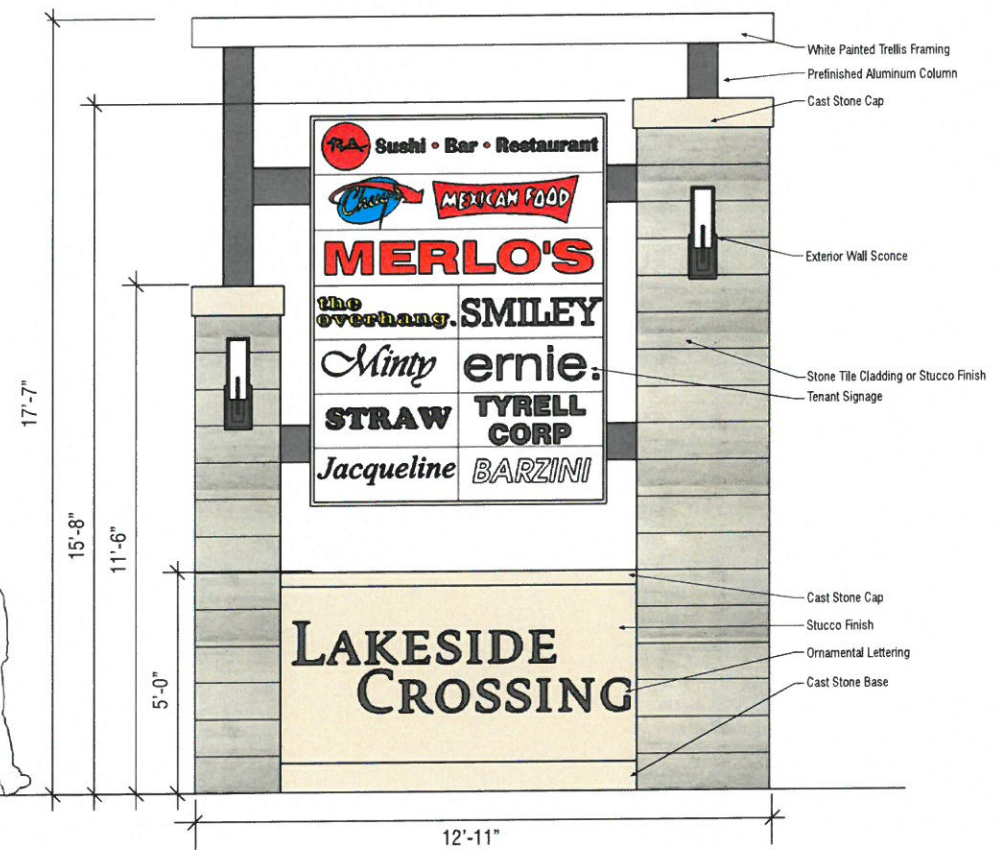
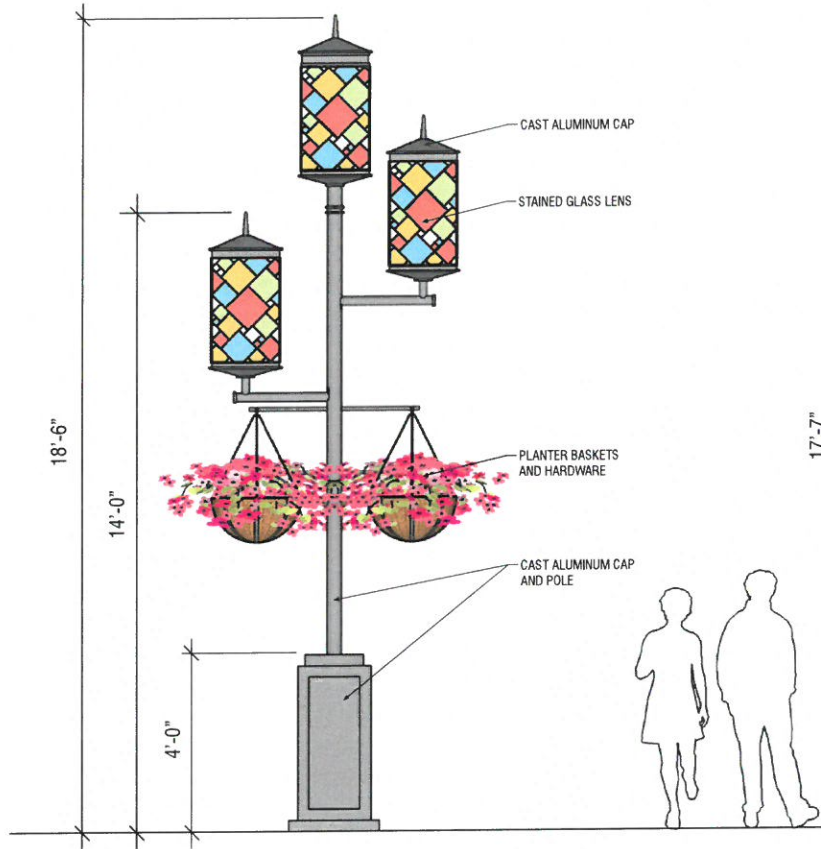
ENLARGED WEST ELEVATION



WEST ELEVATION



ENLARGED WEST ELEVATION



LAKESIDE CROSSING

WINTER PARK

MONUMENT SIGN & LIGHT POLE ELEVATIONS 43