



**CITY OF WINTER PARK
HISTORIC PRESERVATION BOARD**

**Staff Report
November 9, 2016**

HDA 16-009 Request by Kristi Miller-Fulmer, Owner to designate her property at 1124 Azalea Lane, Winter Park, Florida as a historic resource on the Winter Park Register of Historic Places. Zoned R-3 Parcel ID #07-22-30-1292-01-160

Background. 1124 Azalea Lane has been owned by Ms. Miller-Fulmer for several years. It was built in 1925 and is one of the few single family homes still remaining on Azalea Lane and in that part of Winter Park. It bears many of the Frame Vernacular Bungalow characteristics seen in nearby College Quarter Historic District.

Kristi and her Husband Mitt Fulmer plan to renovate the existing home and add a new Carriage House in the rear. They want to bring back the original character of the existing home and upgrade the exterior (see Staff Report for their COR). This will become their primary home in the future. Mr. Fulmer is a General Contractor now working in Santa Rosa Beach in North Florida and is well-versed in creating traditional Florida Architecture. Both Mitt and Kristi graduated from Winter Park High School and look forward to returning their family to Winter Park.

Description. The property is located at the corner of Azalea Lane and Melrose Avenue in the Florida Land Boom subdivision of Cherokee which was platted in the 1920's.

Built about 1925, 1124 Azalea Lane is a wood frame, one-story residence. The plan is a simple rectangle and the roofline is cross-gabled and low pitched. The roof has composition shingles. The exterior walls are clad in horizontal wood siding and have corner boards. Fenestration consists of wood sash windows singly and in pairs with a three-over-one glazing pattern. The secondary front-gabled façade faces Azalea Lane. This façade features what appears to be a later infill of a porch with a single front door and appropriate three-over-one wood windows on either side. A louvered attic vent is seen in the front gable peak. Louvered attic vents in this same style are repeated in each elevation's gable end. A side-gabled wing projects from the south side. Another gabled wing extends off the rear elevation.

There is a newly built wood deck at the rear of the house with a low-pitched shed roof over a rear room. There is a brick chimney on the north side of the house. We have not been able to enter the house as yet. There is no garage or on-site parking now existing on this property.

Architecture. The simplicity of details classify the architecture as Frame Vernacular. This has been the predominant type of wood frame architecture from Florida's Territorial Period to the present. Vernacular building traditions result from the builder's experience, available resources and responses to the local environment. After 1910 platform framing was introduced. With this method, each floor was constructed separately and was both simpler and more rigid than the balloon framing system it replaced.

Horizontal wood siding was the most typical common with shingles and board and batten less common. Windows are double sash and the size of the panes generally increased over the years. Details were simple and would have included jig-sawn woodwork on porches and eaves, depending on the builder's skills.

Winter Park builders had access to locally milled lumber including old growth cypress and pine. The railroad also supplied building materials. Land Boom era contractors had access to architectural pattern books so builders had both inspiration and materials to add stylish details to simple buildings such as the paired three-over-one windows and well-crafted cornices.

Significance. 1574 Sunset Drive is significant for its association with the Florida Land Boom period of development in Winter Park. It is a good example of a wood bungalow with Frame Vernacular influences in Winter Park. Its scale and character are to be cherished in this neighborhood of multi-family homes and condominiums. A reminder of what was!

STAFF RECOMMENDATION:

Recommend approval for listing as a historic resource on the Winter Park Register of Historic Places.



**CITY OF WINTER PARK
HISTORIC PRESERVATION BOARD**

**Staff Report
November 9, 2016**

COR 16-011 Request by Kristi and Mitt Fulmer for a Certificate of Review to renovate the existing single family home at 1124 Azalea Lane, Winter Park and add a new open Front Porch and Carriage House at the rear of the property.

Variances are requested to add a new Carriage House/Garage on the rear of the 5,579 sf (50' x 11.58') property, requiring a 5' rear and side set-back variances. Zoned R-3. Parcel ID. #07-22-30-1292-01-160.

Description. Built about 1925, 1124 Azalea Lane was designed in the Frame Vernacular style. Please see the Staff Report for the Historic Designation for a full description of this existing one-story wood frame Bungalow.

The Owners would like to add a new open Front Porch to recall the one that was at the front of the original home. They would also like to construct a new two story Carriage House with a one car garage at the rear of the property.

Certificate of Review Request. This is a request in association with the Owners' Historic Designation Application. They would like to do the following:

1. **Renovate** the Exterior Siding and Windows- see their written narrative attachment to this COR. No variance required.
2. Add a **new Front Porch** on the Azalea Lane front of existing home. R-3 front setback is 25'. An open Front Porch is allowed to encroach into this front setback by 7'- please see attached Site Plan with my redline notes and dimensions. No variance is required.
3. Add a **new Carriage House/Single Car Garage** at the rear of the property. A variance for a 5' rear and side setback is requested to allow maximization of the open space between the existing home and the new Carriage House. R-3 requires a 10' side and rear setback.
4. **Parking-** R-3 requires two (2) parking spaces for each unit. Although this will be a single family home (requiring only two (2) spaces), it may be required for this property to have up to four (4) parking spaces, if it is seen as two units. One is within the Garage with a second in the driveway leading to the Garage. The attached Site Plan show a third and fourth space beside the driveway to the Garage. There is a large oak tree that may preclude the fourth parking space.

There is now NO on-site parking. The house relies now on the angled public parking along the opposite side of Azalea Lane, adjacent to the Tennis Courts.

RECOMMENDATION: Staff recommends approval with the following conditions:

1. **Approval of the proposed Renovation** to the Exterior of the home. Discussion of the proposed Design shall take place with the City Architect and Final Design Drawings shall be submitted for Building Permit. A certified Survey, showing critical oak trees and spot elevations of the property is to be done and submitted to the City for confirmation of the redline approximations that are shown on the attached Site Plan.
2. **Approval of the new Front Porch** to the front of the existing home, with same discussion of design, prior to the Final Design being completed and submitted for permit.
3. **Approval of the new Carriage House/Garage and Variances for the 5' setback on the rear and side yard**, with the same discussion of design, prior to the Final Design being completed and submitted for permit. R-3 requires side and rear yard setbacks of 10'.
4. **Approval of On-site Parking for up to four (4) cars at a minimum distance of twenty feet (20') from property line.** This is in keeping with other homes and duplexes along Azalea Lane. Twenty five feet (25') from top of curb (minimum) would be preferred to make sure the rear of a parked car on-site is safely out of the traffic along Melrose Avenue. Also the parking for Mead Gardens Condominiums shows a similar 25' depth from the curb.
5. **R-3 Maximum Building Coverage** is 35% of the 5,579 sf of site area, or some 1,952.65 sf. The preliminary plans show some 1,923.5 sf of building footprint at this time. As the design is finalized, this 35% figure may be eclipsed. I propose to grant the Owners a larger percentage in case this occurs. R-3 also allows for an FAR (Floor Area Ratio) of 75% for two stories or less. This figure thus allows for some 4,184.25 sf of FAR. Perhaps this figure could be used as a concurrent limit on the size of the existing and new-build square footage. The Staff proposes to approve a 40% Maximum Building Coverage at this time. The HPB may wish to discuss the matter.
6. **Building Height-** the Comprehensive Plan limits development in the R-3 zoning district to a maximum of two stories in this location (a qualified 30'). The Owner is submitting the new two story Carriage House to be the same height as the existing home.

END.



PLANNING DEPARTMENT

City of Winter Park
Planning Department
401 Park Avenue, South
Winter Park, Florida 32789
407-599-3498

City of Winter Park Historic Designation Application

1. 1124 Azalea Lane, Winter Park, FL 32789
Building address
Kristi Miller-Fulmer P.O. Box 2412 Santa Rosa Beach, FL 32459 ⁽⁸⁵⁰⁾
Owner's name(s) Address Telephone 543-1225

Applicant's name (if different from above) Address Telephone

2. I, Kristi Miller-Fulmer, as owner of the property described above, do hereby authorize the filing of this application for historic designation for that property.

Kristi Miller-Fulmer 10/13/16
Owner's Signature Date

Historic Preservation Board Office Use

Criteria for Designation

- A. Association with events that have made a significant contribution to the broad patterns of history including the local pattern of development; or
- B. Association with the lives of a person or persons significant in our past; or that
- C. Embodies the distinctive characteristics of a type, period, or method of construction or that represents the work of a master, or that possesses high artistic values or that represents a significant and distinguishable entity whose components may lack individual distinction; or
- D. Has yielded or are likely to yield information important in prehistory or history.

PARCEL 10# 07.22.30.1292.01.160 1925
Legal description Year built

NEAR COLLEGE QUARTERS DISTRICT
Historic name of building (if any) Historic district name (if any)

Date received: 14 OCT 2016 HPC Meeting: 9 NOV 2016

Case File No.: HDA 16-009 Florida Master Site File No.: OR

Local Historic Landmark

Local Historic Resource



PLANNING DEPARTMENT

City of Winter Park
Planning Department
Historic Preservation Board
401 Park Avenue, South
Winter Park, Florida 32789
407-599-3498

Certificate of Review Application

1. 1124 Azalea Lane, Winter Park, FL 32789
Building address

Kristi Miller-Fulmer P.O. Box 2412, Santa Rosa Beach, FL
Owner's name(s) Address Telephone

(850)543-1225

Applicant's name (if different from above) Address Telephone

2. Please indicate the work your propose to undertake:

- Minor alteration New construction Addition Demolition Rehabilitation
Variance request (additional information required) Other:

3. Proposed project narrative: (attach additional page if necessary)

See Attachment "A"

4. The following supplementary information shall be provided as applicable to describe the proposal:

- Site plan Floor plan(s) Elevations(s) Photo(s) Survey
Material and product information Setback/Coverage worksheet REQUIRED

Other:

5. I, Kristi Miller-Fulmer as owner of the property described above, do hereby authorize the filing of this application on my behalf.

Kristi Fulmer
Owner's Signature Date 10/27/16

Historic Preservation Commission Office Use

Date received: 14 OCT 16 HPC Meeting: 9 NOV 16 Case File No. COR 16-011

NEAR COLLEGE QUARTER

Historic name of building (if any)

Historic district name (if any)

OR. 22. 30. 1292. 01. 160

1925

Parcel Identification Number

Year built

historic landmark X historic building/structure

district contributing element district non-contributing element

**Historic Preservation Board
Certificate of Review
Supplemental Application for Variance Request**

1. Describe variance request:

- A. Minor Alteration to front of house for Sun parlor and front porch (front setback 16'6")
- B. New Construction of Carriage House (side setback 5 ft ; front setback 12'8" from street to building 20 ft +/-)

2. What are the special conditions and circumstances peculiar to the land, building(s), and structure(s), involved especially as they are established by the historic character of the afore mentioned?

See Attachment "B"

3. Describe the requirements, from the Land Development Code upon which this request is based.

R-3 Zoning Regulation and Ordinance
No. 3024-15 Historic Preservation

4. Describe how the requested variance may be appropriate to achieve the design review standards for historic preservation.

The architectural features of a front porch and carriage house is commensurate to a house of the 1920's and this house originally had a front porch and a carriage house/barn on the lot next

5. Complete the setback and coverage calculations on the appropriate form and include *door* with this application.

Front: setback 12'8" (additional 8 ft city easement)
20'8" off street curb

Side/rear: setback 5'0"

Setback between house and carriage house

File this form with your completed Certificate of Review application.

20 ft and 22 ft 6 in.

Attachment "A":

Certificate of Review Application for 1124 Azalea Lane, Winter Park, 32789

Item 3 – Project Narrative

- A. Rehabilitation:** We are proposing 2 options to the existing house exterior:
 - 1.** Re-strip existing paint and sand surface of siding, fascia & soffit. Replace rotted wood as needed and re-paint structure.
 - 2.** Remove all trim at doors, windows and corners with new hardie trim board, repair all existing and rotted siding and install new hardie siding over existing siding. Exterior exposed soffit add new Azek breadboard over existing wood. Fascia boards re-paint or wrap with aluminum pre-finish color.

- B. Minor alteration:** We are proposing to add a Florida room (sun parlor) extending 7 feet out from existing front of house with a covered front porch. This would take the house back to the early 1900's which had covered porches and sun parlors. These features would give the house architectural character of its time and take the existing house to its original condition when it had a front porch. This alteration to the front of the house will give the front property a setback line of 16 feet 6 inches to the new front structure. See attached photos of the look and appearance we are trying to achieve with a gable end and a covered front porch.

- C. New Construction:** We are proposing to build a carriage house over a garage with a guest quarter above which will face Melrose Street. We will build structure to compliment the time of the existing house built in the 1920's. We propose to put exterior brick feature on the first floor of carriage house facing Melrose Street with the sides of the building having five foot brick skirt. The second floor will have hardie siding with hardie trim board skirt. The gable ends of the house will have shingle shake siding. We are proposing to put 5V galv. Aluminum metal roof or match existing shingles on existing house. See attached elevation drawing.

Attachment "B":

Over the years, this home lost some of its yard due to the widening of the streets on Azalea Lane and Melrose Avenue. An old man that lived down the street off Azalea Lane and Minnesota Avenue, introduced himself to me and said that he used to play with the children of the original owner of this house. He said the original owner built the house himself and he also had a carriage house/barn on the lot next door, which is now two adjacent 3 story townhomes. He said back then it was a dirt road and this was the only house on the street at the time he built it.

We are proposing to add a front porch to give the house back its original porch of the 1920's and to build a carriage house which the original owner had and most houses in the 1920's had during this period. When I bought the house, it had its front porch enclosed from the original design of the home.



CITY OF WINTER PARK
401 Park Avenue, South
Winter Park, Florida 32789

NOTICE is hereby given that a public hearing will be held by the **Historic Preservation Board** of the City of Winter Park, Florida on Wednesday, October 12, 2016 at 9:00 a.m. in the Commission Chambers, 401 Park Avenue, South, Winter Park, Florida, to consider the following **PUBLIC HEARINGS:**

HDA 16-009 Request by Kristi Miller-Fulmer (Owner) and Mitt Fulmer to designate her home at 1124 Azalea Lane, Winter Park, Florida 32789, as a historic resource on the Winter Park Registry of Historic Places.

Actual Year Built: 1925

Zoned: R-3 Parcel ID. #07-22-30-1292-01-160

COR 16-011 Request by Kristi Miller-Fulmer (Owner) and Mitt Fulmer, for a Certificate of Review to:

- 1. Renovate the Exterior Siding and Windows**
- 2. Add a Front Porch, on Azalea Lane side of existing home**
- 3. Add a Garage Apartment behind the existing home, entering from Melrose Avenue, at rear of property**

at 1124 Azalea Lane, Winter Park, Florida 32789, as a contributing historic resource within Winter Park.

Actual Year Built: 1925

Zoned: R-3 Parcel ID. #07-22-30-1292-01-160

COR 16-012 Request by Holt Properties, LLC (1000 Holt Avenue, Winter Park, FL) to demolish the existing house at 363 Holt Avenue and build a new Single Family Residence with detached Garage in a style consistent with the College Quarter Historic District in which it is located.

Zoned: R-2 Parcel ID. #07-22-30-2044-00-060

All interested parties are invited to attend and be heard. Additional information is available by calling 407-599-3323 or visiting the Planning Department located on the 2nd floor in City Hall at 401 Park Avenue South so that citizens may acquaint themselves with the issue and receive answers to any questions they may have prior to the meeting.

NOTE: If a person decides to appeal any decision made by the Commission with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. (F.S. 286.0105)

Persons with disabilities needing assistance to participate in any of these proceedings should contact the Planning Department at 407-599-3324 at least 48 hours in advance of the meeting.

/s/: Cynthia S. Bonham, MMC, City Clerk

 **RICK SINGH, CFA - ORANGE COUNTY PROPERTY APPRAISER**

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1124 Azalea Ln < 07-22-30-1292-01-160 >

Name(s)	Physical Street Address
Miller Kristi A	1124 Azalea Ln
Mailing Address On File	Postal City and Zipcode
1124 Azalea Ln	Winter Park, FL 32789
Winter Park, FL 32789-5653	Property Use
Incorrect Mailing Address?	0100 - Single Family
	Municipality
	Winter Park



- [Values, Exemptions and Taxes](#)
- [Property Features](#)
- [Sales Analysis](#)
- [Location Info](#)
- [Market Stats](#)
- [Update Information](#)

Property Description

CHEROKEE PARK L/137 LOT 16 BLK A

[View Plat](#)


Total Land Area 5,579 sqft (+/-) | 0.13 acres (+/-) [GIS Calculated](#) [Notice](#)

Land

Land Use Code	Zoning	Land Units	Unit Price	Land Value	Class Unit Price	Class Value
0100 - Single Family	R-3	1 LOT(S)	working...	working...	working...	working...

Page 1 of 1 (1 total records)

Buildings

Important Information		Structure	
 Model Code:	01 - Single Fam Residence	Actual Year Built:	1925
Type Code:	0103 - Single Fam Class III	Beds:	2
Building Value:	working...	Baths:	2.0
Estimated New Cost:	working...	Floors:	1
		Gross Area:	1338 sqft
		Living Area:	1338 sqft
		Exterior Wall:	Board & Batten Above Average
		Interior Wall:	Drywall

Page 1 of 1 (1 total records)

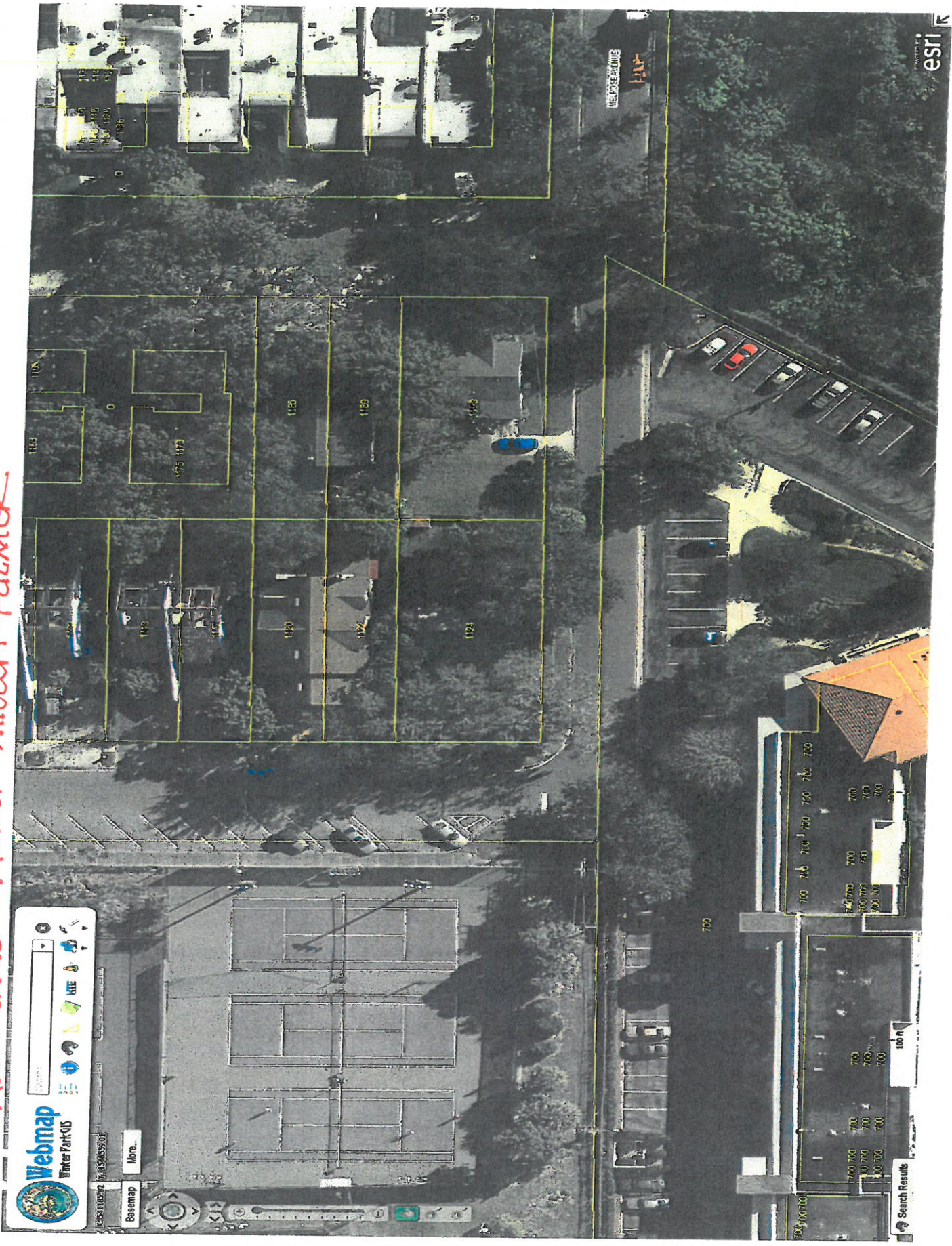
Extra Features

Description	Date Built	Units	XFOB Value
FPL1 - Basic Fireplace	03/14/1994	1 Unit(s)	working...
PT2 - Patio 2	01/01/2006	1 Unit(s)	working...

Page 1 of 1 (2 total records)

This Data Printed on 10/13/2016 and System Data Last Refreshed on 10/12/2016

1124 ASAUBA LAKE : KRISTEN MILLER - FULMER



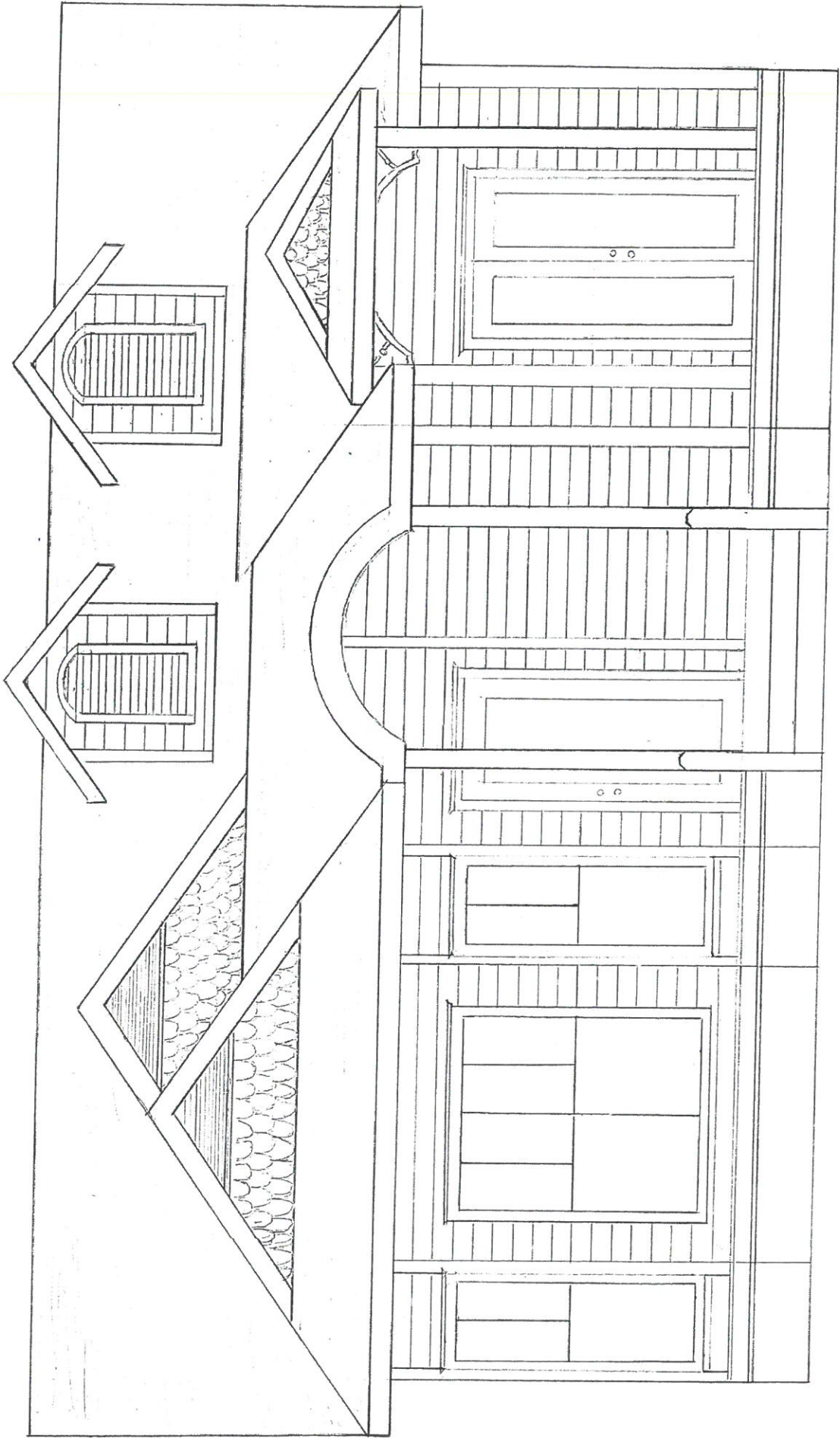




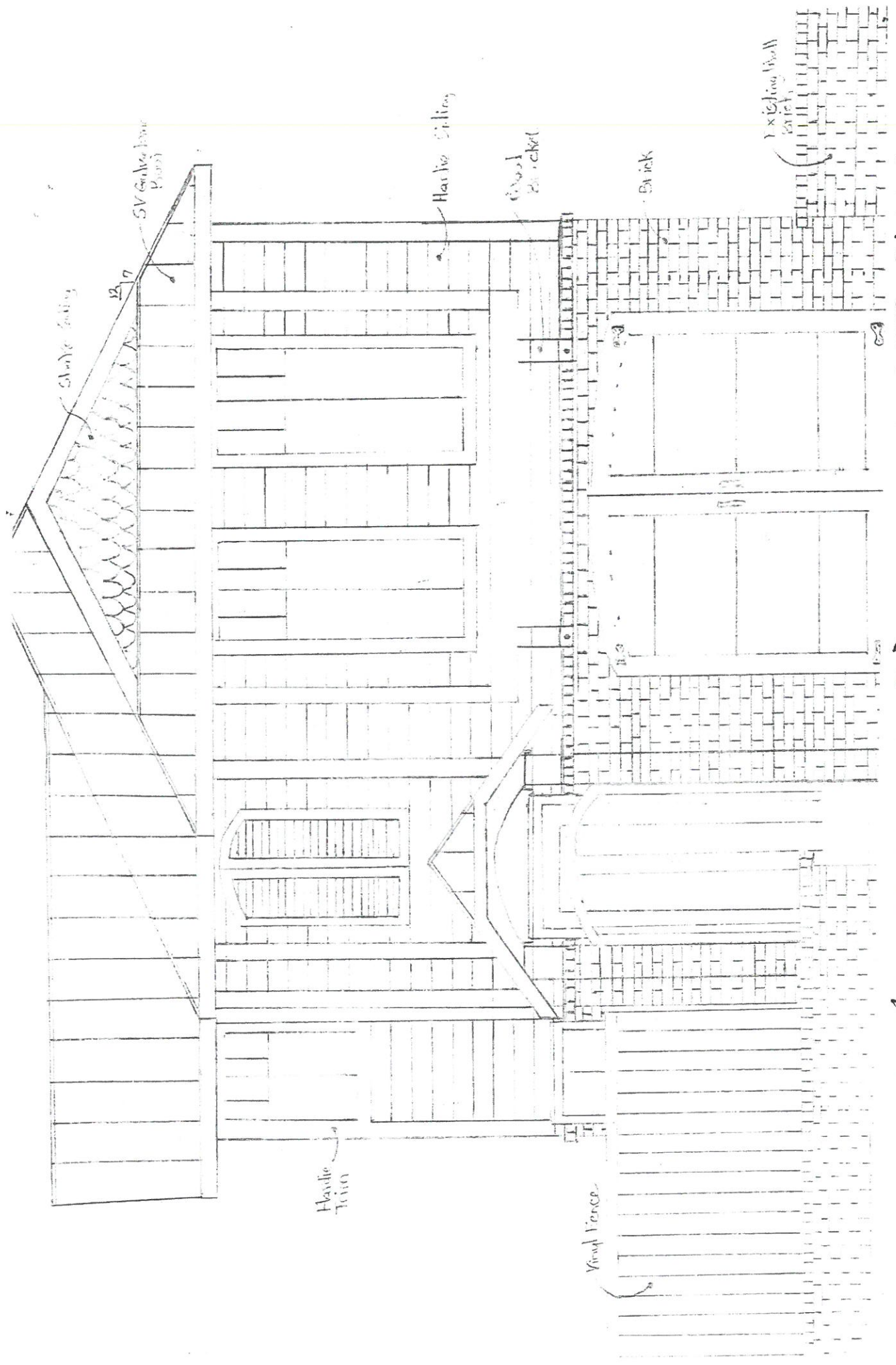






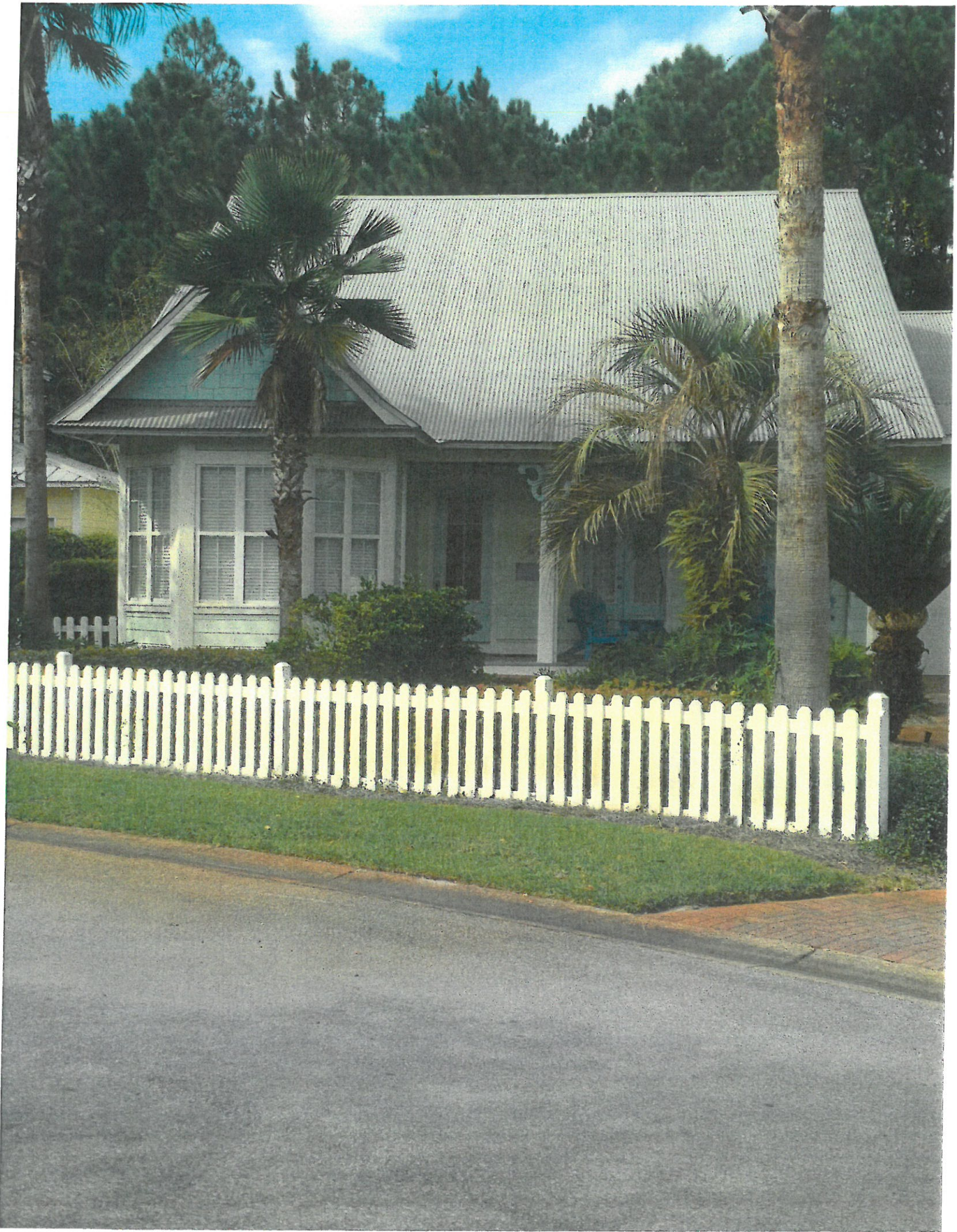


FRONT (AZALEA LANE) ELEVATION NTS.



SIDE (MELROSE AVE.) GARAGE APT. ELEV. NTS.





Sec. 58-68. Medium density multiple-family residential (R-3) district.

(a) *Purpose and intent.* This district provides areas within the city for medium-density residential developments. Residential development shall be limited in height and ground coverage to encourage medium-density multifamily structures, as well as duplex and single-family residences. The regulations of this district are so designed to stabilize, protect and provide the essential characteristics of a suitable residential environment.

(b) *Permitted uses.*

- (1) Single-family residences per the development standards of the R-2 district or as outlined in this section.
- (2) Duplexes per the development standards of the R-2 district or as outlined in this section.
- (3) Multiple-family residences per the development standards of cluster housing within the R-2 district or as outlined in the section.

(c) *Conditional uses.* The following uses may be permitted after review by the planning and zoning commission and approval by the city commission in accordance with the provisions of this article. See section 58-90, conditional uses.

- (1) Any conditional use permitted in the R-1AA district and R-1A district;
- (2) Kindergartens, day nurseries and other child or adult day care facilities;
- (3) Adult congregate living facilities;
- (4) Nursing homes, retirement homes or villages, assisted living facilities for retirees, provided such building(s) are located at least 50 feet from any other residential property;
- (5) Residential complexes which are developed and operated by the Winter Park Housing Authority, or by nonprofit 501(c) corporations providing affordable housing and receiving financial support for affordable or workforce housing from agencies

of the federal, state or city government. For such projects the following minimum requirements are met:

- a. The density shall not exceed one unit per 1,000 square feet of ground area;
 - b. Parking spaces provided shall not be less than one space per residential unit;
 - c. No minimum apartment size shall be required; however, the average size of all the residential units shall not be less than 500 square feet in floor area;
 - d. The site on which the complex is to be located shall be served by public utilities and streets capable of accommodating the increased residential densities permitted by this section;
 - e. The property owner enters into a formal agreement with the city to pay all taxes and fees required by the city or enters into contractual agreement for a payment in lieu of taxes to the city, whichever shall apply because of ownership.
- (6) Tennis courts;
 - (7) Buildings over 10,000 square feet or any addition over 500 square feet to an existing building over 10,000 square feet or additions over 500 square feet to existing buildings that result in a building over 10,000 square feet in size, but not including detached accessory buildings such as garages, carports, storage buildings, etc.
 - (8) Buildings with a third floor within the central business district, which requires the affirmative votes of four city commissioners to be approved.
 - (9) Nonprofit educational facilities, deemed nonprofit pursuant to IRS standards, limited to locations within the central business district, provided that the proposed use enables an appropriate adaptive reuse of a historic landmark building such that the historic character of the building is preserved for the duration of its new

function. Buildings eligible for consideration include those buildings listed in for listing in the National Register of Historic Places as shown on the most recent Winter Park Architectural Survey and National Register Evaluation, or that represent a designated historic landmark of exceptional local significance as determined by the Winter Park Historic Preservation Commission. A use that would require modifications to the building or site shall be locally designated and receive a certificate of review under sections 58-457 through 58-478. In addition, any such approval must meet the general conditional use requirements and the standards for consideration.

- (10) Bed and breakfast inns provided such location is 100 feet from any single-family residence.
- (d) *Minimum building site.*
- (1) The minimum building site required for either a single-family residence or a duplex shall be the same as required by the R-2 district.

- (2) The minimum building site for a multiple-family complex shall be 15,000 square feet with a minimum front width of 100 feet and a minimum depth of 100 feet. For properties with less than 15,000 square feet in size, the provisions of the R-2 zoning district shall apply.
- (3) The minimum ground area per dwelling unit shall be 2,500 square feet and the maximum density shall be 17 units per acre.

(e) *Development standards.*

- (1) Development in the R-3 district, at the discretion of the property owner, may meet the requirements of the R-2 district or shall meet the following R-3 development standards. The requirements of R-2 district must be met for lots which are 65 feet wide or less.

	Single Family	Duplexes	Multifamily housing
Min. land area (sq. ft.)	6,000	9,000	15,000
Min. lot width (ft.)	50	50	100
Min. land area per unit	6,000	4,500	2,500
Min. building setbacks (ft.):			
front yard	25	25	25
side yard	10	10	20
rear yard—one-story	10	10	20
rear yard—two-story	25	25	25
Max. building coverage	35%	35%	40%
Max. impervious coverage	60%	65%	70%
Max. building height (ft.)	30*	30*	35*
Min. off-street parking	2/unit	2/unit	2.5/unit

*Note: The comprehensive plan limits development in the R-3 zoning district to a maximum of two stories in certain locations.

- (2) Each residential unit shall have a minimum living area of 750 square feet, or if efficiency units are to be included within the complex, the average living area of the residential units within the complex shall at least equal 750 square feet.
- (3) On corner lots, the building director shall determine the principal street front yard to comply with a minimum 25-foot front setback and the secondary street(s) to

comply with a minimum 20-foot setback. All setbacks to be measured from the property lines.

2796-10, 2-22-10; Ord. No. 2849-11, § 1, 9-12-11)

- (4) The maximum floor area ratio shall be 110 percent for any building of three stories, and a maximum of 75 percent for any building of two stories or less. The floor area ratio shall include the floor area of any attached or detached above-grade private parking garage. The maximum floor area ratios outlined above are not an entitlement and are not achievable in all situations. Many factors may limit the achievable floor area ratio, including limitations imposed by the maximum height map, concurrency management/level of service standards, physical limitations imposed by property dimensions and natural features, as well as compliance with applicable Code requirements such as, but not limited to, parking and internal circulation, setbacks, landscaping requirements, impervious lot coverage, design standards and on-site and off-site improvements and design amenities required to achieve land use compatibility. Land located across a street and/or separated from the building site shall not be included in the floor area ratio calculations.
- (5) The land area included within interior courtyards enclosed by more than 75 percent by the surrounding building shall not be included within the pervious land area calculation, unless the interior courtyard is predominately visible from the street.
- (6) Other Code sections related to development that should be referenced include, but are not limited to, off-street parking regulations, general provisions, definitions, sign regulations (article IV), environmental protection (article V) (this section includes division 1, stormwater; division 6, tree preservation; division 8, landscape regulations; division 9, irrigation regulations; and division 10, exterior lighting), subdivision regulations (article VI), historic preservation (article VIII) and concurrency management regulations (article II).

(Ord. No. 2297, § 1, 4-13-99; Ord. No. 2587-04, § 1, 6-14-04; Ord. No. 2729-08, § 1, 1-14-08; Ord. No.



**CITY OF WINTER PARK
HISTORIC PRESERVATION BOARD**

**Staff Report
November 9, 2016**

COR 16-012 Request by Holt Properties, LLC (1000 Holt Avenue, Winter Park, FL) to demolish the existing house at 363 Holt Avenue and build a new Single Family Residence with detached Garage in a style consistent with the College Quarter Historic District in which it is located.

Zoned: R-2 Parcel ID. #07-22-30-2044-00-060

Description. Built about 1940, 363 Holt Avenue is a concrete block two-story residence that has been used as Student Housing for many years. It has undergone many changes over the years and is now in less than original and good condition. The property is within the College Quarter Historic District.

Holt Properties, LLC purchased the home in 2016 and is planning on the construction of a new two-story Single Family dwelling that will be used by Rollins College Faculty. Scott Bitikofer, Assistant VP for Facilities Management of Rollins College, has held a number of meetings with the College Quarter Historical Board in order to apprise them and the Neighbors about the design and scale of this new single family residence.

Certificate of Review Request. This is a request to demolish the existing building at 363 Holt Avenue in order to replace it with a new two-story single family residence.

The new single family home is designed as a 2,142 SF footprint on a lot of some 6,955 SF. The Architects' Design Drawings are attached for review. The style of the new design is in keeping with the character and scale of many of the homes within the College Quarter Historic District. It is of the Craftsman Style.

The new home incorporates a one-story open Front Porch connecting to a low-scaled Porte Cochere over the driveway to a rear single-car, single-story garage. The second floor steps back from the street and its side walls are well articulated with single-story roof elements and open porches. The materials and detailing of the new home are in keeping with good residential design practices and should enhance the overall character of College Quarter for many years to come.

The new home abuts the new Rollins College Child Development Center (CDC) property. Holt Properties, LLC is requesting to transfer some 5 to 15 feet of the CDC property to benefit the side



City of Winter Park
 Planning & Community
 Development Department
 Historic Preservation Commission
 401 Park Avenue, South
 Winter Park, Florida 32789
 407-599-3498

Certificate of Review Application

1. 363 Holt Avenue 07-22-30-2044-00-060
 Building address

Holt Properties LLC 1000 Holt Avenue Suite 2717 407-64602137
 Owner's name(s) Address Telephone

Applicant's name (if different from above) Address Telephone

2. Please indicate the work your propose to undertake:

Minor alteration New construction Addition Demolition Rehabilitation

NA Variance request (additional information required) Other: _____

3. Proposed project narrative: *(attach additional page if necessary)*

Demolition of existing structure and Construction of New Single Family Residence w/ Detached garage

4. The following supplementary information shall be provided as applicable to describe the proposal:

Site plan Floor plan(s) Elevations(s) Photo(s) Survey

Material sample/product information Setback and coverage calculation worksheet

Other: _____

5. I, Scott Bitikofer, as owner of the property described above, do hereby authorize the filing of this application on my behalf.

[Signature] 10.18.16
 Owner's Signature Date

Historic Preservation Commission Office Use

Date received: 10.17.16 HPC Meeting: 9 NOV.16 Case File No. _____

NEW HOME COLLEGE QUARTER HIST. DIST.
 Historic name of building (if any) Historic district name (if any)

07.22.30.2044.00.060 NA.
 Parcel Identification Number Year built

historic landmark historic building/structure

district contributing element district non-contributing element

Certificate of Review Process

A Certificate of Review (COR) is required for work on designated historic landmarks, properties and districts. The work includes any exterior alterations and new construction. The purpose of the Certificate of Review process is to assist owners of historic landmarks and owners in historic districts who plan to rehabilitate, restore or redevelop their property for contemporary use to achieve their goals while preserving the historic character, architecture and materials to the greatest extent possible. The HPC shall not review interior alterations but it shall consider the effect of such plans as they relate to the exterior. The design guidelines used by the Historic Preservation Commission (HPC) shall be the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* and any additional standards adopted by the HPC. The HPC will consider:

- A. The effect of the proposed work on the property; and
- B. The relationship between such work and other buildings, structures, object or landscape elements on the site or other property in the historic district where applicable. In evaluating the effect and the relationship, the HPC shall consider historical or architectural significance, architectural style, design, arrangement, texture and materials.

The applicant should confer with the city to obtain information and guidance before entering into substantial expense in the preparation of plans surveys and other data.

Applications will be scheduled for the Historic Preservation Commission (HPC) when received at least 21 days prior to the next meeting. Applicants should submit seven copies of all information required to the Planning and Community Development Department, City Hall, 2nd floor. The printed information size should be limited to 11" x 17". Notice of the proposed work will be advertised and mailed to all property owners within a 500' radius of the site. The HPC shall act upon an application within 60 days of receipt. The time limit may be waived upon mutual consent. Applications will be accepted when a completed application form is submitted together with the supplementary materials necessary to fully describe the proposed work.

The applicant or his/her representative must attend the HPC meeting and present his/her proposal to the HPC. The HPC decision shall be issued in writing and may typically direct one of the following actions:

1. Issuance of a Certificate of Review for the proposed work;
2. Issuance of a Certificate of Review with specified modifications and conditions;
3. Issuance of a Certificate of Review with recommendations for zoning required for the building's preservation which shall be placed on the agenda of the soonest possible Planning and Zoning Commission meeting;
4. Denial of the application;
5. Issuance of a Certificate of Review with a deferred effective date of up to 12 months in cases of demolition or moving of a significant building.

The HPC will take action on completed applications only. Decisions made by the HPC may be appealed to the City Commission no later than 15 days after the ruling is made. If there is no appeal or Commission action, the HPC decision shall be final.

For more information contact:

Lindsey Hayes, AICP, Senior Planner
Planning and Community Development Department
401 Park Avenue, South
Winter Park, FL 32789
(407) 599-3498

RICK SINGH, CFA - ORANGE COUNTY PROPERTY APPRAISER

- [Searches](#)
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363 Holt Ave < 07-22-30-2044-00-060 >

<p>Name(s) Holt Properties LLC</p> <p>Property Name N/A. Click information icon to contribute.</p> <p>Mailing Address On File 1000 Holt Ave Ste 2717 Winter Park, FL 32789-4499 Incorrect Mailing Address?</p>	<p>Physical Street Address 363 Holt Ave</p> <p>Postal City and Zipcode Winter Park, FL 32789</p> <p>Property Use 0800 - Multi-Family</p> <p>Municipality Winter Park</p>
--	--



[View 2016 Property Record Card](#)

- [Values, Exemptions and Taxes](#)
- [Property Features](#)
- [Sales Analysis](#)
- [Location Info](#)
- [Market Stats](#)
- [Update Information](#)

Note: 2017 values will be available in Spring of 2017.

Property Description

[View Plat](#)

MRS L A DENNIS SUB J/140 LOT 6 & 7 FT ALLEY ON N

Total Land Area 5,353 sqft (+/-) | 0.12 acres (+/-) [GIS Calculated](#) [Notice](#)

Land

Land Use Code	Zoning	Land Units	Unit Price	Land Value	Class Unit Price	Class Value
0800 - Multi-Family	R-2	1 LOT(S)	working...	working...	working...	working...

Page 1 of 1 (1 total records)

Buildings

Important Information		Structure				
	Model Code:	01 - Single Fam Residence	Actual Year Built:	1940	Gross Area:	1640 sqft
	Type Code:	0182 - 1 Unit Of C2 Duplex	Beds:	4	Living Area:	1540 sqft
	Building Value:	working...	Baths:	2.0	Exterior Wall:	Concrete/Cinder Block
	Estimated New Cost:	working...	Floors:	2	Interior Wall:	Plastered

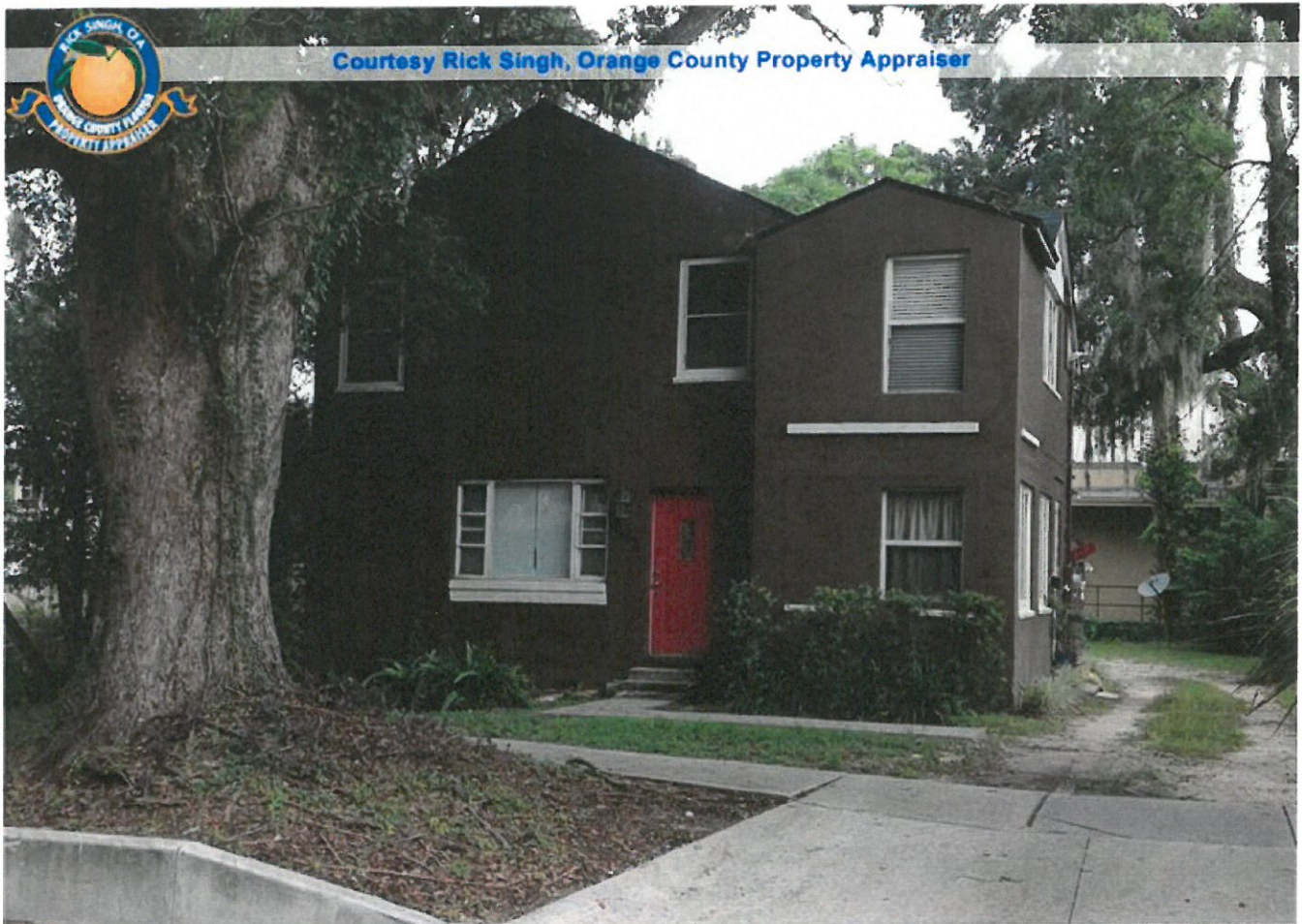
Page 1 of 1 (1 total records)

Extra Features

Description	Date Built	Units	XFOB Value
There are no extra features associated with this parcel			

This Data Printed on 10/20/2016 and System Data Last Refreshed on 10/19/2016

Parcel Photos - 363 Holt Ave



363 HOLT AVE 09/25/2014



302207204400060 03/22/2006



Rollins College . Facilities Management
1000 Holt Avenue - 2732 . Winter Park, FL 32789-4499
T. 407.691.1000 F. 407.646.1800 . rollins.edu

October 13, 2016

Mr. Jeffrey Briggs
Manager, Planning & Community Development
City of Winter Park
401 Park Avenue, South
Winter Park, FL 32789

Dear Mr. Briggs:

Rollins College and its affiliate, Holt Properties LLC, own the properties located adjacent to each other at 315 Holt Ave (#07-22-30-2044-00-011) and 363 Holt Ave (#07-22-30-2044-00-060). Rollins would like to transfer the western 15 feet of 315 Holt Ave to 363 Holt Ave. This would result in the following modifications to the legal descriptions:

- A. 315 Holt Ave: MRS L A DENNIS SUB J/140 LOTS 1 THROUGH 5 EXCEPT THE WESTERN 15' OF LOT 5 & 7 FT ALLEY ON N
- B. 363 Holt Ave: MRS L A DENNIS SUB J/140 LOT 6 & THE WESTERN 15' OF LOT 5 & 7 FT ALLEY ON N

Thank you for your assistance in the matter.

Sincerely,

Scott Bitikofer
Assistant Vice President for
Facilities Management
Rollins College



Brooks Weiss

From: Scott Bitikofer <sbitikofer@Rollins.edu>
Sent: Wednesday, November 2, 2016 11:09 AM
To: Brooks Weiss
Subject: FW: Recent issues discussed
Attachments: College Hill Historic District.jpg; Jefferson Park Historic Neighborhood.jpg; Prominence Point Historic Neighborhood.png

Brooks

Please find the email below per our conversations morning. Thank you for your assistance in this matter.

Thanks Scott

From: Mary Grace Gordon [mailto:gordonmg@tampabay.rr.com]
Sent: Wednesday, November 02, 2016 7:55 AM
To: Scott Bitikofer
Cc: Peg Cornwell
Subject: Recent issues discussed

Dear Scott and Peg,

Below are some viewpoints to support Rollins' proposals on Holt Ave.

I do not represent some of the CQHD board members; however, this perspective does reflect an alternate view shared by several homeowners in the neighborhood.

- Adding 15' to the east of 363 Holt property.

If the porte-cochère is added to the home, it seems that moving the lot line 15' to the east would allow proper positioning of the new home on the lot. The additional width would provide space for appropriate landscaping and distance from the property to the west of 363 Holt. Certainly, a 65' wide lot would fit into the neighborhood. In fact, the five lots across the street from 363 Holt Ave are 68.5' wide or wider.

If there is **no** porte-cochère, the lot could certainly remain at 50' wide.

There are 27 CQHD residential lots along Holt Ave.

- 2 lots are 100' wide (These lots were originally two 50' lots that were combined to form 100' lots.)
- 3 lots are 75' wide (Two of these lots were originally three 50' lots that were combined to form two 75' lots.)
- 3 lots are 70' wide
- 1 lot is 68.5' wide
- 1 lot is 60' wide
- 1 lot is 57' wide
- 13 lots are 50' wide (most lots in the College Quarter are 50' wide)
- 1 lot is 45' wide

Setback/Coverage Calculations

(Lots 65' or less in width)

For Principal Dwelling/Cottage Dwelling/Single Family/Duplex (R-2) District

Address: 363 Holt Avenue Lot Width: 65' (x 107')

Submitted by: Scott Martin - Morris Lot Area: 6,955 SF

Principal Dwelling Cottage Dwelling _____ Single Family Residence _____ Duplex _____

	Existing Area	+	Proposed Area	=	Total Area	Permitted Area
Minimum Living Area (sq.ft.)						
Principal Dwelling	1,000					
Cottage Dwelling	500					
Single Family	1,000					
Duplex	1,000					
			NA-Demo		3,212 SF	3,212 Sf
						-

Impervious Lot Coverage

{include all areas from above at grade level plus all driveways, sidewalks, patios, pools, artificial turf, etc}

Principal Dwelling - 65%						
Cottage Dwelling - 65%						
Single Family - 65%						
Duplex - 60%			NA-Demo		3,223 SF = 46%	3,223 SF = 46%
						4,520 SF = 65%

Maximum Building Coverage

Principal/Cottage dwelling 35%						
Single Family - 40%			NA-Demo		2,142 SF = 31%	2,142 SF = 31%
Duplex - 35%						2,782 SF = 40%

Floor Area Ratio (FAR)*

For 2-Story Buildings only
{include 1st & 2nd floors, garage, carports, porches, accessory bldgs, & EXCLUDE pool screen enclosure}

Principal Dwelling - 30%						
Cottage Dwelling - 20%						
Single Family - 55%			NA-Demo		3,212 SF = 46%	3,212 SF = 46%
Duplex - 50%						3,825 SF = 55%

(Note 1)

Excludable Area of Porches (sq.ft.) from FAR

Principal Dwelling	400					
Cottage Dwelling	300					
Single Family	700					
Duplex	600		NA-Demo		326 SF	326 SF
						700 SF

(Note 2)

Building Height Maximum Permitted: 30' Proposed Height: 28'-6" (above existing grade)
Maximum Building Stories - 2

Two parking spaces per unit required behind front setback line, except only 1 space for a cottage dwelling.

Stormwater retention required per the Land Development Code.

*Applies to two-story building only; FAR is the total gross building area divided by the total lot area. Common driveways are permitted between two adjoining lots.

Setbacks R-2
(Lots 65' or less in width)

	EXISTING	PROPOSED
<u>FRONT SETBACKS</u>		
To first floor wall – 25'	<u>17'-9"</u>	<u>25'</u>
To second floor wall – 30'	<u>17'-9"</u>	<u>30'</u>
<u>SIDE SETBACKS</u> (Principal/cottage, dwelling or duplex)		
To first floor wall (note 3) – 7'	<u>7'-6"</u>	<u>7, 5' Detached Garage</u>
Driveway side first floor wall (note 4) – 11'	<u>11'-8"</u>	<u>11'</u>
To second floor wall – 10'	<u>7'-6"</u>	<u>10'</u>
<u>Rear setbacks</u>		
One Story Building - 10'	<u>-</u>	<u>10' Detached Garage</u>
Two Story Building - 25' (note 6)	<u>56'-7"</u>	<u>30'</u>
<u>Corner Lot Setbacks**</u>		
Lot width 65' or less – 14'	<u>NA</u>	<u>NA</u>

Open Front Porch & Entryway allowance: An additional projection of up to 7' into the required front setback is permitted on any R-2 property.
All setbacks given are minimum allowed

*Required if garage is located in rear of lot, otherwise garage must be set back 35' from front lot line and at least 4' behind front of building, and one story garage is permitted a setback of 7'.

**Corner lot setbacks are measured on the side yard adjacent to the street, where the street side having the least frontage is determined to be the front.

Notes:

1. If a single-family residence, only, is built on the lot, the maximum floor area ratio is 55%. The maximum total floor area ratio on a property developed with a principal dwelling and a cottage dwelling shall be 50% with the principal dwelling having a larger gross floor area than the cottage dwelling.
2. Only open porches in the front and screened or open porches in the rear and side of the principal and cottage dwelling may be excluded from the floor area ratio up to a total area of 700 square feet.
3. The 7-foot side setback shall only be permitted on one side of the lot, and a 5-foot side setback to an attached or detached garage or carport shall be permitted on either side of an interior lot subject to limiting the building wall height to 8 feet and limiting the building wall length to 22 feet.
4. The 11-foot side setback shall be provided on one side of an interior lot to the first and second floor walls to allow driveway access. Where two abutting properties utilize one common driveway, the side setback may be 10 feet.
5. For duplexes, side building walls over 20 feet in length and over 17 feet in height above the existing grade must be set back an additional 5 feet from the lot line at the second floor wall and continue at the additional 5 foot setback for at least 10 feet along the side of the building before returning to the 10 foot side setback. Alternate methods to accomplish this relief from having long two story boxlike buildings along the side lot line may be approved by staff.
6. For lots that have rear lot lines adjoining non-residential zoning, the second floor setback may be 10 feet.

SEE ORDINANCE FOR ADDITIONAL PROVISIONS; THIS WORKSHEET DOES NOT COVER ALL REQUIREMENTS

Attachments to R-2 Setback/Coverage Worksheets

Other provisions and allowances for R-2 District Developments: (Excerpts from Ordinance)

(3) Additional Development standards (lots 65 feet or less in width):

1. Parking shall be provided behind the front dwelling with only one driveway entering the property.
2. The driveway and parking surface setback is permitted to be one foot from the rear or side lot line subject to providing a design which will not cause additional drainage onto a neighboring property.
3. The required off-street parking shall be two spaces for the principal building, one space for the cottage dwelling, and two spaces per unit for a duplex.
4. Circular driveways and parking in front shall be prohibited.
5. No front entry garages are permitted, except when provided in the rear half of the lot or on a corner lot.
6. Open front porches or covered entryways must be provided or a similar alternate front entryway must be provided.
7. The principal dwelling may be placed in either the front or the rear of the lot.
8. For corner lots the street side setback shall be 14 feet and the interior side setback shall be 7 feet to the first floor wall only. Other site development requirements remain the same as established for lots 65 feet or less in width.
9. The area between the building and the street shall be landscaped with grass, plantings or both, and any unusual designs shall be subject to the approval of the Parks Director.
10. Screen pool enclosures may also be permitted an additional eight (8%) percent of the lot area in addition to the permitted building area.
11. Minor deviations of the floor area ratio for a principal dwelling and a cottage dwelling may be considered up to plus or minus one percent (1%).
12. When utilizing one common driveway between two properties, the required side setback of eleven (11) feet may be reduced to seven (7) feet to the first floor wall and ten (10) feet to the second floor wall.

(4) Additional Development standards for development of a single-family residence only:

1. Front entry garages are permitted if set back at least 35 feet from the front property line, and placed behind the front building line of the dwelling by at least four (4) feet.
2. The eleven (11) foot side setback shall be required if the garage is at the rear of the lot. If no driveway around the home is provided, then a seven (7) foot side setback shall be observed to the first floor wall, and the second floor setback shall be ten (10) feet to the second floor wall from the side lot line.
3. All other provisions of the development standards for lots 65 feet in width or less shall apply where applicable.

(5) Development Standards for all properties in the R-2 District:

1. A minimum distance of 22 feet shall be provided in front of garages and carports for parking turn around space, except on corner lots a minimum distance of twenty (20) feet may be permitted in front of a garage.
2. One common drive may serve two abutting properties without meeting the driveway setback requirement.
3. The architecture of the front of the building shall not included two story high features such as entry areas, porches or columns unless set back at least thirty (30) feet from the front lot line.
4. Open front porches or covered entryways may encroach up to seven (7) feet into the required front setback. A porch depth of eight (8) feet or more is requested for functionality.

5. Minimum living area. The minimum living area of any single-family residence shall be on thousand (1,000) square feet. The minimum living area of duplex or cluster residential units shall average seven hundred fifty (750) square feet but no individual unit shall be less than four hundred (400) square feet.
6. Properties or lots exceeding 10,000 square feet are permitted building heights of thirty-five (35) feet if the side setback is increased to twenty (20) feet measured to the roof component of the building over thirty (30) feet in height.

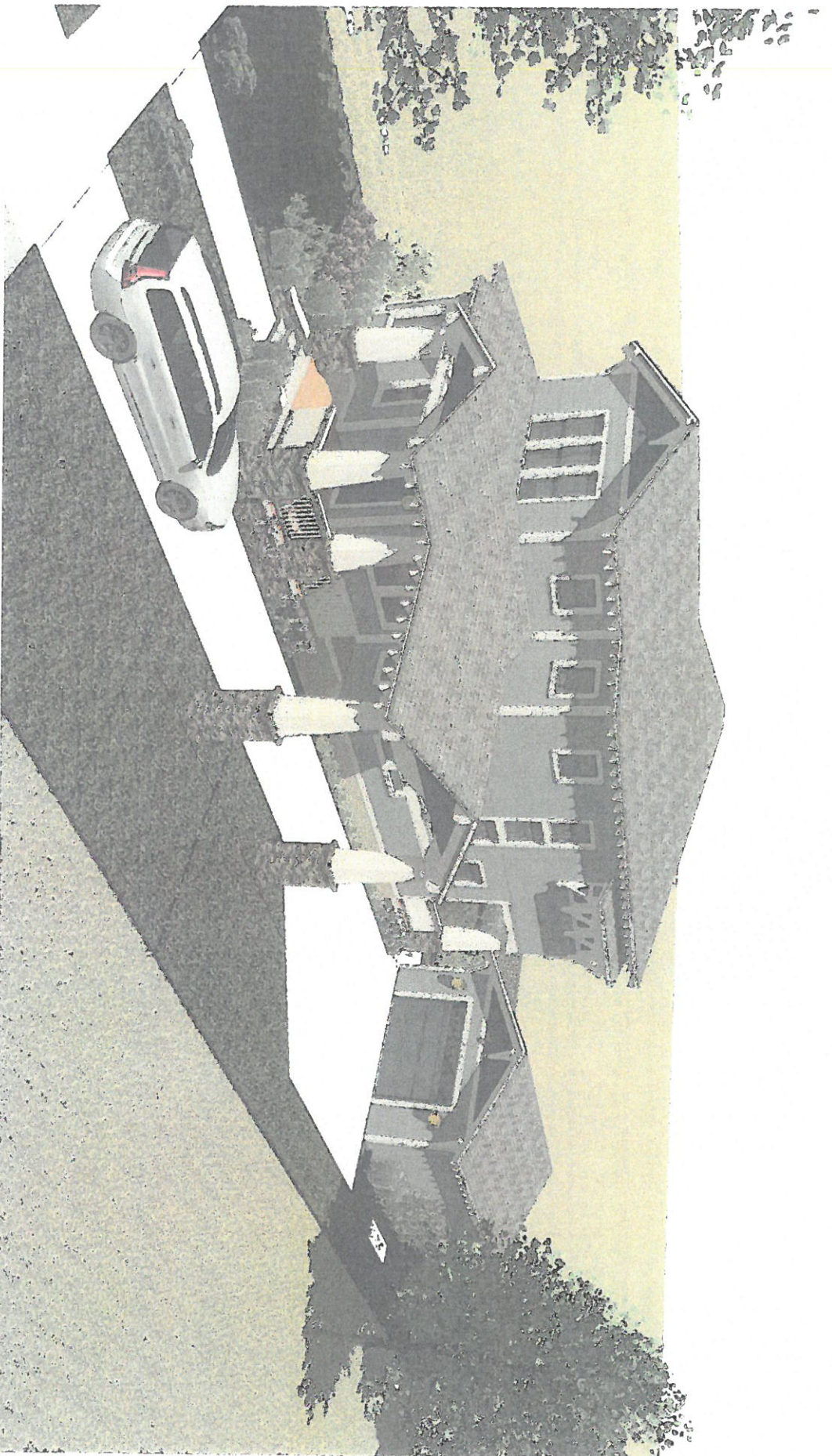
(6) Additional Development standards for R-2 lots which abut single family zoned properties:

1. The rear yard setback shall be 25 feet to the first floor wall and 35 feet to the second floor wall, except where the abutting single family zoned property is not used for residential purposes, such as churches, parks, community centers, etc.
 2. The maximum floor area ratio shall be 45%, except a single-family dwelling may utilize a floor area ratio of 55%.
 3. All building plans for duplexes shall require appearance review approval by the Town Designer or Planning Department designee in accordance with criteria listed under (e)(2) of this Section. Appeals of the appearance review determination of the Town Designer may be made by the applicant and shall be heard by the Planning and Zoning Commission within 40 days of receipt of the appeal request. The applicant or city staff may appeal the decision of the Planning and Zoning Commission to the City Commission within 15 days from the date of that decision. The matter shall be heard by the City Commission within 30 days for final determination.
- (b) Stormwater control. Duplex and cluster housing shall provide onsite stormwater retention as provided by the land development code.

SECTION 2. Chapter 58 "Land Development Code", Article III "Zoning" of the Code of Ordinances is here by amended and modified by adding to SECTION 58-82 "General Provisions" subsections (kk) and (ll) to read as follows:

- (kk) First or second floor walls of buildings in residential zoning districts shall not extend above the top plate of the first floor for one story buildings or above the second floor top plate of two story buildings so as to create additional wall height or the appearance of an additional story unless such area is part of the allowable floor area and meets the required setbacks. This limitation does not prevent the provision of a parapet wall for flat roof buildings.
- (ll) The required two-story setback shall apply to walls, which extend twelve (12) feet in height or more above the existing pre-construction grad for buildings in residential zoning districts.

February 4, 2003



CERTIFICATE OF REVIEW APPLICATION

363 HOLT AVENUE WINTER PARK, FLORIDA

OCTOBER 10X, 2016

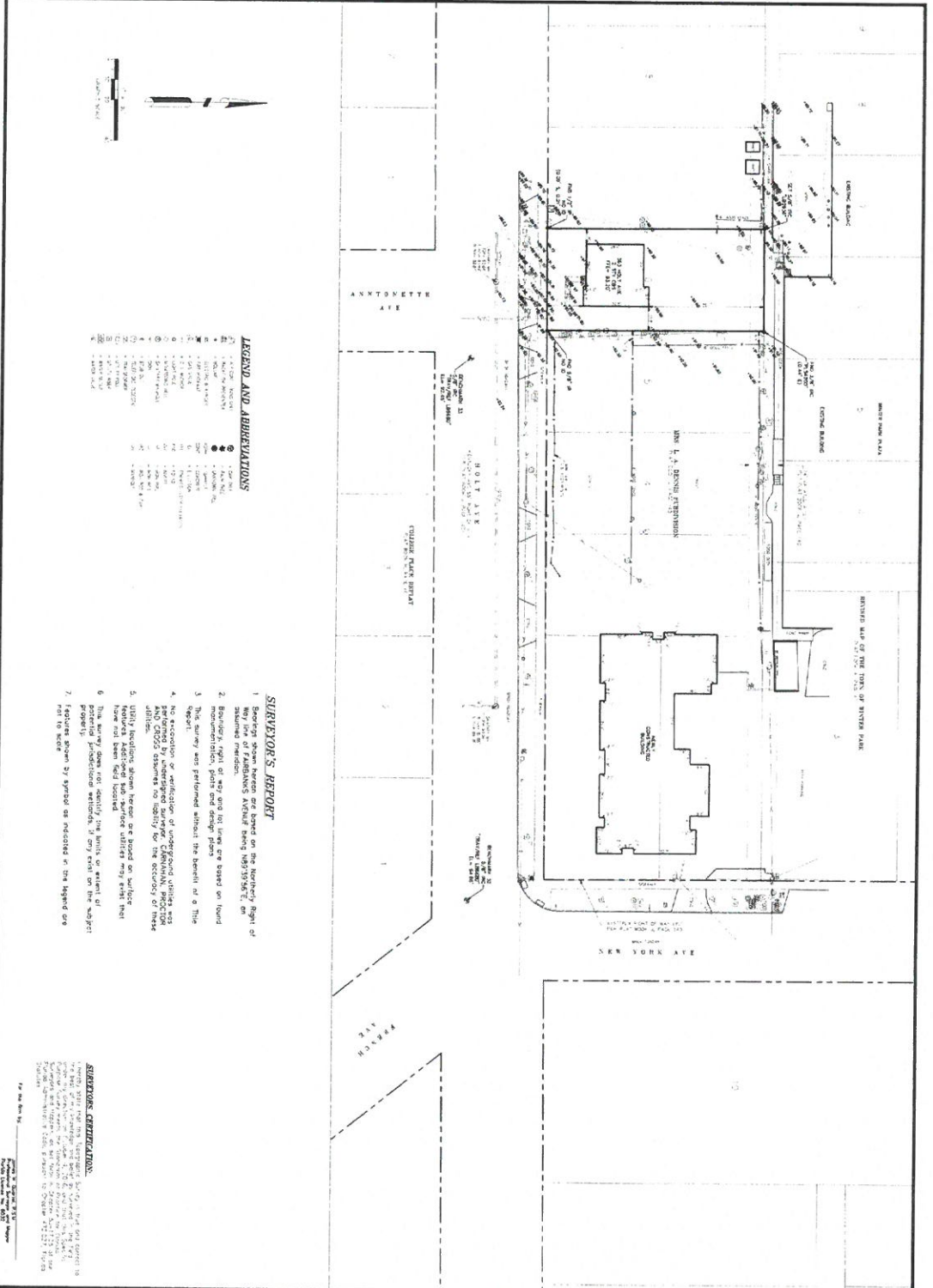
MORRIS
A HILTI/IZOLUX COMPANY

111 North Magnolia Avenue, Suite 1600
Orlando, Florida 32801
407.839.0414

363 HOLT AVENUE
WINTER PARK, FLORIDA

SURVEY

OCTOBER 10, 2016
ADVANCE DESIGN



LEGEND AND ABBREVIATIONS

①	Survey Station
②	Survey Point
③	Survey Marker
④	Survey Control Point
⑤	Survey Boundary
⑥	Survey Easement
⑦	Survey Right-of-Way
⑧	Survey Easement
⑨	Survey Boundary
⑩	Survey Easement
⑪	Survey Right-of-Way
⑫	Survey Easement
⑬	Survey Boundary
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㊿	Survey Easement

SURVEYOR'S REPORT

1. Bearings shown herein are based on the Northern Right of Way of the State of Florida, as defined by the Florida Department of Transportation, and are based on the National Geodetic Survey datum of 1983 (NAD 83).
2. Boundary lines of any and all lines are based on the monumentation, points and design plans.
3. This survey was performed without the benefit of a Title Report.
4. No exception or verification of underground utilities was made. ANY CAUTION should be observed for the presence of these utilities.
5. Utility locations shown herein are based on surface information and are not to be relied upon for any purpose that has not been field located.
6. This survey does not identify the limits or extent of potential jurisdictional interests, if any exist on the subject property.
7. The survey was prepared by myself as indicated in the legend and is not to be used.

SURVEYOR'S CERTIFICATION

I, the undersigned, being a duly licensed Surveyor in the State of Florida, do hereby certify that I am the author of this report and that I am a duly licensed Surveyor in the State of Florida, and that I am duly qualified to perform the services herein described, and that I am duly qualified to perform the services herein described, and that I am duly qualified to perform the services herein described.

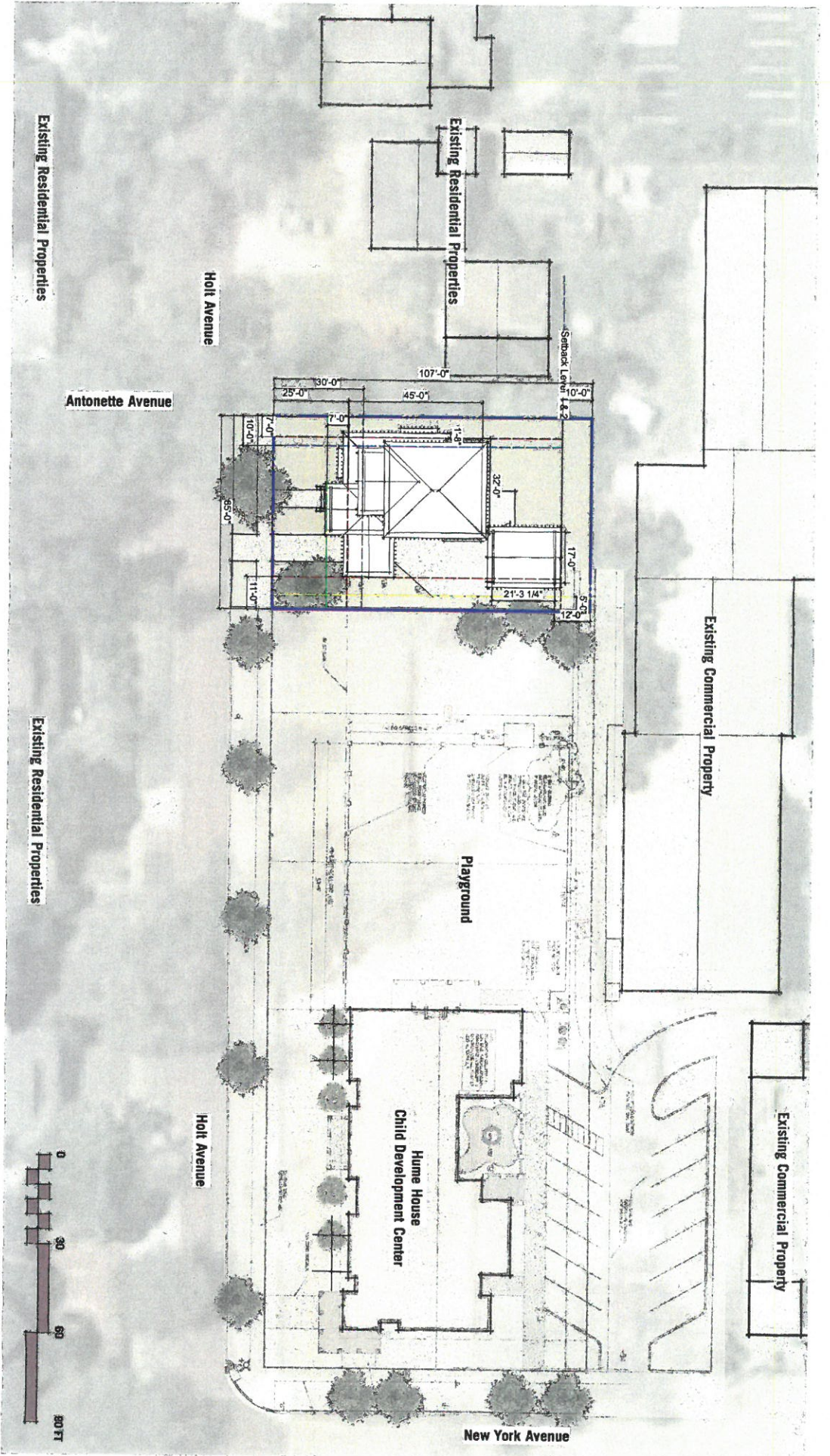
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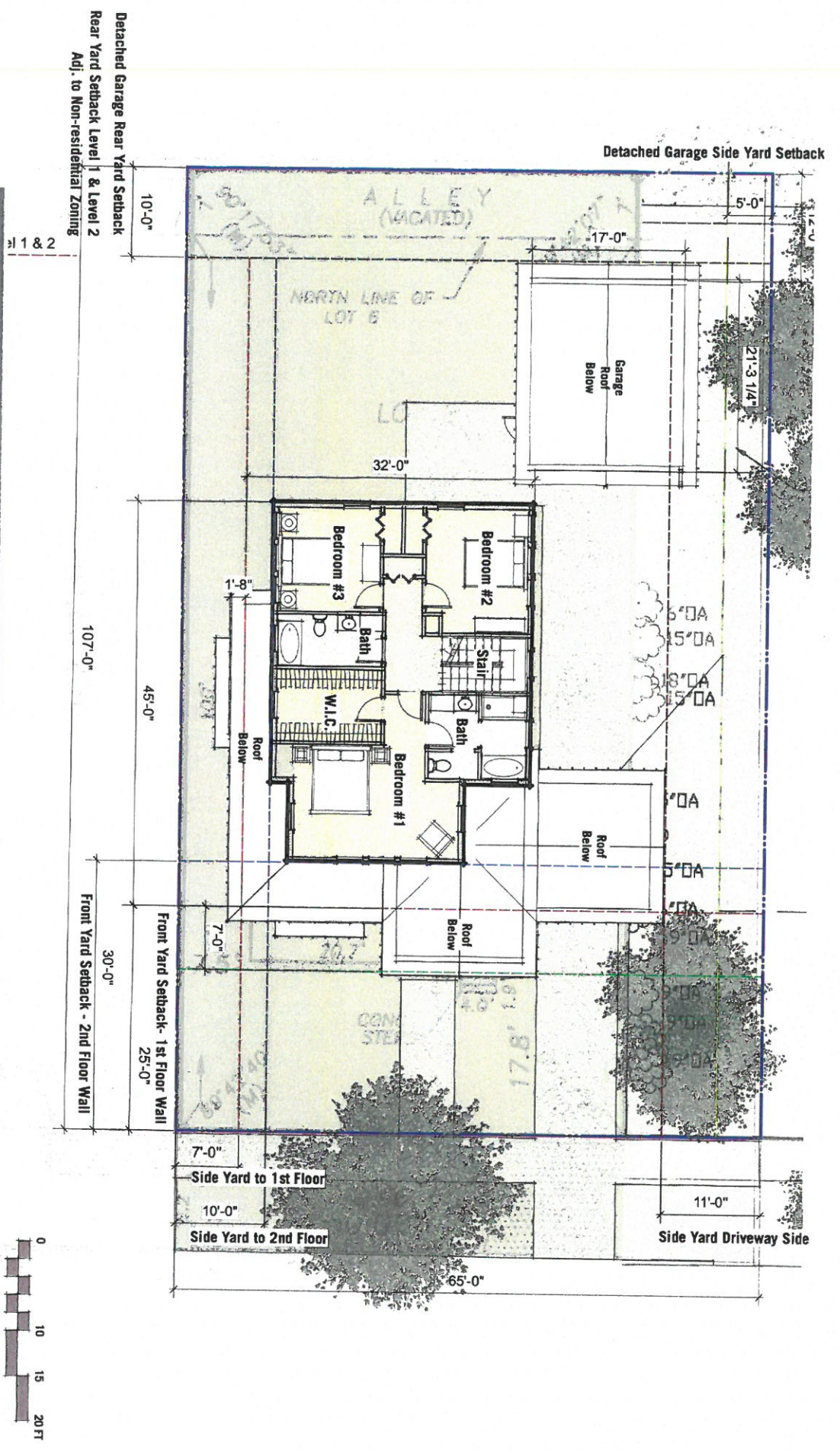
BY: [Signature]

NO.	DATE	BY	REVISION
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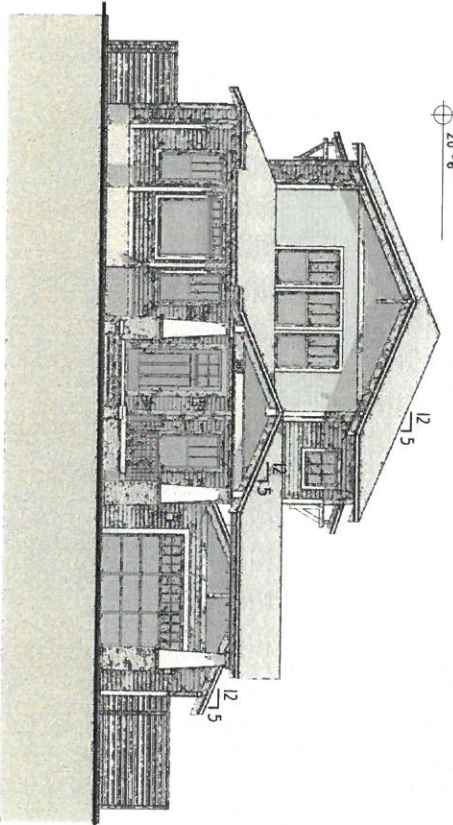
CARNAHAN PROCTOR CROSS, INC.
CONSULTING ENGINEERS • SURVEYORS • PLANNERS
604 Courtyard Street, Suite 101, Orlando, FL 32804
PHONE: (407) 240-3800 FAX: (407) 240-3804
Certificate of Authorization: LB0008
www.carnahan-proctor.com

BOUNDARY & TOPOGRAPHIC SURVEY
363 HOLT AVE, WINTER PARK
ORANGE COUNTY, FL
FOR: ROLLINS COLLEGE

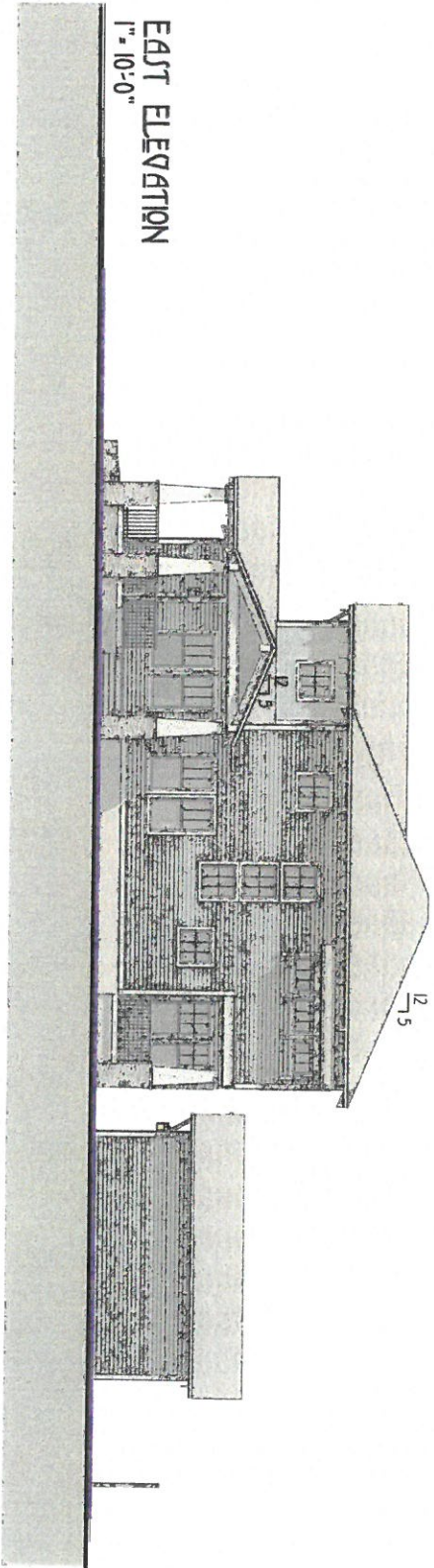




⊕ 28'-6"



SOUTH ELEVATION
1" = 10'-0"



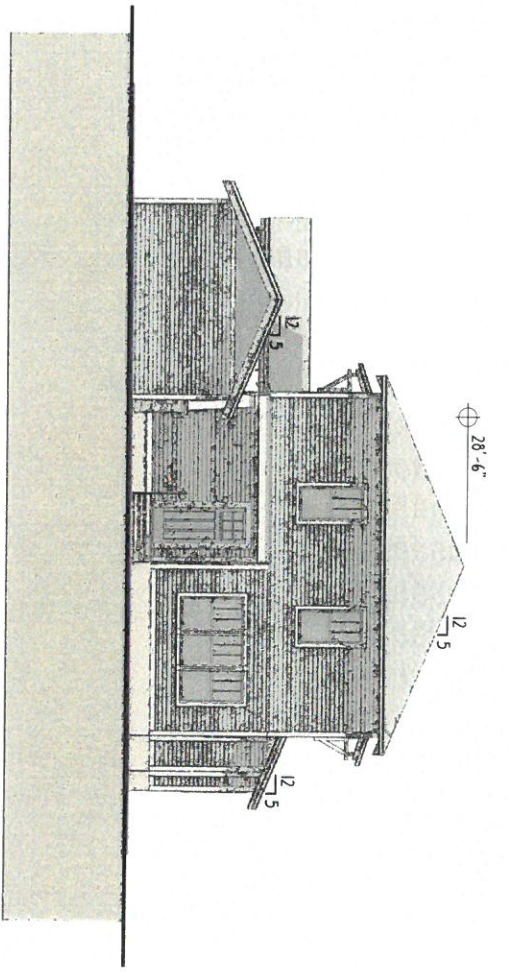
EAST ELEVATION
1" = 10'-0"

MORRIS
A HUITZIGLARS COMPANY

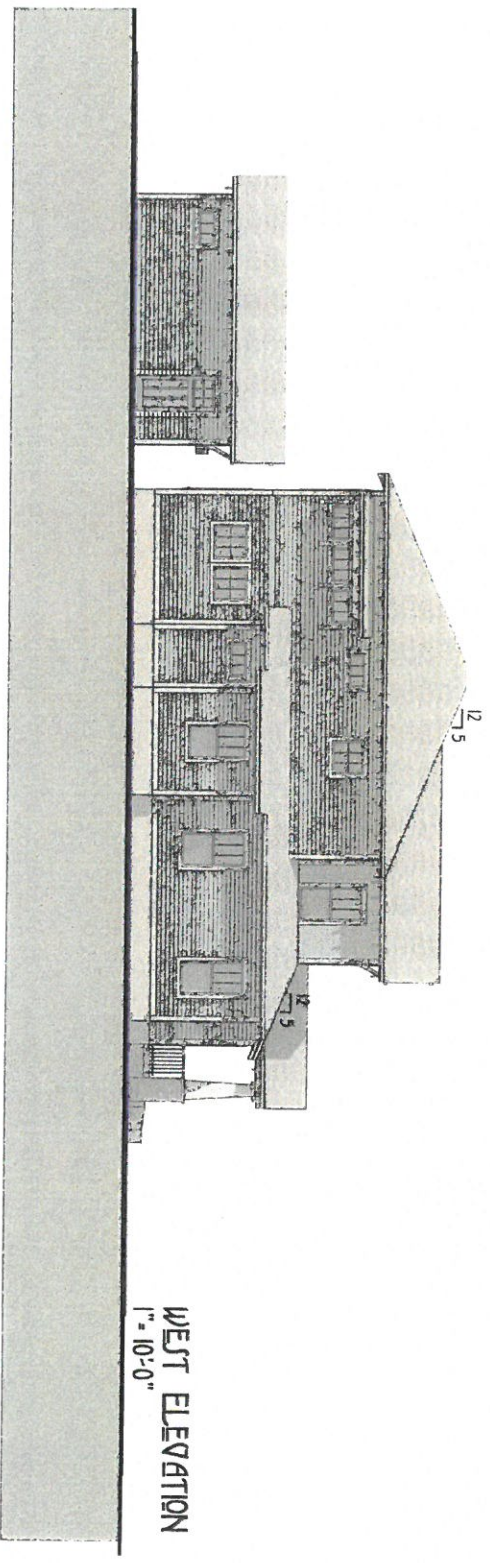
363 HOLT AVENUE
WINTER PARK, FLORIDA

ELEVATIONS

OCTOBER 10, 2016
ADVANCED DESIGN



NORTH ELEVATION
1" = 10'-0"



WEST ELEVATION
1" = 10'-0"



MORRIS
A HUNTERS LANE COMPANY

363 HOLT AVENUE
WINTER PARK, FLORIDA

OCTOBER 10, 2016
ADVANCED DESIGN



MORRIS
A HUITZSCHELS COMPANY

363 HOLT AVENUE
WINTER PARK, FLORIDA

OCTOBER 10, 2016
ADVANTAGEDESIGN



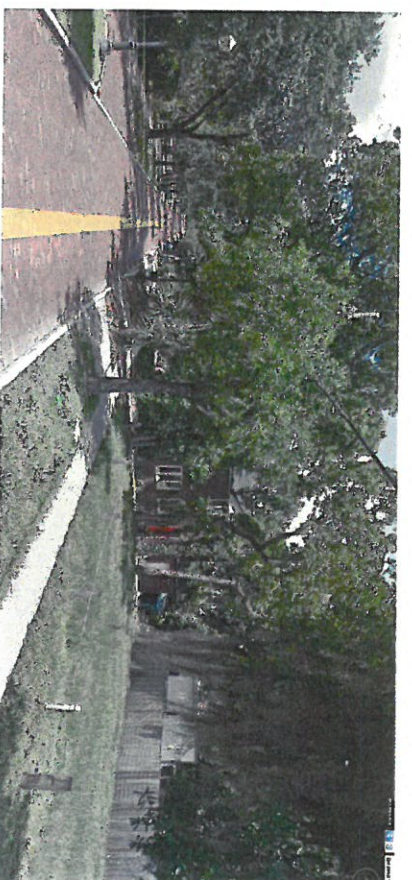
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363 HOLT AVENUE
WINTER PARK, FLORIDA

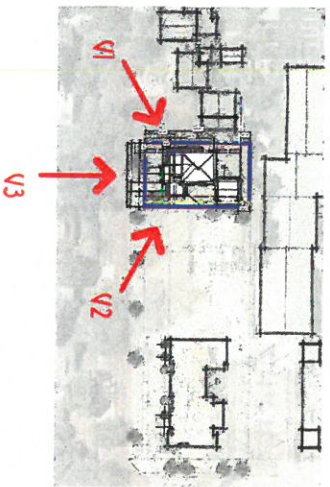
OCTOBER 10, 2016
ADVANCED DESIGN



VIEW 1 - LOOKING NORTHEAST TOWARDS THE SITE ALONG HOLT AVENUE



VIEW 2 - LOOKING WEST TOWARDS THE SITE ALONG HOLT AVENUE



VIEW 3 - LOOKING NORTH TOWARDS THE SITE ALONG ANTONETTE AVENUE