

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
June 3, 2014**

SPR 2:14 Request of Rex-Tibbs Construction for approval of a new two-story single-family home located at 1381 College Point on Lake Virginia.

Rex-Tibbs Construction is requesting approval for a new two-story single-family home at 1381 College Point on Lake Virginia. This 22,088 sq. ft. lot has a home to be removed for this new project.

The new proposed two-story home will be 6,288 sq. ft. which on this lot is a FAR of 28.5% within the allotted base 33% FAR. This new home will have impervious lot coverage of 9,011 sq. ft. or 40.8% within the maximum 50%.

TREE PRESERVATION: There are two huge (60+ inch) majestic live oak trees that are the major focus of this application. These are "WOW" trees. There are also two cypress trees down on the lakefront of this lot. This property is somewhat overgrown so in the clearing of this lot, much vegetation will be removed but the major trees except for the disfigured magnolia tree up front will be saved.

One of these major 60+ inch live oak trees shares the property line with the Miller's home to the east at 211 Sterling Avenue. The construction of their home impacted this live oak's root system with the trenching of their house foundation and the concern is that with added impact via trenching the footer/foundation that this major tree will then become unstable and subject to falling. As a result, the application/plans indicate the requirement for a "bridge" type foundation where the foundation spans tree root segments from piling locations. This is the best that can be done and has been used in other similar scenarios. This bridge footing is to be designed by a structural engineer per the plan comments and the staff will condition this approval on the City's review of that foundation design as sufficient to accomplish this intent of tree preservation both from the aspect of the lakefront review but also as a liability issue

The other major live oak tree is in the "circle" within the front driveway. The diameter of that "circle" is 18 feet which means the trunk of this live oak will be about 6 feet from the edge of the pavement which sounds like a lot but really isn't. In this case the same concern exists about the impact to the tree root systems from the excavation, clearing, fill and compaction typical for driveway construction that will lead to the tree's demise. The applicant in response has indicated an additional diameter of pervious pavers which will be beneficial in providing water to the tree root system once construction is complete but does nothing to mitigate the same construction impacts from the excavation, clearing, fill and compaction that needs to be done for pervious pavers as well as for the asphalt part of the driveway.

What the staff has requested is for the applicant to take these concerns seriously and to provide construction plan detail to address these impacts to this major live oak trees, so that the P&Z Board knows what is to be done in terms of special construction methods. Since this information is not being provided to the staff or P&Z, an action for approval will need to condition that approval on subsequent plan submissions.

The plan also guarantees the demise of the two lakefront cypress trees by digging swales on both sides of those trees and removing their supporting root systems. Again we will need to condition an approval to address these design flaws.

VIEW FROM THE LAKE: This lot has almost no grade drop and is very flat. Thus the issues that we typically deal with about grades and retaining walls are not present in this case. The swimming pool plan will be at grade and to the extent it is 6-12 inches above grade then it will be graded to be flush with the yard.

VIEW OF NEIGHBORS: The orientation of the adjacent properties is such that this home will be in front of the home to the west at 211 Sterling Avenue (Miller's) and will be behind the adjacent home to the east at 1341 College Point (Lambert's), so there is no impact upon the lake views of the Lambert's. Due to the extensive overgrown nature of this existing property, there really is no lake view across this property today for the Miller's. Of course, when the lot is cleared there will be this new home in their lake view although the primary lake view of their home is to the north.

STORM WATER RETENTION: Due to the existing cypress trees along the lakefront, the plan must be modified to eliminate the new storm water retention swales shown in the lakefront area. The plan would maintain the berm system, as shown, to provide water quality protection. With the cypress trees, an excavated retention area would be a problem because of the cypress trees and tree root systems. When this situation occurs, the staff direction and the custom of the Planning Board and best practices for tree preservation is to accomplish water quality retention via a small berm (which acts like a small dam to hold back the runoff) versus an excavated swale/retention area. On lakefront lots, the primary interest is in water quality (keeping the sheet flow of rain runoff with freshly applied fertilizer or pesticides from entering the lake) versus water quantity (percolation of one inch). In both cases one can achieve percolation of the runoff down thru the soil versus sheet flow running down to the lake. Not as much with the berm versus the retention area but the benefit to keep the cypress trees from dying is well worth the alternative.

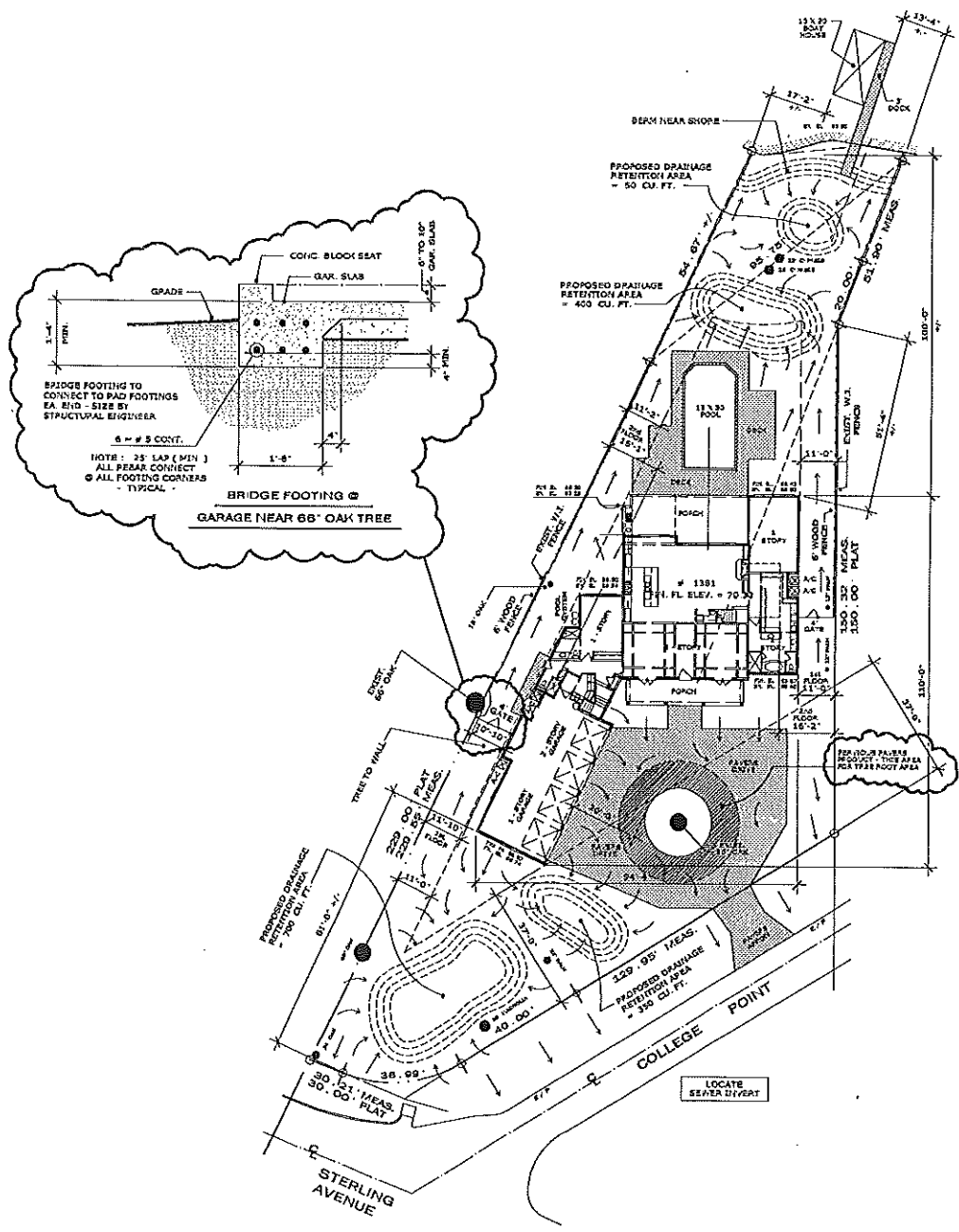
Storm water swales are also shown on the plan in the area in the front yard and again those two retention areas need to be modified and moved at least 25 feet from any other trees so as to minimize impact upon that tree. There is still ample land to accommodate the driveway runoff.

SUMMARY: Staff does not see any concerns with the new home as presented except with respect to the issues of the preservation of the two majestic live oak trees and the lakefront cypress trees.

STAFF RECOMMENDATION IS FOR APPROVAL contingent upon the following plans and special construction techniques methodology to be submitted and approved by the City prior to building permit:

1. A complete topo survey so that a grading and drainage plan (per code) can be provided.
2. A structural engineer report and plans (signed and sealed) indicating the survey location of the major root systems for the live oak tree on the property line and the details of the bridge foundation system to be constructed in order to minimize damage to that tree.
3. A grading, drainage and construction plan including construction methodology for the driveway area deemed sufficient by the City to minimize damage to that tree.
4. Revisions to the storm water retention plan per staff's comments deemed sufficient by the City to minimize damage to the lakefront cypress trees.

LAKE VIRGINIA
 ELEV. = 65.5
 (4-3-68)



REX

LOT COVERAGE

| | |
|----------------------|-------|
| LOT A1 | FFOPC |
| IMPERVIOUS LOT CO/G. | 901 |
| F.A.R. | 628 |

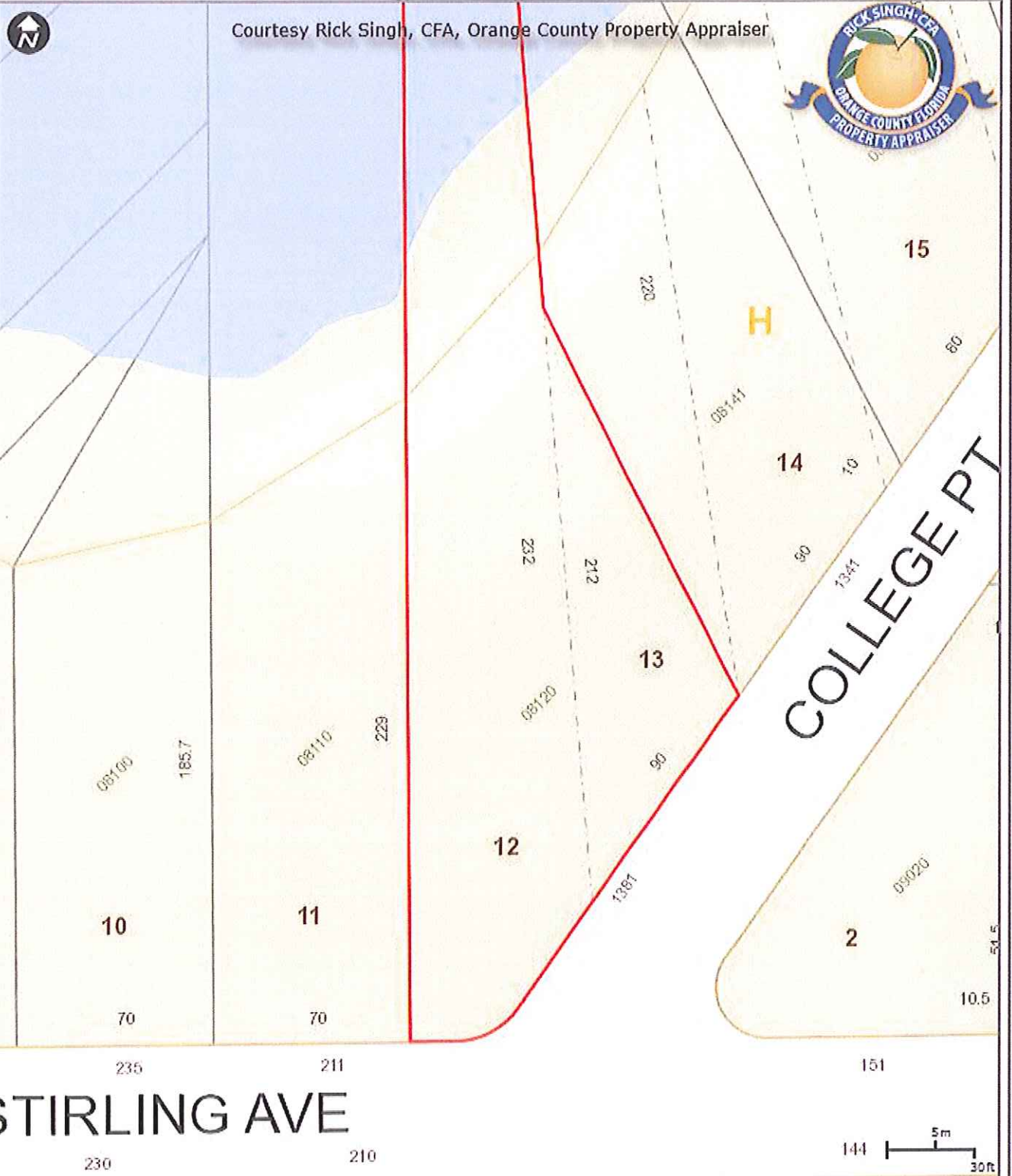
BUILDUP INCLUDES POOL & WALKS / DP

SITE PLAN 1" = 20'-0"

LEGAL DESCRIP
 LOT 12, AND A PORTION (SEE DESCRIPTION), BLOCK "H", VIRGINIA HEIGHTS, P. S. - O. - PAGE 107 ORANGE COUNTY, FL
 CITY OF WINTER PARK.

OCPA Web Map

- | | | | | | | |
|-------------------------|--------------|---------------------------------|--------------------------|-----------------------------------|-------------------------------|----------------------------|
| Florida Turnpike | Major Roads | Proposed Road | Residential | Commercial/Industrial/Vacant Land | Parks | 6 Lot Number |
| Interstate 4 | Public Roads | Brick Road | Agriculture | Agricultural Curtilage | Lakes and Rivers | 08060 Parcel Number |
| Toll Road | Gated Roads | Block Line | Commercial/Institutional | Hydro | Building | 3106 Parcel Address |
| Road Under Construction | Lot Line | Governmental/Institutional/Misc | Waste Land | Block Number | 111.9 Parcel Dimension | |



Courtesy Rick Singh, CFA, Orange County Property Appraiser



STIRLING AVE

Created: 4/23/2014

This map is for reference only and is not a survey.



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|-----------------------|
| FEE PAID |
| ck # <u>Cash</u> |
| amt. \$ <u>125.00</u> |
| date <u>4/22/14</u> |

APPLICATION FOR SITE PLAN REVIEW
 SPR# _____

General Instructions: To request approval of a site plan, complete this application and submit it to the Planning Department along with the \$125 application fee for residential or \$250 application fee for commercial or multi-family and all additional information necessary for public hearing (see checklist) before the Planning and Zoning Commission. Please submit one full-size set (24"x36") and seven (7) -11" x 17". **All required documents must be submitted with application.**

| | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------|
| <p>I. <u>APPLICANT</u></p> <p>Name <u>REX. THIBBS CONST.</u></p> <p>Address <u>181 Circle Dr.</u> <u>MAITLAND FLA. 32751</u></p> <p>Phone <u>407 644 6303</u></p> <p>Email Address _____</p> | <p><u>OWNER</u></p> <p><u>LEWIS TAPPAN HOLT &</u> <u>JILL GURNEY HOLT.</u></p> <p>_____</p> <p>_____</p> <p>Email Address _____</p> |
| <p>Is the property under contract for purchase or lease? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> | |

If the applicant is NOT the owner, attach a copy of the purchase or lease contract or option on the property, or a letter signed by the owner of record authorizing the applicant to act as agent for the owner. This information is requested to establish the legal status of the applicant and will be held in confidence, except as the information pertains to the zoning application.

Is the contract for purchase or lease contingent upon this approval? Yes No

II. PROPERTY

Street Address: 1381 College Point

Zoning Classification: R1 A.A. Comprehensive Plan Future Land Use Designation: _____

PARCEL # _____ (same as tax ID number of Orange County property tax records)

Legal Description: Provide complete and accurate legal description below including Plat Book and Page Number OR attach a copy of the legal description to this application.

LOT 12 & A PORTION OF LOT 13 BLOCK A
VIRGINIA HEIGHTS P.B. 6' PAGE 107
ORANGE CO. FLORIDA.

Property is on: Septic Sewer Name of Lake, canal or stream VIRGINIA

III. SITE PLAN REVIEW REQUESTED The applicant requests a Site Plan Review for:

CONSTRUCTION OF NEW HOME.

IV. CERTIFICATION

I certify that, to the best of my knowledge and belief, all information supplied with this application is true and accurate, and that I am:

- the owner of the property described herein
- a party to an agreement for purchase or lease of this property
- an agent for the owner or purchaser/lessee of this property

If applicable, it is understood and agreed that approval of this application by the Planning and Zoning Commission is contingent upon the recording of restrictive covenants designing the terms and conditions of an approval. These restrictive covenants will be executed by the owner of the property and recorded by the City of Winter Park. Said owner will be responsible for all fees associated with the recording of this document.

SIGNATURE [Signature] DATE _____



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address: 1381 COLLEGE POINT

Lot width²: YARDES - 104' @ FRONT PORCH

Submitted by: REX - TIGGS CONSTRUCTION

Lot area³: 22088 SQ. FT.

| | Maximum % Allowed ⁴ | Existing Area | Additional Proposed Area | New Total Area | Maximum Allowed Area |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------|---------------|--------------------------|----------------|----------------------|
| IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, etc. | 2 story - 50% 1 story - 60% | | | 9011 | 11044 |
| FLOOR AREA RATIO (F.A.R.)^{5,6} For one and two story bldgs (include 1st & 2nd floors, garages/carpools, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁷ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁸ . | Lot area < 11,600 sf: 38% Base FAR or w/ increased side setbacks: 43% Max FAR | | | | |
| | Lot area 11,600 sf to 13,600 sf 4,500 sf Base area & 5,200 sf Maximum area | | | | |
| | Lot area > 13,600 sf 33% Base FAR or w/ increased side setbacks: 38% Max FAR | | | 6288 | 7289 |
| SCREEN POOL ENCLOSURE | 8% ⁹ | | | | |

| | Minimum % Required | Existing Area | Landscape Area Reduced | New Total Area | Minimum Required Area |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|---------------|------------------------|----------------|-----------------------|
| FRONT YARD LANDSCAPE COVERAGE Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious). Front Lot Area: <u>8742</u> | 50% | | | 5690 | 4371 |

NOTES:

1. Windsong & Waterbridge may use these standards, except where those subdivisions have stricter provisions. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at bldg line across lot at front wall of existing or proposed home. For a proposed home determine the front setback (see page 2).
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft maximum width and 2.5 ft back from the required setback, occupying 45% of roof area within the same roof plane.
6. See page 3 on how to achieve maximum F.A.R.
7. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
8. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilize up to 300 sf of the total 500 sf excludable gross floor area. Utilizing this exemption requires a deed covenant to be recorded, outlining the restrictions precluding the enclosing of side and/or rear porches, and enclosing and screening of front porches.
9. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
June 3, 2014**

REQUEST OF UP FIELDGATE US INVESTMENTS – WINTER PARK LLC

FOR: CONDITIONAL USE APPROVAL TO REDEVELOP THE FORMER CORPORATE SQUARE AND WINTER PARK DODGE PROPERTIES WITH A 40,000 SQUARE FOOT WHOLE FOODS GROCERY AND A 36,000 SQUARE FOOT RETAIL BUILDING WITH THREE OUTPARCEL DEVELOPMENT SITES ON THE PROPERTIES AT 1000/1050 N. ORLANDO AVENUE, 1160 GALLOWAY DRIVE AND 967 CHEROKEE AVENUE.

This request by the UP Fieldgate US Investments – Winter Park LLC relate to the preliminary conditional use request for approval of the plans for the redevelopment of the properties at 1000 N. Orlando Avenue and 1160 Galloway Drive (former Corporate Square offices); 1050 N. Orlando Avenue (former Winter Park Dodge) and 967 Cherokee Avenue (overflow Holler Hyundai parking lot). As you are aware, this request was tabled by the P&Z Board at the May 6th meeting. A revised set of plans is included in the packet and was reviewed at the P&Z workshop on May 27, 2014.

All of the property is designated and upon approval by the City Commission will be zoned Commercial (C-3). The development combines and assembles these properties and includes the vacating and abandonment of the portions of public right-of-ways of Galloway Drive and Friends Avenue interior to this assemblage.

Site and Context: The “development parcel” is the combination of these four properties wherein the project would demolish all the buildings, improvements and trees for a complete redevelopment of the combined 11.0 acre site. To the north, across Dixon Avenue is Holler Hyundai. To the south is the three story office building at 950 N. Orlando (also owned by the applicant) and other commercial properties including the Volvo Store. Across Orlando Avenue is the Ravaudage development.

Current Development Request: The application package for “preliminary” conditional use approval includes the site plan, architectural perspective images of the main building facades, conceptual landscape and storm water retention design and traffic impact report as required for the “preliminary” approval.

The major project components area 40,965 sq. ft. Whole Foods grocery store, another (to be determined) 36,600 sq. ft. retail store and three out-parcels of approximately 4,000 sq. ft. each which could be branch banks, restaurants or free-standing retail stores. The project meets the C-3 development standards in terms of density and intensity, parking, landscaping, storm water retention, etc. Based on the 11.0 acres, the project has a 19.0% building lot coverage and FAR (well within the 45% maximum FAR). Parking required for this total 89,565 square feet of commercial space (one per 250 sf) is 358 spaces. The development plan indicates 438 spaces are to be provided,

averaging out to about 4.9 spaces per 1000 sf. This is primarily due to the desires of supermarkets and other major retailers to have 5 spaces per 1,000 sf provided versus the typical code of 4 per 1,000 sf. What the over-parking will allow is for the out-parcel retail buildings to become restaurant locations that need more parking than the 4 spaces per 1,000 sf.

Building Heights: The proposed major retail buildings are one-story but given the interior floor to ceiling heights desired and the parapets the heights generally compare to two-story buildings.

Architectural Elevations: The project elevations that have been provided to showcase the major retailers in the project depict a contemporary architectural image. While the elevations show the truck loading doors, you will not on the site plan that those features are in the rear and hidden from view. There is ample articulation of the building facades and the many undulations help immensely to break up the exterior façade of the building. One of the issues from the May 6th P&Z meeting was to insure architectural compatibility for the design of the buildings on the out-parcels. That will be incorporated into the staff's recommendations.

The applicant has agreed to use the city's themed acorn lights along US 17/92 as part of the entry feature into the development and then will work with staff to provide adequate lighting as required by city code in the parking lots.

Tree Preservation: There are very few trees on the site except for on the perimeter of the 967 Cherokee parcel and two nice live oak trees in the right-of-way of Galloway Avenue. The new site plan commits to trying to save those two live oaks if reasonably possible.

Storm Water Retention: The site currently has no storm water retention. The redevelopment of this property will retrofit the site to conform to the storm water retention requirements of the City and St. Johns River Water Management District. At this "preliminary" conditional use stage, the storm water design is conceptual and the retention pond areas provided appear to be adequate. The detailed design and calculations are submitted at the "final" conditional use stage and the applicant is aware that the City Code prohibits any increase in the existing grades on the site above 2 feet.

Landscaping: Overall the impervious coverage of the site will be within the code maximum of 85% with 19% open space. There are larger landscape areas (20 ft. width versus 8 foot width) along the Orlando Avenue frontage. A specific detailed landscape plan with types, sizes, quantities, etc. is reviewed at the "final" conditional use step.

Traffic Impact: The applicant has submitted a lengthy traffic study addressing the traffic generation from this project. On May 12th the City Commission approved the Resolution supporting the project's desire to obtain FDOT permission to change the three leg intersection of Lee Road and Orlando Avenue into a four legged intersection thereby providing traffic light access to and from this project and to support the

extension of Lee Road through the Orange County Public Schools – Webster School property via the alignment “B” which turns the road south to connect with Webster Avenue, where a traffic light will be added. Again the final design will be seen during the final review including methods to deal with deceleration at the entrance.

Site and Urban Design – The City staff in the May 6th staff report raised the issue that the Whole Foods project is reminiscent of a 1960's shopping center design. It does have larger landscape areas (20 ft. width versus 8 foot width) along the Orlando Avenue frontage but the view of 35,000 cars a day traveling past each day on Orlando Avenue is a retail shopping center and what was called a “sea of parking”. Meanwhile the perception of the Fresh Market Shopping Center down at Orlando's new Mills & Nebraska development is very positive and it was cited as shopping center design that is the state-of-art to emulate.

All of things that the city staff ultimately requested have been complied with. These included flipping the drive-in bank so that the attractive side faces Orlando Avenue and the less attractive teller lanes face the interior. Also revising the retail out-parcels “B” and “C” to re-orient the buildings length-wise facing Orlando Avenue which is a more attractive image, provides more exposure for those out-parcel tenants and more effectively screens the interior parking. The applicant has moved the large Retail building on the north of the property to create a sense of space on the parcel and included parking on three sides of the building. The applicants have agreed to provide for enhanced landscaping to create an appealing front door appearance of the project.

Project Signage - The City will require that the project be limited to monument signage for all ground signs in lieu of pole signs and the applicant has agreed to that condition. Buildings are still entitled to wall signage, awning signage, etc.

Traffic Light Coordination - There are limited options for traffic flow improvements in this immediate area but one thing the City is exploring is an effort to install “smart signal technology” along the Orlando Avenue corridor. As traffic increases with redevelopment of this quadrant, the City is looking to upgrade the signal technology for enhanced coordination between the traffic lights and to adjust to patterns and create better flow. The City is requiring the developer of Ravaudage to provide their proportionate share of this cost and the City would similarly look to this project and as K-Mart redevelops to participate. The exact specific requirements are something the City would detail with you in the Final Conditional Use stage but we wanted to make you aware of this at this time and the applicant has agreed to work with the City on this.

Conditional Use Process: Winter Park's conditional use process (Section 58-90) for these major projects is a Preliminary Approval which approves the entitlements and then a Final Conditional Use Approval wherein the City approves at the Final Conditional Use stage, the more specific design plans including storm water design, site lighting plan, project signage, landscape and streetscape plans, etc. Most of the staff conditions will then be reflected in the Final Conditional Use submittal.

STAFF RECOMMENDATION IS FOR APPROVAL OF THE "PRELIMINARY" CONDITIONAL USE subject to:

- 1. The project being limited to monument signage for all ground signs in lieu of pole signs.**
- 2. That for the final conditional use review the applicant review opportunities for preservation of two major live oak trees on-site.**
- 3. That for the final conditional use review the city and applicant will negotiate for a proportionate share of funding for traffic signal timing improvements.**
- 4. That for the final conditional use review a location in the rear of the project be provided for a sanitary sewer lift station as may be required for this project.**
- 5. Architectural conformity on the design of the out-parcel developments. This shall be administered by staff with the option of the applicant to appeal to P&Z/City Commission to resolve any design issues.**



WEST WEBSTER AVENUE

WINTER PARK VILLAGE

WINTER PARK TECH

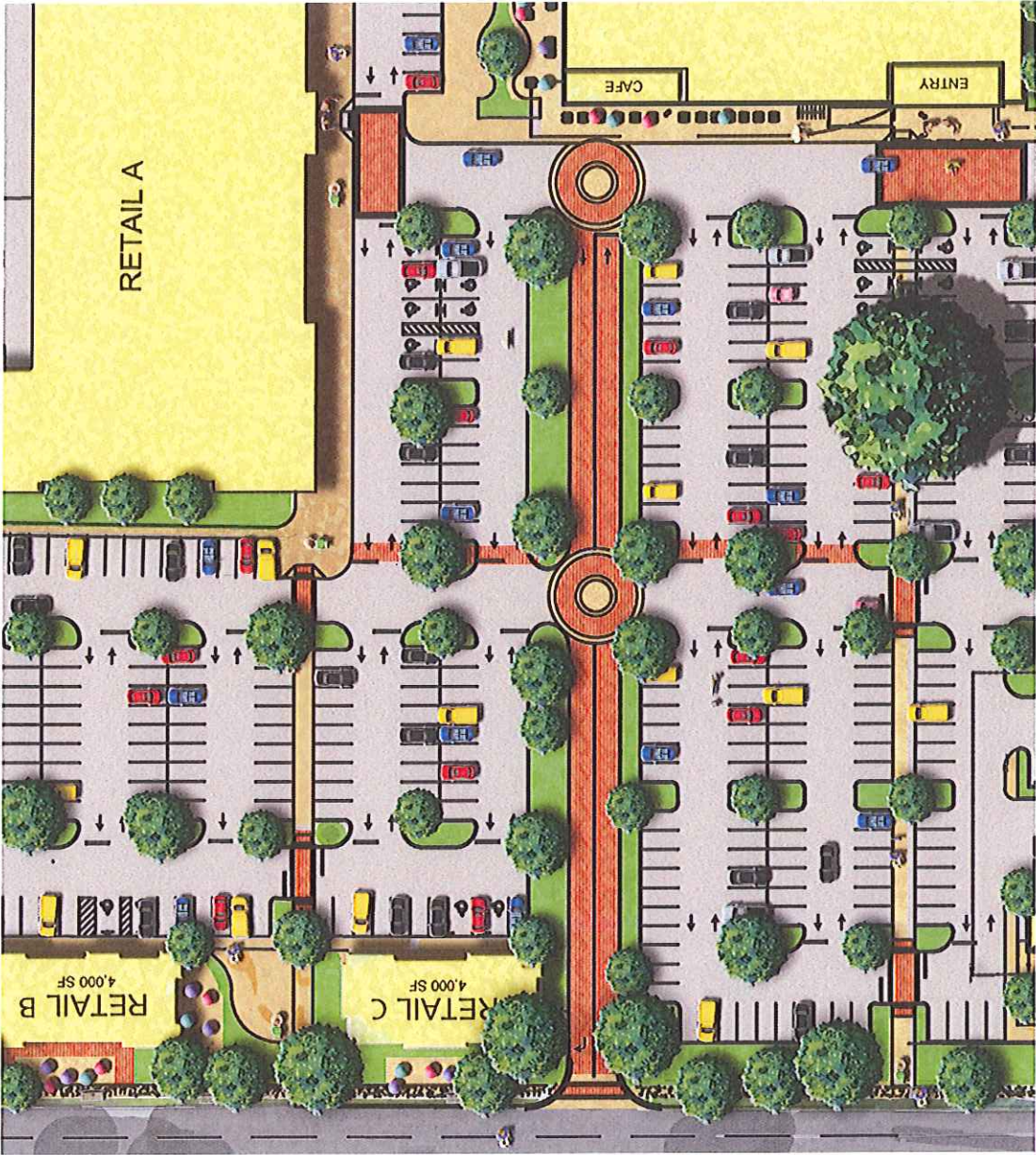
- LE POND
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- SEWER
- GAS
- ELECTRICITY

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- RETAIL B
- RETAIL C
- RETAIL D
- RETAIL E
- BANK



LOCHRANE
 Consulting Engineers • Surveyors





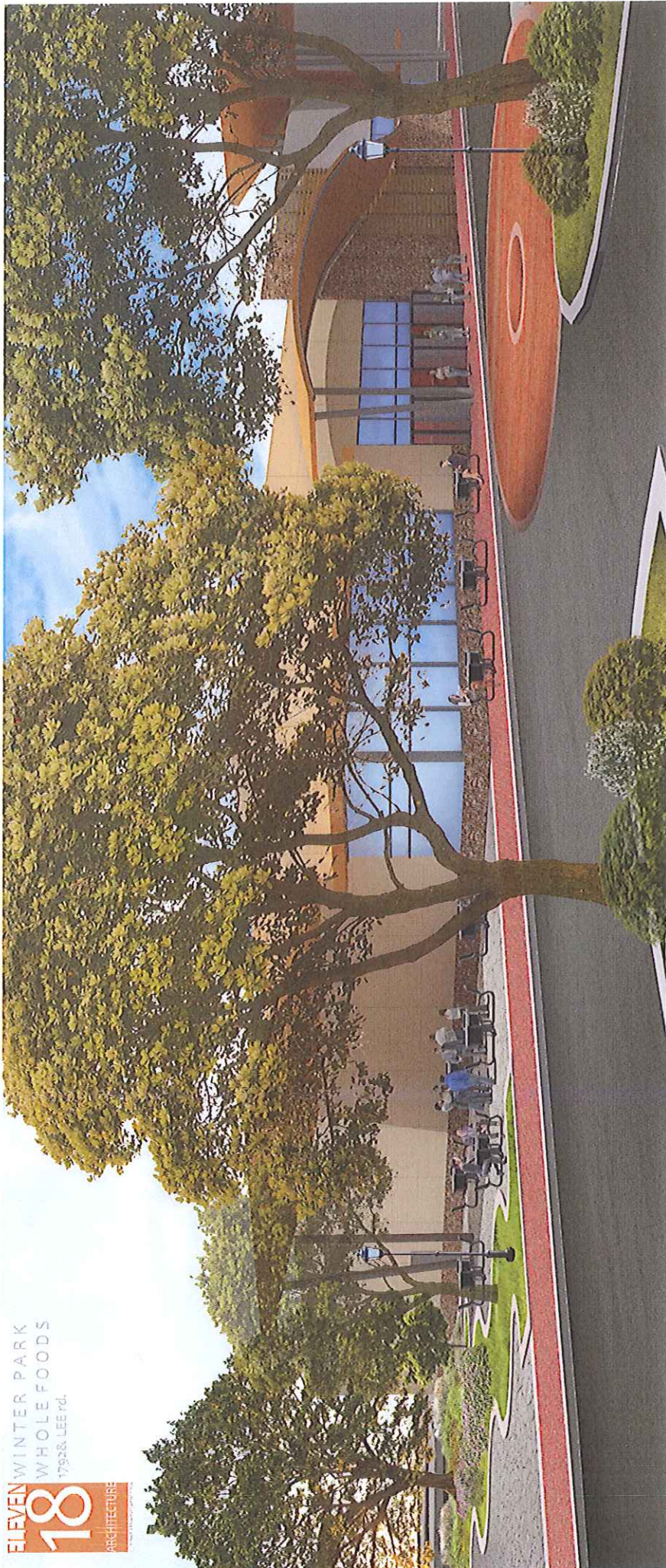
ELIEN WINTER PARK
WHOLE FOODS
17928 LEE RD.

18
ARCHITECTURE
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11EVEN WINTER PARK
WHOLE FOODS
1792& LEE rd.

18
ARCHITECTURE





FIVEEN WINTER PARK
WHOLE FOODS
1792 & LEE Rd.



All items, drawings, specifications and anything in any way connected with this project shall remain the property of the firm. No part of this work shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the firm. The drawings are the property of the firm and shall be used only for the project and site for which they were prepared. The drawings are not to be used for any other project, and the user assumes all liability for any such use. The drawings are not to be used for any other project, and the user assumes all liability for any such use. The drawings are not to be used for any other project, and the user assumes all liability for any such use.

CONSULTANT
2014 FEB 27

Mark Adams, AIA
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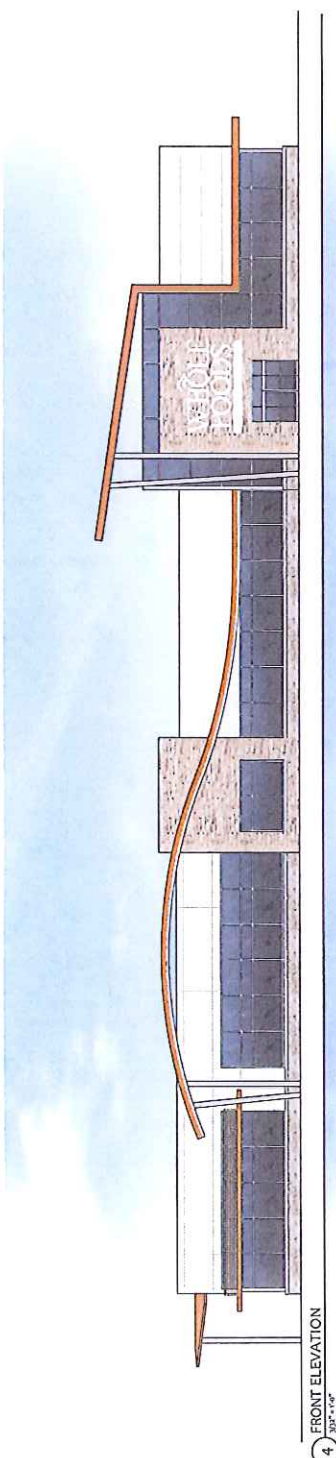
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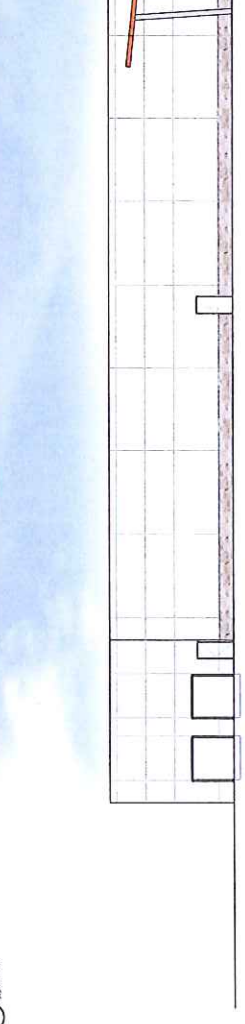
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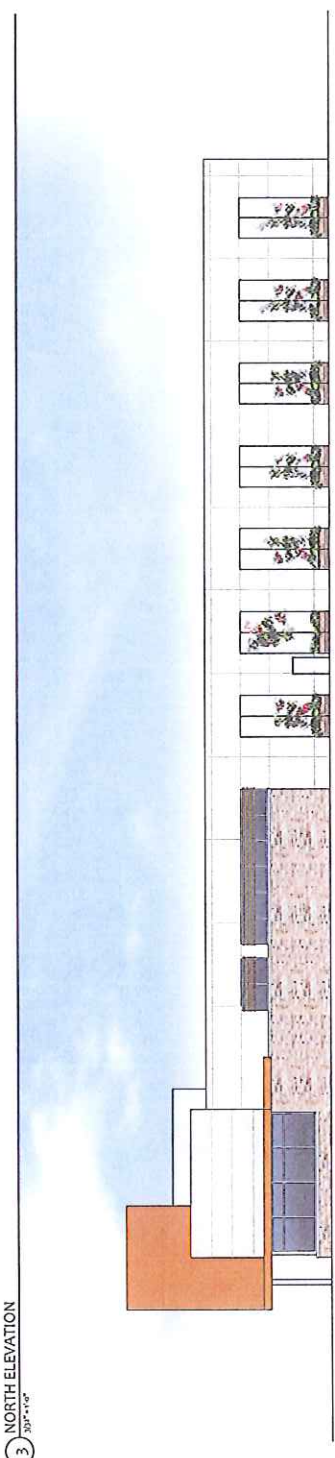
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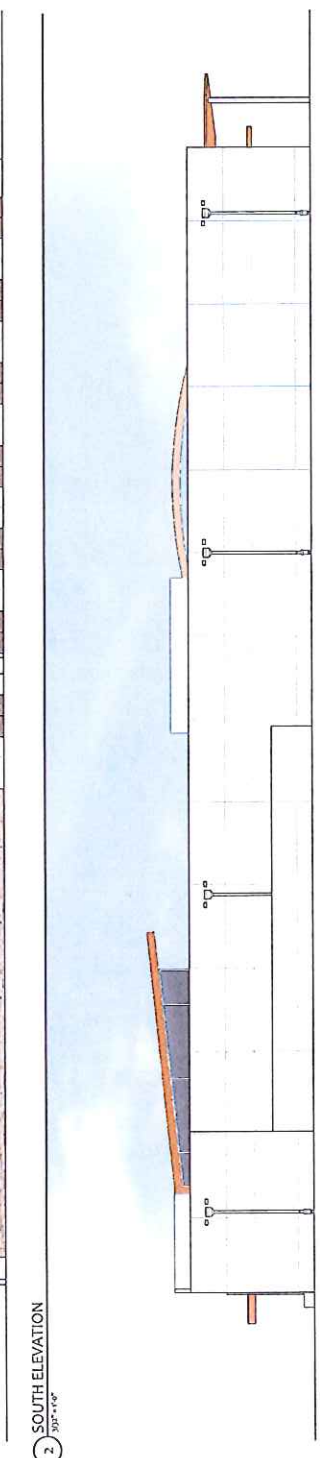
4 FRONT ELEVATION
 30'0" x 114'



3 NORTH ELEVATION
 30'0" x 42'



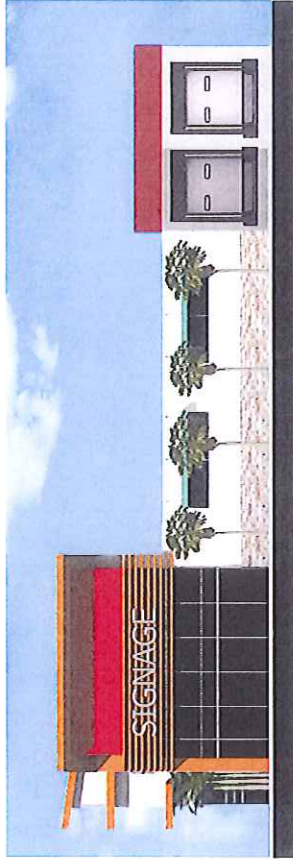
2 SOUTH ELEVATION
 30'0" x 62'



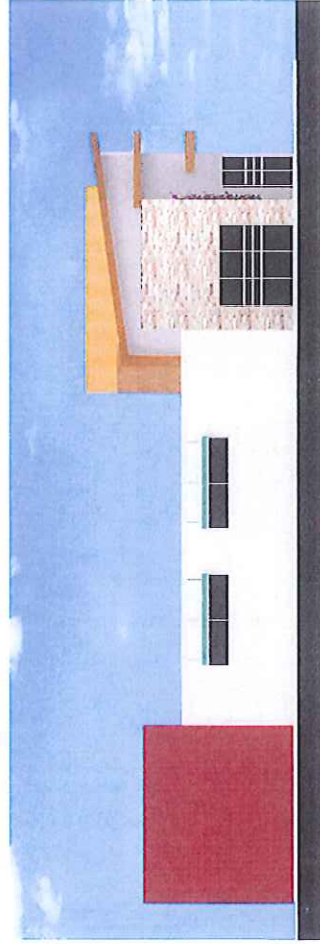
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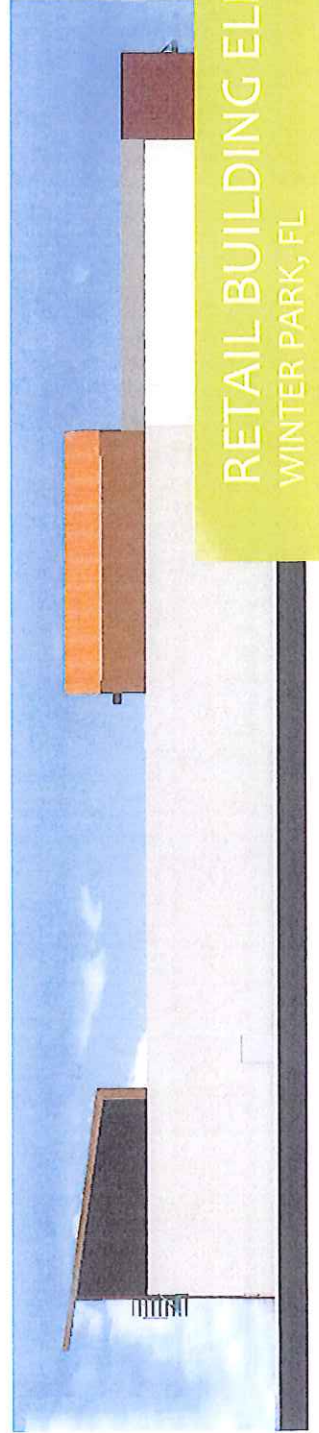
FRONT ELEVATION NOT TO SCALE



SOUTH ELEVATION NOT TO SCALE



NORTH ELEVATION NOT TO SCALE



REAR ELEVATION NOT TO SCALE

RETAIL BUILDING ELEVATIONS
WINTER PARK, FL
www.eleven18architecture.com

April 25, 2014

Mr. Troy Attaway, P.E.
Public Works Director
City of Winter Park
401 Park Avenue South
Winter Park, Florida 32789

Subject: Lee Road Extension Traffic Analysis Review

Dear Mr. Attaway:

Comprehensive Engineering Services, Inc. (CES) has reviewed the traffic analysis submitted for the extension of Lee Road and the development of the site which includes a Whole Foods on the east side of US 17/92 in the City of Winter Park. In addition, we have met with the Developer's Engineers to obtain a more complete understanding of the traffic impacts and the methodology used in their analysis. The primary purpose for the proposed Lee Road extension is to provide relief to congestion along US 17/92 and to enhance access to the site at the US 17/92 intersection. For the Florida Department of Transportation (FDOT) to allow this connection, improvements that mitigate the added delay associated with the additional signal time to service the fourth leg of the intersection are required. FDOT has indicated that the only way to mitigate the added approach to the intersection is for Lee Road to be extended further to the east to provide relief for delay associated with the movements to and from Lee Road and Webster Avenue.

The Developer's team analyzed three alternatives for the extension of Lee Road to the east which are depicted in the attachment listed as Figure 3 from the Developer's Traffic Analysis Report and include:

1. 2004 PD&E Alignment – The FDOT has completed a Project Development and Environmental (PD&E) report for improvements along the US 17/92 corridor that included the extension of Lee Road to Denning Drive at the intersection with Solana Avenue as the preferred alignment.
2. Alignment A – Lee Road would extend eastward to connect to Denning Drive at the Carver Street intersection. This proposed extension would restrict traffic on Lee Road from turning left onto northbound Denning Drive or eastbound through onto Carver Street.
3. Alignment B – Lee Road would extend eastward to a point midway between US 17/92 and Denning Drive then turn to the south and connect to Webster Avenue. This alternative would also prohibit southbound lefts from US 17/92 onto Webster Avenue.

We reviewed the analysis completed by the Developer's team as it relates to overall traffic operations, access and for the potential of "cut-through" traffic to nearby residential areas including but not limited to North Park Avenue, Palmer Avenue and Carver Street. We offer the following recommendations for consideration of each alternative.

1. For the first alternative based on the 2004 PD&E, consideration should be given to utilizing a roundabout for the intersection of Lee Road with Denning Drive, Solana Avenue and Railroad Avenue. This alternative offers the best connectivity to the neighborhoods to the north and east which may be desirable to some and undesirable to others that are concerned about cut-through traffic. The roundabout may help mitigate this concern for some.
2. For Alignment A, We concur that with this alternative the eastbound lefts and through movements be prohibited at the intersection with Carver Street to mitigate cut-through traffic concerns. However, elimination of these movements may be undesirable to some residents who wish to shop at the proposed development.

3. For Alignment B, We concur with the recommendation that the southbound lefts from US 17/92 be prohibited at Webster Avenue. This Alternative would result in the most mitigation to existing traffic operational concerns on US 17/92. It would have the most noticeable improvements to the ongoing issues that result in delay caused by the northbound US 17/92 left turns at Lee Road and the southbound US 17/92 left turns at Webster Avenue. The queues associated with these movements significantly reduce the overall operational performance of these intersections and can also inhibit northbound/southbound traffic flow along US 17/92 between these intersections. This Alternative also gives the most reduction in perceived cut-through traffic into the residential communities to the north and east of the site. There does not appear to be any advantage for additional trips originating from North Park Avenue or Palmer Avenue to utilize this new connection. The traffic analysis prepared by the Developer indicates that a signal is not warranted for the new Lee Road connection to Webster Avenue. However, after construction the intersection should be studied for signalization warrants. It is anticipated that at some time in the future a signal will be warranted.

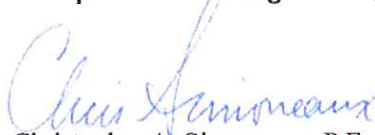
Regardless of which alignment is selected additional enhancements for pedestrians, access management and landscaping should be included. The access management can be accomplished with landscaped medians and all sidewalks should be 8 foot in width to provide safe and appealing pedestrian travel to the site.

As we analyze these types of developments as it pertains to trip generation and traffic assignment to connected streets, it is important to understand that since this site does not include any new residential development, almost all of the trips are "attracted" to the site or "captured" from adjacent roadways. In addition, since there are many competing similar establishments in the overall area of influence it will mostly attract trips from areas nearby and capture passerby trips already occurring. What this means is that some trips to this site will be much shorter than trips that currently occur to other commercial sites and as it relates to this site, traffic will most likely be reduced in some roadway links. This is best exemplified in this situation, where there are certainly some trips originating from residential areas to the north that currently travel along North Park Avenue and Palmer Avenue to shop at the Whole Foods on Aloma Avenue. Some of these trips will be removed in favor of traveling to the new Whole Foods.

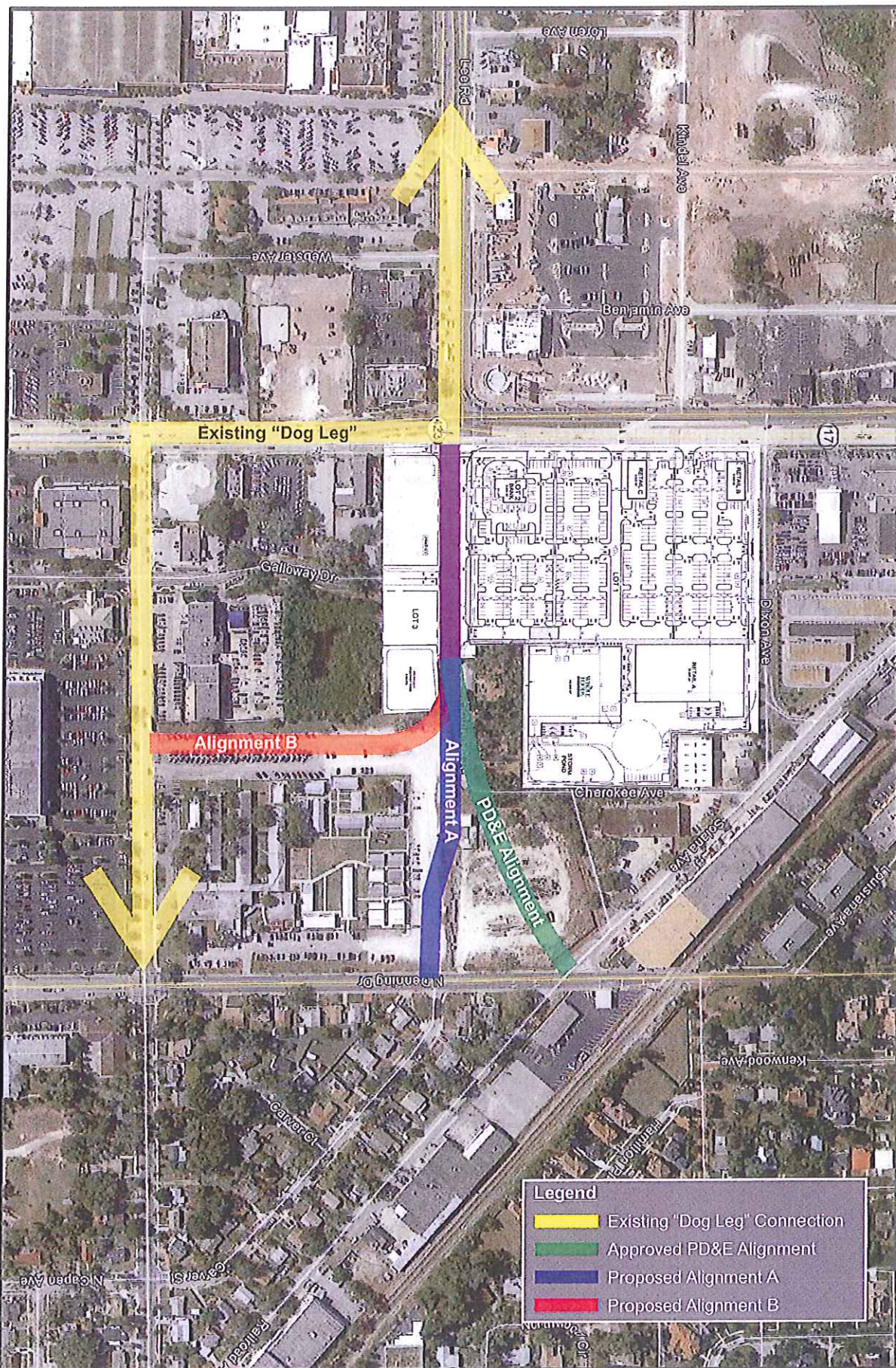
The primary reason that a motorist chooses to "cut-through" parallel streets (that can often be residential) is because of the delay on the primary arterial routes. The US 17/92 congestion associated with eastbound Lee Road traffic which continues to eastbound Webster Avenue and the westbound Webster Avenue traffic which is continuing to Lee Road is the exact type of situation that causes cut-through traffic. The queues associated with these movements often spill over into the through lanes of US 17/92 causing significant delay which pushes traffic into parallel roadways and even further into residential streets. It does not appear that any of the proposed alternatives would result in an actual increase in cut-through traffic and may actually reduce traffic in some links due to the reduction in delay on US 17/92, and as it relates to this development, shorten trip lengths to this destination. Increased development in the vicinity of this site may increase overall traffic on the roadway network in the future. However, the extension of Lee Road to the east on its own should not be the cause of any increased traffic on nearby residential streets. It would actually help disperse traffic more effectively, resulting in reduced risk of a significant impact to only a few streets.

It is our recommendation that Alternative B with the elimination of the southbound left turn movement from US 17/92 to Webster Avenue be the preferred improvement. This alternative provides the most improvement to congestion along US 17/92 and the operations of intersections in the vicinity. This alternative also provides the most direct route for traffic that is currently traveling this way to and from the residential areas of Winter Park and for shopping/dining along South Park Avenue. Another positive consideration for this alignment is that it provides better multimodal connectivity to the Winter Park Village and other new development occurring to the south without relying on access from the already congested US 17/92 corridor.

Comprehensive Engineering Services, Inc.


Christopher A. Simoneaux, P.E.





Legend

- Existing "Dog Leg" Connection
- Approved PD&E Alignment
- Proposed Alignment A
- Proposed Alignment B

TMC
 Traffic & Mobility Consultants
 1507 S. Hawasssee Rd - Ste 212
 Orlando, Florida 32835
 P: (407) 531-5332
 F: (407) 531-5331
 www.tmc-mobility.com

Figure:
PROPOSED LEE ROAD EXTENSION - ALTERNATIVE ALIGNMENTS
 Project:
 Corporate Square Redevelopment

Project No.:
 13-035



Figure:
3

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RECEIVED

MAY - 6 2014

CITY OF WINTER PARK
PLANNING DEPARTMENT

May 1, 2014

Ms. Dori Stone, Director of Planning
City of Winter Park
401 South Park Avenue
Winter Park, Florida 32789

Ms. Noranne Downs, Director
FDOT
719 North Woodland Boulevard
Deland, Florida 32720

Troy Attaway, Public Works Director
City of Winter Park
401 South Park Avenue
Winter Park, Florida 32789

Re: Whole Foods Project Applications or Submittals

Dear Ms. Stone:

As you know, I represent Benjamin Partners, Ltd., which owns the Ravaudage Project consisting of approximately 51 acres (total of 70 acres) subject to the Development Order approved by Orange County on May 24, 2011 and a portion thereof was annexed into Winter Park. It has come to my attention that the Whole Foods Project on Lee Road has submitted a site plan application to the City of Winter Park which is scheduled to be heard on May 6 at the Planning and Zoning Board meeting. Is this the only application or submittal that has been submitted in connection with this Project? I hereby request copies of any and all submittals, applications, accompanying traffic analysis or other support documentation and all plans made to the City in connection with this project.

It is my understanding that the proposed development plan for Whole Foods requires the developer to acquire right of way for the extension of Lee Road eastward to Denning Drive, proposes to close the Glendon Parkway median opening, and proposes the extension of the southbound left turn lane at Dixon Avenue 210 feet to accommodate the trips to be generated by the 41,000 square feet of supermarket and 48,600 square feet of retail space. According to my client, Dan Bellows, you have indicated to him that the City will not support the closing of the Glendon Parkway median. Please confirm the City's position on this matter. It is apparent that

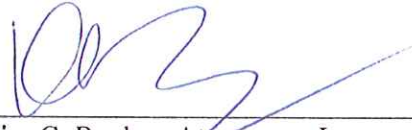
the project may not be approved without further traffic analysis, improvements to stacking lanes and the acquisition of the Lee Road extension property from the School Board. Do you have any traffic studies prepared in connection with this Project? If so, please include copies of such in this request for public records. Has the City confirmed or required evidence of the developer's acquisition of or ability to acquire the additional right of way for the Lee Road extension from the School Board? If not, why is the City moving forward with any application or submittal until the developer has the property within his control and authority? It is my understanding that the development plan assumes that the right of way will be acquired and that the developers' recommendations for the altering the traffic patterns are based upon this assumption.

As you know, the Development Order for Ravaudage has a number of mandates regarding traffic, donation of right of way, warrant studies and more in connection with the entitlements approved by Orange County and adopted by Winter Park. The Ravaudage Development Plan and approvals are based upon an assumption that the existing median cuts would continue to exist and as such, any attempt to close the Glendon Parkway median will substantially impact the ability of Benjamin Partners to develop its existing development. Please be advised that any action taken to alter the traffic pattern or access to the Ravaudage Project will be strongly opposed by my client. Please provide me with confirmation regarding the City's position on this matter and the requested copies of the submittal for this Project as soon as possible. Further, please notify me of any pending workshops or hearings on this matter so that we may have a representative attend said meetings. It is in everyone's best interest to work on a mutually acceptable plan of development that does not infringe upon the existing rights of Benjamin Partners, Ltd. I look forward to hearing from you soon.

Sincerely,

Booker & Associates, P.A.

By



Kim C. Booker, Attorney at Law

cc: Jeff Briggs ✓

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
June 3, 2014**

REQUEST OF THE SYDGAN CORP. FOR: AN ORDINANCE AMENDING THE "COMPREHENSIVE PLAN" SO AS TO CHANGE THE FUTURE LAND USE DESIGNATION OF SINGLE FAMILY TO MEDIUM DENSITY RESIDENTIAL FUTURE LAND USE ON THE PROPERTIES AT 755/781/783/785/831/835 WEST CANTON AVENUE AND AT 437/439/441 NORTH CAPEN AVENUE, AND TO REVISE POLICIES IN THE FUTURE LAND USE ELEMENT RELATING TO THREE STORY BUILDINGS WITHIN THIS FUTURE LAND USE DESIGNATION AND THE POLICY DIRECTION FOR SUCH FUTURE LAND USE AMENDMENTS.

REQUEST OF THE SYDGAN CORP. FOR: AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP SO AS TO CHANGE SINGLE FAMILY RESIDENTIAL (R-1A) ZONING TO MEDIUM DENSITY MULTI-FAMILY RESIDENTIAL (R-3) DISTRICT ZONING ON THE PROPERTIES AT 755/781/783/785/831/835 WEST CANTON AVENUE AND AT 437/439/441 NORTH CAPEN AVENUE.

REQUEST OF THE SYDGAN CORP. FOR: A LOT CONSOLIDATION UNDER SECTION 58-392 OF CHAPTER 58 "LAND DEVELOPMENT CODE" SO AS TO COMBINE THE PROPERTIES AT 755/781/783/785/831/835 WEST CANTON AVENUE AND AT 437/439/441 NORTH CAPEN AVENUE INTO ONE CONSOLIDATED PARCEL FOR A UNIFIED RESIDENTIAL DEVELOPMENT, SUBJECT TO CONDITIONAL USE APPROVAL BY THE CITY.

REQUEST OF THE SYDGAN CORP. FOR: CONDITIONAL USE APPROVAL TO REDEVELOP THE PROPERTIES AT 755/781/783/785/831/835 WEST CANTON AVENUE AND AT 437/439/441 NORTH CAPEN AVENUE INTO ONE CONSOLIDATED RESIDENTIAL DEVELOPMENT OF 26, TWO AND TWO and 1/2 STORY TOWNHOUSE RESIDENTIAL UNITS WITH A TOTAL PROJECT SIZE OF APPROXIMATELY 67,500 SQUARE FEET.

This is a continuation of the requests made by the Sydgan Corp. that were on the April 8th agenda and tabled, then withdrawn and pursued via a re-application. They seek four approvals from the City as follows:

1. Change the existing Single Family Residential future land use designation in the Comp. Plan and Single Family (R-1A) zoning to Medium Density Multi-Family future land use and Medium Density Multi-Family Residential (R-3) zoning on the properties at 755/781/783/785/831/835 West Canton Avenue and at 437/439/441 North Capen Avenue in order to use these properties for a multifamily residential project.

2. Change three Policies within the Future Land Use Element of the Comprehensive Plan which prohibit three story buildings (2 ½ story allowed) and which strongly discourage the FLU/Rezoning requests in order to facilitate the approvals needed for this project, and
3. Consolidate all of these nine individual properties into one unified development site, and
4. Conditional Use for the proposed residential townhouse project of 26 units in two and two and 1/2 story buildings with an aggregate project size of approximately 62,000 square feet. This Conditional Use is also requested side setbacks variances.

Previous P&Z and Community Meetings:

The Planning Board tabled a similar request at the April 8th P&Z meeting. There were seventeen speakers/neighbors in opposition to the requests and a petition presented with 130 signatures of citizens in opposition. Per the direction of the P&Z Board, there was a subsequent 'community meeting' of about 50 neighbors who gathered to discuss options and to agree upon a consensus recommendation from the neighborhood. Then there was another meeting a week later at the Community Center with representatives of the applicant and the builder together with about 30 neighbors to review the rezoning proposal and to offer their viewpoints. Staff was present at this meeting to hear all points of view.

From the second community meeting, it appears that the neighbors are steadfastly in opposition to any changes in the Comp. Plan FLU or Comp. Plan policies or Zoning. They firmly believe that the view of the parking garage can be easily screened with new trees planted along the rear property line, as the parking garage is only 27 feet in height. They believe there is no need for increased residential density or three story buildings to screen that structure. The neighbors firmly oppose townhouse type projects that group units together in multi-unit buildings that will be 13-15,000 square feet in size, as this, in their opinion, is out of scale and character with the adjacent neighborhood and the number of single-family homes that exist on both Capen Avenue and Canton Avenue. As a result, there is no expectation that the public hearing will offer any neighborhood support for a 26 unit project of two and two and ½ story townhouse buildings that together comprise 62,000 square feet of building size.

Staff understands that the Planning Board was hoping that there could be a compromise reached through this 'community meeting' process. However, the neighbors wish to see this property remain entirely single family in density and development style. While the applicant has reduced the residential density request from 32 residential units to 26 units, the actual square footage of the project has grown from the 42,500 sq. ft. shown in the April application plans to 62,000 sq. ft. now in this June request making the project larger by 19,500 square feet. From staff's viewpoint, it is an unusual "compromise" to come back with a larger request than the one that was tabled.

Previous Staff position: At the April 8th P&Z meeting, the Planning Staff recommended a compromise. Staff believed there was logic for some land use density increase due to the proximity to the parking garage and the deep 250 foot lots on Canton Avenue.

Staff can make a case for R-2 zoning on some of this Property except for the lots fronting on Capen Avenue. This is the same type of compromise that was made for the property that David Weekly Homes is now developing on West Lyman Avenue behind the relocated Grant Chapel. The advantages of R-2 are that it has a two story maximum height (same as single family); has only a modest increase in FAR (43% in SF and 55% in R-2) and prohibits buildings larger than three units. This would then be a step down in density and intensity as one travels west to east away from the parking garage and into the interior of the single family neighborhood. Denial of this change for the Capen Avenue lots maintains the character of Capen Avenue as a single family residential neighborhood street. However, staff recommendation was rejected by the applicant. It also was not supported by the neighborhood.

Site and Context: Since the P&Z meeting on April 8th, one more property has been added to the request at 785 W. Canton Avenue. There are now nine properties involved in this request. They are all designated Single Family Residential in the Comprehensive Plan and zoned R-1A. Altogether the nine properties encompass 81,545 square feet (1.87 acres). Under the single family designations, the maximum density on these nine properties is 9 single family homes. The requested changes would permit an increase to 26 units (300% increase).

The property, in staff's opinion, has two identities. One section is the portion that is south of and adjacent to the parking garage. The other section is the larger portions which fronts on Canton and Capen Avenues. On Canton Avenue this property is opposite single family homes and in the case of Capen Avenue, clearly on a single family residential street.

Conditional Use for the Project Plans: In order to provide certainty for the City and the neighbors, these requested zoning changes are accompanied by a Conditional Use application and a Development Agreement prepared by the applicant. Those specific site plan and building front elevations are attached. It should be noted that the site plan does not meet the R-3 setbacks and in addition to the requested Comp. FLU and Rezoning and Comp. Plan policy changes and Lot Consolidation requests, the applicant also is requesting variances for side setbacks of 10 feet and 14 feet which do not conform to the required 20 foot side setbacks of the R-3 district. The purpose of the Conditional Use submittal by the applicant is that if any changes are made to the FLU and Zoning, those changes would be "married" to the development plan via the Conditional Use and Development Agreement so that only that specific development could utilize such approvals. The larger issue is, of course, the change in density (units & square footage).

Lot Consolidation request: The City adopted a lot consolidation approval requirement for residential properties in 2009 in part in response to the home at 511 West Canton Avenue. In that case, an owner consolidated three lots and built a 17,000 sq. ft. single family home. Thus, in the City Code is a requirement for approvals of lot consolidations in residential areas whenever the frontage would exceed 150% of the average frontage of the residential properties on that street.

The reason for this Code requirement is that the aggregation of lots and building of a very large house or multi-family projects on certain streets can alter the character of the street/neighborhood. As an example, if someone on Via Lombardy, Langholm, Carrollee or Wing Lane combined three lots together and built a 17,000 sq. ft. home, then the character of the street and the neighborhood character are changed by it.

The intent of consolidating and combining these properties is larger multi-unit buildings. Since this request is project specific via the Conditional Use request, that issue of the size and scale of residential buildings, especially those facing the street can be determined via that process.

Comprehensive Plan Policy Text changes:

There are three Comprehensive Plan policy text changes in the Future Land Use Element that the applicant desires to have the City amend in order to achieve the increases in density as requested and the building design desired. The changes requested are shown below with strike-out and additions along with explanations.

CHAPTER 1: FUTURE LAND USE ELEMENT

Policy 1-3.8.6: Promote Appropriate Scale and Height for Medium Density Multi-Family Development. Except within the Central Business District geographical area, multi-family residential development within areas designated medium density residential (R-3) shall not exceed two stories in height unless approved via conditional use by the City Commission. In addition, such third floors must be entirely contained within a sloping roof having a maximum 12:12 roof slope. This policy shall not require the third floor to be entirely within a sloping roof if the development site is abutting (“abutting shall include property separated by a right-of-way or alley) or within 100 feet of a parking garage or commercial building.

This Policy 1-3.8.6 addresses the design issue of three story box like flat roof multi-family buildings allowable in the R-3 district due to 35 feet of allowable height. This current Comp. Plan Policy allows three stories buildings, provided the third floor is within the 45 degree roof slope of the third floor. That is the way the new townhouses on Swoope Avenue are designed which the P&Z and City Commission approved last year. The aim of the Policy is not to curtail square footage but to require a design that prevents box-like buildings. In a context adjacent to a parking garage or commercial building there may be a countervailing reason to permit the full third story if it is needed to buffer and screen the view of the parking garage/commercial building. However, in this context with a parking garage that is only 27 feet tall, one can screen that structure with a typical two story 30 foot tall townhouse. So the applicant's rationale for this Policy change does fit the facts of this context. The other problem with the new text, as requested, is that it applies to the entire parcel (in this case the entire parcel) abutting the parking garage rather than just the component of the project within 100 feet of the parking garage. Thus, staff does not support this Policy change and recommends denial. Staff does not understand why this Comp. Plan Policy changes has been requested since the plans submitted conform to this Policy but this part of the application has not been modified by the applicant.

Policy 1-3.8.4: Encourage Single-Family Detached Homes. The City shall encourage single family detached homes as opposed to apartments and condominiums by strongly discouraging Future Land Use Map amendments from Single-Family Residential or Low-Density Residential to Medium or High-Density Residential or unless such development is abutting (“abutting” shall include property separated by a right-of-way or alley) or within 100 feet of a parking garage or commercial building. The intent of this policy is to provide a smooth transition of density/intensity of land use. However, the sole exception to this policy shall be with respect to an existing residential elderly housing development that is larger than 10 acres, the parcel to be changed is internal to the development, being at least 200 feet from Low Density or Single Family in other ownership, and there is a step down in intensity towards the perimeter of the development.

Planning Area H: Hannibal Square Neighborhood

Policy 1-4.1.H.3: Restrictions on Multifamily Development. The City shall strongly discourage Comprehensive Plan Amendments from Low-Density to Medium-Density or High-Density Residential Future Land Use Map designations or unless such development is abutting (“abutting” shall include property separated by a right-of-way or alley) or within 100 feet of a parking garage or commercial building.

These two Policies state that the exact type of FLU/Rezoning that is being requested of changing from Single Family to Multi-Family is to be “strongly discouraged”.

Originally these policies, as adopted by the City Commission in 2009, said such changes were to be "prohibited". However, the City Attorney later advised that property owners have a right to apply for rezonings and for due process, so while the City Commission could express their policy direction with "strongly discourage", the City could not say "prohibit". Thus the Policies were amended in 2010.

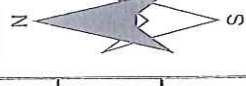
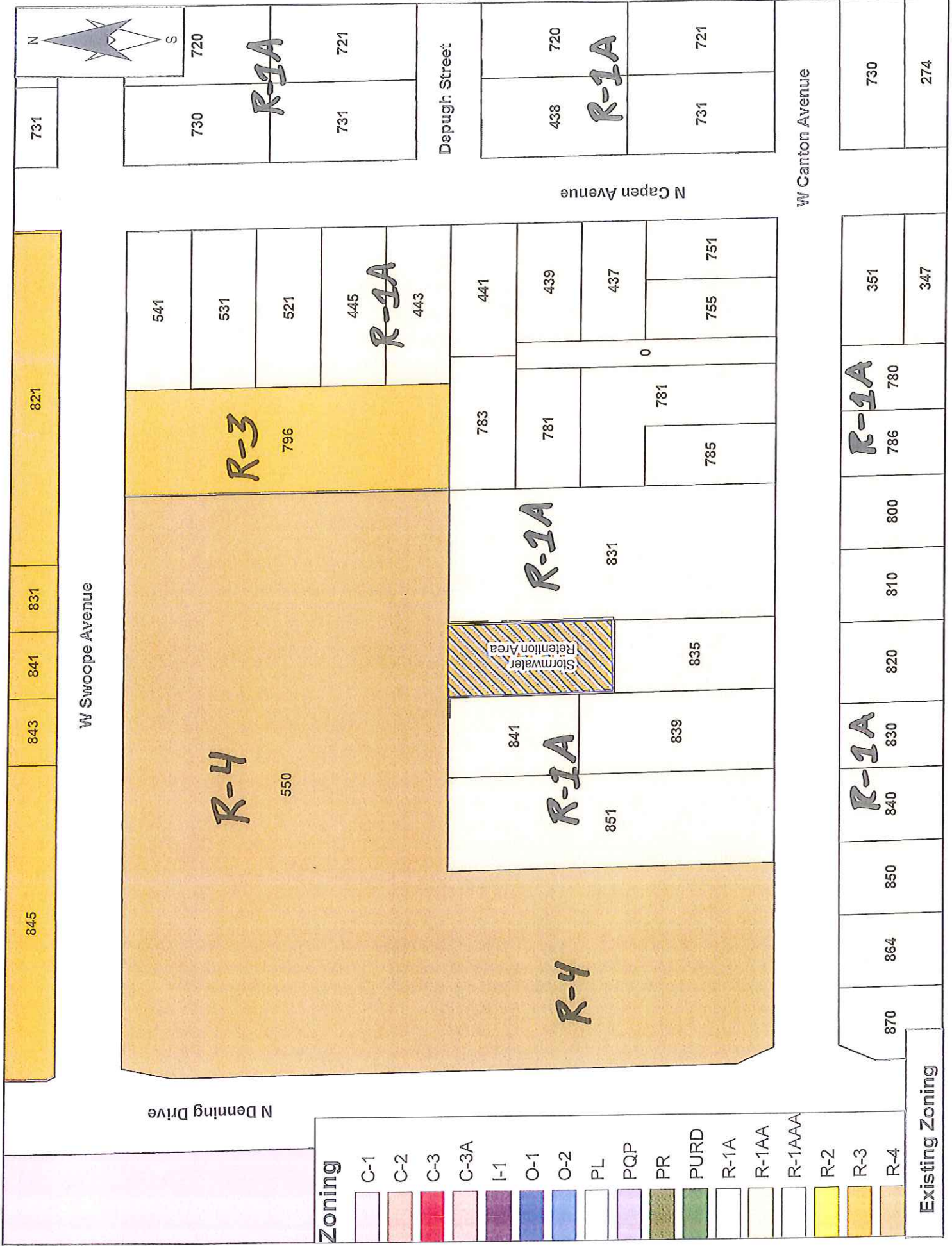
The applicant recognizes that the adopted Policy direction for their request is for the City to deny the request. So to provide some other option based on existing development surrounding the consolidated parcels on this site, the applicant is asking for the City to amend these two Policies with an exception phrase to read "*unless such development is abutting ("abutting" shall include property separated by a right of way or alley) or within 100 feet of a parking garage or commercial building*". Given the current language and the unique case around this particular consolidated parcel, staff recommends against the amendment language.

Summary and Recommendation: The planning staff receives this application with adopted City Commission policy direction that this type of FLU/rezoning should be "strongly discouraged" based on the existing surrounding residential development patterns and the desire to continue to keep this area as a detached single-family neighborhood. When the staff suggested compromise for an increase to R-2 density it was rejected by the applicant and the neighbors. Clearly, the Comprehensive Plan protects the single-family nature of this area. Given that the visual impact of the senior-living apartments is facing Denning Drive (a four lane road) and not facing Capen or Canton Avenues (two lane roads), the need for significantly greater density in this area is not warranted. The desire to maximize the density of this property simply because a more intense land use and higher zoning district was approved near this area does not justify a staff approval. One would think that if the desire was for 300% increase in density then the project would meet the Code, but even the plans presented do not conform to the R-3 code with respect to setbacks. Given that the property under consideration faces existing single-family dwelling units on both streets, should set the tone for the type of redevelopment that should occur on these combined parcels. There appears to be no acceptable compromise that does not violate the policies outlined in the Comprehensive Plan as it relates to this area. Given that, staff recommendation for the land use change, the rezoning, the lot consolidation and the conditional use plan is for denial of these applications.

STAFF RECOMMENDATION IS FOR DENIAL of the FLU/Rezoning and Lot Consolidation requests for 831/835/781/783/785 W. Canton to R-2 and for 437/439/441 North Capen Avenue.

STAFF RECOMMENDATION IS FOR DENIAL of the Comprehensive Plan Policy amendments.

STAFF RECOMMENDATION IS FOR DENIAL of the Conditional Use application and the setback variances requested.



Zoning

- C-1
- C-2
- C-3
- C-3A
- I-1
- O-1
- O-2
- PL
- PQP
- PR
- PURD
- R-1A
- R-1AA
- R-1AAA
- R-2
- R-3
- R-4

Existing Zoning

W Swoope Avenue

N Denning Drive

N Capen Avenue

Depugh Street

W Canton Avenue

731

720

730

721

731

721

720

438

721

731

821

831

841

843

845

541

531

521

445

443

441

439

437

751

755

R-3

796

R-4

550

R-1A

831

Stormwater Retention Area

R-1A

839

835

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831

R-4

R-1A

780

786

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810

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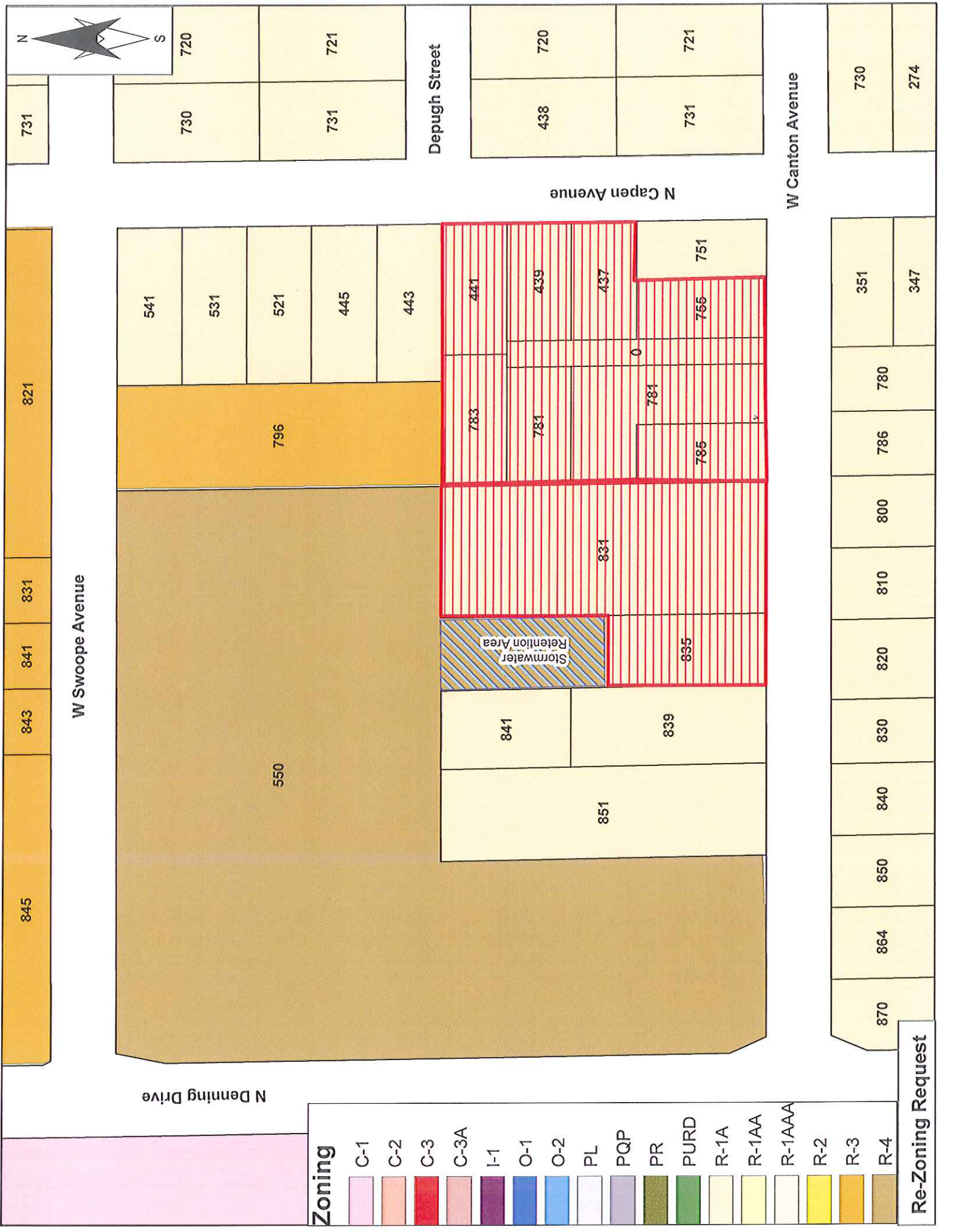
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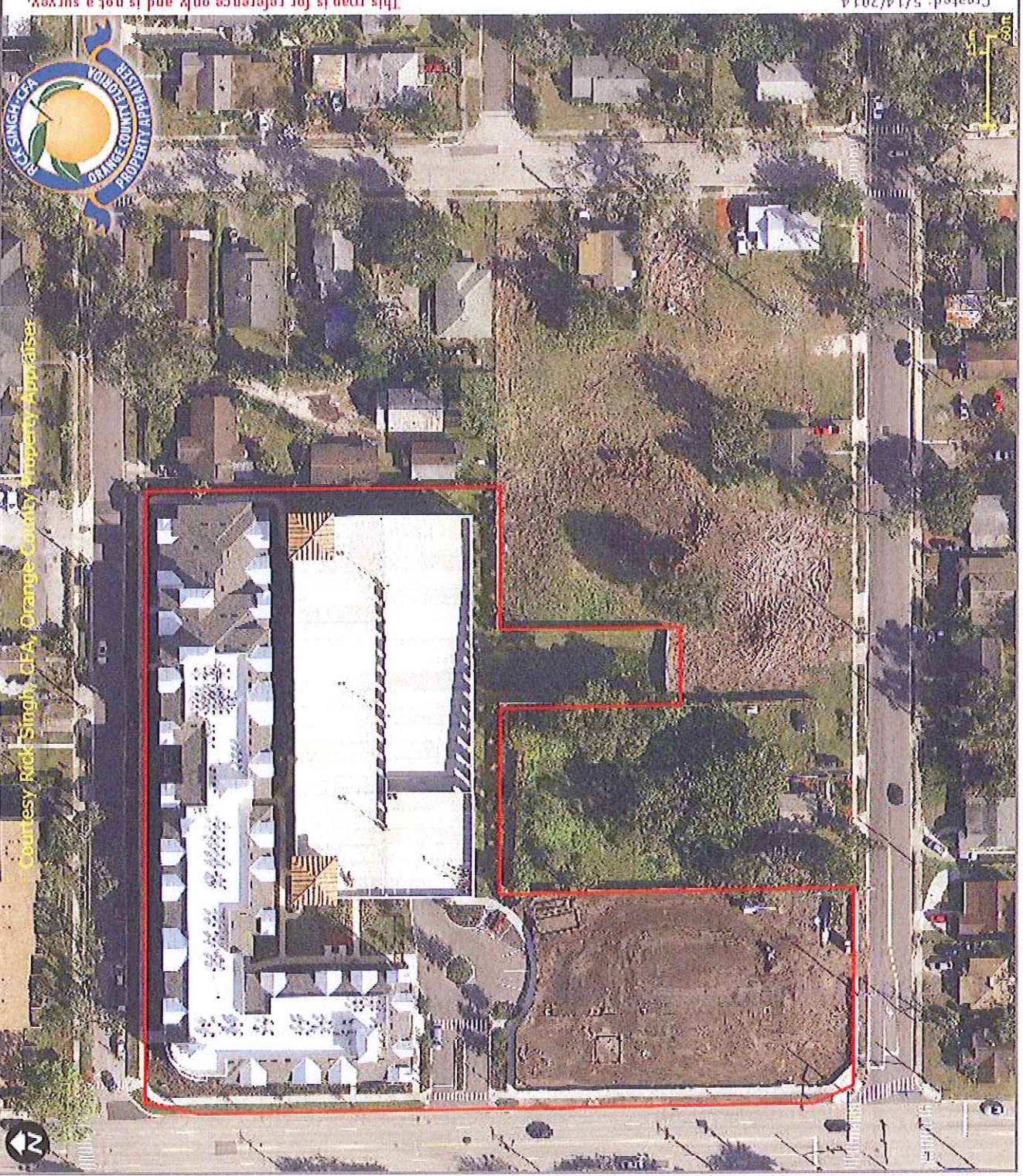


| | | | | |
|---------------|-----|-----|-----|-----|
| 731 | 730 | 731 | 720 | 721 |
| Depugh Street | | | | |
| 438 | 720 | 731 | 721 | 721 |

| | | | | | | | | | | | | | | | | | | |
|-----------------|-----|-----|-----|-----|-----------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----------------|-----|-----|-----|
| 845 | 843 | 841 | 831 | 821 | W Swoope Avenue | | | | | | | | | | 730 | 274 | | |
| N Denning Drive | | | | | | | | | | | | | | | 541 | 531 | 521 | 445 |
| | | | | | 841 | 839 | 835 | 834 | 831 | 800 | 810 | 820 | 830 | 840 | 850 | 864 | 870 | 351 |
| N Capen Avenue | | | | | | | | | | | | | | | W Canton Avenue | | | |

| | | | | | | | | | | | | | | | | | | |
|-----------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----------------|-----|-----|-----|
| 845 | 843 | 841 | 831 | 821 | 541 | 531 | 521 | 445 | 443 | 796 | 783 | 781 | 785 | 781 | 751 | 756 | 730 | 274 |
| N Denning Drive | | | | | | | | | | | | | | | W Canton Avenue | | | |

- Florida turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- One Way
- Brick Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial/Institutional/Governmental/Misc
- Commercial/Industrial/Vacant Land
- Hydro
- Waste Land
- Agricultural Curtilage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- Block Number
- Lot Number
- Parcel Number
- Parcel Address
- Parcel Dimension

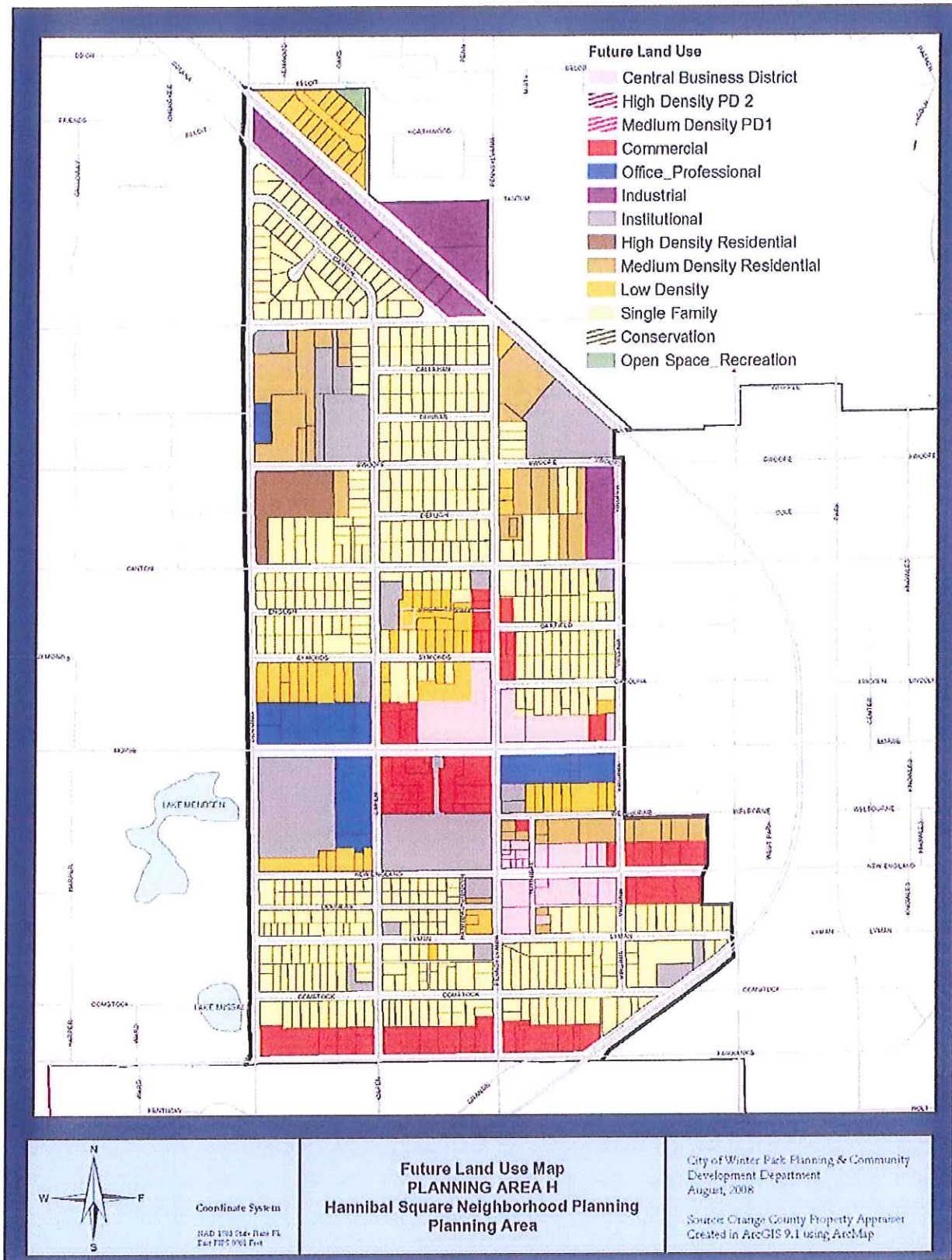


Courtesy, Rick Singh, CFA, Orange County Property Appraiser



This map is for reference only and is not a survey.

Created: 5/14/2014



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dstone@cityofwinterpark.org

May 1, 2014

Ms. Dori Stone
Director of Planning
City of Winter Park
401 South Park Avenue
Winter Park, FL 32789

Re: David Weekly West Canton Avenue Townhome Project
Submittal of Revised Application, Revised Site Plan; revised Elevations

Dear Ms. Dori Stone,

I represent Sydgan Corporation in matters pertaining to the application to amend the Comprehensive Plan and to amend the Zoning Map for the real property located at 755/781/783/831/835 West Canton Avenue and 437/439/441 North Capen Avenue. Please withdraw the requests by the Sydgan Corporation for the Comprehensive Plan Amendments and Rezoning for these properties on West Canton and Capen Avenues and which were heard by the Planning and Zoning Board on April 8, 2014.

The Sydgan Corp has resubmitted revised applications and project plans which now add and include the property at 785 W. Canton Avenue and which request Multi-family (R-3) land use designations along with the same amendments to the Comprehensive Plan policy and a lot consolidation request. We understand these revised applications will be re-advertised for the Planning and Zoning Board meeting to be held on June 3, 2014 and then following their action of a recommendation would go to the City Commission on June 23, 2014. Please accept the attached revised site plan and revised elevations in connection with this application. The applicant hereby requests to modify the application to seek a R-3 zoning change subject to the following conditions:

- Agree to only 2 story attached town homes along entire property frontage of W. Canton Avenue and N. Capen Avenue.
- Agree to limit 2 story maximum height to 30'.
- Agree to construct new sidewalk along entire property frontage of W. Canton Avenue and N. Capen Avenue.
- Agree to convert above ground power to underground power along entire property frontage of W. Canton Avenue and N. Capen Avenue.

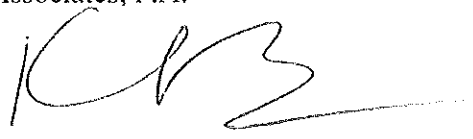
- Agree to install Sternberg decorative street lights along entire property frontage of W. Canton Avenue and N. Capen Avenue.
- Agree to plant live oak street trees spaced 36' O.C along entire property frontage of W. Canton Avenue and N. Capen Avenue.
- Agree to install 6' high PVC fence and live oak trees spaced 30' O.C. along all adjacent R-1A zoning.
- Agree to construct retention pond along west property line adjacent to R-1A zoning to serve as a buffer.
- Agree to construct covered front porches on all homes fronting W. Canton Avenue and N. Capen Avenue. Porches can extend up to 7' into the front building setback.
- Approval of 27 residential units.

Please accept this revised submittal and provide me with staff comments as soon as possible. This proposal is intended to be a compromise that would be in line with staff's prior recommendations to the Planning and Zoning Board dated April 8, 2014. If you have any questions or comments regarding this revised application, please contact me as soon as possible. I appreciate your prompt attention to this matter.

Sincerely,

Booker & Associates, P.A.

By


Kim C. Booker, Attorney at Law

Attachments

*Applicant's Proposed
Development Agreement*

Prepared by: Sydgan Corp.
PO Box 350
Winter Park, Florida 32790

Return to: Cindy Bonham, City Clerk
City of Winter Park, Florida
401 Park Avenue South
Winter Park, Florida 32789

VOLUNTARY COMMITMENT AGREEMENT

(WEST CANTON AVENUE AND CAPEN AVE)

THIS VOLUNTARY COMMITMENT AGREEMENT (“Agreement”) is made this ___ day of _____, 2014, between the **CITY OF WINTER PARK, FLORIDA**, a Florida municipality (“City”), whose address is City Hall, 401 Park Avenue South, Winter Park, Florida 32789, and **DENNING PARTNERS, LTD**, A Florida limited Partnership, **Morney Partnership, Ltd**, a Florida Limited Partnership, and **Winter Park Redevelopment Agency, Ltd**, a Florida Limited Partnership (“Owner”) whose address is Post office Box 350 , Winter Park, Florida 32790.

RECITALS

WHEREAS, the City and Owner desire to modify the City’s Comprehensive Plan future land use designation and zoning district designation for the property at the northwest corner of Canton and Capen Avenues, referred to as the “Property”, more particularly described as:

- **CAPENS REPLAT O/140 LOT 1 (LESS N 127.67 FT THEREOF) (Parcel ID 06-22-30-1170-00-011) 835 W. Canton ave**
- **CAPENS ADDITION TO WINTER PARK A/95 LOT 10 BLK C (Parcel ID 06-22-30-1168-03-100) 831 W. Canton ave**
- **CAPENS ADDITION TO WINTER PARK A/95 THE W 45 FT OF S 100 FT LOT 11 BLK C (Parcel ID 06-22-30-1168-03-111) 785 W. Canton ave**
- **CAPENS ADDITION TO WINTER PARK A/95 THE N 50 FT OF S 150 FT OF W 90 FT AND E 45 FT OF W 90 FT OF S 100 FT OF LOT 11 BLK C (Parcel ID 06-22-30-1168-03-112) 781 W. Canton Ave**
- **CAPENS ADDITION TO WINTER PARK A/95 THE S 50 FT OF N 100 FT OF W 90 FT LOT 11 BLK C (Parcel ID 06-22-30-1168-03-113) 781 W. Canton ave**

- CAPENS ADDITION TO WINTER PARK A/95 THE N 50 FT OF LOT 11 BLK C (Parcel ID 06-22-30-1168-03-114) **783 W. Canton ave**
- CAPENS ADDITION TO WINTER PARK A/95 THE N 50 FT OF LOT 12 BLK C (Parcel ID 06-22-30-1168-03-122) **441 N. Capen ave**
- CAPENS ADDITION TO WINTER PARK A/95 THE S 50 FT OF N 100 FT OF E 90 FT LOT 12 BLK C (Parcel ID 06-22-30-1168-03-124) **439 N. Capen Ave**
- CAPENS ADDITION TO WINTER PARK A/95 THE E 90 FT OF N 50 FT OF S 150 FT LOT 12 BLK C (Parcel ID 06-22-30-1168-03-121) **437 N. Capen Ave**
- CAPENS ADDITION TO WINTER PARK A/95 THE W 45 FT OF E 90 FT OF S 100 FT LOT 12 BLK C (Parcel ID 06-22-30-1168-03-123) **755 W. Canton ave**
- CAPENS ADDITION TO WINTER PARK A/95 THE E 10 FT OF S 200 FT OF LOT 11 & W 10 FT OF S 200 FT OF LOT 12 BLK C (Parcel ID 06-22-30-1168-03-115) **Of Public record Access easement Parcel**

and,

WHEREAS, the Owner has made a voluntary commitment for future redevelopment to occur within limitations as to residential density, Height and infrastructure on the Property as are incorporated within this Agreement, and

WHEREAS, the Owner has further committed to these restrictions being recorded in the public records and running with title to the land.

NOW, THEREFORE, in consideration of the terms and conditions set forth herein, the parties agree as follows:

1. **RESTRICTIONS TO HEIGHT:** The Owner voluntarily agrees that future development on the Property shall be attached townhomes not exceeding two stories in height (30') fronting either Capen ave or Canton ave and three stories in height (39') at the rear of the property abutting the parking garage and two and a half stories in height (38') at the rear of the property abutting R-3 Zoning.
2. **RESTRICTIONS TO DENSITY:** The Owner voluntarily agrees that future development on the Property will be restricted to a maximum residential density of Twenty Six (26) residential units, and that the cumulative maximum floor area density (floor area ratio) shall be no more than XXXX square feet in total for all 26 units on the Property, as defined by the definition of floor area ratio within the City Zoning Code.
3. **OWNER COMMITMENTS TO INFRASTRUCTURE:** Owner or assigns agree to construct new sidewalk along entire property frontage of W. Canton Avenue and N. Capen Avenue. Agree to convert above ground power

to underground power along entire property frontage of W. Canton Avenue and N. Capen Avenue. Agree to install Sternberg decorative street lights along entire property frontage of W. Canton Avenue and N. Capen Avenue. Agree to plant live oak street trees spaced 36' O.C along entire property frontage of W. Canton Avenue and N. Capen Avenue. Agree to install 6' high PVC fence and live oak trees spaced 30' O.C. along all adjacent R-1A zoning.

4. **OWNER COMMITMENTS TO ARCHITECTURE:** Owner or Assigns agree to construct covered front porches on all homes fronting W. Canton Avenue and N. Capen Avenue. Porches can extend up to 7' into the front building setback.
5. **BINDING EFFECT:** This Agreement shall be binding upon City and the Owner and their successors and assigns in interest and all other parties acquiring any interest in the Property, and shall inure to the benefit of the City, and shall be a covenant running with the land.
6. **AUTHORITY:** Each party represents and warrants to the other that it has all necessary power and authority to enter into and consummate the terms and conditions of this Agreement and that all acts, approvals, procedures and similar matters required in order to authorize this Agreement have been taken or followed, as the case may be, and that upon execution of this Agreement by both parties, this Agreement shall be valid and binding upon the parties hereto and their successors in interest.
7. **GOVERNING LAW:** This Agreement shall be governed by and construed in accordance with the laws of the State of Florida.
5. **SEVERABILITY:** If any provisions of this Agreement are found to be illegal or invalid, the other provisions of this Agreement shall remain in full force and effect.
6. **RECITATIONS:** The Recitals are hereby incorporated as if fully set forth herein.

7. **THIRD PARTY BENEFICIARIES:** This Agreement gives no rights or benefits to anyone other than the City and Owner and has no third-party beneficiaries, except as otherwise provided herein.
8. **AMENDMENT.** This Agreement may be amended or terminated only by a written instrument executed by the parties hereto or by their respective successors in interest or assigns, and approved by the City Commission after public hearing.
9. **RECORDING.** This Agreement shall be recorded by the City, at Developer's expense, among the Public Records of Orange County, Florida. The recordation of this Agreement shall not constitute or impose any lien or encumbrance upon the title in the Property and shall instead only constitute record notice of governmental regulations which govern the development and use of the Property.
10. **SUBORDINATION/JOINDER.** Unless otherwise agreed to by the City, all liens, mortgages and other encumbrances not satisfied or released of record, must be subordinated to the terms of this Agreement or the lienholder must join in this Agreement. It shall be the responsibility of the Developer to promptly obtain the said subordination or joinder, in form and substance acceptable to the City Attorney, prior to the City's execution of this Agreement.
11. **NOTICES:** Any notices required or permitted to be made or given to either party pursuant to this Agreement shall be in writing and shall be delivered as follows with notice deemed given as indicated: (i) by personal delivery when delivered personally; (ii) by overnight courier upon written notification of receipt; or (iii) by email or facsimile transmission upon acknowledgment of receipt of electronic transmission. Notices shall be addressed to the parties identified below, unless otherwise changed by proper notice to the respective parties.

OWNER:

Denning Partners, Ltd, a Florida Limited Partnership
Post Office Box 350
Winter Park, Florida 32790
Attn: Daniel B. Bellows

Morney Partnership, Ltd, a Florida Limited Partnership
Post Office Box 350
Winter Park, Florida 32790
Attn: Daniel B. Bellows

Winter Park Redevelopment Agency, Ltd, a Florida Limited Partnership
Post Office Box 350
Winter Park, Florida 32790
Attn: Daniel B. Bellows

CITY:

City of Winter Park
401 South Park Avenue
Winter Park, Florida 32789
Attn: City Manager

With a Copy to:

Usher L. Brown, Esquire
Brown, Garganese, Weiss & D'Agresta
111 N. Orange Avenue, Suite 2000
Orlando, Florida 32802
Telephone: 407-425-9566
Fax: 407-425-9596

12. **SPECIFIC PERFORMANCE:** The parties hereto shall have the right to enforce the terms and conditions of this Agreement by an action for specific performance.

IN WITNESS WHEREOF, the parties have caused these presents to be executed as of the date and year first above written.

Signed, sealed and delivered
in the presence of :

CITY OF WINTER PARK, FLORIDA
a municipal corporation

Signature

By: _____
Kenneth W. Bradley, Mayor

Print Name

ATTEST:

Signature

By: _____
Cynthia S. Bonham, City Clerk

Print Name

Date: _____

STATE OF FLORIDA
COUNTY OF ORANGE

Acknowledged before me this _____ day of _____ 2014, by Kenneth W. Bradley as Mayor of the City of Winter Park, who is personally known to me or has produced _____ (type of identification) as identification and he acknowledged that he executed the above document for the City.

Notary Public, State of Florida

Print, Type or Stamp Commissioned Name of
Notary Public

Denning Partnership, ltd
a Florida limited partnership

Signature

By: _____
Daniel B. Bellows, President

Print Name

Date: _____

Signature

Print Name

STATE OF FLORIDA
COUNTY OF ORANGE

Acknowledged before me this _____ day of June, 2014, by Daniel B. Bellows, President of The New England ave Development Company, a Florida corporation, the general partner for Denning Partners, Ltd, a Florida limited partnership, who is personally known to me or has produced _____ (type of identification) as identification

Notary Public, State of Florida

Print, Type or Stamp Commissioned Name of
Notary Public

STATE OF FLORIDA
COUNTY OF ORANGE

Acknowledged before me this _____ day of June, 2014, by Daniel B. Bellows, President of The Winter Park Redevelopment Management Company, a Florida corporation, the general partner for The Winter Park Redevelopment Agency, Ltd, a Florida limited partnership and Morney Partnership, Ltd a Florida Limited Partnership, who is personally known to me or has produced _____ (type of identification) as identification

Notary Public, State of Florida

Print, Type or Stamp Commissioned Name of
Notary Public

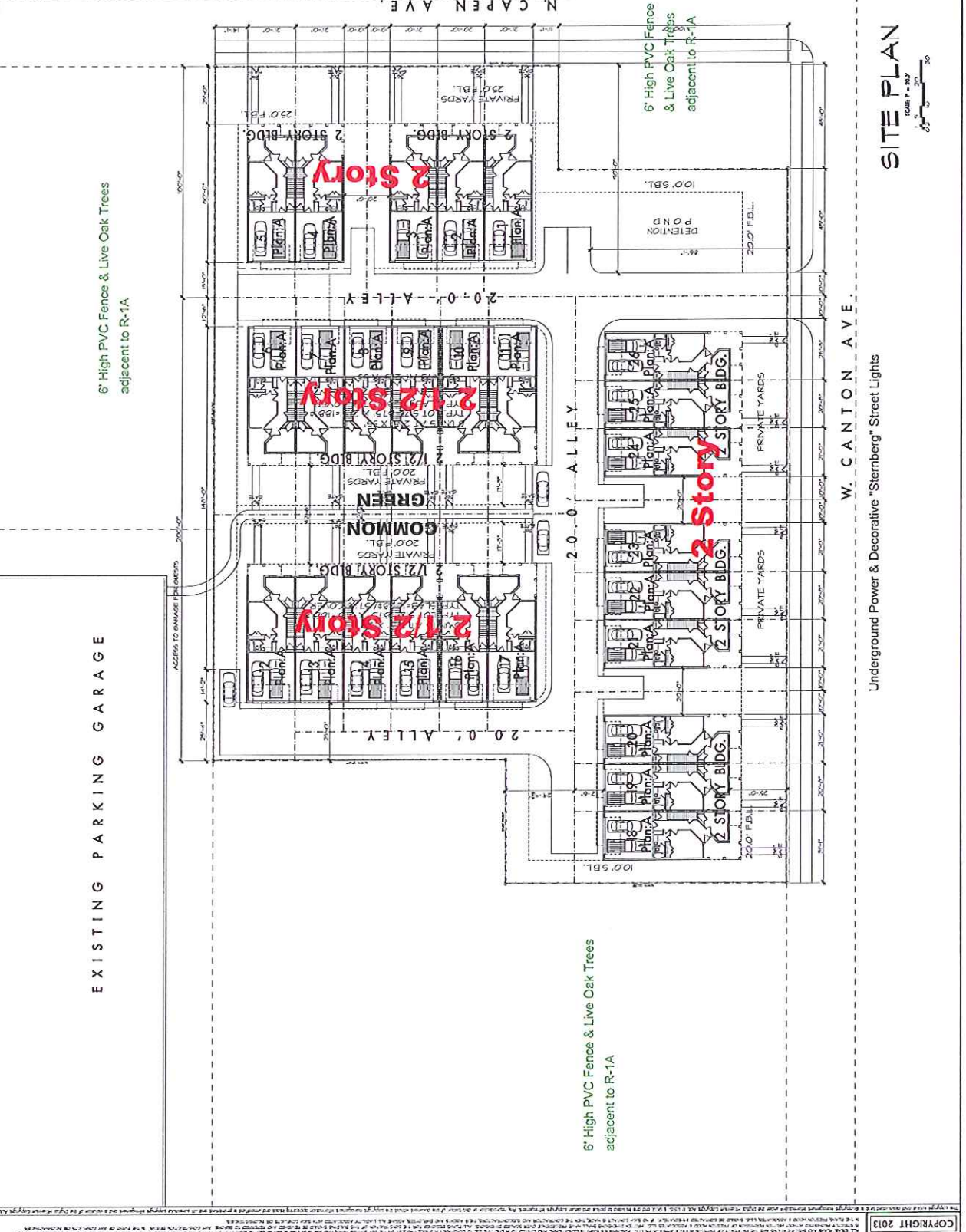
David Weekley Homes

1875 Ardmore Blvd
 Columbus, OH 43221
 614-891-1234
 www.davidweekley.com

PROJECT: 1875 ARDMORE BLVD
 SHEET: 2 OF 2
 DATE: 05/20/2013

| COMMON DRAWING ABBREVIATIONS BY OTHERS - IF REQUIRED | |
|------------------------------------------------------|------------------|
| ① | ELEVATION MARK |
| ⊙ | ELECTRICAL METER |
| ⊕ | WATER METER |
| ⊖ | GAS METER |
| ⊗ | POLE (TYPE) |
| ⊙ | PHONE STD |
| ⊕ | SEWER CLEAN OUT |
| ⊖ | HOZE BIB |
| ⊗ | NO. (TYPE) |

| LOT CALCULATIONS | |
|----------------------------|------------|
| LOT SIZE: | 110x45 |
| # OF LOTS: | 26 |
| # PLANS: | 14 |
| # PLANS: | 14 |
| 1800 sq Living | 20 Stories |
| 1st-Ent-Bdrm-2-Bath-B-Dor | 12 |
| 2nd-Ent-Bdrm-2-Bath-B-Dor | 12 |
| 3rd-Ent-Bdrm-2-Bath-B-Dor | 12 |
| 4th-Ent-Bdrm-2-Bath-B-Dor | 12 |
| 5th-Ent-Bdrm-2-Bath-B-Dor | 12 |
| 6th-Ent-Bdrm-2-Bath-B-Dor | 12 |
| 7th-Ent-Bdrm-2-Bath-B-Dor | 12 |
| 8th-Ent-Bdrm-2-Bath-B-Dor | 12 |
| 9th-Ent-Bdrm-2-Bath-B-Dor | 12 |
| 10th-Ent-Bdrm-2-Bath-B-Dor | 12 |
| 11th-Ent-Bdrm-2-Bath-B-Dor | 12 |
| 12th-Ent-Bdrm-2-Bath-B-Dor | 12 |



SITE PLAN

SCALE: 1" = 20'

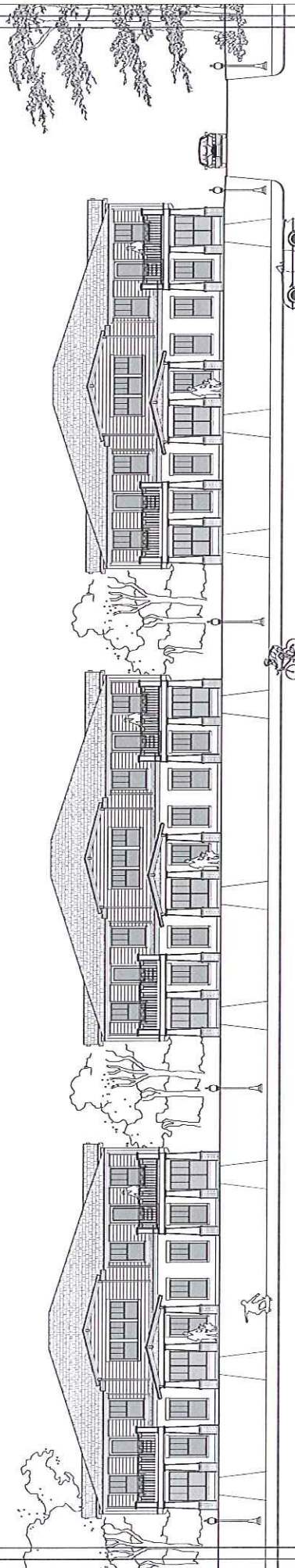
0' 20' 40'

W. CANTON AVE.
 Underground Power & Decorative "Sternberg" Street Lights

6' High PVC Fence & Live Oak Trees
 adjacent to R-1A

6' High PVC Fence & Live Oak Trees
 adjacent to R-1A

2 STORY BUILDING ELEVATION



CANTON STREET ELEVATION

David Weekley Homes

2 1/2 STORY BUILDING ELEVATIONS



David Weekley Homes

DAVID WEEKLEY HOMES
 1000 WEST 10TH AVENUE, SUITE 100
 DENVER, CO 80202
 (303) 733-1000
 WWW.DAVIDWEEKLEYHOMES.COM

PROJECT NO. 10000000000000000000



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| 1 | RENDERED FRONT |
| 2 | SITE PLAN |
| 3 | FIRST, SECOND, & THIRD FLOOR |
| 4 | FRONT & LEFT ELEVATIONS |
| 5 | REAR & RIGHT ELEVATIONS |
| 6 | SECTIONS A-A |
| 7 | MILLWORK |
| 8 | FIRST, SECOND, & THIRD ELECTRICAL & |
| 9 | FOUNDATION OUTLINE & ROOF PLAN |
| 10 | GENERAL DETAIL SHEET - LAST SHEET |

David Weekley Homes

David Weekley Homes

WINTER PARK

PWA JOB # 10000000000000000000

DESIGN DEVELOPMENT

ISSUE DATE: 20 APR 2004

1 OF 10

**CITY OF WINTER PARK
PLANNING AND ZONING BOARD**

**Staff Report
June 3, 2014**

REQUEST OF PHIL KEAN DESIGN GROUP FOR: AN ORDINANCE AMENDING THE "COMPREHENSIVE PLAN" AND THE FUTURE LAND USE MAP SO AS CHANGE THE FUTURE LAND USE MAP DESIGNATION OF COMMERCIAL TO CENTRAL BUSINESS DISTRICT ON THE PROPERTY AT 421 W. MORSE BOULEVARD.

REQUEST OF PHIL KEAN DESIGN GROUP FOR: AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP SO AS CHANGE THE EXISTING ZONING DESIGNATION OF LIMITED COMMERCIAL (C-3A) DISTRICT TO COMMERCIAL (C-2) DISTRICT ON THE PROPERTY AT 421 W. MORSE BOULEVARD.

REQUEST OF PHIL KEAN DESIGN GROUP FOR: CONDITIONAL USE APPROVAL TO REDEVELOP THE PROPERTIES AT 403 AND 421 WEST MORSE BOULEVARD, ZONED C-2, INTO EIGHT, THREE STORY RESIDENTIAL UNITS WITH A TOTAL PROJECT SIZE OF 28,964 SQUARE FEET.

This public hearing involves the request by the Phil Kean Design Group, who have a contract to purchase (contingent upon rezoning) the two properties at the 403 & 421 W. Morse Boulevard, which is the northwest corner of Morse and Virginia Avenue. The former Alan Parker real estate office building is on corner at 403 W. Morse and that property is zoned Commercial (C-2). The adjacent 421 W. Morse property is a former homestead, zoned R-3. The entire property is 145 feet along Morse Blvd. and 143 feet along Virginia Avenue and is 21,038 sq. ft. (0.48 acres). See maps attached.

Both buildings are proposed to be demolished for redevelopment of this combined property into eight "Brownstone" townhouses. The applicant is seeking a change to the Comp. Plan future land use and zoning for the 421 W. Morse property to Central Business District and C-2 zoning. Then they are requesting conditional use approval to build the three story residential townhouse project of eight units comprising a total project size of 28,924 square feet. The project is a Conditional Use because it has a building over 10,000 square feet and because any three story building in the C-2 zoning requires Conditional use approval.

CRA/Zoning Background:

When the Community Redevelopment Area was established in 1994, one of the primary goals was to encourage the redevelopment of West New England Avenue from Pennsylvania to New York Avenue and West Morse Boulevard. To that end, the City administratively changed the Comprehensive Plan future land use map in 1995 for all the properties which were Residential to a Commercial future land use. In that way, anyone buying a property would know they were guaranteed to be able to get that property rezoned from residential to office or commercial. By "commercial" that meant at that time to be rezoned to general commercial C-3 or C-3A.

However, when the redevelopment of Morse Boulevard began in earnest in 1999 with the redevelopment of the office buildings and parking garage at the NW corner of Morse and Pennsylvania, the zoning needed for that density and building setback, up close to the street, was the central business district, C-2 designation. The major difference between general commercial C-3 zoning and central business district C-2 zoning is that C-3 has a 45% FAR and 10 foot street setbacks and the C-2 zoning has a 200% FAR and allows buildings with zero front setbacks right at the sidewalk.

In turn, several other properties along West Morse Blvd have been designated for Central Business District future land use such as the vacant NE corner of Morse and Pennsylvania in 2000; the Regions Bank site in 2003 and also Alan Parker's former office property (403 W. Morse) in 2003.

Project Development Standard Parameters:

The CBD land use and C-2 zoning allow a maximum of 17 units/acre. Based on this lot size, these eight units are the maximum number permitted. The CBD/C-2 has a maximum FAR of 200% and this project is at 138%. The height limit for three story buildings is 40 feet and this project is at 36 feet plus the allowable parapet and mechanical/elevator height. The Code requires that the third floor be stepped back from the façade of the first two floors in order to articulate or break up the street facing facades. In this case, the design takes different approaches by protruding or bumping out parts of the facades of each unit on the first and second floors as well the traditional approach for one unit on Virginia. These design variations all accomplish the intent of building articulation and not have one flat building façade.

The street front setbacks could be at zero feet in C-2 but they have chosen to stay generally in line with the 10 foot front setback of the adjacent Regions Bank development which also allows the opportunity for front stairs leading down to the street from the main living space level on the second floor, which is a key design element of the "Brownstones" theme of this project.

Parking is being provided per Code (2 ½ spaces per unit) as well as providing space for a trash dumpster and area for storm water retention.

If 421 W. Morse Blvd were to be zoned C-3 versus C-2, there isn't much difference between what could be built with the blended C-3/C-2 zoning. They would comply with unit density, setbacks, building height and impervious coverage. The only issues would be that C-3 doesn't not allow first floor residential and they need slightly more FAR than the 105% of the blended combination. Thus, per this project, all the C-2 versus C-3 in providing in development is the ability to have an entirely residential project and about 7,000 square foot of added living space in the project.

Staff Analysis of the Applicant's Requests:

The proposed changes to the Comp. Plan FLU and Zoning are consistent with how the rest of the north side of this block is designated. There is a great market desire for residential units within close proximity to Park Avenue. The layout allows these units to be sold as fee simple units subject to a Homeowners Association for the common elements. The development plan presented to the City does not fully utilize all of the development potential of the CBD land use and C-2 zoning code. This will be a quality architectural product that fits in with the context of the surrounding area.

STAFF RECOMMENDATION IS FOR APPROVAL of the request for Central Business District FLU and C-2 Zoning for 421 W. Morse Blvd. and APPROVAL of the Conditional Use for the three story, eight unit townhouse project, as presented.

- Florida turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- One Way
- Brick Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial
- Institutional
- Governmental
- Institutional/Misc
- Commercial/Misc
- Industrial
- Vacant Land
- Hydro
- Waste Land
- Agricultural
- Curtilage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- Block Number
- Lot Number
- Parcel Number
- Parcel Address
- Parcel Dimension



N PENNSYLVANIA AVE

| | | | | | | | | | | | | | |
|------------------------------------------------------------|----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 13 |
| 37 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 45 |
| COURTESY RICK SINGH, CFA, ORANGE COUNTY PROPERTY APPRAISER | | | | | | | | | | | | | |
| CAROLINA AVE | | | | | | | | | | | | | |
| 37 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 45 |
| 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1 | 45 |
| 13 | 13 | 106 | 110 | 135 | 135 | 135 | 135 | 135 | 135 | 135 | 135 | 135 | 135 |
| 37 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 45 |
| 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 13 |
| 36 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 45 |
| Regions Bank & Investments Regions Bank | | | | | | | | | | | | | |
| 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 13 |
| 36 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 45 |
| Regions Bank & Investments Regions Bank | | | | | | | | | | | | | |
| 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 13 |
| 36 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 45 |
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| 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 13 |
| 36 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 45 |
| Regions Bank & Investments Regions Bank | | | | | | | | | | | | | |



R-4 Park West

W MORSE BLVD

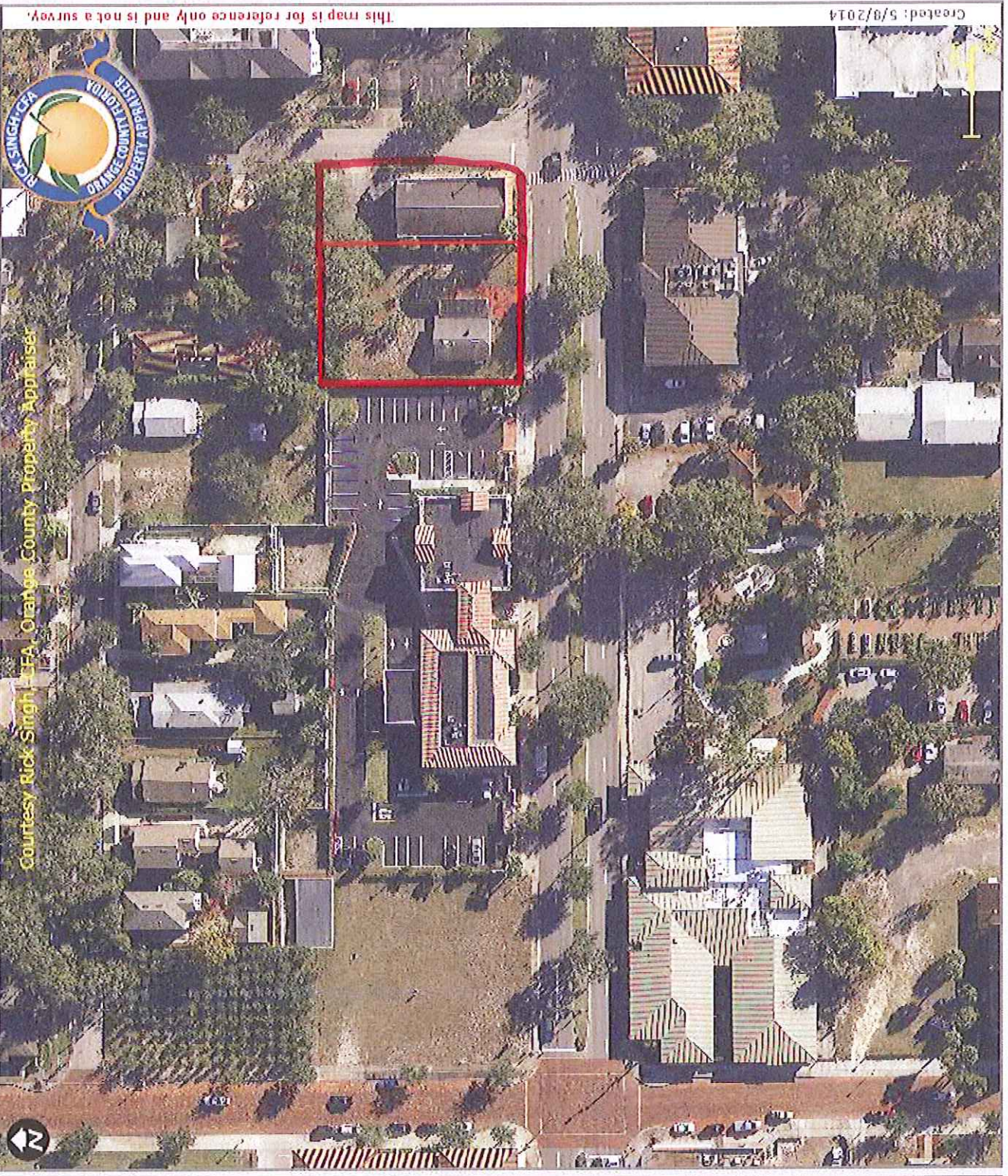
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|-----------------------------------------|----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 13 |
| 36 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 45 |
| DEPUGH NURSING | | | | | | | | | | | | | |
| 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1 | 45 |
| 14 | 14 | 146 | 146 | 146 | 146 | 146 | 146 | 146 | 146 | 146 | 146 | 146 | 146 |
| 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 13 |
| 36 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 45 |
| Regions Bank & Investments Regions Bank | | | | | | | | | | | | | |
| 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 13 |
| 36 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 50 | 45 |
| Regions Bank & Investments Regions Bank | | | | | | | | | | | | | |

S VIRGINIA AVE

Created: 5/8/2014

This map is for reference only and is not a survey.

- Florida turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
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- Hydro
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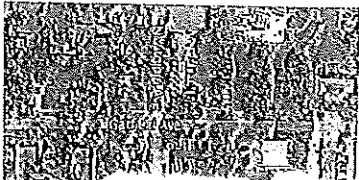
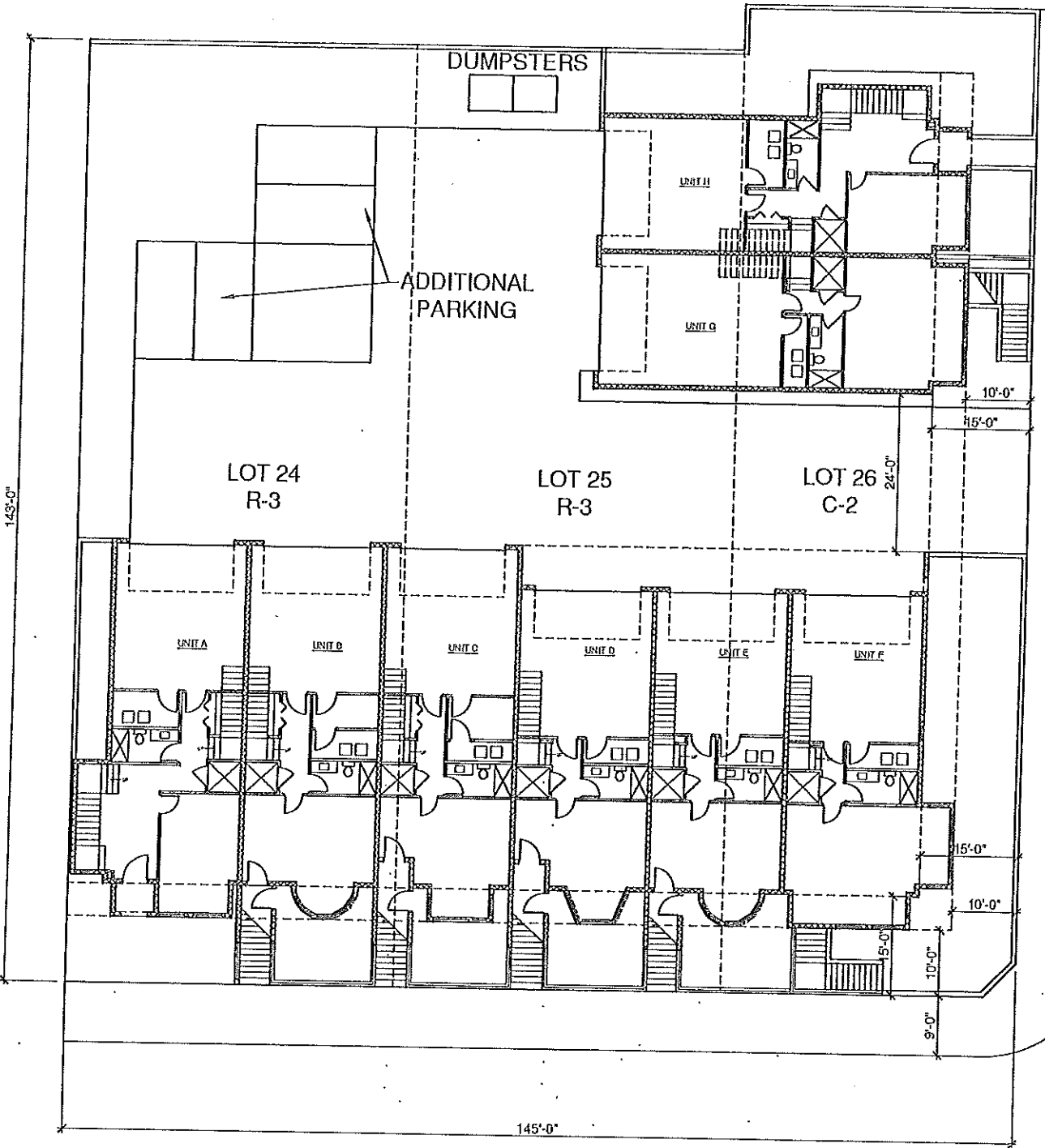


Courtesy Rick Singh, LEA, Orange County Property Appraiser



This map is for reference only and is not a survey.

Created: 5/9/2014



PROPOSED SITE PLAN

SCALE: 1" = 10'-0"



PUBLIC NOTICE

NOTICE is hereby given that a public hearing will be held by the **Planning and Zoning Commission** of the City of Winter Park, Florida on **Tuesday, June 3, 2014 at 6:00 p.m.** and by the **City Commission** on **Monday, June 23, 2014 at 3:30 p.m.** in the Commission Chambers of City Hall at 401 S. Park Avenue, Winter Park, Florida, 32789 to consider the following **PUBLIC HEARINGS**:

REQUEST OF UP FIELDGATE US INVESTMENTS – WINTER PARK LLC FOR: CONDITIONAL USE APPROVAL TO REDEVELOP THE FORMER CORPORATE SQUARE AND WINTER PARK DODGE PROPERTIES WITH A 40,000 SQUARE FOOT WHOLE FOODS GROCERY AND A 36,000 SQUARE FOOT RETAIL BUILDING WITH THREE OUTPARCEL DEVELOPMENT SITES ON THE PROPERTIES AT 1000/1050 N. ORLANDO AVENUE, 1160 GALLOWAY DRIVE AND 967 CHEROKEE AVENUE.

REQUEST OF PHIL KEAN DESIGN GROUP FOR: AN ORDINANCE AMENDING THE "COMPREHENSIVE PLAN" AND THE FUTURE LAND USE MAP SO AS CHANGE THE FUTURE LAND USE MAP DESIGNATION OF COMMERCIAL TO CENTRAL BUSINESS DISTRICT ON THE PROPERTY AT 421 W. MORSE BOULEVARD.

REQUEST OF PHIL KEAN DESIGN GROUP FOR: AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP SO AS CHANGE THE EXISTING ZONING DESIGNATION OF LIMITED COMMERCIAL (C-3A) DISTRICT TO COMMERCIAL (C-2) DISTRICT ON THE PROPERTY AT 421 W. MORSE BOULEVARD.

REQUEST OF PHIL KEAN DESIGN GROUP FOR : CONDITIONAL USE APPROVAL TO REDEVELOP THE PROPERTIES AT 403 AND 421 WEST MORSE BOULEVARD, ZONED C-2, INTO EIGHT, THREE STORY RESIDENTIAL UNITS WITH A TOTAL PROJECT SIZE OF 28,964 SQUARE FEET.

REQUEST OF THE SYDGAN CORP. FOR: AN ORDINANCE AMENDING THE "COMPREHENSIVE PLAN" SO AS TO CHANGE THE FUTURE LAND USE DESIGNATION OF SINGLE FAMILY TO MEDIUM DENSITY RESIDENTIAL LAND USE ON THE PROPERTIES AT 755/781/783/785/831/835 WEST CANTON AVENUE AND AT 437/439/441 NORTH CAPEN AVENUE, AND TO REVISE POLICIES IN THE FUTURE LAND USE ELEMENT RELATING TO THREE STORY BUILDINGS WITHIN THESE FUTURE LAND USE DESIGNATIONS WHEN LOCATED WITHIN 100 FEET OF PARKING GARAGES OR COMMERCIAL DEVELOPMENT AND THE POLICY DIRECTION FOR SUCH FUTURE LAND USE AMENDMENTS.

REQUEST OF THE SYDGAN CORP. FOR: AN ORDINANCE AMEND THE OFFICIAL ZONING MAP SO AS TO CHANGE SINGLE FAMILY RESIDENTIAL (R-1A) ZONING TO MEDIUM DENSITY MULTI-FAMILY RESIDENTIAL (R-3) DISTRICT ZONING ON THE PROPERTIES AT 755/781/783/785/831/835 WEST CANTON AVENUE AND AT 437/439/441 NORTH CAPEN AVENUE.

REQUEST OF THE SYDGAN CORP. FOR: A LOT CONSOLIDATION UNDER SECTION 58-392 OF CHAPTER 58 "LAND DEVELOPMENT CODE" SO AS TO COMBINE THE PROPERTIES AT 755/781/783/785/831/835 WEST CANTON AVENUE AND AT 437/439/441 NORTH CAPEN AVENUE INTO ONE CONSOLIDATED PARCEL FOR A UNIFIED RESIDENTIAL DEVELOPMENT, SUBJECT TO SITE PLAN APPROVAL BY THE CITY.

REQUEST OF THE SYDGAN CORP. FOR: CONDITIONAL USE APPROVAL TO REDEVELOP THE PROPERTIES AT 755/781/783/785/831/835 WEST CANTON AVENUE AND AT 437/439/441 NORTH CAPEN AVENUE INTO ONE CONSOLIDATED PARCEL FOR A RESIDENTIAL DEVELOPMENT OF 7 TWO AND THREE STORY TOWNHOUSE RESIDENTIAL UNITS WITH A TOTAL PROJECT SIZE OF APPROXIMATELY 67,500 SQUARE FEET.

All interested parties are invited to attend and be heard. Additional information is available in the Planning Department so that citizens may acquaint themselves with each issue and receive answers to any questions they may have prior to the meeting.

NOTE: If a person decides to appeal any decision made by the Commission with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. (F.S. 286.0105). Persons with disabilities needing assistance to participate in any of these proceedings should contact the Planning Department at 407-599-3453 at least 48 hours in advance of the meeting.

/s/ Cindy S. Bonham, MMC
City Clerk

PUBLISH: Sunday, May 18, 2014~Orlando Sentinel

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF WINTER PARK, FLORIDA AMENDING CHAPTER 58, "LAND DEVELOPMENT CODE", ARTICLE I "COMPREHENSIVE PLAN" FUTURE LAND USE MAP SO AS TO CHANGE THE FUTURE LAND USE DESIGNATION OF MEDIUM DENSITY MULTI-FAMILY RESIDENTIAL TO CENTRAL BUSINESS DISTRICT ON THE PROPERTY AT 421 WEST MORSE BOULEVARD, MORE PARTICULARLY DESCRIBED HEREIN.

WHEREAS, the Winter Park City Commission adopted its Comprehensive Plan on February 23, 2009 via Ordinance 2762-09, and

WHEREAS, Section 163.3184, Florida Statutes, establishes a process for adoption of comprehensive plans or plan amendments amending the future land use designation of property; and

WHEREAS, this Comprehensive Plan amendment meets the criteria established by Chapter 163 and 166, Florida Statutes; and pursuant to and in compliance with law, notice has been given to Orange County and to the public by publication in a newspaper of general circulation to notify the public of this proposed Ordinance and of public hearings to be held; and

WHEREAS, the Winter Park Planning and Zoning Commission, acting as the designated Local Planning Agency, has reviewed and recommended adoption of the proposed Comprehensive Plan amendment, having held an advertised public hearing on June 3, 2014, provided for participation by the public in the process, and rendered its recommendations to the City Commission; and

WHEREAS, the Winter Park City Commission has reviewed the proposed Comprehensive Plan amendment and held advertised public hearings on June 23, 2014 and July 14, 2014 and provided for public participation in the process in accordance with the requirements of state law and the procedures adopted for public participation in the planning process.

NOW THEREFORE BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, AS FOLLOWS:

SECTION 1. That Chapter 58 "Land Development Code", Article I, "Comprehensive Plan" future land use plan map is hereby amended so as to change the future land use map designation of medium density multi-family residential to central business district on the property at 421 West Morse Boulevard, more particularly described as follows:

Lots 24 & 25 and the south half of the vacated alley adjacent thereto within Block 32, Revised Map of the Town of Winter Park as recorded in Plat Book "A", Pages 67-72 of the Public Records of Orange County, Florida.

Property Tax ID # 05-22-30-9400-32-240

SECTION 2. Severability. If any Section or portion of a Section of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other Section or part of this Ordinance.

SECTION 3. Conflicts. All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

SECTION 4. Effective Date. An amendment adopted under this paragraph does not become effective until 31 days after adoption. If timely challenged, an amendment may not become effective until the state land planning agency or the Administration Commission enters a final order determining that the adopted small scale development amendment is in compliance.

ADOPTED at a regular meeting of the City Commission of the City of Winter Park, Florida, held in City Hall, Winter Park, on this _____ day of _____, 2014.

Mayor

Mayor

Attest:

City Clerk

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 58 "LAND DEVELOPMENT CODE" ARTICLE III, "ZONING" AND THE OFFICIAL ZONING MAP SO AS TO CHANGE MEDIUM DENSITY MULTI-FAMILY RESIDENTIAL (R-3) DISTRICT ZONING TO COMMERCIAL (C-2) DISTRICT ZONING ON THE PROPERTY AT 421 WEST MORSE BOULEVARD, MORE PARTICULARLY DESCRIBED HEREIN, PROVIDING FOR CONFLICTS, SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the owners of property at 421 W. Morse Boulevard have requested a Zoning map amendment consistent with the amended Comprehensive Plan, and the requested zoning text change will achieve conformance with the Comprehensive Plan for the property and such municipal zoning meets the criteria established by Chapter 166, Florida Statutes and pursuant to and in compliance with law, notice has been given to Orange County and to the public by publication in a newspaper of general circulation to notify the public of this proposed Ordinance and of public hearings to be held; and

WHEREAS, the Planning and Zoning Board of the City of Winter Park has recommended approval of this Ordinance at their June 3, 2014 meeting; and

WHEREAS, the City Commission of the City of Winter Park held a duly noticed public hearing on the proposed zoning change set forth hereunder and considered findings and advice of staff, citizens, and all interested parties submitting written and oral comments and supporting data and analysis, and after complete deliberation, hereby finds the requested change consistent with the City of Winter Park Comprehensive Plan and that sufficient, competent, and substantial evidence supports the zoning change set forth hereunder; and

WHEREAS, the City Commission hereby finds that this Ordinance serves a legitimate government purpose and is in the best interests of the public health, safety, and welfare of the citizens of Winter Park, Florida.

NOW THEREFORE BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, AS FOLLOWS:

SECTION 1. Official Zoning Map Amendment. That Chapter 58 "Land Development Code", Article III, "Zoning" and the Official Zoning Map is hereby amended so as to change the zoning designation of Medium Density Multi-Family (R-3) District to Commercial (C-2) on the property at 421 W. Morse Boulevard, more particularly described as follows:

Lots 24 & 25 and the south half of the vacated alley adjacent thereto within Block 32, Revised Map of the Town of Winter Park as recorded in Plat Book "A", Pages 67-72 of the Public Records of Orange County, Florida.

Property Tax ID # 05-22-30-9400-32-240

SECTION 2. Severability. If any Section or portion of a Section of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other Section or part of this Ordinance.

SECTION 3. Conflicts. All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

SECTION 4. Effective Date. This Ordinance shall become effective upon the effective date of Ordinance _____. If Ordinance _____ does not become effective, then this Ordinance shall be null and void.

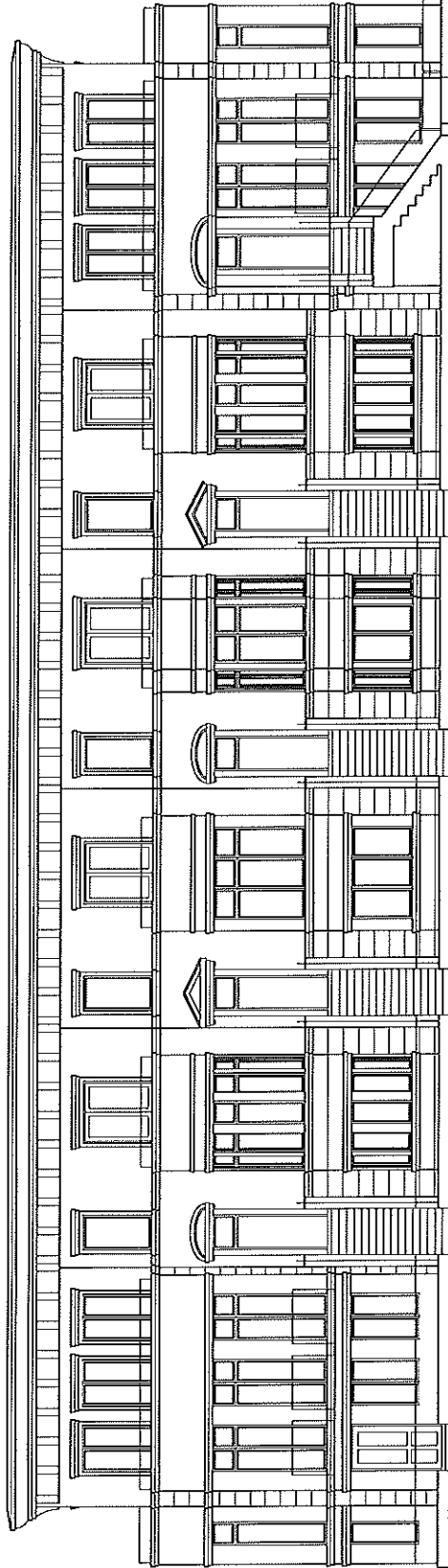
ADOPTED at a regular meeting of the City Commission of the City of Winter Park, Florida, held in City Hall, Winter Park, on this _____ day of _____, 2014.

Mayor

Attest:

City Clerk

BROWNSTONE



MORSE & VIRGINIA WINTER PARK, FLORIDA

| | |
|---------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| DESIGNER: | PHIL KCAN DESIGN GROUP ARCHITECTURE / CONSTRUCTION / INTERIOR 100 N. Lake Park Avenue Winter Park, Florida 32789 PH: 407.835.1141 FAX: 407.835.1143 WWW.PHILKCANDESIGN.COM |
| ENGINEER: | |
| PROJECT INFO: | 421 W. Morse Blvd & 403 W. Morse Blvd |
| PLAN HISTORY: | |
| DATE | 12-1-13 |
| PRELIM DESIGN | |
| PLZ REVIEW | 03-26-14 |
| SHEET DATA: | DESIGNED BY: PHIL KCAN DRAWN BY: JASON PUSKE |
| SHEET DESCRIPTION: | COVERSHEET |
| SHEET: | CS |

NOTES

BASED ON THE FLORIDA RESIDENTIAL BUILDING CODE 2010

TO THE BEST OF THE ENGINEER'S INTERPRETATION, THESE DRAWINGS, INCLUDING JOB FIELD NOTICES, INTENT, DETAILED AND REVISIONS, PROTECTION LABELS FOR USE AS A PREVENTIVE TREATMENT TO NEW WOOD, COMPLETION OF THE APPLICATION OF THE TREATMENT, TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT. THE FOLLOWING STATEMENT: THE BUILDING HAS RECEIVED A COMPLETE TREATMENT IN ACCORDANCE WITH RULES AND LAWS SET FORTH BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

CONSTRUCTION NOTES:
CONSTRUCTION SHALL COMPLY WITH ALL DIMENSIONS IN THE FIELD AND NOTIFY THE FLORIDA BUILDING CODE 2010 SECTION 10.1.1. ALL CONSTRUCTION SHALL BE BRANDED AND SIGNED BY THE CONTRACTOR AS REQUIRED TO SAFELY PERFORM THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
ALL CONSTRUCTION SHALL BE BRANDED AND SIGNED BY THE CONTRACTOR AS REQUIRED TO SAFELY PERFORM THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
ALL CONSTRUCTION SHALL BE BRANDED AND SIGNED BY THE CONTRACTOR AS REQUIRED TO SAFELY PERFORM THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

ROOF COVERINGS:
ALL ROOF COVERINGS SHALL BE NOTED ON PLANS AND COMPLY WITH ALL REQUIREMENTS FOR INSTALLATION, FLASHING, AND DRAINAGE. ALL ROOF COVERINGS SHALL BE FURNISHED BY THE GENERAL CONTRACTOR. ALL ROOF COVERINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

WINDOWS AND DOORS:
ALL WINDOWS AND DOORS SHALL BE DESIGNED TO MEET AT LEAST THE MINIMUM REQUIREMENTS FOR ENERGY EFFICIENCY. ALL WINDOWS AND DOORS SHALL BE FURNISHED BY THE GENERAL CONTRACTOR AS AN INTEGRAL PART OF THE BUILDING ENVELOPE. ALL WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

STAIR AND RAILING NOTES:
STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 901.7. ALL STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 901.7. ALL STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 901.7. ALL STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 901.7.

MEANS OF EGRESS:
ALL MEANS OF EGRESS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF CHAPTER 901.7. ALL MEANS OF EGRESS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF CHAPTER 901.7. ALL MEANS OF EGRESS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF CHAPTER 901.7.

MECHANICAL AND HVAC:
ALL MECHANICAL AND HVAC SYSTEMS SHALL BE DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF CHAPTER 901.7. ALL MECHANICAL AND HVAC SYSTEMS SHALL BE DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF CHAPTER 901.7. ALL MECHANICAL AND HVAC SYSTEMS SHALL BE DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF CHAPTER 901.7.

TERMINATE

SECTION 901.6 PROTECTION AGAINST TERMINATE
TERMINATE PROTECTION SHALL BE PROVIDED BY REGISTERED TRADESMEN, INCLUDING JOB FIELD NOTICES, INTENT, DETAILED AND REVISIONS, PROTECTION LABELS FOR USE AS A PREVENTIVE TREATMENT TO NEW WOOD, COMPLETION OF THE APPLICATION OF THE TREATMENT, TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT. THE FOLLOWING STATEMENT: THE BUILDING HAS RECEIVED A COMPLETE TREATMENT IN ACCORDANCE WITH RULES AND LAWS SET FORTH BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

- 1) METHOD OF TREATMENT SHALL BE APPROVED BY THE GOVERNING JURISDICTION. TREATMENT SHALL BE APPLIED TO ALL EXPOSED WOOD SURFACES. TREATMENT SHALL BE APPLIED TO ALL EXPOSED WOOD SURFACES. TREATMENT SHALL BE APPLIED TO ALL EXPOSED WOOD SURFACES.
- 2) PRECURE TREATED LUMBER THAT HAS BEEN OIL OR DRILLED THAT IS NOT PRECURED. PRECURE TREATED LUMBER THAT HAS BEEN OIL OR DRILLED THAT IS NOT PRECURED. PRECURE TREATED LUMBER THAT HAS BEEN OIL OR DRILLED THAT IS NOT PRECURED.
- 3) APPLY TO ALL FRAMING MEMBERS WITHIN 3" A.F.F.

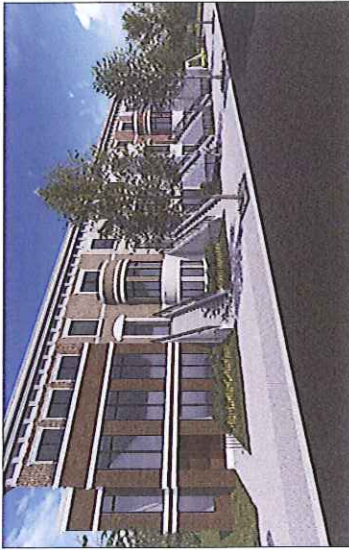
INDEX

| NO. | SHEET NAME | NO. | SHEET NAME |
|-----|------------------------|-----|------------------------|
| 1 | GENERAL | 1 | GENERAL |
| 2 | ARCHITECTURAL | 2 | ARCHITECTURAL |
| 3 | BUILDING 1 MAIN LEVEL | 3 | BUILDING 1 MAIN LEVEL |
| 4 | BUILDING 1 UPPER LEVEL | 4 | BUILDING 1 UPPER LEVEL |
| 5 | BUILDING 2 MAIN LEVEL | 5 | BUILDING 2 MAIN LEVEL |
| 6 | BUILDING 2 UPPER LEVEL | 6 | BUILDING 2 UPPER LEVEL |
| 7 | ELECTRICAL | 7 | ELECTRICAL |
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BROWNSTONE INSPIRATIONS



| | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|
| DESIGNER: | |
| PHIL KEAN DESIGN GROUP ARCHITECTURE / CONSTRUCTION / INTERIORS 1000 N. 10TH STREET ANN ARBOR, MI 48106 PH: 734.769.1000 WWW.PHILKEANDSIGN.COM | |
| ENGINEER: | |
| PROJECT INFO: | |
| 421 W. Morse Blvd & 403 W. Morse Blvd | |
| PLAN HISTORY: | |
| DATE | DESCRIPTION |
| 12-11-13 | PRELIM DESIGN |
| 03-26-14 | PKZ REVIEW |
| | |
| | |
| SHEET DATA: | |
| DESIGNED BY: | PHIL KEAN |
| DRAWN BY: | JASON PLISKE |
| SHEET DESCRIPTION: | |
| INSPIRATION PICTURES | |
| SHEET: | |
| IN-1 | |



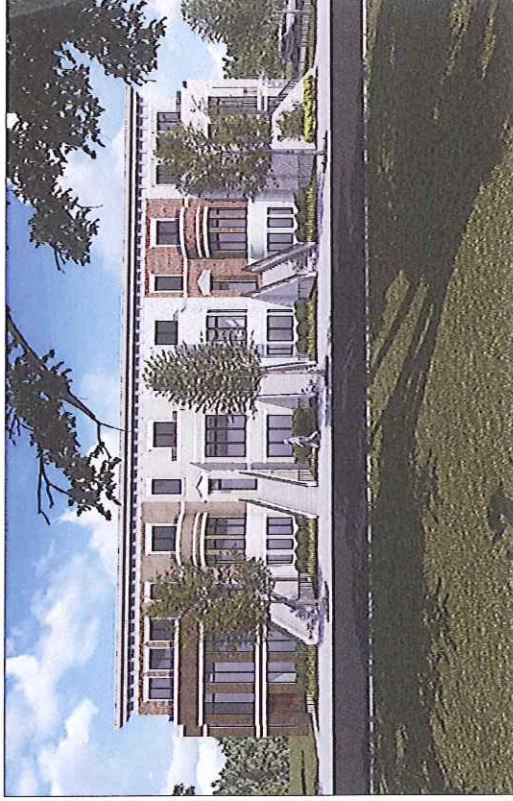
PERSPECTIVE ALONG MORSE BOULEVARD



PERSPECTIVE ALONG MORSE BOULEVARD



PERSPECTIVE ALONG VIRGINIA AVENUE



FACADE FACING MORSE BOULEVARD



FACADE FACING VIRGINIA AVENUE

DESIGNER:

PHIL KEAN DESIGN GROUP
 ARCHITECTURE / CONSTRUCTION / INTERIORS
 100 W. Edwards Avenue
 Westport, Ohio 44095
 PH: 440.352.1000
 WWW.PHILKEANDSIGN.COM

ENGINEER:

PROJECT INFO:

421 W. Morse Blvd
 &
 403 W. Morse Blvd

PLAN HISTORY:

| DATE | DESCRIPTION |
|----------|---------------|
| 12-1-10 | PRELIM DESIGN |
| 03-26-14 | PKZ REVIEW |
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SHEET DATA:

DESIGNED BY: PHIL KEAN
 DRAWN BY: JASON PLESKE

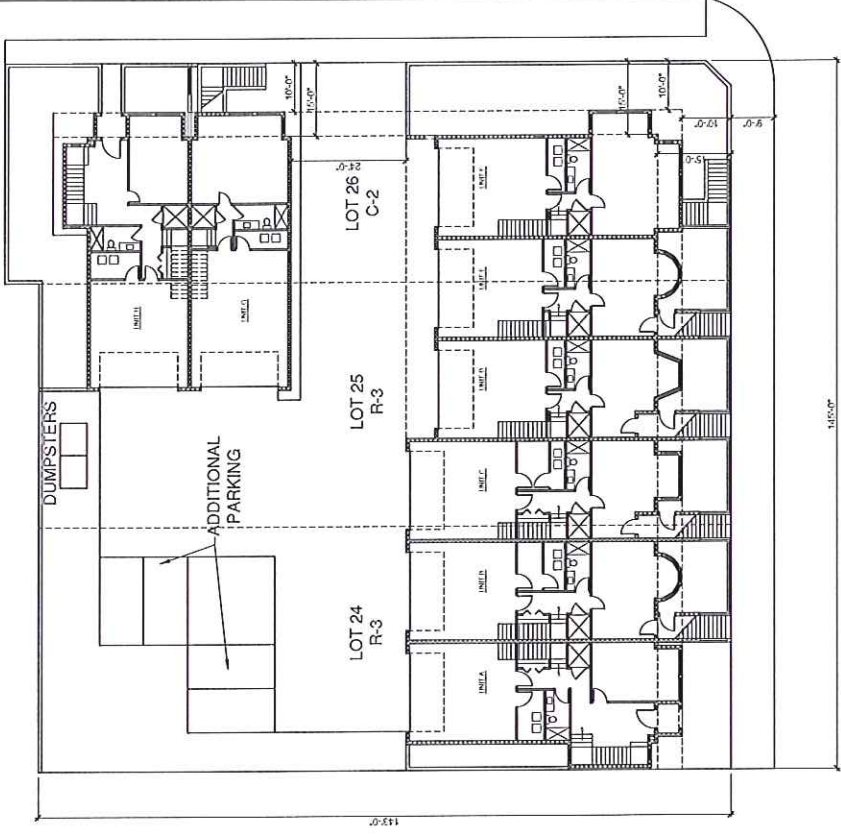
SHEET DESCRIPTION:

PERSPECTIVE RENDERINGS

SHEET:

PR-1

| | |
|---------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| DESIGNER: | PHIL KEAN DESIGN GROUP ARCHITECTURE / CONSTRUCTION / INTERIOR 101 W. Lakeside Avenue Westport, New York 10596 PH: 914.361.1000 WWW.PHILKEANDSIGN.COM |
| ENGINEER: | |
| PROJECT INFO: | 421 W. Morse Blvd & 403 W. Morse Blvd |
| PLAN HISTORY: | |
| DATE | DESCRIPTION |
| 12-11-10 | PRELIM DESIGN |
| 03-26-14 | PKZ REVIEW |
| | |
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| SHEET DATA: | |
| DESIGNED BY: | PHIL KEAN |
| DRAWN BY: | JASON PUSKE |
| SHEET DESCRIPTION: | |
| | SITE PLAN |
| SHEET: | |
| | AS |



PROPOSED SITE PLAN
SCALE: 1" = 10'-0"

Mass & Volume IR Calculations

| | |
|---------------------------------|-----------------------|
| Zone | C-2 |
| Construction | 3-Story |
| MAX Building Height | 47' |
| IMPERVIOUS Calculations: | |
| Lot Size | 21,028 SF (6.48 Acre) |
| Driveway | 16,029 SF |
| Roof | 4,500 SF |
| Garage/Deck | 100 |
| Total | 21,422 |
| Impervious | 6,823 |
| Max AC | 1,623 |
| Garage/Deck | 98 |
| Total | 7,542 |
| Overhead | 22,454 |
| Max AC | 6,242 |
| Garage/Deck | 222 |
| Total Development | 23,694 |
| Impervious Allowed | 42,076 SF |
| Impervious Provided | 23,694 SF |
| Impervious Remaining | (18,382) SF |
| Parking Provided | 20 |
| | 20 |
| | 20.07% |
| | 24.74% |
| | 44.19% |

BUILDING 1 - UNITS A-F

| |
|--------------------------|
| TOTAL |
| 16800 |
| 4500 |
| 12200 |
| 21400 |
| 485 |
| TOTAL UNDER ROOF: |
| BALCONY |

DESIGNER:

DHH KEAN DESIGN GROUP
 ARCHITECTURE / CONSTRUCTION / INTERIOR
 501 N. 1st Street, Suite 100
 Philadelphia, PA 19106
 WWW.DHHKEANDESIGN.COM

ENGINEER:

PROJECT INFO:

421 W. Morse Blvd
 &
 403 W. Morse Blvd

PLAN HISTORY:

| DATE | DESCRIPTION |
|----------|---------------|
| 12-11-10 | PRELIM DESIGN |
| 03-26-14 | PA2 REVIEW |

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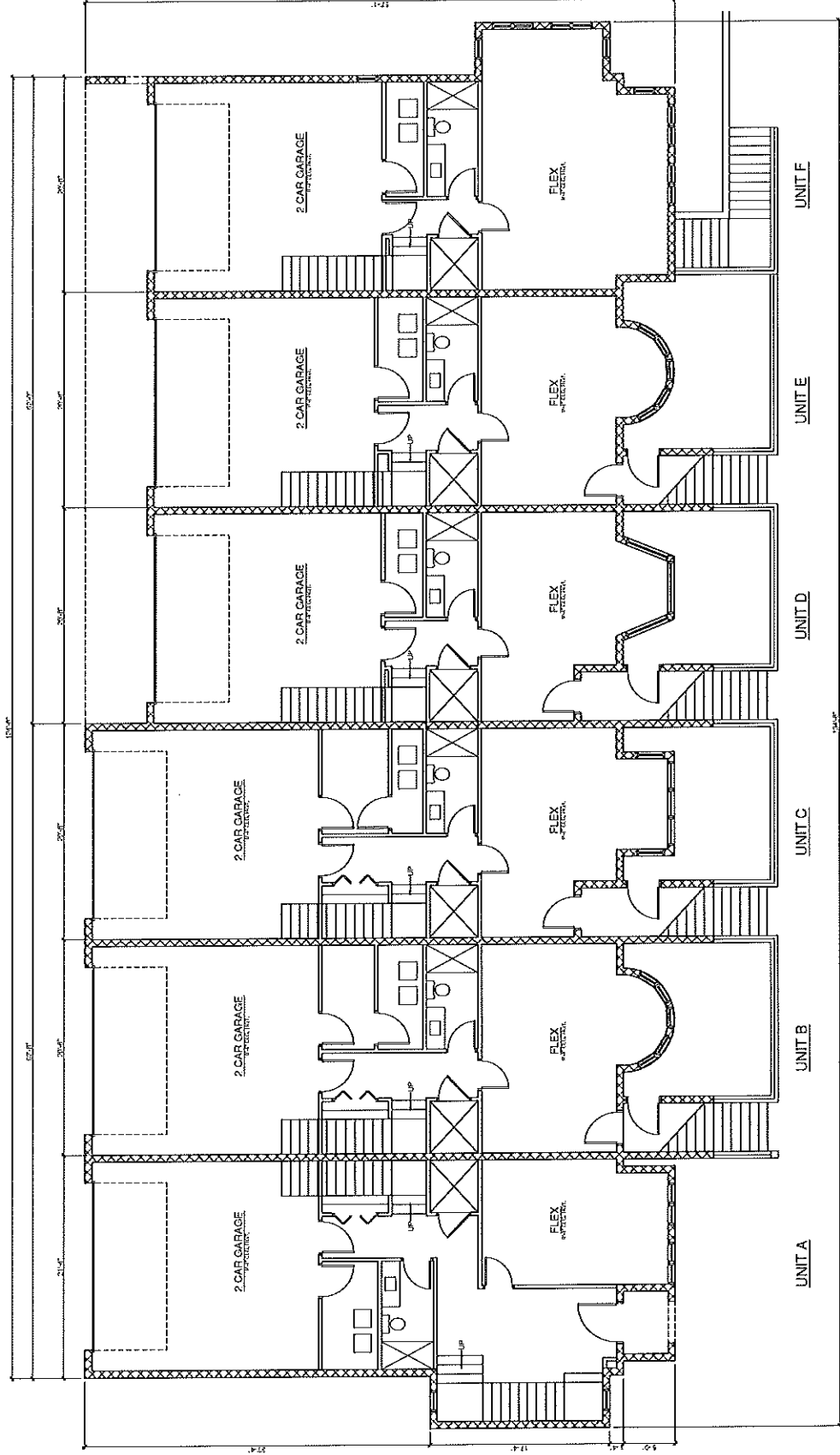
DESIGNED BY: PHIL KEAN
 DRAWN BY: JASON PUSKE

SHEET DESCRIPTION:

BUILDING 1 GARAGE LEVEL

SHEET:

1



BUILDING 1 GARAGE LEVEL
 SCALE: 1/8" = 1'-0"

BUILDING 1 - UNITS A-F

| | |
|-------------------------|------|
| TOTAL | 1656 |
| LIVING AREA | 450 |
| COMMON AREAS | 11 |
| DECK | 11 |
| TOTAL UNDER ROOF | 2147 |
| BALCONY | 45 |

DESIGNER:

PHIL KEAN DESIGN GROUP
 ARCHITECTURE / CONSTRUCTION / INTERIOR
 1000 S. Central Avenue
 West Palm Beach, FL 33409
 PH: 561.833.1100 FAX: 561.833.1105
 WWW.PHILKEANDSIGN.COM

ENGINEER:

PROJECT INFO:

421 W. Morse Blvd
 &
 403 W. Morse Blvd

PLAN HISTORY:

| DATE | DESCRIPTION |
|----------|---------------|
| 10-11-13 | PRELIM DESIGN |
| 03-26-14 | PK2 REVIEW |
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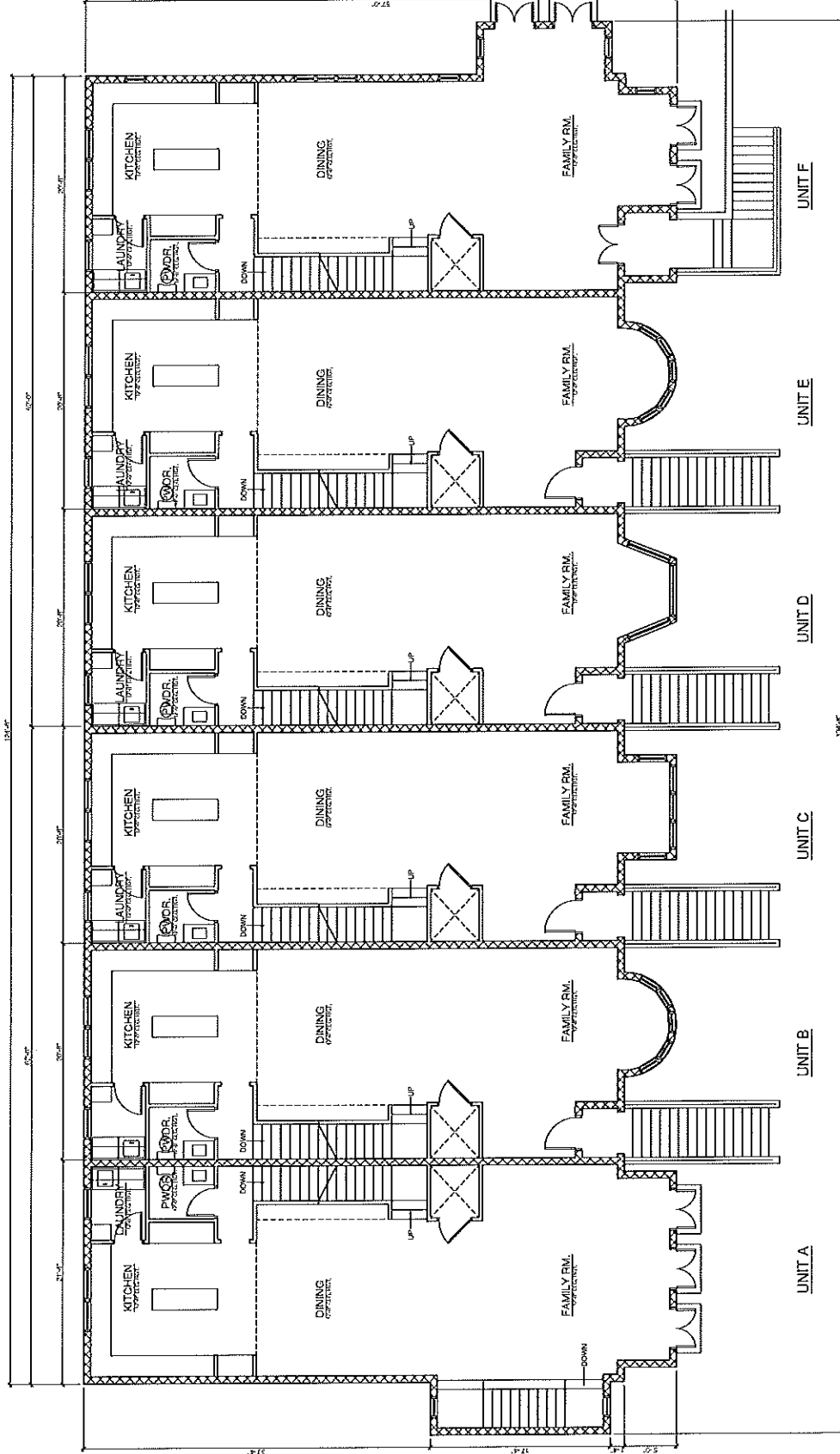
DESIGNED BY: PHIL KEAN
 DRAWN BY: JASON FLISKE

SHEET DESCRIPTION:

BUILDING 1 MAIN LEVEL

SHEET:

2



BUILDING 1 MAIN LEVEL
 SCALE: 1/8" = 1'-0"

DESIGNER: PHIL KEAN DESIGN GROUP
ARCHITECTURE / CONSTRUCTION / INTERIORS
1000 E. 1st Street, Suite 100
Waukegan, IL 60087
PH: 847.499.1111
WWW.PHILKEANDSIGN.COM

ENGINEER:

PROJECT INFO:
421 W. Morse Blvd &
403 W. Morse Blvd

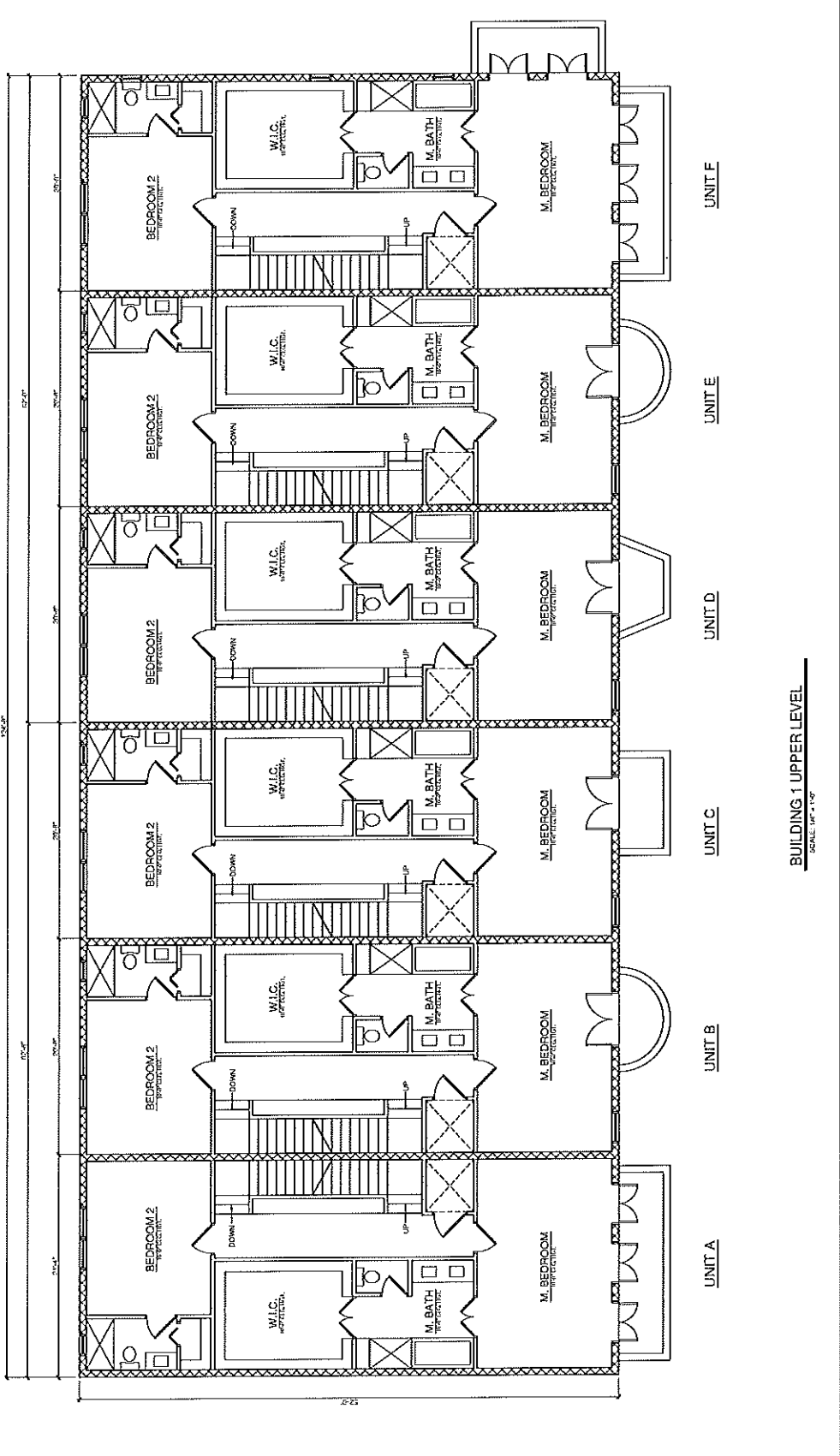
PLAN HISTORY:
DATE DESCRIPTION
12-11-13 PRELIM DESIGN
03-26-14 P&Z REVIEW

SHEET DATA:
DESIGNED BY: PHIL KEAN
DRAWN BY: JASON FLISKE

SHEET DESCRIPTION:
BUILDING 1 UPPER LEVEL

SHEET: 3

| BUILDING 1 - UNIT A | BUILDING 1 - UNIT B | BUILDING 1 - UNIT C | BUILDING 1 - UNIT D | BUILDING 1 - UNIT E | BUILDING 1 - UNIT F |
|--------------------------------------------------------------------|--------------------------------------------------------------------|--------------------------------------------------------------------|--------------------------------------------------------------------|--------------------------------------------------------------------|--------------------------------------------------------------------|
| GARAGE LEVEL LIVING AC: 687 GARAGE/DECK: 23 | GARAGE LEVEL LIVING AC: 542 GARAGE/DECK: 72 | GARAGE LEVEL LIVING AC: 609 GARAGE/DECK: 73 | GARAGE LEVEL LIVING AC: 484 GARAGE/DECK: 70 | GARAGE LEVEL LIVING AC: 489 GARAGE/DECK: 516 | GARAGE LEVEL LIVING AC: 504 GARAGE/DECK: 508 |
| MAIN LEVEL LIVING AC: 122 BALCONY: 22 | MAIN LEVEL LIVING AC: 108 BALCONY: 20 | MAIN LEVEL LIVING AC: 1104 BALCONY: 24 | MAIN LEVEL LIVING AC: 1096 BALCONY: 26 | MAIN LEVEL LIVING AC: 1094 BALCONY: 25 | MAIN LEVEL LIVING AC: 1217 BALCONY: 44 |
| UPPER LEVEL LIVING AC: 180 BALCONY: 20 | UPPER LEVEL LIVING AC: 117 BALCONY: 20 | UPPER LEVEL LIVING AC: 1105 BALCONY: 20 | UPPER LEVEL LIVING AC: 1071 BALCONY: 14 | UPPER LEVEL LIVING AC: 1075 BALCONY: 21 | UPPER LEVEL LIVING AC: 1092 BALCONY: 19 |
| ROOF LEVEL MECH: 222 | ROOF LEVEL MECH: 222 | ROOF LEVEL MECH: 222 | ROOF LEVEL MECH: 222 | ROOF LEVEL MECH: 222 | ROOF LEVEL MECH: 222 |
| TOTAL LIVING AC: 3001 GARAGE/DECK: 704 TOTAL: 3705 | TOTAL LIVING AC: 2711 GARAGE/DECK: 794 TOTAL: 3505 | TOTAL LIVING AC: 2729 GARAGE/DECK: 797 TOTAL: 3526 | TOTAL LIVING AC: 3824 GARAGE/DECK: 720 TOTAL: 4544 | TOTAL LIVING AC: 3246 GARAGE/DECK: 723 TOTAL: 3969 | TOTAL LIVING AC: 3003 GARAGE/DECK: 719 TOTAL: 3722 |
| TOTAL UNDER ROOF BALCONY: 108 | TOTAL UNDER ROOF BALCONY: 20 | TOTAL UNDER ROOF BALCONY: 40 | TOTAL UNDER ROOF BALCONY: 44 | TOTAL UNDER ROOF BALCONY: 30 | TOTAL UNDER ROOF BALCONY: 30 |



BUILDING 1 UPPER LEVEL
SCALE: 1/8" = 1'-0"

DESIGNER:

PHIL KEAN DESIGN GROUP
ARCHITECTURE / INTERIORS
100 N. 1st Street, Suite 200
New York, NY 10002
PH: 212.675.1234

ENGINEER:

WOOD GROUP ARCHITECTS, LLP

PROJECT INFO:

421 W. Morse Blvd
&
403 W. Morse Blvd

PLAN HISTORY:

| DATE | DESCRIPTION |
|----------|---------------|
| 12-11-10 | PRELIM DESIGN |
| 03-26-14 | PK2 REVIEW |
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SHEET DATA:

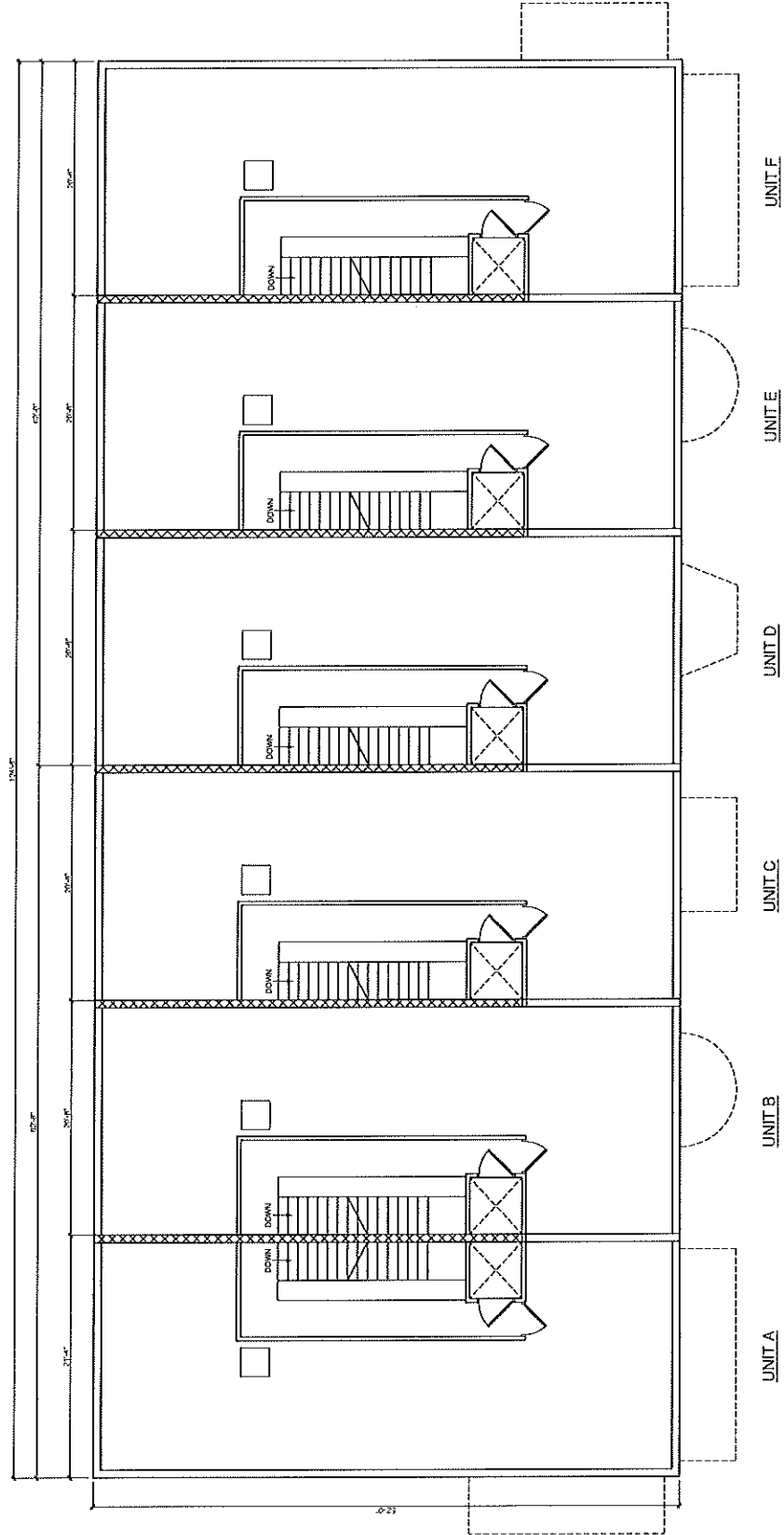
DESIGNED BY: PHIL KEAN
DRAWN BY: JASON PLUSKE

SHEET DESCRIPTION:

BUILDING 1 ROOF LEVEL

SHEET:

4



BUILDING 1 ROOF LEVEL
SCALE: 1/8" = 1'-0"

BUILDING 2 - UNITS G-H

| | |
|-------------------------|------|
| TOTAL | 6008 |
| UNITS/GC | 100 |
| UNITS/H | 500 |
| UNITS/I | 500 |
| TOTAL UNDER ROOF | 7542 |
| BALCONY | 357 |

DESIGNER:

PHIL KEAN DESIGN GROUP
 ARCHITECTURE / CONSTRUCTION / INTERIOR
 1004 E. Liberty Street
 West Palm Beach, FL 33411
 PH: 561.833.7400 FAX: 561.833.7400
 WWW.PHILKEANDSIGN.COM

ENGINEER:

PROJECT INFO:

421 W. Morse Blvd
 &
 403 W. Morse Blvd

PLAN HISTORY:

| DATE | DESCRIPTION |
|----------|---------------|
| 12-11-13 | PRELIM DESIGN |
| 09-25-14 | P&Z REVIEW |
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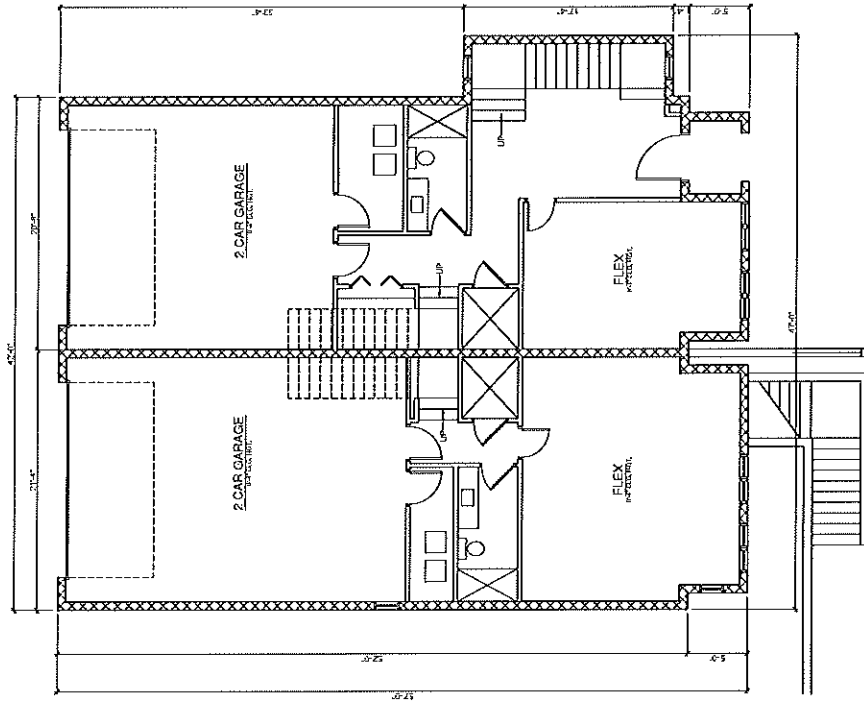
DESIGNED BY: PHIL KEAN
 DRAWN BY: JASON PLUSKE

SHEET DESCRIPTION:

BUILDING 2 GARAGE LEVEL

SHEET:

5



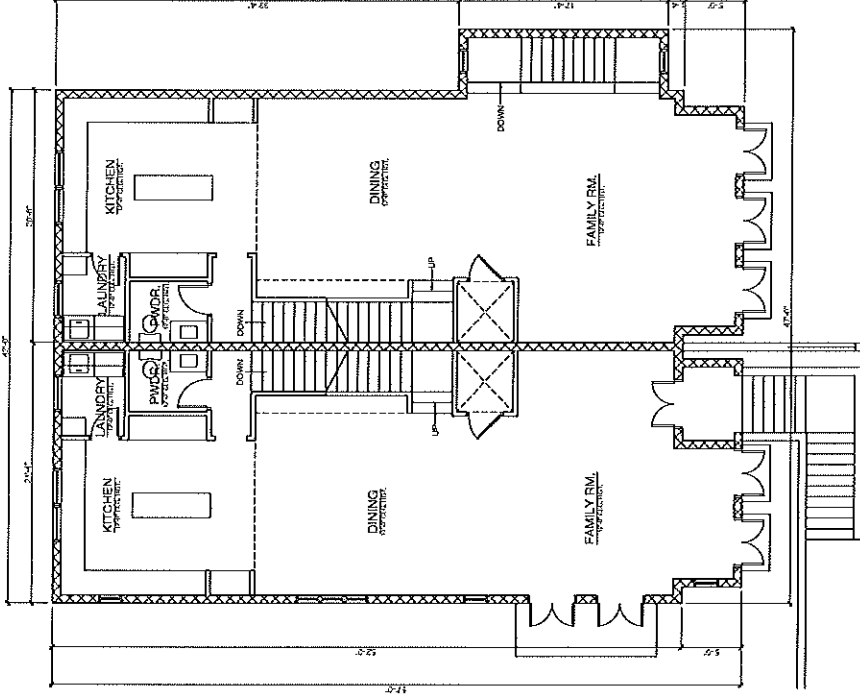
UNIT H

UNIT G

BUILDING 2 GARAGE LEVEL

SCALE: 1/8" = 1'-0"

| | |
|-------------------------------|------|
| BUILDING 2 - UNITS G-H | |
| TOTAL | |
| LIVING AC | 1098 |
| DINING AC | 108 |
| KITCHEN AC | 108 |
| BALCONY AC | 742 |
| TOTAL UNDER ROOF | 2136 |
| BALCONY | 257 |



UNIT G **UNIT H**

BUILDING 2 MAIN LEVEL
SCALE: 1/4" = 1'-0"

DESIGNER:

PHIL KEAN DESIGN GROUP
ARCHITECTURE / INTERIORS / CONSTRUCTION / INTERIORS
10001 1st Avenue, Suite 100
Portland, Oregon 97203
PH: (503) 251-7777
WWW.PHILKEANDSIGN.COM

ENGINEER:

PROJECT INFO:

421 W. Morse Blvd
&
403 W. Morse Blvd

PLAN HISTORY:

| DATE | DESCRIPTION |
|----------|---------------|
| 12-11-13 | PRELIM DESIGN |
| 03-26-14 | 62.2 REVIEW |
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| | |

SHEET DATA:

DESIGNED BY: PHIL KEAN
DRAWN BY: JASON PUSKE

SHEET DESCRIPTION:

BUILDING 2 MAIN LEVEL

SHEET:

6

DESIGNER:
 PHIL KEAN DESIGN GROUP
 ARCHITECTURE / INTERIORS
 2075 Lakeside Parkway
 Morris Plains, NJ 07950
 PH: 973.261.4200
 WWW.PHILKEANDSIGN.COM

ENGINEER:

PROJECT INFO:
 421 W. Morse Blvd
 &
 403 W. Morse Blvd

PLAN HISTORY:

| DATE | DESCRIPTION |
|----------|---------------|
| 12-11-13 | PRELIM DESIGN |
| 02-26-14 | PK2 REVIEW |
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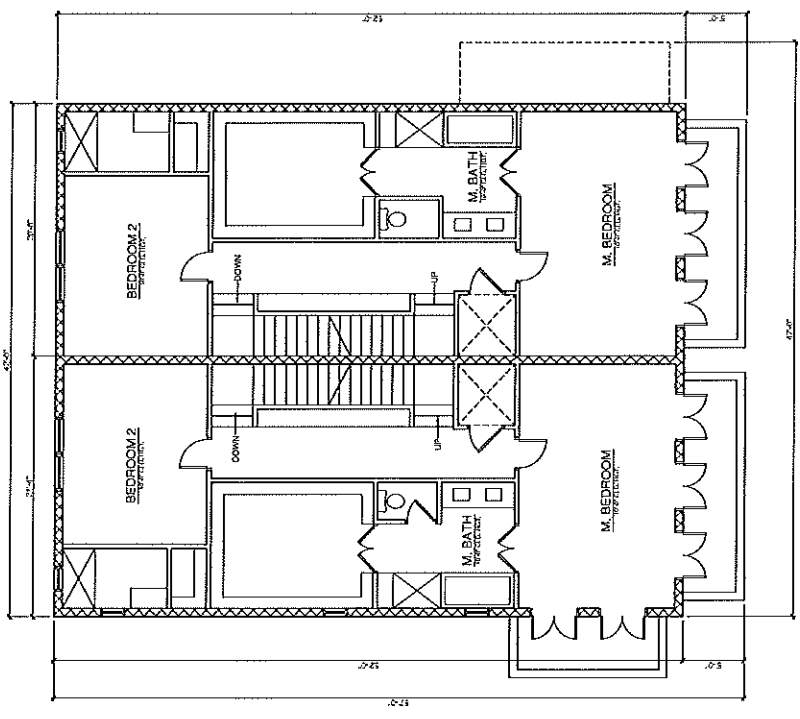
SHEET DATA:
 DESIGNED BY: PHIL KEAN
 DRAWN BY: JASON FLISKE

SHEET DESCRIPTION:
 BUILDING 2 UPPER LEVEL

SHEET:
 7

| BUILDING 2 - UNIT G | |
|---------------------|-----|
| GARAGE LEVEL | |
| LIVING AC | 53 |
| GARAGE/ACCH | 52 |
| MAIN LEVEL | |
| LIVING AC | 112 |
| DALCONY | 3 |
| BALCONY | 73 |
| UPPER LEVEL | |
| LIVING AC | 192 |
| DALCONY | 158 |
| ROOF LEVEL | |
| ROOF | 22 |
| TOTAL | |
| LIVING AC | 277 |
| GARAGE/ACCH | 52 |
| ENTRY | 14 |
| TOTAL UNDER ROOF | |
| DALCONY | 254 |
| BALCONY | 231 |

| BUILDING 2 - UNIT H | |
|---------------------|-----|
| GARAGE LEVEL | |
| LIVING AC | 67 |
| GARAGE/ACCH | 54 |
| DALCONY | 32 |
| MAIN LEVEL | |
| LIVING AC | 122 |
| DALCONY | 3 |
| BALCONY | 72 |
| UPPER LEVEL | |
| LIVING AC | 102 |
| DALCONY | 93 |
| ROOF LEVEL | |
| ROOF | 22 |
| TOTAL | |
| LIVING AC | 281 |
| GARAGE/ACCH | 74 |
| ENTRY | 12 |
| TOTAL UNDER ROOF | |
| DALCONY | 365 |
| BALCONY | 176 |



BUILDING 2 UPPER LEVEL
 SCALE: 1/8" = 1'-0"

BUILDING 2 - UNITS G-H

| | |
|-------------------------|-------------|
| TOTAL | |
| UNITS ACC | 5608 |
| UNITS MECH | 1638 |
| UNITS | 22 |
| TOTAL UNDER ROOF | 7542 |
| BALCONY | 267 |

DESIGNER:

PHIL KEAN DESIGN GROUP
 ARCHITECTURE / INTERIORS / INTERIORS
 15000 15th Avenue
 West York, PA 15389
 PH: 412-326-1400
 WWW.PHILKEANDSIGN.COM

ENGINEER:

PROJECT INFO:

PROJECT INFO:

421 W. Morse Blvd
 &
 403 W. Morse Blvd

PLAN HISTORY:

| DATE | DESCRIPTION |
|----------|---------------|
| 12-11-13 | PRELIM DESIGN |
| 03-26-14 | PK2 REVIEW |
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SHEET DATA:

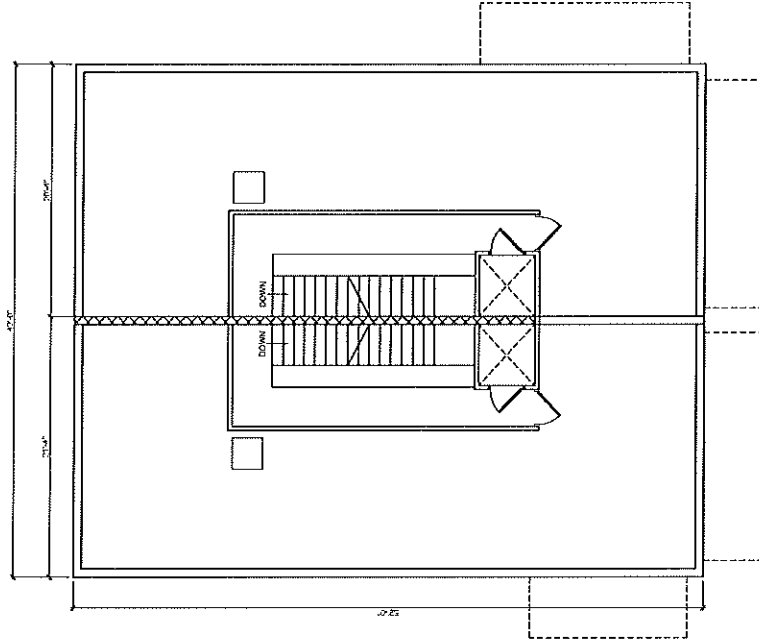
DESIGNED BY: PHIL KEAN
 DRAWN BY: JASON PUSKE

SHEET DESCRIPTION:

BUILDING 2 ROOF LEVEL

SHEET:

8



UNIT H

UNIT G

BUILDING 2 ROOF LEVEL

SCALE: 1/4" = 1'-0"

DESIGNER:

PHIL KEAN DESIGN GROUP
ARCHITECTURE / CONSTRUCTION / INTERIORS
1000 W. 10th Street, Suite 200
Portland, Oregon 97204
PH: 503.228.1111
WWW.PHILKEANDSIGN.COM

ENGINEER:

PROJECT INFO:

421 W. Morse Blvd
&
403 W. Morse Blvd

PLAN HISTORY:

| DATE | DESCRIPTION |
|----------|---------------|
| 12-11-13 | PRELIM DESIGN |
| 03-26-14 | PAZ REVIEW |

SHEET DATA:

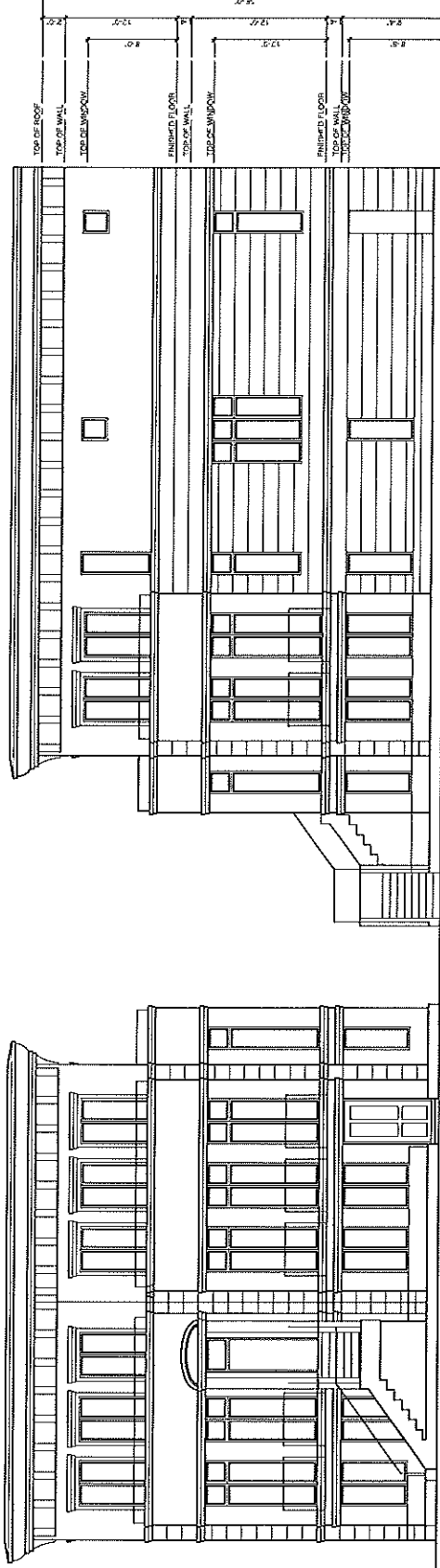
DESIGNED BY: PHIL KEAN
DRAWN BY: JASON PLEKIC

SHEET DESCRIPTION:

ELEVATIONS

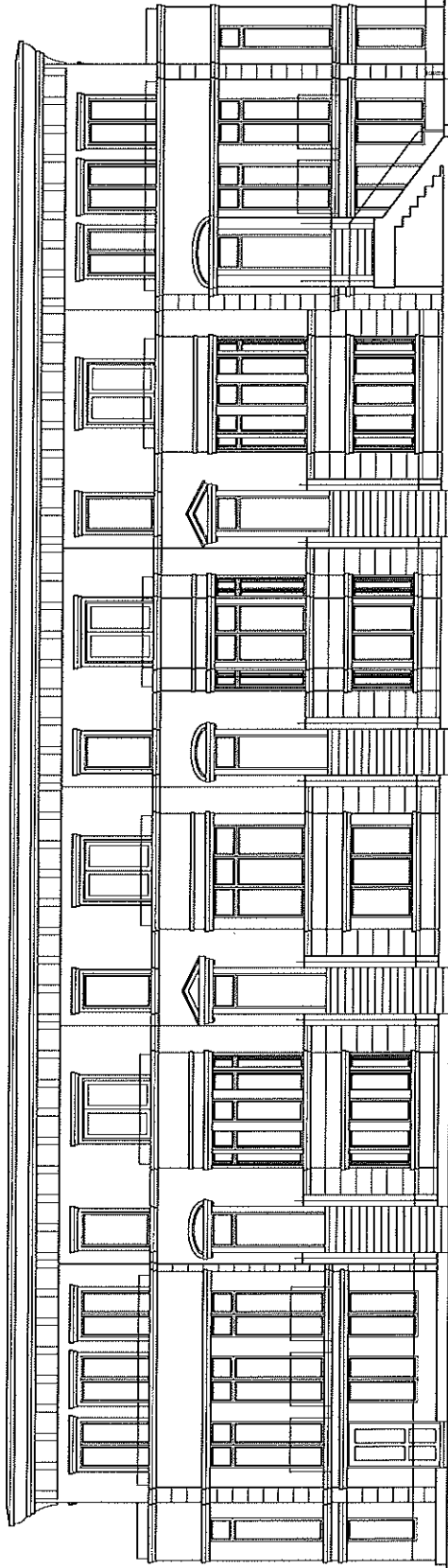
SHEET:

9



BUILDING 2 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING 1 SIDE ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"