



401 South Park Avenue • Winter Park, Florida 32789

407-599-3324 • planning@cityofwinterpark.org
cityofwinterpark.org

**Planning &
Community
Development**

Historic Preservation Board Staff Report for August 29, 2019 Meeting

COR #19-003 Request of Ian Olgilvie to: Construct a 130 square foot addition to the rear of the existing single-family home at 422 Holt Avenue, located within the College Quarter Historic district.

Historic District. Zoned: R-2 Parcel ID #07-22-30-8760-00-013
Original Home Built: 1925

Description:

422 422 Holt Avenue is within the College Quarter Historic District. The existing home is a one-story wood frame building that was originally built in 1925 of 1,128 square feet in size.

The Owner proposes to construct a 130 sf one-story addition on the rear of the existing home with the style and materials to match the original home.

The addition will be built on top of an existing rear deck so there is no increase in impervious surface. The current home is setback approximately 4 feet from the neighboring property on the east side. The addition will be setback 6 ft. 6 inches on that east side which requires a 6 inch variance from the 7 foot side R-2 setback requirement. That amount of variance is de minimus.

Summary

This new structure also meets all requirements of the Winter Park Land Development Code and has been reviewed and accepted by George Wiggins, Director of the Building + Permitting Services Department of Winter Park. This design also meets the Design Guidelines of the College Quarter Historic District. See attached plans and pictures of the existing home.

Staff recommendation is for approval.



PLANNING DEPARTMENT

City of Winter Park
Planning Department
Historic Preservation Board
401 Park Avenue, South
Winter Park, Florida 32789
407-599-3440

Certificate of Review Application

1. 422 Holt Ave
Building address
Ian Ogilvie 422 Holt Ave. 407-247-1178
Owner's name(s) Address Telephone

Applicant's name (if different from above) Address Telephone

2. Please indicate the work your propose to undertake:
 Minor alteration New construction Addition Demolition Rehabilitation
 Variance request (additional information required) Other: _____

3. Proposed project narrative: *(attach additional page if necessary)*
create ~~new~~ addition to home by extending the gabled roofline rearward
to create more space in the master and kitchen areas

4. The following supplementary information shall be provided as applicable to describe the proposal:
 Site plan Floor plan(s) Elevations(s) Photo(s) Survey
 Material and product information Setback/Coverage worksheet REQUIRED
Other: _____

5. I, Ian Ogilvie, as owner of the property described above, do hereby authorize the filing of this application on my behalf.
[Signature] 7/31/19
Owner's Signature Date

Historic Preservation Commission Office Use
Date received: _____ HPC Meeting: _____ Case File No _____
Historic name of building (if any) _____ Historic district name (if any) _____
Parcel Identification Number _____ Year built _____
 historic landmark historic building/structure
 district contributing element district non-contributing element

Certificate of Review Process

A Certificate of Review (COR) is required for work on designated historic landmarks, properties and districts. The work includes any **exterior** alterations and new construction. The purpose of the Certificate of Review process is to assist owners of individual historic resources and landmarks, and owners in historic districts who plan to rehabilitate, restore or redevelop their property for contemporary use to achieve their goals while preserving the historic character, architecture and materials to the greatest extent achievable. The Historic Preservation Board (HPB) shall not review interior alterations but it shall consider the effect of such plans as they relate to the exterior. The design guidelines used by the (HPB) shall generally be the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* and any additional standards adopted by the HPB. The HPB will consider:

- A. The effect of the proposed work on the property; and
- B. The relationship between such work and other buildings, structures, objects or landscape elements on the site or other property in the historic district where applicable. In evaluating the effect and the relationship, the HPB shall consider historical or architectural significance, architectural style, design, arrangement, texture and materials.

The applicant should confer with the city to obtain information and guidance before entering into substantial expense in the preparation of plans surveys and other data.

Applications will be scheduled for the Historic Preservation Board when received at least **24 days** prior to the next meeting. Applicants should submit seven copies of all information required to the Planning Department, City Hall, 2nd floor. The printed information size should be limited to 11" x 17". Notice of the proposed work will be advertised and mailed to all property owners within a 500' radius of the site. The HPB shall act upon an application within 60 days of receipt. The time limit may be waived upon mutual consent. Applications will be accepted when a completed application form is submitted together with the supplementary materials necessary to fully describe the proposed work.

The applicant or his/her representative should plan to attend the HPB meeting and present his/her proposal to the HPB. The HPB decision shall be issued in writing and may typically direct one of the following actions:

1. Issuance of a Certificate of Review for the proposed work;
2. Issuance of a Certificate of Review with specified modifications and conditions;
3. Issuance of a Certificate of Review with recommendations for zoning required for the building's preservation which shall be placed on the agenda of the soonest possible Planning and Zoning Board meeting;
4. Denial of the application;
5. Issuance of a Certificate of Review with a deferred effective date of up to 12 months in cases of demolition or moving of a significant building.

The HPB will take action on completed applications only. Decisions made by the HPB may be appealed to the City Commission no later than 15 days after the ruling is made. If there is no appeal or Commission action, the HPB decision shall be final.

For more information contact:
Planning Department
401 Park Avenue, South
Winter Park, FL 32789
(407) 599-3440

**Historic Preservation Board
Certificate of Review**

Supplemental Application for Variance Request

1. Describe variance request:

proposed addition occurs inside of required 7' setback. Please note that the existing structure is built 4'6" from the property line.

2. What are the special conditions and circumstances peculiar to the land, building(s), and structure(s), involved especially as they are established by the historic character of the afore mentioned?

It's a historical home built in 1925. Craftsman style, built with an existing side setback of 4'6". The rear addition will be set back 6'6" and match the character of the original structure.

3. Describe the requirements, from the Land Development Code upon which this request is based.

We are asking for a 6" variance from the existing 6'6" setback in lieu of the required 7' setback to keep with the character of the home

4. Describe how the requested variance may be appropriate to achieve the design review standards for historic preservation.

We want to maintain the existing character of the 1925 craftsman style cottage.

5. Complete the setback and coverage calculations on the appropriate form and include with this application.

File this form with your completed Certificate of Review application.

Setback/Coverage Calculations

(Lots 65' or less in width)

For Principal Dwelling/Cottage Dwelling/Single Family/Duplex (R-2) District

Address: 422 Holt Ave. Lot Width: 40.8 ft.

Submitted by: _____ Lot Area: 4866 sf.

Principal Dwelling _____ Cottage Dwelling _____ Single Family Residence X Duplex _____

	Existing Area	+	Proposed Area	=	Total Area	Permitted Area
Minimum Living Area (sq.ft.)						
Principal Dwelling	1,000					
Cottage Dwelling	500					
Single Family	1,000					
Duplex	1,000					
	<u>1128</u>		<u>130</u>		<u>1258</u>	<u>1946.4</u>

Impervious Lot Coverage

{include all areas from above at grade level plus all driveways, sidewalks, patios, pools, artificial turf, etc}

Principal Dwelling - 65%	39.5%	5.5%	45%	65%
Cottage Dwelling - 65%				
Single Family - 65%	1914	253	2167	3163
Duplex - 60%				

Maximum Building Coverage

Principal/Cottage dwelling 35%
Single Family - 40%
Duplex - 35%

Floor Area Ratio (FAR)*

For 2-Story Buildings only
{include 1st & 2nd floors, garage, carports, porches, accessory bldgs, & EXCLUDE pool screen enclosure}

Principal Dwelling - 30%
Cottage Dwelling - 20%
Single Family - 55%
Duplex - 50%

(Note 1)

Excludable Area of Porches (sq.ft.) from FAR

Principal Dwelling 400
Cottage Dwelling 300
Single Family 700
Duplex 600

(Note 2)

Building Height Maximum Permitted: 30'
Maximum Building Stories - 2

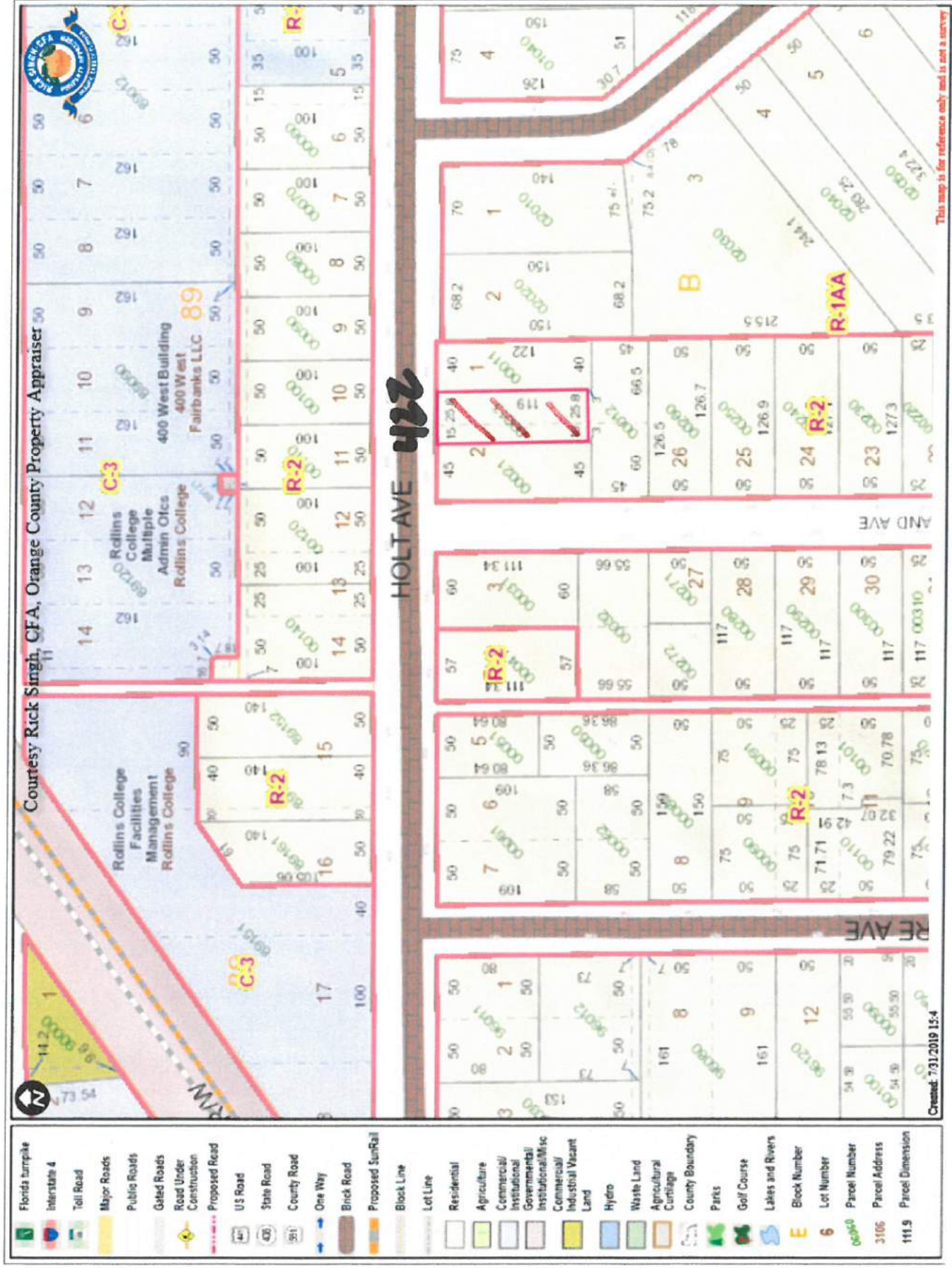
Proposed Height: 15'-7" (above existing grade)

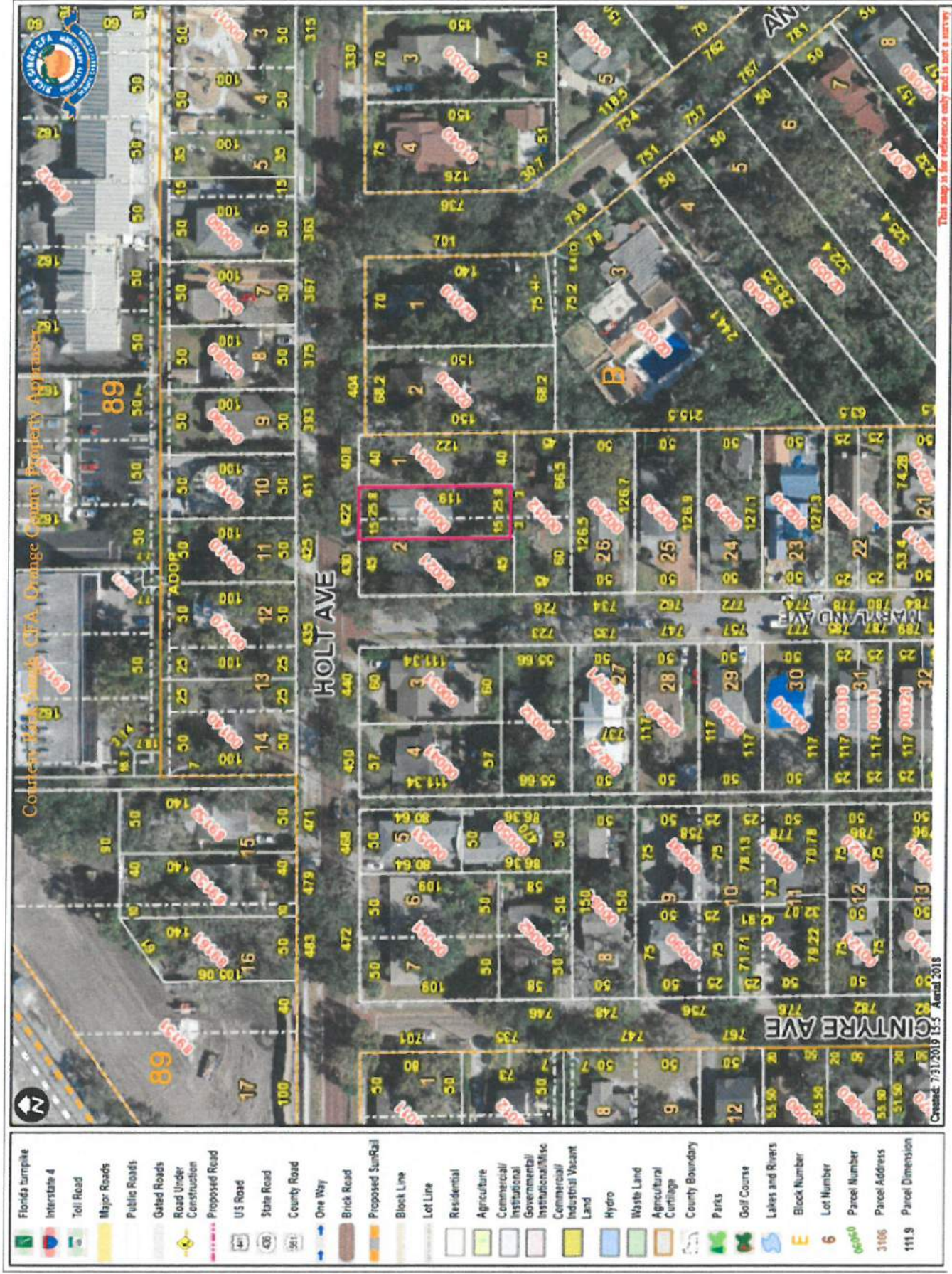
Two parking spaces per unit required behind front setback line, except only 1 space for a cottage dwelling.

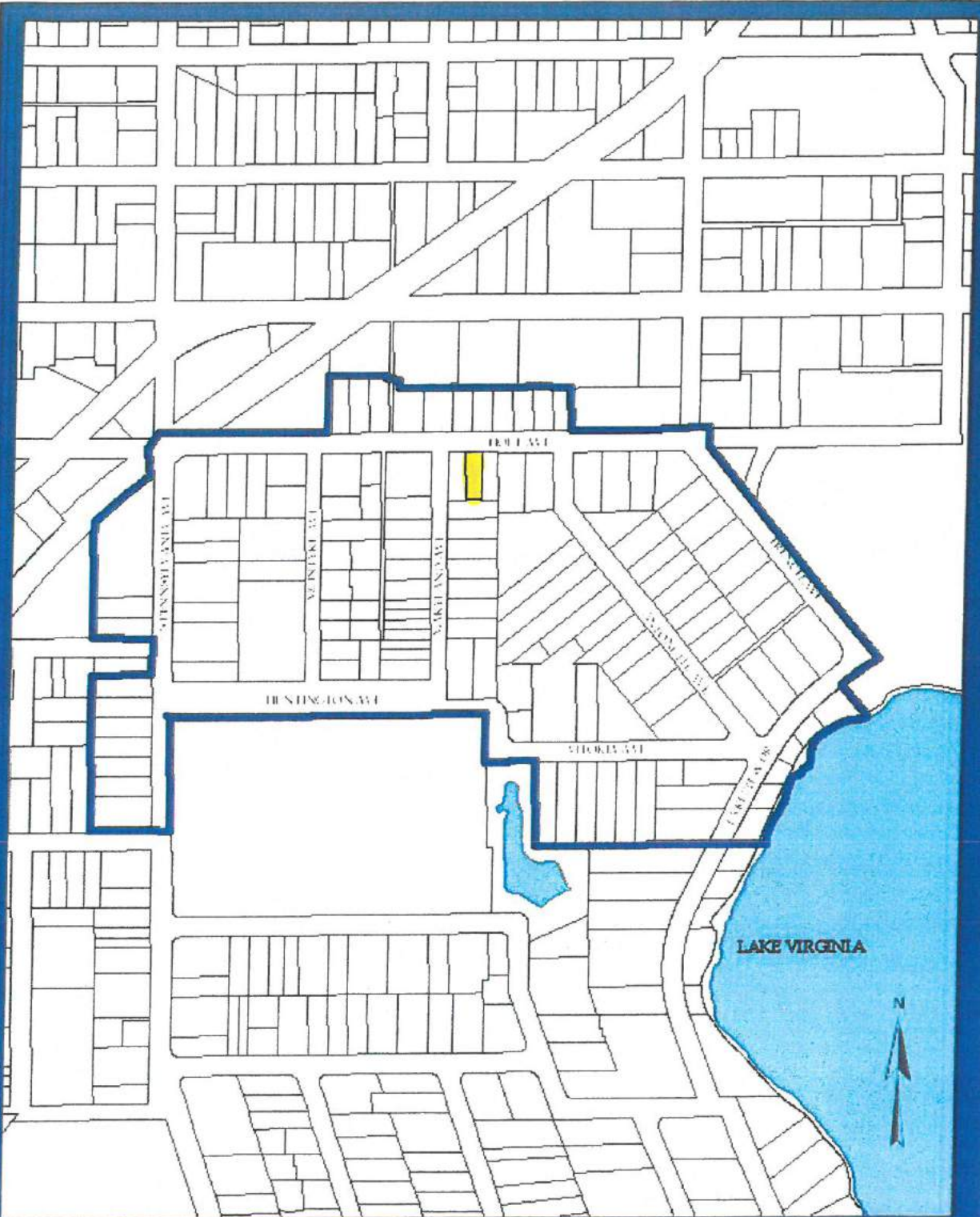
Stormwater retention required per the Land Development Code.

*Applies to two-story building only; FAR is the total gross building area divided by the total lot area. Common driveways are permitted between two adjoining lots.









Adopted July 28, 2003

Coordinate System
 NAD 83 UTM Zone 18N
 Spheroid: GRS 1980

**College Quarter
 Historic District
 City of Winter Park, FL
 July 2003**

Planning and Community
 Development Department



James A. Hight, Mayor, Deputy Appraiser
 Kenneth A. Smith, Senior, Air Map

See Page 2

COLLEGE QUARTER HISTORIC DISTRICT PROPERTIES Updated December 2008

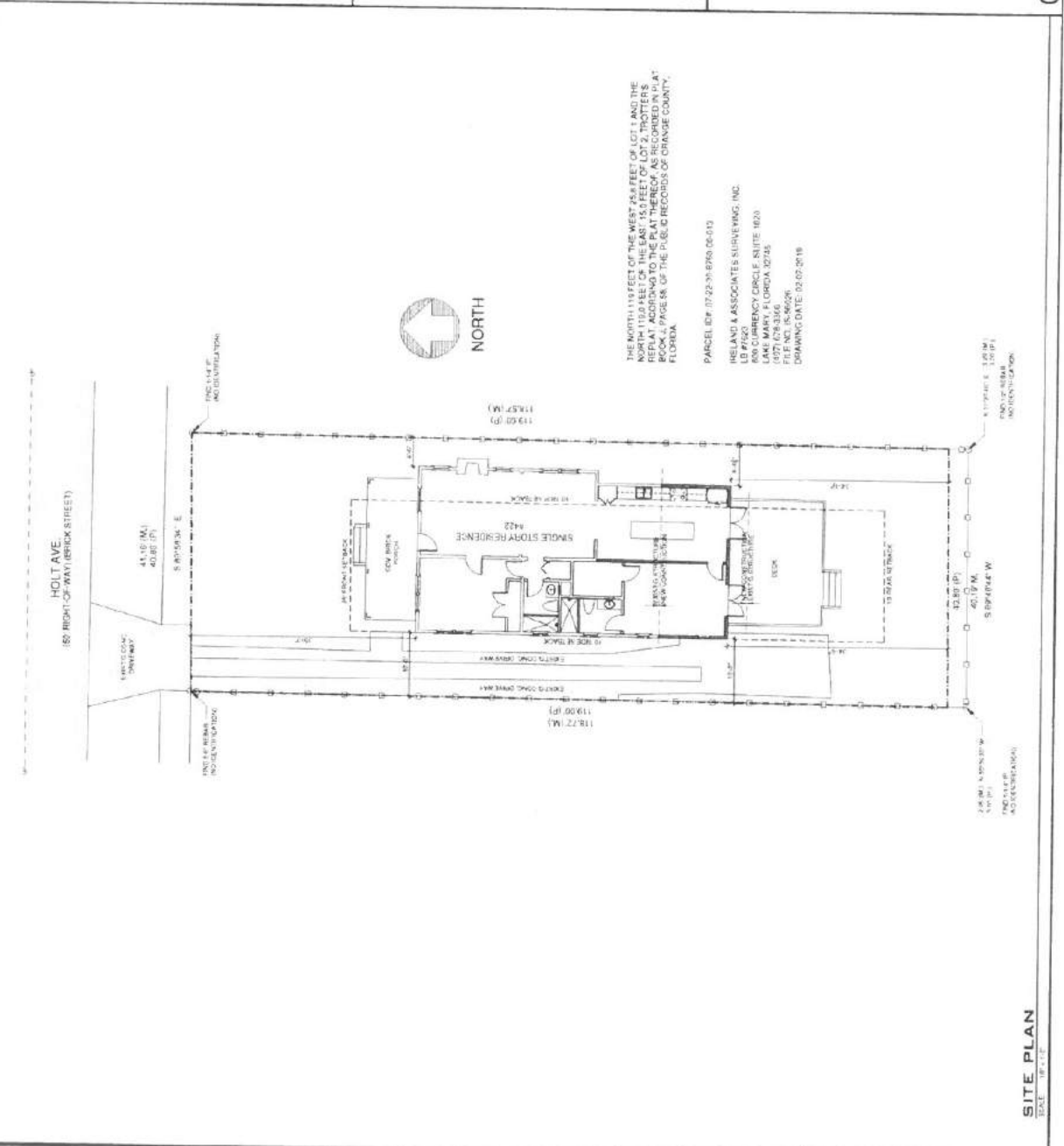
- 1) Construction dates are based upon Orange County Property Appraiser's Office data. The abbreviation "c." denotes an approximate construction date.
- 2) Contributing properties, with few exceptions, are based upon the age of the structure and no value judgment is made in this document as to the degree to which they contribute to the historic character of the College Quarter. Properties less than approximately fifty years of age and vacant sites typically do not contribute to the historic character of the district.
- 3) "D" denotes an individually designated property on the Winter Park Register of Historic Places.
- 4) Minor alterations are not generally noted.
- 5) **Denotes the original architectural style when exterior alterations have been made that may change or obscure original architectural characteristics.
- 6) "Recorded as" refers to information recorded on the Florida Master Site File records.

STREET ADDRESS	ARCHITECTURAL STYLE	YEAR BUILT	CONTRIBUTING PROPERTY	PROPERTY NOTES
701 Antonette Avenue	Craftsman Bungalow	c. 1920	YES	S. L. Yon House, alterations, recorded as 400 Holt Avenue
736 Antonette Avenue	Craftsman Bungalow	c. 1925, 1983	YES	P. G. Wendland House, porch enclosure, alterations, recorded as 346 Holt Avenue
739 Antonette Avenue	Mission Revival	c. 1925	YES	William Houston House, Rear additions, 2001 garage & guesthouse
751 Antonette Avenue	Mission Revival	c. 1924	YES	S. W. Cason House, Recorded as 747-749, minor alterations, duplex
754 Antonette Avenue	Craftsman Bungalow	c. 1925	YES	G. H. Dean House, addition
757 Antonette Avenue	Bungalow	1946	YES	Recorded as 769, duplex
762 Antonette Avenue	Craftsman Bungalow	1926	YES D	Baldwin Palmer House, side addition
764 Antonette Avenue	Minimal Traditional	1947	YES	Alterations
767 Antonette Avenue	Craftsman Bungalow	c. 1920, 1933	YES	Partial porch enclosure
781 Antonette Avenue	Craftsman Bungalow	1926	YES D	J. E. Blackburn House, Alterations
782 Antonette Avenue	Bungalow	c. 1925	YES	D. N. Barbour House, Recorded as 786
787 Antonette Avenue	Bungalow	c. 1925	YES	Robert Poole House, porch enclosure, front deck
796 Antonette Avenue	Craftsman Bungalow	c. 1925	YES	Porch enclosure
814 Antonette Avenue	Mission Revival	c. 1925	YES	Carl Williams House, porch enclosure
817 Antonette Avenue		1990	NO	
818 Antonette Avenue	Craftsman Bungalow	c. 1920	YES	Eliza Swasey House
828 Antonette Avenue		c. 1920	NO	Luther A. Leach House, Altered facade, materials, addition
829 Antonette Avenue	Craftsman Bungalow	c. 1925	YES	
834 Antonette Avenue	Craftsman Bungalow	c. 1925	YES	Annie B. Johnson House
835 Antonette Avenue	Craftsman Bungalow	c. 1925	YES	Porch enclosure, alterations
847 Antonette Avenue	Colonial Revival	1941	YES	Built as duplex, used as single-family
695 French Avenue	Prairie, Four-Square	c. 1925	YES D	Porch enclosure
719 French Avenue	Mission Revival	c. 1925	YES	L. A. Detwiler House
731 French Avenue	Craftsman Bungalow	c. 1925	YES	G. C. Dieterly House (contractor), Enclosed porch
745 French Avenue		2002	NO	Site of former P. E. Davis House
757 French Avenue	Colonial Revival	c. 1925	YES	Huida H. Forbes House, alterations

767 French Avenue	Minimal Traditional	1942	YES	Alterations
777 French Avenue		1935	NO	Major remodeling with contemporary style
320 Holt Avenue	Craftsman Bungalow	c. 1925, 1930	YES	C. Hasslinger House
330 Holt Avenue	Craftsman Bungalow	c. 1925	YES	F. J. Lindergreen House
363 Holt Avenue	Mediterranean Revival	1940	YES	Porch enclosure alterations, double flat
367 Holt Avenue	Vernacular	1940	YES	Alterations, double flat
375 Holt Avenue	Minimal Traditional	1943	YES	Porch enclosure
393 Holt Avenue	Frame Vernacular	1941	YES	Alterations, duplex
404 Holt Avenue	Craftsman Bungalow	c. 1920	YES	Rev. Francis Yarnell House, porch enclosure alterations
408 Holt Avenue	Masonry Vernacular	1942	YES	Alterations, triplex
411 Holt Avenue	Minimal Traditional	1940	YES	Alterations
422 Holt Avenue	Craftsman Bungalow	c. 1925	YES	Irvin Pribble House
425 Holt Avenue	Minimal Traditional	1953	YES	Alterations
430 Holt Avenue	Craftsman Bungalow	c. 1925	YES	B. H. Malin House
435 Holt Avenue	Craftsman Bungalow	1937	YES	
440 Holt Avenue		1957	NO	Duplex
450 Holt Avenue	Minimal Traditional	1946	YES	Significant alterations
451 Holt Avenue	Minimal Traditional	1951	YES	Minor alterations
468 Holt Avenue		2003	NO	Duplex
470 Holt Avenue		2003	NO	Duplex
471 Holt Avenue	Minimal Traditional	1943	YES	Alterations
472 Holt Avenue	Minimal Traditional	1953	YES	Triplex
479 Holt Avenue	Minimal Traditional	1940	YES	Alterations
483 Holt Avenue	Minimal Traditional	1940	YES	Duplex
520 Holt Avenue	Masonry Vernacular	1948	NO	Duplex
530 Holt Avenue			NO	Vacant. Redeveloped in 2005 into 2 S-F houses
532 Holt Avenue		2004	NO	
546 Holt Avenue		2004	NO	
548 Holt Avenue		2004	NO	
550 Holt Avenue		2004	NO	
451 Huntington Avenue		1958	NO	
453 Huntington Avenue	Minimal Traditional	1943	YES	
455 Huntington Avenue	Minimal Traditional	1948, 1937	YES	Duplex + Modern style single-family house
461 Huntington Avenue	Minimal Traditional	1941	YES	Alterations
475 Huntington Avenue		1970	NO	
555 Huntington Avenue		1987	NO	
565 Huntington Avenue		1987	NO	
575 Huntington Avenue		1987	NO	
585 Huntington Avenue		1987	NO	
595 Huntington Avenue		1987	NO	
597 Huntington Avenue	Minimal Traditional	1947, 1947	YES	Min. Trad. style duplex and modern style single-family house
621 Huntington Court		2008	NO	
905 Lakeview Drive	Mediterranean Revival	c. 1925	YES	J. A. Treat House

ROBERT HARRIS ARCHITECT 1175 N. USHUAIA DRIVE WINTER PARK, FLORIDA 32789 TEL: (407) 947-4939	ADDITION & REMODELING 422 HOLT AVE. WINTER PARK, FLORIDA 32789	PROJECT NO. 17-001 SHEET NO. 01 DATE 08-20-18	A0.1 <small>SCALE: 1/8" = 1'-0"</small>	SITE PLAN
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A WALL TYPES <small>SCALE: 1/8" = 1'-0"</small> ENTIRE PERIMETER WALL WOOD-FRAMED WALL OF INSULATED MORTAR	B GENERAL NOTES <small>SCALE: 1/8" = 1'-0"</small> THE NORTH 119 FEET OF THE WEST 268 FEET OF LOT 1 AND THE EAST 150 FEET OF LOT 2, TRACTERS BEING REPLAT ADDRESS TO THE PLAT BOOK 4, PAGE 58, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. PARCEL ID# 072239820 06-03 IRELAND A ASSOCIATES SURVEYING, INC. 1800 CURRENCY CIRCLE, SUITE 1020 WINTER PARK, FLORIDA 32789 FILE NO. IS-16626 DRAWING DATE: 02-07-2018	C KEY NOTES <small>SCALE: 1/8" = 1'-0"</small>
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A WALL TYPES
 SCALE: N.T.S.

- ===== EXTERIOR NORMAL EXTERIOR OR INTERIOR WOOD WALL ALUMINUM
- ===== INTERIOR STUD WALL WITH INTERIOR FINISH
- ===== INTERIOR STUD WALL WITH INTERIOR WOOD WALL ALUMINUM FINISH
- ===== INTERIOR STUD WALL WITH INTERIOR FINISH (PARTIAL)
- ===== WALL OF EXTERIOR EXTERIOR WALL

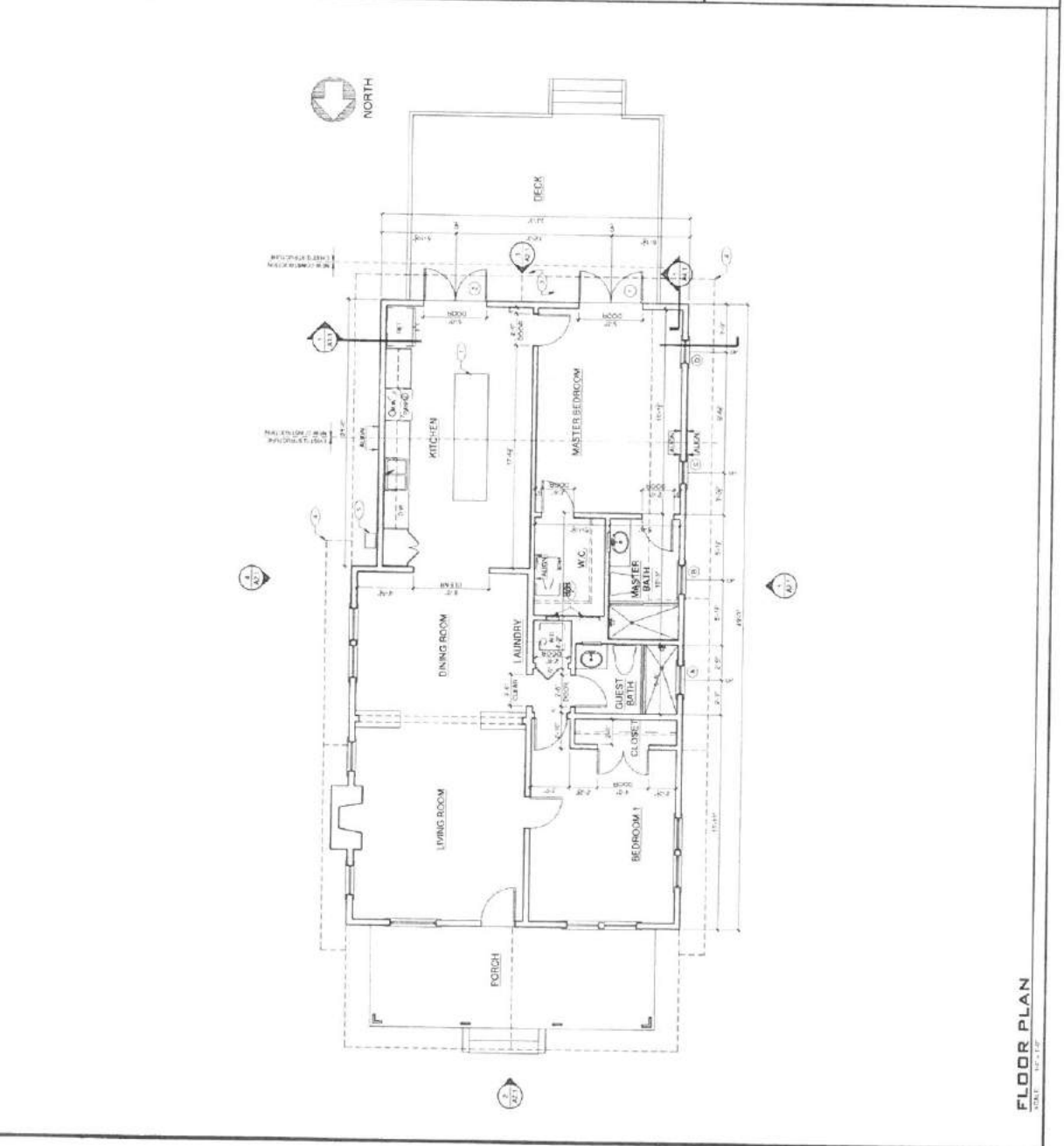
B GENERAL NOTES
 SCALE: N.T.S.

GENERAL:
 1. ALL WORK AND EXISTING DIMENSIONS TO CENTER UNLESS NOTED OTHERWISE IN ARCHITECTURAL DRAWINGS.
 2. ALL EXISTING DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.


PLUMBING:
 1. ALL NOTES TO BE COMPLETED IN ACCORDANCE WITH THE LOCAL CODES.

C KEY NOTES
 SCALE: N.T.S.

- ① KITCHEN ISLAND COUNTER AND COUNTER ON COUNTER
- ② WALL ACCESS WITH
- ③ NEW OR WALL FROM EXISTING WALL TO NEW EXTERIOR WALL
- ④ FINISH AND LOCATIONS OF ROOF ABOVE
- ⑤ FINISH AND LOCATIONS OF ELECTRIC WATER HEATER

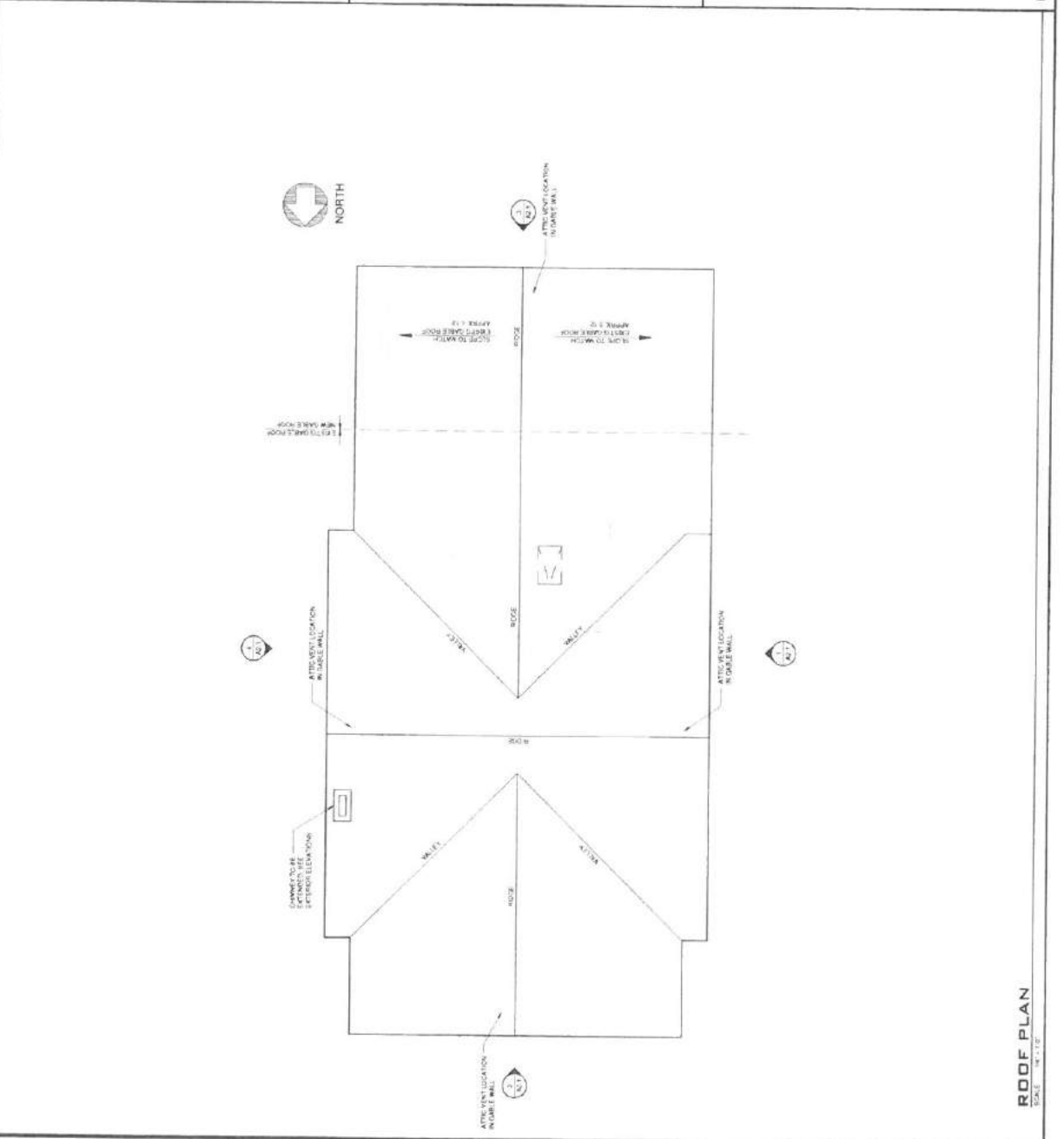


FLOOR PLAN
 SCALE: 1/8" = 1'-0"

	ROBERT HARRIS ARCHITECTS WINTER PARK, FLORIDA 32789 422 HOLT AVE. ADDITON & REMODELING	ROOF PLAN	A1.3 <small>PROJECT NO. 2010-001</small> <small>DATE: 01/11/10</small> <small>SCALE: AS SHOWN</small>	KEY NOTES <small>SCALE: 1/4" = 1'-0"</small>
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A ROOF VENTILATION CALC.
SCALE: 1/4" = 1'-0"

B GENERAL NOTES
SCALE: 1/4" = 1'-0"



	ROBERT HARRIS ARCHITECTS WINTER PARK, FLORIDA 32789 422 HOLT AVE. ADDITON & REMODELING	ROOF PLAN	A1.3 <small>PROJECT NO. 2010-001</small> <small>DATE: 01/11/10</small> <small>SCALE: AS SHOWN</small>	KEY NOTES <small>SCALE: 1/4" = 1'-0"</small>
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PROJECT NO.	DATE
CLIENT	SCALE
DESIGNER	REVISION
DATE	BY
SCALE	DATE

1718 ALABAMA DRIVE
 SUITE 200
 WINTER PARK, FLORIDA 32789
 PHONE: (407) 838-1111
 FAX: (407) 838-1112
 WWW.ATTARARCHITECT.COM

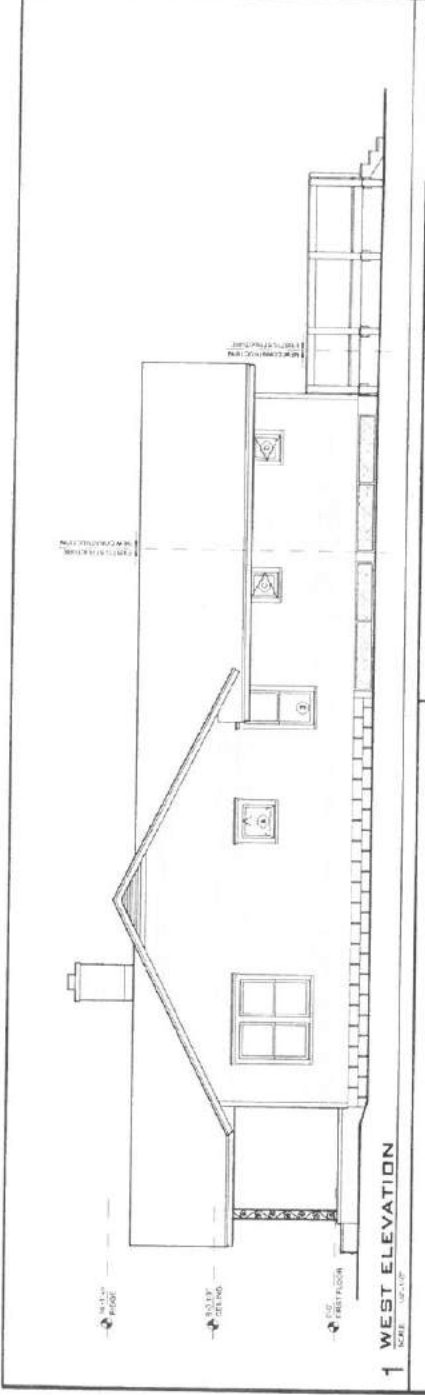
ATTAR ARCHITECT
 ROBERT
 ARCHITECT

OGILVIE RESIDENCE
ADDITION & REMODELING
 422 HOLT AVE.
 WINTER PARK, FLORIDA 32789

EXTERIOR ELEVATIONS
 PROJECT NO. 2010-001
 CLIENT: OGILVIE
 DATE: 02/24/10

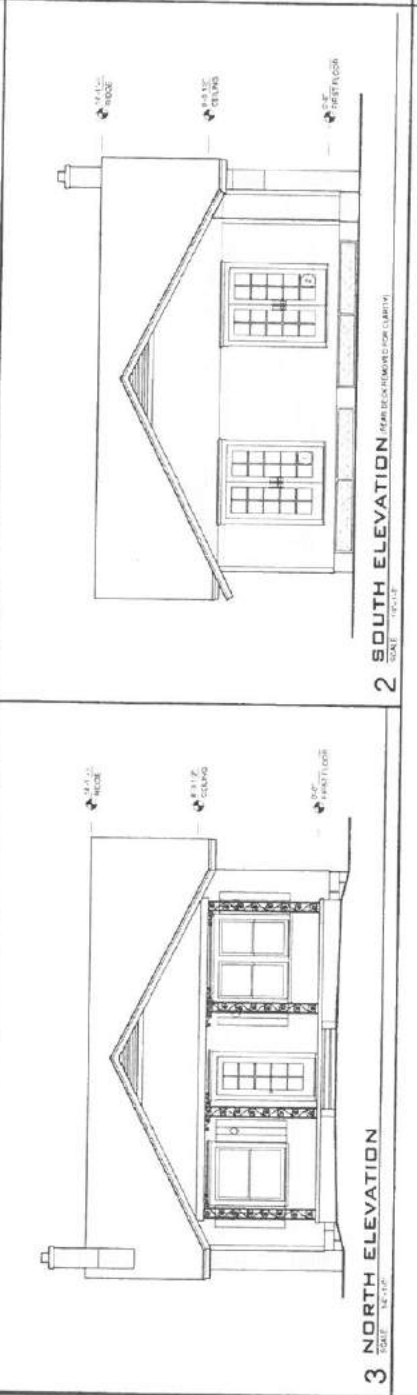
A2.1
 SHEET DATE: 02/24/10

A WALL TYPES
 SCALE: N.T.S.



1 WEST ELEVATION
 SCALE: 1/4"=1'-0"

B GENERAL NOTES
 SCALE: N.T.S.



3 NORTH ELEVATION
 SCALE: 1/4"=1'-0"

2 SOUTH ELEVATION (FROM REAR PORCH FOR CLARITY)
 SCALE: 1/4"=1'-0"

C KEY NOTES
 SCALE: N.T.S.



4 EAST ELEVATION
 SCALE: 1/4"=1'-0"



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**Planning &
Community
Development**

Historic Preservation Board Staff Report for August 29, 2019 Meeting

COR #19-002 Request of April Hughes to: Individually designate the 1952 home at 2230 Howard Drive as a historic landmark home within the Lake Forest Park replat.

Historic District. Zoned: R-1A Parcel ID #17-22-30-4436-03-020

Background

The property is located on the corner of Howard Drive and Mulbry Drive. It was originally built about 1952.

Description

The one-story house is in poor to good condition and looks to retain its original vertical casement windows. The outstanding feature of the home is the low-pitched roof, emblematic of the Mid-Century Modern (MCM) style. It also demonstrates the use of 4 inch masonry units, also used in this time period, as well as vertically expressed windows and porch design.

The scale of this home contributes well to the heritage of this architecturally diverse neighborhood and maintains the character of its original Mid-Century Modern significance. There are several other MCM homes in the Lake Forest Park neighborhood, some of which have been demolished just since this project has been proposed.

Architectural Significance

The Mid-Century Modern style is now over sixty years old and represents a depth of residential design that deserves to be preserved in Winter Park. This home is typical of the MCM style and may be one of the Sorensen + Fletcher design/built homes, so prevalent in Winter Park in the 1950's and 1960's.

The Owner has stated that she is a strong proponent of MCM and wants to preserve this home, while making appropriate additions and restorations to bring it back to its original character and proper condition. She has also voiced the desire to prompt other neighbors to do the same. This kind of enthusiasm is to be commended.

Staff recommendation is for approval for Historic Designation and listing as a Historic Landmark property on the Winter Park Register of Historic Places.



City of Winter Park
 Planning Department
 401 Park Avenue, South
 Winter Park, Florida 32789
 407-599-3323

City of Winter Park Historic Designation Application

1. 2230 HOWARD DRIVE
 Building address
APRIL W. HUGHES 407-234-3390
 Owner's name(s) Address Telephone
1510 GLENCOE ROAD, WINTER PARK
 Applicant's name (if different from above) Address Telephone

2. I, APRIL W. HUGHES, as owner of the property described above, do hereby authorize the filing of this application for historic designation for that property.

[Signature]
 Owner's Signature

5/16/19
 Date

Historic Preservation Board Office Use

Criteria for Designation

- A. Association with events that have made a significant contribution to the broad patterns of history including the local pattern of development; or
- B. Association with the lives of a person or persons significant in our past, or that
- C. Embodies the distinctive characteristics of a type, period, or method of construction or that represents the work of a master, or that possesses high artistic values or that represents a significant and distinguishable entity whose components may lack individual distinction; or
- D. Has yielded or are likely to yield information important in prehistory or history.

17.22.30.4436.03.020

1952

Legal description

Year built

LAKE FOREST

Historic name of building (if any)

Historic district name (if any)

Date received: 17 MAY 2019

HPC Meeting: 12 JUNE 2019

Case File No.: HDA 19-002

Florida Master Site File No.: OR- NA

@ Local Historic Landmark

@ Local Historic Resource

RESOLUTION NO. _____

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, DESIGNATING THE PROPERTY LOCATED AT 2230 HOWARD DRIVE, WINTER PARK, FLORIDA AS A HISTORIC RESOURCE ON THE WINTER PARK REGISTER OF HISTORIC PLACES.

WHEREAS, there are located within the City of Winter Park historic sites, areas, structures, buildings, improvements and appurtenances, both public and private, both on individual properties and in groupings, that serve as reminders of past eras, events, and persons important in local, state and national history; or that provide significant examples of past architectural styles and development patterns and that constitute unique and irreplaceable assets to the City; and

WHEREAS, the City Commission recognizes that the sites and properties of historical, cultural, archaeological, aesthetic and architectural merit contribute to the public health, welfare, economic well being and quality of life of the citizens of Winter Park; and

WHEREAS, there is the desire foster awareness and civic pride in the accomplishments of the past; and

WHEREAS, the Winter Park Historic Preservation Board has determined that the property at 2230 Howard Drive meets the criterion for historic resource status through its association with a Mid-Century Modern architectural style that was predominant in the 1950's and 1960's within this Lake Forest neighborhood and built in many other places as well throughout the City by Sorensen & Fletcher,

NOW, THEREFORE, be it resolved by the City Commission of the City of Winter Park, Florida that:

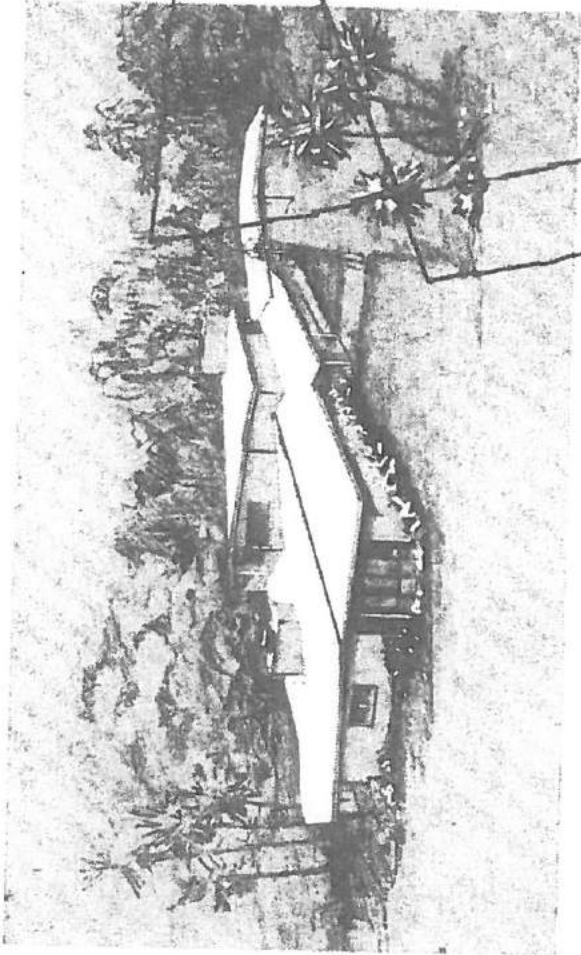
The City Commission of the City of Winter Park hereby supports and endorses the designation of the property located at 2230 Howard Drive as a historic resource on the Winter Park Register of Historic Places.

ADOPTED at a regular meeting of the City Commission of the City of Winter Park held in City Hall, Winter Park on this _____ day of _____ 2019.

Steve Leary, Mayor

ATTEST:

City Clerk



Homes in the \$15,000 to \$50,000 field
... there is an open house for your
inspection at all times.

... beginning with fine lands
and a beautiful natural setting,
Sorensen and Fletcher, designers
and builders, combine superior
materials and utilities to create
homes of outstanding merit.

Sorensen and Fletcher

DESIGNERS • BUILDERS

Winter Park, Florida

P. O. Box 782

Phone Winter Park 5-2051



401 South Park Avenue • Winter Park, Florida 32789

407-599-3324 • planning@cityofwinterpark.org
cityofwinterpark.org

**Planning &
Community
Development**

Historic Preservation Board Staff Report for August 29, 2019 Meeting

COR #19-002 Request of April Hughes to: Build 973 SF of additions to the existing 1,574 SF one-story masonry home at 2230 Howard Drive. The home was built in 1952 and is a uniquely designed Florida Mid-Century Modern style home. This work will include the following:

1. Exterior improvements to the one-story rear setback of 11 feet, in lieu of 25 feet.
2. Variance to the one –story rear setback of 11 feet, in lieu of 25 feet.
3. Variance to the one story side setback of 10 feet/4 inches, in lieu of 11 feet.
4. Variance to the street side setback of 15 feet, in lieu of 20 feet for open carport.

Zoned: R-1A Parcel ID # 17-22-30-4436-03-020

Background

The property is located on the corner of Howard Drive and Mulbry Drive. It was originally built in 1952 on a 9,103 sf lot (per OCPA), and has remained in its original residential use.

Description

Description. The one-story, 1,574 sf house is in poor-to-good condition and retains the design of its original vertical window casements. The notable feature of the home is the low-pitched roof, which is emblematic of the Mid-Century Modern (MCM) architectural style. It also demonstrates the use of 4 inch masonry units, the vertical windows and porch design of this time period.

This neighborhood is undergoing redevelopment. In most circumstances, the homes of this period and style are being demolished and replaced with new modern two-story homes. The scale of this home contributes well to the heritage of this architecturally diverse neighborhood and maintains the character of its original Mid-Century Modern significance.

The current owner would like to reverse that trend and preserve this 1950's architectural style. However, the current home of 1,574 square feet needs to be enlarged to meet the needs of the owner and family. To maintain the one-story character and style requires some setback variances adding the 973 sf addition for the desired size of the home.

The current owner could easily demolish this home and build a new modern two-story home of the requested total 2,547 sq. ft. and meet the required setbacks. The zoning rules would allow a new two-story home on this property up to 3,914 sq. ft. in size.

Architectural Significance

The Mid-Century Modern style is now over sixty years old and represents a depth of residential design that deserves to be preserved in Winter Park. This home is typical of the MCM style

and may be one of the Sorensen + Fletcher design/built homes, so prevalent in Winter Park in the 1950's and 1960's.

Variations Requested:

There are three variations requested, as follows:

Northwest Side Setback: 10.33 ft. in lieu of 11 ft., based on lot width of 88' on corner location. This 8 inch variance is de minimus.

Rear Setback: 11 ft. in lieu of 25 ft. for one-story. However, this is the same 11 ft. setback as applies to the adjacent home to the east at 2375 Mulbry Drive. Applicant proposes a fence with landscaping to be added to rear lot line within this setback to promote privacy and screening.

Southeast Side (Street) Setback: 15 ft. in lieu of 20 ft. side (street) setback to Mulbry Drive. However, this structure is an open carport to minimize the built impact).

Side versus Rear Setback. Properties that are located on corner lots have a more difficult time meeting Zoning Code setbacks than do interior lots. First they have two street setbacks (that are typically greater than side or rear setbacks) versus just one street setback for an interior lot. An interior lot has three neighbors (one on each side and one in the rear). A corner lot has two neighbors and one is a side and one is a rear.

This creates scenarios that can seem unfair. In this case, this home must be 25 feet away from the home to the rear (east) as for them it is a rear setback. But that home to the rear (east) can build at the same 11 feet away from this same property line, as that is for them a side setback.

Impact on the home to the east at 2375 Mulbry Drive (Mr./Mrs. Emmons). The neighbors directly to the east are the only neighbors affected by the variance requests. The HPB staff agrees with the applicant that a privacy fence would be a good idea with some understory landscape screening such as ligustrum trees or crape myrtals above the fence height. Otherwise, there does not appear to be any negative impact upon those adjacent owners. The visual impact of a new two-story home redevelopment (without Historic Landmark Designation) would have a much greater visual and privacy impact upon those adjacent neighbors than does this request.

Staff Summary

When a property owner voluntarily agrees to a Historic Landmark designation, there is an expectation that agreeing to never demolishing the home should bring some incentives. The City only has two incentives to offer. One is setback relief via variances. The other is the granting of rental status for accessory guest quarters. Especially when it is an existing structure.

Staff is in support of this application and the setback variances:

There is a hardship on this corner lot in requiring a 25-foot rear setback to the exact same property line as the adjacent neighbor is permitted an 11-foot side setback.

The 11-foot side setback proposed is the same as is entitled to the adjacent property owner.

The open carport (not living area) in the street front setback at 15 feet does not visually create a negative impact on the street or neighbors.



City of Winter Park
Planning Department
Historic Preservation Board
401 Park Avenue, South
Winter Park, Florida 32789
407-599-3323

Certificate of Review Application

1. 2230 HOWARD DRIVE
 Building address

APRIL W. HUGHES 407-234-3390
 Owner's name(s) Address Telephone

1510 GLENCOE ROAD, WINTER PARK
 Applicant's name (if different from above) Address Telephone

2. Please indicate the work you propose to undertake:

Minor alteration New construction Addition Demolition Rehabilitation

Variance request (additional information required) Other: _____

3. Proposed project narrative: _____

ATTACHED.

4. The following supplementary information shall be provided as applicable to describe the proposal:

Site plan Floor plan(s) Elevations(s) Photo(s) Survey

Material and product information Setback/Coverage worksheet REQUIRED

Other: _____

5. I, APRIL W. HUGHES, as owner of the property described above, do hereby authorize the filing of this application on my behalf.

 Owner's Signature 5/16/19
 Date

Historic Preservation Commission Office Use	
Date received: <u>17 MAY 19</u>	HPC Meeting: <u>17 JUNE 19</u> Case File No: <u>COB 19-002</u>
Historic name of building (if any)	Historic district name (if any)
<u>17.22.30.4436.03.020</u>	<u>LAKE FOREST</u>
Parcel Identification Number	Year built
<u>1952</u>	
<input type="checkbox"/> historic landmark	<input checked="" type="checkbox"/> historic building/structure
<input type="checkbox"/> district contributing element	<input type="checkbox"/> district non-contributing element

Restore and completely update the original 1952 home located at 2230 Howard Drive. Add roughly 1,000 square feet to create a master bath and closet, kitchen, carport, and guest suite area. Make improvements to the exterior to bring out the original character with a new roof, windows, lighting, paint and landscaping. It has been my intention to design this house as historically accurate as possible. I would like to be one of the first homes in Lake Forest to showcase the short and long term benefits of historic designation and hope to inspire other to follow.

Historic Preservation Board
Certificate of Review
Supplemental Application for Variance Request

1. Describe variance request:

REAR SETBACK.

2. What are the special conditions and circumstances peculiar to the land, building(s), and structure(s), involved especially as they are established by the historic character of the afore mentioned?

THE HOUSE SITS IRREGULARLY ON THE LOT. IN ORDER TO ADD THE NECESSARY SQUARE FOOTAGE AND MAINTAIN THE ORIGINAL LOOK OF THE HOME, WE NEED TO GO BACK AS FAR AS POSSIBLE ON THE LOT.

3. Describe the requirements, from the Land Development Code upon which this request is based.

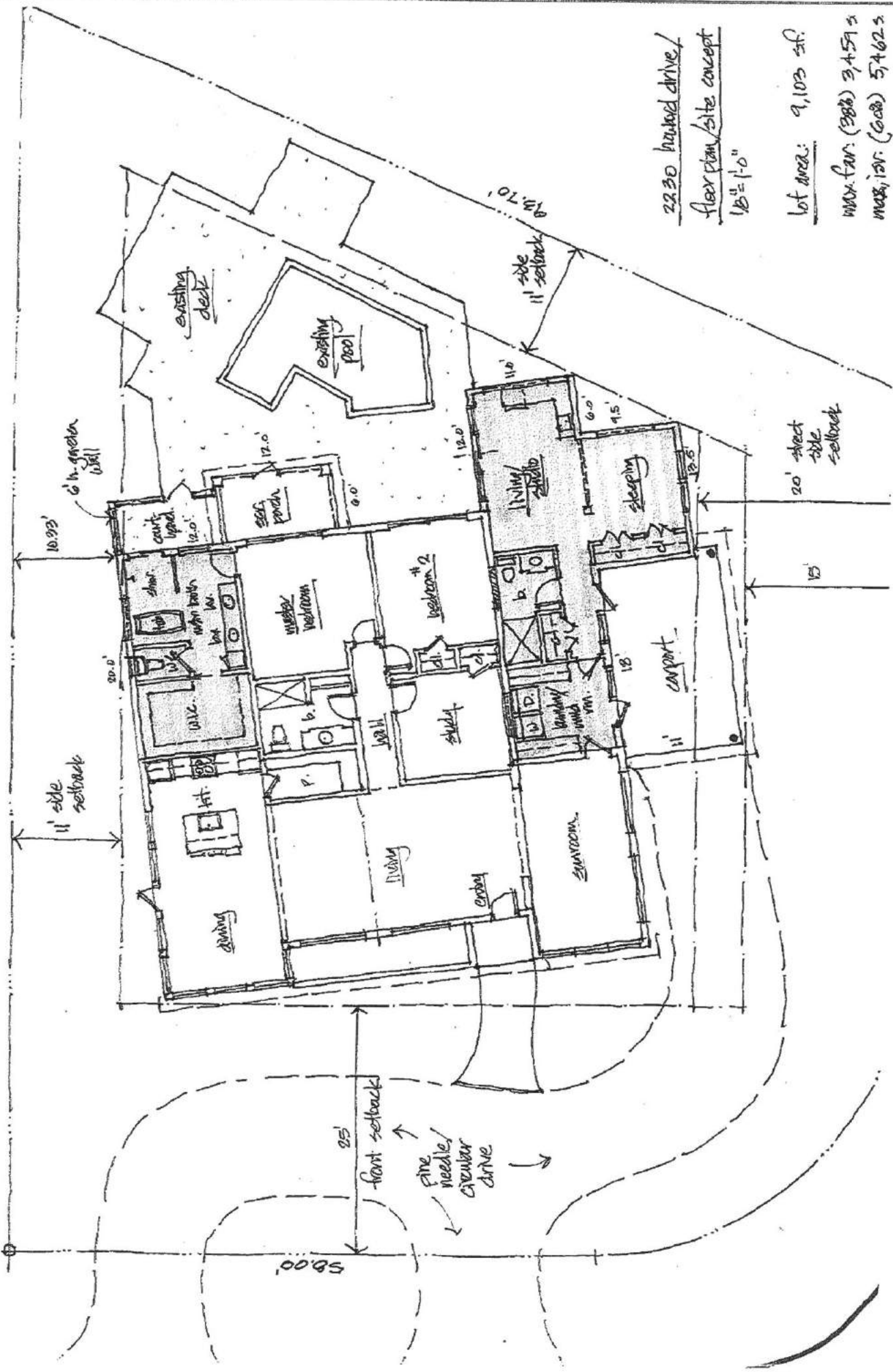
?

4. Describe how the requested variance may be appropriate to achieve the design review standards for historic preservation.

THE VARIANCE ALLOWS US TO KEEP A ONE STORY STRUCTURE.

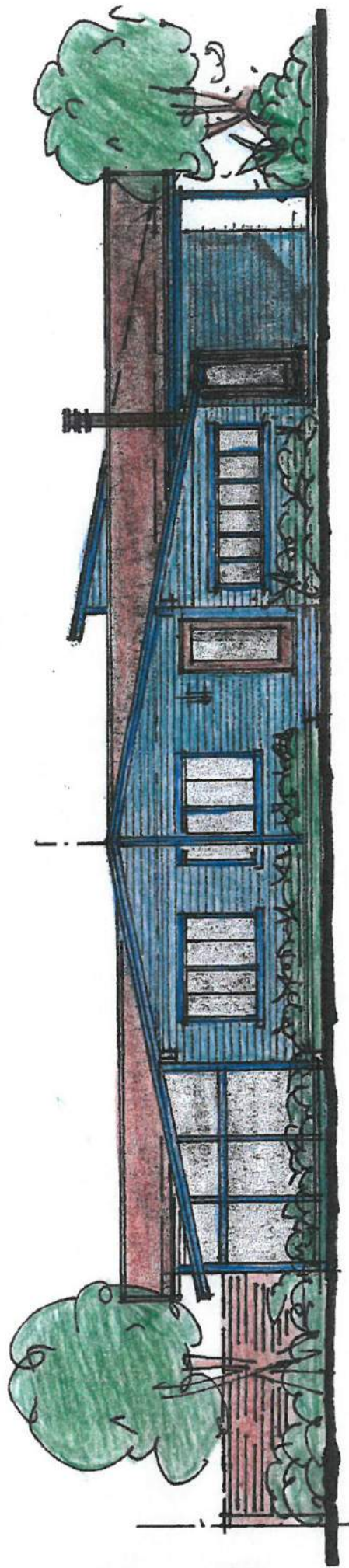
5. Complete the setback and coverage calculations on the appropriate form and include with this application.

File this form with your completed Certificate of Review application.



22.30 hauled drive/
 floor plan/site concept
 1/8" = 1'-0"

lot area: 9,103 sf.
 max. far. (388) 3,457 s
 max. isf. (608) 5,462 s

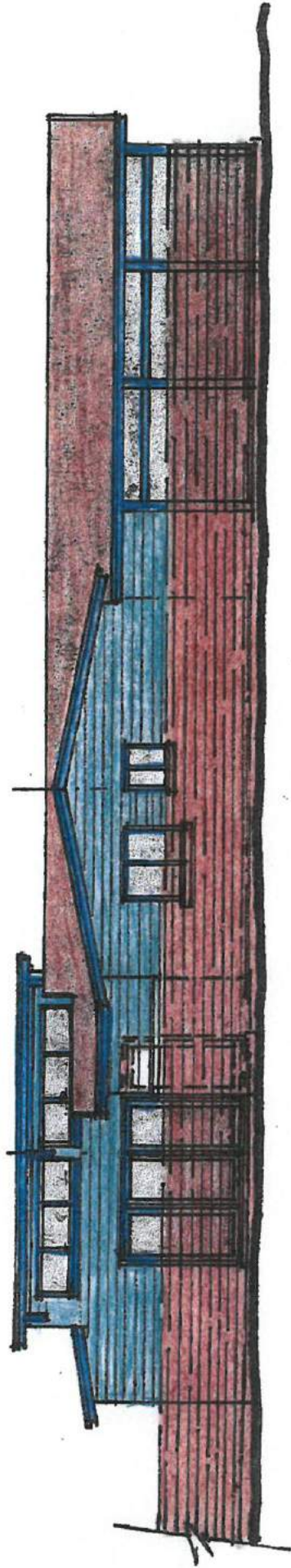


Front View

front schematic/elevation

1/8"=1'-0"

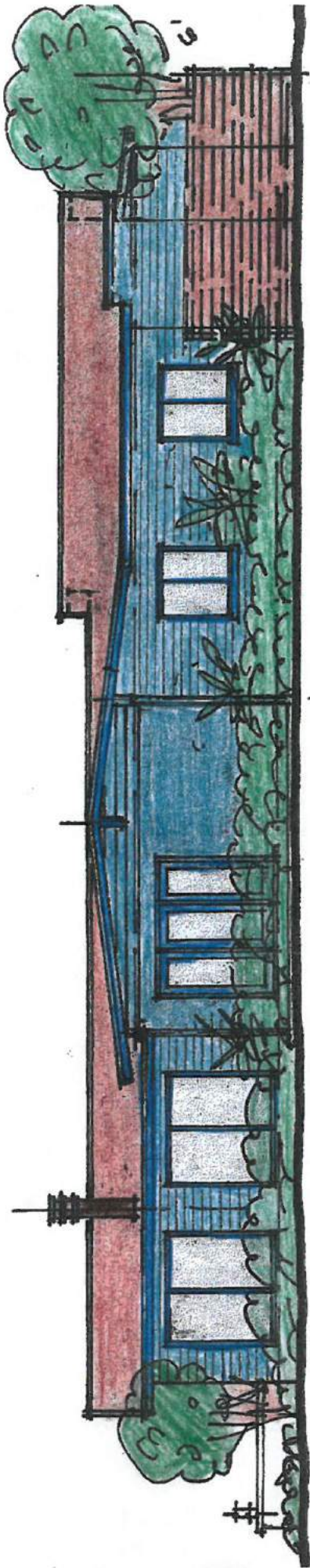
View from Howard Drive



side elevation schematic
1/8" = 1'-0"

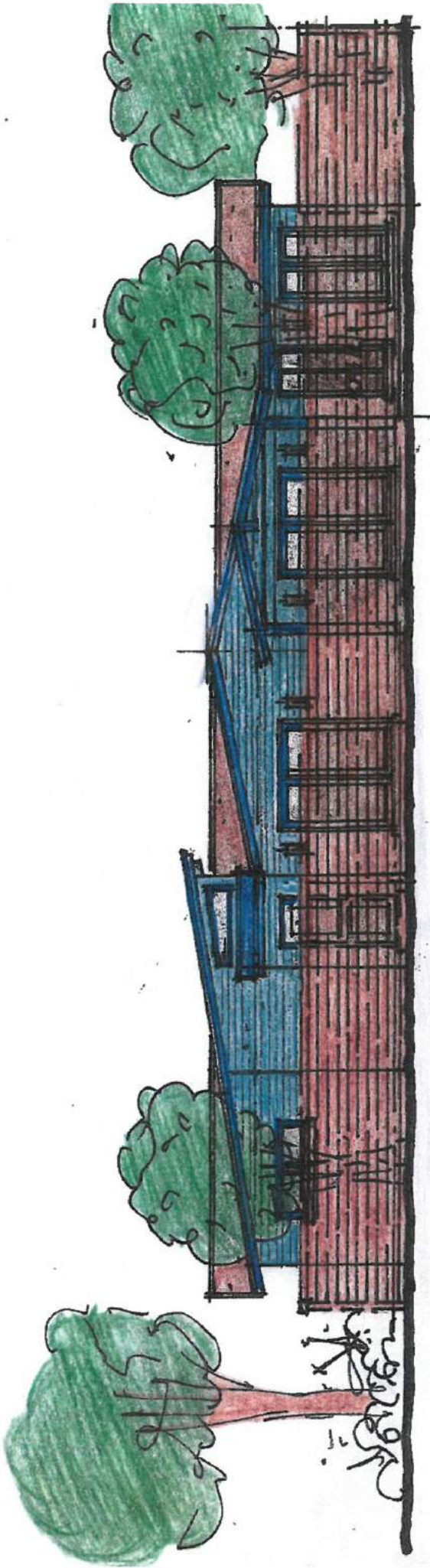
North Side

View from adjacent home @ 2228 Howard Drive



schematic/elevation
1/8" = 1'-0"

South View
View from Mulberry Drive



rear elevation / schematic
1/8" = 1'-0"

East View

View from adjacent home e 2375 Mulby Drive



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address: 2230 HOWARD DR.

Submitted by: DAVID RUMBLE, ARCHITECT 7-24-19

Lot width²: 88' (+/- VARIES)

Lot area³: 9,103 S.F. (+/-)

	Maximum % Allowed ⁴	Existing Area	Additional Proposed Area	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, etc.	2 story - 50%				
FLOOR AREA RATIO (F.A.R.)^{5,6} For one and two story bldgs (include 1st & 2nd floors, garages/carpools, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁷ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁸ .	1 story - 60%	2,744	1,218	3,962	5,462
	Lot area < 11,600 sf: 38% Base FAR or w/ increased side setbacks: 43% Max FAR				
	Lot area 11,600 sf to 13,600 sf 4,500 sf Base area & 5,200 sf Maximum area Lot area > 13,600 sf 33% Base FAR or w/ increased side setbacks: 38% Max FAR	1,574	973	2,547	3,459
SCREEN POOL ENCLOSURE	8% ⁹				

	Minimum % Required	Existing Area	Landscape Area Reduced	New Total Area	Minimum Required Area
FRONT YARD LANDSCAPE COVERAGE Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious). Front Lot Area:	50%				

NOTES:

1. Windsong, & Waterbridge may use these standards, except where those subdivisions have stricter provisions. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at big line across lot at front wall of existing or proposed home. For a proposed home determine the front setback (see page 2).
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft maximum width and 2.5 ft back from the required setback, occupying 45% of roof area within the same roof plane.
6. See page 3 on how to achieve maximum F.A.R.
7. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
8. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porta cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area. Utilizing this exemption requires a deed covenant to be recorded, outlining the restrictions precluding the enclosing of side and/or rear porches, and enclosing and screening of front porches.
9. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.

SETBACKS

Minimum Allowable Dimensions		Existing	Proposed
FRONT	Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.		
SIDES ^{1,2}	1st Floor	See pages 3&4	25.6'
	2nd Floor		12.8'
REAR ^{1,3,4}	1st Floor	25 ft	10.33'
	2nd Floor	35 ft	11'-0"
CORNER LOT	Lakefront	see note 5	—
	1st Floor	Lot width ≤ 65 ft	—
		Lot width > 65 ft to 75 ft	—
		Lot width > 75 ft	25.4'
	2nd Floor	Lot width ≤ 65 ft	—
		Lot width > 65 ft to 75 ft	25 ft ⁶
BUILDING HEIGHT ^{7,8,9,10,11}	30 ft - 35 ft plus 2 ft or 40 ft (see notes 10 & 11)	11' (+/-) MAX	20' House / 15' Garage
		25 ft ⁶	13' (+/-) MAX.

Notes:

1. Any building wall that exceeds 12 ft in height measured from natural grade to top of wall plate or Inss kneewall must meet the setbacks for the 2nd floor.
2. Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft and interior side setback is 5 ft minimum (no gable end allowed) for garages up to 550 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
3. Rear setbacks for properties abutting non-residential zones or R-3/R-4 may be 10 ft for 1st floor and 25 ft for 2nd floor.
4. Accessory buildings: garage/carpport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. Other accessory buildings used for habitation shall meet setbacks of the main residence.
5. Require Planning & Zoning commission approval. Lakefront setback is based on the average setback established by the adjacent residences within 200 ft or 50 ft, whichever is greater, measured from ordinary high water line.
6. Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft may reduce the rear setback by 5 ft on each floor.
7. Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
8. No building or portion thereof shall exceed 30 ft in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft additional building height.
9. Accessory building that exceeds 18 ft in height shall meet the same setbacks as the principal building on the property.
10. Properties or lots with at least 80 ft of width at the building line are permitted to have a building height of 35 ft if the side setbacks are increased to 20 ft at 30 ft above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft of additional building height.
11. Properties or lots exceeding 50,000 sq. ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft if side setbacks are increased to 35 ft to the portion of the roof over 30 ft in height.









BOUNDARY & TOPOGRAPHIC SURVEY



- Notes:**
1. The limits shown hereon were not constructed for easements or other recorded encumbrances not shown on the plat.
 2. All measurements are given in feet and inches, unless otherwise indicated.
 3. All bearings are true north unless otherwise indicated.
 4. All distances are in feet unless otherwise indicated.
 5. All points are to be set in concrete unless otherwise indicated.
 6. All points are to be set in concrete unless otherwise indicated.
 7. All points are to be set in concrete unless otherwise indicated.
 8. All points are to be set in concrete unless otherwise indicated.
 9. All points are to be set in concrete unless otherwise indicated.
 10. All points are to be set in concrete unless otherwise indicated.
 11. All points are to be set in concrete unless otherwise indicated.
 12. All points are to be set in concrete unless otherwise indicated.
 13. All points are to be set in concrete unless otherwise indicated.
 14. All points are to be set in concrete unless otherwise indicated.
 15. All points are to be set in concrete unless otherwise indicated.
 16. All points are to be set in concrete unless otherwise indicated.
 17. All points are to be set in concrete unless otherwise indicated.
 18. All points are to be set in concrete unless otherwise indicated.

Legend:

AKC - Aerial Camera Control	APC - Aerial Photo Control	APM - Aerial Photo Map
AM - Alluvial Material	AMC - Alluvial Material Control	AMW - Alluvial Material Width
AN - Anomalous North	ANC - Anomalous North Control	ANW - Anomalous North Width
AR - Artificial Recharge	ARC - Artificial Recharge Control	ARW - Artificial Recharge Width
AS - Asphalt Surface	ASC - Asphalt Surface Control	ASW - Asphalt Surface Width
AT - Asphalt Topography	ATC - Asphalt Topography Control	ATW - Asphalt Topography Width
AW - Asphalt Width	AWC - Asphalt Width Control	AWW - Asphalt Width Width
B - Boundary	BC - Boundary Control	BW - Boundary Width
BK - Boundary Kiosk	BKC - Boundary Kiosk Control	BKW - Boundary Kiosk Width
BS - Boundary Station	BSK - Boundary Station Control	BSW - Boundary Station Width
BT - Boundary Trench	BTK - Boundary Trench Control	BTW - Boundary Trench Width
BU - Boundary Utility	BUC - Boundary Utility Control	BWU - Boundary Utility Width
CC - Concrete	CCK - Concrete Control	CCW - Concrete Width
CD - Concrete Ditch	CDK - Concrete Ditch Control	CDW - Concrete Ditch Width
CE - Concrete Elevation	CEK - Concrete Elevation Control	CEW - Concrete Elevation Width
CF - Concrete Finish	CFK - Concrete Finish Control	CFW - Concrete Finish Width
CG - Concrete Grade	CGK - Concrete Grade Control	CGW - Concrete Grade Width
CH - Concrete Height	CHK - Concrete Height Control	CHW - Concrete Height Width
CI - Concrete Intersection	CIK - Concrete Intersection Control	CIW - Concrete Intersection Width
CJ - Concrete Joint	CJK - Concrete Joint Control	CJW - Concrete Joint Width
CK - Concrete Corner	CKK - Concrete Corner Control	CKW - Concrete Corner Width
CL - Concrete Line	CLK - Concrete Line Control	CLW - Concrete Line Width
CM - Concrete Marker	CMK - Concrete Marker Control	CMW - Concrete Marker Width
CO - Concrete Offset	COK - Concrete Offset Control	COW - Concrete Offset Width
CP - Concrete Point	CPK - Concrete Point Control	CPW - Concrete Point Width
CQ - Concrete Quality	CQK - Concrete Quality Control	CQW - Concrete Quality Width
CR - Concrete Reference	CRK - Concrete Reference Control	CRW - Concrete Reference Width
CS - Concrete Section	CSK - Concrete Section Control	CSW - Concrete Section Width
CT - Concrete Trench	CTK - Concrete Trench Control	CTW - Concrete Trench Width
CU - Concrete Utility	CUK - Concrete Utility Control	CUW - Concrete Utility Width
CV - Concrete Vertex	CVK - Concrete Vertex Control	CVW - Concrete Vertex Width
CW - Concrete Width	CWK - Concrete Width Control	CWW - Concrete Width Width

Legend (continued):

DC - Ditch	DK - Ditch Control	DW - Ditch Width
DE - Ditch Elevation	DEK - Ditch Elevation Control	DEW - Ditch Elevation Width
DF - Ditch Finish	DFK - Ditch Finish Control	DFW - Ditch Finish Width
DG - Ditch Grade	DGK - Ditch Grade Control	DGW - Ditch Grade Width
DH - Ditch Height	DHK - Ditch Height Control	DHW - Ditch Height Width
DI - Ditch Intersection	DIK - Ditch Intersection Control	DIW - Ditch Intersection Width
DJ - Ditch Joint	DJK - Ditch Joint Control	DJW - Ditch Joint Width
DK - Ditch Corner	DKK - Ditch Corner Control	DKW - Ditch Corner Width
DL - Ditch Line	DLK - Ditch Line Control	DLW - Ditch Line Width
DM - Ditch Marker	DMK - Ditch Marker Control	DMW - Ditch Marker Width
DN - Ditch Offset	DNK - Ditch Offset Control	DNW - Ditch Offset Width
DO - Ditch Point	DOK - Ditch Point Control	DOW - Ditch Point Width
DP - Ditch Quality	DPK - Ditch Quality Control	DPW - Ditch Quality Width
DQ - Ditch Reference	DQK - Ditch Reference Control	DQW - Ditch Reference Width
DR - Ditch Section	DRK - Ditch Section Control	DRW - Ditch Section Width
DS - Ditch Trench	DSK - Ditch Trench Control	DSW - Ditch Trench Width
DT - Ditch Utility	DTK - Ditch Utility Control	DTW - Ditch Utility Width
DU - Ditch Vertex	DUK - Ditch Vertex Control	DUW - Ditch Vertex Width
DW - Ditch Width	DWK - Ditch Width Control	DWW - Ditch Width Width

Legend (continued):

EA - Electric Appliance	EAK - Electric Appliance Control	EAW - Electric Appliance Width
EB - Electric Box	EBC - Electric Box Control	EBW - Electric Box Width
EC - Electric Cable	ECK - Electric Cable Control	ECW - Electric Cable Width
ED - Electric Duct	EDK - Electric Duct Control	EDW - Electric Duct Width
EE - Electric Elevation	EEK - Electric Elevation Control	EEW - Electric Elevation Width
EF - Electric Finish	EFK - Electric Finish Control	EFW - Electric Finish Width
EG - Electric Grade	EKG - Electric Grade Control	EGW - Electric Grade Width
EH - Electric Height	EHK - Electric Height Control	EHW - Electric Height Width
EI - Electric Intersection	EIK - Electric Intersection Control	EIW - Electric Intersection Width
EJ - Electric Joint	EJK - Electric Joint Control	EJW - Electric Joint Width
EK - Electric Corner	EKK - Electric Corner Control	EKW - Electric Corner Width
EL - Electric Line	ELK - Electric Line Control	ELW - Electric Line Width
EM - Electric Marker	EMK - Electric Marker Control	EMW - Electric Marker Width
EN - Electric Offset	ENK - Electric Offset Control	ENW - Electric Offset Width
EO - Electric Point	EOK - Electric Point Control	EOW - Electric Point Width
EP - Electric Quality	EPK - Electric Quality Control	EPW - Electric Quality Width
EQ - Electric Reference	EQK - Electric Reference Control	EQW - Electric Reference Width
ER - Electric Section	ERK - Electric Section Control	ERW - Electric Section Width
ES - Electric Trench	ESK - Electric Trench Control	ESW - Electric Trench Width
ET - Electric Utility	ETK - Electric Utility Control	ETW - Electric Utility Width
EU - Electric Vertex	EUK - Electric Vertex Control	EUW - Electric Vertex Width
EW - Electric Width	EWK - Electric Width Control	EWK - Electric Width Width

Legal Description:

Lot 2, Block C, LAKE FOREST PARK, according to the map or plat thereof as recorded in Plat Book 5, Page 20, of the Public Records of Orange County, Florida; LESS the following described property: Block 1, LESS of Lot 2, Block C, LAKE FOREST PARK, as per plat hereof as recorded in Plat Book 5, page 20, of the Public Records of Orange County, Florida; run thence easterly 8° 55' 16.38" E to South line of said lot, run thence easterly 8° 55' 16.38" E to South line of said lot, run thence easterly 8° 55' 16.38" E to South line of said lot, run thence easterly 8° 55' 16.38" E to South line of said lot, run thence easterly 8° 55' 16.38" E to South line of said lot.

Benchmark Used:

Description: Set 3.5" aluminum Orange County Control disc in sidewalk on northwest corner of Corrie drive and Janice drive Elevation 105.197' NAVD88

Certified to/ for the exclusive use of:
 Southern Tradition Development

Basis of Bearing:
 Bearing shown hereon are based on South line of Lot 1, Block 2, being 560.25 24° W per Plat.

Flood Insurance Rate Map:
 Community Number: 120788 Panel: 0255
 Suffix: Flood Insurance Rate Map
 Dated: September 25, 2005 Flood Zone: X

Professional Surveyor and Mapper: JOSE R. NEGRON FPM#660
 ELECTRONIC SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER

DATE: 02/06/2018
 DATE: 02/06/2018

Professional Surveyor and Mapper: JOSE R. NEGRON FPM#660
 ELECTRONIC SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER

August 13, 2019

Jeffrey Briggs
Manager, Planning & Community Development
City of Winter Park
401 Park Ave, South
Winter Park, FL 32789
jbriggs@cityofwinterpark.org

Mr. Briggs:

I am writing today to express my support for the design and variances requested by April Hughes for the restoration of her home at 2230 Howard Drive. As a neighbor, I am pleased April plans to restore this home and feel the proposed added square footage would be a beautiful complement to the existing architecture. Furthermore, I would love to see this home added to the list of historic homes in Winter Park. It is a classic example of Mid-Century architecture and should be preserved.

Sincerely,

A handwritten signature in cursive script, appearing to read "Lisa Penkacik".

Lisa Penkacik
2232 Howard Dr.
Winter Park, FL 32789



401 South Park Avenue • Winter Park, Florida 32789

407-599-3324 • planning@cityofwinterpark.org
cityofwinterpark.org

**Planning &
Community
Development**

Historic Preservation Board Staff Report for August 29, 2019 Meeting

COR #19-004 Request of Gradey Cooksey to: Build 1,546 SF of additions to the existing 1,783 SF two-story home at 420 Melrose Avenue. The home was built in 1925 and is a previously designated Historic Landmark. This work is to include the following:

1. Exterior improvements and additions to the exterior of the original 1925 home.
2. Demolition of the nonconforming detached accessory guest quarters structure.
3. Variance to the one-story rear setback of 10 feet, in lieu of 25 feet and two-story rear setback of 25 feet in lieu of 35 feet.

Historic District. Zoned: R-1A Parcel ID # 07-22-30-8910-06-010

Background

The property is located on the corner of Howard Drive and Mulbry Drive and was originally built circa 1925.

Description

420 Melrose Avenue is a home that was voluntarily designated historic by the current property owners in September 2018. At this time, the owners have a pending contract to sell the home and the buyer, Grady Cooksey, would like to make additions to the home consistent and compatible to the exterior architectural style. The purchase contract is contingent upon the approval of the plan submitted for review.

420 Melrose Avenue sits on a double lot property of 11,800 sq. ft. (per OCPA) with 100 feet of frontage on Melrose Avenue and 128 feet of frontage on the Richmond Road street side. The existing home is a two-story, 1,783 sf, wood frame, stucco structure that was originally built in 1925.

To the rear (south) of the home is a detached 408 sq. ft. accessory building that has been renovated as a guest quarters for family and visitors. It is located as close as 2 feet away from the adjacent property to the south. Pictures are attached showing the remodeled kitchen, bath, bedroom, etc. Guest quarters in single family zoning are permitted when used just as a dwelling for family and friends, but not as a rental. However, with a historic designation, such properties may request the detached 408 sf dwelling to be used legally as a separate rental unit.

The Buyer proposes to construct a 1,546 sf, two-story addition on the Richmond Road side of the existing home with the same architectural style to match the original home. City Staff agreed that these additions proposed are consistent with the existing exterior and materials of the original home.

These additions and the entire expanded home meet all setbacks, coverage, building height, etc., except for the variance request to locate the garage portion (one-story) at a 10 foot

setback from the property to the south (rear) and the second floor bedroom - 25 feet from the south (rear) property line, in lieu of 25 and 35 feet respectively.

In consideration of the requested variance, the buyer has agreed to demolish and remove the existing detached 408 sq. ft. guest quarters building. This would remove the non-conforming building that is as close as 2 feet from the rear (south) property line and this would also permanently remove the ability to request its' use as a rental unit.

Side versus Rear Setback. Properties that are located on corner lots have more difficulty meeting Zoning Code setbacks than interior lot properties. First, they have two street setbacks (that are typically greater than side or rear setbacks) versus just one street setback for an interior lot. An interior lot has three neighbors (one on each side and one in the rear). A corner lot has two neighbors with one on the side and one is in rear of the property.

This scenario seems to create a situation for property owners that is unfair. In this case, this home must be 25 feet away from the home to the rear (south) as for them it is a rear setback. But the home to the rear (south) can build 10 feet away from this same property line, as that is for them a side setback.

Impact on the home to the south at 1230 Richmond Road (Mr./Mrs. Martin). The neighbor to the south are objecting to the variance requested. They do not want the portion of the proposed home addition (garage) closer than the 25 foot rear setback. Proposed as a 10 foot setback. They do not care about the non-conforming accessory building staying in place that is as close as 2 feet from their property. They are used to seeing it. However, they would be opposed if it were requested to be a rental unit.

Summary

When a property owner voluntarily agrees to a Historic Landmark designation, there is an expectation from them to never demolish the home, even if there are incentives. The City has two incentives to offer. One is a setback relief via variances and the other is the granting of a rental status for accessory guest quarters, especially to an existing structure.

Staff is in support of this application and 10/25 foot rear setback variance:

1. There is a hardship on this corner lot requiring a 25/35 foot rear setback to the exact same property line as the adjacent neighbor is permitted a 10/12 foot side setback.
2. The 10-foot setback proposed is the same as the adjacent property owner entitlement.
3. The applicant is proposing to remove the non-conforming accessory living structure that is as close as 2 feet from the rear (south) property line and would also permanently remove the ability to request its' use as a rental unit.
4. The trade-off places a garage (not living area) 10 feet from the affected neighbor and removes the accessory structure (living area) which provides more quiet, peaceful enjoyment by the adjacent neighbor.

Staff recommendation is for approval.



City of Winter Park
 Planning Department
 Historic Preservation Board
 401 Park Avenue, South
 Winter Park, Florida 32789
 407-599-3323

Certificate of Review Application

1. 420 Melrose Ave
 Building address

Buyer(s) GRADY M. COOKSEY JR. 304 SANCTUARY DR. WP 407-849-9755
 Owner's name(s) Address Telephone

MARK NASRALLAH 3920 Edgewater Dr. Dr. 407-619-3043
 Applicant's name (if different from above) Address Telephone

2. Please indicate the work you propose to undertake:

Minor alteration New construction Addition Demolition Rehabilitation

Variance request (additional information required) Other: _____
10'0" Rear setback in lieu of 25'0"

3. Proposed project narrative: (attach additional page if necessary)
Proposed Addition to Existing Home to include 2 car garage, Master Bdrm Suite 1st Floor, Bedroom @ 2nd Floor

4. The following supplementary information shall be provided as applicable to describe the proposal:

Site plan Floor plan(s) Elevations(s) Photo(s) Survey

Material and product information Setback/Coverage worksheet REQUIRED

Other: _____

5. I, MARK NASRALLAH representative for the buyer as owner of the property described above, do hereby authorize the filing of this application on my behalf.

[Signature]
 Owner's Signature

7/31/2019
 Date

Historic Preservation Commission Office Use	
Date received: _____	HPC Meeting: _____ Case File No _____
Historic name of building (if any) _____	Historic district name (if any) _____
Parcel Identification Number _____	Year built _____
<input type="checkbox"/> historic landmark	<input type="checkbox"/> historic building/structure
<input type="checkbox"/> district contributing element	<input type="checkbox"/> district non-contributing element

Historic Preservation Board
Certificate of Review
Supplemental Application for Variance Request

1. Describe variance request:

TO CONSTRUCT A 1 STORY ATTACHE 2 CAR GARAGE THAT IS PART OF A 2 STORY PROPOSED ADDITION TO BE LOCATED 10'0" FROM THE REAR PROPERTY LINE. THIS REQUEST ALSO INCLUDES THE REMOVAL OF AN EXISTING NON-CONFORMING STRUCTURE THAT IS LOCATED 2'0" FROM THE REAR PROPERTY LINE.

2. What are the special conditions and circumstances peculiar to the land, building(s), and structure(s), involved especially as they are established by the historic character of the afore mentioned?

THIS IS A HISTORIC STRUCTURE AND ALL PROPOSED ADDITIONS ARE DESIGNED TO COMPLIMENT THE EXISTING STRUCTURE. THERE IS CURRENTLY NO COVERED OR ENCLOSED AREA FOR VEHICLES TO PARK. TO PLACE THE PROPOSED 1ST FLOOR 3000'0" GARAGE TO MEET THE 25'0" REAR SETBACK CREATES MASSING THAT DOES NOT COMPLIMENT THE EXISTING ARCHITECTURAL STYLE - ALSO THE LOCATION OF THE EXISTING NON-CONFORMING STRUCTURE ALSO FURTHER COMPLICATES THE LOCATION OF THE PROPOSED GARAGE.

3. Describe the requirements, from the Land Development Code upon which this request is based.

4. Describe how the requested variance may be appropriate to achieve the design review standards for historic preservation.

THE WEST SIDE MASSING OF THE ELEVATION NEED TO CENTER ON THE EXISTING 2 STORY MASS AND BY PLACING THE GARAGE AT THE REQ'D 25'0" SETBACK, IT FALLS OFF CENTER OF THIS MASS -

5. Complete the setback and coverage calculations on the appropriate form and include with this application. ATTACHED.

File this form with your completed Certificate of Review application.

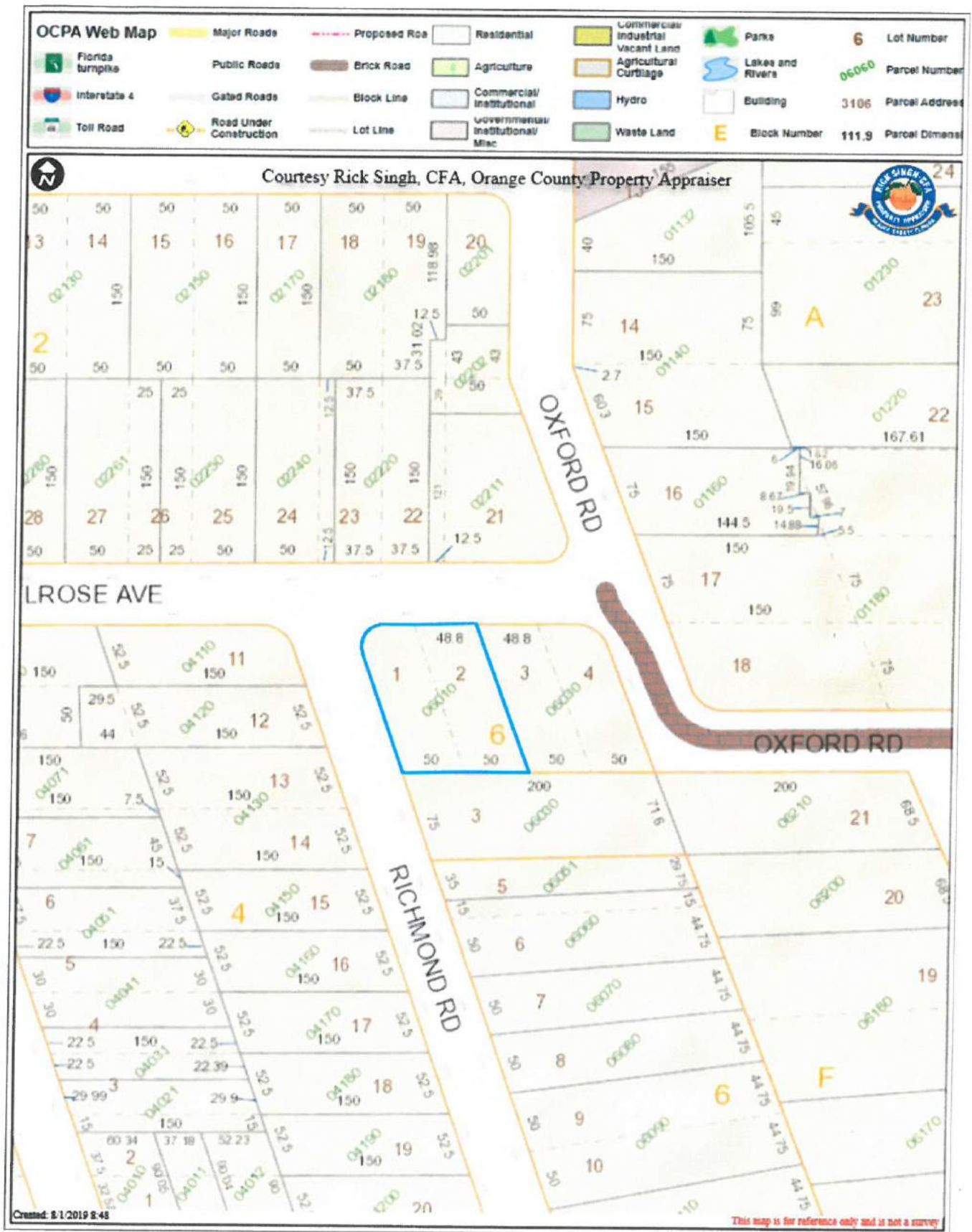
420 MELROSE

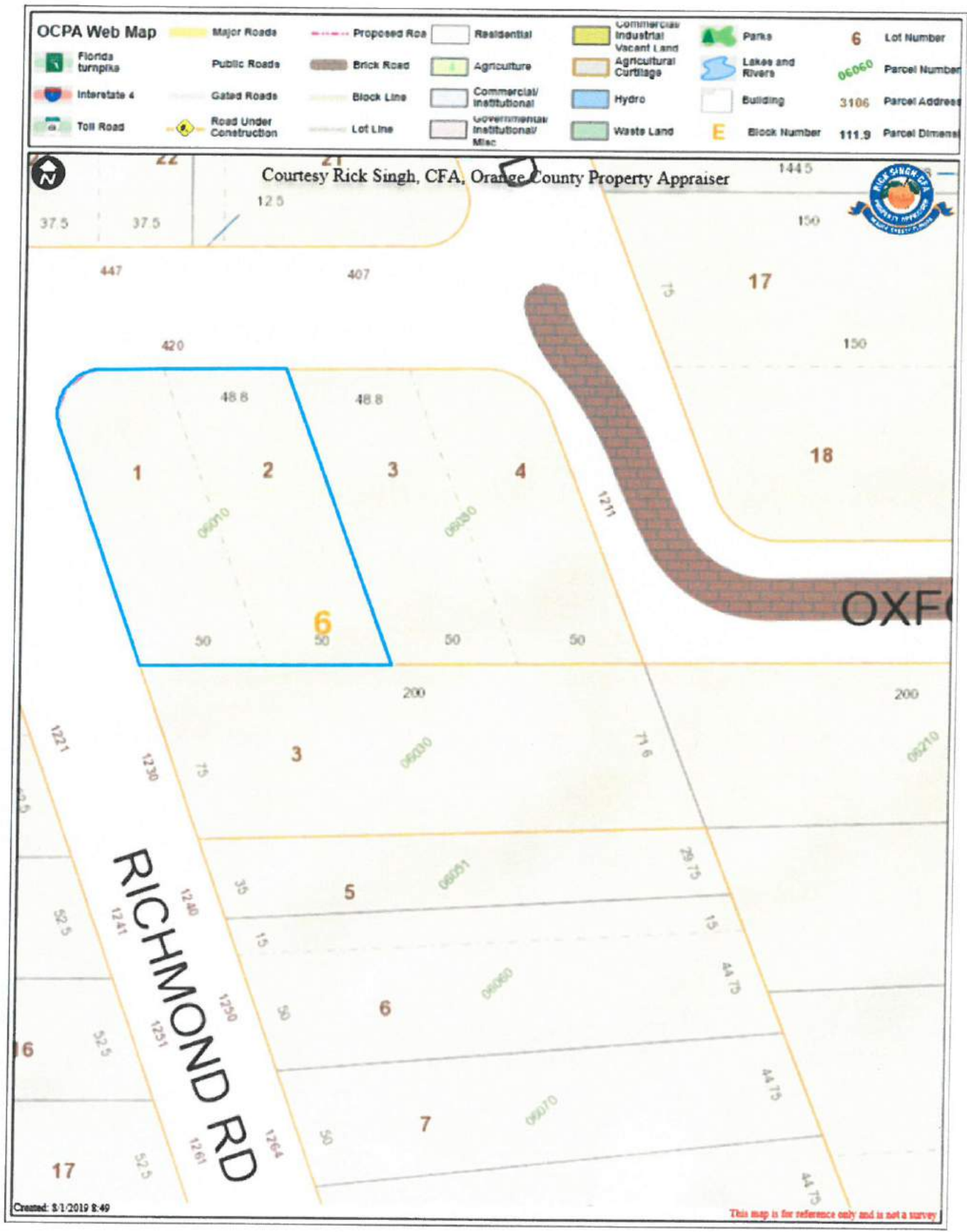
SQUARE FOOTAGE CALCULATIONS

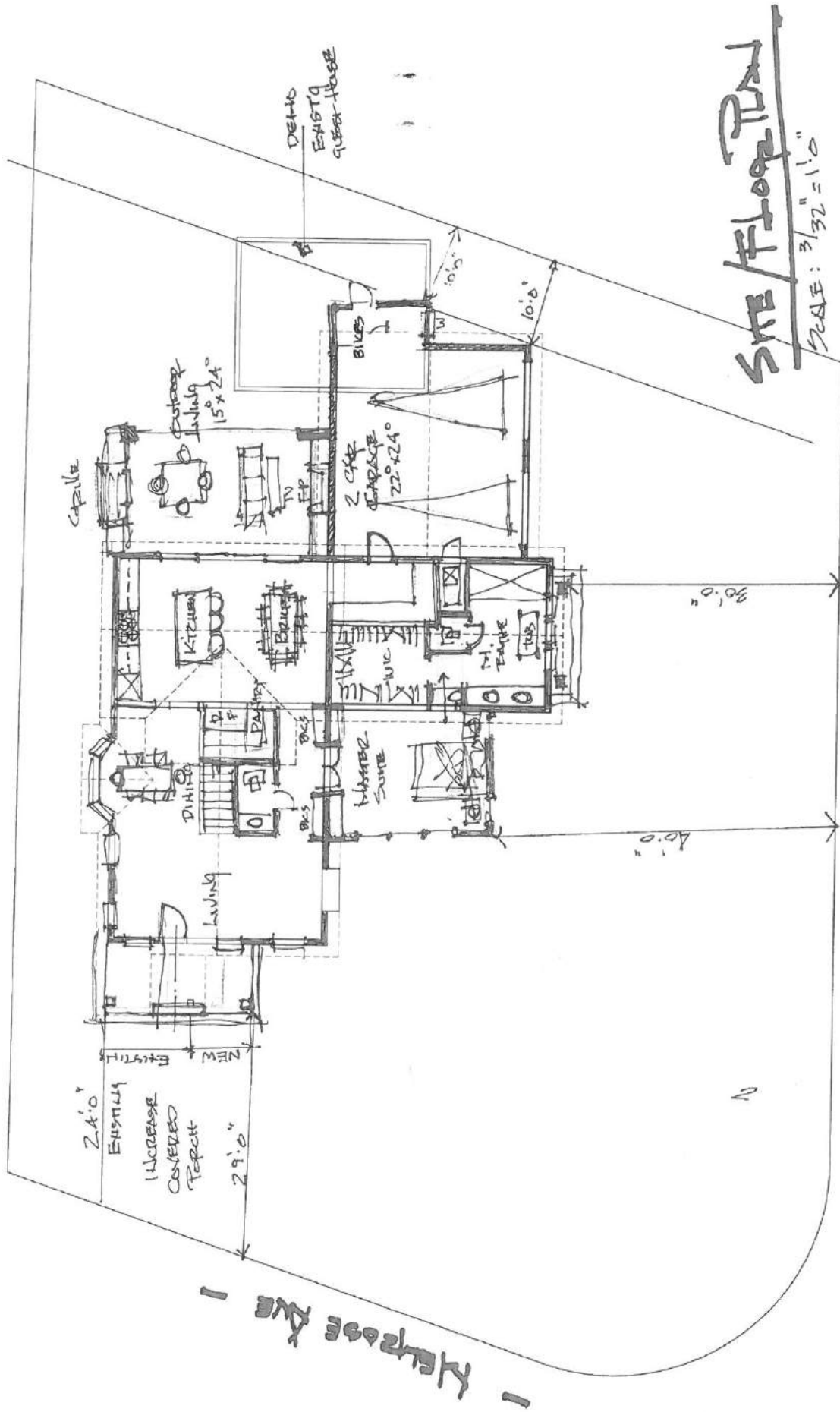
	EXISTING		NEW
FLOOR A/C AREA	1187	S.F.	
FLOOR A/C AREA			862
ND FLOOR AREA	596	S.F.	
ND FLOOR A/C AREA			684
<hr/>			
OR A/C AREA	1783	S.F.	1546
<hr/>			
L FLOOR A/C AREA			3329
RED ENTRY	76	S.F.	25
RED PORCH	312	S.F.	0
GARAGE			616
<hr/>			
A/C SPACE	388	S.F.	641
<hr/>			
L NON A/C SPACE			1029
ING GUEST HOUSE (TBR)	408	S.F.	(0)
E CONSTRUCTED AREA	2171	S.F.	4358

FAR

AREA			11809
FAR = 38% LOT AREA			4500







SITE FLOOR PLAN
 SCALE: 3/32" = 1'-0"

Florence Rd —

1. Increase Area

24'0" EXISTING
 INCREASE COVERED PORCH
 29'0"

CARPENTER
 CUSTOMER LIVING 15' x 24'

2 CAR GARAGE 22' x 24'

BIKES

DEMO EXISTING QUARTER HOUSE

KITCHEN

DINING

LIVING

WATER SUITE

BATH

M. TRAPE

TRUS

N

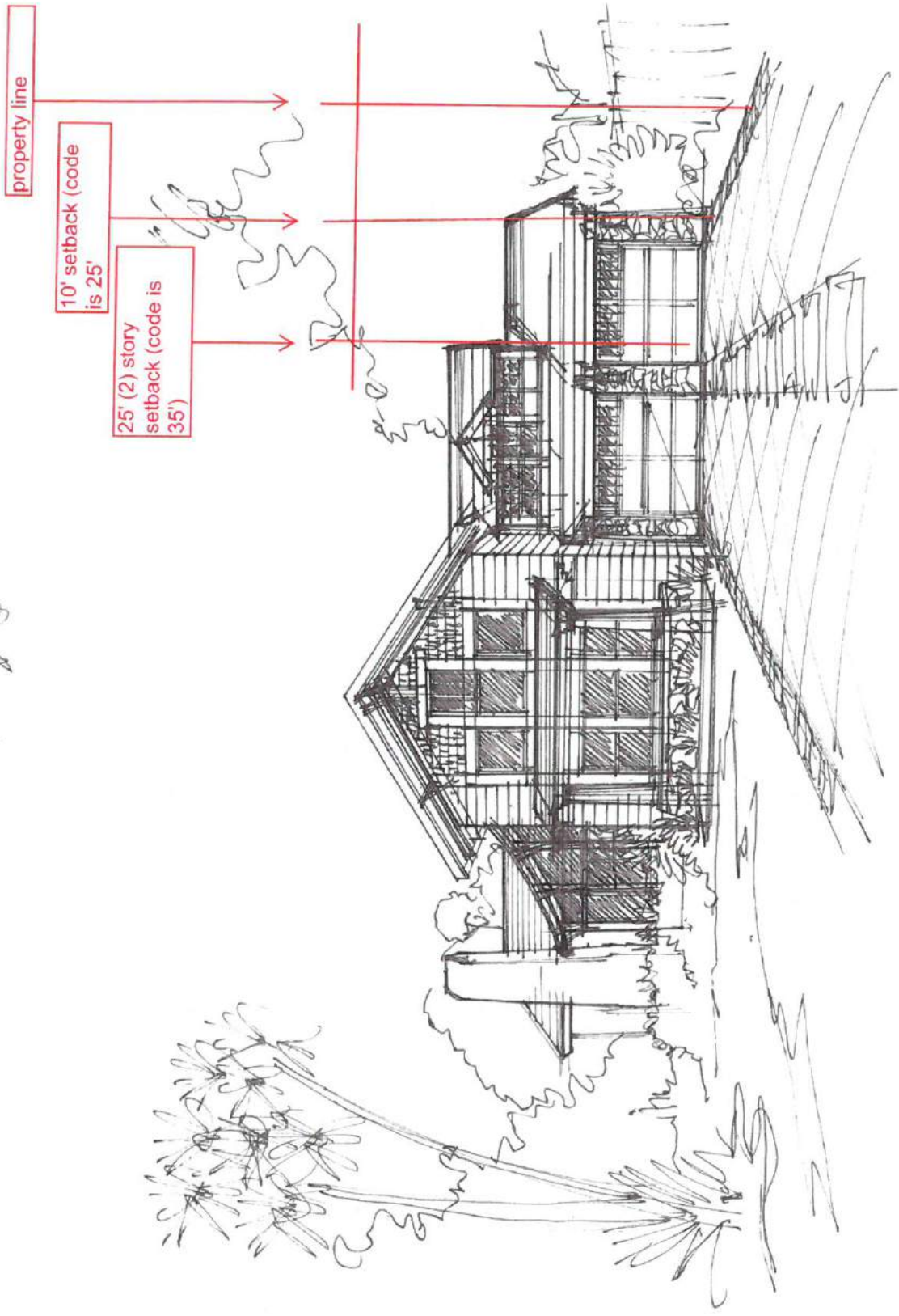
40'0"

30'0"

10'0"

10'0"

66' 0" 10' 0" 2'





KEEP CHIMNEY VISIBLE FROM STREET (S)

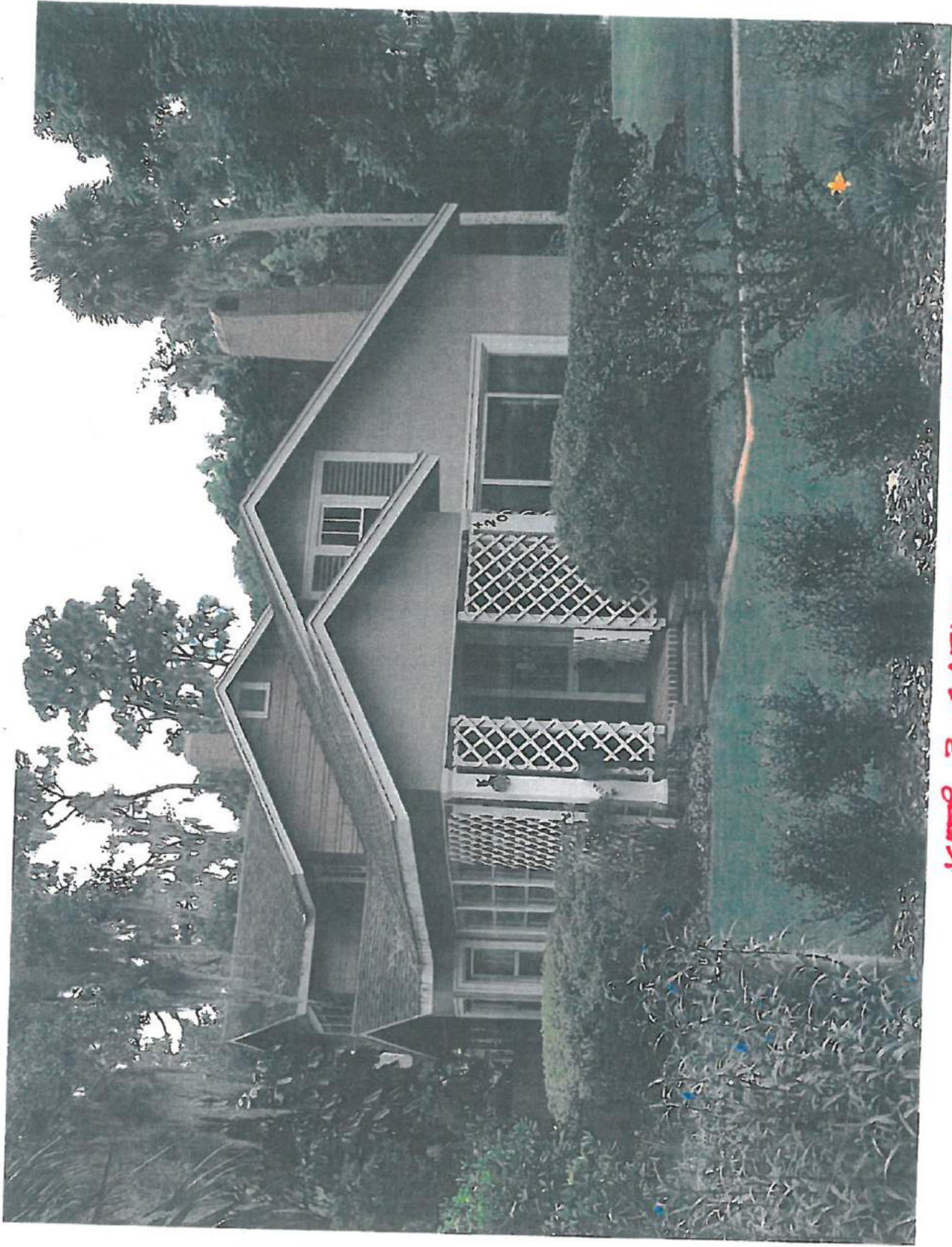
KEEP FRONT GABLE - TO MAINTAIN

MAY EXTEND THIS GABLE & 2ND FLOOR ADDITION.



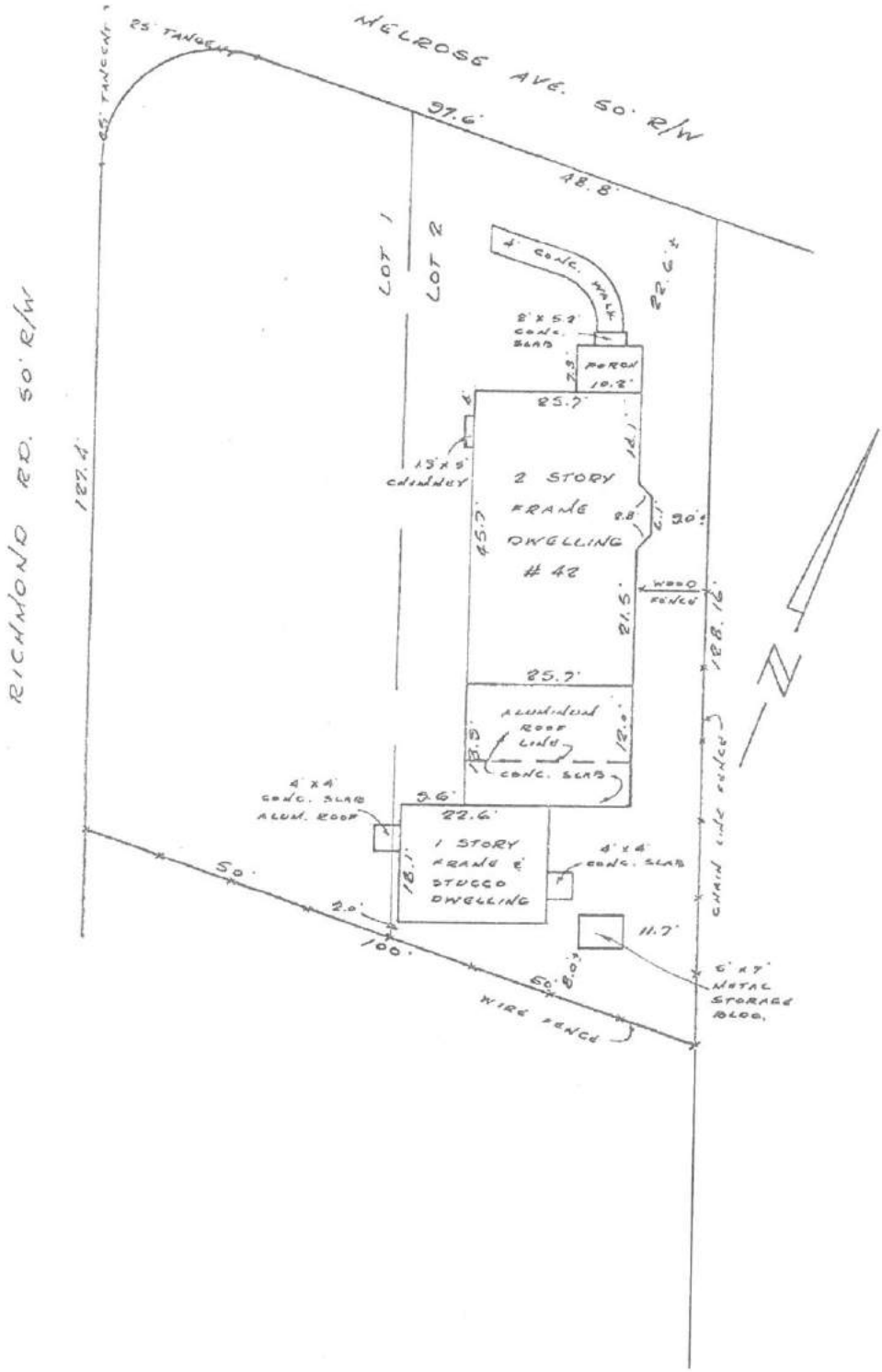
KEEP CHIMNEY

BUILD NEW CONNECTION TO EXISTING OFF 5' BUDG. SUPERSTRATION @ SIDE



KEEP 3 GARAGES + CHIMNEY / STUCCO / 3/4 WOODS.

Legal Description: LOTS 1 & 2 BLK. 6 REPLAT OF A PORTION OF VIRGINIA HEIGHTS
Recorded in Plat Book J Page 28 of the Public Records of ORANGE County, Florida.

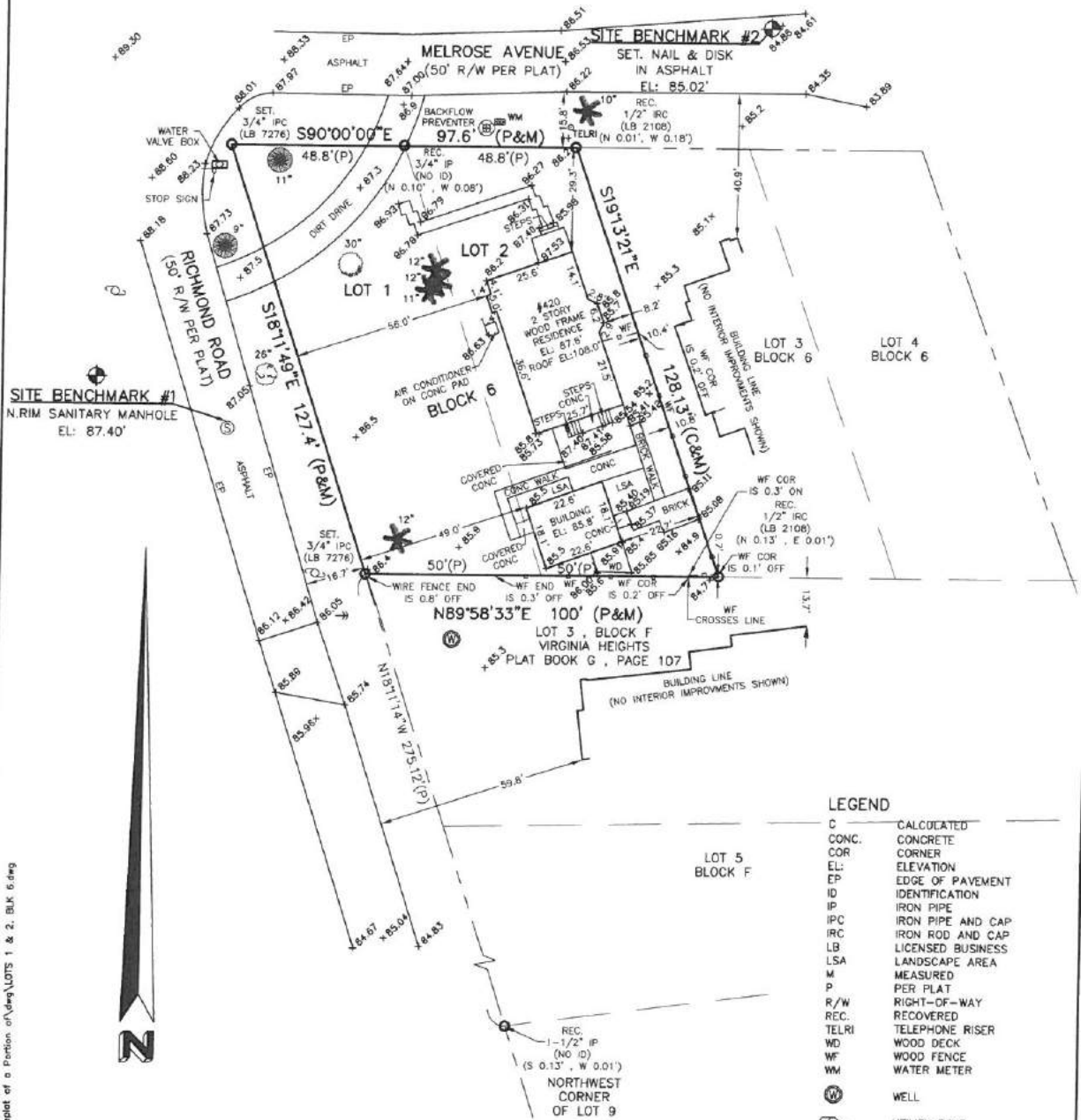


BOUNDARY & TOPOGRAPHIC SURVEY

FOR
NASRALLAH ARCHITECTURAL GROUP

DESCRIPTION:

LOTS 1 AND 2, BLOCK 6, REPLAT OF A PORTION OF VIRGINIA HEIGHTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK "J", PAGE 28, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.



LEGEND	
C	CALCULATED
CONC.	CONCRETE
COR	CORNER
EL	ELEVATION
EP	EDGE OF PAVEMENT
ID	IDENTIFICATION
IP	IRON PIPE
IPC	IRON PIPE AND CAP
IRC	IRON ROD AND CAP
LB	LICENSED BUSINESS
LSA	LANDSCAPE AREA
M	MEASURED
P	PER PLAT
R/W	RIGHT-OF-WAY
REC.	RECOVERED
TELRI	TELEPHONE RISER
WD	WOOD DECK
WF	WOOD FENCE
WM	WATER METER
⊕	WELL
⊙	UTILITY POLE
⊙	SPOT ELEVATION
⊙	CAMPFORS
⊙	OAK
✱	PALM
⊙	PLUM

SURVEYOR'S NOTES:

1. The lands as shown hereon lie within Section 07, Township 22 S., Range 30 E., Orange County, Florida.
2. This survey represents a survey made on the ground under the supervision of the signing surveyor, unless otherwise noted.
3. Underground improvements or underground foundations have not been located except as noted.
4. This survey does not reflect or determine ownership.
5. All easements of which the surveyor has knowledge of, or has been furnished, have been noted on this map.
6. No title data has been provided to this surveyor unless otherwise noted.
7. Bearings shown hereon are assumed relative to the north line of Lot 1; said bearing being S90°00'00"E (assumed).
8. According to the Federal Insurance Rate Map, this property lies in Zone "X", Community Panel number 12095C0255 F, Dated: 9/25/2009.
9. Elevations shown hereon are based on Orange County benchmarks relative to NAVD 88.
10. No bearings are shown on the plat.

\\SERVER\Projects\Virginia Heights, Replat of a Portion of Virginia Heights, Lots 1 & 2, BLK 6.dwg

REVISIONS	
Rev. _____	Date: _____
Rev. _____	Date: _____
Rev. _____	Date: _____
Rev. _____	Date: _____

HLSM, LLC
Henrich-Luke-Swaggerty-Menard
Professional Surveyors & Mappers
Licensed Business No. 7275
302 Live Oaks Boulevard
Casselberry, Florida 32707
P. (407) 647-7346
F. (407) 982-7166
Survey@HLSM.US

Job No: J-494
Field Date: 7/10/19
Drawn By: JJR
Field By: WKP/GR/RW
Scale: 1"=30'

THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

William F. Menard
Professional Surveyor & Mapper
Florida Registration #5625



See t
Comr

Situated on an oversized beautiful corner lot in the heart of Olde Winter Park, this 1920s home with historical designation, boasts character and charm. Located in the highly desirable Virginia Heights with deeded access to Lake Virginia and walking distance to Park Avenue. The two-story home has a downstairs master bedroom and separate bath with a second downstairs bedroom being used as an office/den. Two additional bedrooms and bath upstairs. Separate formal dining room just off of the oversized family room with a wood-burning fireplace. The eat-in kitchen overlooks a beautiful and tranquil courtyard that leads the way to a separate guest cottage, which is not included in the square footage and features a full bath. Newer A/C and [Read More](#)



Pending

For Sale

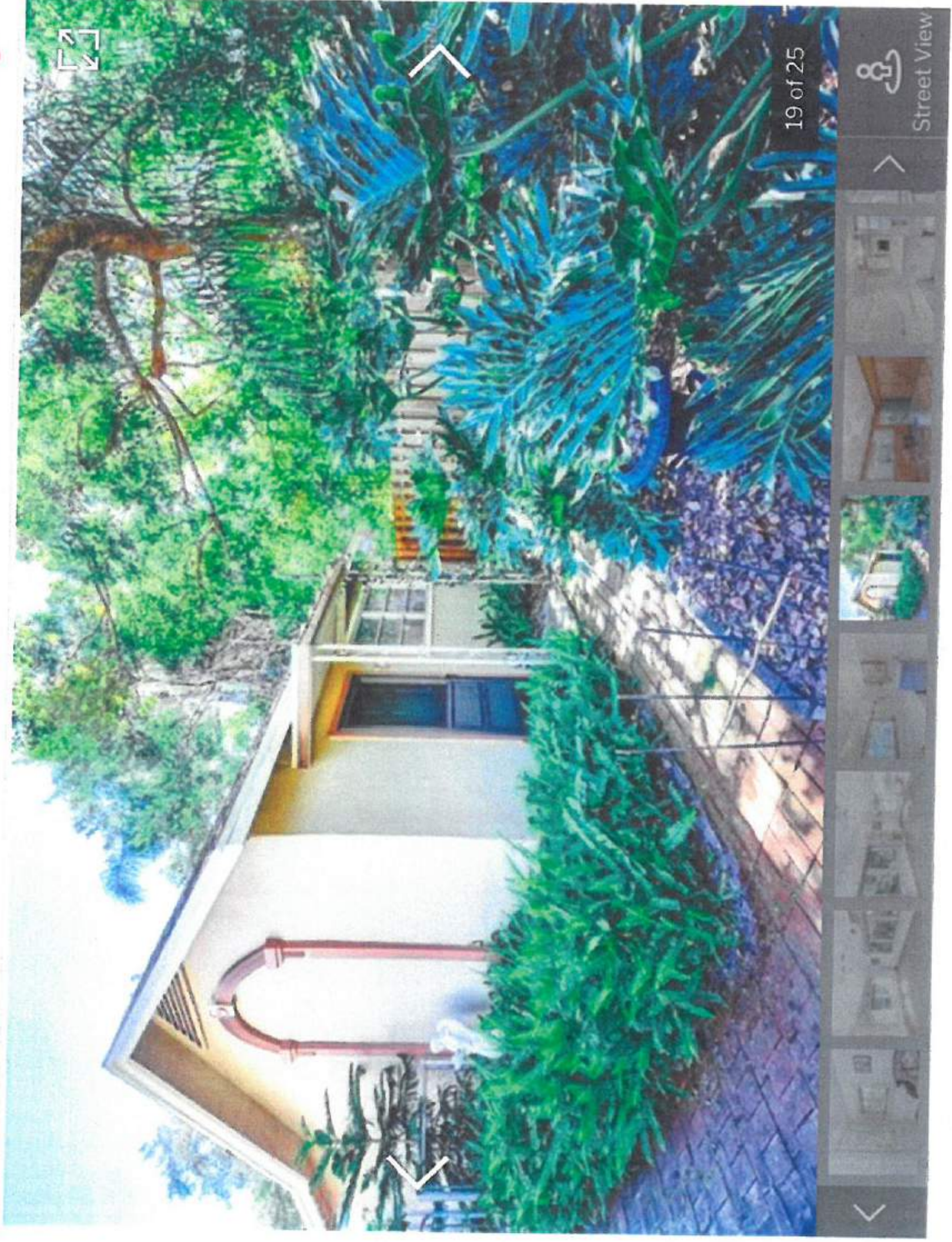
VR Tour

23 / 25



20 of 25

Navigation bar with icons for back, home, search, and street view, along with a 'Street View' label.



Sale Pending

The seller has accepted the offer. The property is now pending sale.

Situated on an oversized beautiful corner lot in the heart of Olde Winter Park, this 1920s home with historical designation, boasts character and charm. Located in the highly desirable Virginia Heights with deeded access to Lake Virginia and walking distance to



Situated on an oversized beautiful corner lot in the heart of Olde Winter Park, this 1920s home with historical designation, boasts character and charm. Located in the highly



21 of 25

Street View