

**CITY OF WINTER PARK  
PLANNING AND ZONING BOARD**

**Staff Report  
February 3, 2015**

**REQUEST OF WINTER PARK REAL ESTATE ADVISORS, INC. TO:** AMEND THE CONDITIONAL USE APPROVAL PREVIOUSLY GRANTED TO THE PROPERTY AT 125 S. INTERLACHEN AVENUE TO ALLOW FOR MODIFICATIONS TO THE APPROVED MULTI-FAMILY PROJECT TO BE COMPOSED OF SIX UNITS, THREE STORIES AND 20,542 SQUARE FEET OF RESIDENTIAL LIVING AREA WITH PARKING IN THE BASEMENT LEVEL BELOW THE PROJECT, ON PROPERTY ZONED R-4.

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This Conditional Use request by the new owners of the Ye Olde Bric condo property at 125 S. Interlachen Avenue is to amend the previously approved conditional use plans to allow for modifications to the multi-family project originally approved in 2006 and modified in 2013. It remains six units but is now three stories and 20,542 square feet of building area with parking in the basement level below the building. See plans attached.

**Background:** On September 25, 2006 the City Commission by a 4-1 vote approved a Conditional Use, for a six unit, four story, 23,500 square foot condominium project to replace the existing Ye Ole Brick condo building at 125 S. Interlachen Avenue. That project to be developed by Robert Vega required a Conditional Use approval for buildings over 10,000 sq. ft. and this specific project included exceptions that were approved for additional building lot coverage (50% vs. 40%) and additional height (four stories – 45 feet vs. three stories – 35 feet).

The property is zoned R-4; but with less than 20,000 square feet of land area (15,250 sq. ft.) the Code requirements state that the building must conform to the R-3 development standards. The City Commission compromised in the original 2006 approval between the R-3 and R-4 standards. Six units are the permitted R-3 residential density. The 50% building lot coverage was less than the 55% permitted in R-4 but more than the 40% allowed in R-3. The building height of four stories and 45 feet was less than the five stories and 55 feet allowed in R-4 but more than the three stories and 35 feet of R-3.

That original Conditional Use approval was valid for two years. On October 14, 2008 the City Commission granted to the original developer, Mr. Robert Vega, an extension to that original Conditional Use approval for another two years. That conditional use approval was to expire on October 14, 2010. However, in the interim, Mr. James Moye recovered the property (in lieu of foreclosure) and obtained another two year extension of the Conditional Use approval on August 23, 2010. That approval was to expire on October 14, 2012 however, the City Commission granted an additional extension until October 14, 2014. Mr. Moye again requested a further extension in August 2014 and based on the State Law

and advice from the city attorney, this was granted administratively. That legal opinion and letter are attached. Thus, the project still maintains the entitlements and code exceptions that were approved in 2006 for Robert Vega and renewed/amended in 2013 for Phil Keen.

Now there is a new owner of the property, Winter Park Real Estate Advisors, Inc. which closed on the property on November 25, 2014. They are ready to proceed with the project. However, there are certain changes which are deemed by staff to be "significant changes" that require a subsequent review and recommendation from the Planning Board and approval by the City Commission. Those include "when there is a change in the architectural style of the building" which was the case before with the architectural design proposed by Phil Keen and is also the case now with this new design. Thus, this subsequent approval is required under our Code due to the architectural modifications and due to some design changes and a minor setback exception desired.

**Current Project Plan Request:** The project parameters retain some of the "compromises" from the original approval in 2006 and subsequent approval in 2013 between the R-3 and R-4 districts and in some cases they are further reduced. The project remains six units which is the R-3 residential density. The building footprint or building lot coverage has been reduced to 43.1% from the 50% allowable from the 2006/2013 approval which is slightly more than the 40% lot coverage allowed in R-3 and less than the 55% lot coverage allowed in R-4. The square footage of the project has also been reduced from the 23,500 square feet approved in 2006 and 2013 to the current size of 20,369 square feet. There also is a corresponding decrease in floor area ratio from the 154% permitted in 2006/2013 to the current 133%. Again this is a compromise between the R-3 maximum FAR of 110% and the R-4 maximum FAR of 200%.

One of the new design features is the approach to the underground or basement parking level. Experience with The Residences and Villa Sienna on Interlachen Avenue has shown that the ramp down to the basement parking level within the 25 foot front setback is excessively steep. So this design raises the basement level to be two feet above grade with the balance below grade that then reduces the slope down the ramp to the basement. The physical dimensions of the underground or basement parking level have also been expanded outward which provides much easier turning radius for cars inside the basement and also provides room for visitor parking spaces. This increase in height of the basement then forms a two foot high patio level outside the first floor of the residential units. At two feet or less in height, these are patios/decks and not a "building" and thus can extend into the setback areas. With a two foot tall patio and a four foot tall privacy wall around the patio, it is not different than a six foot tall wall that would be allowed in the setback area or on the property line.

Another major change is that the project has been reduced to three stories from the four stories approved in 2006/2013. The heights approved in 2006/2013 were 45 feet to the top of the roof, another 3 feet above (48 feet) for rooftop parapet

walls and 10 feet above 45 feet for the elevator tower (55 feet). This three story building is 35.5 feet to the roof top. Then there are parapet walls of varying heights for architectural interest another 5.5 to 9.5 feet in height for a total visual height of 41-45 feet) vs. the previous 48 feet of visible height. Back within the rooftop are the elevator/stair tower elements for each units that are 13.5 feet of added height (49 feet). The plans also contemplate a covered trellis area on the rooftop. The height of the trellis shelter roof is 45 feet high which is consistent with the original 2006/2013 approvals.

There is a new setback exception that is requested for the ornamental turret elements on the sides and the front of the building. The Code would allow these architectural extensions up to 18 inches into the setbacks if they are no longer than 8 feet wide. Because of the curved nature of these turrets they are 10 feet wide. On the sides of the buildings this two feet is insignificant and adds to the architectural appeal. On the front of the building, the designer was sensitive to that street view. Thus the materials provided include perspective elevations both with and without those architectural elements on the front of the building. From the staff's perspective, the appearance is enhanced with these design elements.

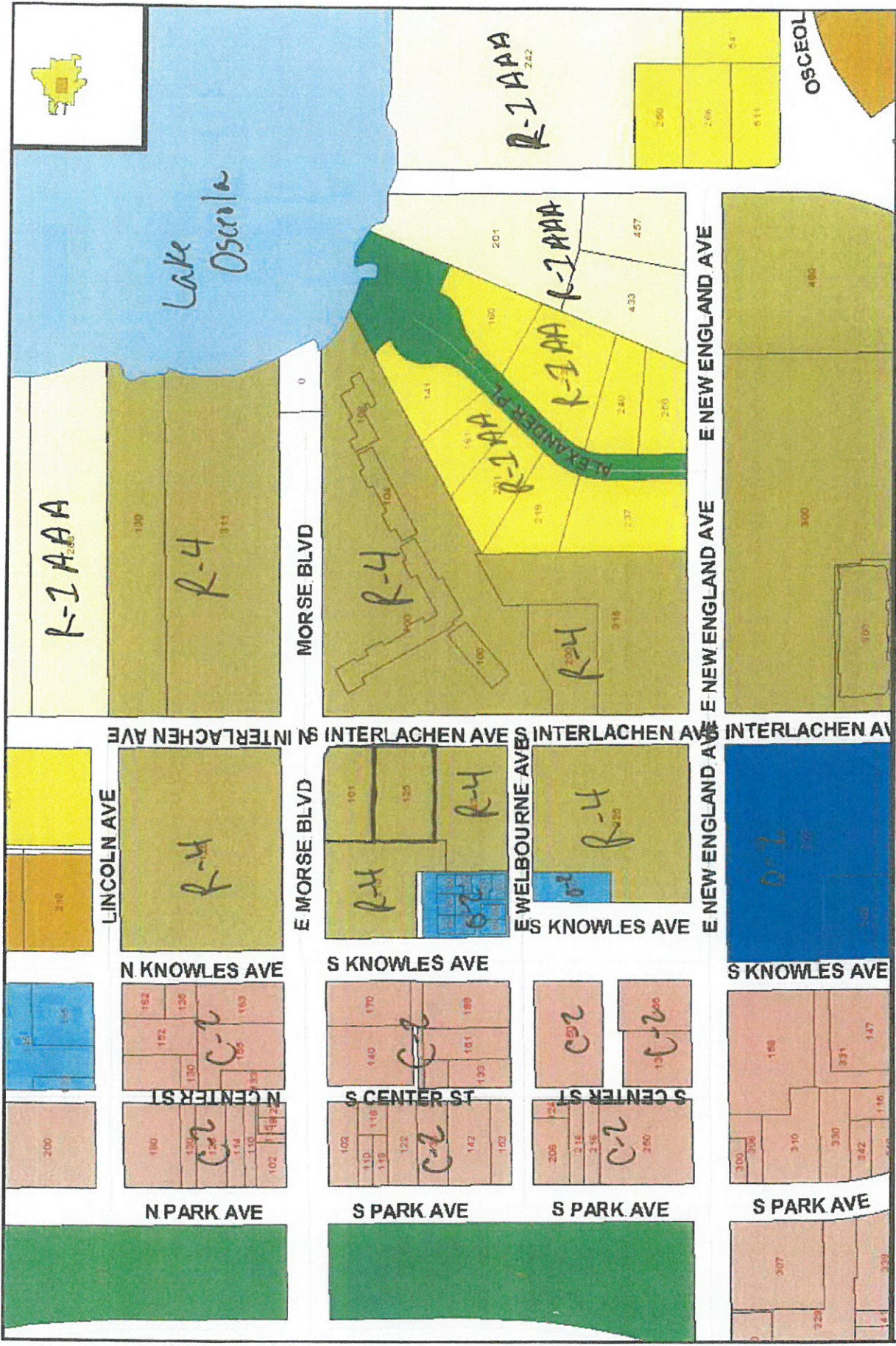
#### **Other Considerations:**

This project is intended to be developed not as a condominium but as fee simple townhouses pursuant to a replat provided that the fire separation Building Code challenges can be accomplished. To the extent that any "subdivision approval" is required, then this process provides that agreement subject to meeting the applicable Building Code requirements. This fee simple/replat marketing approach is what was approved by the City and was done for the 400 Swoope townhouse project and also will be done for Morse/Virginia brownstone project.

Experience has taught us that special attention needs to be paid to the placement of the electric transformers and back flow preventers. It is not a significant issue with the green electric transformer or switch gear boxes but the appearance of the backflow preventers next to the sidewalk quickly diminishes the visual appeal of the development. While one can accept that in commercial locations, it is not acceptable on Interlachen Avenue. There are conditions recommended to address these circumstances.

#### **STAFF RECOMMENDATION IS FOR APPROVAL with the following conditions:**

1. The exterior patio walls shall be screened by landscaping and any other proposed walls within setback areas shall be no higher than three feet in height.
2. The electric transformer/switch gear and backflow preventers shall be located adjacent to the building so they can and shall be effectively screened by landscaping.



# 125 S. Interlachen Avenue

1 in. = 202.1 feet





August 28, 2014

Mr. James E. Moye  
Moye, O'Brien, Pickert & Dillon, LLP  
800 South Orlando Avenue  
Maitland, Florida 32751

RE: Extension Request for 125 S. Interlachen Avenue

Dear Mr. Moye:

As the Planning and Community Development Director, I am authorizing an administrative extension of the valid conditional use permit for property located at 125 Interlachen Avenue in Winter Park, Florida for a period of two years pursuant to the Laws of Florida 2014-218, Section 46. This application will now expire on August 29, 2016.

I have also requested a refund of the fees from your most recent extension request under the city's public hearing process. We will send you the refund by mail when it is processed.

I appreciate your patience in this matter. If you have any further questions, please contact me at (407) 599-3665.

Sincerely,

Dori Stone, AICP  
Planning and Community Development Director

Cc: George Wiggins, Building Official  
Jeff Briggs, Planning Manager

CITY OF WINTER PARK

401 South Park Avenue

Winter Park, Florida

32789-4386

PLANNING DEPARTMENT

P 407.599.3290

F 407.599.3449



BROWN, GARGANESE, WEISS & D'AGRESTA, P.A.

*Attorneys at Law*

111 N. Orange Ave., Suite 2000  
P.O. Box 2873  
Orlando, Florida 32802-2873  
Phone (407) 425-9566  
Fax (407) 425-9596

**L. Robin McKinney**

*rmckinney@orlandolaw.net*

August 20, 2014

Dori Stone, Director  
Planning & Community Development  
City of Winter Park  
401 Park Avenue South  
Winter Park, FL 32789

RECEIVED  
AUG 27 2014  
CITY OF WINTER PARK  
PLANNING DEPARTMENT

Re: Conditional Use Extensions - SunTrust and Interlachen

Dear Dori:

This letter will serve as our response to your request for a legal opinion regarding whether two applicants, SunTrust and Interlachen, who have applied for extensions of their conditional use permits, are entitled to such extensions, pursuant statutory provisions granting extensions of local government development orders. In our opinion, the applicants are entitled to extensions pursuant to the statutory provisions, as they have met the requirements of the statutes and have not exceeded the four year cap on extensions.

The statutory extensions of development orders date back to Senate Bill 360, enacted in 2009, when the Legislature determined that, due to real estate market conditions, it would mandate extensions of local government development orders. This provision was renewed in SB 1752, codified at Laws of Florida 2010-147, and HB 7207, codified at Laws of Florida 2011-139. For the last three years those extensions have been renewed, and the Legislature required that requests for extension be made in writing by the dates specified in the statute. The total number of years for the extension of any one development order is four years.

The City Code of Winter Park contains a procedure for the extension of a conditional use permit that is distinct from the automatic extensions granted by statute. Section 58-90(d)(2) provides that the City Commission may grant an extension of a conditional use permit at its discretion. In order to determine whether the two applicants for conditional use permit extensions should be granted such extensions by staff instead of City Commission, it is necessary to analyze whether their prior extensions were granted pursuant to City Code or statute.

The SunTrust bank branch received the following approvals:

August 2010 – final conditional use approval for 2 yrs.

August 27, 2012 – extension for 1 year by City Commission until August 27, 2013

Dori Stone, Director  
August 20, 2014  
Page 2

May 13, 2013 – additional one year extension until August 27, 2014

SunTrust is now requesting an additional one year extension. This applicant qualifies for an extension under the statute because the conditional use permit is a development order with an expiration date between January 1, 2014 and January 1, 2016. The owner may request and be administratively granted the extension pursuant to Laws of Florida 2014-218, Section 46, as the request is in writing and “identifies the specific authorization for which the holder intends to use the extension and the anticipated timeframe for acting on the authorization.”

The Interlachen property received the following approvals:

Sept. 25, 2006 – City Commission approved conditional use for the over 10,000 sq. ft and 4 stories  
Oct. 14, 2008 – City Commission grants extension of 2 years to developer Mr. Vega  
\*\*Mr. Moyer recovers property in lieu of foreclosure  
August 23, 2010 – City Commission grants Mr. Moyer 2 yr extension  
May 13, 2012 – City Commission grants 2 yr extension until October 14, 2014

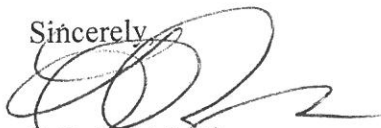
Mr. Moyer is now requesting an extension to October 14, 2016. The first extension was granted in 2008, which was before the statutory extensions were enacted. Arguably, he was entitled to the extension in 2010, provided that he complied with the following from 2010-147:

- (3) The holder of a valid permit or other authorization that is eligible for the 2-year extension must notify the authorizing agency in writing by December 31, 2010, identifying the specific authorization for which the holder intends to use the extension and the anticipated timeframe for acting on the authorization.

The evidence on record, however, does not indicate that the prior extensions were granted pursuant to the statutory provisions. If those earlier two approvals had been granted pursuant to the statutory provisions, then arguably this property would have reached the 4 year cap. The owners paid an application fee on each occasion and went through the public hearing process for approval. Given that there is no fee requirement for the statutory approval, nor any required public hearing process, it is our opinion that the past extensions were granted pursuant to the City Code, rather than by statute. Accordingly, Mr. Moyer is entitled to the statutory extension, to be granted administratively. You may wish to ask the applicants to provide revised request letters specifically stating that the requests are made pursuant to the extension provisions of Laws of Florida 2014-218.

Please advise if we can provide you with any further assistance relating to this matter.

Sincerely,



L. Robin McKinney

LRM/nh

cc: Usher L. Brown, Esq.

## Jeffrey Briggs

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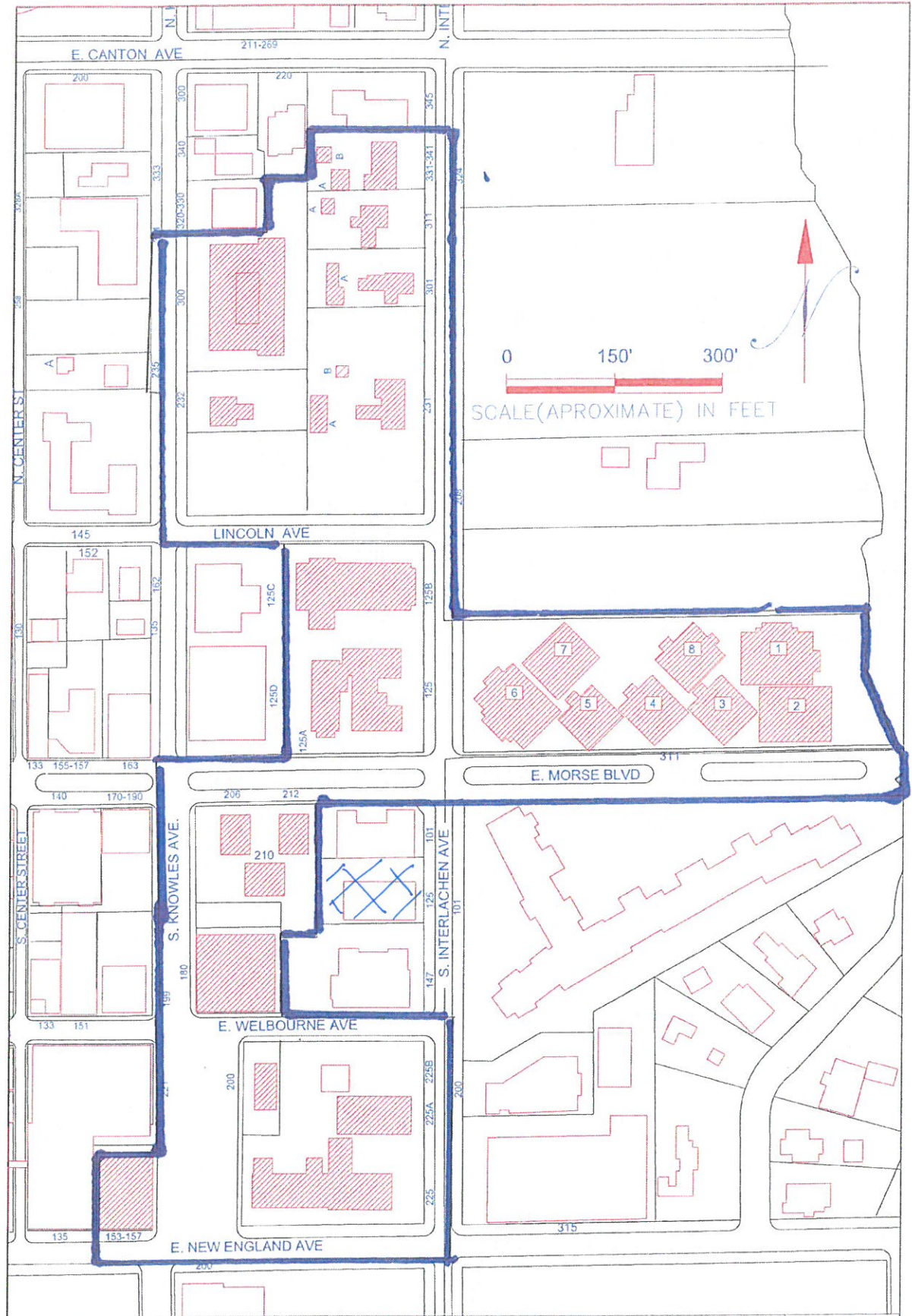
**From:** Jeffrey Briggs  
**Sent:** Monday, July 22, 2013 11:56 AM  
**To:** Jeffrey Briggs

### Sec. 58-446. Functions, powers and duties of the historic preservation board.

The historic preservation board shall be responsible for the development and administration of a comprehensive historic preservation program, and shall identify and maintain the city's historic resources for the benefit of both present and future residents. It shall be the responsibility of the HPB to:

- (1) Provide or recommend incentives for historic preservation, and to recommend for or against rezonings, demolitions, developments, lot splits, lot consolidations, or conditional uses that could impact historic resources identified in the Florida Master Site File survey of the City of Winter Park.
- (2) Identify potential historic landmarks and potential historic districts for designation; and provide assistance to, and education of, owners of properties for potential designation;
- (3) Develop and maintain a local register of historic places and review National Register nominations within the city;
- (4) Develop guidelines based upon the Secretary of the Interior's Guidelines for Use in reviewing applications for certificates of review. The Secretary of the Interior's Standards for Rehabilitation as revised in 1990 will be used until local guidelines are developed and adopted by the HPB;
- (5) Review applications for certificates of review for designated landmarks, resources, and property within designated districts;
- (6) Approve variances that are appropriate for the preservation of historic resources in conjunction with applications for certificates of review;
- (7) Conduct an ongoing survey and inventory of historically, culturally or architecturally significant buildings, structures, districts and archaeological sites within the city; coordinate survey results with the Florida Master Site File; and plan for resource preservation with the aid of staff and consultants with professional expertise as may be necessary;
- (8) Develop programs to stimulate public interest and involvement in the city's history and preservation, and inform the public of the city's preservation opportunities and the HPB's activities;
- (9)





Interlachen Avenue Historic District  
 Winter Park, Orange County, Florida

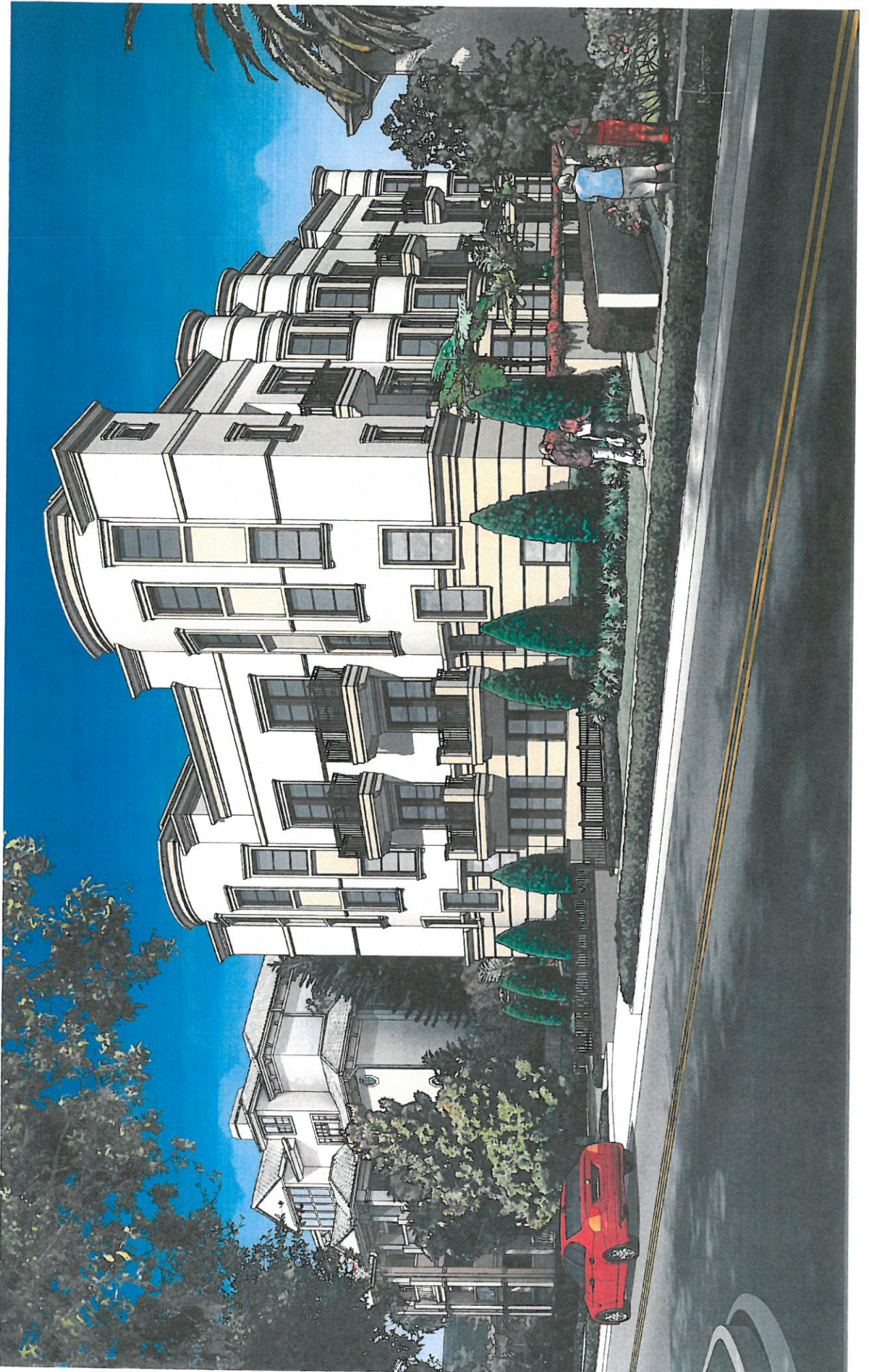
LEGEND

- Contributing Buildings
- Noncontributing Buildings
- Street Addresses
- Historic District Boundary



501








NO.	DATE	DESCRIPTION

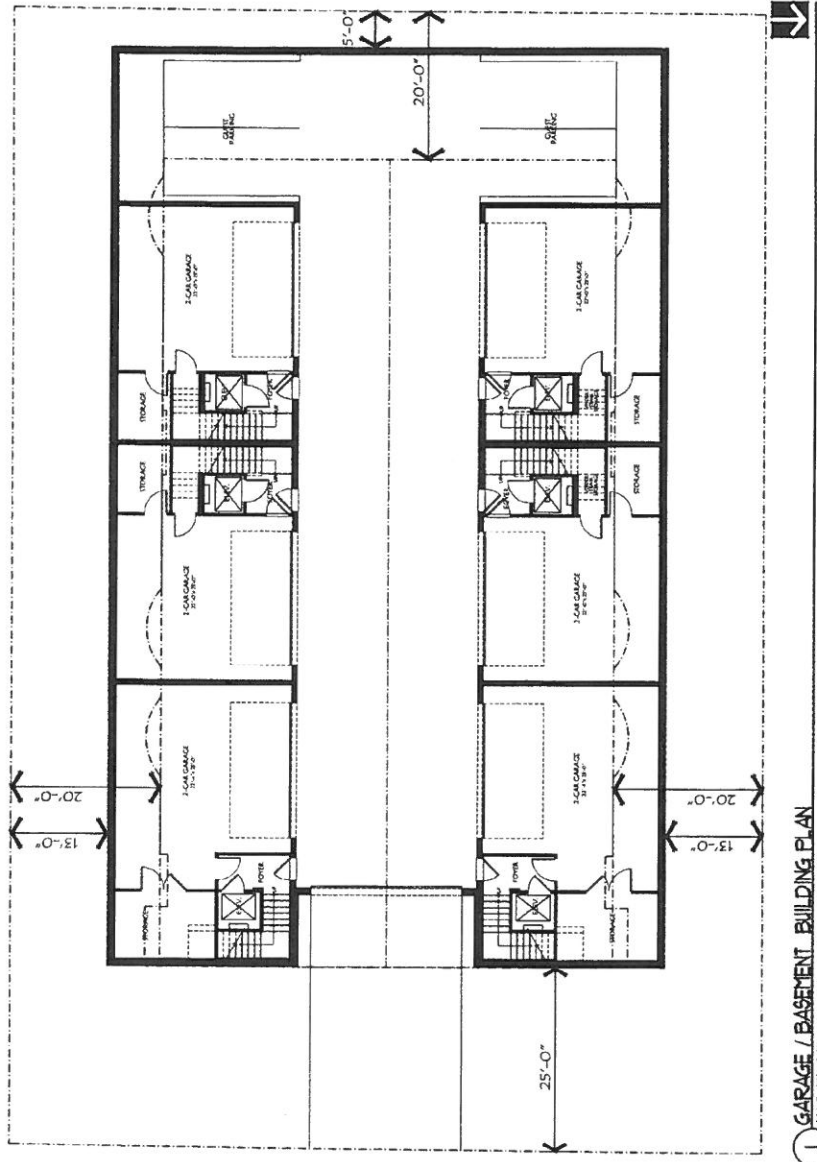
**SLOCUM PLATTS ARCHITECTS, P.A.**  
 479 NORTH OCEAN AVENUE, SUITE 1001 PALM BEACH, FL 33480  
 TEL: 561.833.2177 FAX: 561.833.2773  
 WWW.SLOCUMPLATTS.COM



**TOWNHOME UNIT DATA**  
 SOUTH INTERLACHEN PLACE  
 WINTER PARK, FLORIDA  
 SLOCUM PLATT ARCHITECTS

**A1.1**

DATE: 11/20/2018  
 DRAWN BY: J. SLOCUM  
 CHECKED BY: J. SLOCUM  
 SCALE: AS NOTED  
 SHEET NO. 1 OF 1



**1 GARAGE / BASEMENT BUILDING PLAN**  
 SCALE: 1/8" = 1'-0"

REVISIONS			

**SLOCUM PLATTS ARCHITECTS, P.A.**

520 NORTH BIRCHWOOD DRIVE, SUITE 100, PALM BEACH, FL 33480  
TEL: 561-835-2277  
WWW.SLOCUMPLATTS.COM

**TOWNHOME BUILDING PLANS**

**SOUTH INTERLACHEN PLACE**

WINTER PARK, FLORIDA

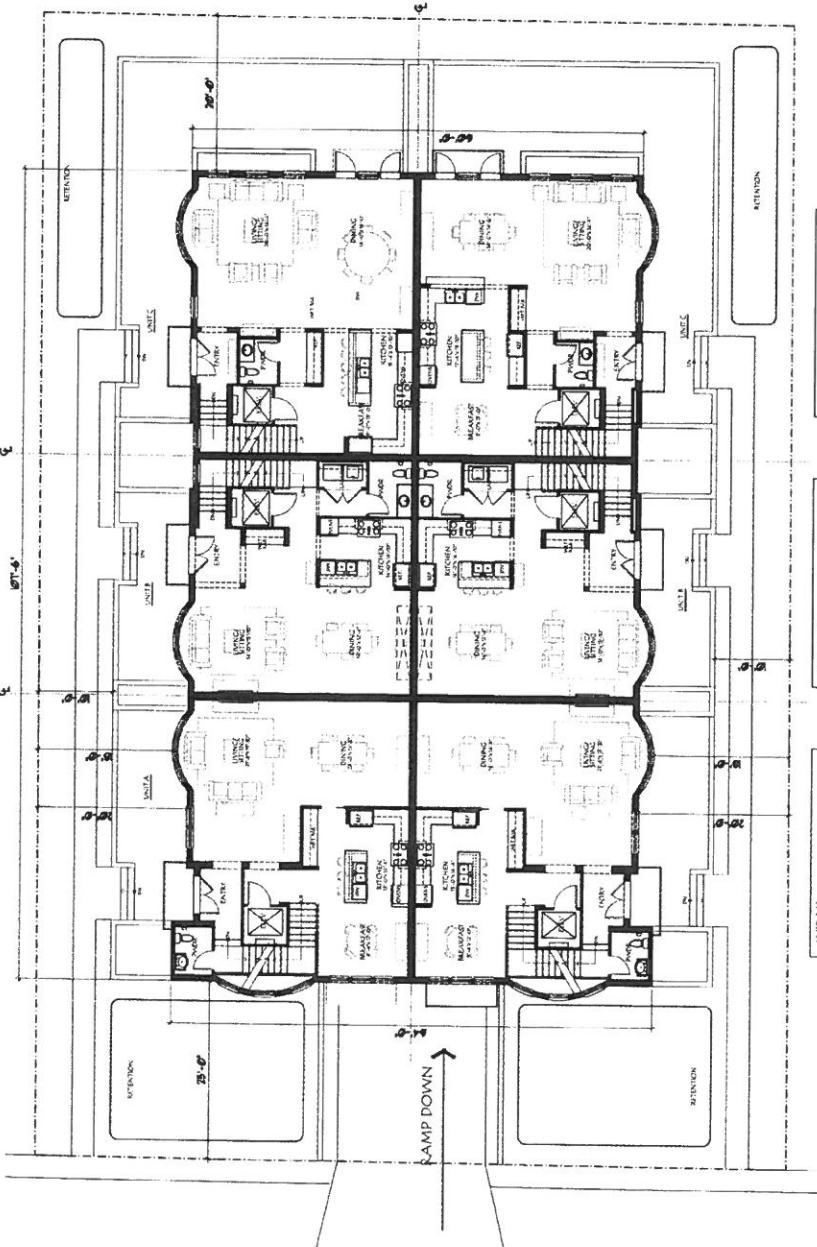
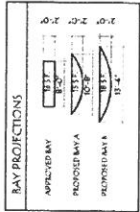
PROJECT NO. 0119-206  
SCALE: NOTED  
SHEET NO. 41.002  
SHEET **A1.2**

**REQUIREMENTS**

ZONING: R-4 (CENTRAL BUSINESS DISTRICT)  
 MAX BUILDING HEIGHT: 45' (FROTH GRADE)  
 MAX FLOOR AREA RATIO: 200%  
 MAX STORES: 3  
 MAX STORIES: 3  
 MAX STREVEOUS COVERAGE: 50%  
 BUILDING FOOTPRINT: 75%  
 TOTAL COVERAGE: 15%  
 SETBACKS:  
 FRONT: 25'  
 REAR: 5'  
 SIDES: 5'

**AREA CALCULATIONS**

SITE AREA	5,250 SF.
MAX BLDG FOOTPRINT ALLOWED	1,625 SF.
MAX BLDG FOOTPRINT PROVIDED	6,563 SF.
TOTAL COVERAGE ALLOWED	11,438 SF.
TOTAL COVERAGE PROVIDED	1,125 SF.
MAX BLDG FLR AREA RATIO ALLOWED (200%)	10,500 SF.
MAX BLDG FLR AREA RATIO PROVIDED (133.1%)	7,036.9 SF.
HVAC AREA	
GARAGE LEVEL (BASEMENT)	
1ST FLOOR	1,936 SF.
2ND FLOOR	6,303 SF.
3RD FLOOR	6,303 SF.
ROOF TOP	1,070 SF.
TOTAL HVAC	10,369 SF.
NON-HVAC AREA	
GARAGE LEVEL	
1ST FLOOR	3,900 SF.
2ND FLOOR	
3RD FLOOR	
ROOF TOP	244 SF.
TOTAL NON-HVAC	3,144 SF.



**UNIT 'C'**

1ST FLOOR HVAC:	1,371 SF.
2ND FLOOR HVAC:	1,371 SF.
3RD FLOOR HVAC:	1,371 SF.
TOTAL HVAC:	3,412 SF.

**UNIT 'B'**

1ST FLOOR HVAC:	971 SF.
2ND FLOOR HVAC:	863 SF.
3RD FLOOR HVAC:	863 SF.
TOTAL HVAC:	2,710 SF.

**UNIT 'A'**

1ST FLOOR HVAC:	1,84 SF.
2ND FLOOR HVAC:	1,84 SF.
3RD FLOOR HVAC:	1,84 SF.
TOTAL HVAC:	3,552 SF.

**UNIT 'C'**

1ST FLOOR HVAC:	1,371 SF.
2ND FLOOR HVAC:	1,371 SF.
3RD FLOOR HVAC:	1,371 SF.
TOTAL HVAC:	3,412 SF.

**UNIT 'B'**

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2ND FLOOR HVAC:	863 SF.
3RD FLOOR HVAC:	863 SF.
TOTAL HVAC:	2,710 SF.

**UNIT 'A'**

1ST FLOOR HVAC:	1,84 SF.
2ND FLOOR HVAC:	1,84 SF.
3RD FLOOR HVAC:	1,84 SF.
TOTAL HVAC:	3,552 SF.


① **BUILDING PLAN - FIRST FLOOR**  
 SCALE: 1/8" = 1'-0"

K. J. JACOBS

NO.	DESCRIPTION	DATE

**SLOCUM PLATTS ARCHITECTS, P.A.**

MANUAL T. SLOCUM ARCHITECTS, P.A. 13300 WILKINSON ROAD, SUITE 100, FORT MYERS, FL 33908  
 889-933-3333 FAX 889-933-3334  
 WWW.SLOCUMPLATTS.COM



**TOWNHOME BUILDING PLANS**

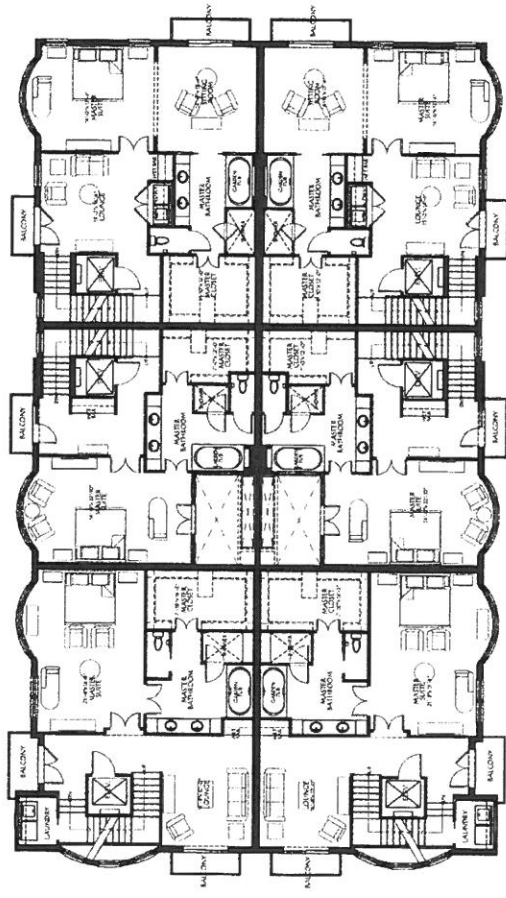
**SOUTH INTERLACHEN**

FLORIDA

WINTER PARK

DRAWN	
CAD	
DATE	
DATE	01/29/2008
SCALE	AS NOTED
JOB NO.	14-000

**A1.3**



**1 BUILDING PLAN - SECOND FLOOR**  
 SCALE 1/8" = 1'-0"

1/16" ANGLE

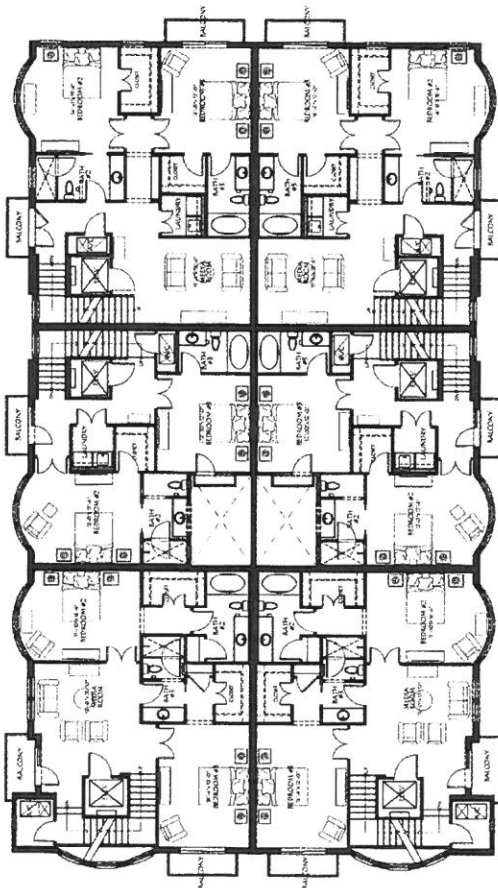
REVISIONS	

WWW.SLOOUMPLATTS.COM  
 TEL. 404.734.2019 FAX 404.734.2711  
 1300 N. SLOCUM AVENUE SUITE 1000 MARIETTA, GA 30067  
**SLOOUM PLATTS ARCHITECTS, P.A.**



TOWNHOME BUILDING PLANS  
**SOUTH INTERLACHEN PLACE**  
 WINTER PARK  
 FLORIDA  
 SHEET NO. 03  
 DATE 01.19.09

**A1.4**  
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 CHECKED: [blank]  
 DATE: [blank]  
 SCALE: [blank]  
 JOB NO.: [blank]  
 SHEET: [blank]




**1** BUILDING PLAN - THIRD FLOOR  
 SCALE: 1/8" = 1'-0"

1.9.2006

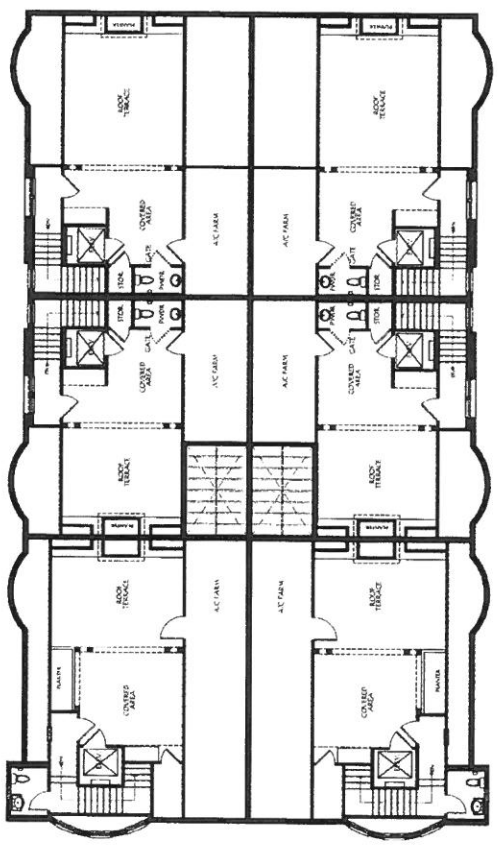
REVISIONS	

SLOCOM PLATTS ARCHITECTS, P.A.  
 130 NORTH DELMOND AVENUE, SUITE 1000, HUNTSVILLE, AL 35894  
 PHONE: 256.881.1234 FAX: 256.881.1235  
 WWW.SLOCOMPLATTS.COM



TOWNHOME BUILDING PLANS  
 SOUTH INTERLACHEN  
 WINTER PARK, FLORIDA  
 SHEET NO. A1.5

DATE	01.19.2009
BY	JAS NOTED
CHECKED	JAS NOTED
SCALE	AS SHOWN
PROJECT	SOUTH INTERLACHEN
SHEET	A1.5



1 BUILDING PLAN - ROOF TOP / ROOF PLAN  
 SCALE: 1/8" = 1'-0"

X-PLAN-256







NO.	DESCRIPTION	DATE


  
**SLOCUM PLATTS ARCHITECTS, P.A.**
  

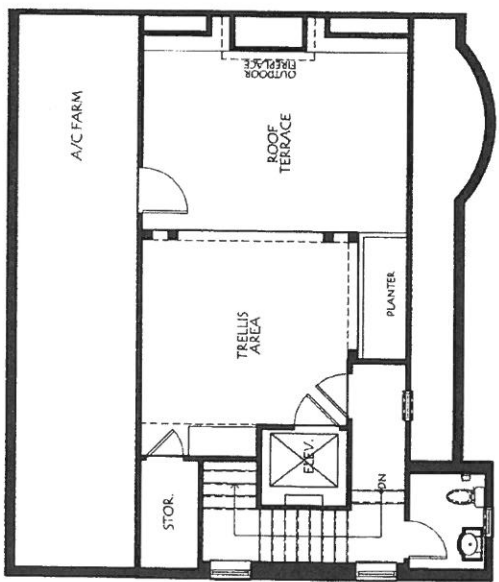
 DANIEL L. SLOCUM AND VICTOR W. PLATT ARCHITECTS, P.A.
   
 170 NORTH OCEAN AVENUE, SUITE 1001 PALM BEACH, FL 33480
   
 TEL: 561-833-2019 FAX: 561-833-2771
   
 WWW.SLOCUMPLATTS.COM

WINTER PARK  
FLORIDA

**TOWNSHOME UNIT PLANS**  
**SOUTH INTERLACHEN**  
 WINTER PARK

DESIGNER	
CHECKED	
DATE	
PROJECT NO.	
SHEET NO.	
TOTAL SHEETS	

**A2.2**



1 UNIT 'A' - ROOF TOP / ROOF PLAN  
 SCALE: 1/4" = 1'-0"



NO.	DATE	REVISIONS

**SLOCUM PLATTS**

ARCHITECTS, P.A.

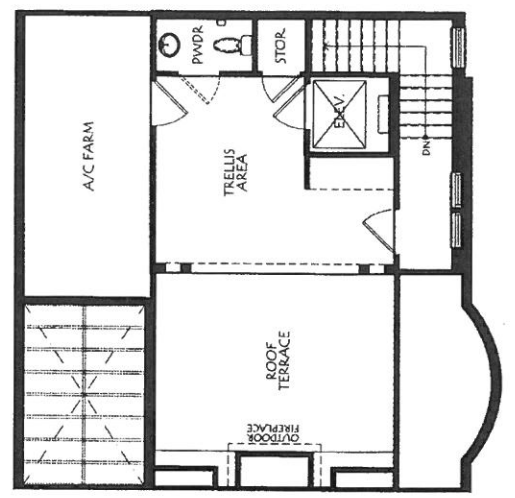
410 NORTH DELAWARE AVENUE, SUITE 1201 HARTFORD, CT 06103  
 TEL: 860.261.2375 FAX: 860.261.2771  
 WWW.SLOCUMPLATTS.COM

WINTER PARK  
 SOUTH INTERLACHEN  
 TOWNHOME UNIT PLANS  
 FLORIDA

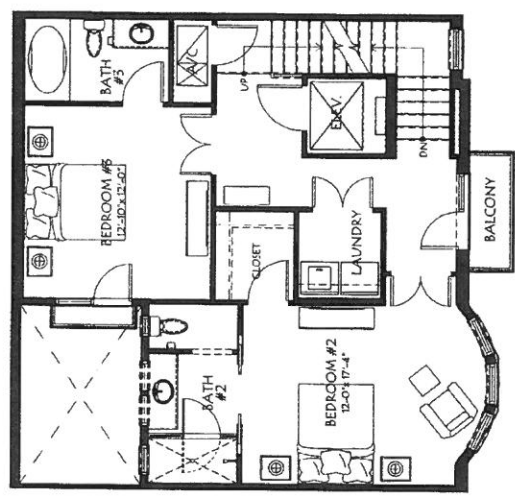
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DATE	
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PLANTING	
FINISHES	

**A2.4**

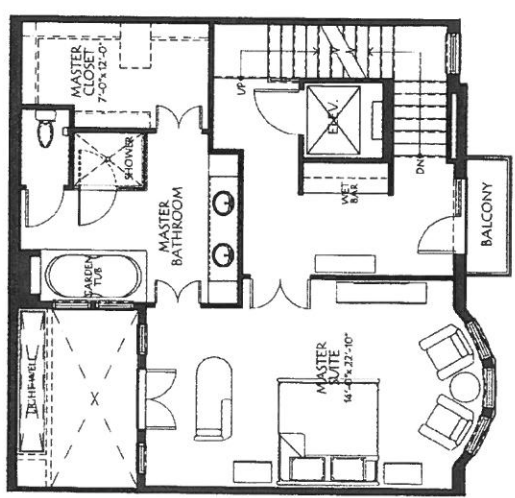
SHEET



3 UNIT 'B' - ROOF TOP / ROOF PLAN  
 SCALE: 1/4" = 1'-0"



2 UNIT 'B' - THIRD FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



1 UNIT 'B' - SECOND FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE

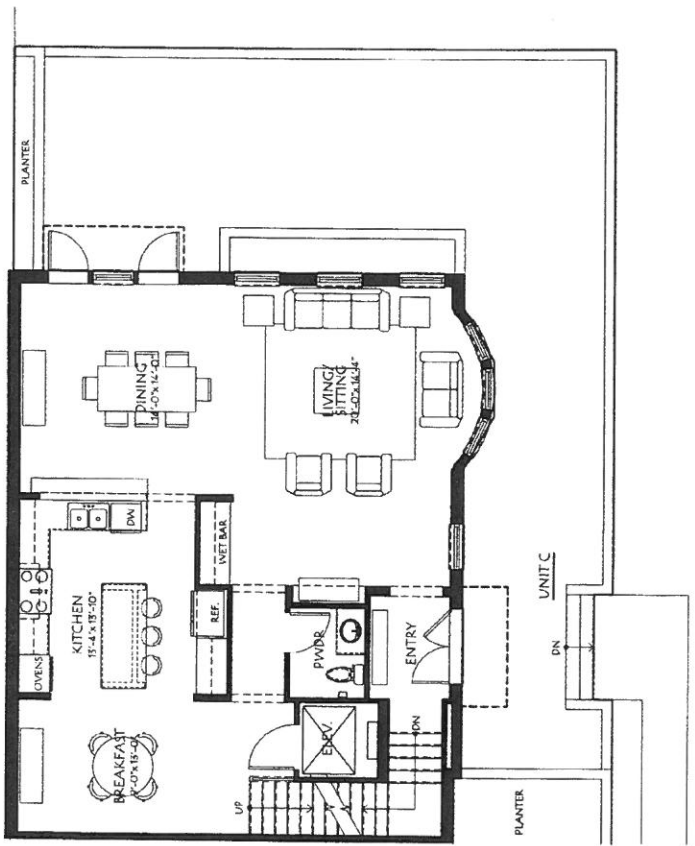
**SLOCUM PLATS**  
ARCHITECTS, P.A.

439 NORTH OCEAN DRIVE, SUITE 1001 PALM BEACH, FL 33480  
 TEL: (561) 833-2771 FAX: (561) 833-2771  
 WWW.SLOCUMPLATS.COM

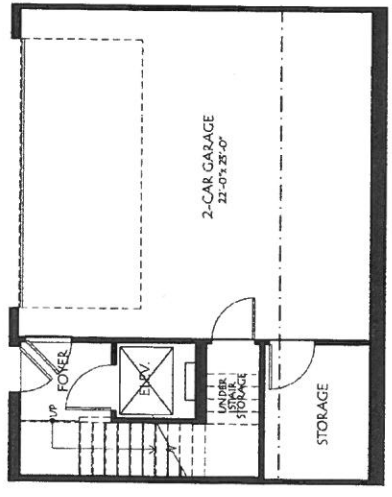
**TOWNHOME UNIT PLANS**  
**SOUTH INTERLACHEN**  
 FLORIDA  
 WINTER PARK

DESIGNER	SLOCUM PLATS
CAD	
DATE	
SCALE	AS NOTED
JOB NO.	

A2.5



**2 UNIT 'C' - FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**1 UNIT 'C' - GARAGE/BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"








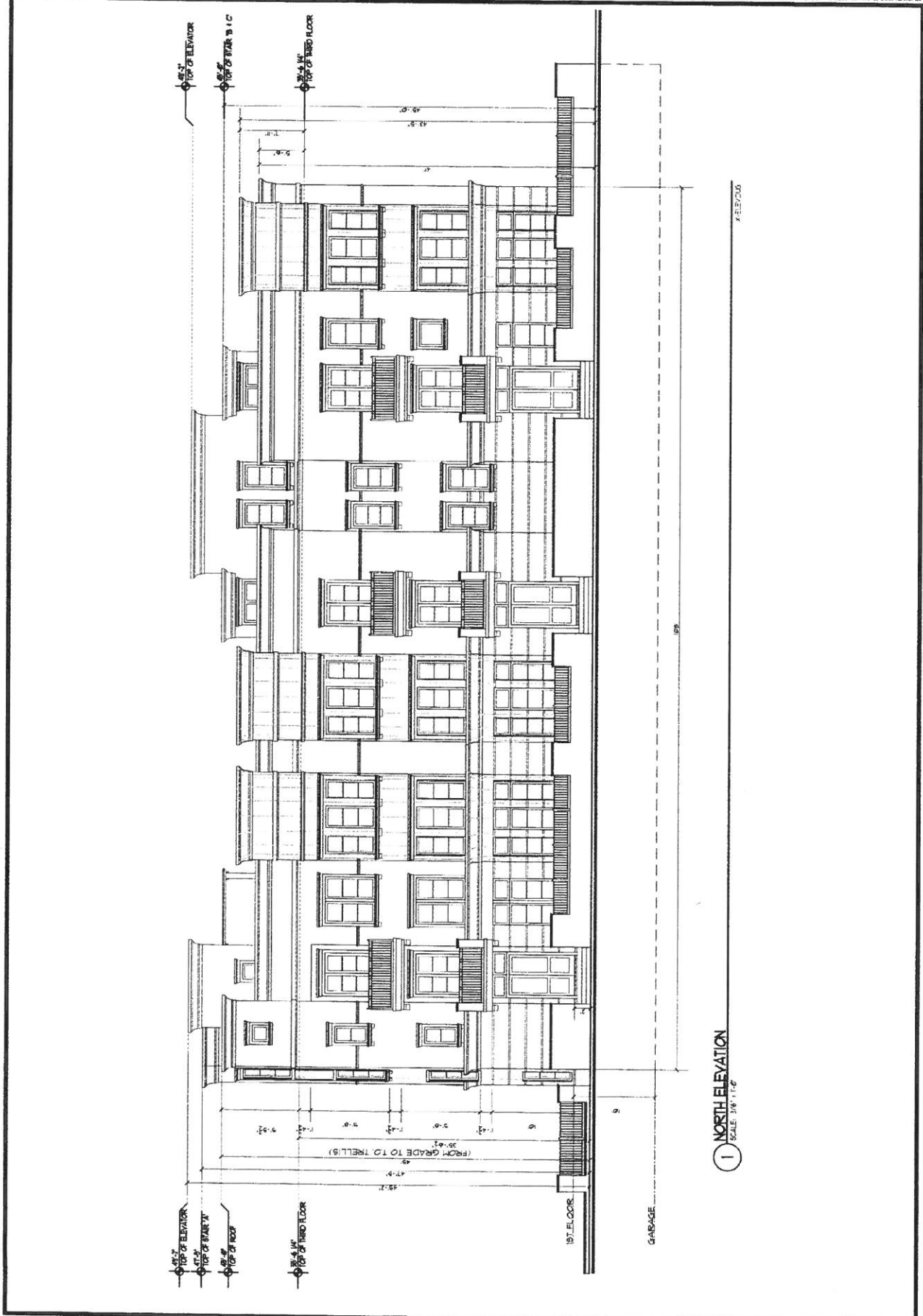
NO.	DESCRIPTION

**SLOCUM PLATTS ARCHITECTS, P.A.**  
 478 NORTH OAKLAND AVENUE, SUITE 1001 HARTLAND, PA 17128  
 TEL: (717) 435-3014 FAX: (717) 435-2771  
 WWW.SLOCUMPLATTS.COM



WINTER PARK  
**SOUTH INTERLACHEN**  
 TOWNHOME ELEVATION  
 FLORIDA

SHEET  
**A6.0**  
 JOB NO. 14-000  
 SCALE NOTED  
 DATE 01-15-2015  
 DRAWN BY  
 CHECKED BY  
 PROJECT NO.



**1 NORTH ELEVATION**  
 SCALE 3/8" = 1'-0"

DATE:	
CREATED:	
USER:	
DATE:	01/15/2019
SCALE:	NOTED
JOB NO.:	
FL. NO.:	
SHEET:	A6.1

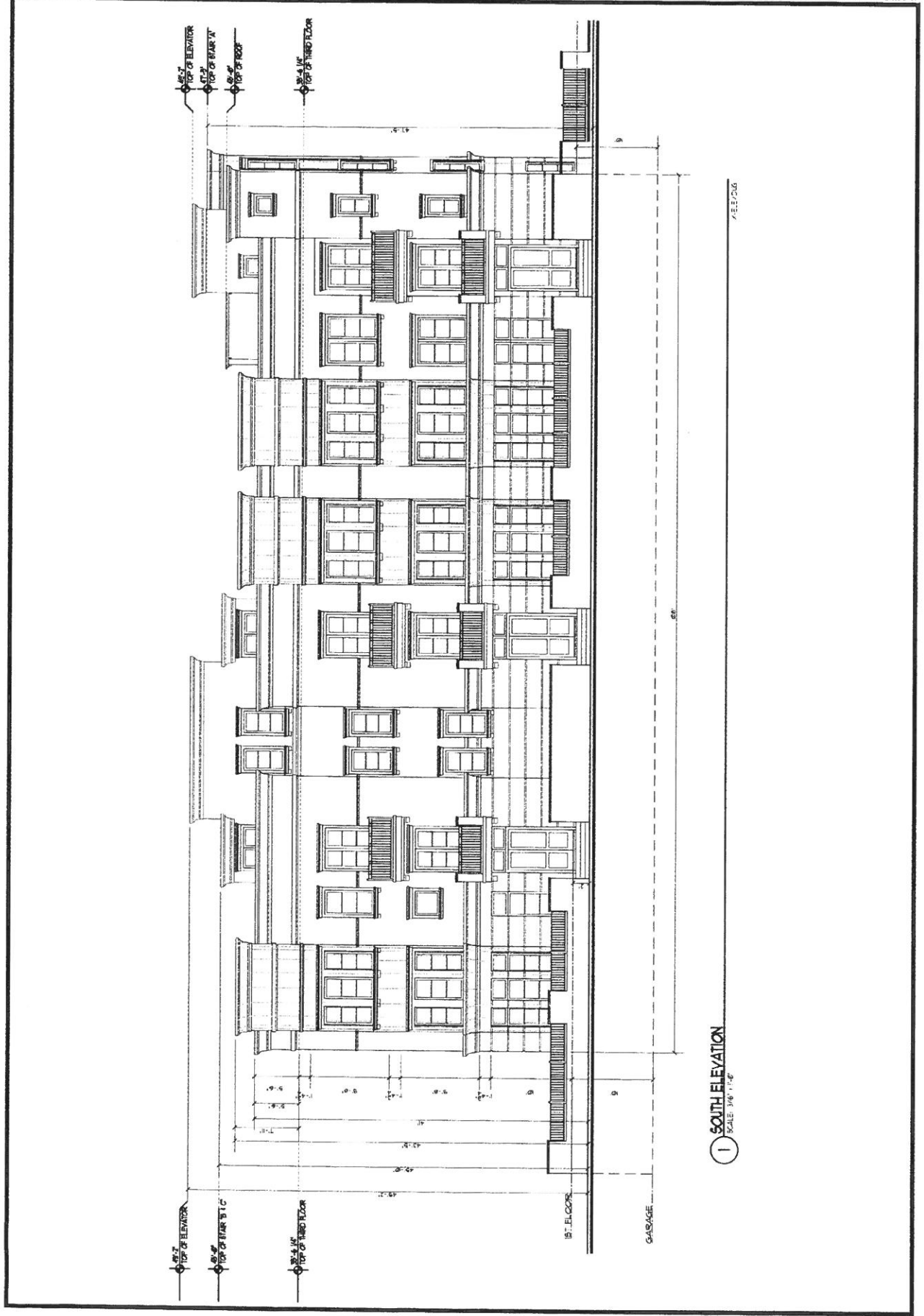
WINTER PARK  
**TOWNHOME ELEVATION**  
**SOUTH INTERLACHEN PLACE**  
 FLORIDA

BLUETON PLATTS ARCHITECTS  
 1511 W. WASHINGTON ST.  
 SUITE 100  
 WINTER PARK, FL 32789  
 TEL: 321.464.2818 FAX: 321.464.2771  
 WWW.BLUETONPLATTS.COM



**SLOCUM PLATTS**  
 ARCHITECTS, P.A.

NO.	DESCRIPTION	DATE



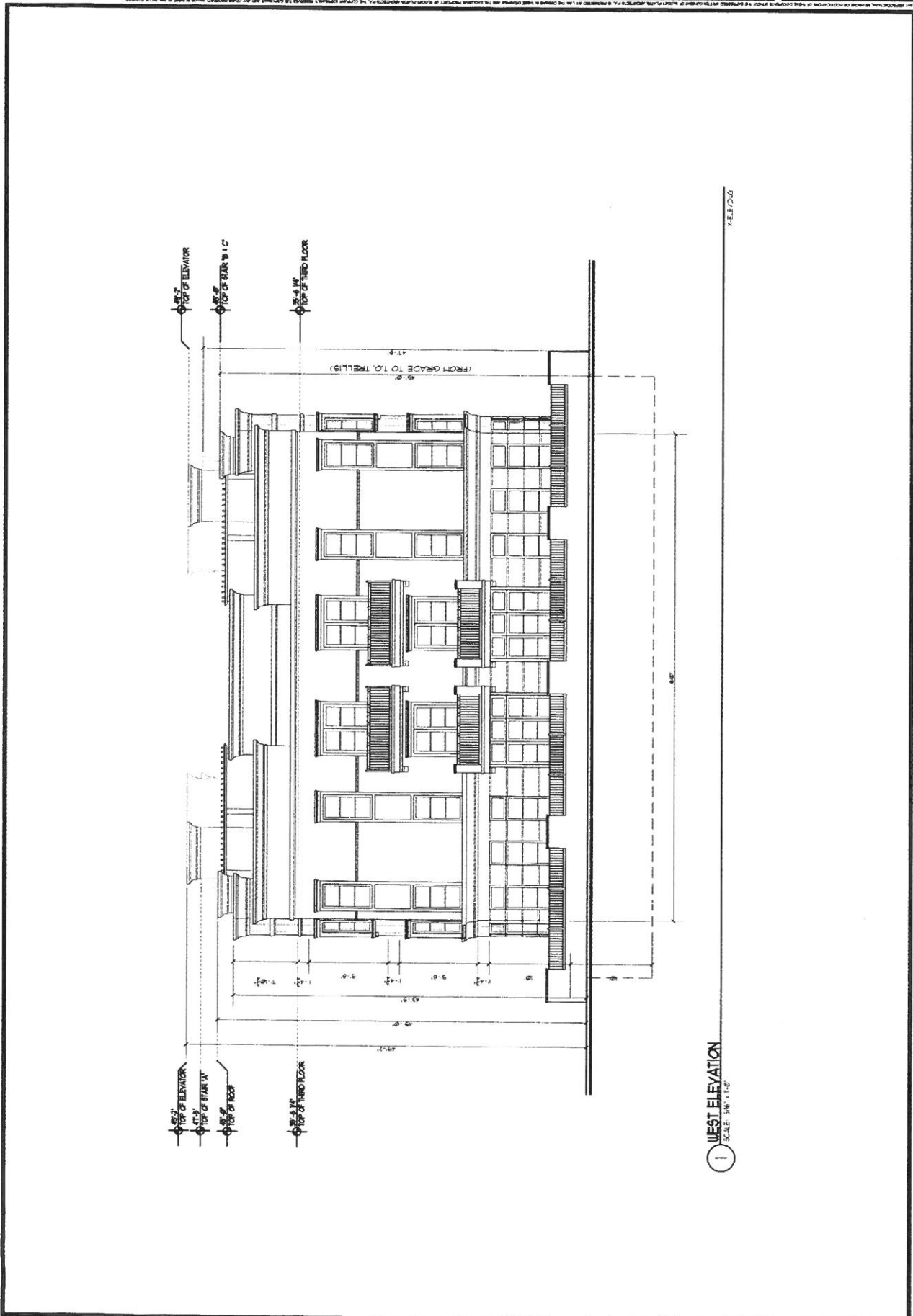
1 SOUTH ELEVATION  
 SCALE 3/8" = 1'-0"

NO.	REVISIONS


  
**SLOCUM PLATTS ARCHITECTS, P.A.**
  
 675 NORTH OHLAHOBA AVENUE, SUITE 1001, WINTER PARK, FLORIDA 32789
   
 TEL: (407) 446-2916 FAX: (407) 446-2771
   
 WWW.SLOCUMPLATTS.COM

**TOWNHOME ELEVATION - CONCEPT**
  
**SOUTH INTERLACHEN**
  
 WINTER PARK, FLORIDA


DRAWN: CAD
   
 CHECKED:
   
 DATE: 01-18-2018
   
 SCALE: UNLIMITED
   
 APP. NO.:
   
 E-XXX
   
**A6.2**
  
 SHEET



ALL DIMENSIONS ARE BASED ON FINISHED SURFACES UNLESS OTHERWISE NOTED. THE ARCHITECT ASSUMES RESPONSIBILITY FOR THE ACCURACY OF ALL DIMENSIONS AND THE USER SHALL VERIFY THE ACCURACY OF ALL DIMENSIONS PRIOR TO CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT.

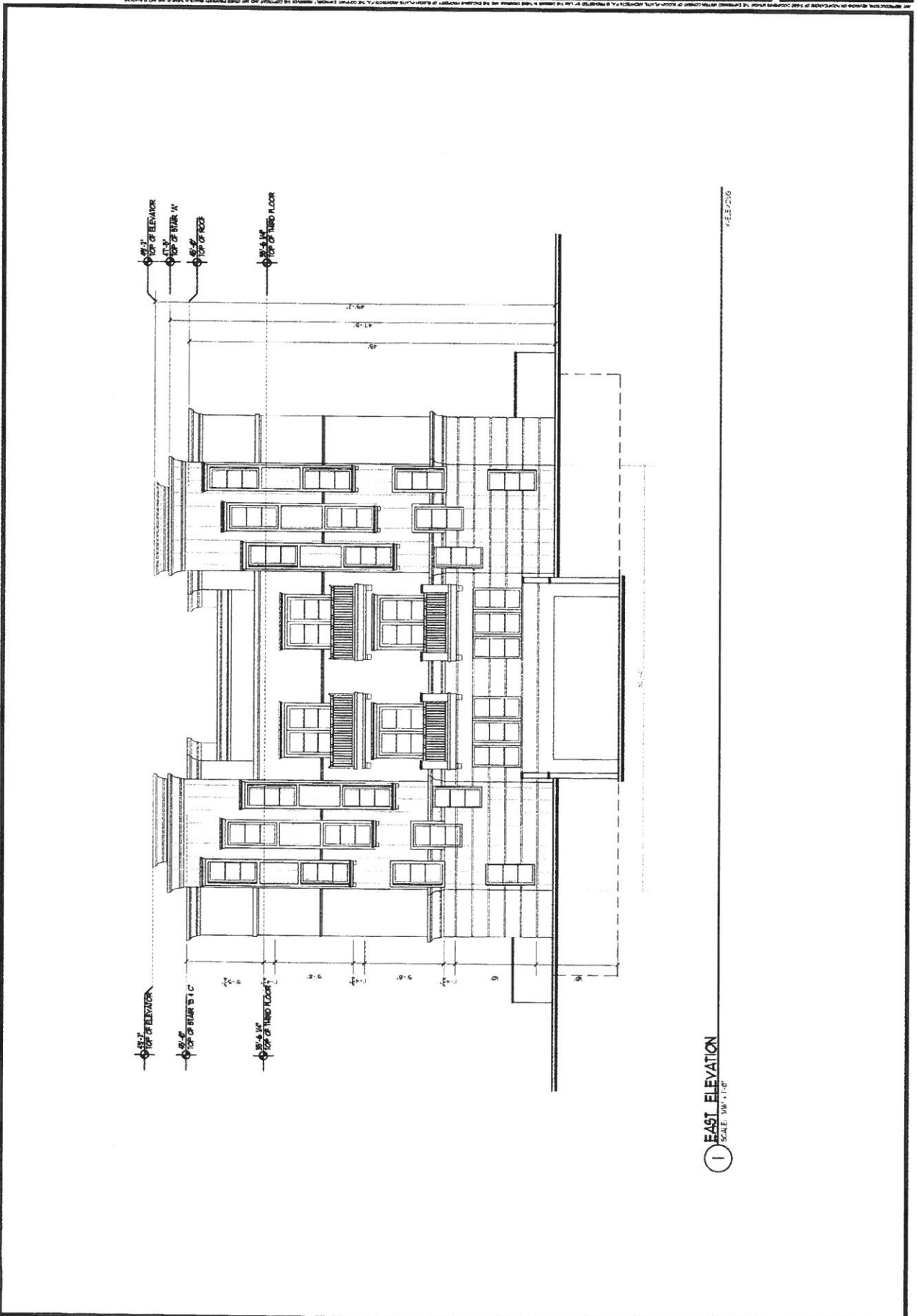
REVISIONS	

SLOCUM PLATTS ARCHITECTS, P.A.  
 429 NORTH ORLANDO AVENUE, SUITE 1001 WASHINGTON, FL 32801  
 TEL: 407.648.1338 FAX: 407.648.2771  
 WWW.SLOCUMPLATTS.COM



TOMMYHOE ELEVATION - CONCEPT  
 SOUTH INTERLACHEN  
 WINTER PARK  
 FLORIDA  
 SLOCUM PLATTS ARCHITECTS

DESIGNER	DAVID
CHECKED	
DATE	01-15-2010
SCALE	AS NOTED
JOB NO.	14-000
SHEET	A6.3



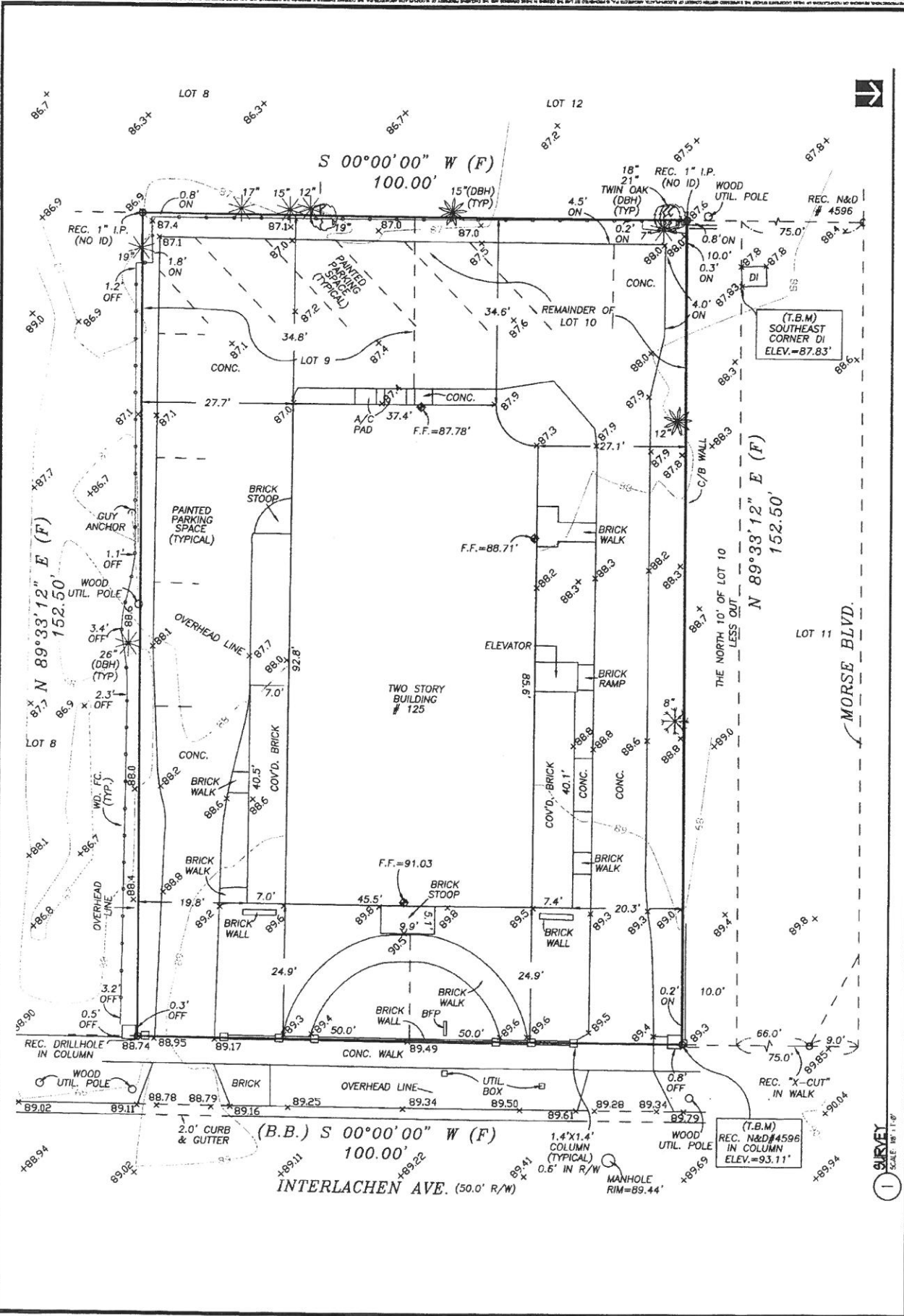
1 EAST ELEVATION  
 SCALE: 3/8" = 1'-0"

REVISED

NO.	DESCRIPTION

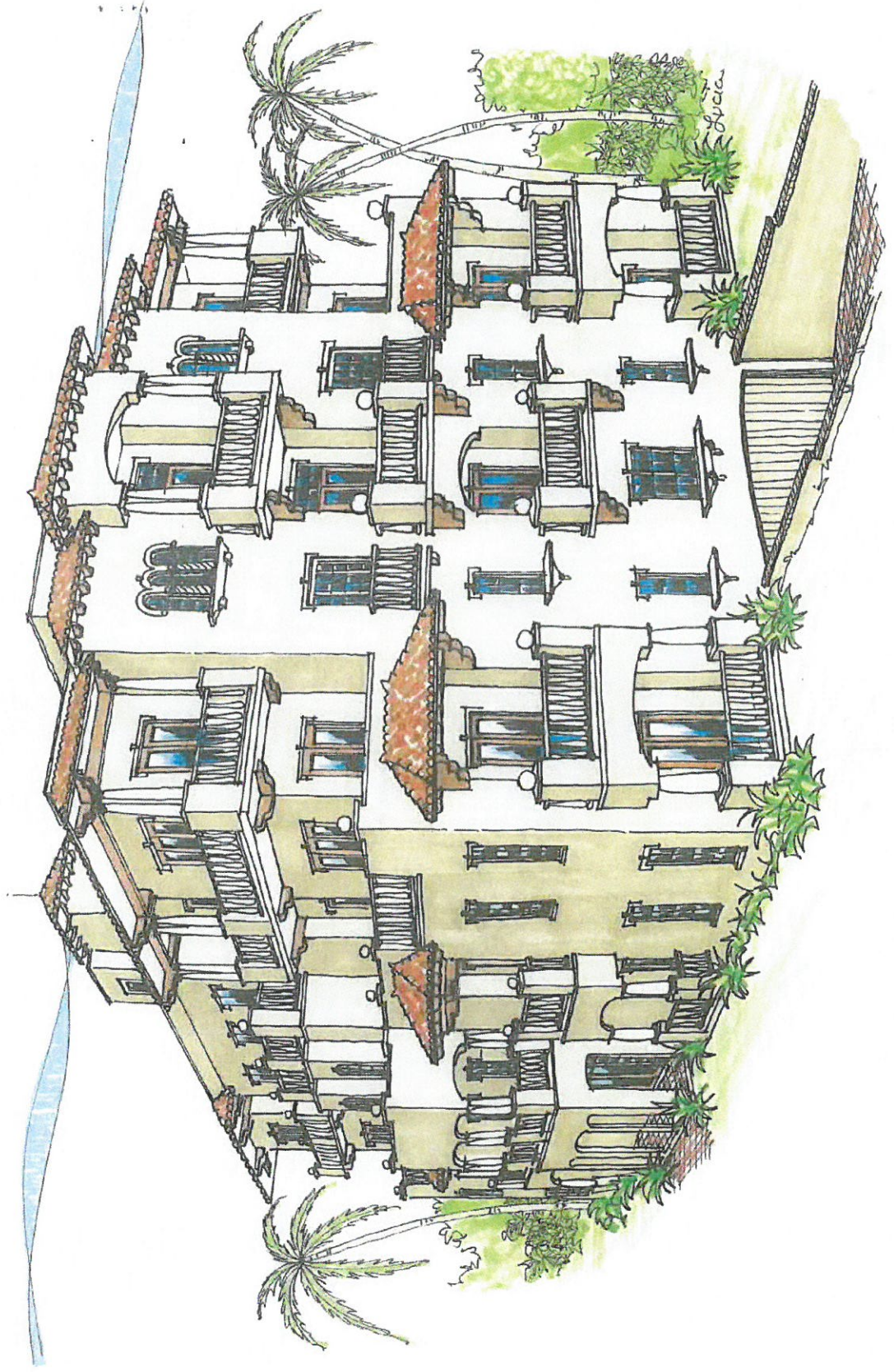


NO.	DATE	BY	SCALE	REVISIONS



**1 SURVEY**  
SCALE 1/8"=1'-0"

*Original Architectural Style - as approved in 2006*



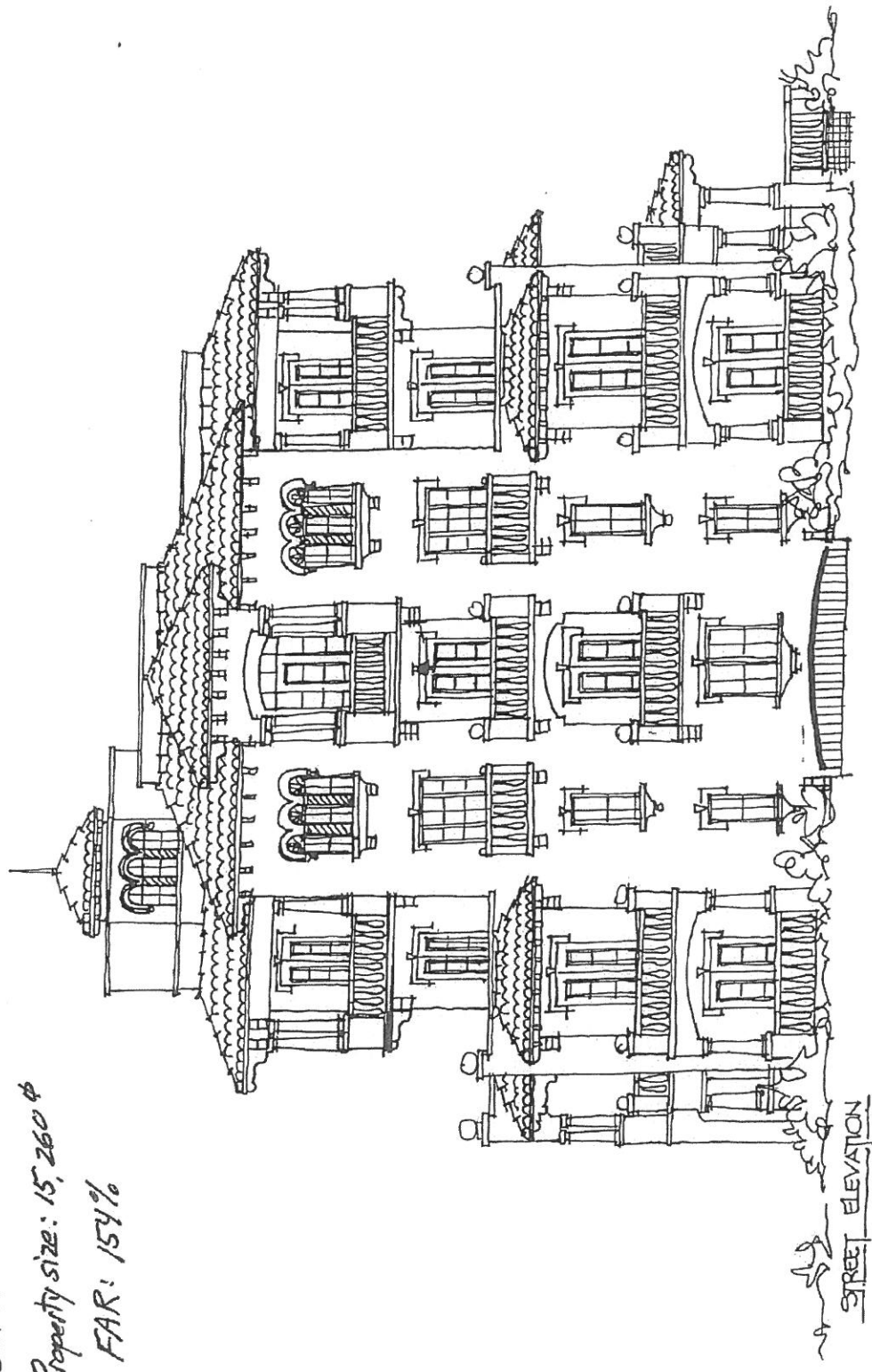
# 2006 Project Plans

Robert Vega's Project e 125 S. Interlachen Zoning: R-4

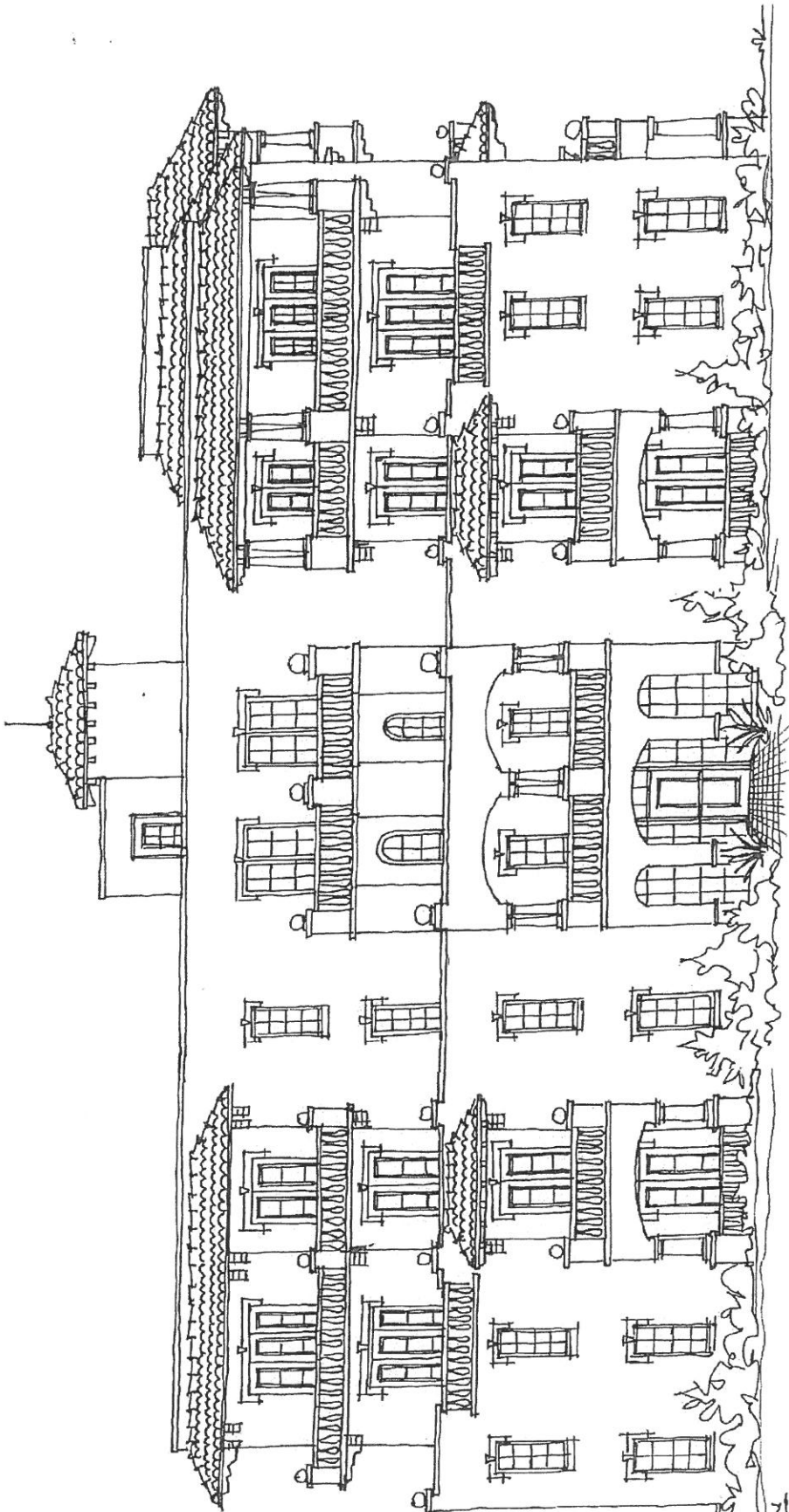
Six units 23,500 sq ft total

Property size: 15,260 sq ft

FAR: 154%

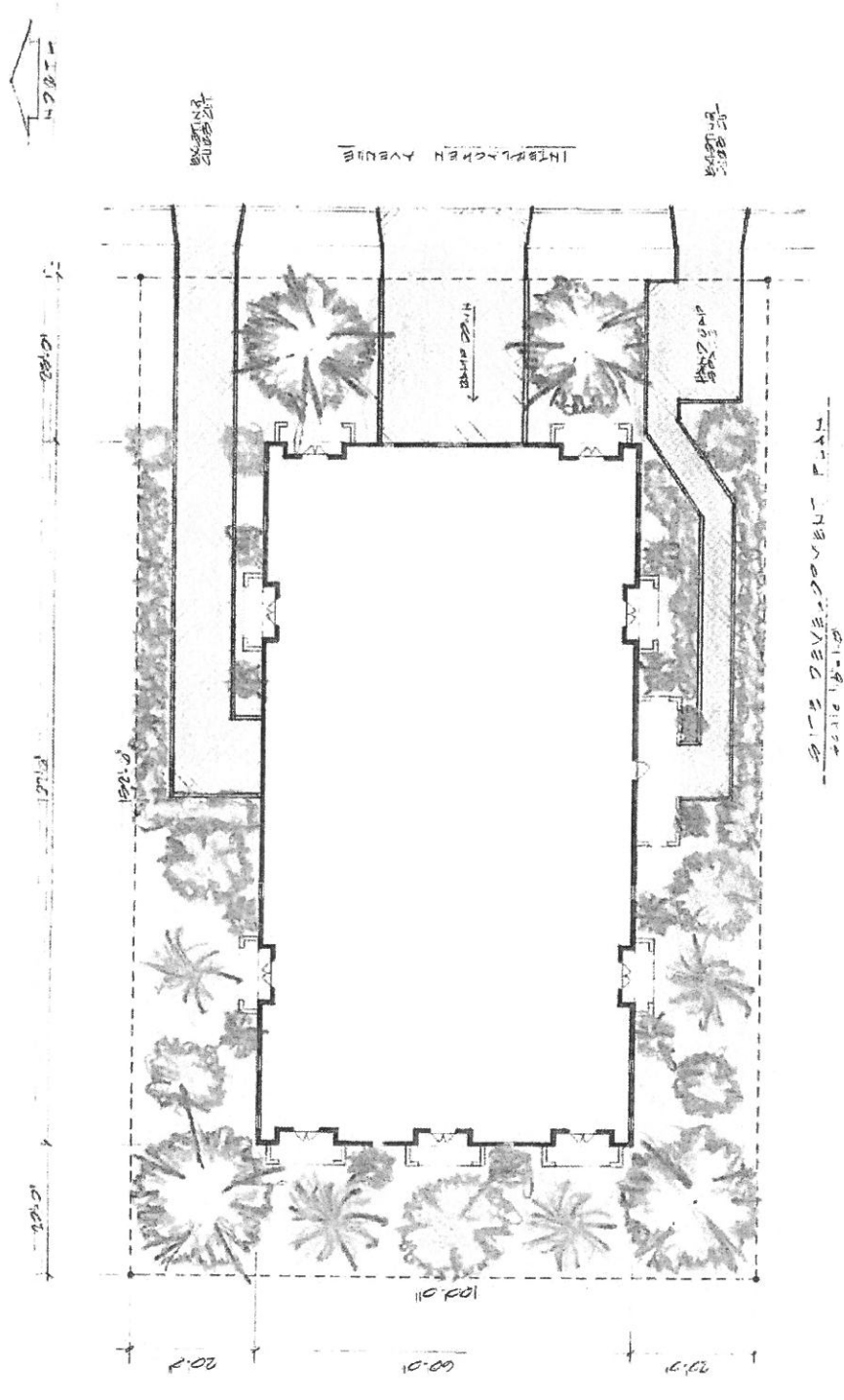


STREET ELEVATION

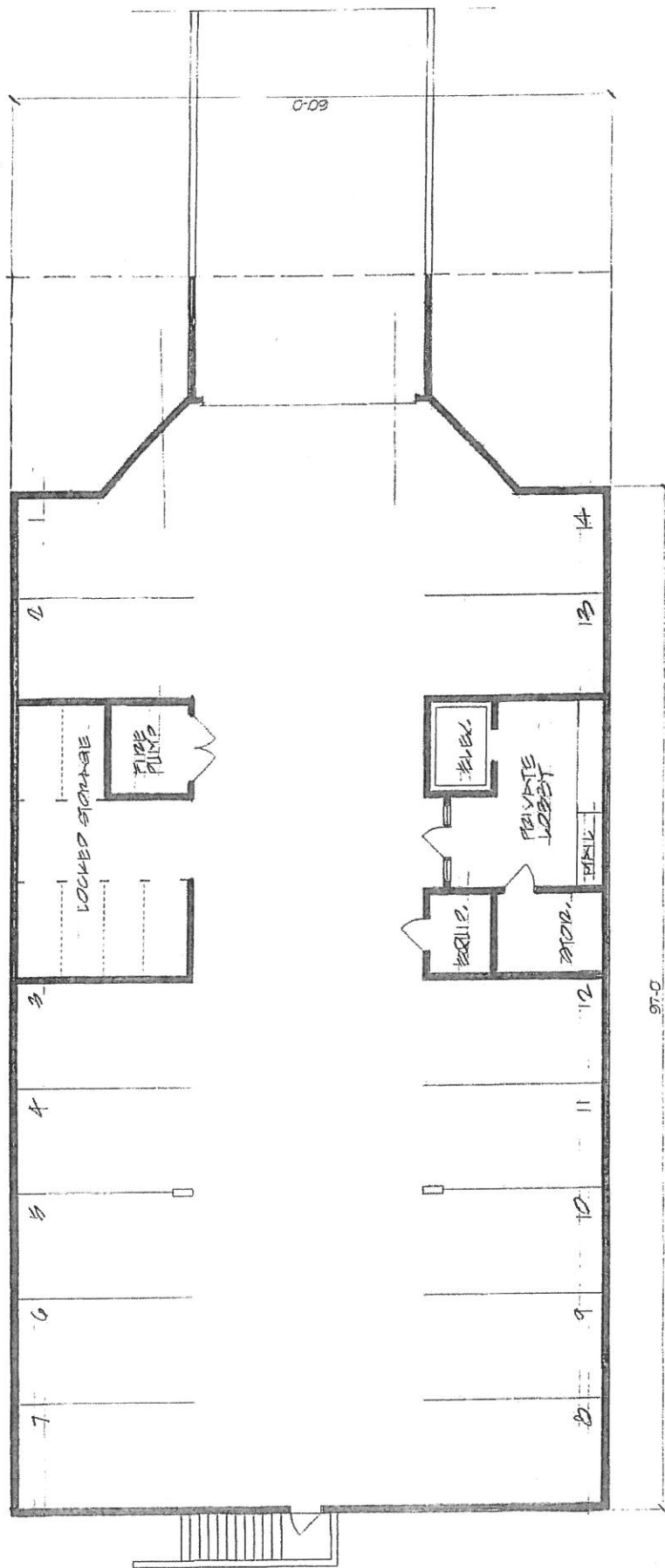


SIDE ELEVATION  
E.H.





SITE DEVELOPMENT PLAN  
 11/22/22

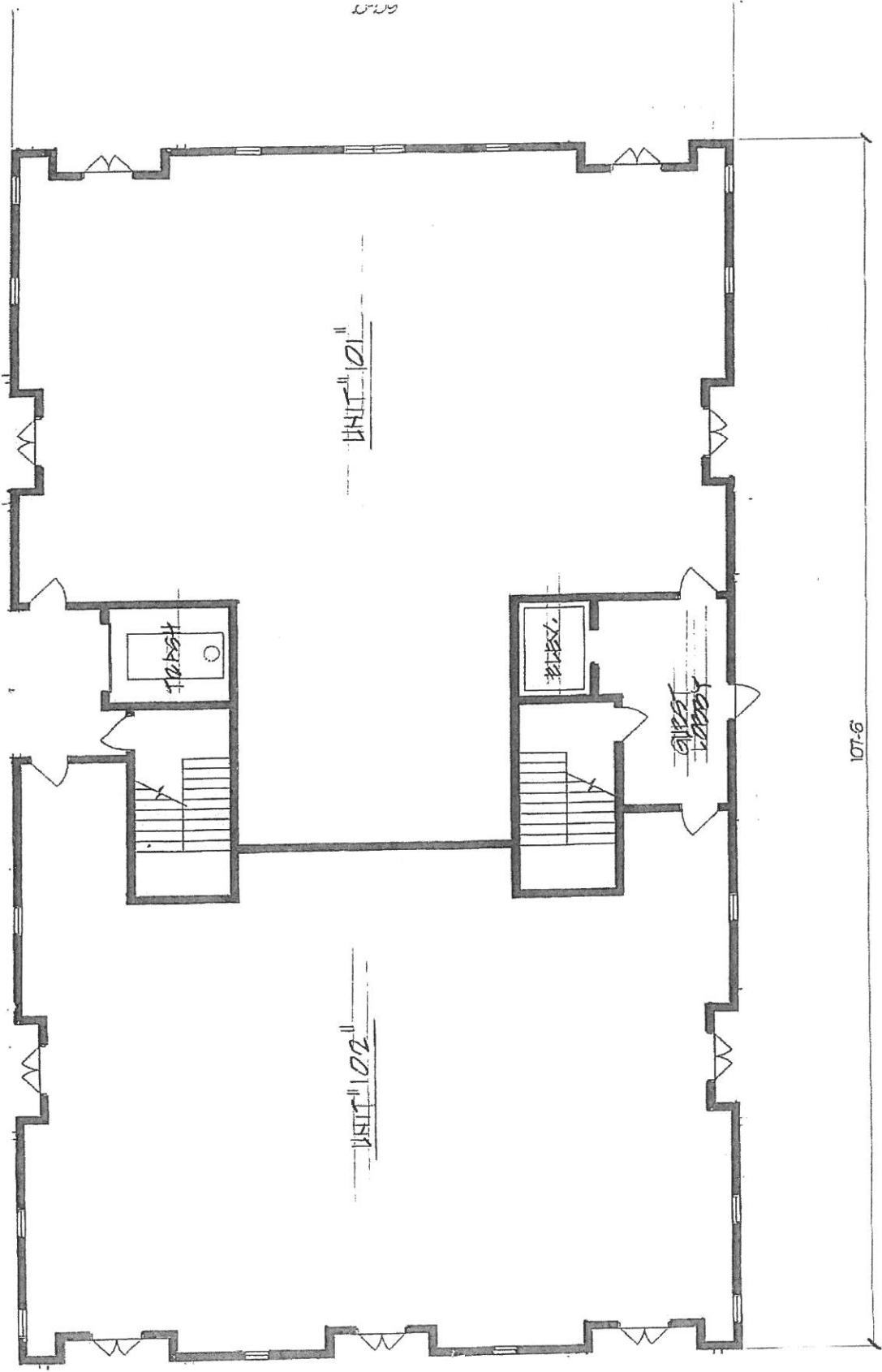


PARKING GARAGE LEVEL

97'-0"

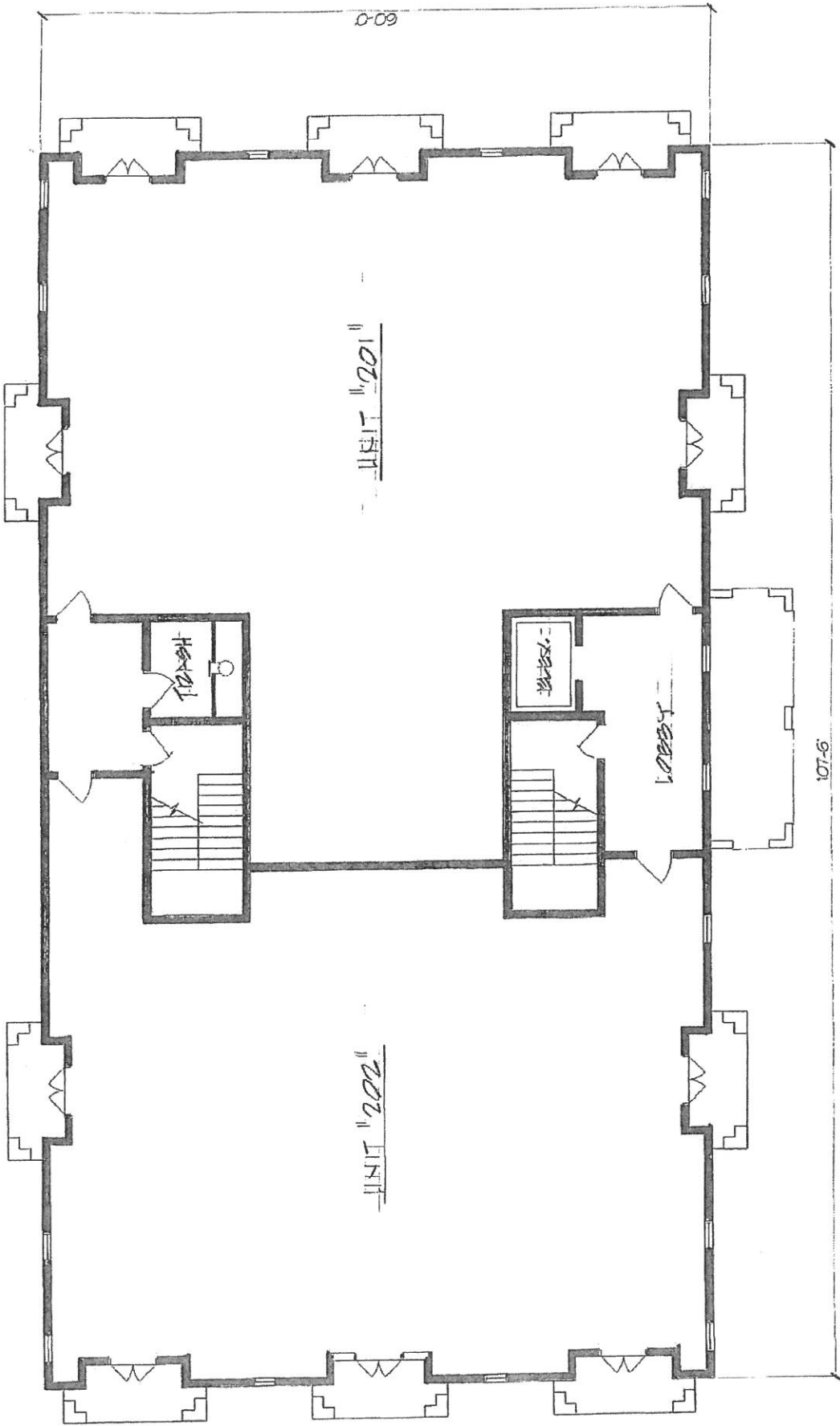
60'-0"

0729

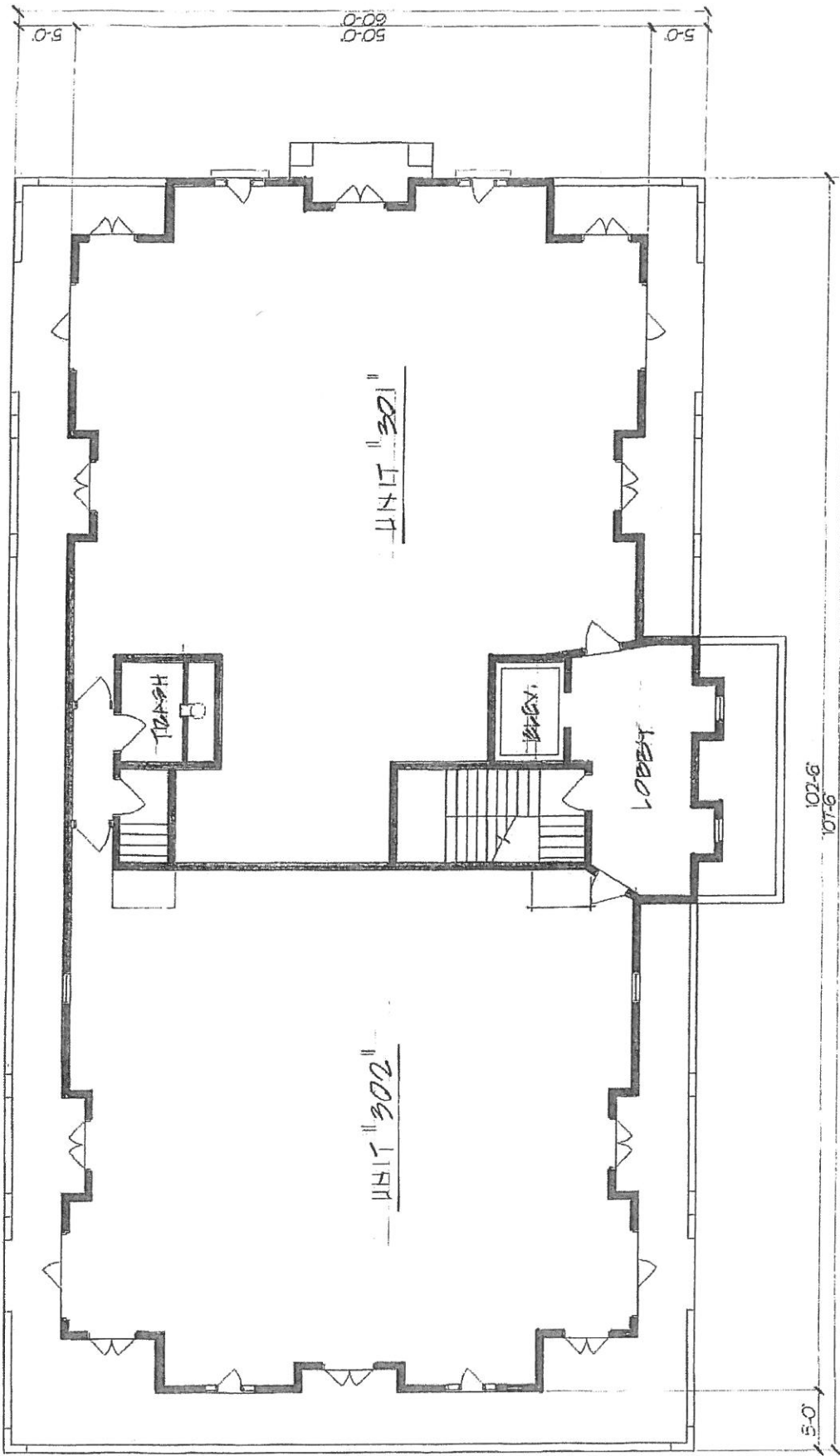


107-6

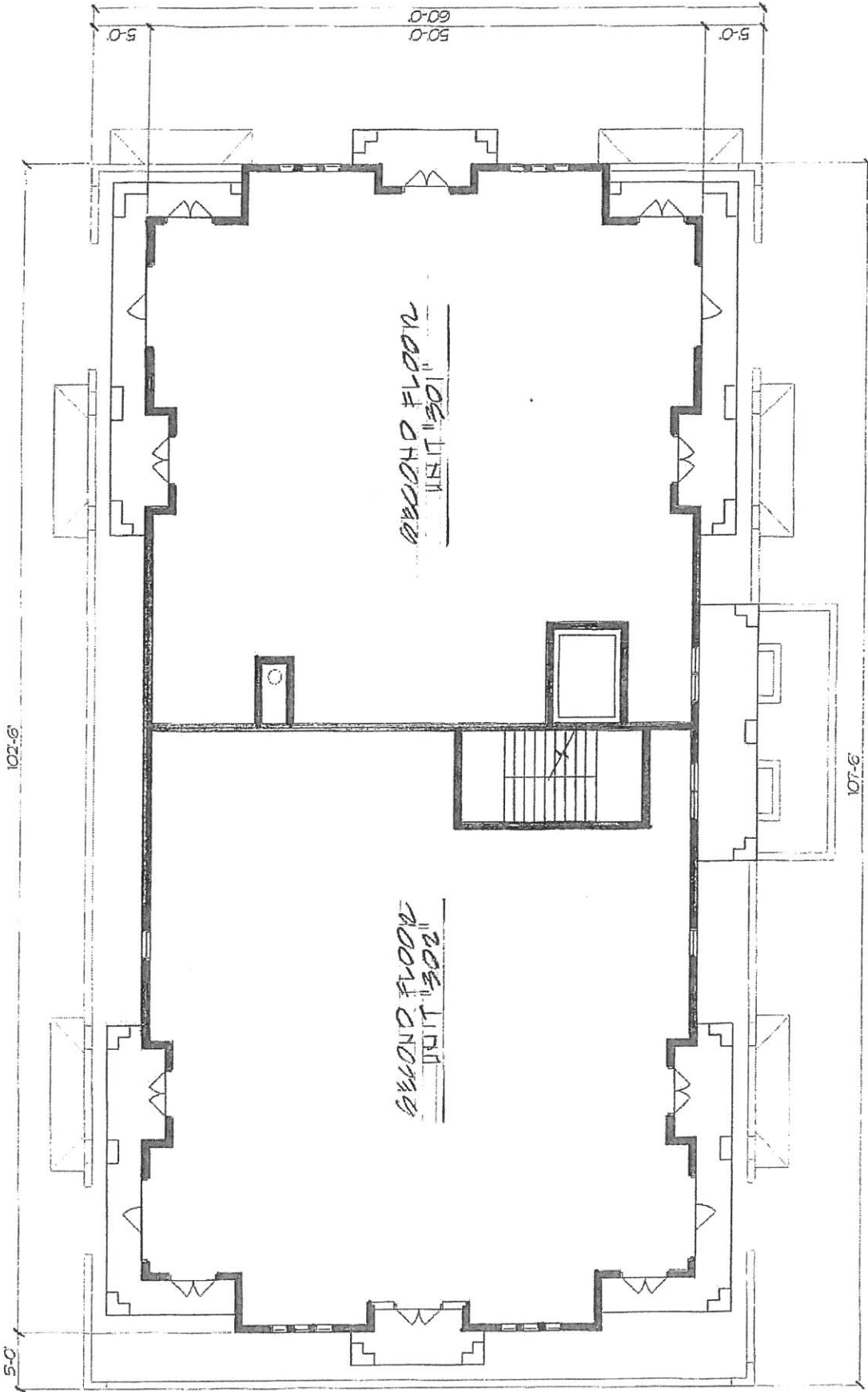
FIRST FLOOR LEVEL



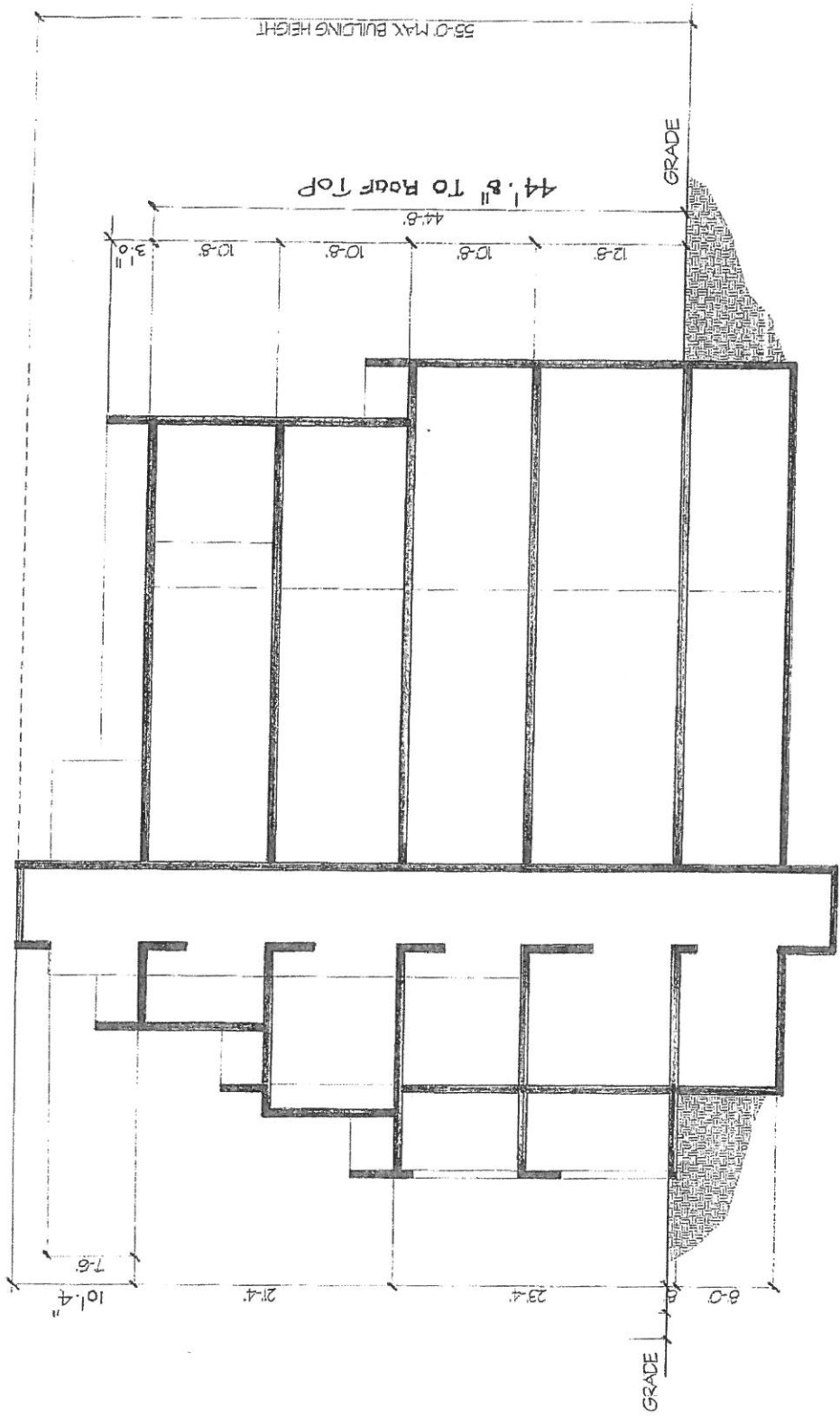
SECOND FLOOR LEVEL



107-6  
107-6  
THIRD FLOOR LEVEL



FOURTH FLOOR LEVEL



CROSS SECTION

# Phil Kean plans - as approved in 2013



**PHIL KEAN DESIGNS INC**  
 ARCHITECTURE / CONSTRUCTION / INTERIORS

**ARCHITECT:**

Architecture by  
**Phil Kean**  
 4634 Orange Avenue  
 Fort Lauderdale, Florida 33309  
 Phone: 954.561.2222  
 Fax: 954.561.2222  
 phil@philkean.com  
 philkean.com  
 2013

**PROJECT INFORMATION:**

125 S. Interlachen Ave.  
 Winter Park, Florida

**PLAN HISTORY**

DATE	DESCRIPTION
06-28-10	PRELIM DESIGN
06-20-11	REVISIONS ONLY
	INTER PLANS ARE NOT FINISHED

**SHEET DATA:**

DESIGNED BY: PHIL KEAN  
 DRAWN BY: ERIC LUDICK  
 CHECKED BY:

**SHEET DESCRIPTION**

FRONT RENDERING

**SHEET**

**10**





**PHIL KEAN DESIGNS INC**  
 ARCHITECTURE / CONSTRUCTION / INTERIORS

**ARCHITECT:**

Architecture by  
**Phil Kean**

40234 Orange Grove Road  
 Winter Park, FL 32789  
 Phone: 407.839.3299  
 Fax: 407.899.2023  
 City of Winter Park, Florida

**PROJECT INFORMATION:**

DATE: 05/20/2013  
 PROJECT: 125 S. INTERLACHEN

125 S. Interlachen Ave.  
 Winter Park, Florida

**PLAN HISTORY**

DATE	DESCRIPTION
05/01/10	PRELIM DESIGN
05/20/13	REVIEW SET ONLY
	ISSUE PLANS AND CONTRACTING

**SHEET DATA:**

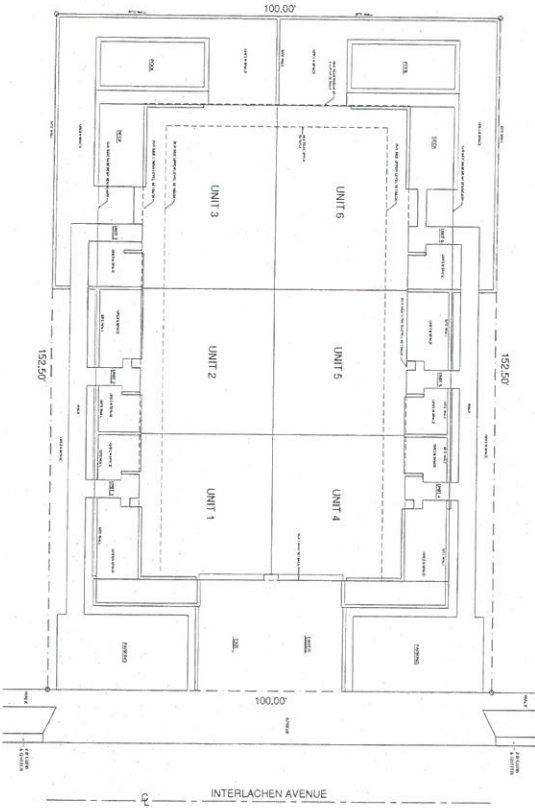
DESIGNED BY: PHIL KEAN  
 DRAWN BY: EMILIA LUCIA  
 CHECKED BY:

**SHEET DESCRIPTION**

NEAR RENDERINGS

**SHEET**

**11**



PROPOSED SITE PLAN  
SCALE: 1" = 10'-0"



**DESCRIPTION:**  
 THIS PLAN IS A PRELIMINARY PLAN FOR THE PROPOSED CONSTRUCTION OF SIX (6) UNITS OF APARTMENT HOUSING. THE UNITS ARE TO BE CONSTRUCTED ON THE EAST SIDE OF PLOT 34 OF THE PUD RECORDS OF DAVENPORT, FLORIDA. THE PROJECT IS SUBJECT TO THE APPROVAL OF THE CITY OF DAVENPORT, FLORIDA. THE PROJECT IS SUBJECT TO THE APPROVAL OF THE CITY OF DAVENPORT, FLORIDA. THE PROJECT IS SUBJECT TO THE APPROVAL OF THE CITY OF DAVENPORT, FLORIDA.



VICINITY MAP  
NOT TO SCALE

ARCHITECT:

Architecture by  
**Phil Klean**

3015 Orange Avenue  
 Winter Park, Florida 32789  
 Phone: 407.299.3000  
 phil@philklean.com  
 philklean.com

PROJECT INFORMATION:

125 S. Interlachen Ave.  
 Winter Park, Florida

PLAN HISTORY	DATE	DESCRIPTION
PRELIM DESIGN	09-05-09	
REVISION SET FOR PERMITS	05-26-2010	
PERMITS		
CONSTRUCTION		

SHEET DATA:

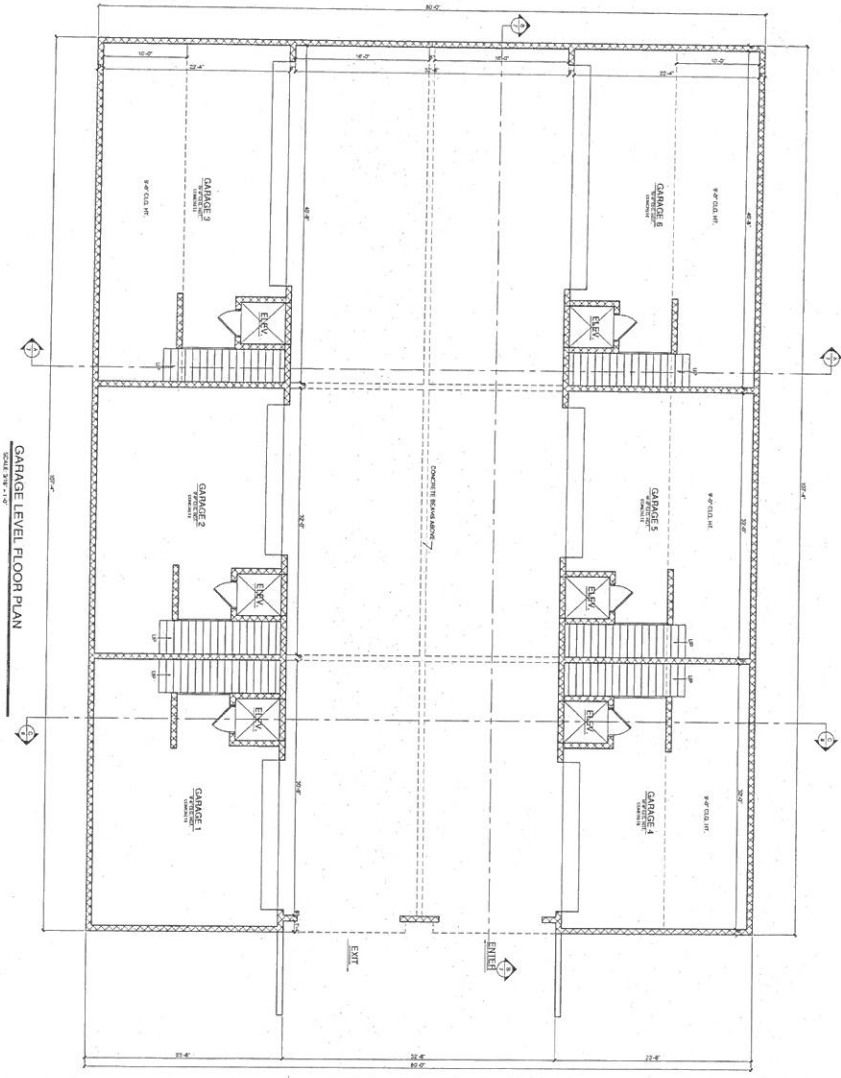
DESIGNED BY: PHIL KEAN  
 DRAWN BY: ERIC M. LUDON  
 CHECKED BY:

SHEET DESCRIPTION

SITE PLAN

SHEET

AS



GARAGE LEVEL FLOOR PLAN

<b>UNIT 1/4</b>	
CONCRETE	962
2400 REBEL AC	966
BALCONY AC	80
BALCONY AC	248
GRASS	31
PAVING	31
<b>TOTALS FOR UNIT 1/4</b>	<b>2528</b>
CON. FINISH	424
BALCONY	424
MESH	31

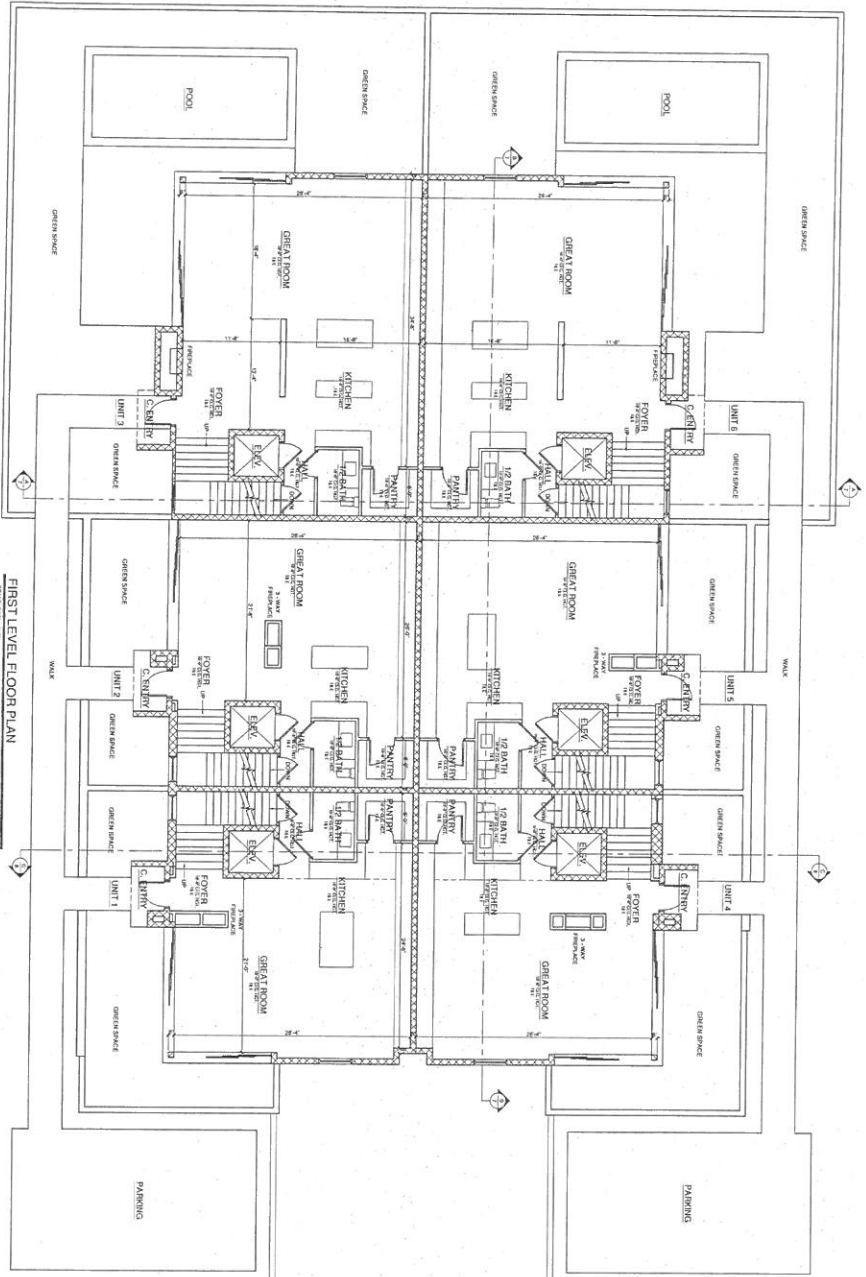
<b>UNIT 2/5</b>	
2400 REBEL AC	972
2400 REBEL AC	966
2400 REBEL AC	800
2400 REBEL AC	800
BALCONY	258
BALCONY	273
<b>TOTALS FOR UNIT 2/5</b>	<b>3952</b>
CON. FINISH	292
BALCONY	292
MESH	31

<b>UNIT 3/6</b>	
CON. FINISH	1898
CON. FINISH	28
2400 REBEL AC	1228
2400 REBEL AC	1342
2400 REBEL AC	442
MESH	31
<b>TOTALS FOR UNIT 3/6</b>	<b>4658</b>
CON. FINISH	458
BALCONY	458
MESH	31

**ARCHITECT:**  
 Architecture by  
**Phil Klean**  
 831 N. Orange Avenue  
 Winter Park, Florida 32789  
 Phone: 407-298-2222  
 Fax: 407-298-2222  
 phil@philklean.com  
 Phil Klean, Inc.

**PROJECT INFORMATION:**  
 DATE: 06/28/2013  
 PROJECT: 125 S. INTERLACHEN AVENUE  
 WINTER PARK, FLORIDA

<b>PLAN HISTORY</b>	
<b>DATE</b>	<b>DESCRIPTION</b>
06/28/13	PRELIMINARY
06/28/2013	REVISION SET FOR PERMITS
06/28/2013	THIS IS A PRELIMINARY SET
<b>SHEET DATA:</b>	
<b>DESIGNED BY:</b>	PHIL KEAN
<b>DRAWN BY:</b>	ERIC K. LORA
<b>CHECKED BY:</b>	
<b>SHEET DESCRIPTION</b>	
GARAGE LEVEL FLOOR PLAN	



FIRST LEVEL FLOOR PLAN  
DATE: 05-25-2013

UNIT 1/4	
001	1ST FLOOR
002	2ND FLOOR
003	3RD FLOOR
004	4TH FLOOR
005	5TH FLOOR
006	6TH FLOOR
007	7TH FLOOR
008	8TH FLOOR
009	9TH FLOOR
010	10TH FLOOR
011	11TH FLOOR
012	12TH FLOOR
013	13TH FLOOR
014	14TH FLOOR
015	15TH FLOOR
016	16TH FLOOR
017	17TH FLOOR
018	18TH FLOOR
019	19TH FLOOR
020	20TH FLOOR
021	21ST FLOOR
022	22ND FLOOR
023	23RD FLOOR
024	24TH FLOOR
025	25TH FLOOR
026	26TH FLOOR
027	27TH FLOOR
028	28TH FLOOR
029	29TH FLOOR
030	30TH FLOOR
031	31ST FLOOR
032	32ND FLOOR
033	33RD FLOOR
034	34TH FLOOR
035	35TH FLOOR
036	36TH FLOOR
037	37TH FLOOR
038	38TH FLOOR
039	39TH FLOOR
040	40TH FLOOR
041	41ST FLOOR
042	42ND FLOOR
043	43RD FLOOR
044	44TH FLOOR
045	45TH FLOOR
046	46TH FLOOR
047	47TH FLOOR
048	48TH FLOOR
049	49TH FLOOR
050	50TH FLOOR
051	51ST FLOOR
052	52ND FLOOR
053	53RD FLOOR
054	54TH FLOOR
055	55TH FLOOR
056	56TH FLOOR
057	57TH FLOOR
058	58TH FLOOR
059	59TH FLOOR
060	60TH FLOOR
061	61ST FLOOR
062	62ND FLOOR
063	63RD FLOOR
064	64TH FLOOR
065	65TH FLOOR
066	66TH FLOOR
067	67TH FLOOR
068	68TH FLOOR
069	69TH FLOOR
070	70TH FLOOR
071	71ST FLOOR
072	72ND FLOOR
073	73RD FLOOR
074	74TH FLOOR
075	75TH FLOOR
076	76TH FLOOR
077	77TH FLOOR
078	78TH FLOOR
079	79TH FLOOR
080	80TH FLOOR
081	81ST FLOOR
082	82ND FLOOR
083	83RD FLOOR
084	84TH FLOOR
085	85TH FLOOR
086	86TH FLOOR
087	87TH FLOOR
088	88TH FLOOR
089	89TH FLOOR
090	90TH FLOOR
091	91ST FLOOR
092	92ND FLOOR
093	93RD FLOOR
094	94TH FLOOR
095	95TH FLOOR
096	96TH FLOOR
097	97TH FLOOR
098	98TH FLOOR
099	99TH FLOOR
100	100TH FLOOR

UNIT 2/5	
001	1ST FLOOR
002	2ND FLOOR
003	3RD FLOOR
004	4TH FLOOR
005	5TH FLOOR
006	6TH FLOOR
007	7TH FLOOR
008	8TH FLOOR
009	9TH FLOOR
010	10TH FLOOR
011	11TH FLOOR
012	12TH FLOOR
013	13TH FLOOR
014	14TH FLOOR
015	15TH FLOOR
016	16TH FLOOR
017	17TH FLOOR
018	18TH FLOOR
019	19TH FLOOR
020	20TH FLOOR
021	21ST FLOOR
022	22ND FLOOR
023	23RD FLOOR
024	24TH FLOOR
025	25TH FLOOR
026	26TH FLOOR
027	27TH FLOOR
028	28TH FLOOR
029	29TH FLOOR
030	30TH FLOOR
031	31ST FLOOR
032	32ND FLOOR
033	33RD FLOOR
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035	35TH FLOOR
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041	41ST FLOOR
042	42ND FLOOR
043	43RD FLOOR
044	44TH FLOOR
045	45TH FLOOR
046	46TH FLOOR
047	47TH FLOOR
048	48TH FLOOR
049	49TH FLOOR
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060	60TH FLOOR
061	61ST FLOOR
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067	67TH FLOOR
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071	71ST FLOOR
072	72ND FLOOR
073	73RD FLOOR
074	74TH FLOOR
075	75TH FLOOR
076	76TH FLOOR
077	77TH FLOOR
078	78TH FLOOR
079	79TH FLOOR
080	80TH FLOOR
081	81ST FLOOR
082	82ND FLOOR
083	83RD FLOOR
084	84TH FLOOR
085	85TH FLOOR
086	86TH FLOOR
087	87TH FLOOR
088	88TH FLOOR
089	89TH FLOOR
090	90TH FLOOR
091	91ST FLOOR
092	92ND FLOOR
093	93RD FLOOR
094	94TH FLOOR
095	95TH FLOOR
096	96TH FLOOR
097	97TH FLOOR
098	98TH FLOOR
099	99TH FLOOR
100	100TH FLOOR

UNIT 3/6	
001	1ST FLOOR
002	2ND FLOOR
003	3RD FLOOR
004	4TH FLOOR
005	5TH FLOOR
006	6TH FLOOR
007	7TH FLOOR
008	8TH FLOOR
009	9TH FLOOR
010	10TH FLOOR
011	11TH FLOOR
012	12TH FLOOR
013	13TH FLOOR
014	14TH FLOOR
015	15TH FLOOR
016	16TH FLOOR
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025	25TH FLOOR
026	26TH FLOOR
027	27TH FLOOR
028	28TH FLOOR
029	29TH FLOOR
030	30TH FLOOR
031	31ST FLOOR
032	32ND FLOOR
033	33RD FLOOR
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041	41ST FLOOR
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043	43RD FLOOR
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051	51ST FLOOR
052	52ND FLOOR
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069	69TH FLOOR
070	70TH FLOOR
071	71ST FLOOR
072	72ND FLOOR
073	73RD FLOOR
074	74TH FLOOR
075	75TH FLOOR
076	76TH FLOOR
077	77TH FLOOR
078	78TH FLOOR
079	79TH FLOOR
080	80TH FLOOR
081	81ST FLOOR
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083	83RD FLOOR
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087	87TH FLOOR
088	88TH FLOOR
089	89TH FLOOR
090	90TH FLOOR
091	91ST FLOOR
092	92ND FLOOR
093	93RD FLOOR
094	94TH FLOOR
095	95TH FLOOR
096	96TH FLOOR
097	97TH FLOOR
098	98TH FLOOR
099	99TH FLOOR
100	100TH FLOOR

TOTALS FOR UNIT 1/4

TOTALS FOR UNIT 2/5

TOTALS FOR UNIT 3/6

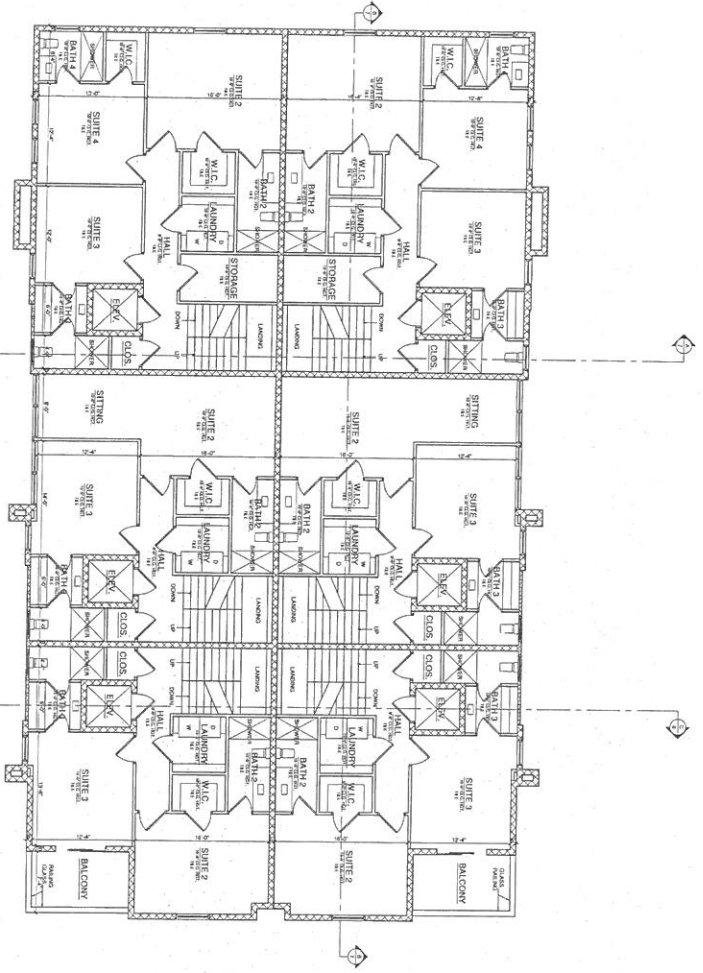
ARCHITECT:

Architected by  
**Phil Klean**  
P.K. Klean  
125 S. Interlachen Ave.  
Winter Park, Florida  
32789  
Tel: 407-939-2000  
Fax: 407-939-2001  
www.philklean.com

PROJECT INFORMATION:  
DATE: 05-25-2013  
DRAWN BY: [Name]  
CHECKED BY: [Name]

125 S. Interlachen Ave.  
Winter Park, Florida

PLAN HISTORY	
DATE	DESCRIPTION
05-25-2013	PRELIMINARY
05-25-2013	REVISIONS ONLY
05-25-2013	THESE PLANS ARE NOT REVISIONS
SHEET DATA:	
DESIGNED BY:	PHIL KLEAN
CHECKED BY:	PHIL KLEAN
SHEET DESCRIPTION	
FIRST LEVEL FLOOR PLAN	
SHEET	
<b>1.1</b>	



THIRD LEVEL FLOOR PLAN  
SCALE 3/8" = 1'-0"

<b>UNIT 1 / 4</b>	972
CONV. ENTRY	328
3RD LEVEL AC	806
3RD LEVEL AC	430
BALCONY	348
BALCONY	78
STAIR	78
<b>TOTALS FOR UNIT 1 / 4</b>	<b>2078</b>
CONV. ENTRY	428
3RD LEVEL AC	428
3RD LEVEL AC	428
BALCONY	348
BALCONY	78
STAIR	38
<b>TOTALS FOR UNIT 2 / 5</b>	<b>2072</b>
CONV. ENTRY	328
3RD LEVEL AC	214
3RD LEVEL AC	214
BALCONY	214
BALCONY	38
STAIR	38
<b>TOTALS FOR UNIT 3 / 6</b>	<b>1598</b>
CONV. ENTRY	28
3RD LEVEL AC	104
3RD LEVEL AC	104
BALCONY	84
BALCONY	38
STAIR	88
<b>TOTALS FOR UNIT 3 / 6</b>	<b>462</b>
CONV. ENTRY	56
3RD LEVEL AC	56
3RD LEVEL AC	56
BALCONY	56
BALCONY	38
STAIR	38

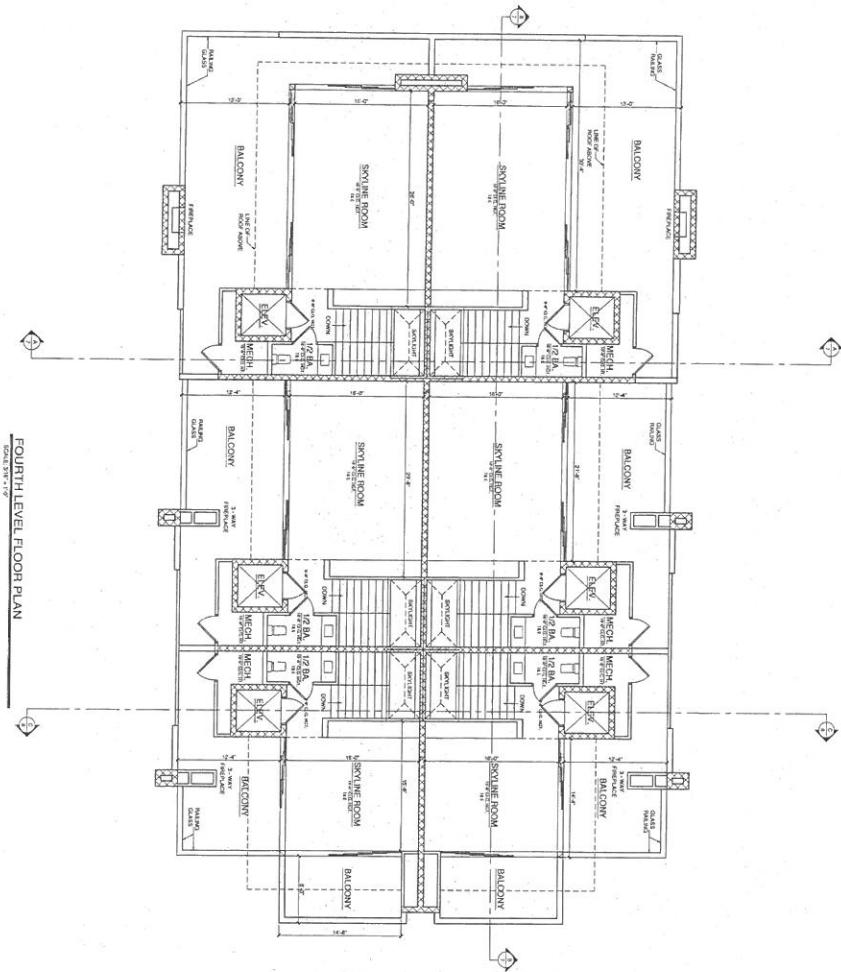
ARCHITECT:  
 Architecture By  
**Phil Klean**  
 PHIL KLEAN ARCHITECTS  
 1001 S. PALM BLVD.  
 SUITE 200  
 WEST PALM BEACH, FL 33411  
 TEL: 561-833-2222  
 FAX: 561-833-2223  
 WWW.PHILKLEAN.COM  
 © Phil Klean  
 05/25/2013

PROJECT INFORMATION:  
 125 S. Inletlachen Ave.  
 Winter Park, Florida

PLAN HISTORY	DATE	DESCRIPTION
04-30-10	PRELIMINARY	
05-25-2013	FINAL REVISED ONLY	THREE FLOOR PLAN SET REVISED

SHEET DATA:	
DESIGNED BY:	PHIL KLEAN
CHECKED BY:	ERIC ALDRON

SHEET DESCRIPTION	
THIRD LEVEL FLOOR PLAN	
SHEET	
<b>3</b>	



FOURTH LEVEL FLOOR PLAN  
DATE: 05-28-2013

<b>UNIT 1 / 4</b>	
1ST FLOOR LAG	029
2ND FLOOR LAG	029
3RD FLOOR LAG	029
4TH FLOOR LAG	029
<b>TOTALS FOR UNIT 1 / 4</b>	<b>1186</b>
1ST FLOOR ENTRY	2022
2ND FLOOR ENTRY	428
3RD FLOOR ENTRY	428
4TH FLOOR ENTRY	28
<b>TOTALS FOR UNIT 1 / 4</b>	<b>3300</b>

<b>UNIT 2 / 5</b>	
1ST FLOOR LAG	029
2ND FLOOR LAG	029
3RD FLOOR LAG	029
4TH FLOOR LAG	029
<b>TOTALS FOR UNIT 2 / 5</b>	<b>1186</b>
1ST FLOOR ENTRY	2022
2ND FLOOR ENTRY	428
3RD FLOOR ENTRY	428
4TH FLOOR ENTRY	28
<b>TOTALS FOR UNIT 2 / 5</b>	<b>3300</b>

<b>UNIT 3 / 6</b>	
1ST FLOOR LAG	029
2ND FLOOR LAG	029
3RD FLOOR LAG	029
4TH FLOOR LAG	029
<b>TOTALS FOR UNIT 3 / 6</b>	<b>1186</b>
1ST FLOOR ENTRY	2022
2ND FLOOR ENTRY	428
3RD FLOOR ENTRY	428
4TH FLOOR ENTRY	28
<b>TOTALS FOR UNIT 3 / 6</b>	<b>3300</b>

ARCHITECT:

Architecture by  
**Phil Klean**  
P.A.

1901 N.W. 10TH AVENUE  
SUITE 400  
MIAMI, FL 33136  
TEL: 772-252-5522  
WWW.PHIKLEAN.COM

PROJECT INFORMATION:  
DATE: 05-28-2013  
DRAWING NO: 4

125 S. Inletchuen Ave.  
Winter Park, Florida

**PLAN HISTORY**

DATE	DESCRIPTION
05-28-2013	PRELIM DESIGN
	REVISIONS ONLY - THESE MARKS ARE NOT FINISHED

**SHEET DATA:**

DESIGNER: PHIL KLEAN  
CHECKER: PHIL KLEAN  
DATE: 05-28-2013

**SHEET DESCRIPTION**

FOURTH LEVEL FLOOR PLAN

**SHEET**

- ELEVATION NOTES:**
- DESCRIPTION
  - 1. STONE FINISH
  - 2. STUCCO FINISH
  - 3. 3" STUCCO BAND
  - 4. GRANULATED ROOF OVER IMPROVED WATER BARRIER OPEN ROOF SECTIONS



**FRONT ELEVATION**



**REAR ELEVATION**

**ARCHITECT:**

Architectured by

**Phil Klean**  
L.L.C.

3001 Orange Avenue  
P.O. Box 2002  
Winter Park, Florida 32789  
407-938-1100  
www.philklean.com

**PROJECT INFORMATION:**

DATE: 08/12/2013  
DRAWN BY: [Name]  
CHECKED BY: [Name]

125 S. Interlachen Ave.  
Winter Park, Florida

PLAN HISTORY	
DATE	DESCRIPTION
01-20-09	PRELIM DESIGN
06-20-2013	FINAL SET FOR CONSTRUCTION

SHEET DATA:	
DESIGNED BY:	PHIL KEAN
CHECKED BY:	PHIL KEAN

**SHEET DESCRIPTION**

FRONT AND REAR ELEVATIONS

**SHEET**

**5**

- ELEVATION NOTES:**
- DESCRIPTION
  - 1. STONE FINISH
  - 2. STUCCO FINISH
  - 3. STUCCO BAND
  - 4. GRANULATED ROCK OVER APPROVED WATER BARRIER
  - OVER HICKORY SHEATHING



LEFT ELEVATION  
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"

ARCHITECT:

Architecture by  
**Phil Klean**  
LLC

1814 GUYTON AVENUE  
WINTER PARK, FLORIDA 32789  
PH: 407-939-2022  
WWW.PHILKLEAN.COM  
DRAFTING: L. L. LEE

PROJECT INFORMATION:

125 S. Interlachen Ave.  
Winter Park, Florida

**PLAN HISTORY**

DATE	DESCRIPTION
04-24-2011	PRELIM DESIGN
05-26-2013	REVISION SET FOR PERMITS THESE CHANGES ARE NOT PERMITTED

**SHEET DATA:**

DESIGNED BY: PHIL KLEAN  
DRAWN BY: ERIC M. LUNA  
CHECKED BY:

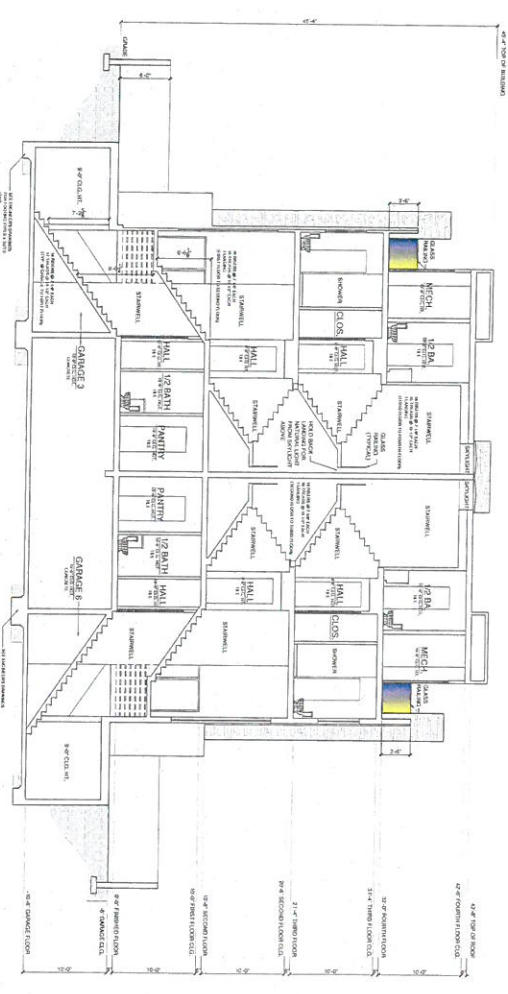
**SHEET DESCRIPTION**

LEFT AND RIGHT  
ELEVATIONS

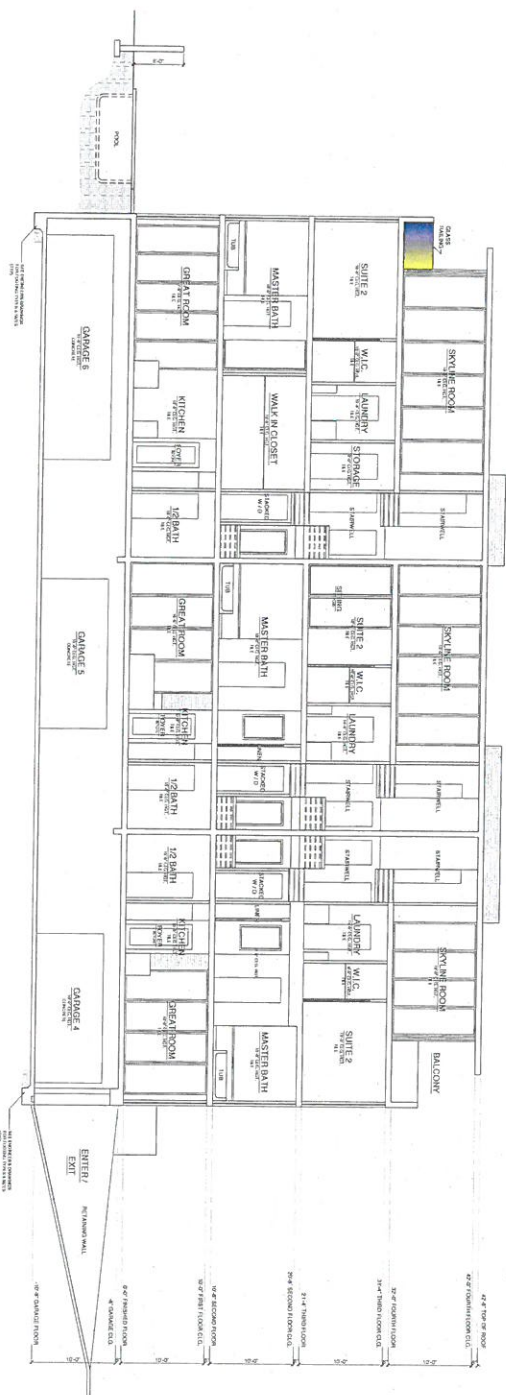
SHEET

**6**





BUILDING SECTION - A -  
SCALE: 3/8" = 1'-0"



BUILDING SECTION - B -  
SCALE: 3/8" = 1'-0"

ARCHITECT:

Architecture by  
**Phil Klean**  
PHIL KLEAN ARCHITECTS  
125 S. INTERLACHEN AVE.  
WINTER PARK, FLORIDA 32789  
TEL: 407.838.2222  
WWW.PHILKLEAN.COM

PROJECT INFORMATION:  
DATE: 06/28/2013  
DRAWN BY: PHIL KLEAN  
CHECKED BY: PHIL KLEAN

125 S. Interlachen Ave.  
Winter Park, Florida

PLAN HISTORY	
DATE	DESCRIPTION
01/01/00	PRELIM DESIGN
06/28/2013	FINAL DESIGN FOR PERMITTING

SHEET DATA	
DESIGNED BY:	PHIL KLEAN
CHECKED BY:	PHIL KLEAN

SHEET DESCRIPTION	
BUILDING SECTIONS	

SHEET	
7	

**CITY OF WINTER PARK  
PLANNING AND ZONING BOARD**

**Staff Report  
February 3, 2015**

**REQUEST OF THE CITY OF WINTER PARK FOR:** AN ORDINANCE AMENDING CHAPTER 58 "LAND DEVELOPMENT CODE" ARTICLE I, "COMPREHENSIVE PLAN" SO AS TO CHANGE THE FUTURE LAND USE DESIGNATION OF SINGLE FAMILY RESIDENTIAL TO OPEN SPACE AND RECREATION ON THE PROPERTY AT 2908 TEMPLE TRAIL.

**REQUEST OF THE CITY OF WINTER PARK FOR:** AN ORDINANCE AMENDING CHAPTER 58 "LAND DEVELOPMENT CODE" ARTICLE III, "ZONING" AND THE OFFICIAL ZONING MAP SO AS TO CHANGE THE ZONING OF SINGLE FAMILY (R-1A) DISTRICT TO PARKS AND RECREATION (PR) DISTRICT ON THE PROPERTY AT 2908 TEMPLE TRAIL.

---

The City has just recently purchased the property at 2908 Temple Trail. The property is designated Single Family Residential in the Comprehensive Plan and zoned R-1A. Even though varying amounts of this property have been in the floodplain over the years; the property has been zoned residential back from the days when it was within unincorporated Orange County prior to annexation by the City in the 1980's.

The City purchased this property with funds from the Park Acquisition Trust fund in order to add this parcel to the City's holdings of the adjacent Howell Branch Preserve Park. The City has not determined exactly how the property will be used or just remain as is and the staff will not be doing anything without consultation with the adjacent neighbors. However, as a "city property" purchased with Park Acquisition funding, the appropriate Comp. Plan designation is now "Open Space and Recreation" and the appropriate Zoning is Park and Recreation (PR).

**Staff Recommendation is for Approval.**

**OCA Web Map**

	Major Roads		Block Line		Hydro	
	Public Roads		Lot Line		Waste Land	
	Gated Roads		Residential		County Boundary	
	Road Under Construction	Proposed SunRail	Agriculture		Parks	



Created: 3/17/2014

This map is for reference only and is not a survey.

**OCPA Web Map**

	Major Roads		Proposed Road		Residential		Commercial/Industrial/Vacant Land		Parks		6 Lot Number
	Florida Turnpike		Public Road		Agriculture		Agricultural Curtilage		Lakes and Rivers		06060 Parcel Number
	Interstate 4		Gated Roads		Commercial/Institutional		Hydro		Building		3106 Parcel Address
	Toll Road		Road Under Construction		Governmental/Institutional/Misc		Waste Land		E Block Number		111.9 Parcel Dimension
	Brick Road		Block Line		Lot Line						



Created: 3/17/2014

This map is for reference only and is not a survey.

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AMENDING CHAPTER 58 “LAND DEVELOPMENT CODE” ARTICLE III, “ZONING” AND THE OFFICIAL ZONING MAP SO AS TO CHANGE SINGLE FAMILY RESIDENTIAL (R-1A) DISTRICT ZONING TO PARKS AND RECREATION (PR) DISTRICT ZONING ON THE PROPERTY AT 2908 TEMPLE TRAIL, MORE PARTICULARLY DESCRIBED HEREIN, PROVIDING FOR CONFLICTS, SEVERABILITY AND AN EFFECTIVE DATE.**

**WHEREAS**, the owner of a property at 967 Cherokee Avenue has requested a Zoning map amendment consistent with the amended Comprehensive Plan, and the requested zoning text change will achieve conformance with the Comprehensive Plan for the property and such municipal zoning meets the criteria established by Chapter 166, Florida Statutes and pursuant to and in compliance with law, notice has been given to Orange County and to the public by publication in a newspaper of general circulation to notify the public of this proposed Ordinance and of public hearings to be held; and

**WHEREAS**, the Planning and Zoning Board of the City of Winter Park has recommended approval of this Ordinance at their February 3, 2015 meeting; and

**WHEREAS**, the City Commission of the City of Winter Park held a duly noticed public hearing on the proposed zoning change set forth hereunder and considered findings and advice of staff, citizens, and all interested parties submitting written and oral comments and supporting data and analysis, and after complete deliberation, hereby finds the requested change consistent with the City of Winter Park Comprehensive Plan and that sufficient, competent, and substantial evidence supports the zoning change set forth hereunder; and

**WHEREAS**, the City Commission hereby finds that this Ordinance serves a legitimate government purpose and is in the best interests of the public health, safety, and welfare of the citizens of Winter Park, Florida.

**NOW THEREFORE BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, AS FOLLOWS:**

**SECTION 1. Official Zoning Map Amendment.** That Chapter 58 “Land Development Code”, Article III, “Zoning” and the Official Zoning Map is hereby amended so as to change the zoning designation from Single Family (R-1A) District to Parks and Recreation (PR) District on the property at 2908 Temple Trail, more particularly described as follows:

BEG FROM NW COR SE1/4 OF SW1/4 OF SEC RUN S 682.33 FT S 88 DEG E 240 FT FOR POB CONTINUE S 88 DEG E 135.7 FT N 48 DEG E 120.1 FT TO RD NWLY ALONG RD 103.94 FT S 46 DEG W 242.46 FT TO POB IN SEC 29-21-30

**Parcel ID#** 29-21-30-0000-00-034

**SECTION 2. Severability.** If any Section or portion of a Section of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other Section or part of this Ordinance.

**SECTION 3. Conflicts.** All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

**SECTION 4. Effective Date.** This Ordinance shall become effective upon the effective date of Ordinance \_\_\_\_\_. If Ordinance \_\_\_\_\_ does not become effective, then this Ordinance shall be null and void.

**ADOPTED** at a regular meeting of the City Commission of the City of Winter Park, Florida, held in City Hall, Winter Park, on this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AMENDING CHAPTER 58 "LAND DEVELOPMENT CODE" ARTICLE I, "COMPREHENSIVE PLAN" SO AS TO CHANGE THE FUTURE LAND USE DESIGNATION OF SINGLE FAMILY RESIDENTIAL FUTURE LAND USE TO OPEN SPACE AND RECREATION ON THE PROPERTY AT 2908 TEMPLE TRAIL, MORE PARTICULARLY DESCRIBED HEREIN, PROVIDING FOR CONFLICTS, SEVERABILITY AND EFFECTIVE DATE.**

**WHEREAS**, the Winter Park City Commission adopted its Comprehensive Plan on February 23, 2009 via Ordinance 2762-09, and

**WHEREAS**, Section 163.3184, Florida Statutes, establishes a process for adoption of comprehensive plans or plan amendments amending the future land use designation of property; and

**WHEREAS**, the owner of the property, as petitioner for a future land use amendment, is desirous of amending the future land use designation from Single Family Residential to Open Space and Recreation; and

**WHEREAS**, this Comprehensive Plan amendment meets the criteria established by Chapter 163 and 166, Florida Statutes; and pursuant to and in compliance with law, notice has been given to Orange County and to the public by publication in a newspaper of general circulation to notify the public of this proposed Ordinance and of public hearings to be held; and

**WHEREAS**, the Winter Park Planning and Zoning Commission, acting as the designated Local Planning Agency, has reviewed and recommended adoption of the proposed Comprehensive Plan amendment, having held an advertised public hearing on February 3, 2015, provided for participation by the public in the process, and rendered its recommendations to the City Commission; and

**WHEREAS**, the Winter Park City Commission has reviewed the proposed Comprehensive Plan amendment and held advertised public hearings on February 23, 2015 and March 9, 2015 and provided for public participation in the process in accordance with the requirements of state law and the procedures adopted for public participation in the planning process.

**NOW THEREFORE BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, AS FOLLOWS:**

**SECTION 1. Future Land Use Map Amendment.** That Chapter 58 "Land Development Code", Article I, "Comprehensive Plan" future land use plan map is hereby amended so as to change the future land use map designation from Single Family Residential to Open Space and Recreation on the property at 2908 Temple Trail, more particularly described as follows:

BEG FROM NW COR SE1/4 OF SW1/4 OF SEC RUN S 682.33 FT S 88 DEG E 240 FT FOR POB CONTINUE S 88 DEG E 135.7 FT N 48 DEG E 120.1 FT TO RD NWLY ALONG RD 103.94 FT S 46 DEG W 242.46 FT TO POB IN SEC 29-21-30

**Parcel ID#** 29-21-30-0000-00-034

**SECTION 2. Severability.** If any Section or portion of a Section of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other Section or part of this Ordinance.

**SECTION 3. Conflicts.** All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

**SECTION 4. Effective Date.** An amendment adopted under this paragraph does not become effective until 31 days after adoption. If timely challenged, an amendment may not become effective until the state land planning agency or the Administration Commission enters a final order determining that the adopted small scale development amendment is in compliance.

**ADOPTED** at a regular meeting of the City Commission of the City of Winter Park, Florida, held in City Hall, Winter Park, on this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

\_\_\_\_\_  
Mayor

Attest:

\_\_\_\_\_  
City Clerk