

**CITY OF WINTER PARK  
PLANNING AND ZONING COMMISSION**

**Staff Report  
March 5, 2013**

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**REQUEST OF WINTER PARK TOWN CENTER DEVELOPMENT LLC,**

**FOR:** FINAL CONDITIONAL USE APPROVAL TO CONSTRUCT A FOUR STORY, 206 UNIT RESIDENTIAL PROJECT AND TO CONSTRUCT A PARKING GARAGE OF APPROXIMATELY 300 SPACES ON THE PROPERTY AT 940 W. CANTON AVENUE.

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Winter Park Town Center Development LLC is requesting "final" conditional use approval for their 204 unit residential building project pursuant to the "preliminary" conditional use provided by the City Commission on September 24, 2012 on the property at 940 W. Canton Avenue. The "preliminary" conditional use was recommended for approval by the Planning Board on September 11, 2012.

**The Approval Process:**

Per city code, the public hearings advertised for the conditional use review and approval in September were for the "preliminary" CU approval per code. The "final" CU approval per code is the action to review compliance with the original approval and to review the final landscaping, drainage and lighting details, as well as the Development Agreement.

**The New "Final" Plan Submittals:**

This "final" conditional use provides more complete details on the project architectural details and utilities as well as four new plan details for review:

1. Landscape Plan - the specific landscape plan for the project is attached. It meets the city code requirements pursuant to the conceptual site plan approved in September but some of the new tree details have changed. Originally the perimeter of the site was to be exclusively oak trees but it was recognized that in the small (15 foot) setback areas on the western border and on the southern border by the parking garage, there is not sufficient area for oak trees to prosper. So the trees specified for those areas are now 18 new magnolia and red cedar trees that are better suited for those confined spaces. However, where space exists along the southern border and along the Denning Drive and Canton Avenue frontages, there are 28 new live oak trees planned to be added.

2. Storm Water Drainage Plan – the specific method of meeting the City and St. Johns River Water Management District drainage criteria was decided by the City Commission on January 14<sup>th</sup>. The City Commission accepted the proposal from the CNL Heritage Park office project and for this Casto/Epoch apartment project to allow the Lake Mendon within Lake Island Park to be increased in water surface and volume area to provide the required retention. In return, the two projects will pay the City \$100,000 to be used for a wedding pavilion to enhance the wedding business at the Civic Center. Each project will have an on-site filtration collection box to screen and remove the debris in the storm water runoff prior to its conveyance down to Lake Mendon for the retention aspect. The agenda package from that January 14<sup>th</sup> City Commission meeting and their minutes are attached.
3. Parking Garage Lighting – The plans contemplate the same lighting design for the roof of the parking garage as was utilized on the Winter Park Towers and SunTrust parking garages. Basically those are smaller light pole heights (14 feet) and fixtures that direct the light downward to minimize light spread. This design has been successful at those two locations.
4. Signage – This final conditional use stage is also when the signage package is approved and those sign details are provided. (Typically the developer doesn't know the signage package at the 'preliminary' stage) There are two ground monument signs, one at the southern border of the site on Denning Drive and the second one at the corner of Denning and Canton. The code relates to the "signable area" and not the area of the columns, the base or other architectural features. The proposed sign faces are 33 square feet which is larger than the 12 square feet permitted by the R-4 residential zoning. The developers are requesting an "exception": for the larger sign face area.

Staff is OK with the proposal but it needs the "exception" as permitted by Sec. 58-90: *"In order to streamline the development plan approval process, the city commission in the approval of conditional uses may also grant limited exceptions from the terms of this article. Those exceptions shall be limited to the size and height of accessory structures such as walls, fences and signs and shall also be limited to site and building design features involving the number of parking spaces, the location of storm water retention facilities, building setbacks, building lot coverage and building height."*

The rationale is that that this property was zoned office (O-1) which permitted up to a 36 sq. ft. sign face, when it was zoned O-1. Proposed sign size is 33 sq. ft. The rezoning to R-4 took it down to 12 sq. ft. So the applicants had the right for 36 sq. ft. previously. The CNL ground sign can be 36 sq. ft. This site is 4.36 acres, 204 apts. and on a four lane road, etc. So the size seems appropriate to the staff in this context and location.

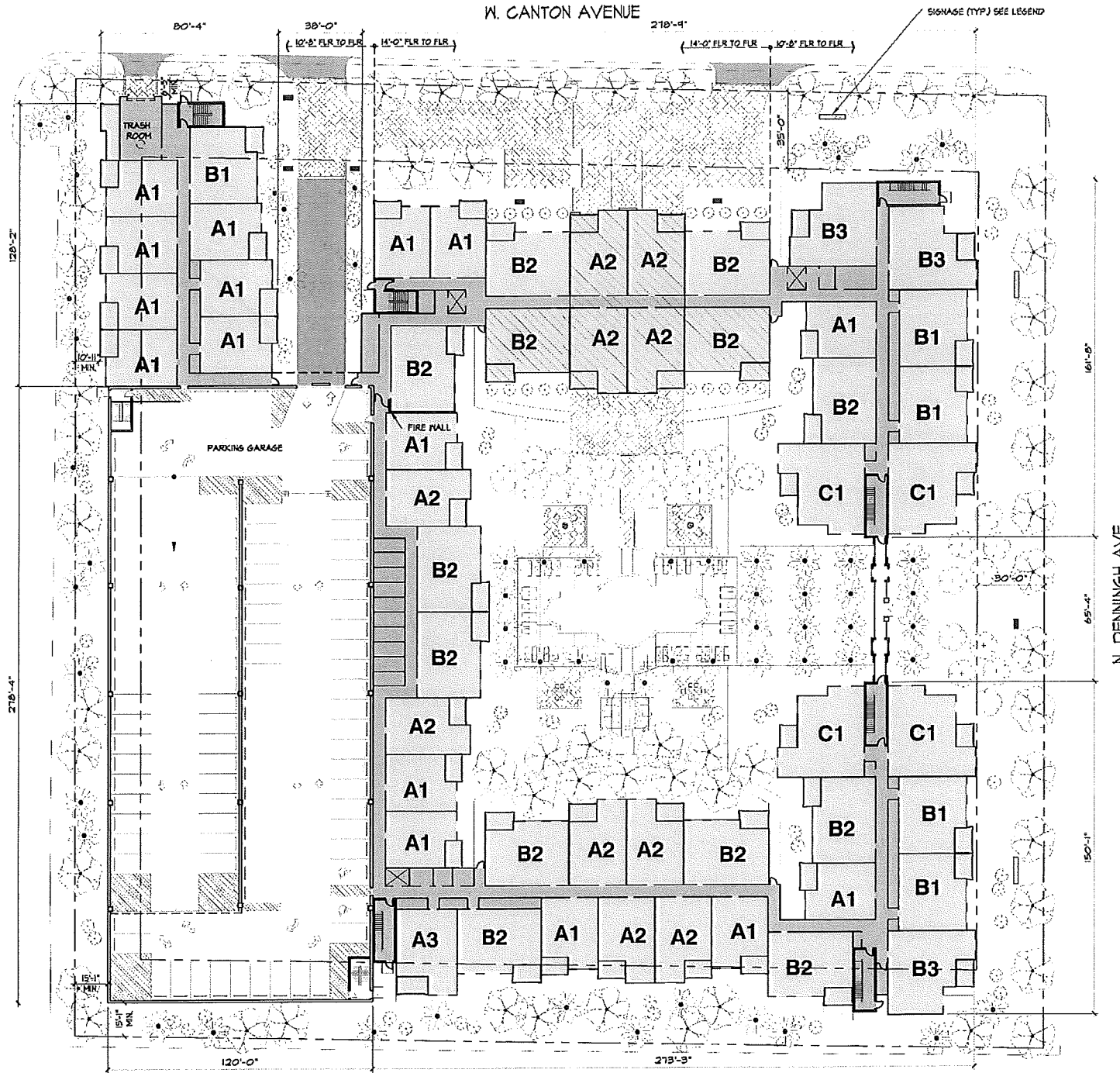
As information, both the CNL Heritage Park office project and this project are paying to underground the electric utility lines that exist along the Denning Drive frontages. That will greatly enhance the aesthetic appeal of both projects.

There is a draft Development Agreement attached. There are no special conditions or restrictions on this project. The Development Agreement only includes the project entitlements that have been approved and the exceptions from the Code approved with the 'preliminary' plans or being done at this "final" conditional use stage for the signage package.

**Summary and Recommendation:**

The "final" conditional use submittals have addressed the requirements of a "final" conditional use approval package. The parking garage roof lighting plans will be submitted with the building permit package but will conform to the parameters outlined in this staff report.

**STAFF RECOMMENDATION IS FOR APPROVAL OF THE "FINAL" CONDITIONAL USE**



ARCHITECTURAL SITE PLAN

SCALE: 1" = 30'-0"



Park Village

ISSUE DATE:
AUGUST 7, 2012



WINTER PARK





OCA Web MAP

PRINT CONTACT



Parcel ID: 292201360401000 (Rng-Twn-Sec format)

0 100 ft

This map is for reference only and is not a survey.

Created on 8/30/2012, Copyright 2007. Orange County Property Appraiser.





OCPA Web MAP

PRINT CONTACT

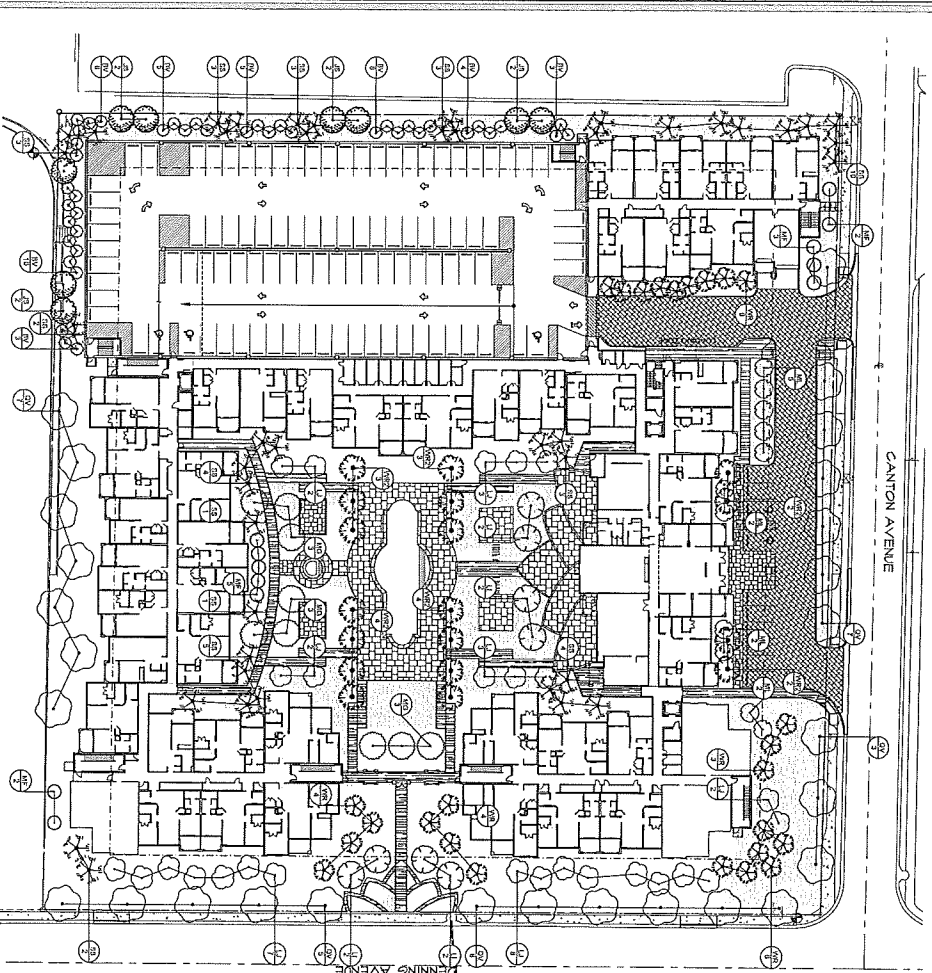


Parcel ID: 292201360401000 (Rng-Twn-Sec format)

This map is for reference only and is not a survey.

0 100 ft

Created on 8/30/2012, Copyright 2007. Orange County Property Appraiser.



**PLANT SCHEDULE**

FIELD	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER	EXPOSURE	REMARKS
	100	3	Amelanchier canadensis	Shadbush	12'-15'	8'	LOW	Full Sun	
	101	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	102	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	103	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	104	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	105	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	106	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	107	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	108	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	109	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	110	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	111	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	112	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	113	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	114	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	115	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	116	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	117	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	118	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	119	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	120	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	121	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	122	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	123	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	124	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	125	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	126	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	127	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	128	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	129	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	130	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
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	135	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	136	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	137	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	138	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	139	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	140	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	141	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	142	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	143	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	144	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	145	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	146	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	147	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	148	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	149	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	
	150	3	Opuntia engelmannii	Cactus	12'-15'	12'	LOW	Full Sun	

\*Plant quantities shown are per sheet dimensions to 50 feet 5 times quantities and quantities x 25

The Residences at Winter Park Village  
Winter Park, Florida

TREE PLAN  
SCALE 1:1000

DATE DATE  
AUGUST 7, 2012  
FEBRUARY 1, 2013



L-1.03





# city commission agenda item

item type	Action Items Requiring Discussion	meeting date	January 14, 2013
prepared by	City Manager	approved by	<input checked="" type="checkbox"/> City Manager <input type="checkbox"/> City Attorney <input type="checkbox"/> N/A
department			
division			
board approval		<input type="checkbox"/> yes <input type="checkbox"/> no <input checked="" type="checkbox"/> N/A	final vote

## subject

Discussion of use of the lake (Lake Mendsen) at Martin Luther King, Jr. Park for storm water from the CNL and Casto properties.

## motion | recommendation

Accept or reject the proposal from CNL and Casto. If the Commission accepts the proposal, or approves it with modifications, authorize the Mayor to execute an agreement approved by the City Attorney containing the deal terms and authorize staff to approve the final excavation plan to minimize park impacts.

## Background

City staff has been approached by the developers of both the CNL property and the Casto property on Denning Drive to determine if the City would be willing to partner with them on storm water runoff related to their projects. Under their proposals, the developers would each pay the City \$40,000 (for a total of \$80,000) in exchange for the right to expand the lake in MLK, Jr. Park to accommodate the storm water runoff from their projects. Attached is a copy of the request and a depiction of how they would propose meeting the storm water retention needs.

While staff has some reservations (discussed below) about the impact of the expansion of the lake for this purpose, there has been a long time desire by the Parks Department to construct a gazebo or pavilion near the lake behind the Civic Center to serve as a wedding venue. Staff has suggested to the developers that \$50,000 each might be more in line with what such an amenity would cost however that project has neither been designed nor priced at this point.

The concerns raised by Staff are as follows:

- The Parks and Recreation Advisory Board has not addressed the issue to date.
- The enlargement of the lake as proposed would reduce the usable area of the park land by approximately 21,200 square feet.
- The dredging, loading and hauling during the construction phase will impact other park uses. This will last approximately 90 days. How the equipment accesses the construction site could also be an issue.
- The actual cost of the wedding pavilion is unknown at this time.
- While both the Casto and CNL properties are part of the basin that currently drains to this lake, there is concern that there could be a slight reduction in water quality as a result of this project.
- The City works closely with the Florida Fish and Wildlife Conservation Commission on lake management. Lake Mendsen is considered an "Urban Pond" by the FFWC and is stocked annually for public fishing and our "Test the Waters" fishing tournament. The removal and reestablishment of existing shoreline will certainly cause turbidity and sediment impacts on the pond which may affect the Florida Fish and Wildlife Conservation Commission assistance with

the "Urban Pond" management.

Both developers have viable options to put the storm water retention on their respective sites, however the option of putting it in to Lake Mendsen would save them money and provide some other on site flexibility. It is staff's understanding that both projects will still go forward regardless of the Commission's decision on this issue.

CNL is under a tight timeframe for a decision as their project is already underway and they need to finalize their storm water treatment design. If the Commission approves this request they will still have to go through permitting with the St. Johns River Water Management District which will take between 60 and 90 days

If approved, staff would like the opportunity to refine the dredging plan to reduce park impacts and improve the usability of the lakeshore area.

### **fiscal impact**

The storm water project might impact the ability for some rentals during the construction phase.

### **long-term impact**

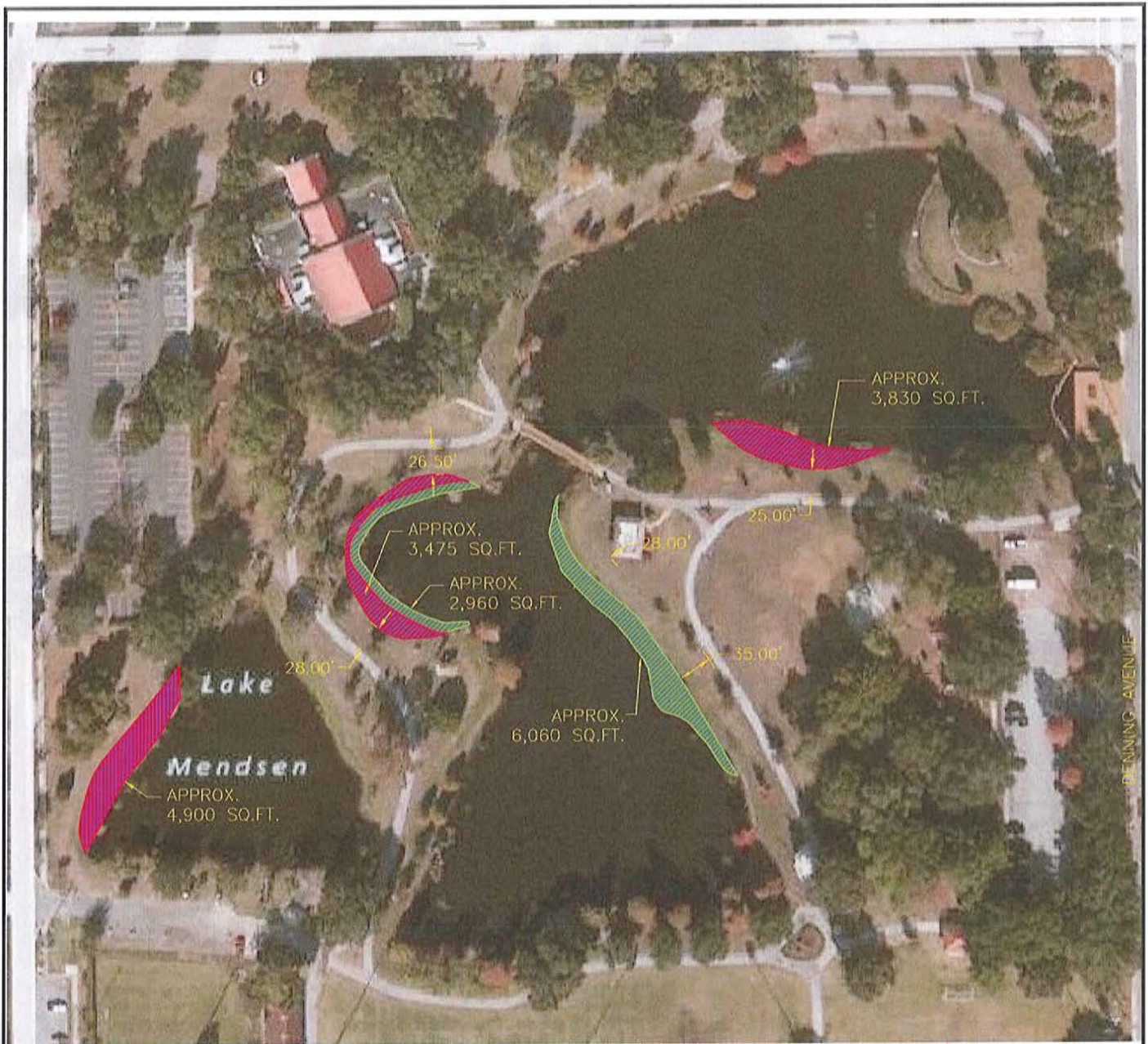
The addition of a wedding venue would provide additional ongoing revenues as a rental facility.

### **strategic objective**

- n/a



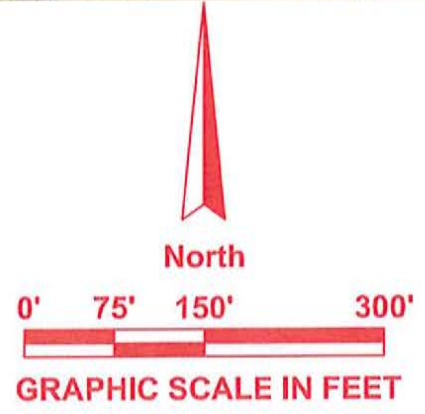
L:\2012\20120122 - Casto DMV Site\CASTO\Garcia\Casto Revised (12-13-12)\Combined - Lake Island.dwg, 12/13/2012 10:50 AM



**CASTO AREA NEEDED: 9,000 SQ. FT.**  
 **CNL AREA NEEDED: 12,200 SQ. FT.**  
**COMBINED AREA NEEDED: 21,200 SQ. FT.**  


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**AREA PROVIDED: 21,225 SQ. FT.**



**AVCON, INC.**  
**ENGINEERS & PLANNERS**  
 5555 E. MICHIGAN ST., SUITE 200  
 ORLANDO, FL. 32822-2779  
 OFFICE: (407) 599-1122  
 FAX: (407) 599-1133

**RESIDENCES AT WINTER PARK VILLAGE / CNL**  
**LAKE ISLAND MODIFICATION**

**COMBINED SITES**

REVISION: 00

DATE: 12-13-2012

S-T-R: 01-22S-29E





**AVCON, INC.**  
ENGINEERS & PLANNERS

5555 E. Michigan St., Suite 200  
Orlando, Florida 32822  
Phone: (407) 599-1122  
Email: rbaldocchi@avconinc.com  
www.avconinc.com

**MEMORANDUM**

**To:** Paul Rutledge – CASTO Southeast  
Thom Cunningham – CNL Commercial Real Estate, Inc.

**From:** Rick V. Baldocchi, P.E.

**Date:** January 7, 2013

**Reference:** Joint Stormwater Use of Lake Island  
The Residences at Winter Park Village (CASTO)  
Heritage Park (CNL)

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We have been involved in on-going discussions with CASTO Southeast, CNL Commercial Real Estate, Inc., the City of Winter Park, and St. John's River Water Management District related to the use of Lake Island for stormwater treatment for The Residences at Winter Park Village (CASTO) and/or Heritage Park (CNL). A proposed concept is scheduled to be presented to The City of Winter Park Commission on January 14, 2013.

A summary of the current proposal is outlined below:

1. The Lake Island pond will need to be expanded to accommodate water quality treatment in accordance with St. John's River Water Management District (SJRWMD) and city codes. The existing Lake Island is currently permitted as a retention pond with SJRWMD and provides partial treatment to the two sites referenced, plus additional areas to the northeast. The proposed expansion, per SJRWMD, will need to increase the treatment volume for 100% of the proposed development requirements, which the design does.
2. Based on preliminary calculations and historical survey information, the estimated amount of excavation required is 1000 cubic yards for The Residences at Winter Park Village, and 1300 cubic yards for Heritage Park for ratio of 44% to 56% respectively.
3. The area being proposed for expansion is conceptually shown on the attached exhibit. The areas may be revised after final survey and all parties understand the final design plans will be coordinated with City Staff to avoid impacts to existing utilities, pumping systems, outfall structures, etc, and any unnecessary costs.
4. In exchange for use and expansion of the Lake Island retention pond, each developer has offered \$40,000 (\$80,000 total) to the City of Winter Park. City staff has noted that their goal is to construct a gazebo in the park to accommodate wedding parties and City staff has estimated that cost to be



approximately \$100,000 and has requested each developer to increase their contribution accordingly, which they may allocate between themselves differently.

5. If approved by Commission on January 14, 2013, the basic agreements would need to be executed by January 21, 2013, in order to meet time constraints based on the schedule of Heritage Park.
6. The City planner has confirmed that approval of the use of Lake Island pond for stormwater would not require an amendment to the Final Conditional Use Permit for Heritage Park.
7. Each party (CASTO and CNL) would make their payment directly to the City prior to receiving the Certificate of Occupancy for their respective projects.
8. The construction of the expanded pond will be completed by August 1, 2013 and will be coordinated with City staff to minimize impacts to existing park operations and events.
9. Additional topographical survey information will be required and CASTO and CNL agree to split proportionally these costs, and all cost to date.
10. Construction cost will be proportioned to each development based on the volume of excavation required for each development determined after final design is complete (current estimate is 56% CNL and 44% CASTO).

This memo is a general understanding to allow both parties to present the concept to the City of Winter Park Commission. Final agreements will need to be implemented to further define each party's arrangement with each other and the City of Winter Park.

**End of Memo**



Public Comment

Lisa Coney, 1350 W. Fairbanks Avenue, commented on the City's election process.

Mary Randall, 1000 South Kentucky Avenue, provided precautionary measures to try and avoid the flu epidemic.

Shay Silver, 735 Pansy Avenue, inquired if citizens would be permitted to make a monetary donation to be used to seek outside legal counsel to gain a better understanding on election campaign laws.

e. Discussion regarding use of Lake Mendocino for stormwater from CNL and Casto properties

Commissioner McMacken recused himself from voting due to a conflict of interest; see Form 8B attached.

City Manager Knight explained that staff has been approached by the developers of both the CNL property and the Casto property on Denning Drive to determine if the City would be willing to partner with them on stormwater runoff related to their projects. Under their proposals, the developers would each pay the City \$40,000 (for a total of \$80,000) in exchange for the right to expand the lake in Martin Luther King, Jr. Park to accommodate the stormwater runoff from their projects. While staff had some reservations about the impact of the expansion of the lake for stormwater purposes there has been a long time desire by the Parks Department to construct a gazebo or pavilion near the lake behind the Civic Center to serve as a wedding venue. Staff has suggested to the developers that \$50,000 each might be more in line with what such an amenity would cost; however, that project has neither been designed nor priced at this point.

City Manager Knight advised that if approved, staff would like the opportunity to refine the dredging plan to reduce park impacts and improve the usability of the lakeshore area.

Rebecca Wilson of the Lowndes, Drosdick, Kantor and Reed Law Firm, spoke on behalf of the applicant. She introduced the project team and provided a brief summary regarding the request.

Rick Baldocchi, representing Avcon Inc., Civil Engineer on the project, provided more detail regarding the proposed stormwater runoff concept and answered questions.

City Manager Knight noted that staff has been working with Mr. Baldocchi this past week to finalize the pond/lake configuration. Mr. Baldocchi then presented staff's recent recommendation to the Commission.

Commissioner Cooper felt this item should go to Lakes Advisory Board since they are charged with the responsibility of maintaining and approving issues related to the exfiltration/drainage of lakes. She also mentioned that when the State Office Building/Progress Point negotiations were being discussed she inquired as to what the cost would be to have the same underground exfiltration system installed on the Progress Point site and what the value would then be for that property. She noted that no cost analysis and/or value has been provided to date and asked that this item be tabled until that information is presented.

→ Following a brief discussion, **a motion was made by Mayor Bradley to approve the request for \$100,000 and give staff the latitude to have the least impact on the pond; seconded by Commissioner Sprinkel.**

**Motion amended by Commissioner Cooper that it first has a value assessment by staff prior to setting a dollar value on the approval. Motion failed for lack of a second.**

**Motion amended by Commissioner Cooper to table until such time as the Lakes Advisory Board reviews it. Motion failed for lack of a second.**

No public comments were made.

→ **Upon a roll call vote, Mayor Bradley and Commissioner Sprinkel voted yes. Commissioner Cooper voted no. The motion carried with a 2-1 vote. (Commissioner McMacken recused himself from voting.)**

### Public Hearings

a. Request of Atlantic Housing Partners, LLLP:

ORDINANCE NO. 2901-13: AN ORDINANCE OF THE CITY OF WINTER PARK, FLORIDA AMENDING CHAPTER 58, "LAND DEVELOPMENT CODE", ARTICLE I "COMPREHENSIVE PLAN" FUTURE LAND USE MAP SO AS TO CHANGE THE FUTURE LAND USE DESIGNATION OF SINGLE FAMILY RESIDENTIAL TO HIGH DENSITY RESIDENTIAL ON THE PROPERTY AT 861 WEST CANTON AVENUE, MORE PARTICULARLY DESCRIBED HEREIN; PROVIDING FOR CONFLICTS, SEVERABILITY AND EFFECTIVE DATE. Second Reading

ORDINANCE NO. 2902-13: AN ORDINANCE OF THE CITY OF WINTER PARK, FLORIDA AMENDING CHAPTER 58, "LAND DEVELOPMENT CODE", ARTICLE III, "ZONING" AND THE OFFICIAL ZONING MAP SO AS TO CHANGE THE ZONING DESIGNATION OF SINGLE FAMILY (R-1A) DISTRICT TO MULTI-FAMILY (HIGH DENSITY R-4) DISTRICT ON THE PROPERTY AT 861 WEST CANTON AVENUE, MORE PARTICULARLY DESCRIBED HEREIN; PROVIDING FOR CONFLICTS, SEVERABILITY AND EFFECTIVE DATE. Second Reading

Attorney Brown read both ordinances by title. Since this was a quasi-judicial proceeding, communications were disclosed. Mayor Bradley noted that when

Return to:  
City Clerk  
City of Winter Park  
401 Park Avenue South  
Winter Park, FL 32789

## WINTER PARK VILLAGE RESIDENTIAL DEVELOPMENT AGREEMENT

THIS WINTER PARK VILLAGE RESIDENTIAL DEVELOPMENT AGREEMENT (“Agreement”) is entered into this \_\_\_\_ day of \_\_\_\_\_, 2013, by **Winter Park Town Center Development LLC**, a Florida limited liability company (hereinafter referred to as “OWNER”), having an address of 5391 Lakewood Ranch Boulevard, Suite 100, Sarasota, Florida 34240 and the **City of Winter Park**, a Florida municipal corporation (hereinafter referred to as “CITY”), having an address at 401 Park Avenue South, Winter Park, Florida 32789.

WHEREAS, OWNER is the owner of certain real property located at 940 W. Canton Avenue, Winter Park, Florida and further described on Exhibit “A” which is incorporated herein and made a part thereof (the “Subject Property”);

WHEREAS, in accordance with the Winter Park Land Development Code, OWNER has received approval of a Conditional Use Permit (“CUP”) which permits the development of a four (4) story 204 unit residential project with an associated four (4) level parking garage (together, the “Project”); and

WHEREAS, the parties desire to enter into this Agreement to more specifically set forth the conditions and restrictions with respect to the Project and the CUP.

NOW THEREFORE, in consideration of Ten Dollars and no/100 (\$10.00), each in hand paid to the other and other good and valuable consideration, receipt and sufficiency of which is hereby acknowledged, the parties do hereby agree as follows:

1. Recitals. The foregoing Recitals are true and correct and are hereby incorporated herein.
2. Conditional Use Permit. The City grants CUP approval of the development plan attached hereto as Exhibit “B” (“Development Plan”). The CUP includes the approval of a four (4) story 204 unit residential project with an associated four (4) level parking garage.
3. Expansion. OWNER agrees, in compliance with City Code, to submit an application for CUP review by Planning and Zoning and City Commission prior to any significant changes (as set forth in Section 58-90(h)) on property adjacent to the west of the Subject Property (with an address of 1020 W. Canton Ave.).

4. Setbacks.

N. Denning Avenue:	30 ft. minimum
Canton Avenue:	35 ft. minimum for 304.00 linear feet 7 ft. minimum for 96.69 linear feet
South Property line:	13 ft. minimum
Western Property line:	10 ft. minimum

5. Height. The residential buildings are 41 ft. to the eave and 59 ft. to the roof ridge. The residential building which contains leasing offices and amenities is 44 ft. to the eave and 59 ft. to the roof ridge. The parking garage is 32 ft. to the top level and 38 ft. to the top of parapet.

6. Parking. The parking garage contains approximately 358 parking spaces.

7. Stormwater. Any development occurring onsite shall meet all city, state and Water Management District requirements for stormwater retention.

8. Tree Removal. Prior to Final Conditional Use Permit approval, OWNER shall submit a tree survey which shall identify all protected trees. Such survey shall identify those trees to be removed, replaced and/or relocated. Such survey shall also provide a summary of compensation in compliance with the Land Development Code and as approved by the City. Tree replacement is limited to those designated on the tree survey as presented. Compensation is to be determined by the City Code. OWNER shall have continuous responsibility to maintain all landscaping in the approved landscape plan, per Code.

9. Parking Garage. The parking garage shown in Exhibit "B" shall utilize "dark sky" lighting in designing the light fixtures.

10. Subsequently Enacted State or Federal Law. If state or federal laws are enacted after the execution of this Agreement which are applicable to and preclude the parties compliance with the terms of this Agreement, this Agreement shall be modified or revoked as necessary to comply with the relevant state or federal laws.

11. Successors and Assigns. This Agreement and the terms and conditions thereof shall be binding upon and inure to the benefit of the CITY and OWNER and their respective successors in interest. The terms and conditions of this Agreement similarly shall be binding upon the Property and shall run with the title to the same.

12. Counterparts. This Agreement may be executed in one or more counterparts, each of which shall be deemed to be an original but all of which shall constitute one and the same agreement.

13. Modification Must Be in Writing. No modification or termination of this Agreement shall be valid unless it is approved by the City Commission and thereafter executed in writing and signed by the City Commissioners and Owner.

14. No Waiver. No waiver of any provision of this Agreement shall be effective unless it is in writing and signed by the party against whom it is asserted, and any such written waiver shall only be applicable to the specific instance to which it relates and shall not be deemed to be a continuing or future waiver.

15. Captions and Section Heading. Captions and Section Headings contained in this Agreement are for convenience and reference only and in no way define, describe, extend or limit the scope of intent of this Agreement nor the intent of any provision thereof.

16. Attorney's Fees. In the event of any dispute hereunder or of any action to interpret or enforce this Agreement, any provision hereof or any matter arising herefrom, the prevailing party thereunder shall be entitled to its reasonable attorneys' fees and costs including at trial or at all appellate levels.

17. Waiver of Strict Construction Against Drafting Party. Should any provision of this Agreement be subject to judicial interpretation, it is agreed that the court interpreting or considering such provision not apply the presumption or rule of construction that the terms of this Agreement be more strictly construed against the party which itself or through its counsel or other legal agent prepared the same, as all parties hereto have participated in the preparation of the final form of this Agreement through review by their respective counsel and the negotiation of changes in language in any provision deemed unsuitable or inadequate as initially written, and, therefore, the application of such presumption or rule of construction would be inappropriate and contrary to the intent of the parties.

18. Interpretation. In case any one or more of the provisions of this Agreement shall be invalid, illegal or unenforceable in any respect, the validity of the remaining provisions shall be in no way affected, prejudiced or disturbed thereby. The use of any gender shall include all other genders. The singular shall include the plural and vice versa. Use of the words "herein", "hereof", "hereunder" and any other words of similar import refer to this Agreement as a whole and not to any particular article, section or sub section of this Agreement unless specifically noted otherwise in this Agreement.

19. Governing Law. This Agreement shall be deemed to be governed by, construed and enforced in accordance with the internal laws of the State of Florida. Venue shall be Orange County, Florida.

20. Third Parties. This Agreement shall not be deemed to confer in favor of any third parties any rights whatsoever as third party beneficiaries, the parties hereto intending by the provisions hereof to confer no such benefits or status.

21. Notice. Any written notice, demand or request that is required to be made under this Agreement shall be served in person, or by registered or certified mail, return receipt requested, or by express mail or similar reputable overnight courier service, addressed to the party to be served at the address set forth in the first paragraph hereof. The addresses stated herein may be changed as to the applicable party by providing the other party with notice of such address change in the manner provided in this paragraph. In the event that written notice, demand or request is made as provided in this paragraph, then in the event that such notice is

returned to the sender by the United States Postal Service or other similar reputable overnight courier service because of insufficient address or because the party has moved or otherwise, other than for insufficient postage, such writing shall be deemed to have been received by the party to whom it was addressed on the date that such writing was initially placed in the United States Postal Service or reputable overnight courier service by the sender.

Copies of notices shall be sent to:

as to CITY: City of Winter Park  
Attention: City Manager  
401 Park Avenue South  
Winter Park, FL 32789

as to OWNER: Brett Hutchens  
Winter Park Town Center Development LLC  
c/o Casto Southeast Realty Services LLC  
5391 Lakewood Ranch Boulevard, Suite 100  
Sarasota, FL 34240

With a copy to: Rebecca Wilson, Esq.  
Lowndes, Drosdick, Doster, Kantor & Reed, P.A.  
215 North Eola Drive  
Orlando, FL 32801

23. Representations of the Parties. The CITY and OWNER hereby each represent and warrant to the other that it has the power and authority to execute, deliver and perform the terms and provisions of this Agreement and has taken all necessary action to authorize the execution, delivery and performance of this Agreement. This Agreement will, when duly executed and delivered by the CITY and OWNER and recorded in the Public Records of Orange County, Florida, constitute a legal, valid and binding obligation enforceable against the parties hereto and the Property in accordance with the terms and conditions of this Agreement. OWNER represents that it has voluntarily and willfully executed this Agreement for purposes of binding the Property to the terms and conditions set forth in this Agreement.

24. Specific Performance. Strict compliance shall be required with each and every provision of this Agreement. The parties agree that failure to perform the obligations provided by this Agreement shall result in irreparable damage and that specific performance of these obligations may be obtained by a suit in equity.

25. Development Permits. Nothing herein shall limit the CITY's authority to grant or deny any development permit applications or requests subsequent to the effective date of this Agreement. The failure of this Agreement to address any particular City, County, State and/or Federal permit, condition, term or restriction shall not relieve OWNER or the CITY of the necessity of complying with the law governing said permitting requirement, condition, term or restriction. Without imposing any limitation on the CITY's police powers, the CITY reserves the right to withhold, suspend, or terminate any and all certificates of occupancy or permits for the Property if OWNER is in breach of any material term and condition of this Agreement.

26. Termination. The CITY shall have the unconditional right, but not obligation, to terminate this Agreement, without notice or penalty, if OWNER fails to receive building permits and substantially commence construction of the Project within five (5) years of the effective date of this Agreement. If the CITY terminates this Agreement, the CITY shall record a notice of termination in the public records of Orange County, Florida.

27. Compliance with Other Laws, Ordinances and Regulations. This Agreement shall not operate as a limitation upon the CITY to require the OWNER to comply with all applicable laws, ordinances, resolutions and regulations of either the United States, the State of Florida, Orange County or City of Winter Park, regulating the development of the OWNER's Property in accordance with this Agreement to the extent that same are not specifically addressed or referenced herein, nor shall the failure of this Agreement to address any particular requirement to act to relieve the OWNER from complying with any development requirement, condition, term or restriction, including but not limited to, all impact fee requirements. OWNER agrees to pay all fees when required by Code, including water/sewer connection fees, and park and recreation impact fees.

28. Subordination/Joinder. Unless otherwise agreed to by the CITY, all liens, mortgages and other encumbrances not satisfied or released of record, must be subordinated to the terms of this Agreement or the lienholder joins in this Agreement. It shall be the responsibility of the OWNER to promptly obtain the said subordination or joinder, in form and substance acceptable to the City Attorney, in such City Attorney's reasonable discretion, prior to the CITY execution of the Agreement.

29. Effective Date. This Agreement shall be effective as of the date of its execution by the last of the parties as evidenced by the date following the execution portion of this Agreement.

30. Not A Statutory Development Agreement. Pursuant to Section 58-90, of the City's Land Development Code, and based on the City's home rule power, this Agreement is not a statutory development agreement, and is therefore not subject to Section 58-7 or Fla. Stat. §163.3220, et seq.

31. Period of Effectiveness. This Agreement shall remain in effect for 20 years. The effectiveness of this Agreement may be extended upon City Commission approval consistent with this Agreement.

[SIGNATURES TO FOLLOW]

**IN WITNESS WHEREOF**, the parties have caused this Agreement to be executed as follows:

WITNESSES:

**WINTER PARK TOWN CENTER DEVELOPMENT LLC**, a Florida limited liability company

By: CLP/SPF Holding Company I, LLC, a Delaware limited liability company, its sole member

By: Casto Lifestyle Properties, L.P., an Ohio limited partnership, its manager

By: CLP Management LLC, an Ohio limited liability company, its managing general partner

\_\_\_\_\_

(print)

\_\_\_\_\_

(print)

By: \_\_\_\_\_

Print name: \_\_\_\_\_

Title: \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2013, by \_\_\_\_\_ the \_\_\_\_\_ of \_\_\_\_\_, a \_\_\_\_\_, on behalf of the \_\_\_\_\_  who is personally known to me or  who produced \_\_\_\_\_ as identification.

\_\_\_\_\_  
Notary Public – State of Florida  
Print Name: \_\_\_\_\_  
My Commission expires: \_\_\_\_\_



WITNESSES:

\_\_\_\_\_

(print)

\_\_\_\_\_

(print)

CITY OF WINTER PARK, a Florida  
municipal corporation

By: \_\_\_\_\_

Print name: \_\_\_\_\_

Title: \_\_\_\_\_

ATTEST:

By: \_\_\_\_\_

Cynthia Bonham, City Clerk

Date: \_\_\_\_\_

STATE OF FLORIDA  
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2013, by \_\_\_\_\_ the \_\_\_\_\_ of the CITY OF WINTER PARK, a Florida municipal corporation,  who is personally known to me or  who produced \_\_\_\_\_ as identification.

\_\_\_\_\_  
Notary Public – State of Florida

Print Name: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

# THE RESIDENCES AT WINTER PARK VILLAGE\*

WINTER PARK, FL

FEBRUARY 4, 2013

CASTO

WINTER PARK TOWN CENTER DEVELOPMENT, LLC.



## PROJECT TEAM

OWNER:	WINTER PARK TOWN CENTER DEVELOPMENT, LLC.
ARCHITECT:	ACI ARCHITECTS
LANDSCAPE ARCHITECT:	ARQUITECTONICA GEO
CIVIL ENGINEER:	AVCON, INC.
ELECTRICAL ENGINEER:	SGM ENGINEERING, INC.
SURVEYOR:	BENCHMARK SURVEYING AND MAPPING CONSULTANTS, INC.
SIGN GRAPHICS:	ADVICE STUDIOS, LLC.

## VICINITY MAP



NOTE TO SCALE

## DRAWINGS INDEX

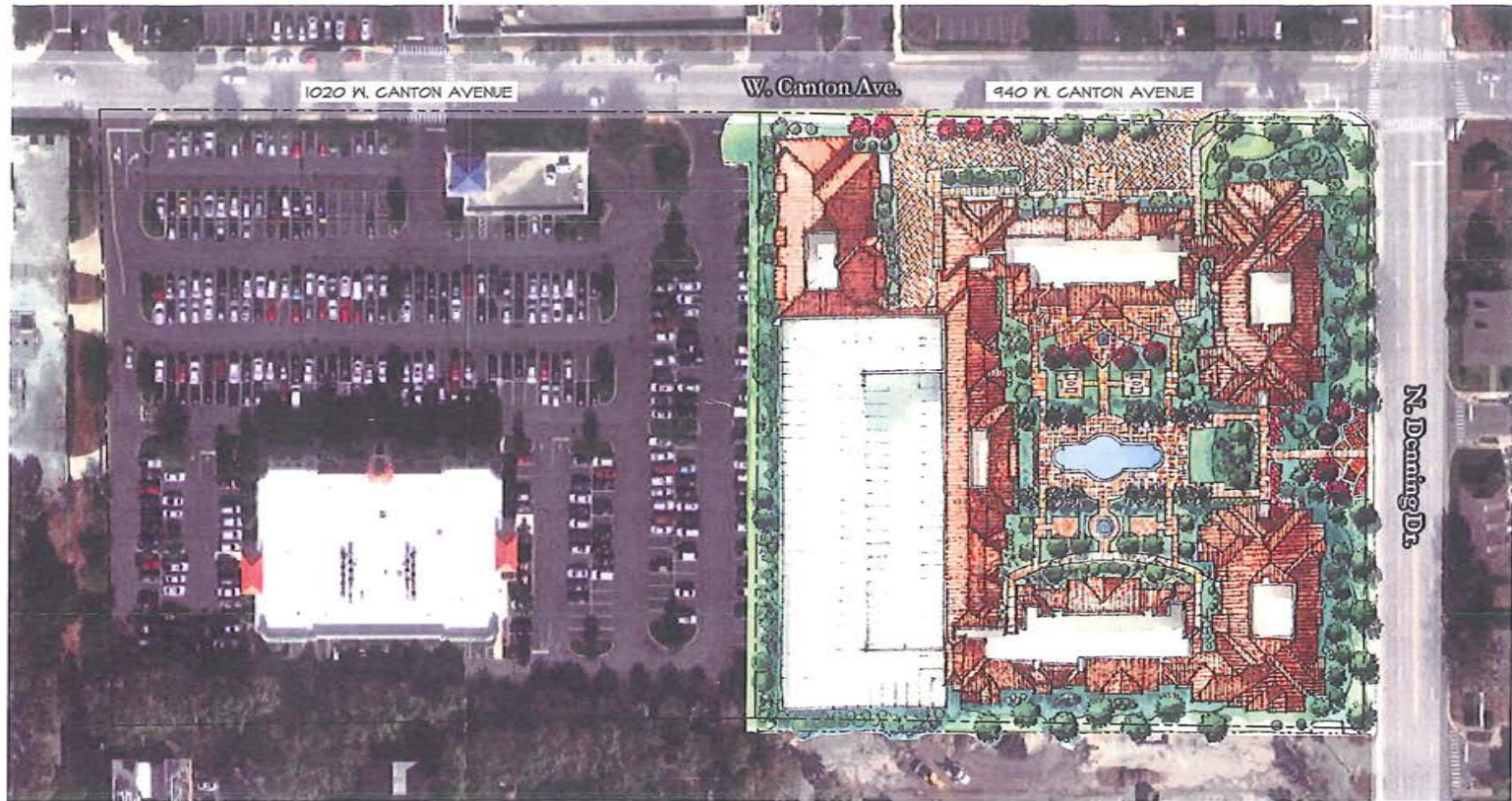
COVER
AP-1 AERIAL PLAN VIEWS
AP-2 AERIAL PLAN VIEW FOR 1020 AND 940 W. CANTON AVENUE
EC-1 EXISTING SITE CONDITIONS PHOTOS
C-100 EXISTING SITE CONDITIONS
C-200 SITE PLAN
C-300 STORM / TURNING RADIUS PLAN
C-301 OFF-SITE STORM-WATER PLAN
C-400 UTILITY PLAN
A-1 ARCHITECTURAL SITE PLAN
A-2 GROUND LEVEL FLOOR PLAN
A-3 SECOND LEVEL FLOOR PLAN
A-4 THIRD LEVEL FLOOR PLAN
A-5 FOURTH LEVEL FLOOR PLAN
A-6 PRELIMINARY COLORED ELEVATIONS (W.CANTON AVENUE & N. DENNING AVENUE)
A-7 PRELIMINARY COLORED ELEVATIONS (WEST & SOUTH)
A-8 PRELIMINARY BUILDING HEIGHTS AND MATERIALS (NORTH ELEVATION)
A-9 PRELIMINARY BUILDING HEIGHTS AND MATERIALS (EAST ELEVATION)
A-10 PRELIMINARY BUILDING HEIGHTS AND MATERIALS (SOUTH ELEVATION)
A-11 PRELIMINARY BUILDING HEIGHTS AND MATERIALS PRELIMINARY CONCEPT SECTIONS
A-12 PARKING GARAGE ISOMETRIC AND AREA CALCULATIONS
A-13 PRELIMINARY CONCEPT SECTIONS
A-14 COLORED 3D RENDERING NORTHWEST CORNER AT W. CANTON AV.
A-15 COLORED 3D RENDERING SOUTHEAST CORNER AT N. DENNING AV.
CL-1 CONCEPTUAL LANDSCAPE PLAN
L-0.00 LANDSCAPE NOTES AND CALCS
L-1.01 EXISTING TREE PROTECTION PLAN
L-1.02 HARDSCAPE PLAN
L-1.03 TREE PLAN
L-1.04 SHRUBS AND GROUNDCOVERS
L-1.05 PLANT IMAGES
L-5.01 HARDSCAPE DETAILS
L-5.02 LANDSCAPE DETAILS
LI-1 IRRIGATION PLANS
LI-2 IRRIGATION DETAILS
E-1.01 SITE LIGHTING PLAN/PHOTOMETRIC SITE PLAN
E-1.02 SITE LIGHTING FIXTURES DETAILS
SG-1 SITE PLAN SHOWING SIGN LOCATION
SG-2 SIGN ELEVATIONS
SG-3 SIGN ELEVATIONS

NOTE: SEE SURVEY FOR PROPERTY LEGAL DESCRIPTION AND ACREAGE DESIGNATION.



\* NOTE: THIS IS A TEMPORARY PROJECT NAME (THE RESIDENCES AT WINTER PARK VILLAGE). THE PROJECT WILL BE RENAMED AT A FUTURE DATE.





AERIAL PLAN VIEW FOR 1020 AND 940 W. CANTON AVENUE  
 SCALE: 1" = 40'-0"

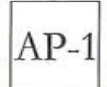


The Residences at Winter Park Village  
 Winter Park, Florida

ISSUE DATE:
AUGUST 7, 2012
FEBRUARY 4, 2013



EPOCH Properties  
 WINTER PARK TOWN CENTER DEVELOPMENT, LLC.







AERIAL PLAN VIEW  
SCALE: 1" = 200'-0"



AERIAL PLAN VIEW  
SCALE: 1" = 100'-0"

# The Residences at Winter Park Village

Winter Park, Florida

ISSUE DATE:	AUGUST 7, 2012
REVISION DATE:	FEBRUARY 4, 2013



WINTER PARK TOWN CENTER DEVELOPMENT, LLC.

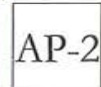






PHOTO #1



PHOTO #2



PHOTO #3



PHOTO #4

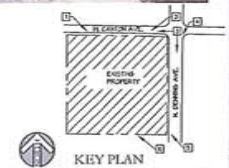


PHOTO #5



PHOTO #6

EXISTING SITE CONDITIONS PHOTOS



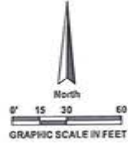
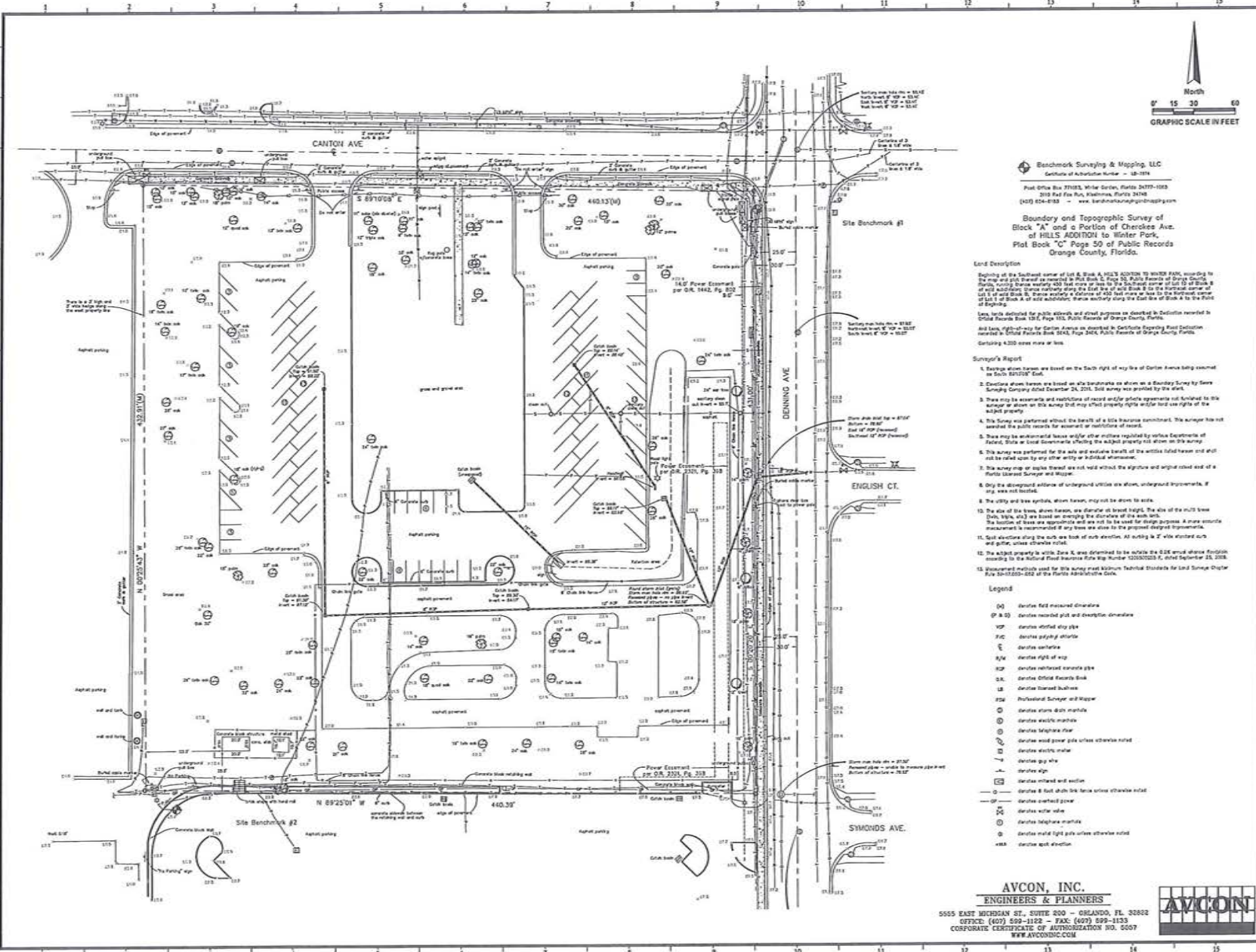
The Residences at Winter Park Village  
Winter Park, Florida

ISSUE DATE
AUGUST 7, 2012
FEBRUARY 4, 2013



EC-1

WINTER PARK TOWN CENTER DEVELOPMENT, LLC.



**Benchmark Surveying & Mapping, LLC**  
 Certificate of Accreditation Number - 18-1874  
 Post Office Box 271853, Winter Garden, Florida 32797-1853  
 3910 Red Fox Run, Kissimmee, Florida 34746  
 (407) 524-8282 - www.benchmarksurveying.com

**Boundary and Topographic Survey of Block "A" and a Portion of Cherokee Ave. of HILLS ADDITION to Winter Park, Plat Book "C" Page 50 of Public Records Orange County, Florida.**

**Land Description**  
 Portion of the Southeast corner of Lot 8 Block 6 HILLS ADDITION TO WINTER PARK, according to the map and plat thereof as recorded in Plat Book C, Page 50, Public Records of Orange County, Florida, recorded therein on 09/23/2010 and more particularly to the Southeast corner of Lot 12 of Block 6 and all additional corner markings thereon, Block 6 of Hills Addition to Winter Park, Plat Book "C" Page 50 of Public Records of Orange County, Florida, as shown on the plat thereof, recorded therein on 09/23/2010 and more particularly to the Southeast corner of Lot 12 of Block 6 as all additional corner markings thereon being hereby acknowledged.

**Surveyor's Report**  
 1. Bearings shown herein are based on the South right of any line of certain areas being assumed as such 182°52'52" East.  
 2. Conditions shown herein are based on the instruments as shown on a Boundary Survey by Stone Surveying Company dated December 24, 2010. Said survey was provided by the client.  
 3. There may be easements and restrictions of record and/or other agreements not recorded to the surveyor or shown on this survey and any other property right or other land use right of the subject property.  
 4. This survey was performed without the benefit of a title insurance commitment. The surveyor has not searched the public records for easements or restrictions of record.  
 5. There may be environmental laws or other rules or regulations regulated by various Departments of Federal, State or local Government affecting the subject property not shown on this survey.  
 6. This survey was performed for the sole and exclusive benefit of the parties listed herein and shall not be relied upon by any other party or individual whatsoever.  
 7. This survey may or may not be used without the signature and original seal and stamp of a Florida Licensed Surveyor and Mapper.  
 8. Only the aboveground portions of underground utilities are shown, underground improvements, if any, were not located.  
 9. The utility and tree symbols, shown herein, may not be shown to scale.  
 10. The size of the trees, shown herein, are illustrative of their height. The size of the utility lines (such as gas, water) are based on existing the disclosure of the same.  
 11. Spot elevations along the curb are shown at curb elevations. All existing 12" wide concrete curb and gutter, shown herein, are shown to scale.  
 12. The subject property is within Zone K, as delineated to be within the GSE street closure floodplain according to the National Flood Insurance Rate Map Number 12020102012 K, dated September 15, 2008.  
 13. Unrecorded materials used for this survey may include Technical Standards for Land Surveying Chapter Rule 60A-122.001-020 of the Florida Administrative Code.

- Legend**
- Ⓞ denotes field measured dimensions
  - Ⓢ denotes measured plot and descriptive dimensions
  - Ⓜ denotes vertical city job
  - Ⓝ denotes polygon alternate
  - Ⓣ denotes easement
  - Ⓝ/4 denotes right of way
  - Ⓜ denotes railroad easement
  - Ⓢ/4 denotes Official Records Book
  - Ⓢ denotes boundary monument
  - Ⓜ denotes boundary surveyor and mapper
  - Ⓝ denotes corner ditch marker
  - Ⓢ denotes electric marker
  - Ⓝ denotes telephone pole
  - Ⓝ denotes wood post (pole unless otherwise noted)
  - Ⓢ denotes electric meter
  - Ⓝ denotes spot elevation
  - Ⓜ denotes railroad and section
  - Ⓝ denotes 6" steel chain link fence unless otherwise noted
  - Ⓝ denotes concrete post
  - Ⓝ denotes water valve
  - Ⓝ denotes telephone marker
  - Ⓝ denotes metal light pole unless otherwise noted
  - Ⓝ denotes spot elevation



DEVELOPMENT MANAGEMENT ARCHITECTURE  
 1800 N. WINTER PARK AVENUE  
 WINTER PARK, FLORIDA 32091 USA

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**CIVIL ENGINEERS**  
 AVCON, INC.  
 3355 E. Michigan Street  
 Suite 200  
 Orlando, Florida 32812-2779  
 Tel: 407-599-1122

**LANDSCAPE ARCHITECT**  
 AVCON, INC.  
 3355 E. Michigan Street  
 Suite 200  
 Orlando, Florida 32812-2779  
 Tel: 407-599-1122



Date	Issue
2/10/12	PRE-CONDITIONAL USE
2/10/12	FINAL CONDITIONAL USE

Date: FEBRUARY 4, 2012  
 Checked By: MK  
 Drawn By: BK  
 Project No.: 2012-201-02  
 File Name:  
 Phase: SCHEMATIC DESIGN  
 Sheet Name:

**EXISTING SITE CONDITIONS**

SHEET NUMBER  
**C-100**

**AVCON, INC.**  
**ENGINEERS & PLANNERS**  
 5555 EAST MICHIGAN ST., SUITE 200 - ORLANDO, FL 32832  
 OFFICE: (407) 599-1122 - FAX: (407) 599-1133  
 CORPORATE CERTIFICATE OF AUTHORIZATION NO. 0057  
 WWW.AVCONINC.COM





CASTO

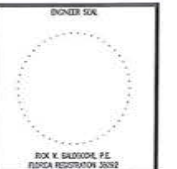


EPOCH Properties

ACi

ASSOCIATED CONSULTING INTERNATIONAL  
CORPORATION  
1916 HENDERSON AVE. WINTER PARK, FLORIDA 32189 USA  
PHONE (407) 948-3643 FAX (407) 948-3648  
COPYRIGHT NOTICE  
All reserved rights revert to ACi if no other arrangement is made within 60 days of the date of termination of this agreement.

CIVIL ENGINEERS  
AVCON INC.  
3555 E. Michigan Street  
Suite 200  
Orlando, Florida 32822 2779  
Tel: (407) 599-1122  
LANDSCAPE ARCHITECT  
ARCHITECTURAL FIRM  
3100 Oak Avenue  
Miami, FL 33139  
Tel: (305) 376-1879 x 1100



BOX K. BLOOMER, P.E.  
FLORIDA REGISTRATION 35892

Date: FEB 4, 2013

Issue/Revision: P.B.E. CONDITIONAL USE

Issue/Revision: FINAL CONDITIONAL USE

Issue/Revision: [Blank]

Issue/Revision: [Blank]

Issue/Revision: [Blank]

Issue/Revision: [Blank]

Issue/Revision: [Blank]

Issue/Revision: [Blank]

Issue/Revision: [Blank]

Issue/Revision: [Blank]

Date: FEBRUARY 4, 2013

Checked By: MAX

Drawn By: RR

Project No.: 2012.201.02

File Name:

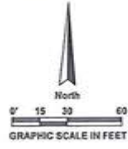
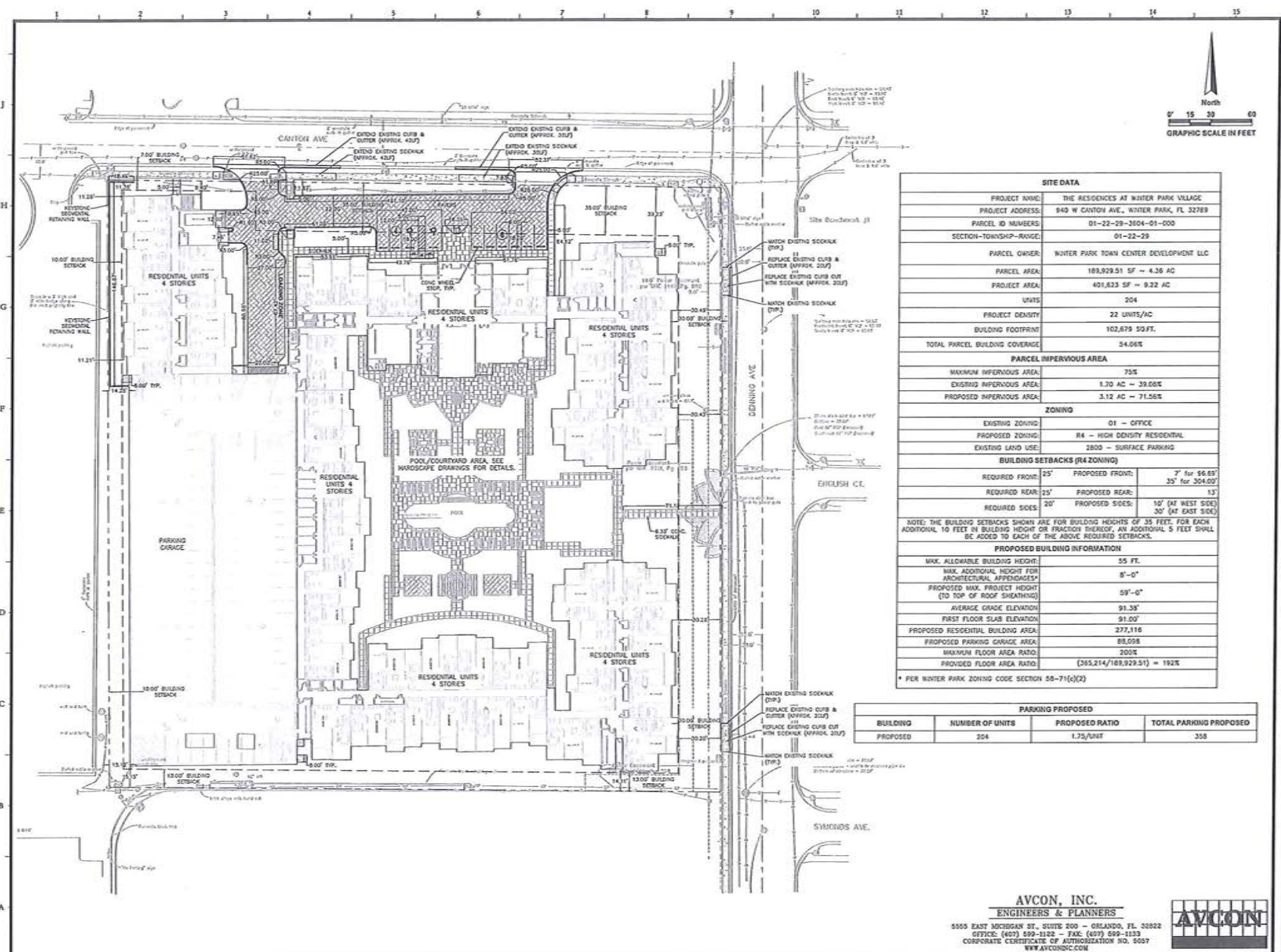
Phase: SCHEMATIC DESIGN  
Sheet Name:

SITE PLAN

SHEET NUMBER

C-200

REV 08-15-12 © Copyright 2012 ACI, Inc.



SITE DATA	
PROJECT NAME:	THE RESIDENCES AT WINTER PARK VILLAGE
PROJECT ADDRESS:	940 W CANTON AVE., WINTER PARK, FL 32789
PARCEL ID NUMBERS:	01-22-29-3604-01-000
SECTION-TOWNSHIP-RANGE:	04-22-29
PARCEL OWNER:	WINTER PARK TOWN CENTER DEVELOPMENT LLC
PARCEL AREA:	189,929.51 SF ~ 4.36 AC
PROJECT AREA:	491,623 SF ~ 9.22 AC
UNITS:	204
PROJECT DENSITY:	22 UNITS/AC
BUILDING FOOTPRINT:	102,679 SQ.FT.
TOTAL PARCEL BUILDING COVERAGE:	54.06%
PARCEL IMPERVIOUS AREA	
MAXIMUM IMPERVIOUS AREA:	75%
EXISTING IMPERVIOUS AREA:	1.20 AC ~ 35.06%
PROPOSED IMPERVIOUS AREA:	3.12 AC ~ 71.56%
ZONING	
EXISTING ZONING:	01 - OFFICE
PROPOSED ZONING:	R4 - HIGH DENSITY RESIDENTIAL
EXISTING LAND USE:	2800 - SURFACE PARKING

BUILDING SETBACKS (R4 ZONING)	
REQUIRED FRONT:	25'
REQUIRED REAR:	25'
REQUIRED SIDES:	20'

NOTE: THE BUILDING SETBACKS SHOWN ARE FOR BUILDING HEIGHTS OF 35 FEET. FOR EACH ADDITIONAL 10 FEET IN BUILDING HEIGHT OR FRACTION THEREOF, AN ADDITIONAL 5 FEET SHALL BE ADDED TO EACH OF THE ABOVE REQUIRED SETBACKS.

PROPOSED BUILDING INFORMATION	
MAX. ALLOWABLE BUILDING HEIGHT:	55 FT.
MAX. ADDITIONAL HEIGHT FOR ARCHITECTURAL APPENDICES <sup>1</sup> :	5'-0"
PROPOSED MAX. PROJECT HEIGHT (TO TOP OF ROOF SHEATHING):	59'-0"
AVERAGE GRADE ELEVATION:	91.35'
FIRST FLOOR SLAB ELEVATION:	91.00'

PROPOSED BUILDING INFORMATION	
PROPOSED RESIDENTIAL BUILDING AREA:	277,116
PROPOSED PARKING GARAGE AREA:	88,098
MAXIMUM FLOOR AREA RATIO:	200%
PROVIDED FLOOR AREA RATIO:	(265,214/168,929.51) = 192%

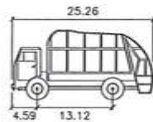
\* PER WINTER PARK ZONING CODE SECTION 58-71(c)(2)

PARKING PROPOSED			
BUILDING PROPOSED	NUMBER OF UNITS	PROPOSED RATIO	TOTAL PARKING PROPOSED
BUILDING PROPOSED	204	1.75/UNIT	358

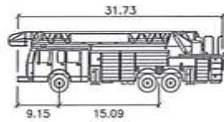
AVCON, INC.  
ENGINEERS & PLANNERS  
5555 EAST MICHIGAN ST., SUITE 200 - ORLANDO, FL 32822  
OFFICE: (407) 599-1122 - FAX: (407) 599-1133  
CORPORATE CERTIFICATE OF AUTHORIZATION NO. 5607  
WWW.AVCONINC.COM

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Garbage Truck feet  
 Width : 25.26  
 Track : 13.12  
 Lock to Lock Time : 7.87  
 Steering Angle : 28.1

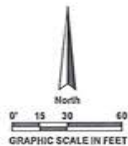


Fire Truck feet  
 Width : 31.73  
 Track : 15.09  
 Lock to Lock Time : 7.61  
 Steering Angle : 41.3

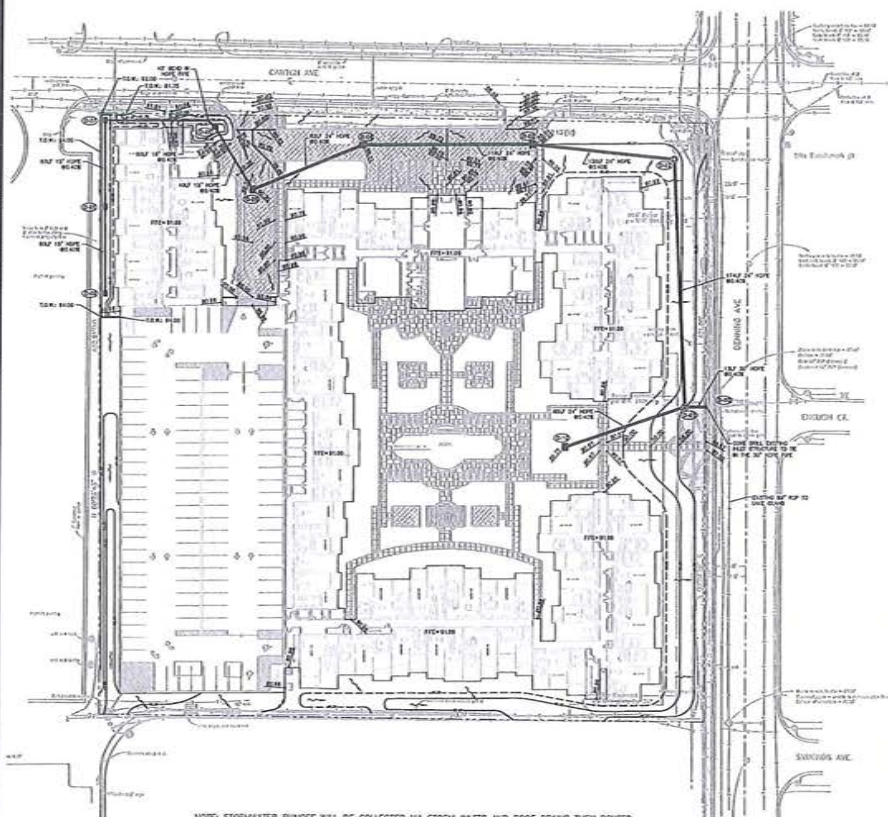
GARBAGE TRUCK ACCESSING TRASH ROOM

FIRE TRUCK THROUGH PARKING AREA

**TURNING RADIUS PLANS**

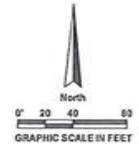


- DOOR SCHEDULES**
- |   |   |   |   |   |   |
|---|---|---|---|---|---|
| D: 3212 19<br>E: 3212 18<br>TYPE: 2 PANEL<br>FIN: 07 24<br>S: 100 UNOAK (18" HOF)<br>SE: 100 UNOAK (18" HOF)<br>SW: 100 UNOAK (18" HOF)<br>W: 100 UNOAK (18" HOF) | D: 3212 20<br>E: 3212 19<br>TYPE: 2 PANEL<br>FIN: 07 24<br>S: 100 UNOAK (18" HOF)<br>SE: 100 UNOAK (18" HOF)<br>SW: 100 UNOAK (18" HOF)<br>W: 100 UNOAK (18" HOF) | D: 3212 21<br>E: 3212 20<br>TYPE: 2 PANEL<br>FIN: 07 24<br>S: 100 UNOAK (18" HOF)<br>SE: 100 UNOAK (18" HOF)<br>SW: 100 UNOAK (18" HOF)<br>W: 100 UNOAK (18" HOF) | D: 3212 22<br>E: 3212 21<br>TYPE: 2 PANEL<br>FIN: 07 24<br>S: 100 UNOAK (18" HOF)<br>SE: 100 UNOAK (18" HOF)<br>SW: 100 UNOAK (18" HOF)<br>W: 100 UNOAK (18" HOF) | D: 3212 23<br>E: 3212 22<br>TYPE: 2 PANEL<br>FIN: 07 24<br>S: 100 UNOAK (18" HOF)<br>SE: 100 UNOAK (18" HOF)<br>SW: 100 UNOAK (18" HOF)<br>W: 100 UNOAK (18" HOF) | D: 3212 24<br>E: 3212 23<br>TYPE: 2 PANEL<br>FIN: 07 24<br>S: 100 UNOAK (18" HOF)<br>SE: 100 UNOAK (18" HOF)<br>SW: 100 UNOAK (18" HOF)<br>W: 100 UNOAK (18" HOF) |
|---|---|---|---|---|---|



NOTE: STORMWATER RUNOFF WILL BE COLLECTED VIA STORM INLETS AND ROOF DRAINS THEN ROUTED TO THE EXISTING LAKE ISLAND POND FOR TREATMENT. THE WATER QUALITY TREATMENT VOLUME REQUIRED TO SERVE THIS PROJECT WILL BE ENCAVATED FROM THE CITY FOND AS REQUIRED BY THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND THE CITY OF WINTER PARK.

**ON-SITE STORM PLAN**



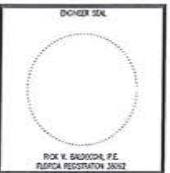
**AVCON, INC.**  
 ENGINEERS & PLANNERS  
 5555 EAST MICHIGAN ST., SUITE 200 - ORLANDO, FL 32822  
 OFFICE: (407) 569-1122 - FAX: (407) 569-1133  
 CORPORATE CERTIFICATE OF AUTHORIZATION NO. 3509  
 WWW.AVCONINC.COM



**ACi**  
 ASSOCIATED CONSULTING INTERNATIONAL  
 DEVELOPMENT MANAGEMENT ASSOCIATES  
 155 N. PENNSYLVANIA AVE.  
 WINTER PARK, FLORIDA 32091 USA  
 PHONE: (407) 848-8888  
 FAX: (407) 848-8888  
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**CIVIL ENGINEERS**  
 AVCON, INC.  
 5555 E. Michigan Street  
 Suite 200  
 Orlando, Florida 32822-2779  
 Tel: (407) 569-1122

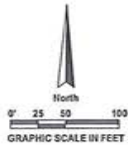
**LANDSCAPE ARCHITECT**  
 Architecture/CA  
 200 Oak Avenue  
 Miami, FL 33139  
 Tel: (305) 375-1479 x-1100



Issues			
Date	Issue	By	Checked By
	PRE-CONDITIONAL USE		
	FINAL CONDITIONAL USE		
Revisions			
No.	Date	Issue/Revision	By

Date: FEBRUARY 4, 2013  
 Checked By: MKK  
 Drawn By: RR  
 Project No.: 2012.2012  
 File Name:  
 Phase: SCHEMATIC DESIGN  
 Sheet Name:  
**STORM / TURNING RADIUS PLAN**  
 SHEET NUMBER  
**C-300**





**CASTO**

**EPOCH Properties**

**ACi**  
 ASSOCIATED CONSULTING INTERNATIONAL  
 DEVELOPMENT MANAGEMENT ARCHITECTURE PLANNING  
 101 PENNSYLVANIA AVE  
 WINTER PARK, FLORIDA 32989 USA  
 PHONE (407) 948-0400  
 FAX (407) 948-0400

**CIVIL ENGINEERS**  
 AVCON, INC.  
 3555 E. Michigan Street  
 Suite 200  
 Orlando, Florida 32812 2779  
 Tel: (407) 399-1122

**LANDSCAPE ARCHITECT**  
 AmphibiousGeo  
 3700 Oak Avenue  
 Miami, FL 33133  
 Tel: (305) 372-1479 x 1300

**DIGNER SEAL**

**BOB W. DIGNER, P.E.**  
 FLORIDA REGISTRATION 32828

Issues			
Date	Issue		
02/01/13	PRE. CONDITIONAL USE		
02/01/13	FINAL CONDITIONAL USE		
Revisions			
No.	Date	Issue/Revision	By

Date: FEBRUARY 4, 2013  
 Checked By: MK  
 Drawn By: RR  
 Project No.: 2012.2014.02  
 File Name:  
 Phase: SCHEMATIC DESIGN  
 Sheet Name:

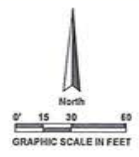
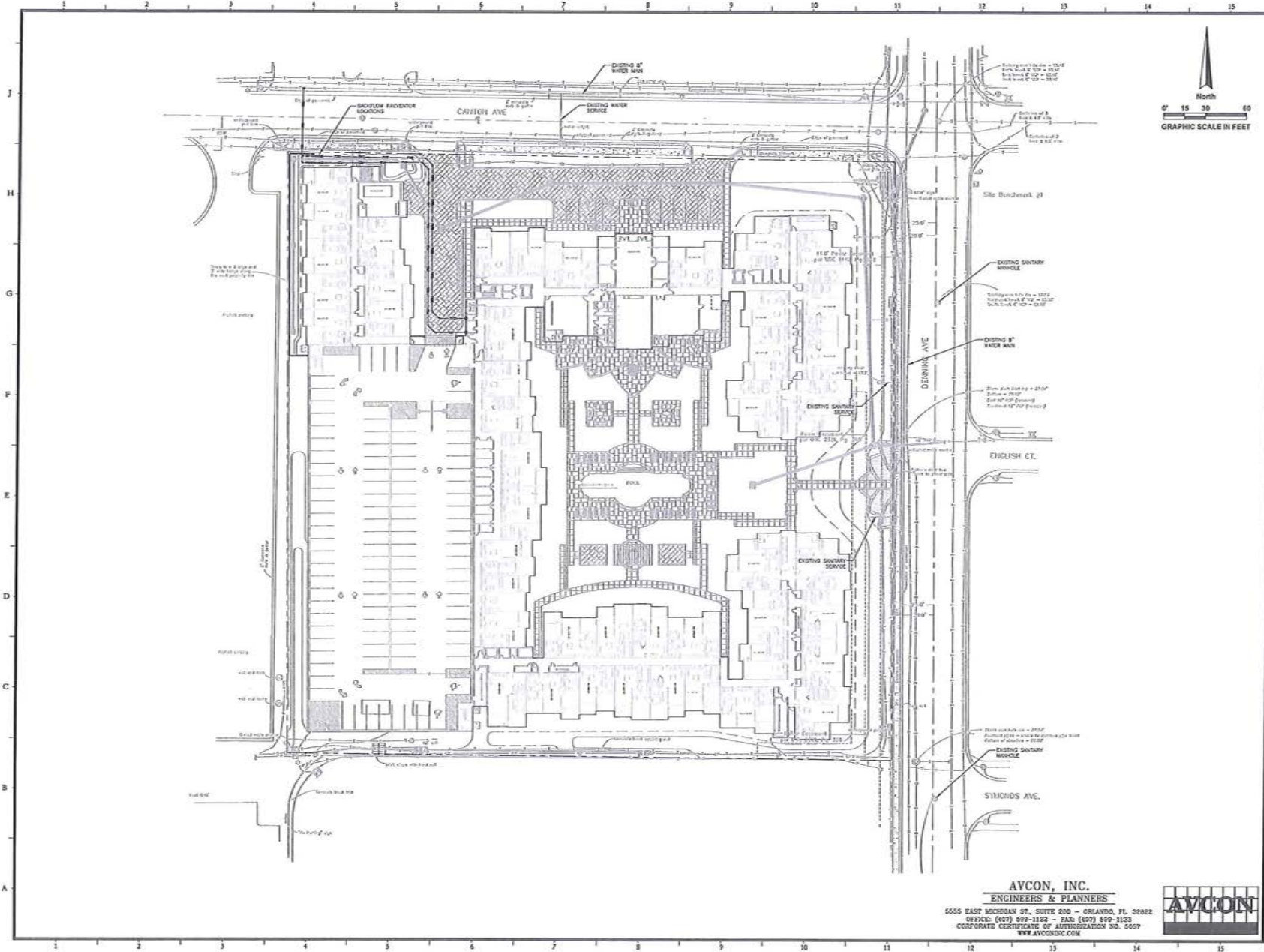
**OFF-SITE STORMWATER PLAN**  
 SHEET NUMBER  
**C-301**

**OFF-SITE STORMWATER PLAN**

NOTE: STORMWATER RUNOFF WILL BE COLLECTED VIA STORM INLETS AND ROOF DRAINS THEN ROUTED THRU THE PROPOSED UNDERGROUND STORM PIPES TO THE CITY OF WINTER PARK'S STORM SEWER SYSTEM. THE RUNOFF WILL THEN BE ROUTED TO LAKE MENDSEN FOR TREATMENT WHERE THE POND WILL BE EXPANDED TO PROVIDE THE TREATMENT VOLUME REQUIRED BY THE SE. JONES RIVER WATER MANAGEMENT DISTRICT AND THE CITY OF WINTER PARK TO DEVELOP THIS PROPERTY.

**AVCON, INC.**  
 ENGINEERS & PLANNERS  
 6555 EAST MICHIGAN ST., SUITE 200 - ORLANDO, FL 32812  
 OFFICE: (407) 599-1122 - FAX: (407) 599-1133  
 CORPORATE CERTIFICATE OF AUTHORIZATION NO. 6557  
 WWW.AVCONINC.COM





**CASTO**

**EPOCH Properties**

**ACi**  
ASSOCIATED CONSULTING INTERNATIONAL

DEVELOPMENT MANAGEMENT ARCHITECTURE & PLANNING  
1818 HENNINGSON AVE  
WEST PALM BEACH, FLORIDA 33411 USA

PHONE (561) 833-1000  
FAX (561) 833-1000

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**LANDSCAPE ARCHITECT**  
ArchitecturalGen  
2100 Oak Avenue  
Miami, FL 33139  
Tel: (305) 372-5479 x 1000

**DONOR SEAL**

ROD V. SALDANA, P.E.  
FLORIDA REGISTRATION 3802

Issues			
Date	Issue		
12/01/11	PRE-CONDITIONAL USE		
02/04/12	FINAL CONDITIONAL USE		
Revisions			
No.	Date	Issue/Revision	By

Date: FEBRUARY 4, 2013  
Checked By: MK  
Drawn By: RR  
Project No.: 2012.201.02  
File Name:  
Phone: SCHEMATIC DESIGN  
Sheet Name:

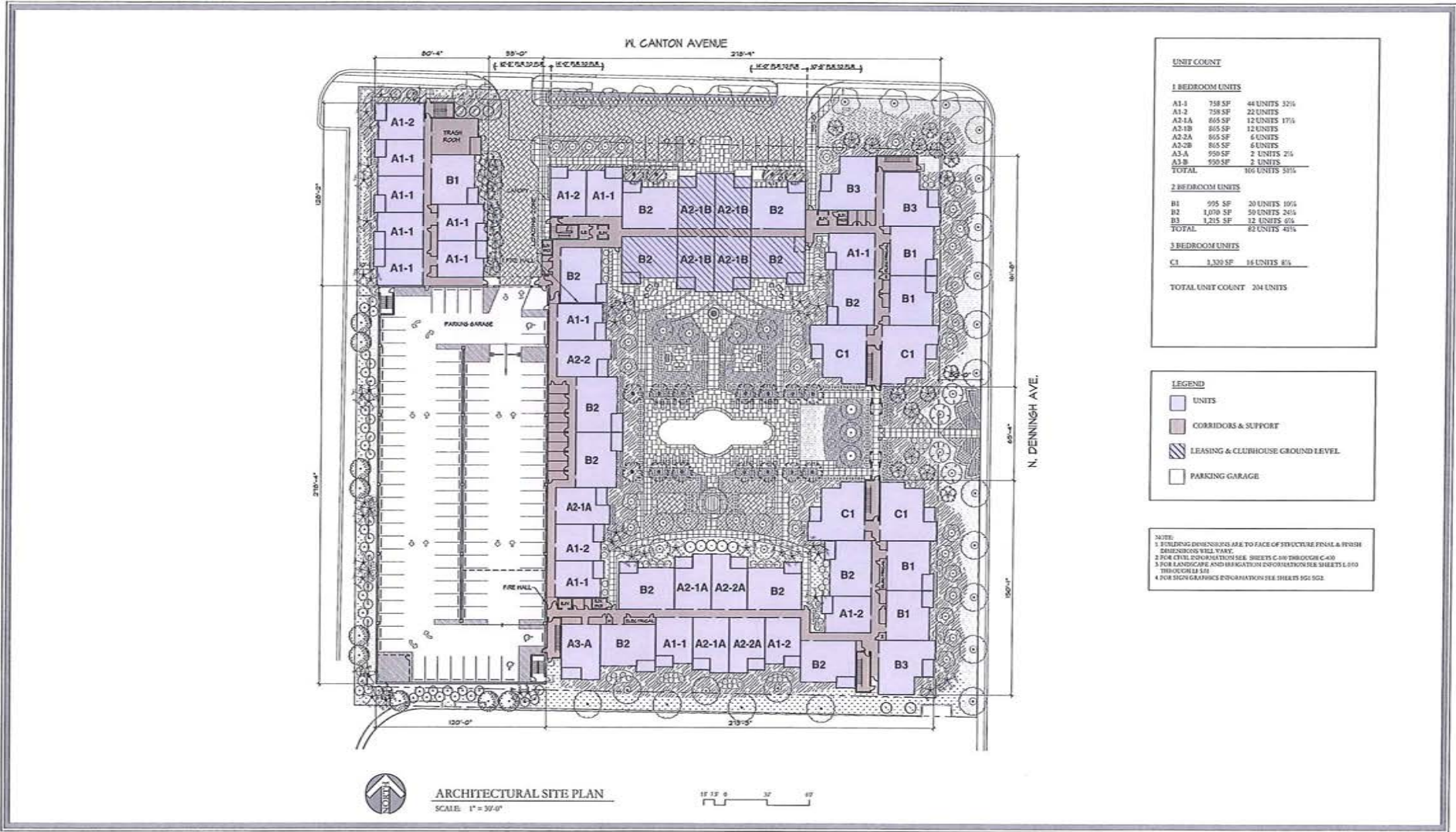
**UTILITY PLAN**

SHEET NUMBER  
**C-400**

**AVCON, INC.**  
ENGINEERS & PLANNERS

5555 EAST MICHIGAN ST., SUITE 200 - ORLANDO, FL 32822  
OFFICE: (407) 599-1122 - FAX: (407) 599-1123  
CORPORATE CERTIFICATE OF AUTHORIZATION NO. 0057  
WWW.AVCONINC.COM





**UNIT COUNT**

**1 BEDROOM UNITS**

A1-1	750 SF	44 UNITS	32%
A1-2	750 SF	22 UNITS	
A2-1A	865 SF	12 UNITS	17%
A2-1B	865 SF	12 UNITS	
A2-2A	865 SF	6 UNITS	
A2-2B	865 SF	6 UNITS	
A3-A	950 SF	2 UNITS	2%
A3-B	950 SF	2 UNITS	
<b>TOTAL</b>		<b>100 UNITS</b>	<b>53%</b>

**2 BEDROOM UNITS**

B1	995 SF	20 UNITS	10%
B2	1,070 SF	50 UNITS	24%
B3	1,215 SF	12 UNITS	6%
<b>TOTAL</b>		<b>82 UNITS</b>	<b>43%</b>

**3 BEDROOM UNITS**

C1	1,320 SF	16 UNITS	8%
----	----------	----------	----

**TOTAL UNIT COUNT 204 UNITS**

**LEGEND**

- UNITS
- CORRIDORS & SUPPORT
- LEASING & CLUBHOUSE GROUND LEVEL
- PARKING GARAGE

**NOTES:**

1. BUILDING DIMENSIONS TO FACE OF STRUCTURE FINAL & FINISH DIMENSIONS WILL VARY.
2. FOR CIVIL INFORMATION SEE SHEETS C-100 THROUGH C-400.
3. FOR LANDSCAPE AND IRRIGATION INFORMATION SEE SHEETS L-100 THROUGH L-150.
4. FOR SIGN GRAPHICS INFORMATION SEE SHEETS S-101 S-102.

**ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 30'-0"



**The Residences at Winter Park Village**  
Winter Park, Florida

DATE:  
AUGUST 7, 2012  
FEBRUARY 4, 2013

**CASTO**

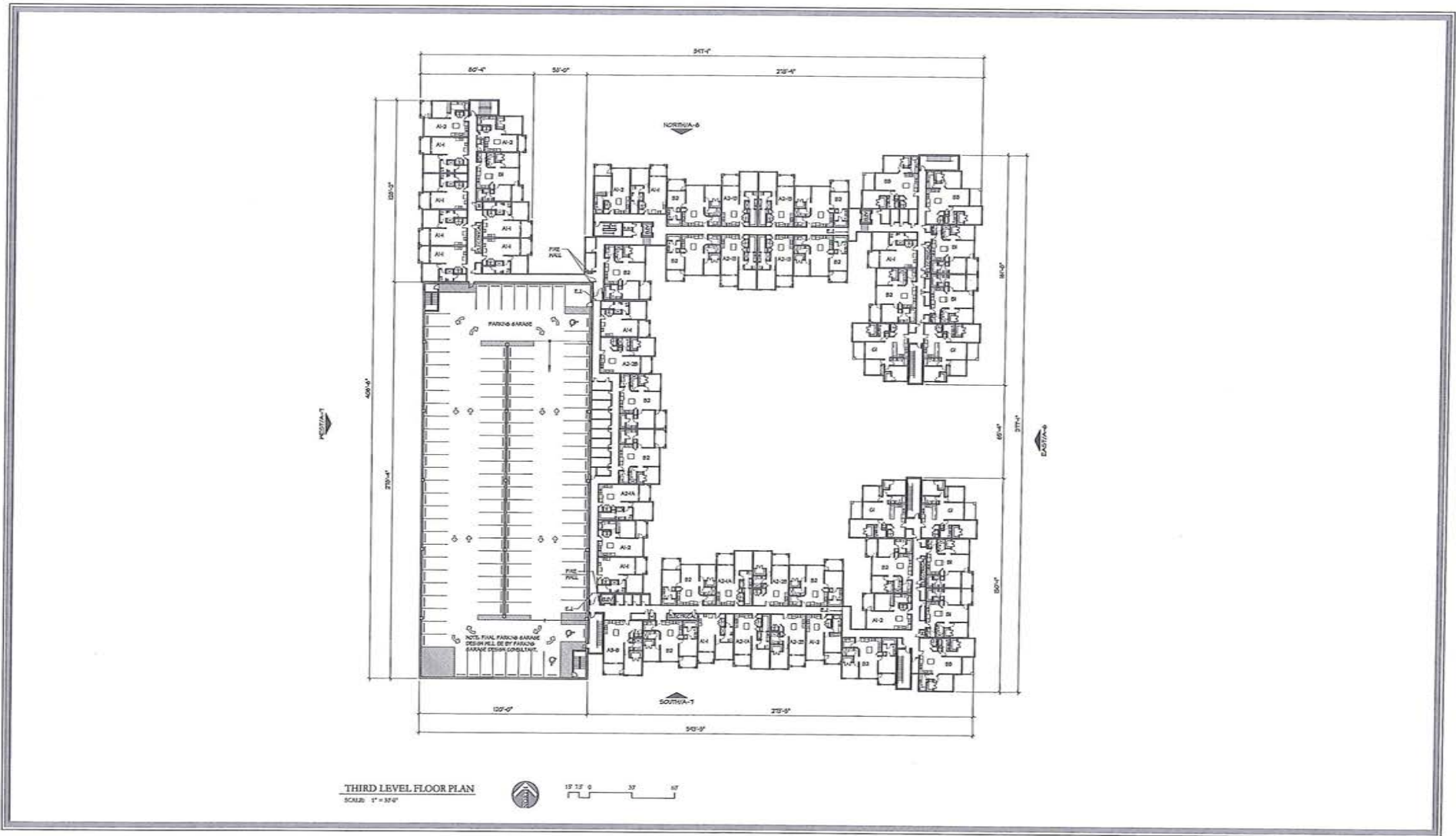
WINTER PARK TOWN CENTER DEVELOPMENT, LLC.

**EPOCH Properties**

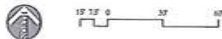
**AC**

**A-1**





THIRD LEVEL FLOOR PLAN  
SCALE: 1" = 10'-0"



The Residences at Winter Park Village  
Winter Park, Florida

ISSUE DATE:	AUGUST 7, 2012
REVISION:	FEBRUARY 4, 2013



EPOCH Properties  
WINTER PARK TOWN CENTER DEVELOPMENT, LLC.



A-4





FOURTH LEVEL FLOOR PLAN  
 SCALE: 1" = 32'-0"



The Residences at Winter Park Village  
 Winter Park, Florida

REVISION DATE:	AUGUST 7, 2012
	FEBRUARY 4, 2013



EPOCH Properties  
 WINTER PARK TOWN CENTER DEVELOPMENT, LLC.



A-5



PRELIMINARY NORTH ELEVATION (W. CANTON AVENUE)

SCALE: SCALE: 1/16"=1'-0"



PRELIMINARY EAST ELEVATION (N. DENNING AVE.)

SCALE: SCALE: 1/16"=1'-0"



The Residences at Winter Park Village  
Winter Park, Florida

ISSUE DATE:
AUGUST 7, 2013
FEBRUARY 4, 2013



EPOCH Properties  
WINTER PARK TOWN CENTER DEVELOPMENT, LLC.



A-6





**PRELIMINARY SOUTH ELEVATION**  
SCALE: 1/16"=1'-0"



**PRELIMINARY WEST ELEVATION**  
SCALE: 1/16"=1'-0"



The Residences at Winter Park Village  
Winter Park, Florida

WORK DATE:
AUGUST 7, 2013
FEBRUARY 4, 2013

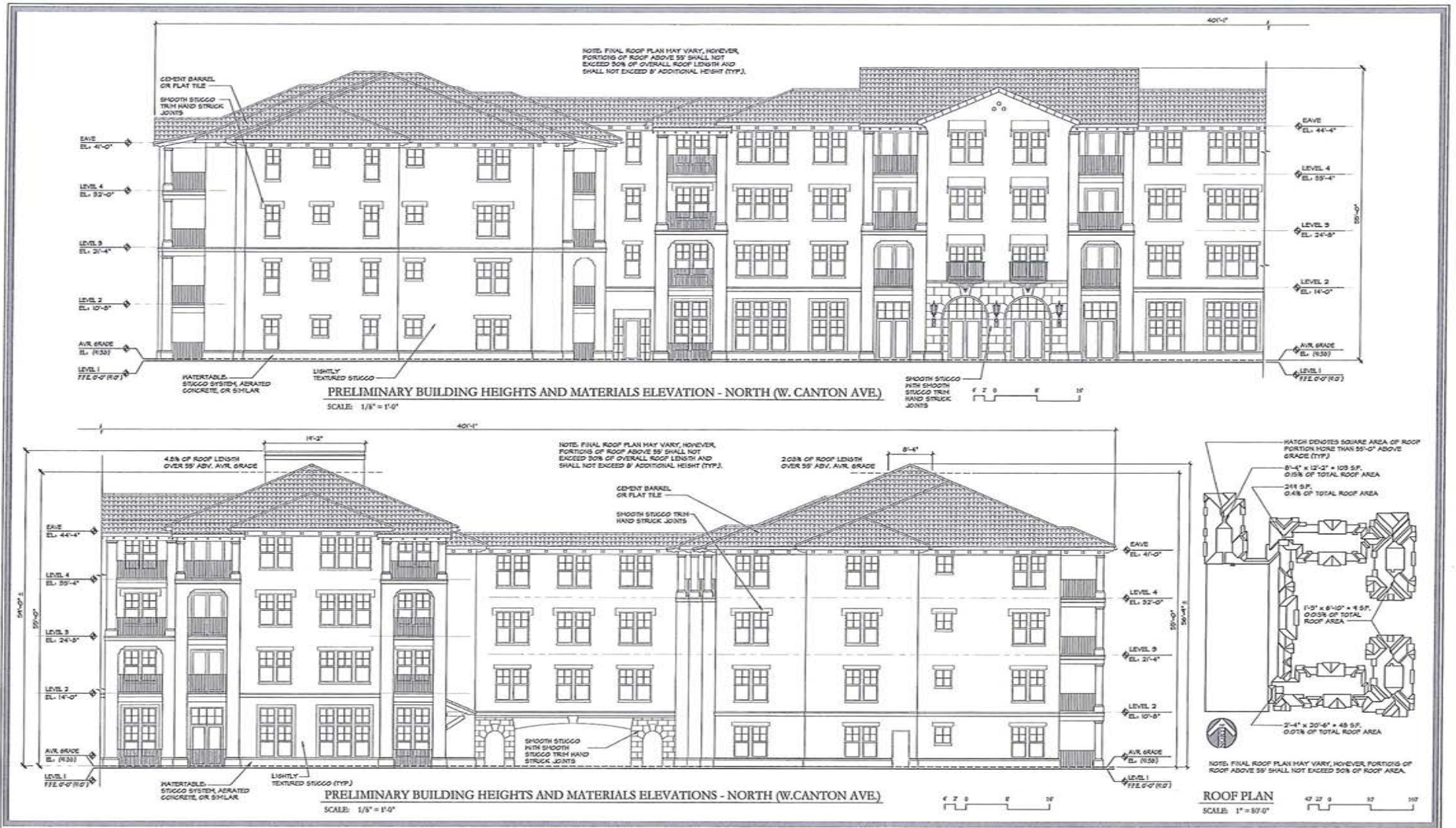


**EPOCH Properties**  
WINTER PARK TOWN CENTER DEVELOPMENT, LLC.



A-7



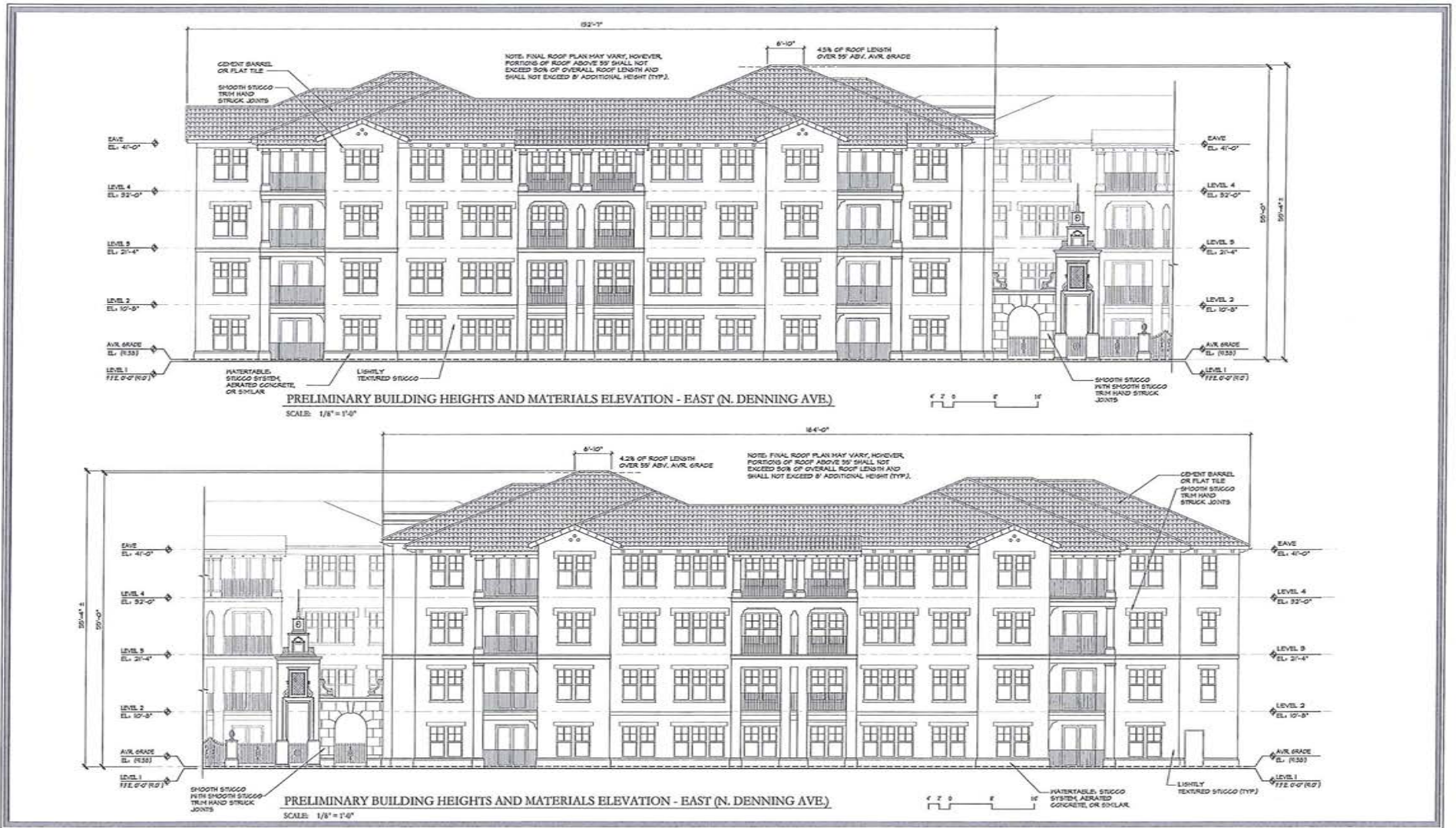


The Residences at Winter Park Village  
Winter Park, Florida

ISSUE DATE:	AUGUST 7, 2012
	FEBRUARY 4, 2013



WINTER PARK TOWN CENTER DEVELOPMENT, LLC.



The Residences at Winter Park Village  
Winter Park, Florida

ISSUE DATE:  
AUGUST 7, 2012  
FEBRUARY 4, 2013

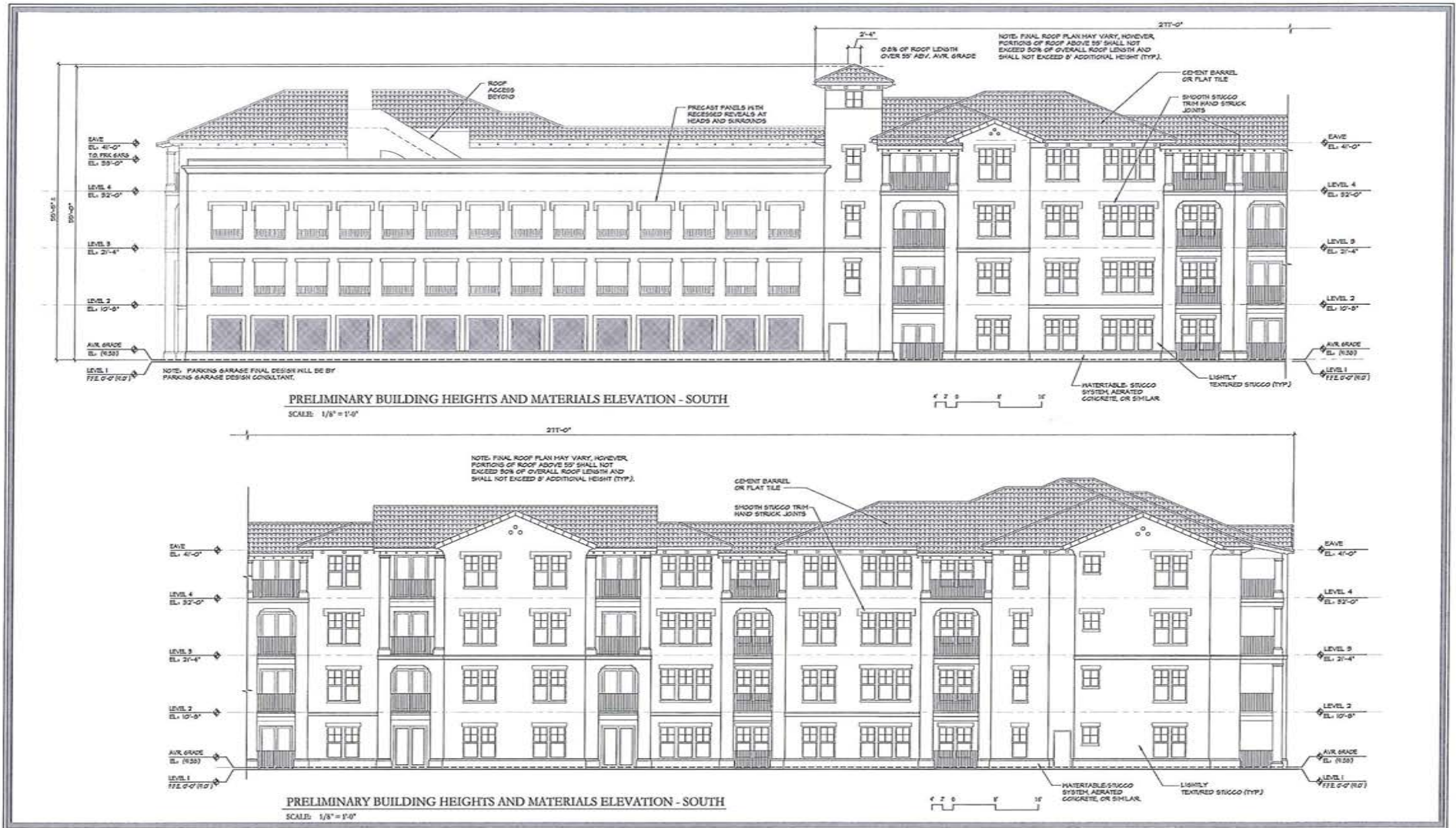
CASTO

EPOCH Properties  
WINTER PARK TOWN CENTER DEVELOPMENT, LLC.

AC

A-9





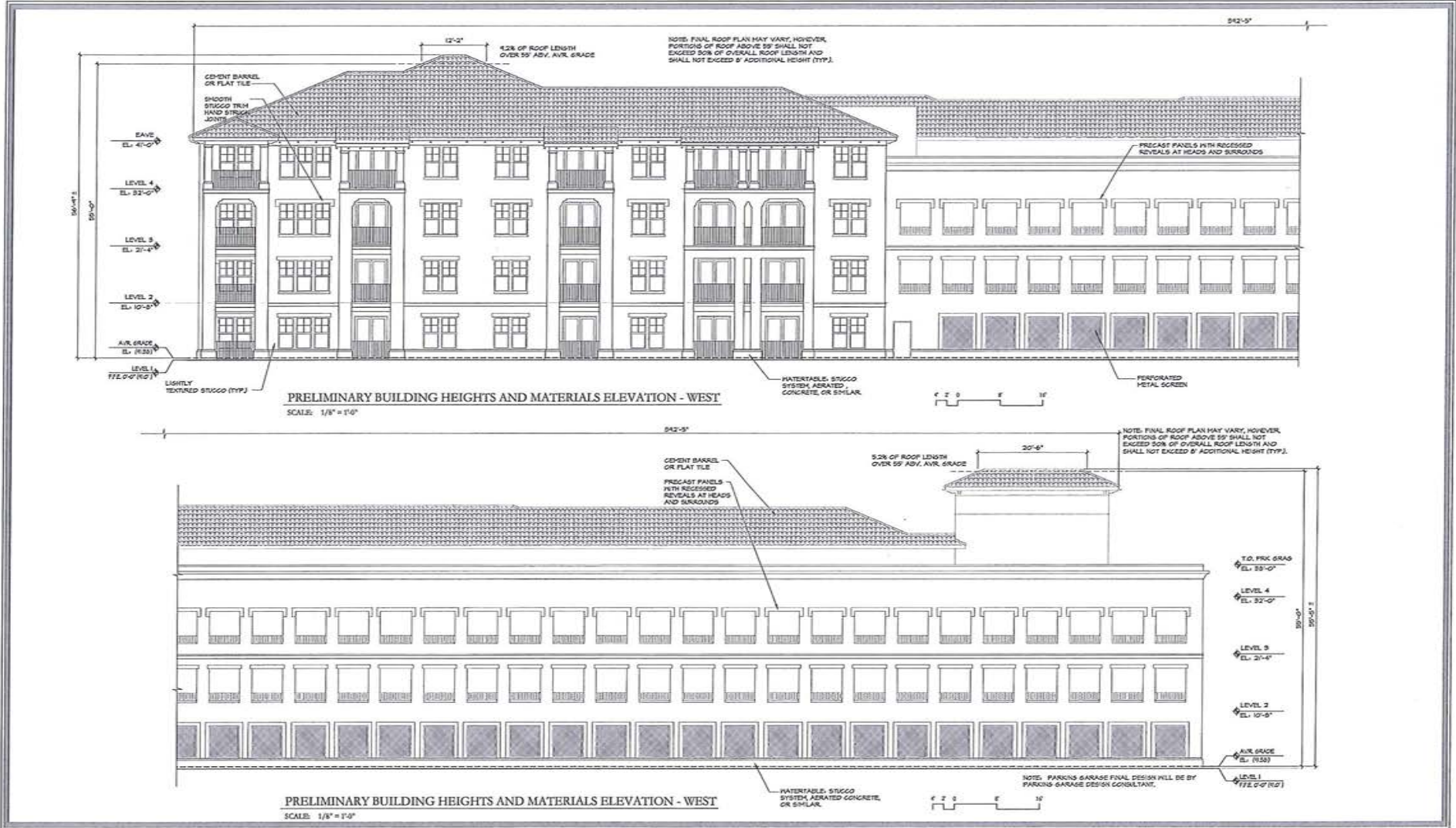
The Residences at Winter Park Village  
Winter Park, Florida

ISSUE DATE:	AUGUST 7, 2012
	FEBRUARY 4, 2013



A-10

WINTER PARK TOWN CENTER DEVELOPMENT, L.L.C.



The Residences at Winter Park Village  
Winter Park, Florida

ISSUE DATE:  
AUGUST 7, 2012  
FEBRUARY 4, 2013

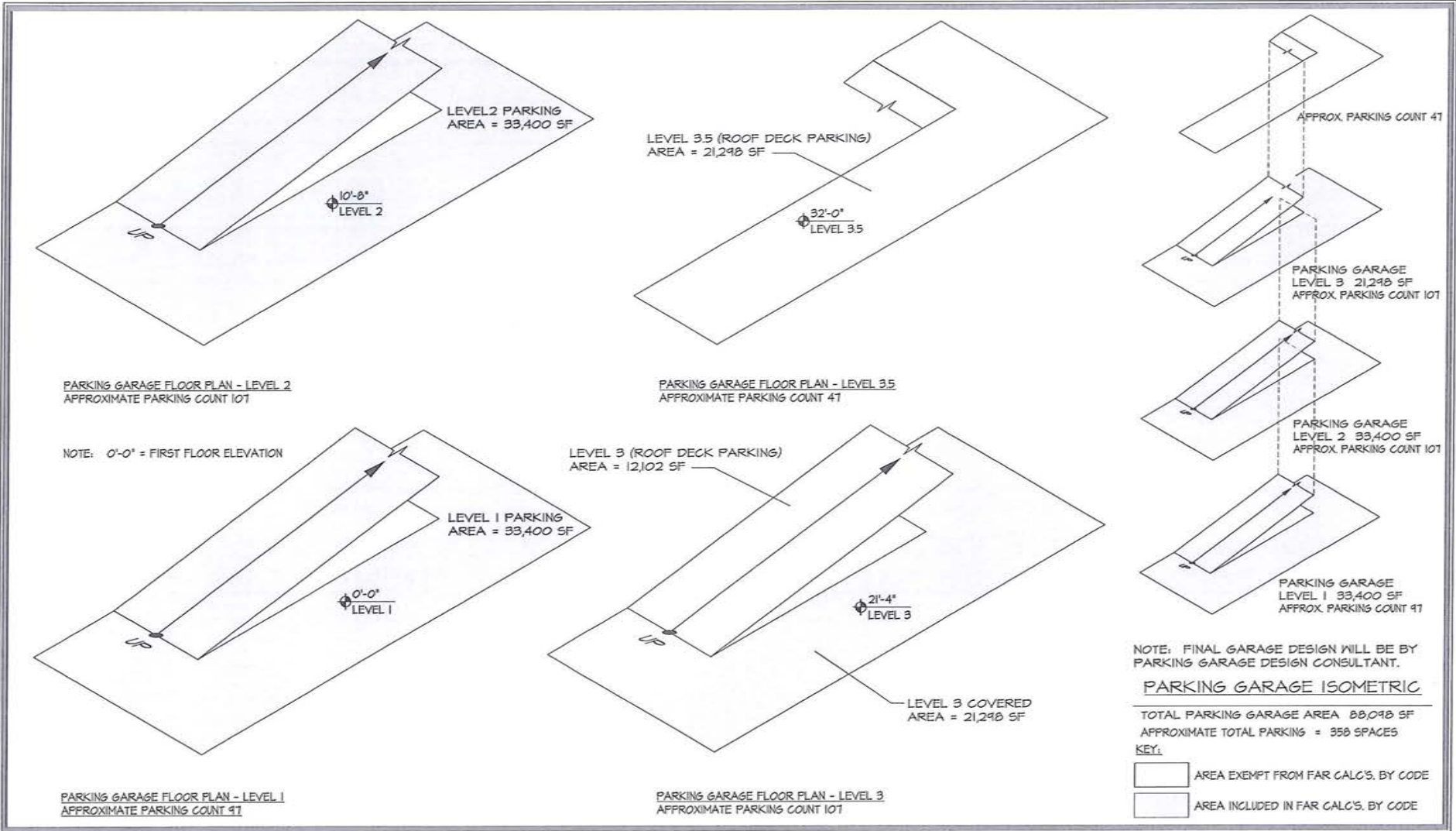


EPOCH Properties  
WINTER PARK TOWN CENTER DEVELOPMENT, LLC.



A-11



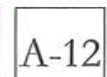


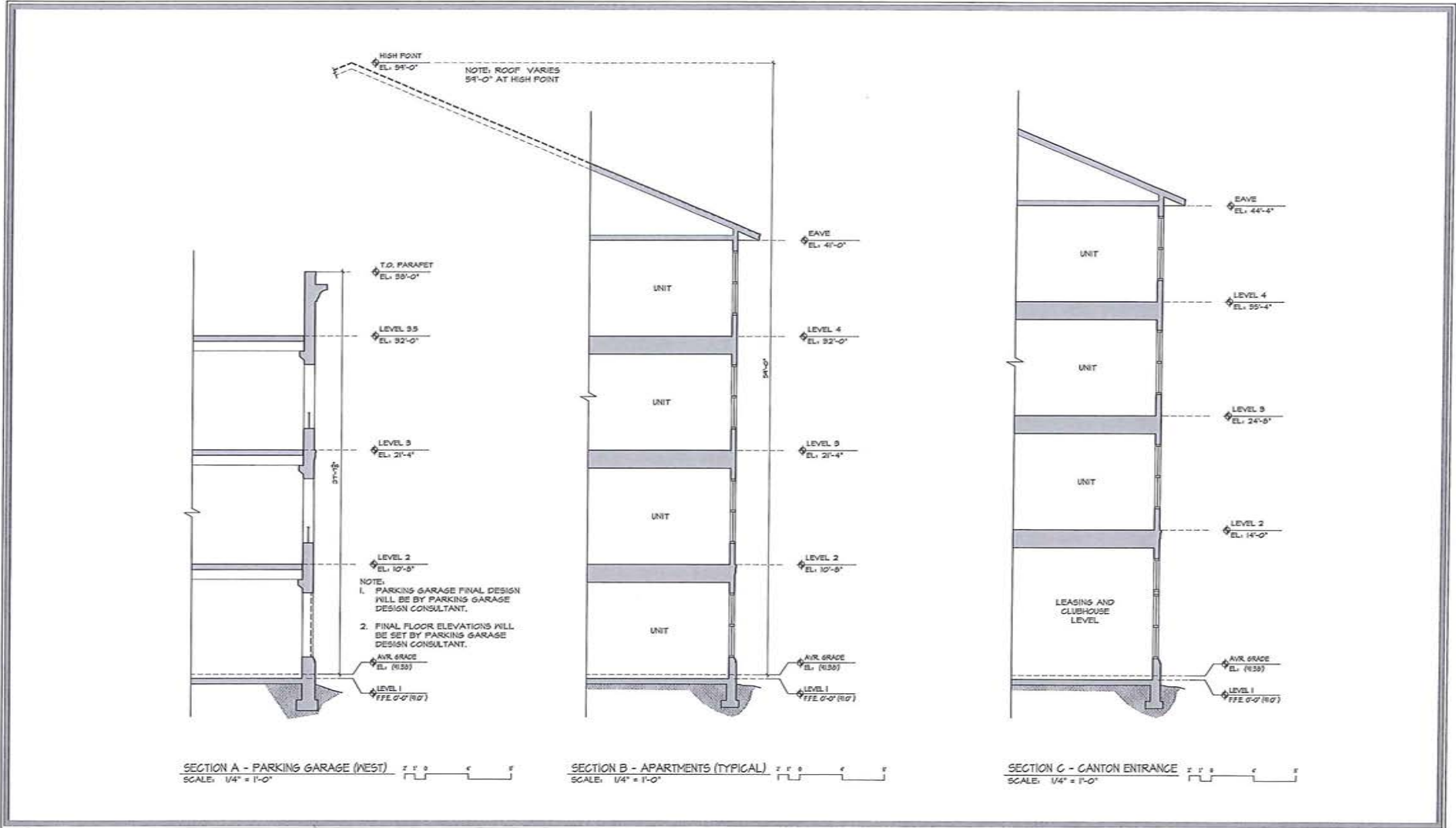
The Residences at Winter Park Village  
Winter Park, Florida

REVISION DATE	
AUGUST 7, 2012	
FEBRUARY 4, 2013	



WINTER PARK TOWN CENTER DEVELOPMENT, LLC.





The Residences at Winter Park Village  
 Winter Park, Florida

ISSUE DATE:	AUGUST 7, 2012
	FEBRUARY 4, 2013



EPOCH Properties  
 WINTER PARK TOWN CENTER DEVELOPMENT, LLC.



A-13



NORTHWEST CORNER AT W.CANTON AVENUE

The Residences at Winter Park Village  
 Winter Park, Florida

DATE:	AUGUST 7, 2012
DATE:	FEBRUARY 4, 2013



**EPOCH Properties**  
 WINTER PARK TOWN CENTER DEVELOPMENT, LLC.



A-14





SOUTHEAST CORNER AT N. DENNING AVENUE

The Residences at Winter Park Village  
 Winter Park, Florida

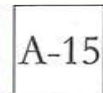
ISSUE DATE:
AUGUST 7, 2012
FEBRUARY 4, 2013



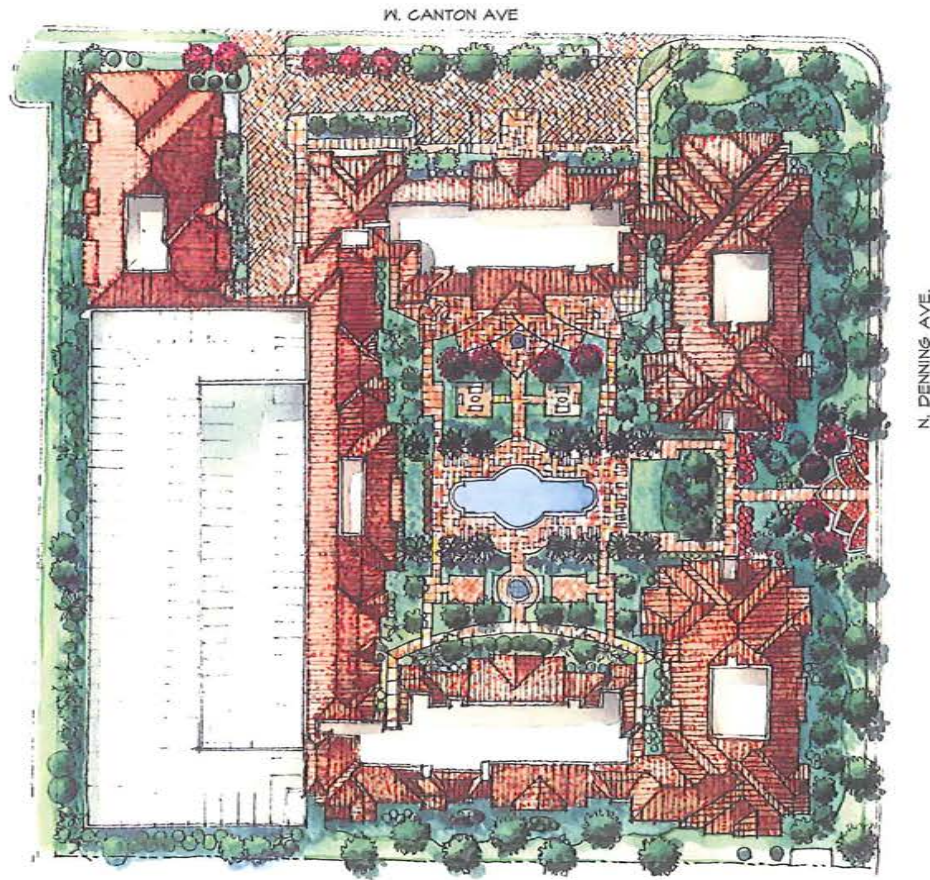
WINTER PARK TOWN CENTER DEVELOPMENT, LLC.



EPOCH Properties







ARQUITECTONICAGEO



CONCEPTUAL LANDSCAPE PLAN  
SCALE: 1"=30'-0"



The Residences at Winter Park Village  
Winter Park, Florida

ISSUE DATE:
AUGUST 7, 2012
FEBRUARY 4, 2013



WINTER PARK TOWN CENTER DEVELOPMENT, L.L.C.



EPOCH Properties



CL-1

**GENERAL NOTES**

- These plans reflect the scope of the Landscape Architect external services. For Architectural, Civil, please refer to the appropriate consultant documents.
- The locations of all site amenities are approximate and may be adjusted in the field with owner and/or their representatives approval. See plans for locations of field amenities.
- The locations of plants, as shown in these plans, are approximate. The final locations may be adjusted to accommodate unforeseen field conditions to comply with utility setbacks, to avoid existing utility right-of-way, or as otherwise directed by or approved by the landscape architect and/or owner's representative.
- Landscape Contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the contractor's own work. Landscape contractor shall provide schedule of his/her work two weeks in advance, beginning two weeks prior to commencing landscape trade construction.
- Construction shall comply with all local building codes.
- All dimensions shall be verified in the field prior to construction. Within dimensions shall take precedence over scaled drawings.
- Contractor is to report any discrepancies between the construction drawings and field.
- If a discrepancy should arise between layout geometry and design intent, design intent shall take precedence.
- Landscape Contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the contractor's own work. Landscape contractor shall provide schedule of his/her work two weeks in advance, beginning two weeks prior to commencing landscape trade construction.
- The location of the landscape holding areas will be identified by the Owner or Owner's Representative. The Contractor shall adhere to the access routes to and from the holding areas without disrupting or impeding access to the site by others. Contractor is responsible for the maintenance of all plant materials, including temporary irrigation and fertilization if necessary during construction, while being held in landscape holding areas.
- The Contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and included in the specifications. Prior to commencement of the landscape planting work the Contractor shall provide test results with recommendations for soil treatment in the construction area.
- Landscape Contractor shall field stake the location of all plant material or field stake the plants prior to installing irrigation for the review and approval of the Owner's representative and/or Landscape Architect. Note: No planting shall commence until there is a functional irrigation system in the area to be planted. No trees shall be planted on top of irrigation lines.
- Landscape Contractor shall coordinate all planting work with permanent or temporary irrigation work. Landscape Contractor shall be responsible for all hand watering as required by Owner's Representative to supplement irrigation watering and so forth. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
- Any substitutions in size and/or plant species must be approved by the Landscape Architect or Owner's Representative prior to installation of the material, purchasing and delivery of plants. All plants will be subject to approval by Landscape Architect and/or Owner's Representative before planting can begin. All plant materials will not include any plants considered to be invasive by the City of Winter Park.
- Contractor shall refer to the landscape planting details, general notes and the project manual and/or specifications for further and complete landscape planting instructions.
- Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and disposed of site or in an approved disposal area daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner's Representative.
- Landscape Contractor shall grade all areas defined by plant removal, relocation and/or installation work. Landscape Contractor shall replace (by equal or better) any and all existing or new plant material disturbed or damaged by plant removal, relocation, and/or installation work.

**CITY OF WINTER PARK LANDSCAPE NOTES**

- All landscaping shall meet or exceed all City of Winter Park code specifications requirements.
- All planted trees shall be provided with tree protection areas and barriers as required by Division 6, Tree Removal and Protection, Section 19-252.
- Mulch around trees and plants is prohibited.
- The use of fertilizer with phosphorus shall conform to statutory requirements.
- Shade and understory tree trunks exposed from the trunk cavities shall be minimum diameter of four feet from cuts, walls, pavement, walls, and underground utilities with the exclusion of city-owned public utility poles.
- For State of Florida Statutes, call Sunshine State Tree (311) <http://www.citrus.com/line> 72 hours prior to disposal to have all utility located.
- All automatic in-ground irrigation systems shall have a functioning rain sensor as required by Florida Statute.
- Excess soil, mulch, sawdust, or other debris, vegetation material, and/or vegetation debris (stems, twigs, branches, cones, needles, etc.) shall be removed from the site prior to the beginning of construction.
- All landscape materials shall be conformable with the Standards for Florida, Part 1 or letter as established in the Best Florida Practices and Standards Manual for Nursery Plants by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry (<http://www.dasas.state.fl.us/plantind/>).
- All ground-mounted electrical equipment transformers shall be painted green or black unless a different color is required by the City of Winter Park.
- All landscaping shall be installed according to accepted commercial planting procedures. Soil shall be of the stock and other construction debris. All vehicle use areas include: (1) curbs, sidewalk, cement, etc.) shall not extend further than six inches from the back of curbs into the landscape areas.
- Landscape areas along curbs shall be inspected by the city at the time of rough grading inspection and shall be certified free of loose materials beyond six inches from the back of curb.
- Non-biodegradable landscape mulch or similar fabric is prohibited.
- Finished grade prior to mulching or sodding shall be three inches below the top of adjacent surfaces such as walls, curbs, and sidewalks extending perpendicular to the surface edge for a minimum distance of 18 inches. The slope shall be such that the diameter shall be double.
- Trees and palms shall be installed so their top main root at the trunk base is visible and not in contact with finished grade. Do not apply the one inch of mulch to the top of the root ball until after inspection of each tree or palm.
- Remove all curbside coverings (metal bike racks) or metal barriers which shall be held back below finished grade, signs, bins, signs, signs and nursery attachments from all plant material.
- A layer of organic mulch derived from a renewable resource such as pine, spruce, fir, or mulch to a minimum depth of three inches shall be applied to plants to which such mulch is applicable. Mulch from regions such as stone, rubble, or aggregate shall be prohibited. Mulch may be applied to trees and palms shall be a minimum four inch diameter. Mulch applied to palms shall be applied to the trunk and canopy. Mulch shall not touch trunks or stems or be applied within the crown of ground covers or over that trunks or foliage. A layer of one inch of mulch over a non-wood soil separator may be used only for drainage purposes or in utility areas.
- All plant material shall be maintained in a plump, upright and stable condition. All trees/palms shall be sprayed or staked for a minimum of one year. If trees/palms are well rooted, the spraying or staking attachments shall be removed by the end of the 18th month. Attachments shall be adjusted regularly to prevent girdling of trunks or branches.
- All regular landscaping, whether permanent or newly planted, shall be maintained in good health and condition in order to meet the requirements of these regulations. It is the responsibility of the property owner to maintain such landscaping in good condition and to replace as necessary any plant material due to inevitable disease and/or lack due to drought, freeze, or for any other reasons.
- The property owner shall maintain a irrigation system in good working condition in order to insure 100 percent coverage of all landscape areas and to meet the proper growth of the landscaping.
- All prohibited plant species shall be removed as part of the regular landscape maintenance.
- Intersections and right-of-way visibility. When an driveway intersects a public right-of-way, landscaping may be used to define the intersection, provided that all landscaping within the driveway areas described in subsections (f)(1) and (f)(2) below shall provide unobstructed cross-visibility at all times between two and four feet high and eight feet in height. Trees and shrubs shall be periodically pruned and trimmed so that no limbs or foliage extend into the cross-visibility zone. Landscaping sought for grass and shrub low ground cover, shall not be located closer than three feet from the edge of any driveway. The regular areas referenced above shall satisfy the following dimensional requirements, except the above described exceptions by the City engineer:
  - The area of property on both sides of an driveway, bounded by the intersection of each side of the driveway and the public right-of-way line with the center of each tree being ten feet in height from the point of intersection and the third side being a line connecting the ends of the other two sides.
  - The area of property located at a corner formed by the intersection of two or more public rights-of-way with the sides of the triangular area being measured 30 feet in height along the sloping edges of pavement, from the point of intersection, and the third being a line connecting the ends of the other two sides, and
  - Landscaping shall not block roadway signage.

**Landscape Legend**

Property Type:	Multifamily	REQUIRED ALLOWED	PROVIDED
<b>GENERAL</b>			
A. Total Site Area - 183,511 sq. ft.	183,511 sq. ft. x 75 % =	137,633 sq. ft.	137,633
B. Low water use perennial area:	51,875 sq. ft. x 70 % =	36,313 sq. ft.	41,276
<b>BUILDING FACADE LANDSCAPING</b>			
A. Building facade area plants with a minimum height of 32 inches at time of planting and achieve a minimum of 2 feet in height:	18,334 sq. ft. x 50 % =	9,167 sq. ft.	13,375
B. Understory trees per 100 linear feet of the building facade area:	6 x 5 =	30 trees	31
<b>VEHICLE USE AREA LANDSCAPING</b>			
A. A hedge, one shade tree, and one understory tree per 50 linear ft. of required vehicle use landscaped area:	Linear feet: 120' x 3.4 =	408 trees	7
B. Interior landscape area required:	Vehicle use area: 8307 sq. ft. x 7.5 % =	623 sq. ft.	607

**DRAWING ORGANIZATION**

- DRAWING NUMBERING SYSTEM



- DRAWING GROUP

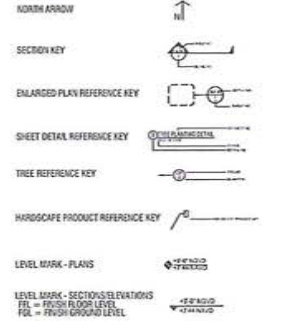
- LANDSCAPE DRAWINGS ARE ORGANIZED INTO THE FOLLOWING GROUPS:
- L-0 - GENERAL
  - L-1 - PLANS
  - L-2 - ELEVATIONS
  - L-3 - SECTIONS
  - L-4 - ENLARGEMENTS

- SHEET NUMBER

EACH DRAWING SHEET WITHIN EACH GROUP/MULTIPLE SHALL BE NUMBERED SEQUENTIALLY FROM 00 TO 64.

- DRAWING NUMBER EXAMPLES:

MSM-L-1100 LANDSCAPE PLAN LEVEL 1



**DRAWING INDEX**

- L-000 LANDSCAPE NOTES AND CALC'S
- L-100 EXISTING TREE PROTECTION PLAN
- L-101 HIRSCAPE PLAN
- L-102 TREE PLAN
- L-104 SHRUBS AND GROUNDCOVERS
- L-105 PLANT IMAGES
- L-106 HIRSCAPE DETAILS
- L-107 LANDSCAPE DETAILS
- L-108 IRRIGATION NOTES
- L-109 IRRIGATION PLANS
- L-110 IRRIGATION DETAILS

The Residences at Winter Park Village  
Winter Park, Florida

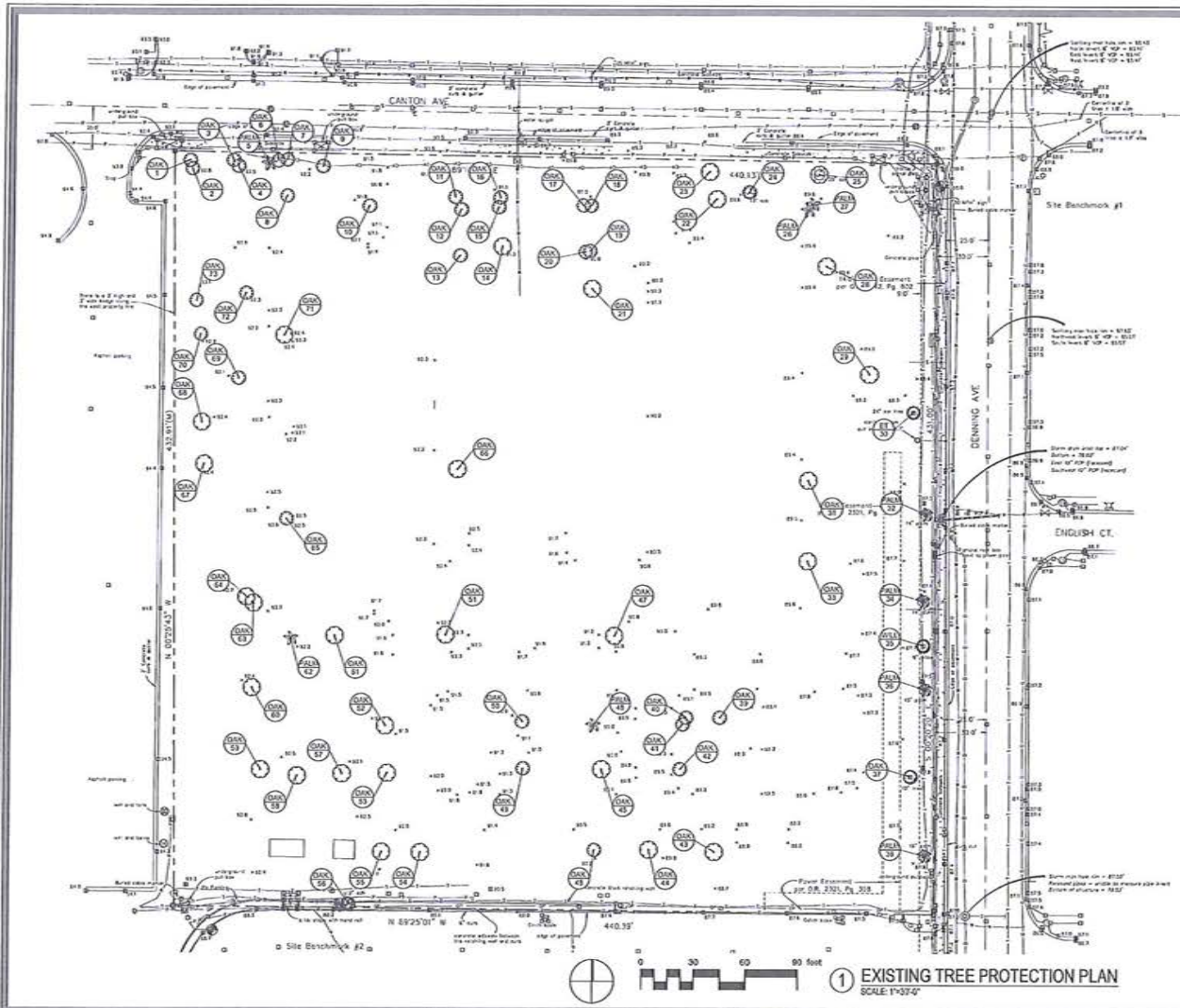
DATE:	FEBRUARY 4, 2013



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WINTER PARK TOWN CENTER DEVELOPMENT, LLC.





**TREES LESS THAN 18 INCHES**

NO.	DATE	DBH	HEIGHT	STATUS	REMARKS
1	2/4/13	10"	15'	Remove	Plant
2	2/4/13	10"	15'	Remove	Plant
3	2/4/13	10"	15'	Remove	Plant
4	2/4/13	10"	15'	Remove	Plant
5	2/4/13	10"	15'	Remove	Plant
6	2/4/13	10"	15'	Remove	Plant
7	2/4/13	10"	15'	Remove	Plant
8	2/4/13	10"	15'	Remove	Plant
9	2/4/13	10"	15'	Remove	Plant
10	2/4/13	10"	15'	Remove	Plant
11	2/4/13	10"	15'	Remove	Plant
12	2/4/13	10"	15'	Remove	Plant
13	2/4/13	10"	15'	Remove	Plant
14	2/4/13	10"	15'	Remove	Plant
15	2/4/13	10"	15'	Remove	Plant
16	2/4/13	10"	15'	Remove	Plant
17	2/4/13	10"	15'	Remove	Plant
18	2/4/13	10"	15'	Remove	Plant
19	2/4/13	10"	15'	Remove	Plant
20	2/4/13	10"	15'	Remove	Plant
21	2/4/13	10"	15'	Remove	Plant
22	2/4/13	10"	15'	Remove	Plant
23	2/4/13	10"	15'	Remove	Plant
24	2/4/13	10"	15'	Remove	Plant
25	2/4/13	10"	15'	Remove	Plant
26	2/4/13	10"	15'	Remove	Plant
27	2/4/13	10"	15'	Remove	Plant
28	2/4/13	10"	15'	Remove	Plant
29	2/4/13	10"	15'	Remove	Plant
30	2/4/13	10"	15'	Remove	Plant
31	2/4/13	10"	15'	Remove	Plant
32	2/4/13	10"	15'	Remove	Plant
33	2/4/13	10"	15'	Remove	Plant
34	2/4/13	10"	15'	Remove	Plant
35	2/4/13	10"	15'	Remove	Plant
36	2/4/13	10"	15'	Remove	Plant
37	2/4/13	10"	15'	Remove	Plant
38	2/4/13	10"	15'	Remove	Plant
39	2/4/13	10"	15'	Remove	Plant
40	2/4/13	10"	15'	Remove	Plant
41	2/4/13	10"	15'	Remove	Plant
42	2/4/13	10"	15'	Remove	Plant
43	2/4/13	10"	15'	Remove	Plant
44	2/4/13	10"	15'	Remove	Plant
45	2/4/13	10"	15'	Remove	Plant
46	2/4/13	10"	15'	Remove	Plant
47	2/4/13	10"	15'	Remove	Plant
48	2/4/13	10"	15'	Remove	Plant
49	2/4/13	10"	15'	Remove	Plant
50	2/4/13	10"	15'	Remove	Plant
51	2/4/13	10"	15'	Remove	Plant
52	2/4/13	10"	15'	Remove	Plant
53	2/4/13	10"	15'	Remove	Plant
54	2/4/13	10"	15'	Remove	Plant
55	2/4/13	10"	15'	Remove	Plant
56	2/4/13	10"	15'	Remove	Plant
57	2/4/13	10"	15'	Remove	Plant
58	2/4/13	10"	15'	Remove	Plant
59	2/4/13	10"	15'	Remove	Plant
60	2/4/13	10"	15'	Remove	Plant

**TREES GREATER THAN OR EQUAL TO 18 INCHES**

NO.	DATE	DBH	HEIGHT	STATUS	REMARKS
61	2/4/13	20"	25'	Remove	Plant
62	2/4/13	20"	25'	Remove	Plant
63	2/4/13	20"	25'	Remove	Plant
64	2/4/13	20"	25'	Remove	Plant
65	2/4/13	20"	25'	Remove	Plant
66	2/4/13	20"	25'	Remove	Plant
67	2/4/13	20"	25'	Remove	Plant
68	2/4/13	20"	25'	Remove	Plant
69	2/4/13	20"	25'	Remove	Plant
70	2/4/13	20"	25'	Remove	Plant
71	2/4/13	20"	25'	Remove	Plant
72	2/4/13	20"	25'	Remove	Plant
73	2/4/13	20"	25'	Remove	Plant
74	2/4/13	20"	25'	Remove	Plant
75	2/4/13	20"	25'	Remove	Plant
76	2/4/13	20"	25'	Remove	Plant
77	2/4/13	20"	25'	Remove	Plant
78	2/4/13	20"	25'	Remove	Plant
79	2/4/13	20"	25'	Remove	Plant
80	2/4/13	20"	25'	Remove	Plant
81	2/4/13	20"	25'	Remove	Plant
82	2/4/13	20"	25'	Remove	Plant
83	2/4/13	20"	25'	Remove	Plant
84	2/4/13	20"	25'	Remove	Plant
85	2/4/13	20"	25'	Remove	Plant
86	2/4/13	20"	25'	Remove	Plant
87	2/4/13	20"	25'	Remove	Plant
88	2/4/13	20"	25'	Remove	Plant
89	2/4/13	20"	25'	Remove	Plant
90	2/4/13	20"	25'	Remove	Plant
91	2/4/13	20"	25'	Remove	Plant
92	2/4/13	20"	25'	Remove	Plant
93	2/4/13	20"	25'	Remove	Plant
94	2/4/13	20"	25'	Remove	Plant
95	2/4/13	20"	25'	Remove	Plant
96	2/4/13	20"	25'	Remove	Plant
97	2/4/13	20"	25'	Remove	Plant
98	2/4/13	20"	25'	Remove	Plant
99	2/4/13	20"	25'	Remove	Plant
100	2/4/13	20"	25'	Remove	Plant

**TREE REMOVAL COMPENSATION**

DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
Removal of 10 trees less than 18 inches	10	10	100
Removal of 10 trees 18 inches or greater	10	15	150
<b>Sub Total</b>			<b>250</b>

NOTE: TREE REMOVAL COMPENSATION IS BASED ON THE NUMBER OF TREES REMOVED.

**EXEMPT TREES**

NO.	DATE	DBH	HEIGHT	STATUS	REMARKS
101	2/4/13	10"	15'	Remove	Plant
102	2/4/13	10"	15'	Remove	Plant
103	2/4/13	10"	15'	Remove	Plant
104	2/4/13	10"	15'	Remove	Plant
105	2/4/13	10"	15'	Remove	Plant
106	2/4/13	10"	15'	Remove	Plant
107	2/4/13	10"	15'	Remove	Plant
108	2/4/13	10"	15'	Remove	Plant
109	2/4/13	10"	15'	Remove	Plant
110	2/4/13	10"	15'	Remove	Plant

The Residences at Winter Park Village  
Winter Park, Florida

ISSUE DATE:  
FEBRUARY 4, 2013

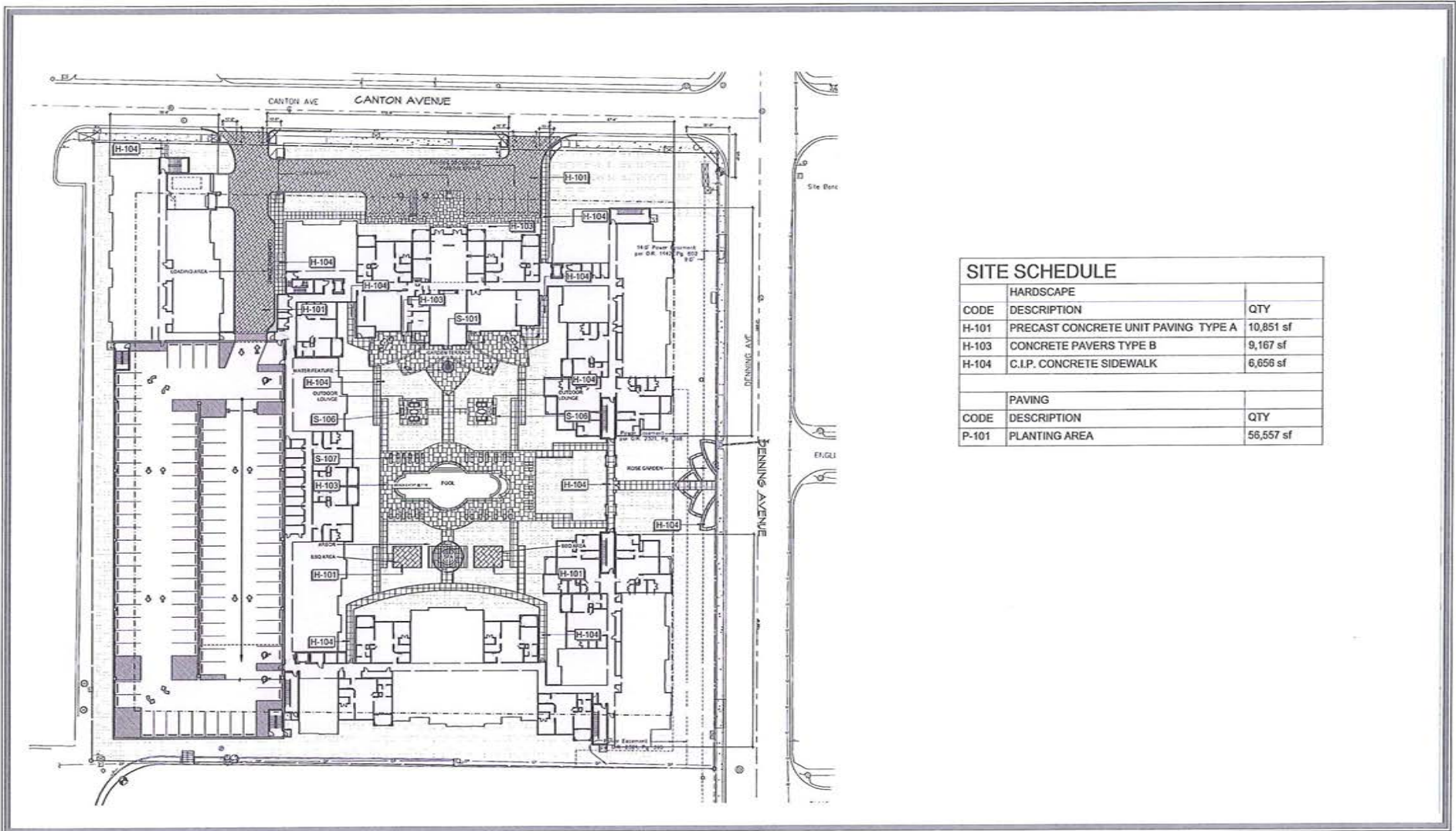
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WINTER PARK TOWN CENTER DEVELOPMENT, LLC.

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The Residences at Winter Park Village  
Winter Park, Florida

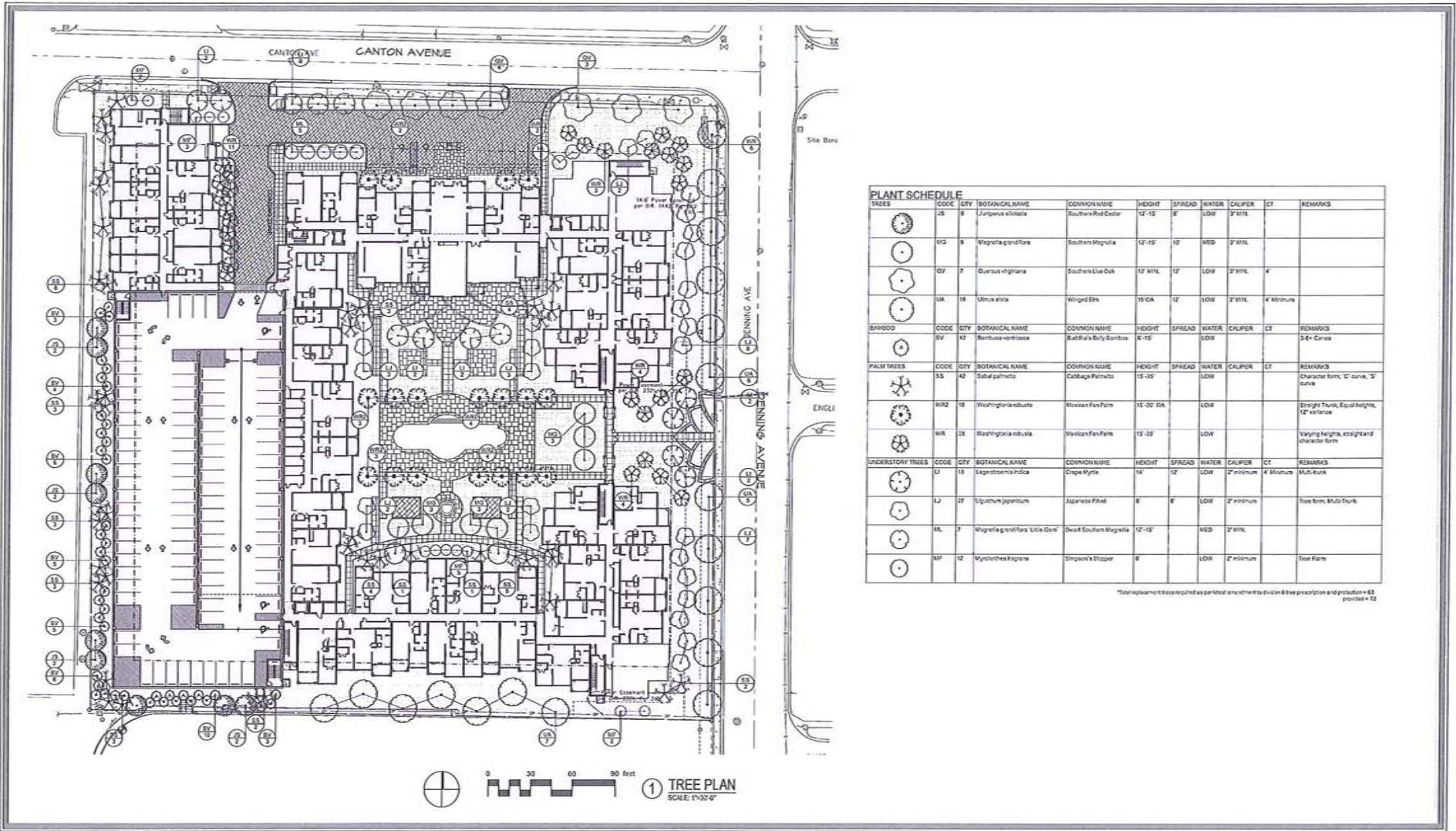
ISSUE DATE:  
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WINTER PARK TOWN CENTER DEVELOPMENT, LLC.



L-1.02



PLANT SCHEDULE										
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER	CALIPER	CT	REMARKS
	JS	8	<i>Juriparus allicata</i>	Southern Red Cedar	12-15'	8'	LOW	2" MIN.	CT	
	MG	8	<i>Magnolia grandiflora</i>	Southern Magnolia	12-15'	12'	MED	2" MIN.		
	OV	7	<i>Quercus virginiana</i>	Southern Live Oak	12' MIN.	12'	LOW	2" MIN.	4'	Minimum
	UA	18	<i>Ulmus alata</i>	Winged Elm	15-20'	12'	LOW	2" MIN.	4'	Minimum
BAMBOO										
CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER	CALIPER	CT	REMARKS	
EV	42	<i>Bambusa ventricosa</i>	Buddha's Belly Bamboo	6-15'		LOW			34'- Concave	
PALM TREES										
CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER	CALIPER	CT	REMARKS	
SS	42	<i>Sabal palmetto</i>	Cabbage Palmetto	15-18'		LOW			Character form, 1' curve, 5' curve	
WR2	18	<i>Washingtonia robusta</i>	Mexican Fan Palm	15-20' EA.		LOW			Straight Trunk, Equal height, 12' entrance	
WR	24	<i>Washingtonia robusta</i>	Mexican Fan Palm	15-20'		LOW			Varying heights, straight and character form	
UNDERSTORY TREES										
CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER	CALIPER	CT	REMARKS	
LI	18	<i>Leguminosia indica</i>	Crape Myrtle	16'	12'	LOW	2" minimum	4'	Minimum	MUS-Bank
LI	27	<i>Ligustrum japonicum</i>	Japanese Privet	8'	8'	LOW	2" minimum	4'	Minimum	See form, Multi-Trunk
ML	7	<i>Magnolia grandiflora 'Little Gem'</i>	Dwarf Southern Magnolia	12-15'		MED	2" MIN.			
MP	12	<i>Myrsine laevis</i>	Shepherd's Stopper	8'		LOW	2" minimum			See Form

\*Substitution of trees required as per local amendment to division of tree preservation and protection - 63, article 12

**The Residences at Winter Park Village**  
Winter Park, Florida

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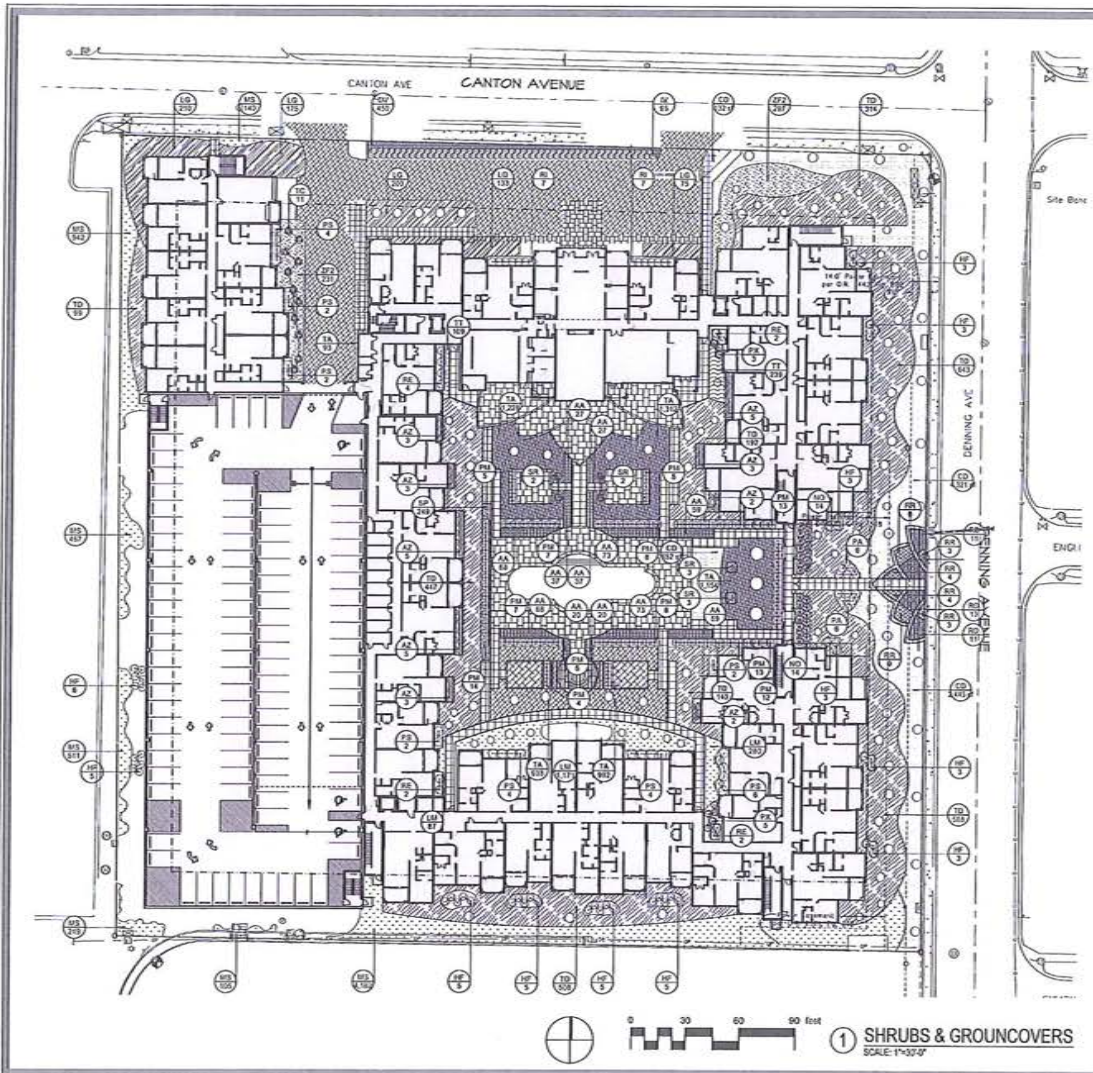
WINTER PARK TOWN CENTER DEVELOPMENT, LLC.

**EPOCH Properties**

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**L-1.03**





PLANT SCHEDULE								
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	WATER	REMARKS
☐	AZ	31	Agave zombae	Shut-Grass	30"	30"	MED	
○	AF	48	Manisotera	Pine Bush	24"	24"	LOW	
○	IV	95	Yucca virens	Yucca-Holly	30"	30"	LOW	
○	AG	28	Yucca glauca 'Dwarf'	Dwarf Yucca	24"-30"	30"	LOW	
○	PS	26	Philodendron esoum	Large Tree Philodendron	30'-45'	30"	LOW	
○	PK	8	Philodendron 'Kerati'	Philodendron	18"	24"	LOW	
○	PA	12	Plumbago auriculata	Blue Plumbago	24"	24"	LOW	
○	PM	101	Podocarpus neriifolia	Yew Pine	5'-6'	3'	LOW	Hedge Form
○	RE	10	Rhaphis excelsa	Lady Palm	3'-4'	3'	MED	
○	RI	14	Rhododendron indicum	India Azalea	30'-45'	30"	MED	
○	SR	10	Scilla maritima	Sea Lily	30"	30"	MED	
△	IC	11	Trichopogon pennisetoides 'Confidant'	Confidant Broomgrass	0	SPREAD	LOW	Trick-up palm tree trunk
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPREAD	HEIGHT	WATER	REMARKS
▨	RR	31	Rosa Rybrunda	Rose	5 gal @ 30" oc	2'-3'	MED	Foli
▨	RD	35	Rosa x Double Knockout	Rose	5 gal @ 30" oc	2'-3'	MED	Foli
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPREAD	HEIGHT	WATER	REMARKS
▨	AA	358	Aporosa almaria	City of the Nile	3 gal @ 18" oc	18"	MED	
▨	CB	7,543 sf	Cynodon dactylon	Bermuda Grass			MED	
▨	GV	450	Dianella maritima 'Variegata'	Flax Lily	12" @ 12" oc	12"	LOW	
▨	LM	1,533	Liriodendron	Lily Turf	10" @ 12" oc	10"	LOW	
▨	LG	793	Liriodendron	Giant Liriodendron	12" @ 24" oc	12"	LOW	
▨	MS	6,359	Musa stipitata	Sensitive Plant	4" @ 12" oc	4"	LOW	
▨	SP	219	Setcreasea pallida	Purple Queen	12" @ 18" oc	8"	LOW	
▨	TA	5,313	Trichopogon pennisetoides 'Bicolor'	Dwarf Azalea Juniper	12" @ 12" oc	6"	MED	
▨	TD	2,831	Tillandsia usneoides	Florida Guzmania	18" @ 24" oc	18"	LOW	
▨	TI	318	Tillandsia usneoides 'Tillandsia'	Tillandsia Beauty Star	3 gal @ 12" oc	12"	LOW	
▨	ZF2	518	Zamia floridana	Coastal Palm	12" @ 24" oc	12"	LOW	

**The Residences at Winter Park Village**  
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**L-1.04**





*Juniperus silicola*, Southern Red Cedar



*Magnolia grandiflora*, Southern Magnolia



*Quercus virginiana*, Southern Live Oak



*Ulmus alata*, Winged Elm



*Washingtonia robusta*, Mexican Fan Palm



*Bambusa ventricosa*, Buddha's Belly Bamboo



*Sabal palmetto*, Cabbage Palm



*Washingtonia robusta*, Mexican Fan Palm



*Lagerstroemia indica*, Crape Myrtle



*Ligustrum japonicum*, Japanese Privet



*Myrcianthes fragrans*, Simpson's Stopper



*Trachelospermum jasminoides*



*Alpinia zerumbet*, Shell Ginger



*Hamelia patens*, Fire Bush



*Ilex vomitoria*, Yaupon Holly



*Nerium oleander* "Dwarf", Oleander



*Philodendron selloum*, Lacy Tree



*Philodendron x Xanadu*



*Plumbago auriculata*, Blue Plumbago



*Podocarpus macrophyllus*, Yew Pine



*Rhapsis excelsa*, Lady Palm



*Rhododendron indicum*, Azalea



*Strelitzia reginae*, Bird Of Paradise



*Rosa floribunda*, Rose



*Agapanthus africanus*, Nile Lily



*Dianella tasmanica*, Flax Lily



*Mimosa strigillosa*, Sensitive Plant



*Setcreasea pallida*, Purple Queen



*Tripsacum floridanum*



*Zamia floridana*

1 PLANT IMAGES  
N.T.S.

The Residences at Winter Park Village  
Winter Park, Florida

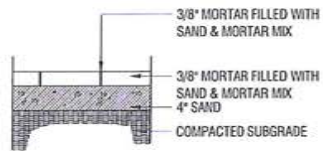
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AUGUST 7, 2012
FEBRUARY 4, 2013



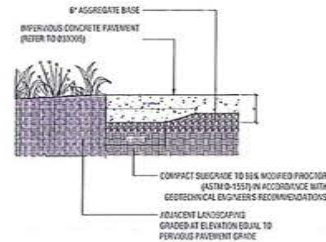
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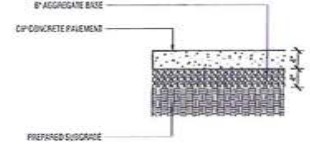




③ BRICK PAVERS ON SAND  
TYPICAL SECTION NOT TO SCALE



② CONCRETE PAVEMENT EDGE  
TYPICAL SECTION NOT TO SCALE



① CONCRETE PAVEMENT  
TYPICAL SECTION NOT TO SCALE

## Cordova

Our most popular large model, like Cordova, conveys relaxed California living.

### Cordova Details

Material: Glass-fiber reinforced concrete (GFRC), lightweight and durable in all climates  
Shipping: Nationwide. See "Shipping, Handling & Taxes Information" page for details  
# of Parts: 11 total - 3 hearth pieces (standard hearth), 3 body, 1 chimney, 4 finish panels  
Weight: approximately 1,700 lbs.

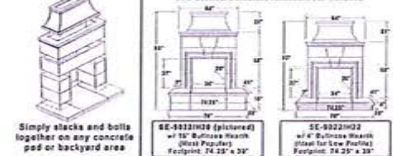
### Cordova Upgrades

Double-Sided: Finish is see-through (SE-9929)  
Fireplace is identical on both sides

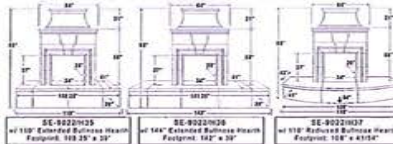
Ventless: See "Ventless Cordova" for details (SE-9928)  
Allows for placement under patio covers and other combustible material  
Included ventless box, ventless gas log & air-log mesh screen

Wall Extension: See "Grand Cordova" for details (SE-9922)

### Two Standard Hearths Available for Cordova



### Three Premium Hearths Available for Cordova



④ CORDOVA FIREPLACE DETAIL  
TYPICAL SECTION NOT TO SCALE

## The GARDEN GATES

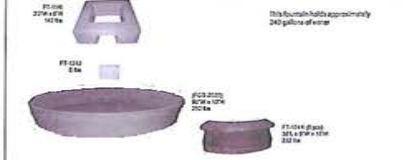
FT-153 Beaufort Fountain

Revised August 19, 2008

Call: 677.740.6599

### COMPONENTS AND PARTS LIST

- 17 pieces
- | Part No. | Description | Quantity |
|----------|-------------|----------|
| FT-153   | Body        | 1        |
| FT-153H  | Hearth      | 1        |
| FT-153C  | Chimney     | 1        |
| FT-153B  | Base        | 1        |
| FT-153A  | Top         | 1        |
| FT-153D  | Panel       | 4        |
| FT-153E  | Panel       | 4        |
| FT-153F  | Panel       | 4        |
| FT-153G  | Panel       | 4        |
| FT-153I  | Panel       | 4        |
| FT-153J  | Panel       | 4        |
| FT-153K  | Panel       | 4        |
| FT-153L  | Panel       | 4        |
| FT-153M  | Panel       | 4        |
| FT-153N  | Panel       | 4        |
| FT-153O  | Panel       | 4        |
| FT-153P  | Panel       | 4        |
| FT-153Q  | Panel       | 4        |
| FT-153R  | Panel       | 4        |
| FT-153S  | Panel       | 4        |
| FT-153T  | Panel       | 4        |
| FT-153U  | Panel       | 4        |
| FT-153V  | Panel       | 4        |
| FT-153W  | Panel       | 4        |
| FT-153X  | Panel       | 4        |
| FT-153Y  | Panel       | 4        |
| FT-153Z  | Panel       | 4        |



③ BEAUFORT FOUNTAIN DETAIL  
TYPICAL SECTION NOT TO SCALE

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Winter Park, Florida

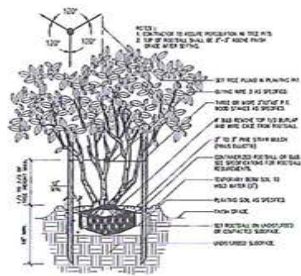
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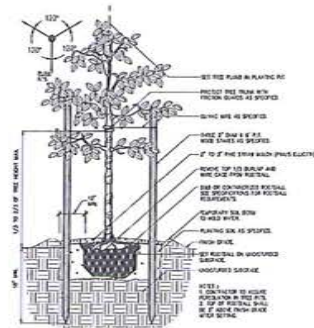
EPOCH Properties  
WINTER PARK TOWN CENTER DEVELOPMENT, LLC.

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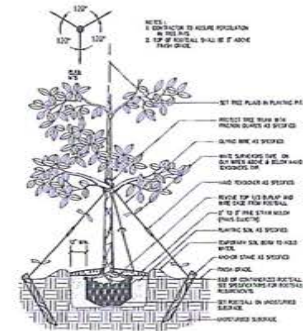
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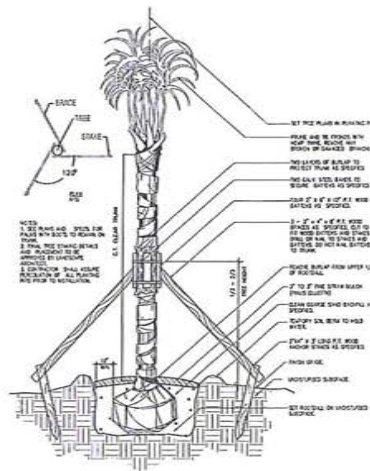
③ TYP. MULTI-TRUNK TREE PLANTING  
SCALE: N.T.S.



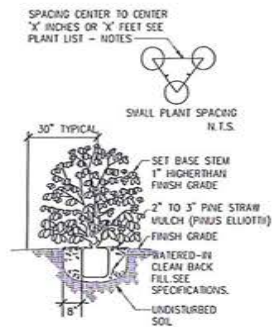
② TYP. SMALL TREE STAKING (< 3" cal.)  
SCALE: N.T.S.



① TYP. LARGE TREE STAKING (4" cal. or >)  
SCALE: N.T.S.



⑤ TYPICAL PALM PLANTING DETAIL  
SCALE: N.T.S.



④ SHRUB & GROUND COVER PLT. DET.  
SCALE: N.T.S.



KEY	DESCRIPTION	MARKER
▽	0.5 GPM Pressure Compensating Ballast	PCB-0.5
▽	2" Pop-Up Spray w/ Pressure Compensation	PROG-06-PRSSO
▽	12 Radius Nozzle	Pro-Spray First Nozzle
▽	12 Radius Nozzle	12 Secs Nozzle
▽	20" Spray Nozzle	15 Secs Nozzle, ES-115 End
○	Automatic Control Valve for dry water application	ICV Filter Sensory Earls
○	Drip Valve Kit	ICZ-101 5.20 GPM
○	Quick Coupling Valve	HQS-RC
○	Control Valve w/ Diaphragm Seal	ICORE-DUAL w/FED-SS
○	Isolation Valve	See specifications
○	Rain Sensor	Solar Sync

Time Designation  
GPM or " (DIP)  
Valve Size  
Shave - Size As Shown

**NOTES**

**INSTALLATION NOTES**

- A WATER USE REPORT SHOULD BE OBTAINED FOR WELLS 1" OR SMALLER. JUST A GENERAL CONSTRUCTION REPORT.
- THE LOCATION OF THE WELLS SHOWN ON THE PLAN IS TENTATIVE. THE EXACT LOCATION WILL BE DETERMINED ON SITE WITH GENERAL CONTRACTOR.
- THE FOLLOWING SHALL BE INCLUDED IN THE INSTALLATION:
  - RAIN SENSITIVE 4" x 8" x 2" SUBVERSIBLE WELLS PLUMBING AS GPM GAUGES
  - ONE 2" CHECK STOP VALVE, MODEL: ICZ-101, PROPERLY INSTALLED ON DOWNSIDE OF WELLS AND BY REDUCING THE PRESSURE IN DOWN SET CHECK STOP TO OPERATE PER MANUFACTURER'S SPECIFICATIONS.
  - 30 GPM PRESSURE TANK.
  - IF SALES PROMOTE HELP OF WELLS INSTALLED ON THE TOP OF THE WELL, DOWNHOLE SET TO OPERATE @ 10 PSI.
  - INSTALL 1" WIRE BACKLASH PREVENTER ON DOWNHOLE AS REQUIRED BY MANUFACTURER'S DEPARTMENT.

AFTER WELLS ARE CALLED THE WELL DRILLER IS TO TEST THE WATER FOR IRON.  
IF IRON CONTENT IS ABOVE 0.30 MG/L DRILLER TO PRESENT A PROPOSAL TO INSTALL IRON FILTER AND SERVICE W/ APPROXIMATE APPROXIMATELY TO USUAL LONG WILL BE REQUIRED.

GENERAL CONTRACTOR TO SUPPLY 220V POWER TO IRONATION PUMP AND 120V VOLT POWER TO SYSTEM CONTROLLER.

**REGULATORY NOTES**  
REFER TO:  
PART 9 - CODE OF ORDINANCES  
Chapter 22 - LAND DEVELOPMENT CODE  
ARTICLE 11 - ENVIRONMENTAL PROTECTION REGULATIONS  
DIVISION 8 - IRRIGATION REGULATIONS  
FOR SPECIFIC IRRIGATION ORDINANCES.

**GENERAL NOTES**

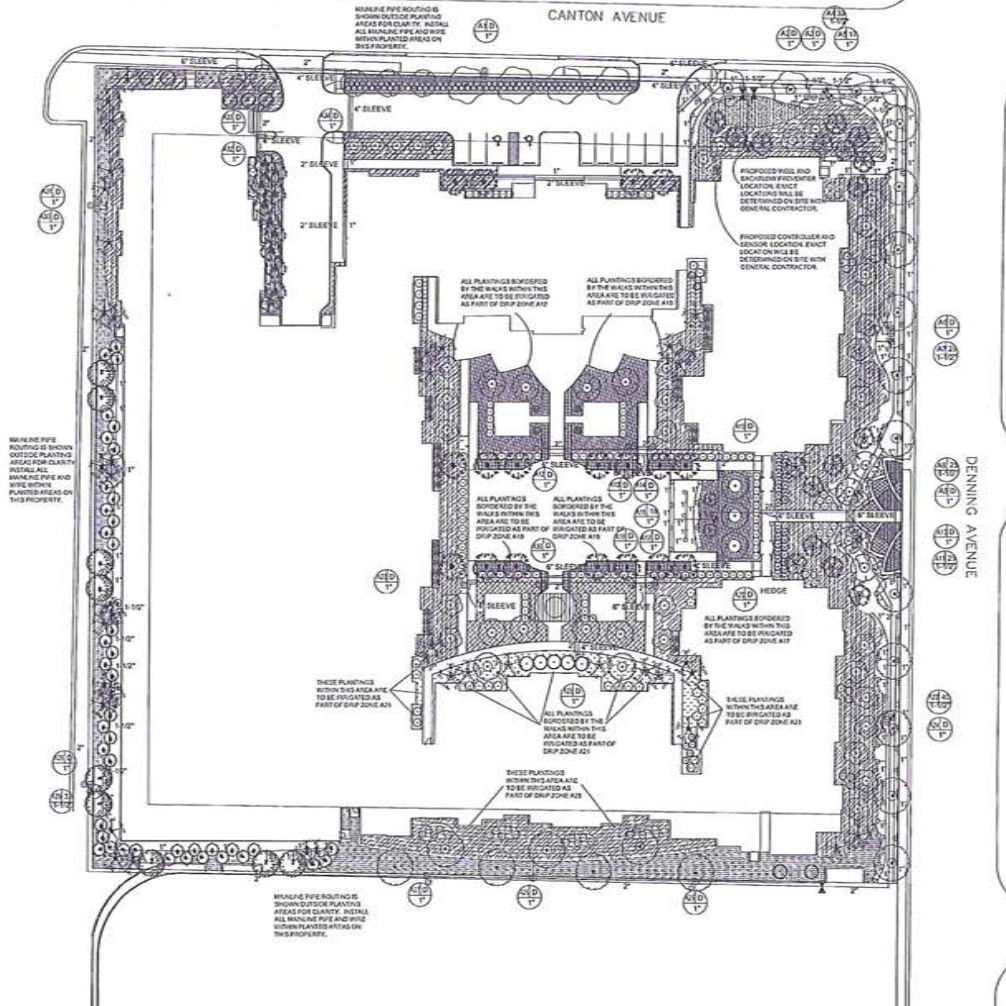
THE SYSTEM IS DESIGNED TO USE A HUBER TUBING SYSTEM.  
RAINFALL MONITOR ON BELL WELLS THROUGH CABLE WITH MANUFACTURER'S LOGIC AT THE BACKFLOW PREVENTER.  
INSTALL ALL MANHOLE PIPE AND WIRE WITHIN PLANTED AREAS ON THIS PROJECT.HUBER SERVICE FOR THIS TO BE PROVIDED BY GENERAL CONTRACTOR.

**INSTALLATION NOTES**

VALVES IN DRIP ZONES ARE TO BE ZONE CONTROL WELLS MANUFACTURED BY HUBER, HANCOCK OR HUNTERDICK AND PRESSURE REGULATOR.  
DRIP HOLE ADDITIVE SHALL BE MANUFACTURED AS LISTED WITHIN THE FOLLOWING COMPONENTS:  
1" P.S.L. HUBER/HAZEL DRIP OR HUNTERDICK DRIP.  
DRIP PLUGS TO BE MANUFACTURED BY HUBER, HANCOCK, HOLS TO HAVE MANUFACTURER'S REGULATOR ALPHABETICALLY BY THE END OF THE INTENDED HOLE IN EACH ZONE.

**REGULATORY NOTES - CONTINUED**

PLANTS AND SPACING ON EACH DRIP TUBING AT THE EDGE OF EACH ROW OF PLANTS, BOTH SIDES, CONNECT THE END OF EACH ROW OF DRIP TUBING TO HEADPIPE TO FORM A COMPLETE LOOP FOR THE ENTIRE ROW.  
DO NOT "DRAIN" USING BACK AND FORHUBER'S. ALL SURFACE CONNECTIONS OF A PUMP HEAD PIPE SHALL BE.  
STAKE DRIP PIPE TO PREVENT MOVEMENT.  
REFER TO SPECIFIC DETAILS FOR DRIP TUBING AND COMPONENT INSTALLATION.



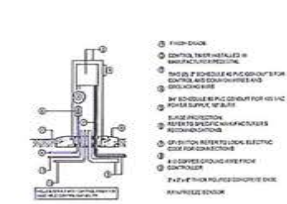
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DATE:  
FEBRUARY 4, 2013



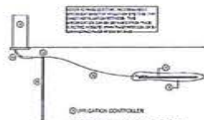
LI-1

WINTER PARK TOWN CENTER DEVELOPMENT, I.L.C.



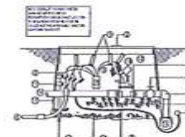
1 CONTROL TIMER

- 1 FLOAT CHAMBER
- 2 CONTROL TIMER INSTALLED IN MANUFACTURER'S HOUSING
- 3 HOLES IN HOUSING FOR WATER SUPPLY AND DISTRIBUTION
- 4 HOLES IN HOUSING FOR AIR VENT
- 5 HOLES IN HOUSING FOR AIR VENT
- 6 HOLES IN HOUSING FOR AIR VENT
- 7 HOLES IN HOUSING FOR AIR VENT
- 8 HOLES IN HOUSING FOR AIR VENT
- 9 HOLES IN HOUSING FOR AIR VENT
- 10 HOLES IN HOUSING FOR AIR VENT
- 11 HOLES IN HOUSING FOR AIR VENT



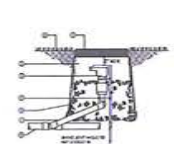
2 CONTROL TIMER GROUNDING DETAIL

- 1 GROUNDING ROD
- 2 GROUNDING ROD CONNECTION
- 3 GROUNDING ROD CONNECTION
- 4 GROUNDING ROD CONNECTION
- 5 GROUNDING ROD CONNECTION



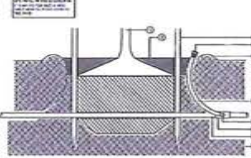
3 AUTOMATIC VALVE CONFIGURATION

- 1 DISTRIBUTION LINE
- 2 MANUFACTURER'S HOUSING
- 3 HOLES IN HOUSING FOR WATER SUPPLY AND DISTRIBUTION
- 4 HOLES IN HOUSING FOR AIR VENT
- 5 HOLES IN HOUSING FOR AIR VENT
- 6 HOLES IN HOUSING FOR AIR VENT
- 7 HOLES IN HOUSING FOR AIR VENT
- 8 HOLES IN HOUSING FOR AIR VENT
- 9 HOLES IN HOUSING FOR AIR VENT
- 10 HOLES IN HOUSING FOR AIR VENT
- 11 HOLES IN HOUSING FOR AIR VENT



4 QUICK COUPLING VALVE

- 1 HANDLE
- 2 HANDLE
- 3 HANDLE
- 4 HANDLE
- 5 HANDLE



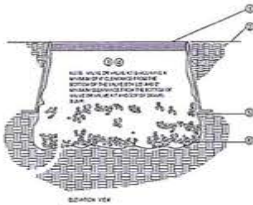
5 RUBBERER DETAIL

- 1 RUBBERER
- 2 RUBBERER
- 3 RUBBERER
- 4 RUBBERER
- 5 RUBBERER

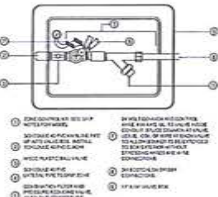


6 POP UP SPRAY DETAIL

- 1 POP UP SPRAY
- 2 POP UP SPRAY
- 3 POP UP SPRAY
- 4 POP UP SPRAY
- 5 POP UP SPRAY



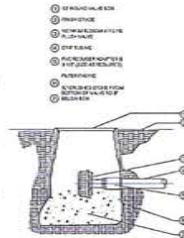
7 DRP ZONE CONTROL KIT



8 DRP TUBING HEADER INSTALLATION

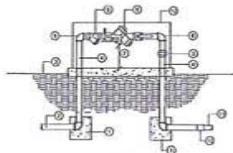


9 PLANTING BED SCHEMATIC DRP TUBING LAYOUT



10 DRP TUBING FLUSH VALVE

- 1 FLUSH VALVE
- 2 FLUSH VALVE
- 3 FLUSH VALVE
- 4 FLUSH VALVE
- 5 FLUSH VALVE



11 REDUCED PRESSURE BACKFLOW PREVENTER

- 1 BACKFLOW PREVENTER
- 2 BACKFLOW PREVENTER
- 3 BACKFLOW PREVENTER
- 4 BACKFLOW PREVENTER
- 5 BACKFLOW PREVENTER

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CASTO

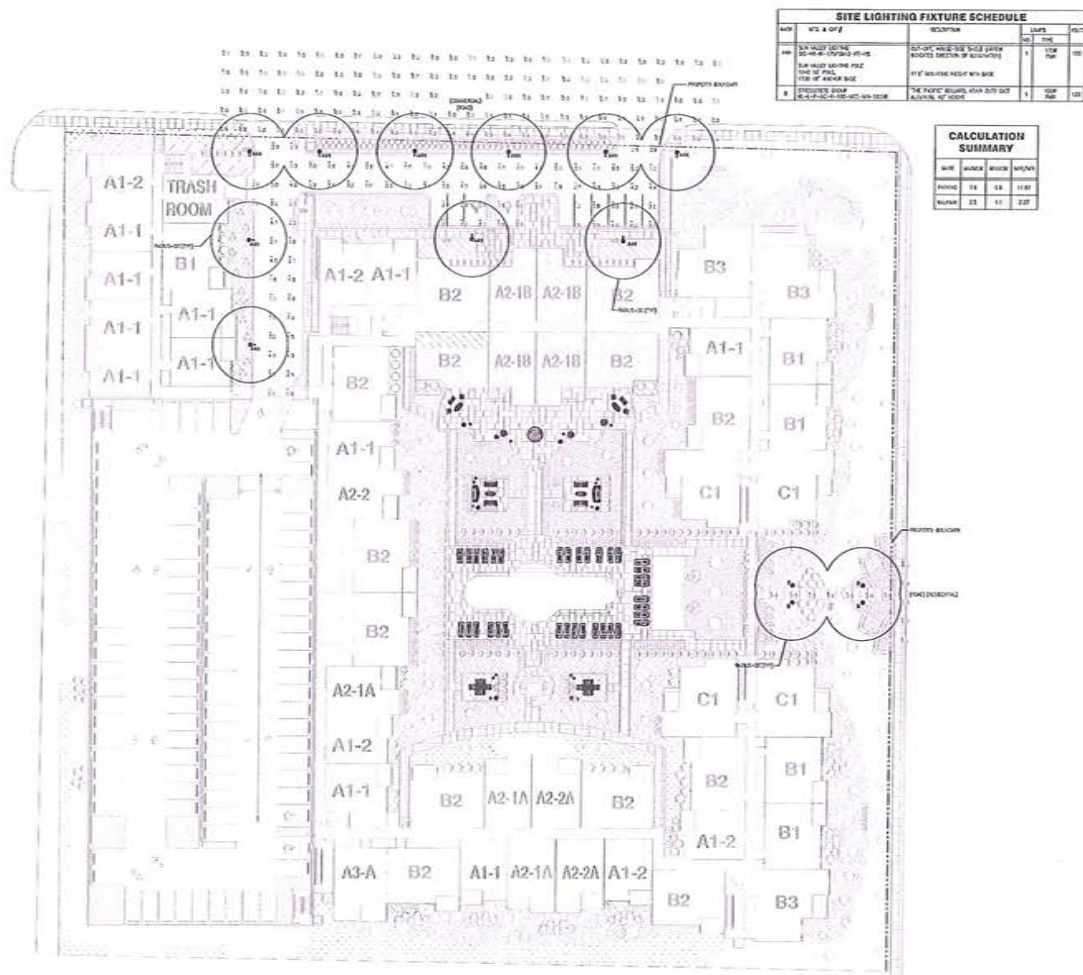
EPOCH Properties

AC

LI-2

WINTER PARK TOWN CENTER DEVELOPMENT, LLC.





# The Residences at Winter Park Village

Winter Park, Florida

ISSUED FOR:  
 FEBRUARY 4, 2013



E-101

WINTER PARK TOWN CENTER DEVELOPMENT, LLC.

**SIGMA™**

**DESCRIPTION**

Polished aluminum construction. Standard height and the housing features a decorative fin with cast-in-place hardware.

**SIZE AVAILABLE**

Standard sizes are 18" and 24" high and 12" wide. Additional sizes are available upon request.

**OPTIONS**

Standard design and finish. Additional finishes and colors are available. The standard finish is a brushed aluminum. Additional finishes and colors are available upon request.

**INSTALLATION**

Standard 120V AC single phase. Additional options are available.

**USE INSTRUCTIONS**

For mounting instructions, please refer to the standard mounting instructions. Additional instructions are available upon request.

**DETAILS**

Standard design and finish. Additional finishes and colors are available. The standard finish is a brushed aluminum. Additional finishes and colors are available upon request.

**FINISH**

Standard design and finish. Additional finishes and colors are available. The standard finish is a brushed aluminum. Additional finishes and colors are available upon request.

SUN VALLEY LIGHTING

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	OPTRICS	LAMP	MOUNTING	FINISH	OPTIONS
18" H	18" H	18" H	18" H	18" H	18" H
24" H	24" H	24" H	24" H	24" H	24" H

SUN VALLEY LIGHTING

**SUBJECT**

ROUND EXTRUDED FROM 6063 ALLOY ALUMINUM. HEAT TREATED TO PRODUCE A T5 TEMPER.

1 1/2" DIA.  
1 3/4" DIA.  
2" DIA.  
2 1/4" DIA.

STANDARD FINISHES: ANODIZED, POLYESTER POWDER COAT, POLYURETHANE POWDER COAT, POLYURETHANE FLUOROPOLYMER POWDER COAT.

FINISHES PROVIDED AT NO CHARGE FOR 25' STOCK LENGTHS. CHARGE FOR LONGER LENGTHS.

SUN VALLEY LIGHTING

**700 TABLE**

**POLE ACCESSORIES**

Standard design and finish. Additional finishes and colors are available. The standard finish is a brushed aluminum. Additional finishes and colors are available upon request.

SUN VALLEY LIGHTING

**METAL**

**The Classic**

Standard design and finish. Additional finishes and colors are available. The standard finish is a brushed aluminum. Additional finishes and colors are available upon request.

**The Pacific**

Standard design and finish. Additional finishes and colors are available. The standard finish is a brushed aluminum. Additional finishes and colors are available upon request.

**The Contemporary**

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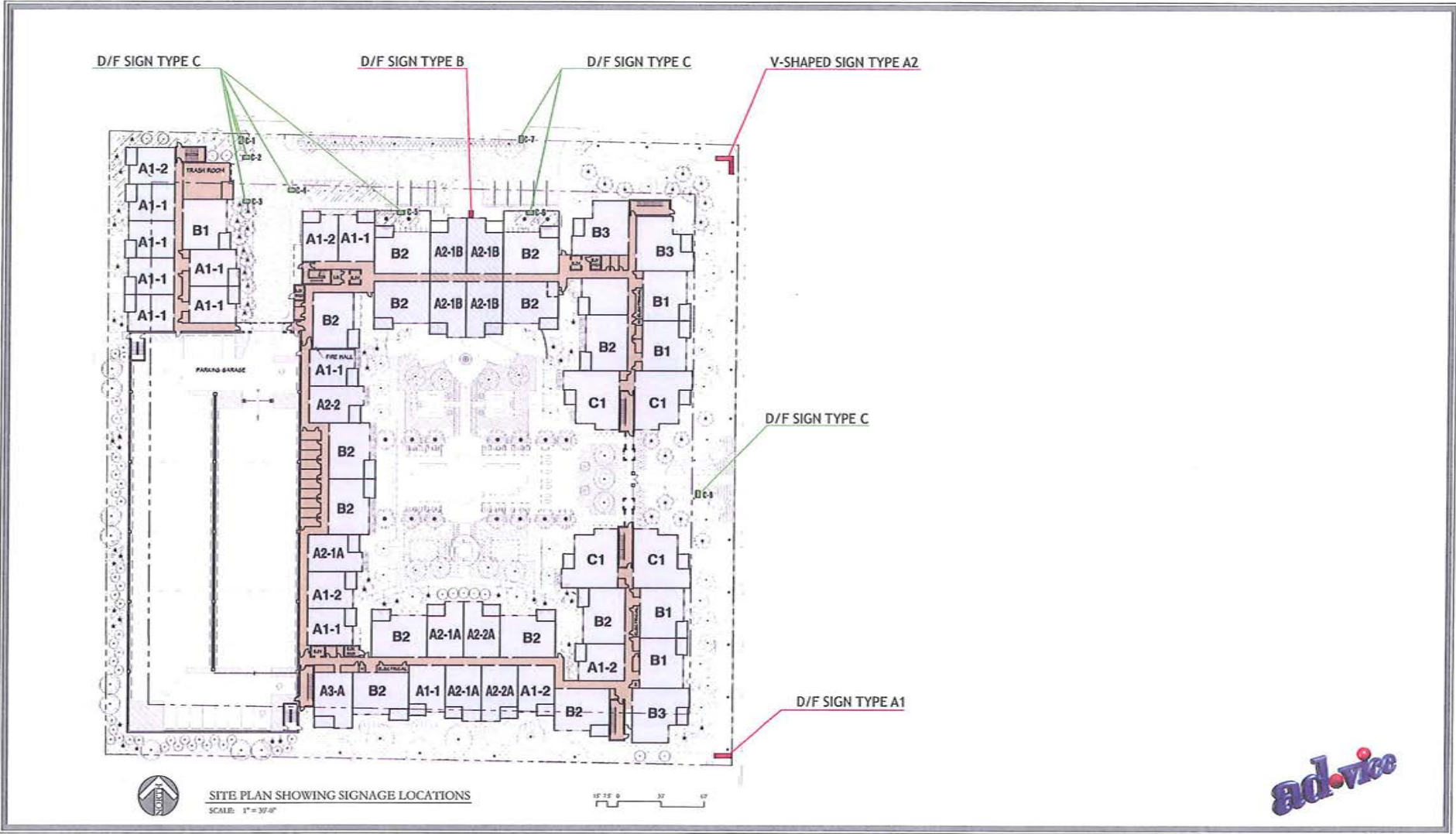
SUN VALLEY LIGHTING

**The beauty of BOLLARDS**

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SUN VALLEY LIGHTING



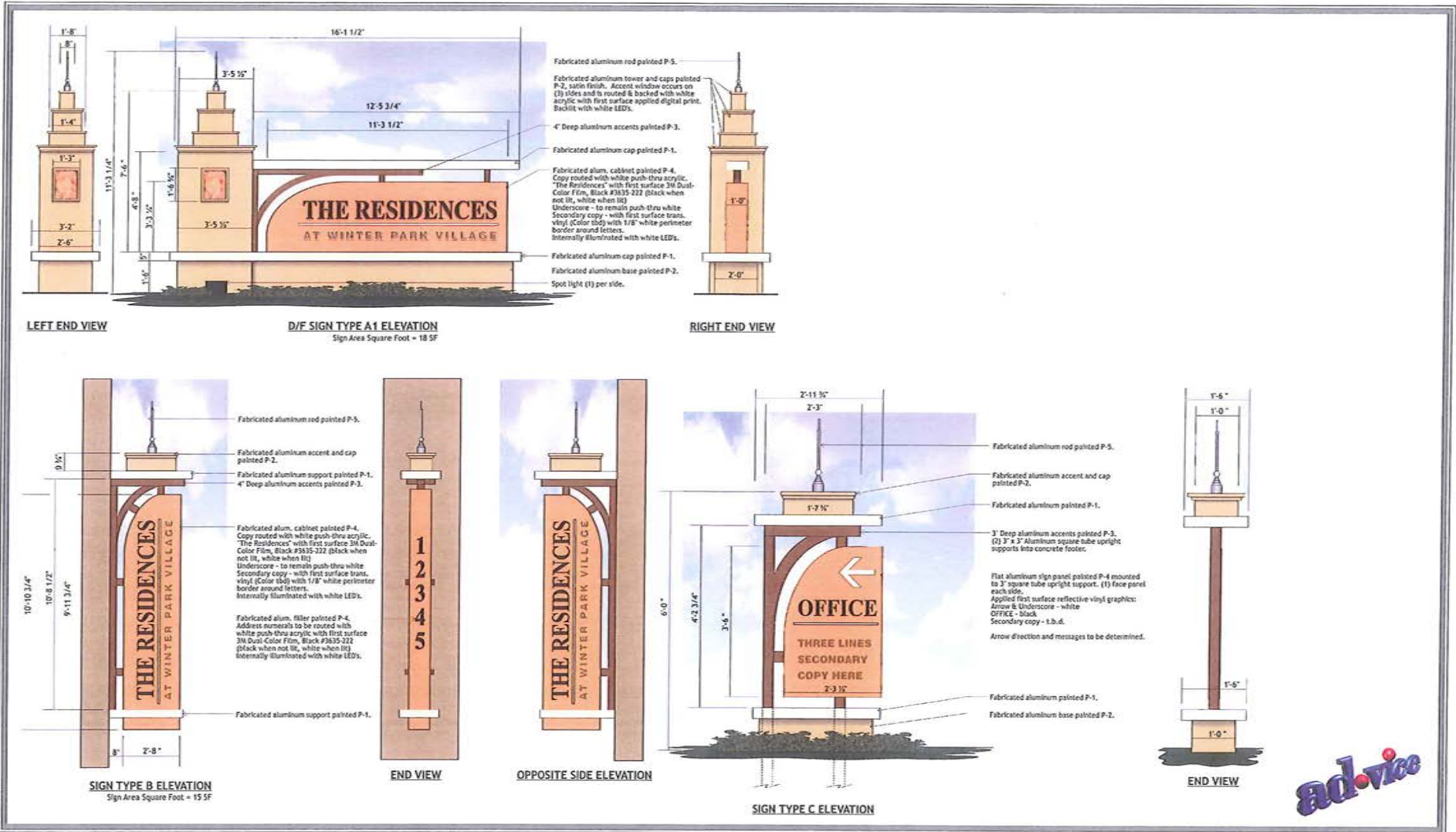


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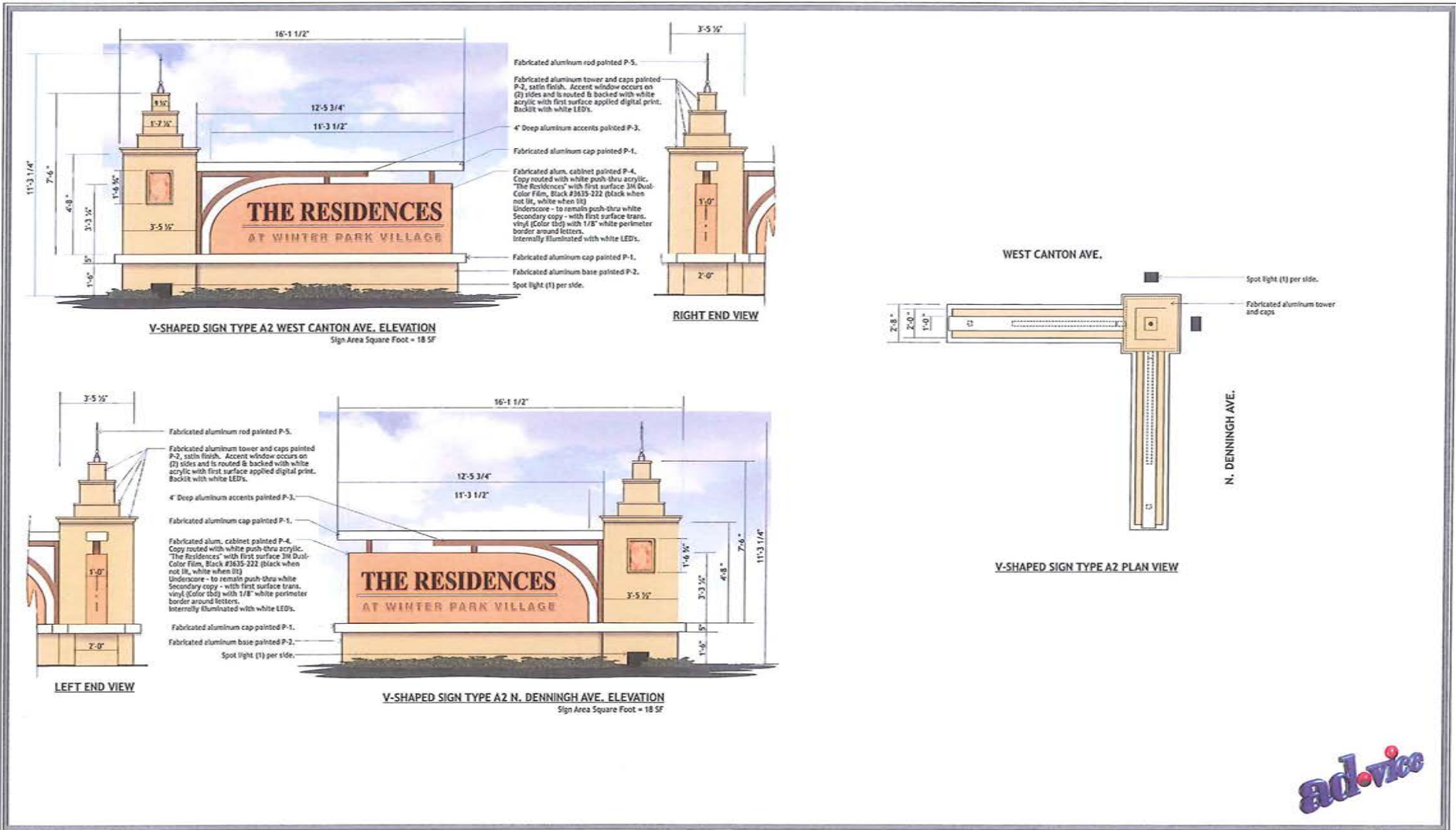
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