



city commission agenda

Regular Meeting

October 12, 2015
3:30 p.m.
Commission Chambers

commissioners				mayor	commissioners			
seat 1	Gregory Seidel	seat 2	Sarah Sprinkel	Steve Leary	seat 3	Carolyn Cooper	seat 4	Tom McMacken

welcome

Welcome to the City of Winter Park City Commission meeting. The agenda for regularly scheduled Commission meetings is posted in City Hall the Tuesday before the meeting. Agendas and all backup material supporting each agenda item are available in the City Clerk's office or on the city's website at cityofwinterpark.org.

meeting procedures

Persons desiring to address the Commission MUST fill out and provide to the City Clerk a yellow "Request to Speak" form located by the door. After being recognized by the Mayor, persons are asked to come forward and speak from the podium, state their name and address, and direct all remarks to the Commission as a body and not to individual members of the Commission, staff or audience.

Citizen comments at 5 p.m. and each section of the agenda where public comment is allowed are limited to three (3) minutes. The yellow light indicator will remind you that you have one (1) minute left. Large groups are asked to name a spokesperson. This period of time is for comments and not for questions directed to the Commission or staff for immediate answer. Questions directed to the City Commission will be referred to staff and should be answered by staff within a reasonable period of time following the date of the meeting. Order and decorum will be preserved at all meetings. Personal, impertinent or slanderous remarks are not permitted. Thank you for participating in your city government.

agenda

1 Meeting Called to Order

2 Invocation Pastor Ed Garvin, Calvary Assembly of God Pledge of Allegiance

3 Approval of Agenda

4 Mayor's Report

***Projected Time**
***Subject to change**

- Recognition - Winter Park 14u Babe Ruth 2015 World Series Bronze Medalist
- Business Recognition Award-Q3 2015 recipient Tuni Trendy & Chic
- Proclamation - National Friends of Libraries Week
- Proclamation - World Stroke Day
- Proclamation - 2015 Fire Prevention Month

30 minutes

5	City Manager's Report	*Projected Time *Subject to change 5 minutes
6	City Attorney's Report	*Projected Time *Subject to change
7	Non-Action Items	*Projected Time *Subject to change
8	Citizen Comments 5 p.m. or soon thereafter (if the meeting ends earlier than 5 p.m., the citizen comments will be at the end of the meeting) (Three (3) minutes are allowed for each speaker; not to exceed a total of 30 minutes for this portion of the meeting)	
9	Consent Agenda	*Projected Time *Subject to change
	<ul style="list-style-type: none"> a. Approve the minutes of September 28, 2015. b. Approve the following purchases and formal solicitations: <ul style="list-style-type: none"> 1. Blanket Purchase Order to Waste Pro of Florida for Residential, Commercial & Construction Solid Waste Collection, RFP-6-2009; \$2,200,000.00. 2. Blanket Purchase Order to Air Liquide Industrial Company for Liquid Oxygen for Water Treatment Facilities; \$150,000. 3. Blanket Purchase Order to Odyssey Manufacture Co. for Sodium Hypochlorite; \$155,000. 4. Blanket Purchase Order to GATSO USA for Red Light Safety Enforcement; \$403,200. 5. Blanket Purchase Order to Stephen Technology for Trenchless Repair to Sanitary Sewer Main; \$120,000. 6. Blanket Purchase Order to Perma Liner Industry for Trenchless Repair to Sanitary Sewer Main; \$300,000. 7. Blanket Purchase Order to Florida Power & Light Co. for Bulk Power Supply; \$10,500,000. 8. Blanket Purchase Order to Florida Power & Light Co. for Power Transmission; \$800,000. 9. Blanket Purchase Order to Covanta Energy Marketing LLC for Bulk Power Supply; \$4,000,000. 10. Blanket Purchase Order to Duke Energy for Transmission pursuant to Duke Energy Tariff; \$2,100,000. 11. Blanket Purchase order to Gainesville Regional Utilities (GRU) for Bulk Power Supply (ITN-13-2013); \$4,600,000. 12. Blanket Purchase Order to Orlando Utilities Commission for Bulk Power Supply and Power Transmission (ITN-13-2013); \$4,600,000. 13. Blanket Purchase Order to Winter Park Public Library for Annual Organizational Support; \$1,422,472. 14. Avcon, Inc., RFQ-15-2015, Continuing Services Contract for Engineering & Design Services of Florida Department of Transportation (FDOT) Local Agency Program (LAP) projects. 	5 minutes

15. Comprehensive Engineering Services, Inc., RFQ-15-2015, Continuing Services Contract for Engineering & Design Services of Florida Department of Transportation (FDOT) Local Agency Program (LAP) projects.
16. Kelly, Collins, & Gentry, Inc., RFQ-15-2015, Continuing Services Contract for Engineering & Design Services of Florida Department of Transportation (FDOT) Local Agency Program (LAP) projects.
17. Authorize staff to enter into negotiations with the top ranked firm, Tyler Technologies, ITN-11-2015, Enterprise Resource Planning (ERP) System Selection.

10	Action Items Requiring Discussion	*Projected Time *Subject to change
	a. State Legislative Priorities	15 minutes
11	Public Hearings	*Projected Time *Subject to change
	a. <u>Request of Phil Kean Designs, Inc. for the property at 652 West Morse Boulevard:</u>	15 minutes
	- Ordinance – To change the future land use map designation of Commercial to Central Business District (2)	
	- Ordinance – To change the existing zoning designation of Office (O-1) District to Commercial (C-2) District (2)	
	- Conditional use approval to redevelop the property into 11 residential units that are two and three story in height with a total project size of 40,566 square feet.	
	b. <u>Request of Sydgan Corporation:</u>	20 minutes
	- Ordinance – Vacating and abandoning the 5' utility easement located on Block "G" of the Home Acres Subdivision and the 1999 Florida Power Corporation distribution easement (2)	
	c. Resolution – Supporting the school rezoning petition of the Lake Bell neighborhood.	10 minutes
12	City Commission Reports	*Projected Time *Subject to change
	a. Commissioner Seidel	
	b. Commissioner Sprinkel	
	c. Commissioner Cooper	
	d. Commissioner McMacken	
	e. Mayor Leary	10 minutes total

appeals & assistance

"If a person decides to appeal any decision made by the Commission with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F. S. 286.0105).

"Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office (407-599-3277) at least 48 hours in advance of the meeting."



city commission city manager's report

item type

City Manager's Report

meeting date

October 12, 2015

Below are issues of interest to the Commission and community that are currently being worked on by staff, but do not currently require action on the Commission agenda. These items are being tracked to provide the Commission and community the most up to date information regarding the status of the various issues. The City Manager will be happy to answer questions or provide additional updates at the meeting.

issue	update	date
Railroad crossing update	Grade crossing repairs included in a CIP managed by FDOT.	Notice to Proceed for construction expected October 2015.
Future tree plantings	Develop an agenda item for Commission to review planting policies.	November 9 agenda.
MLK (Rollins) Restroom	Contractor is currently constructing foundation and walls. Construction will take approximately (four) 4 months.	Anticipate completion by the end of the year.
Historic Preservation Ordinance	Draft under review by the Historic Preservation Board.	Ordinance to be presented to the Commission on November 9.
Visioning Steering Committee	Inviting community to participate at www.visionwinterpark.org .	October 27, 5:30-7:30, Mead Gardens – Keynotes in the Park
New Hope Baptist Church Project	The exterior of the buildings, accessible restrooms, landscaping, parking and drainage have been completed and approved. The Pastor has requested a conditional use to change the use of the buildings to Fellowship Hall and Sunday School classrooms.	Conditional Use will be on the October 26 agenda.
Library Public Sessions	Report to come to the City Commission on October 26.	
Street Performers ordinance	Park Avenue Merchant's Association meeting in October. Goes to Parks Board in October and City Commission in November.	

90 Day Report	Attached.	
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Once projects have been resolved, they will remain on the list for one additional meeting to share the resolution with the public and then be removed.

90 Day Plan

Note: The dates below are tentative and subject to change.

October 12

- Legislative Priorities

October 26

- Update Flood Ordinance
- Library report from consultants
- Shallow Lot ordinance
- Rollins Day Care
- New Hope Baptist Church conditional use request
- Residential Code Glitch Cleanup

November 9

- Street Performer Ordinance
- Library/Civic Center Bond Ordinance
- Ravaudage Development Order modifications
- Historic Preservation Ordinance
- NOD for Progress Point
- Ordinance concerning rental properties

November 23

- Golf Course Proposals
- Winter Park Health Foundation/Wellness Center Redevelopment

- Showalter Agreements

December 14

- Fire Department Standard of Cover Update
- Sign Ordinance
- Blake Yard discussion

Other important activities in the next quarter:

- October 10 & 11 – Autumn Art Festival
- November 6 - Veteran's Day Celebration
- December 3 - Christmas in the Park
- December 4 – Holiday Tree Lighting
- December 5 – Christmas Parade
- December 14 – December 18 – Qualifying for Commission seats 3 & 4

REGULAR MEETING OF THE CITY COMMISSION
September 28, 2015

The meeting of the Winter Park City Commission was called to order by Mayor Steve Leary, at 3:30 p.m. in the Commission Chambers, 401 Park Avenue South, Winter Park, Florida. The invocation was provided by Reverend Leslie McCarrick, Winter Park Christian Church, followed by the Pledge of Allegiance.

Members present:

Mayor Steve Leary
Commissioner Greg Seidel
Commissioner Sarah Sprinkel
Commissioner Tom McMacken
Commissioner Carolyn Cooper

Also present:

City Manager Randy Knight
City Attorney Larry Brown
City Clerk Cynthia Bonham

Approval of the agenda

Motion made by Commissioner Sprinkel to approve the agenda; seconded by Commissioner Seidel and carried unanimously with a 5-0 vote.

Mayor's Report

a. Presentation - Ronny Jack Coleman Leadership Legacy Award

Mayor Leary presented Fire Chief Jim White with the Ronny Jack Coleman Leadership Legacy Award that was presented to Chief White during the Center for Public Safety Excellence 16th Annual Awards Ceremony in Atlanta. The award recognizes an individual for their superior leadership and actions that have elevated the international fire and emergency services profession through mentoring, teaching and sharing outstanding contributions.

b. Proclamation – Electric Director Jerry Warren retirement

Mayor Leary provided Electric Director Jerry Warren with a proclamation and proclaimed September 30, 2015 as Jerry Warren Day in recognition of his retirement from the City. Mr. Warren spoke about his great experience working for the City.

City Manager's Report

City Manager Knight spoke about Mr. Warren's time and success with the electric utility during his tenure with the City. He stated that Public Works Director Troy Attaway will oversee the electric utility from the director's side. He introduced Dan D'Alessandro (new Operations Manager) and Kara Purdy (new Assistant Operations Manager and Senior Engineer who will be designing the undergrounding). He stated they will keep Mr. Warren on contract to handle areas such as the bulk power supply.

City Manager Knight addressed the 90 day work schedule provided to the Commission.

Commissioner McMacken asked City Manager Knight about the update on trees. He wanted to schedule that for the October 12 agenda or another time when we have a light agenda.

Commissioner Seidel spoke about Electric Director Jerry Warren when he served on the Utilities Advisory Board and that he did a great job putting the City in the financial position that we are in.

City Attorney's Report

Attorney Brown brought up the issue of the Fifth Third Bank with Matsby Properties and Mr. and Mrs. Helsby. He stated the developer's agreement between the City and the bank was approved at the August 24 meeting. At that time he was under the understanding that the attorney's had worked out their issue with the easement but found out later they had not resolved it. He asked the Commission what they wanted to do about this issue. He addressed providing the bank's attorney suggestions as how to resolve this and trying to help the private parties come to a private cross access easement agreement. He expressed concerns with holding the bank up with their development because of this one issue because they are entitled to their permit. He summarized what has transpired over the last few months.

Attorney Arthur Baker, representing Fifth Third Bank, clarified the terms of the development agreement approved on August 24 that states that they are at an impasse regarding the negotiation and what was approved includes the additional condition of approval from May 11. He concluded that they have been working on this for five months and commented against holding this up or having to address the development agreement again today between the bank and the City for the benefit of a private party. He stated they are willing to work with Mr. and Mrs. Helsby to resolve this but that the development agreement has been approved.

Kathy Helsby, Matsby Properties, proposed a compromise to dedicate the northwest corner of their property to parking so when their property is developed, the adjacent area that would connect would also be designated as parking. It will then be up to the two property owners at some time in the future to negotiate and create or not create the connection. She addressed the revised plan the bank gave them that contained changes made so that traffic could potentially go both ways in this area. She asked that these changes remain and the designated parking spots are made so a future connection would be possible if and when both parties agree. She stated she is in favor of the bank being able to proceed with their development if these two changes in the layout are made by the Commission.

Mayor Leary spoke about the change in law on October 1 whereby this creates an unfavorable issue for the City. Attorney Brown stated they are vested and have a right to obtain a permit and build but that this issue has been delaying them. He

stated it can be viewed as a private issue and that the question is that it may not be the City's role without liability to assist them in that regard.

The site plan provided on May 11, 2015 was addressed. Upon discussion, **motion made by Mayor Leary to ratify the August 24 development agreement approval; seconded by Commissioner McMacken.** No other public comments were made.

Ms. Helsby reiterated her comments about the parking spaces. Mr. Baker responded that they are willing to enter into that private conversation. Planning Manager Briggs displayed the approved site plan with the condition that the dumpster be relocated and that the plan contains parking spaces. There was a consensus for staff to review the issue of cross connection of commercial and retail and determine if we need to do anything in our codes or policy so that we do not put this on private individuals in the future.

Upon a roll call vote, Mayor Leary and Commissioners Seidel, Sprinkel, Cooper and McMacken voted yes. The motion carried unanimously with a 5-0 vote.

Non-Action Item

a. Parks Master Plan update

Parks and Recreation Director John Holland provided a PowerPoint presentation from a request of the Commission. Mr. Holland updated the Parks and Recreation Master Plan including the Ward/Showalter/Cady Way Complex. He summarized the history of the master plan, the master plan recommendations, progress of the parking lots (completed parking, current projects, and future parking), conceptual designs, athletic field progress, Ward Park Restrooms, and additional Ward Park improvements (includes new field lighting #9 softball, new field lighting for Showalter East, refurbishment of existing baseball restrooms, and improvements to Ward Park drainage and environmental area.). It was clarified that all of these additional Ward Park improvements have been included in this year's budget. Mr. Holland responded to questions of the Commission.

Consent Agenda

- a. Approve the minutes of September 14, 2015.
- b. Approve the following contracts and formal solicitations:
 1. Renewal of commercial insurance package with Brown & Brown; and authorize the Mayor to execute the renewal and approve the subsequent purchase order; \$1.124 million.
 2. Temporary 90 day extension to Waste Pro of Florida, Inc. (RFP-6-2009); and authorize the Mayor to execute the extension letter. **PULLED FROM AGENDA FOR DISCUSSION. SEE BELOW.**

3. Award to Lee Crest Company, IFB-4-2015, Construction of Brookshire Elementary School Neighborhood Sidewalk Project.
4. Award to William J. Peebles & Capitol Insight, RFP-17-2015, State Lobbyist; and authorize the Mayor to execute the contract.
- c. Approve the budget amendment for Public Works and the Building Department for the Cady Way Cycle Track improvements and the Building Interactive Voice Response (IVR) software. **PULLED FROM AGENDA FOR DISCUSSION. SEE BELOW.**
- d. Authorize the City Manager, in consultation with the City Attorney, as needed, to sign purchase orders for payment of HIDTA personnel and operations, subject to the condition that the HIDTA grant funds will be the sole source of money to pay these obligations. Additionally, authorize purchase orders in the amounts of \$85,000, \$120,000 and \$156,000 for several independent contractors who provide specialized and confidential investigative services on behalf of HIDTA; and a purchase order for \$126,000 for facility expenses of HIDTA.
- e. Authorize the Mayor to execute the Florida Power & Light Company Native Load Firm and System Firm Partial Requirements Power and Energy Transaction Confirmation.
- f. Authorize the Mayor to sign a lease agreement between the City of Winter Park and the Winter Park Benefit Shop. **PULLED FROM AGENDA FOR DISCUSSION. SEE BELOW.**
- g. Approve the Watermain Construction Agreement; Cost-Sharing Agreement between the City and UP Fieldgate US Investments – Winter Park, LLC (the “Developer”).

Motion made by Commissioner McMacken to approve Consent Agenda items a, b.1, b.3-4, d, e and g; seconded by Commissioner Seidel. No public comments were made. **The motion carried unanimously with a 5-0 vote.**

Consent Agenda items b.2, c and f:

Commissioner Sprinkel pulled these items off the consent agenda for clarification purposes. Upon a request by Commissioner Seidel, Mr. Knight will send the Commission the RFP for garbage pickup to review and see if they have any comments or proposed changes. Regarding the benefit shop and items being hung outside of City Hall the days they are open, they will follow the sign code as part of the new lease. No public comments were made. Upon clarification by staff, **motion made by Commissioner Sprinkel to approve Consent Agenda items b.2, c and f; seconded by Commissioner McMacken and carried unanimously with a 5-0 vote.**

Action Items Requiring Discussion

a. City Attorney Contract

City Manager Knight explained the two options provided at the last meeting whereby staff was directed to go back and provide a third option that would provide for 120 hours per month. He met with the new attorney who proposed three 40-hour blocks of discounted attorney time.

Motion made by Commissioner McMacken to approve the new option; seconded by Commissioner Seidel. Commissioner Cooper expressed her concerns with the cap because of the current usage of many more hours. She stated she did not want anything to ever inhibit her or staff from asking a question needing an answer.

Upon a roll call vote, Mayor Leary and Commissioners Seidel, Sprinkel and McMacken voted yes. Commissioner Cooper voted no. The motion carried with a 4-1 vote.

Public Hearings:

a. Request of Ferna Bernstein for the annexed property at 1566 W. Fairbanks Avenue:

Attorney Brown read the ordinances by title.

ORDINANCE NO. 3009-15: AN ORDINANCE OF THE CITY OF WINTER PARK, FLORIDA AMENDING CHAPTER 58, "LAND DEVELOPMENT CODE", ARTICLE I "COMPREHENSIVE PLAN" FUTURE LAND USE MAP SO AS TO ESTABLISH COMMERCIAL FUTURE LAND USE ON THE ANNEXED PROPERTY AT 1566 WEST FAIRBANKS AVENUE AND TO INDICATE THE ANNEXATION ON THE OTHER MAPS WITHIN THE COMPREHENSIVE PLAN, MORE PARTICULARLY DESCRIBED HEREIN. Second Reading

ORDINANCE NO. 3010-15: AN ORDINANCE OF THE CITY OF WINTER PARK, FLORIDA AMENDING CHAPTER 58, "LAND DEVELOPMENT CODE", ARTICLE III, "ZONING" AND THE OFFICIAL ZONING MAP SO AS TO ESTABLISH COMMERCIAL (C-3) ZONING ON THE ANNEXED PROPERTY AT 1566 WEST FAIRBANKS AVENUE, MORE PARTICULARLY DESCRIBED HEREIN. Second Reading

Motion made by Commissioner McMacken to adopt the comprehensive plan ordinance; seconded by Commissioner Cooper. No public comments were made. **Upon a roll call vote, Mayor Leary and Commissioners Seidel, Sprinkel, Cooper and McMacken voted yes. The motion carried unanimously with a 5-0 vote.**

Motion made by Commissioner McMacken to adopt the zoning ordinance; seconded by Commissioner Cooper. No public comments were made. **Upon a roll call vote, Mayor Leary and Commissioners Seidel, Sprinkel, Cooper and McMacken voted yes. The motion carried unanimously with a 5-0 vote.**

b. Subdivision or lot split of 1004 N. Pennsylvania Avenue

Planning Manager Jeff Briggs explained the request for subdivision or lot split approval to divide the property at 1004 N. Pennsylvania Avenue into four (4) single family lots. The zoning is R-1A and the property is now vacant. Variances are requested for each lot to be on average, 60 feet in width in lieu of the minimum 75 feet of lot width requirement. Building setback variances are also requested. Mr. Briggs addressed the zoning and comprehensive plan tests. Upon questioning, Mr. Briggs provided the staff recommendation of denial because of the code outlining the 500' radius and the comparison was not there on widths. The developer or applicant would be following the tree removal process.

Motion made by Commissioner Sprinkel to approve the request to subdivide or lot split the property at 1004 N. Pennsylvania Avenue (with the Planning and Zoning conditions: 1) Building setback variances as requested are approved for interior lot line but not to any exterior lot lines; 2) If a rear access alley is developed then the access easement must be 24 feet wide and the eastern property line shall have a six foot brick privacy wall constructed as part of the required infrastructure); seconded by Mayor Leary.

Attorney Rebecca Wilson, representing the contract purchasers, summarized the location of the property, provided a street view of the property, site plan, variance and setback requests, Planning and Zoning (P&Z) Board recommendation, and compatibility with the neighborhood. She listed the other things they agreed to, including building Santa Barbara style homes, and their willingness to build a six-foot masonry wall on the rear. She spoke about her disagreement with staff regarding the comprehensive plan test and how staff determines this.

Regarding the variance request, the applicant requested building setback variances to be established. The setbacks shown for the front, rear and north sides conform to code. The applicant requested to reduce the interior setbacks to 5' (from 7.5'). The P&Z Board had no objection to the interior lot setback changes that only affect these future homes. However, the P&Z Board did not support the reduced street setback to Tatum Avenue which is less than the street setback for the home directly across that street on the opposite corner.

Commissioner Cooper spoke in opposition to the request because of it not complying with the City's land use codes that require 75' lot width and not complying with the City's comprehensive plan test. Commissioner Seidel asked how often we approve a smaller lot size than the code requires. Mr. Briggs responded around 30%-40% of the ones that come to the Commission. Mr. Briggs addressed the alleyway and

garbage pickup, and the design to put the garages in the rear so the homes are more attractive on the Pennsylvania frontage. Commissioner Seidel asked about having three lots instead of four and what happens to the oak trees during development. Ms. Wilson stated the request is for four lots, not three, and they have not done a tree survey. Planning Director Dori Stone expressed staff's denial of the request because staff does not believe that they should ever recommend to create lots that have a variance to them; three lots on this property do not require a variance, however, the four lots for this request does.

The following spoke in favor of the request:

John McDade, 450 Beloit Avenue
Chris Heidrich, 922 N. Pennsylvania Avenue
Frank Baker, 650 Northwood Circle
Janie Baker, 650 Northwood Circle

Amendment to the motion made by Commissioner McMacken that in addition to the conditions that the Planning and Zoning Commission put on he wanted to add that the four residential units will not be of uniform elevation on the exteriors and that they will have significant architectural variation among them and the architectural style of the homes may be interrelated and compatible; seconded by Commissioner Cooper. Upon a roll call vote on the amendment, Mayor Leary and Commissioners Seidel, Sprinkel, Cooper and McMacken voted yes. The motion carried unanimously with a 5-0 vote.

Upon a roll call vote on the main motion, Mayor Leary and Commissioners Sprinkel and McMacken voted yes. Commissioners Seidel and Cooper voted no. The motion carried with a 3-2 vote.

Public comments (items not on the agenda)

Robert Rich, 502 Brechin Drive, spoke about the speeders on Brechin Drive and the sidewalks that he believed will have no impact on the speed limit. He spoke about the problems associated with Kimbrace Place. He asked that staff review this before completing the sidewalk project. City Manager Knight will look into this.

Recess

A recess was taken from 5:34 - 5:52 p.m.

Budget Public Hearings:

Mayor Leary made the following comments: "The millage rate needed for Fiscal Year 2016 to generate the same property tax revenue for the City as in 2015, based on the Property Appraiser's certification, is 3.8774 mills."

The budget proposed by the staff with amendments generally agreed to by the City Commission requires a millage of 4.0923 mills which has been the rate levied by the city for the last seven years. The proposed millage of 4.0923 mills would represent an increase in property taxes, not counting new construction and the City's dedicated increment value payment to the Community Redevelopment Agency, of 5.54%. This increase in property taxes levied over the prior year is not due to any change in tax rate but is due to the increase in assessed values of properties.

In addition, a 0.0892 mill voted debt service is levied to cover the debt service of the General Obligation Bonds, Series 2004 approved by the citizens of Winter Park at the June 4, 1996 bond referendum, and a 0.1858 mill voted debt service is levied to cover the debt service of the General Obligation Bonds, Series 2011 approved by the citizens of Winter Park at the May 16, 2000 bond referendum." "This will be a simultaneous public hearing on two ordinances."

Attorney Brown read both ordinances by title. There were no public comments.

ORDINANCE NO. 3011-15: AN ORDINANCE OF THE CITY OF WINTER PARK, FLORIDA ADOPTING A 4.0923 MILL AD VALOREM TAX LEVY UPON ALL REAL AND PERSONAL PROPERTY FOR APPROPRIATION TO THE GENERAL OPERATING EXPENSES OF THE CITY, A .0892 MILL VOTED DEBT SERVICE LEVY UPON ALL REAL AND PERSONAL PROPERTY FOR APPROPRIATION TO THE CITY OF WINTER PARK, FLORIDA GENERAL OBLIGATION BONDS, SERIES 2004, AND A .1858 MILL VOTED DEBT SERVICE LEVY UPON ALL REAL AND PERSONAL PROPERTY FOR APPROPRIATION TO THE CITY OF WINTER PARK, FLORIDA GENERAL OBLIGATION BONDS, SERIES 2011 Second Reading

Motion made by Commissioner McMacken to adopt the millage ordinance; seconded by Commissioner Cooper. Upon a roll call vote, Mayor Leary and Commissioners Seidel, Sprinkel, Cooper and McMacken voted yes. The motion carried unanimously with a 5-0 vote.

ORDINANCE NO. 3012-15: AN ORDINANCE OF THE CITY OF WINTER PARK, FLORIDA ADOPTING THE ANNUAL BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2015 AND ENDING SEPTEMBER 30, 2016 AND ACCOMPANYING FIVE YEAR CAPITAL IMPROVEMENT PLAN; APPROPRIATING FUNDS FOR THE GENERAL FUND, DESIGNATIONS TRUST FUND, STORMWATER UTILITY FUND, COMMUNITY REDEVELOPMENT FUND, FEDERAL FORFEITURE FUND, POLICE GRANT FUND, DEBT SERVICE FUND, WATER AND SEWER FUND, ELECTRIC UTILITY FUND, FLEET MAINTENANCE FUND, VEHICLE/EQUIPMENT REPLACEMENT FUND, EMPLOYEE INSURANCE FUND, GENERAL INSURANCE FUND, CEMETERY TRUST FUND, GENERAL CAPITAL PROJECTS FUND AND STORMWATER CAPITAL PROJECTS FUND; PROVIDING FOR MODIFICATIONS; PROVIDING FOR AMENDMENTS TO SAID ANNUAL BUDGET TO CARRY FORWARD THE FUNDING OF PURCHASE ORDERS OUTSTANDING AND UNSPENT PROJECT BUDGETS AS OF SEPTEMBER 30, 2015; AND AUTHORIZING TRANSFER OF FUNDS HEREIN APPROPRIATED BETWEEN DEPARTMENTS SO LONG AS THE TOTAL FUND APPROPRIATIONS SHALL NOT BE INCREASED THEREBY Second Reading

Motion made by Commissioner McMacken to adopt the budget ordinance; seconded by Commissioner Cooper. Upon a roll call vote, Mayor Leary and Commissioners Seidel, Sprinkel, Cooper and McMacken voted yes. The motion carried unanimously with a 5-0 vote.

- c. Continuance of public hearings: Request of Phil Kean Designs, Inc. for the property at 652 West Morse Boulevard:

AN ORDINANCE AMENDING CHAPTER 58 "LAND DEVELOPMENT CODE" ARTICLE I, "COMPREHENSIVE PLAN" SO AS TO CHANGE THE FUTURE LAND USE DESIGNATION OF COMMERCIAL TO CENTRAL BUSINESS DISTRICT FUTURE LAND USE ON THE PROPERTY AT 652 WEST MORSE BOULEVARD, MORE PARTICULARLY DESCRIBED HEREIN, PROVIDING FOR CONFLICTS, SEVERABILITY AND EFFECTIVE DATE. First Reading

AN ORDINANCE AMENDING CHAPTER 58 "LAND DEVELOPMENT CODE" ARTICLE III, "ZONING" AND THE OFFICIAL ZONING MAP SO AS TO CHANGE FROM OFFICE (O-1) DISTRICT ZONING TO COMMERCIAL (C-2) DISTRICT ZONING ON THE PROPERTY AT 652 WEST MORSE BOULEVARD, MORE PARTICULARLY DESCRIBED HEREIN, PROVIDING FOR CONFLICTS, SEVERABILITY AND AN EFFECTIVE DATE. First Reading

Conditional use approval to redevelop the property into 11 residential units that are two and three story in height with a total project size of 40,566 square feet.

Attorney Brown read both ordinances by title. Planning Manager Jeff Briggs stated this is a simultaneous public hearing, and conditional use approval which requires two hearings of the conditional use. He explained the location of the property and current zoning of O-1 (Office) and the request to rezone the property to C-2 (Commercial) to build residential townhomes two and three stories in height. He stated the current building facing Morse Boulevard is two stories in height, and the three buildings further back on the site are three stories. Because of the one and two story character along Morse Boulevard, the applicant agreed to reduce the size of the scale along Morse to two stories to be compatible with the character. He spoke about the driveway access to the buildings being in the rear off of Welbourne and not from Morse Boulevard. Mr. Briggs addressed the parking spaces for this project as well as the Floor Area Ratio (FAR) and terracing on the third floors. He explained the Planning and Zoning recommendation and the conditions agreed to by the applicant.

Jacob Farmer, 135 N. Knowles Avenue, on behalf of Phil Kean Designs, showed the digital 3-D fly-around images shown at the Planning and Zoning Board meeting. Per questioning by Commissioner Cooper, there was discussion regarding the City owned property they will be using and if the City should ask the applicant to purchase it for their project since they are going to be improving the property. The applicant agreed to maintain the property, and will work with the Parks Department for any changes that may be made to the property. Other discussion ensued regarding parking at that location.

Commissioner McMacken stated he viewed the property and surrounding area. He made the determination that the project is too dense for the site. Commissioner McMacken disagreed with the fourth building, with residential properties counting on greenspace to be the park that is City owned property, and having to parallel park vehicles on City property to make this work. The need to put feet on the street was also addressed.

Motion made by Commissioner Sprinkel to accept the comprehensive plan ordinance on first reading; seconded by Mayor Leary. No public comments were made. **Upon a roll call vote, Mayor Leary and Commissioners Seidel, Sprinkel and Cooper voted yes. Commissioner McMacken voted no. The motion carried with a 4-1 vote.**

Motion made by Mayor Leary to accept the zoning ordinance on first reading; seconded by Commissioner Seidel. No public comments were made. **Upon a roll call vote, Mayor Leary and Commissioners Seidel, Sprinkel and Cooper voted yes. Commissioner McMacken voted no. The motion carried with a 4-1 vote.**

Motion made by Commissioner Cooper to approve the conditional use to be accompanied by a developer's agreement to be worked out by staff and the applicant before the next meeting that addresses the maintenance of the property along the City easement (path and upkeep); seconded by Commissioner McMacken. Upon a roll call vote, Mayor Leary and Commissioners Seidel, Sprinkel and Cooper voted yes. Commissioner McMacken voted no. The motion carried with a 4-1 vote.

d. Request of Sydgan Corporation:

AN ORDINANCE OF THE CITY OF WINTER PARK, FLORIDA, VACATING AND ABANDONING THE 5 FOOT UTILITY EASEMENT LOCATED ON BLOCK "G" OF THE HOME ACRES SUBDIVISION AND THE 1999 FLORIDA POWER CORPORATION DISTRIBUTION EASEMENT, MORE PARTICULARLY DESCRIBED HEREIN; PROVIDING AN EFFECTIVE DATE. First Reading

Attorney Brown read the ordinance by title. Public Works Director Troy Attaway explained the two easements: one is for Florida Power (now Winter Park Electric) and the other is a platted utility easement from 1926. Block "G" is the block where the eight story apartment building approved by the DRC for construction will be built. He stated the 5' platted utility easement runs up the middle of the block and that neither easement is needed.

Motion made by Commissioner McMacken to accept the ordinance on first reading; seconded by Commissioner Cooper. No public comments were made. **Upon a roll call vote, Mayor Leary and Commissioners Seidel, Sprinkel, Cooper and McMacken voted yes. The motion carried unanimously with a 5-0 vote.**

Comments to departing City Attorney Larry Brown:

Mayor Leary stated this is the last meeting for Attorney Brown. He stated Attorney Brown was always available, a great ally to the Commission and a great resource. He commented that he appreciated Attorney Brown's sense of humor and great discussions and will miss him. He thanked Attorney Brown for his services to the City.

City Commission Reports:

a. Commissioner Seidel – Spoke about lot splits and the stormwater associated with that. Mayor Leary asked that he reach out to staff to look at what issues are causing flooding when subdividing properties and for developing other properties.

b. Commissioner Sprinkel – Spoke about her visit to UCF and the great college and positive impact UCF has on the area.

c. Commissioner Cooper – Spoke about having legal fees paid by the requesting developers (staff is already looking into this); invited the Commission to come to her Coffee Talk on Wednesday; spoke on the Central Florida water initiative issue and our issues with flooding; believed there to be a weakness in our code regarding parking spaces (Commission will discuss regarding the interpretation of the code); wanted to include staff recommendations in the reports coming to them for items of approval; asked to schedule a time to discuss C-2 zoning in general and where they want to go with this regarding a policy (Commissioner Sprinkel asked that this discussion also include other zoning whereby Planning Director Stone stated she can provide a briefing on any land use/zoning code the Commission wants); and asked if the City architect position got approved. City Manager Knight stated they are looking at a position they are considering to fill with this position.

d. Commissioner McMacken – Spoke about the magazine on the Delta airplane showcasing Orlando where many of the places are actually Winter Park; spoke about the upcoming Art Festival; and attended the retirement for 41 year employee Sam Jones.

e. Mayor Leary – No report.

The meeting adjourned at 6:56 p.m.

Mayor Steve Leary

ATTEST:

City Clerk Cynthia S. Bonham, MMC



city commission agenda item

item type	Consent Agenda	meeting date	October 12, 2015
prepared by department division	Purchasing Division	approved by	<input checked="" type="checkbox"/> City Manager <input type="checkbox"/> City Attorney <input type="checkbox"/> N/A
board approval	<input type="checkbox"/> yes <input type="checkbox"/> no <input checked="" type="checkbox"/> N/A		
		final vote	

Purchases over \$75,000

	vendor	item background	fiscal impact	motion recommendation
1	Waste Pro of Florida	Blanket Purchase Order for Residential, Commercial & Construction Solid Waste Collection RFP-6-2009	Total expenditure included in approved FY16 budget. Amount: \$2,200,000.00	Commission approve Blanket Purchase Order to Waste Pro of Florida for Residential, Commercial & Construction Solid Waste Collection.
The City of Winter Park utilized a formal solicitation to award this contract. The current contract will expire on July 29, 2016. This Blanket Purchase Order will expire September 30, 2016 but any remaining funds will be cancelled and reallocated to the new solid waste services contract.				
2	Air Liquide Industrial Company	Blanket Purchase Order for Liquid Oxygen for Water Treatment Facilities	Total expenditure included in approved FY16 budget. Amount: \$150,000	Commission approve Blanket Purchase Order to Air Liquide Industrial Company for Liquid Oxygen.
The City Commission approved piggyback contract with Orlando Utilities Commission – RFP #35 for this product on June 23, 2013. The current contract term expires May 29, 2017. This Blanket Purchase Order will expire September 30, 2016.				
3	Odyssey Manufacture Co.	Blanket Purchase Order for Sodium Hypochlorite	Total expenditure included in approved FY16 budget. Amount: \$155,000	Commission approve Blanket Purchase Order to Odyssey Manufacture Co. for Sodium Hypochlorite
This purchase will be made utilizing piggyback contract with City of Eustis – 010-10. The current contract term will expire on June 22, 2016 but is expected to renew. This Blanket Purchase Order will expire September 30, 2016. If the piggyback contract is not renewed then this blanket purchase order will be cancelled on June 22 nd .				
4	GATSO USA	Blanket Purchase Order for Red Light Safety Enforcement	Total expenditure included in approved FY16 budget. Amount: \$403,200	Commission approve Blanket Purchase Order to GATSO USA for Red Light Safety Enforcement
This Blanket Purchase Order will expire September 30, 2016.				
5	Stephen Technology	Blanket Purchase Order for Trenchless Repair to Sanitary Sewer Main	Total expenditure included in approved FY16 budget. Amount: \$120,000	Commission approve Blanket Purchase Order to Stephen Technology for Trenchless Repair to Sanitary Sewer Main
This is a Sole Source purchase. This Blanket Purchase Order will expire September 30, 2016.				

	vendor	Item \ background	fiscal impact	motion / recommendation
6	Perma Liner Industry	Blanket Purchase Order for Trenchless Repair to Sanitary Sewer Main	Total expenditure included in approved FY16 budget. Amount: \$300,000	Commission approve Blanket Purchase Order to Perma Liner Industry for Trenchless Repair to Sanitary Sewer Main
This is a Sole Source purchase. This Blanket Purchase Order will expire September 30, 2016.				
7	Florida Power & Light Co.	Blanket Purchase Order for Bulk Power Supply ITN-13-2013	Total expenditure included in approved FY16 budget. Amount: \$10,500,000	Commission approve Blanket Purchase Order to Florida Power & Light Co. for Bulk Power Supply
This Blanket Purchase Order will expire September 30, 2016.				
8	Florida Power & Light Co.	Blanket Purchase Order for Power Transmission	Total expenditure included in approved FY16 budget. Amount: \$800,000	Commission approve Blanket Purchase Order to Florida Power & Light CO. for Power Transmission
This Blanket Purchase Order will expire September 30, 2016.				
9	Covanta Energy Marketing LLC	Blanket Purchase Order for Bulk Power Supply ITN-13-2013	Total expenditure included in approved FY16 budget. Amount: \$4,000,000	Commission approve Blanket Purchase Order to Covanta Energy Marketing LLC for Bulk Power Supply
This Blanket Purchase Order will expire September 30, 2016.				
10	Duke Energy	Blanket Purchase Order for Transmission pursuant to Duke Energy Tariff	Total expenditure included in approved FY16 budget. Amount: \$2,100,000	Commission approve Blanket Purchase Order to Duke Energy for Transmission pursuant to Duke Energy Tariff
This Blanket Purchase Order will expire September 30, 2016.				
11	Gainesville Regional Utilities (GRU)	Blanket Purchase Order for Bulk Power Supply ITN-13-2013	Total expenditure included in approved FY16 budget. Amount: \$4,600,000	Commission approve Blanket Purchase order to Gainesville Regional Utilities (GRU) for Bulk Power Supply
This Blanket Purchase Order will expire September 30, 2016.				
12	Orlando Utilities Commission	Blanket Purchase Order for Bulk Power Supply and Power Transmission ITN-13-2013	Total expenditure included in approved FY16 budget. Amount: \$4,600,000	Commission approve Blanket Purchase Order to Orlando Utilities Commission for Bulk Power Supply and Power Transmission
This Blanket Purchase Order will expire September 30, 2016.				
13	Winter Park Public Library	Blanket Purchase Order for Annual Organizational Support	Total expenditure included in approved FY16 budget. Amount: \$1,422,472	Commission approve Blanket Purchase Order to Winter Park Public Library for Annual Organizational Support
This Blanket Purchase Order will expire September 30, 2016.				

Formal Solicitation

	vendor	item background	fiscal impact	motion recommendation
14	Avcon, Inc.	RFQ-15-2015 - Continuing Services Contract for Engineering & Design Services of Florida Department of Transportation (FDOT) Local Agency Program (LAP) projects		Commission approve FDOT review and Notice to Proceed to award was issued September 22, 2015.
On June 9, 2015, Winter Park entered into a \$450,000 grant LAP Agreement with FDOT for the engineering and design of the St. Andrews Trail Project – a storm water pipe installation with surface recreational trail project. This Request for Qualification (RFQ) process is for the purpose of prequalifying three professional firms, pursuant to Federal Highway Administration (FHWA) requirements, for design of the St. Andrews Trail Project, as well as any future LAP projects for a period of up to five years.				

	vendor	item background	fiscal impact	motion recommendation
15	Comprehensive Engineering Services, Inc.	RFQ-15-2015 - Continuing Services Contract for Engineering & Design Services of Florida Department of Transportation (FDOT) Local Agency Program (LAP) projects		Commission approve FDOT review and Notice to Proceed to award was issued September 22, 2015.
On June 9, 2015, Winter Park entered into a \$450,000 grant LAP Agreement with FDOT for the engineering and design of the St. Andrews Trail Project – a storm water pipe installation with surface recreational trail project. This Request for Qualification (RFQ) process is for the purpose of prequalifying three professional firms, pursuant to Federal Highway Administration (FHWA) requirements, for design of the St. Andrews Trail Project, as well as any future LAP projects for a period of up to five years.				
16	Kelly, Collins, & Gentry, Inc.	RFQ-15-2015 - Continuing Services Contract for Engineering & Design Services of Florida Department of Transportation (FDOT) Local Agency Program (LAP) projects		Commission approve FDOT review and Notice to Proceed to award was issued September 22, 2015.
June 9, 2015, Winter Park entered into a \$450,000 grant LAP Agreement with FDOT for the engineering and design of the St. Andrews Trail Project – a storm water pipe installation with surface recreational trail project. This Request for Qualification (RFQ) process is for the purpose of prequalifying three professional firms, pursuant to Federal Highway Administration (FHWA) requirements, for design of the St. Andrews Trail Project, as well as any future LAP projects for a period of up to five years.				

17	Tyler Technologies	ITN-11-2015 – Enterprise Resource Planning (ERP) System Selection	This project is budgeted in the City's 5 year CIP	Commission authorize staff to enter into negotiations with the top ranked firm, Tyler Technologies.
On July 1, 2015 the City issued an Invitation to Negotiate for an ERP System Selection. A total of four (4) companies responded to the solicitation. A post presentation selection identified the top ranked firm as Tyler Technologies. Staff seeks authorization to enter into negotiations with the top ranked firm.				



city commission agenda item

Item type	Action Item Requiring Discussion	meeting date	October 12, 2015
prepared by	City Manager	approved by	<input checked="" type="checkbox"/> City Manager <input type="checkbox"/> City Attorney <input type="checkbox"/> N/A
department			
division			
board approval	<input type="checkbox"/> yes <input type="checkbox"/> no <input checked="" type="checkbox"/> N/A		final vote
strategic objective	<input type="checkbox"/> Exceptional Quality of Life <input type="checkbox"/> Intelligent Growth & Development <input type="checkbox"/> Investment in Public Assets & Infrastructure	<input checked="" type="checkbox"/> Fiscal Stewardship <input type="checkbox"/> Public Health & Safety	

subject

2016 State Legislative Priorities

motion | recommendation

Approve State legislative priorities for 2016.

background

The 2016 Legislative session is scheduled to begin in January next year due to the election cycle. Attached is a schedule of legislative priorities recommended by staff. The Commission is requested to review, revise if desired, and approve the list. Once approved staff will work with the lobbyist to advance these projects/issues.

alternatives | other considerations

N/A

fiscal impact

TBD

City of Winter Park 2016 State Legislative Priorities

Projects:

- Mead Garden Lake Lillian Restoration – Phase 2
- Acquisition of Howell Branch Creek Property for Open Space and Linear Parkland
- Acquire excess CSX ROW from State including that within Central Park
- Assist with widening of SR 426 between 17-95 and Pennsylvania Ave.
- New Library
- Acquisition of post office property for expansion of Central Park
- Expansion of reuse water system
- Green energy generation (Solar, etc.)
- 17-92 Beautification and corridor improvements
- Assistance with I-4 Ultimate utility improvements associated with water quality
- Expansion of sewer infrastructure to eliminate septic tanks

Legislative matters:

- Pension Reform
- Remove statutory requirements for public employers to provide subsidized health, hospitalization and other insurance coverage for retirees (FS 112.0801)
- Dedicated Funding Source for Commuter Rail
- Protection of home rule authority including control of local planning issues, revenues and expenditures
- Oppose Public Service Commission regulation of municipal owned electric utilities
- Oppose revision of utility relocate law to put burden of relocations on the taxpayers



city commission public hearing

item type	Public Hearing	meeting date	October 12, 2015
prepared by department division	Jeff Briggs Planning Department	approved by	<input checked="" type="checkbox"/> City Manager <input checked="" type="checkbox"/> City Attorney <input type="checkbox"/> N/A
board approval	Planning & Zoning Board	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> N/A	6-0 final vote

Subject: **Second Reading and Second Public Hearing on the Proposed Townhouse Redevelopment of 652 W. Morse Boulevard. (New text in yellow)**

This public hearing involves the request by the Phil Kean Design Group, (contract purchasers contingent upon rezoning) for the property at 652 West Morse Boulevard, just to the west of the Coop Restaurant. The property is 110 feet along Morse Blvd. and 300 feet deep and 29,190 sq. ft. (0.67 acres) in size. The existing two story office building and parking lot is to be removed for the redevelopment of this land. At the first public hearing on September 28th, the City Commission asked for a Development Agreement which would include a requirement for the future Homeowners Association to maintain the city-owned parcel to the west. That Development Agreement is now part of this agenda package.

There are three combined requests to the City:

1. Change to the Comp. Plan future land use map from Commercial to Central Business District; and
2. Change to the Zoning Map from Office (O-1) to Commercial (C-2); and
3. Conditional Use for the construction of eleven (11) residential townhouses, 2 & 3 stories in height with a total project size of 40,566 square feet.

Summary:

When the Community Redevelopment Area was established in 1994, one of the primary goals was to encourage the redevelopment of West Morse Boulevard from New York Avenue to Denning Drive. To that end, the City administratively changed the Comprehensive Plan future land use map in 1995 for all the properties which were Residential to a Commercial future land use allowing property to be rezoned from residential to office or commercial. By "commercial", that meant, at that time, to be rezoned to Commercial C-3 or to Office O-1.

That is exactly what the current owners of this property did in 1996. They purchased residential property, had it rezoned in conformance with the CRA Plan and the Comprehensive Plan to Office (O-1). Then they constructed the existing two story, 6,500 square foot office building.

However, as the redevelopment of Morse Boulevard continued in 1999 with the redevelopment of the office buildings and parking garage across Morse Blvd. at the NW corner of Morse and Pennsylvania, the zoning needed for that density and building setback was the Commercial (C-2) designation. The major difference between office (O-1) or commercial (C-3) zoning and

commercial (C-2) zoning is that O-1 & C-3 have a 45% FAR and 10 foot street setbacks and the C-2 zoning has a 200% FAR and potentially a zero front setback.

In turn, several other properties along West Morse Blvd have been designated for Central Business District future land use and C-2 zoning over the ensuing years such as the vacant NE corner of Morse and Pennsylvania in 2000; the Regions Bank site in 2003; the property at 403 W. Morse in 2003 and the adjacent 421 W. Morse in 2014.

Project Development Standard Parameters:

The CBD land use and C-2 zoning allow a maximum of 17 units per acre. Based on this lot size of 29,190 sq. ft., these eleven (11) units are the maximum number permitted. The CBD/C-2 designations have a maximum FAR of 200% and this project FAR is at 139.7%. Coincidentally that is the exact same FAR as this applicant's previous townhouse project at 403/421 W. Morse (NW corner of Virginia).

In order to be respectful of the existing predominately one and two story character along Morse Blvd., the applicant is proposing a two story building along the Morse Blvd. frontage and then interior to the site, three other buildings that are three stories in height. The height limit for a two story buildings is 30 feet and this project is at 24.5 feet plus an allowable 4 additional feet of parapet height. The height limit for three story buildings is 40 feet and this project is at 36.5 feet plus 4 additional feet of parapet height.

The street front setback for the two story building on Morse Blvd. is 10 feet to the building wall and 5 feet to the bay window and porch features. Five feet matches the setback for the existing office building as well as the setback for the Coop Restaurant.

Note that there are no driveways/curb cuts on Morse Blvd. This project's access will be the same as for the current office building which is from the rear off Welbourne Avenue. Parking is being provided per Code (2½ spaces per unit) but in a different fashion than typically done. In this case, eight of the eleven residential units will have 3-car garages and the other three units will have 2-car garages. That is 28 parking spaces (albeit all private) to match the Code requirement. There are 2 on-site visitor parking spaces but visitors can also (except when the spray park is actively used) park in the city parking lot next to the spray park and walk to the units. But to help the City and themselves, the applicants are proposing to create three new parallel parking spaces on the north side of the driveway, opposite the spray park. That will provide more parking for the spray park as well as added parking for their use. Also at the rear entrance to the project is the area for storm water retention. The applicant will need to provide a space where the residents can place their 11 garbage carts.

The proposed setback of the third floors on the outside visible facades is an issue that was discussed by the Planning Board. In the design, while there are bay window bump-out articulations and a ground floor porch element, the building façade walls are vertical. In order to mandate building articulation and terracing on the third floors, the Comp. Plan requires that the third floor be setback from the two floors below via a prescriptive one foot for each foot of floor height; but it specifies "on street frontages". In this case none of the third floors are "on street frontages". However, in the C-2 zoning code the terracing requirement is more generic and it says "for any building over two stories...a significant portion of the top floor shall be terraced and stepped back from the exterior face of the next lower floors".

The P&Z Board had no issue with the interior facades facing the private motor court or the facades of Buildings # 3 & #4 which are not visible from the street. The critical piece is the northernmost Building #2 which is visible from Morse Blvd. Particularly visible will be the flat end wall of that building (facing Morse Blvd.) that needs articulation and terracing. Note that the end walls of the two-story building on Morse Blvd. have significant architectural articulation and appeal. Thus, P&Z recommended and the applicant agreed to a condition requiring compliance with Code for Building #2.

Traffic/Mobility Impacts:

There is no substantial difference in traffic generation between the existing and proposed uses. Based on the I.T.E. data, these 11 townhouses will have a daily traffic generation of 104 trips per day. The existing 6,500 square foot office generates 110 trips per day.

Comprehensive Plan policy and C-2 Zoning criteria: There are some Comprehensive Plan policies that relate to this type of land use/zoning and project. Those Comprehensive Plan policies and Zoning Code sections are included as an appendix to this staff report.

Other Considerations:

This project is intended to be developed as fee simple townhouses pursuant to a replat (not as a condominium). To the extent that any "subdivision approval" is required, then this process provides that approval. This fee simple/replat marketing approach is what was approved by the City for the 400 Swoope townhouse project, the Morse/Virginia Townhouse project, 125 S. Interlachen Avenue and 170 E. Morse Blvd.

The scale of this project and the materials presented allows the City to combine the Preliminary and Final Conditional Use approvals. The final civil engineering and landscape plans can be administratively approved. However, the Code requires two public hearings for approval by the City Commission for three story buildings within the Central Business District.

Staff Analysis of the Applicant's Requests:

Since 1995, the CBD designation and C-2 zoning has been granted to four other properties along Morse Blvd. The request does represent a significant increase in development intensity going from an O-1 office FAR of 45% to this project's 139.7% FAR under C-2 zoning. That is an increase of 27,430 square feet more building area on this site.

There is a great market desire for residential units within close proximity to Park Avenue. Over the past two years there have been 17 new luxury townhomes approved by the City in or near the CBD and this will add another 11 units. From the public's perspective it seems that the acceptance focuses less on the size of project and more on the quality of the architectural product that fits in with the context of the surrounding area. With the exception of Building #2, this project would accomplish that end result.

Planning and Zoning Board Recommendation:

Motion made by Mr. Sacha, seconded by Mr. Gottfried to approve the ordinance amending the "Comprehensive Plan" and the Future Land Use Map so as change the future land use map designation of Commercial to Central Business District on the property at 652 West Morse Boulevard.

Motion carried unanimously with a 6-0 vote. S. De Ciccio abstained.

Motion made by Mr. Sacha, seconded by Mr. Gottfried to approve the ordinance amending the official Zoning Map so as change the existing zoning designation of Office (O-1) district to Commercial (C-2) district on the property at 652 West Morse Boulevard.

Motion carried unanimously with a 6-0 vote. S. De Ciccio abstained.

Motion made by Mr. Sacha, seconded by Mr. Gottfried to grant Conditional Use approval to redevelop the property at 652 West Morse Boulevard, prospectively zoned C-2, into eleven (11) residential units, two and three story in height with a total project size of 40,566 square feet with the following conditions agreed to by the applicant:

- 1. That Building #2 visible from Morse Blvd. must be modified such that per Code "a significant portion of the top floor shall be terraced and stepped back from the exterior face of the lower floors" on the western and northern sides.**
- 2. That zoning exceptions/variances are granted for the absence of third floor terracing and articulation for Buildings #3 and #4.**
- 3. The electric transformer/switch gear and all backflow preventers shall be located where not visible from a public street and shall also be landscaped so as to be effectively screened from view.**
- 4. Changes to the Welbourne Avenue parking arrangement are approved for the creation of three parallel parking spaces.**
- 5. That a common area be provided in the rear (not in the right-of-way) for the placement of the 11 trash carts.**
- 6. As the Applicant is not the owner of the Property, but rather is the purchaser under a contract for sale and purchase to buy the Property, unless specifically consented to by Owner in writing, no approval issued pursuant to the Application or any condition imposed in connection therewith, shall be binding upon the Property or the current Owner of the Property unless and until Applicant, or its successor or assign, acquires title to the Property. If Applicant or its successor or assign does not acquire title to the Property within one hundred fifty (150) days following the approval by the City Commission of this project and the expiration of any appeal period applicable thereto, the Conditional Use Permit shall be null and void.**

Motion carried unanimously with a 6-0 vote. S. De Ciccio abstained.

Planning and Zoning Board Minutes: Sept. 1, 2015

REQUEST OF PHIL KEAN DESIGNS INC. FOR: AN ORDINANCE AMENDING THE "COMPREHENSIVE PLAN" AND THE FUTURE LAND USE MAP SO AS CHANGE THE FUTURE LAND USE MAP DESIGNATION OF COMMERCIAL TO CENTRAL BUSINESS DISTRICT ON THE PROPERTY AT 652 WEST MORSE BOULEVARD.

REQUEST OF PHIL KEAN DESIGNS INC. FOR: AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP SO AS CHANGE THE EXISTING ZONING DESIGNATION OF OFFICE (O-1) DISTRICT TO COMMERCIAL (C-2) DISTRICT ON THE PROPERTY AT 652 WEST MORSE BOULEVARD.

REQUEST OF PHIL KEAN DESIGNS INC. FOR: CONDITIONAL USE APPROVAL TO REDEVELOP THE PROPERTY AT 652 WEST MORSE BOULEVARD, PROSPECTIVELY ZONED C-2, INTO ELEVEN (11) RESIDENTIAL UNITS, THAT ARE TWO AND THREE STORY IN HEIGHT WITH A TOTAL PROJECT SIZE OF 40,566 SQUARE FEET.

Mrs. De Ciccio announced that she is the owner of the subject property and that she will not participate in the discussion or vote on this item. She completed Form 8B, Memorandum of Voting Conflict, and that is included as a part of these minutes.

Planning Manager Jeffrey Briggs presented the staff report. He explained that this public hearing involves the request by the Phil Kean Design Group, who have a contract to purchase (contingent upon rezoning) the property at 652 West Morse Boulevard, just to the west of the Coop Restaurant. The property is 110 feet along Morse Blvd. and about 300 feet deep and is 29,190 sq. ft. (0.67 acres) in size. The existing two story office building and parking lot is to be removed for the redevelopment of this land.

Mr. Briggs discussed the CRA/Zoning background and history, project development standards, traffic impacts, and comprehensive plan policy and zoning criteria. This project is intended to be developed as fee simple townhouses pursuant to a replat (not as a condominium). He explained that the scale of this project and the materials presented allows the City to combine the Preliminary and Final Conditional Use approvals. The final civil engineering and landscape plans can be administratively approved. However, the Code requires two public hearings for approval by the City Commission for three story buildings within the Central Business District. He then discussed the terracing setback issues for the third floors and the rationale for a staff condition regarding compliance. Staff recommended approval of both the Preliminary and Final Conditional Use approvals conditions:

Phil Kean, 229 Alexander Place, the applicant, stated that they agree and accept the conditions proposed by staff. He provided an overview of the proposed project with a 3-D fly-around presentation. He responded to Board member questions and concerns. No one wished to speak in favor of or in opposition to the request. Public Hearing closed.

The Board members expressed no concerns with the request.

Motion made by Mr. Sacha, seconded by Mr. Gottfried to approve the ordinance amending the "Comprehensive Plan" and the Future Land Use Map so as change the future land use map designation of Commercial to Central Business District on the property at 652 West Morse Boulevard. Motion carried unanimously with a 6-0 vote. S. De Ciccio abstained.

Motion made by Mr. Sacha, seconded by Mr. Gottfried to approve the ordinance amending the official Zoning Map so as change the existing zoning designation of Office (O-1) district to Commercial (C-2) district on the property at 652 West Morse Boulevard. Motion carried unanimously with a 6-0 vote. S. De Ciccio abstained.

Motion made by Mr. Sacha, seconded by Mr. Gottfried to grant Conditional Use approval to redevelop the property at 652 West Morse Boulevard, prospectively zoned C-2, into eleven (11) residential units, two and three story in height with a total project size of 40,566 square feet in addition to the following conditions:

- 1. That Building #2 visible from Morse Blvd. must be modified such that per Code “a significant portion of the top floor shall be terraced and stepped back from the exterior face of the lower floors” on the western and northern sides.**
- 2. That zoning exceptions/variances are granted for the absence of third floor terracing and articulation for Buildings #3 and #4.**
- 3. The electric transformer/switch gear and all backflow preventers shall be located where not visible from a public street and shall also be landscaped so as to be effectively screened from view.**
- 4. Changes to the Welbourne Avenue parking arrangement are approved for the creation of three parallel parking spaces.**
- 5. That a common area be provided in the rear (not in the right-of-way) for the placement of the 11 trash carts.**
- 6. As the Applicant is not the owner of the Property, but rather is the purchaser under a contract for sale and purchase to buy the Property, unless specifically consented to by Owner in writing, no approval issued pursuant to the Application or any condition imposed in connection therewith, shall be binding upon the Property or the current Owner of the Property unless and until Applicant, or its successor or assign, acquires title to the Property. If Applicant or its successor or assign does not acquire title to the Property within one hundred fifty (150) days following the approval by the City Commission of this project and the expiration of any appeal period applicable thereto, the Conditional Use Permit shall be null and void.**

Motion carried unanimously with a 6-0 vote. S. De Ciccio abstained.

New Development Agreement:

PREPARED BY AND RETURN TO:

Jeffrey Briggs, Planning Manager
City of Winter Park
401 S. Park Avenue
Winter Park, FL 32789
(407) 599-3440

After recording, return to:
Winter Park City Clerk
401 S. Park Avenue
Winter Park, FL 32789

Orange County Tax Parcel # 06-22-30-1168-11-030

**DEVELOPER'S AGREEMENT FOR
MORSE BROWNSTONES – 652 WEST MORSE BOULEVARD**

THIS AGREEMENT (“Agreement”) entered into and made as of the ____ day of _____, 2015, by and between the **CITY OF WINTER PARK, FLORIDA**, 401 S. Park Avenue, Winter Park, Florida, 32789 (hereinafter referred to as the “City”), **VIRGINIA AND MORSE, LLC**, a Florida limited liability company (hereinafter referred to as “Developer”), 912 West Fairbanks Avenue, Winter Park, Florida 32789, and **Daniel De Ciccio** and **Shelia G. De Ciccio**, husband and wife, whose address is 1630 Laurel Road, Winter Park, Florida 32789 (referred to as “Owners”).

W I T N E S S E T H

WHEREAS, Developer is the contract purchaser and developer of that certain real property located at 652 West Morse Boulevard, lying within the municipal boundaries of the City, having Orange County Tax Parcel Identification Number 06-22-30-1168-11-030 and is more particularly described on Exhibit “A” attached to and incorporated into this Agreement (hereinafter referred to as “Property”); and

WHEREAS, the Developer desires to develop the Property with eleven (11) residential townhomes totaling approximately 40,566 S.F. subject to a fee simple plat, as more particularly shown on Exhibit “B”, the final site plan, attached to and incorporated into this Agreement by reference (hereinafter, the “Project”); and

WHEREAS, the Owners are the current fee simple owners of the Property and hereby join into and consent to this Agreement and agree that this Agreement is binding upon the Property; and

WHEREAS, the Developer desires to facilitate the development of the Project, in compliance with the laws and regulations of the City and of other governmental authorities, as well as provide assurances that the Project will be compatible with surrounding properties; and

WHEREAS, on October 12, 2015 the City Commission granted certain conditional use approvals and other zoning code exceptions providing the approval for a Project referred to as Morse Brownstones and has approved the development of the Project, provided that Developer abide by the restrictions mutually agreed upon for the operation and future use of the Property, and that this Agreement shall set out the development entitlements, exceptions, conditions and terms of the City’s approvals; and

WHEREAS, this Agreement is not a statutory development agreement pursuant to Chapter 163, Florida Statutes (Florida Local Government Development Agreement Act), and is being entered into by the City pursuant to the City's home rule authority as a condition of development approvals.

NOW THEREFORE, in consideration of the mutual promises and covenants herein contained, the City, Owners and the Developer agree as follows:

SECTION 1. RECITALS

The above recitals are true and correct and form a material part of the Agreement.

SECTION 2. CONDITIONS OF APPROVAL

Developer agrees to develop and maintain the Project and Property in accordance with the conditions of approval imposed by the City Commission concerning the October 12, 2015 approval of the conditional use and other zoning code exceptions, which are outlined as follows:

1. The Project consists of approximately 40,566 square feet of residential development which includes eleven (11) townhomes of two and three stories in height that will be owned in fee simple. Developer shall submit (and obtain approval for) a final plat of the Property to be reviewed and approved by the City in accordance with applicable statutes and ordinances, and thereafter recorded in the Public Records of Orange County, Florida. As part of the final plat process, the Developer shall cause the formation of a Homeowners Association for the Project providing that each of the townhome unit owners shall be members of the homeowners association and each unit and unit owner subject to a set of declaration of covenants, conditions and restrictions. The Project is further subject to the conditions outlined below.

2. That Project Building #2 visible from Morse Blvd. must be modified such that per Code "a significant portion of the top floor shall be terraced and stepped back from the exterior face of the lower floors" on the western and northern sides. Issuance of building permit by the City for this Project shall constitute compliance with this condition.

3. That zoning exceptions/variances are granted for the absence of third floor terracing and articulation for Project Buildings #3 and #4.

4. The electric transformer/switch gear and all backflow preventers shall be located where not visible from a public street and shall also be landscaped so as to be effectively screened from view. Issuance of building permit by the City for this Project shall constitute compliance with this condition.

5. Changes to the Welbourne Avenue parking arrangement are approved for the creation of three parallel parking spaces.

6. That a common area be provided in the rear (not in the right-of-way) for the placement of the 11 trash carts. Issuance of building permit by the City for this Project shall constitute compliance with this condition.

7. Developer shall, at its expense, make the improvements to the City-owned public space located to the west of the Property (being on a portion of real property having Orange County Tax Parcel Identification # 05-22-30-9400-44-010) as shown on the City-approved final site plan for the Project (herein the "Park Improvements"). As part of the final platting of the Property, a use and maintenance

agreement shall be drafted and executed between the homeowners association for this Project and the City providing for such homeowners association's non-exclusive and revocable licensed use and maintenance of the Park Improvements located on such City-owned public space. Such use and maintenance agreement shall be in a form and with terms acceptable to the City, including without limitation, providing that if the Park Improvements are not properly maintained by the Project's homeowners' association, at its expense, that the City shall have the right to remove the Park Improvements or self-maintain the Park Improvements, and charge the costs for the same to the homeowners' association. Such use and maintenance agreement shall provide that the homeowners association and its members (i.e. unit owners) use of the applicable public space is non-exclusive, subject to rules and regulations as may be imposed from time to time by the City, and that the homeowners association and its members shall not interfere with the City's or public's use and enjoyment of the public space and Park Improvements constructed thereon. Further, such agreement shall be subject to termination by the City upon sixty (60) days written notice, and thereafter, the City shall have the right to require the removal of the Park Improvements, or any portion thereof, at the homeowners association's expense. In no event shall certificates of occupancy be issued for the Project or any portion thereof unless and until the aforesaid use and maintenance agreement is executed.

8. In addition to the requirements and obligations of the Developer herein, the development of the Property and the Project shall be subject to the City of Winter Park Code of Ordinances requirements and any other development orders, approvals and permits for the Project and Property, including the conditions of such development orders, approvals and permits.

SECTION 3. STORM WATER RETENTION

The Developer will retrofit the Property to conform to the storm water retention requirements of the City and the St. Johns River Water Management District.

SECTION 4. AMENDMENTS TO THIS AGREEMENT

Amendments to this Agreement, if requested by the Developer, may be permitted if approved following review by the City in conformance with the City's Land Development Code and other applicable requirements of the City.

SECTION 5. AGREEMENT TO BE BINDING

This Agreement, including any and all supplementary orders and resolutions, together with the approved development plan, the master sign plan, and all final site plans, shall be binding upon the Developer and their successors and assigns in title or interest. The provisions of this Agreement and all approved plans shall run with the Property and shall be administered in a manner consistent with Florida Statutes and local law.

SECTION 6. ENFORCEMENT

This Agreement may be enforced by specific performance by either party. In no event shall the City be liable for monetary damages arising out of or concerning this Agreement. In the event that enforcement of this Agreement by the City becomes necessary, and the City is successful in such enforcement, the Developer shall be responsible for all costs and expenses, including attorney's fees, whether or not litigation is necessary, and if necessary, both at trial and on appeal, incurred in enforcing or ensuring compliance with the terms and conditions of this Agreement, which costs, expenses and fees shall also be a lien upon the Property superior to all others. In addition to the foregoing, the City shall be permitted without notice to immediately withhold the issuance of certificates of occupancy and building permits associated with the Project in the event Developer is in violation of any provision of this Agreement until such violation is cured to the City's satisfaction. Further, if Developer fails to

timely pay the City any monies due pursuant to this Agreement, the City may record a Notice of Lien against the Property in the amount owed to the City. Interest on unpaid overdue sums shall accrue at the rate of eighteen percent (18%) compounded annually or at the maximum rate allowed by law if lower than 18%. A copy of such Notice of Lien shall also be delivered to Developer in the same manner as required under this Agreement for delivery of written notices. The recorded Notice of Lien shall constitute a lien upon the Property and the lien may be foreclosed upon for the benefit of the City any time after fifteen (15) days after the Notice of Lien has been recorded in the public records. City may foreclose the lien in accordance with the procedures established in Chapter 702, Florida Statutes, or successor or other statute providing for lien foreclosure procedures. Developer may obtain a release from the lien by paying the amount stated in the lien, plus accrued interest, plus attorney's fees and costs incurred by the City in filing and collecting upon the lien.

SECTION 7. GOVERNING LAW; VENUE

This Agreement shall be governed by and construed in accordance with the laws of the State of Florida. The exclusive venue for purpose of litigation in any action to construe or enforce the provisions of this Agreement shall be in a court of competent jurisdiction in and for Orange County, Florida.

SECTION 8. RECORDING

This Agreement shall be recorded, at Developer's expense, among the Public Records of Orange County, Florida no later than fourteen (14) days after full execution. Notwithstanding the foregoing, the same shall not constitute any lien or encumbrance on title to the Property and shall instead constitute record notice of governmental regulations, which regulates the use and enjoyment of the Property.

SECTION 9. TIME IS OF THE ESSENCE

Time is hereby declared of the essence as to the lawful performance of all duties and obligations set forth in this Agreement.

SECTION 10. SEVERABILITY

If any part of this Agreement is found invalid or unenforceable in any court, such invalidity or unenforceability shall not affect the other parts of this Agreement, if the rights and obligations of the parties contained herein are not materially prejudiced and if the intentions of the parties can be affected. To that end, this Agreement is declared severable.

SECTION 11. DEVELOPMENT PERMITS

Nothing herein shall limit the City's authority to grant or deny any development permit applications or requests subsequent to the effective date of this Agreement. The failure of this Agreement to address any particular City, County, State and/or Federal permit, condition, term or restriction shall not relieve Developer or the City of the necessity of complying with the law governing said permitting requirement, condition, term or restriction. Unless expressly authorized or granted herein, nothing in this Agreement shall constitute or be deemed to constitute or require the City to issue any approval by the City of any rezoning, Comprehensive Plan amendment, variance, special exception, final site plan, preliminary subdivision plan, final plat or subdivision plan, building permit, grading, stormwater drainage, engineering, or any other land use or development approval. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures with respect to same as otherwise set forth in the City's Code of Ordinances.

and subject to any conditions of approval thereof. This Agreement is approved under the City's home rule authority and is not a statutory development agreement under Chapter 163, Florida Statutes.

SECTION 12. SUBORDINATION/JOINDER

Owners represent and warrant to City that they are the fee simple owner of the Property. Unless otherwise agreed to by the City, all liens, mortgages and other encumbrances not satisfied or released of record, must be subordinated to the terms of this Agreement or the lienholder join in this Agreement. It shall be the responsibility of the Developer to promptly obtain the said subordination or joinder, if necessary, in form and substance acceptable to the City Attorney, prior to the City's execution of the Agreement. If the Developer fails to acquire ownership of the Property, or any portion thereof, the Developer's obligations under this Agreement shall remain the obligation of the Owners and their successors and assigns in interests.

SECTION 13. NOTICE

Any notices required or permitted under this Agreement shall be addressed to the City, Owners and the Developer at the addresses listed in the first paragraph of this Agreement, or at such other addresses designated in writing by the party to receive notice. Notices shall be either: (i) personally delivered (including without limitation, delivery by UPS, Federal Express or other commercial courier service), in which case they shall be deemed delivered on the date of delivery; or (ii) sent by certified mail, return receipt requested, in which case they shall be deemed delivered on the date shown on the receipt unless delivery is refused or intentionally delayed by the addressee, in which event they shall be deemed delivered on the date of deposit in the U.S. Mail.

SECTION 14. MISCELLANEOUS

a. Nothing contained in this Agreement nor in any instruments executed pursuant to the terms of this Agreement shall be construed as a waiver or attempted waiver by the City of its home rule authority, police power, zoning authority and sovereign immunity under the Constitution and laws of the State of Florida or any other privilege, immunity or defense afforded to the City or the City's officials, officers, employees and agents under the law.

b. This Agreement is entered into voluntarily by the Developer and Owners without duress and after full review, evaluation and consideration by the Developer. Developer and Owners are represented by counsel, or alternatively, has been afforded an opportunity to retain counsel for review of this Agreement.

c. The captions or section headings of this Agreement are provided for convenience only and shall not be deemed to explain, modify, amplify or aid in the interpretation, or meaning of this Agreement.

d. City, Owners and Developer are not partners and this Agreement is not a joint venture and nothing in this Agreement shall be construed to authorize the Owners or Developer to represent or bind the City to matters not expressly authorized or provided in this Agreement.

e. None of the parties shall be considered the drafter of all or any portion of this Agreement for the purposes of interpreting all or any portion of this Agreement, it being recognized that all parties have contributed substantially and materially to the preparation of this Agreement.

SECTION 15. TERM; EFFECTIVE DATE

This Agreement shall not be effective and binding until the latest date that this Agreement is approved by and signed by all parties hereto. The Agreement will be effective for 50 years from the Effective Date.

[SIGNATURES TO FOLLOW]

IN WITNESS WHEREOF, the Owner, Developer and the City have executed this Agreement as of the day and year first above written.

Witnesses

DEVELOPER

VIRGINIA AND MORSE LLC, a
Florida limited liability corporation

Name: _____

By: _____

Name: _____

Its: _____

Name: _____

Date: _____

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me this _____ day of _____, 2015,
by _____, as _____ of Virginia and Morse LLC. He
(She) ☐ is personally known to me or ☐ has produced _____ as
identification.

(NOTARY SEAL)

Notary Public Signature

(Name typed, printed or stamped)

OWNERS

Witnesses

Daniel De Ciccio

Name: _____

Shelia G. De Ciccio

Name: _____

Date: _____

STATE OF FLORIDA
COUNTY OF ORANGE

The foregoing instrument was acknowledged before me this ____ day of _____, 2015,
by Daniel De Ciccio and Shelia G. De Ciccio. They ☐ are personally known to me or ☐ has
produced _____ as identification.

(NOTARY SEAL)

Notary Public Signature

(Name typed, printed or stamped)

CITY OF WINTER PARK, FLORIDA

ATTEST:

By: _____
Mayor Steve Leary

By: _____
City Clerk

STATE OF FLORIDA)
COUNTY OF ORANGE)

The foregoing instrument was acknowledged before me this ____ day of _____, 2015, by Steve Leary, as Mayor of the City of Winter Park, Florida, who is personally known to me.

Notary Public
Printed Name: _____
My commission expires: _____

EXHIBIT "A" Legal Description

The land referred to herein below is situated in the County of Orange, State of Florida, and is described as follows:

Lot 3, Block K, CAPEN'S ADDITION TO WINTER PARK, as recorded in Plat Book A, Page 95, Public Records of Orange County, Florida, less the following portion thereof, to wit:

Begin at the Northwest corner of said Lot 3; thence run North 90°00'00" East along the North boundary of said Lot 3 a distance of 60.00 feet; thence run South 00°45'09" East parallel with the West boundary of said Lot 3, a distance of 45.00 feet, thence run South 90°00'00" West 45.00 feet; thence run South 00°45'09" East 261.00 feet to the South boundary of said Lot 3; thence run South 90°00'00" West 15.00 feet to the Southwest corner of said Lot 3, thence run North 00°45'09" West 306.00 feet to the point of beginning.

AND

The Westerly 50 feet of the North 106 feet of Lot 2, Block K, CAPEN'S ADDITION TO WINTER PARK, according to the plat thereof, as recorded in Plat Book "A", Page 95, Public Records of Orange County, Florida.

AND

The North 45 feet of the West 60 feet, less the West 40 feet thereof, Lot 3, Block K, CAPEN'S ADDITION TO WINTER PARK, according to the plat thereof as recorded in Plat Book "A", Page 95, Public Records of Orange County, Florida.

AND

A three foot (3') by four foot (4') tract of land lying in Lot 3, Block K, CAPEN'S ADDITION TO WINTER PARK, according to the plat thereof as recorded in Plat Book "A", Page 95, Public Records of Orange County, Florida, and more particularly described as follows:

Commencing at the Northwest corner of said Lot 3, Block K, CAPEN'S ADDITION TO WINTER PARK, for a point of reference; thence East, 40.00 feet along and with the South right-of-way line of Morse Boulevard and the North line of said Lot 3; thence S 00°45'09" E, 3.00 feet to the Point of Beginning; thence continue S 00°45'09" E, 3.00 feet; thence West, 4.00 feet; thence N 00°45'09" W, 3.00 feet; thence East, 4.00 feet to the Point of Beginning.

LESS

The South 19 feet of the North 64 feet of the West 40 feet, less the West 15 feet thereof, Lot 3, Block K, CAPEN'S ADDITION TO WINTER PARK, according to the plat thereof as recorded in Plat Book "A", Page 95, Public Records of Orange County, Florida.

LESS

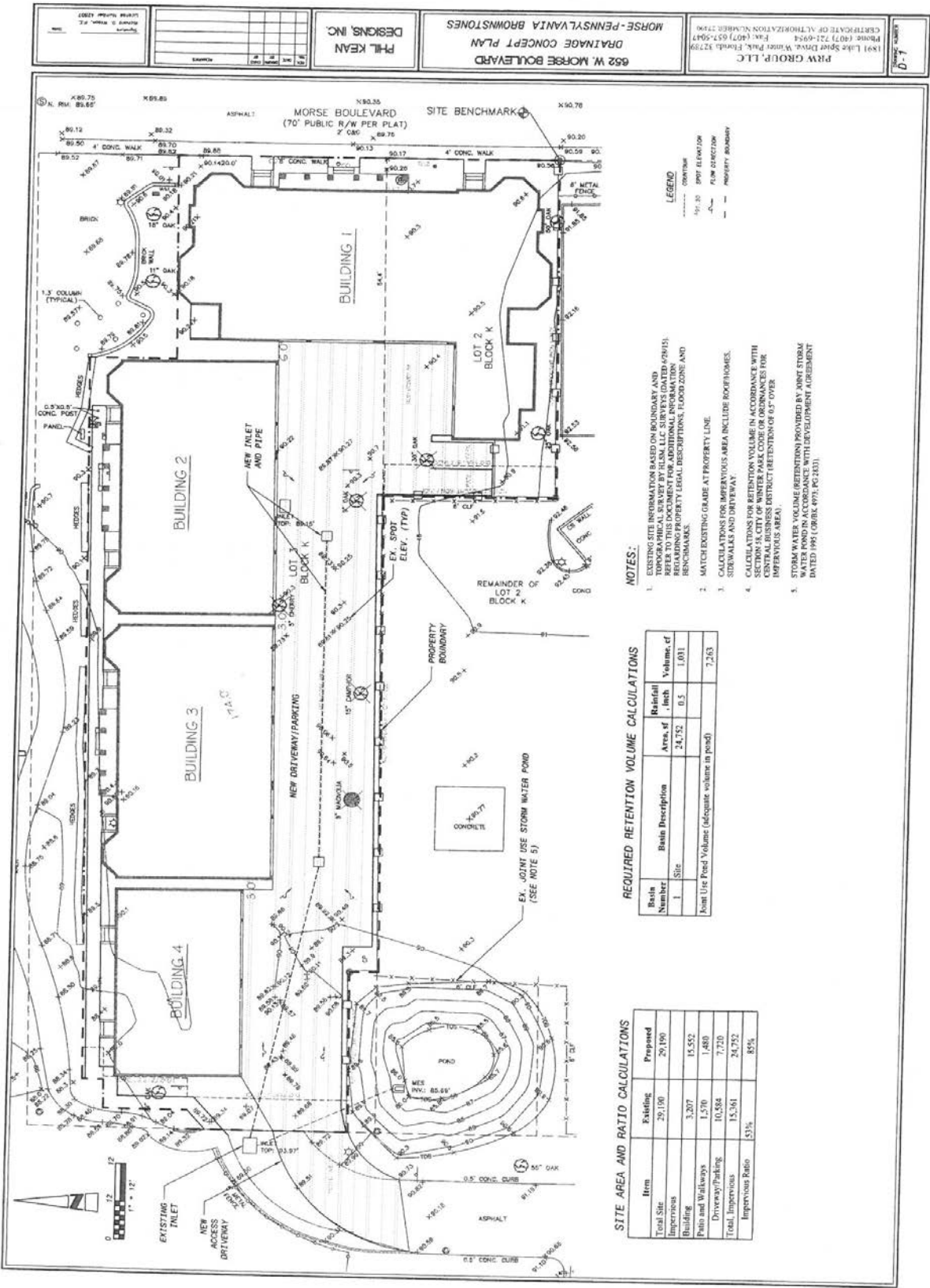
The East 8.5 feet of the South 50 feet, Lot 3, Block K, CAPEN'S ADDITION TO WINTER PARK, according to the plat thereof as recorded in Plat Book "A", Page 95, Public Records of Orange County, Florida.

AND LESS

A tract of land lying in Lot 3, Block K, CAPEN'S ADDITION TO WINTER PARK, according to the plat thereof as recorded in Plat Book "A", Page 95, Public Records of Orange County, Florida, and more particularly described as follows:

Commencing at the Southwest corner of said Lot 3, Block K, CAPEN'S ADDITION TO WINTER PARK, for a point of reference; thence East, 15.00 feet along and with the South line of said Lot 3 to the Southwest corner of the tract being described and the Point of Beginning; thence North, parallel to the West line of said Lot 3, 15.00 feet to the Northwest corner of the tract being described; thence East, parallel to the South line of said Lot 3, 6.00 feet; thence South, parallel to the West line of said Lot 3, 9.00 feet; thence East, parallel to the South line of said Lot 3, 24.00 feet; thence South parallel to the West line of said Lot 3, 6.00 feet to the South line of said Lot 3; thence West, along and with the South line of said Lot 3, 30.00 feet to the Point of Beginning.

EXHIBIT "B" Site Plan of the Project



ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 58 "LAND DEVELOPMENT CODE" ARTICLE I, "COMPREHENSIVE PLAN" SO AS TO CHANGE THE FUTURE LAND USE DESIGNATION OF COMMERCIAL TO CENTRAL BUSINESS DISTRICT FUTURE LAND USE ON THE PROPERTY AT 652 WEST MORSE BOULEVARD, MORE PARTICULARLY DESCRIBED HEREIN, PROVIDING FOR CONFLICTS, SEVERABILITY AND EFFECTIVE DATE.

WHEREAS, the Winter Park City Commission adopted its Comprehensive Plan on February 23, 2009 via Ordinance 2762-09, and

WHEREAS, Section 163.3184, Florida Statutes, establishes a process for adoption of comprehensive plans or plan amendments amending the future land use designation of property; and

WHEREAS, the owner of this property is desirous of amending the future land use designation from Commercial to Central Business District; and

WHEREAS, this Comprehensive Plan amendment meets the criteria established by Chapter 163 and 166, Florida Statutes; and pursuant to and in compliance with law, notice has been given to Orange County and to the public by publication in a newspaper of general circulation to notify the public of this proposed Ordinance and of public hearings to be held; and

WHEREAS, the Winter Park Planning and Zoning Commission, acting as the designated Local Planning Agency, has reviewed and recommended adoption of the proposed Comprehensive Plan amendment, having held an advertised public hearing on September 1, 2015, provided for participation by the public in the process, and rendered its recommendations to the City Commission; and

WHEREAS, the Winter Park City Commission has reviewed the proposed Comprehensive Plan amendment and held advertised public hearings on September 28, 2015 and October 12, 2015 and provided for public participation in the process in accordance with the requirements of state law and the procedures adopted for public participation in the planning process.

NOW THEREFORE BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, AS FOLLOWS:

SECTION 1. Future Land Use Map Amendment. That Chapter 58 "Land Development Code", Article I, "Comprehensive Plan" future land use plan map is hereby amended so as to change the future land use map designation from Commercial to Central Business District on the property at 652 West Morse Boulevard, identified with the Parcel ID# of 06-22-30-1168-11-030 and as more particularly described in Exhibit "A" to this Ordinance.

SECTION 2. Severability. If any Section or portion of a Section of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other Section or part of this Ordinance.

SECTION 3. Conflicts. All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

SECTION 4. Effective Date. An amendment adopted under this paragraph does not become effective until 31 days after adoption. If timely challenged, an amendment may not become effective until the state land planning agency or the Administration Commission enters a final order determining that the adopted small scale development amendment is in compliance.

ADOPTED at a regular meeting of the City Commission of the City of Winter Park, Florida, held in City Hall, Winter Park, on this _____ day of _____, 2015.

Mayor Steve Leary

Attest:

City Clerk

Exhibit A

The land referred to herein below is situated in the County of Orange, State of Florida, and is described as follows:

Lot 3, Block K, CAPEN'S ADDITION TO WINTER PARK, as recorded in Plat Book A, Page 95, Public Records of Orange County, Florida, less the following portion thereof, to wit:

Begin at the Northwest corner of said Lot 3; thence run North 90°00'00" East along the North boundary of said Lot 3 a distance of 60.00 feet; thence run South 00°45'09" East parallel with the West boundary of said Lot 3, a distance of 45.00 feet; thence run South 90°00'00" West 45.00 feet; thence run South 00°45'09" East 261.00 feet to the South boundary of said Lot 3; thence run South 90°00'00" West 15.00 feet to the Southwest corner of said Lot 3, thence run North 00°45'09" West 306.00 feet to the point of beginning.

AND

The Westerly 50 feet of the North 106 feet of Lot 2, Block K, CAPEN'S ADDITION TO WINTER PARK, according to the plat thereof, as recorded in Plat Book "A", Page 95, Public Records of Orange County, Florida.

AND

The North 45 feet of the West 60 feet, less the West 40 feet thereof, Lot 3, Block K, CAPEN'S ADDITION TO WINTER PARK, according to the plat thereof as recorded in Plat Book "A", Page 95, Public Records of Orange County, Florida.

AND

A three foot (3') by four foot (4') tract of land lying in Lot 3, Block K, CAPEN'S ADDITION TO WINTER PARK, according to the plat thereof as recorded in Plat Book "A", Page 95, Public Records of Orange County, Florida, and more particularly described as follows:

Commencing at the Northwest corner of said Lot 3, Block K, CAPEN'S ADDITION TO WINTER PARK, for a point of reference; thence East, 40.00 feet along and with the South right-of-way line of Morse Boulevard and the North line of said Lot 3; thence S 00°45'09" E, 3.00 feet to the Point of Beginning; thence continue S 00°45'09" E, 3.00 feet; thence West, 4.00 feet; thence N 00°45'09" W, 3.00 feet; thence East, 4.00 feet to the Point of Beginning.

LESS

The South 19 feet of the North 64 feet of the West 40 feet, less the West 15 feet thereof, Lot 3, Block K, CAPEN'S ADDITION TO WINTER PARK, according to the plat thereof as recorded in Plat Book "A", Page 95, Public Records of Orange County, Florida.

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The East 8.5 feet of the South 50 feet, Lot 3, Block K, CAPEN'S ADDITION TO WINTER PARK, according to the plat thereof as recorded in Plat Book "A", Page 95, Public Records of Orange County, Florida.

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ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 58 "LAND DEVELOPMENT CODE" ARTICLE III, "ZONING" AND THE OFFICIAL ZONING MAP SO AS TO CHANGE FROM OFFICE (O-1) DISTRICT ZONING TO COMMERCIAL (C-2) DISTRICT ZONING ON THE PROPERTY AT 652 WEST MORSE BOULEVARD, MORE PARTICULARLY DESCRIBED HEREIN, PROVIDING FOR CONFLICTS, SEVERABILITY AND AN EFFECTIVE DATE.

WHEREAS, the owner of a property at 652 West Morse Boulevard has requested a Zoning Map amendment consistent with the amended Comprehensive Plan, and the requested zoning text change will achieve conformance with the Comprehensive Plan for the property and such municipal zoning meets the criteria established by Chapter 166, Florida Statutes and pursuant to and in compliance with law, notice has been given to Orange County and to the public by publication in a newspaper of general circulation to notify the public of this proposed Ordinance and of public hearings to be held; and

WHEREAS, the Planning and Zoning Board of the City of Winter Park has recommended approval of this Ordinance at their September 1, 2015 meeting; and

WHEREAS, the City Commission of the City of Winter Park held a duly noticed public hearing on the proposed zoning change set forth hereunder and considered findings and advice of staff, citizens, and all interested parties submitting written and oral comments and supporting data and analysis, and after complete deliberation, hereby finds the requested change consistent with the City of Winter Park Comprehensive Plan and that sufficient, competent, and substantial evidence supports the zoning change set forth hereunder; and

WHEREAS, the City Commission hereby finds that this Ordinance serves a legitimate government purpose and is in the best interests of the public health, safety, and welfare of the citizens of Winter Park, Florida.

NOW THEREFORE BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, AS FOLLOWS:

SECTION 1. Official Zoning Map Amendment. That Chapter 58 "Land Development Code", Article III, "Zoning" and the Official Zoning Map is hereby amended so as to change the zoning designation from Office (O-1) District to Commercial (C-2) District on the property at 652 West Morse Boulevard, identified with the Parcel ID# of 06-22-30-1168-11-030 and as more particularly described in Exhibit "A" to this Ordinance.

SECTION 2. Severability. If any Section or portion of a Section of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other Section or part of this Ordinance.

SECTION 3. Conflicts. All Ordinances or parts of Ordinances in conflict with any of the provisions of this Ordinance are hereby repealed.

SECTION 4. Effective Date. This Ordinance shall become effective upon the effective date of Ordinance _____. If Ordinance _____ does not become effective, then this Ordinance shall be null and void.

ADOPTED at a regular meeting of the City Commission of the City of Winter Park, Florida, held in City Hall, Winter Park, on this _____ day of _____, 2015.

Mayor Steve Leary

Attest:

City Clerk

Exhibit A

The land referred to herein below is situated in the County of Orange, State of Florida, and is described as follows:

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OCPA Web Map

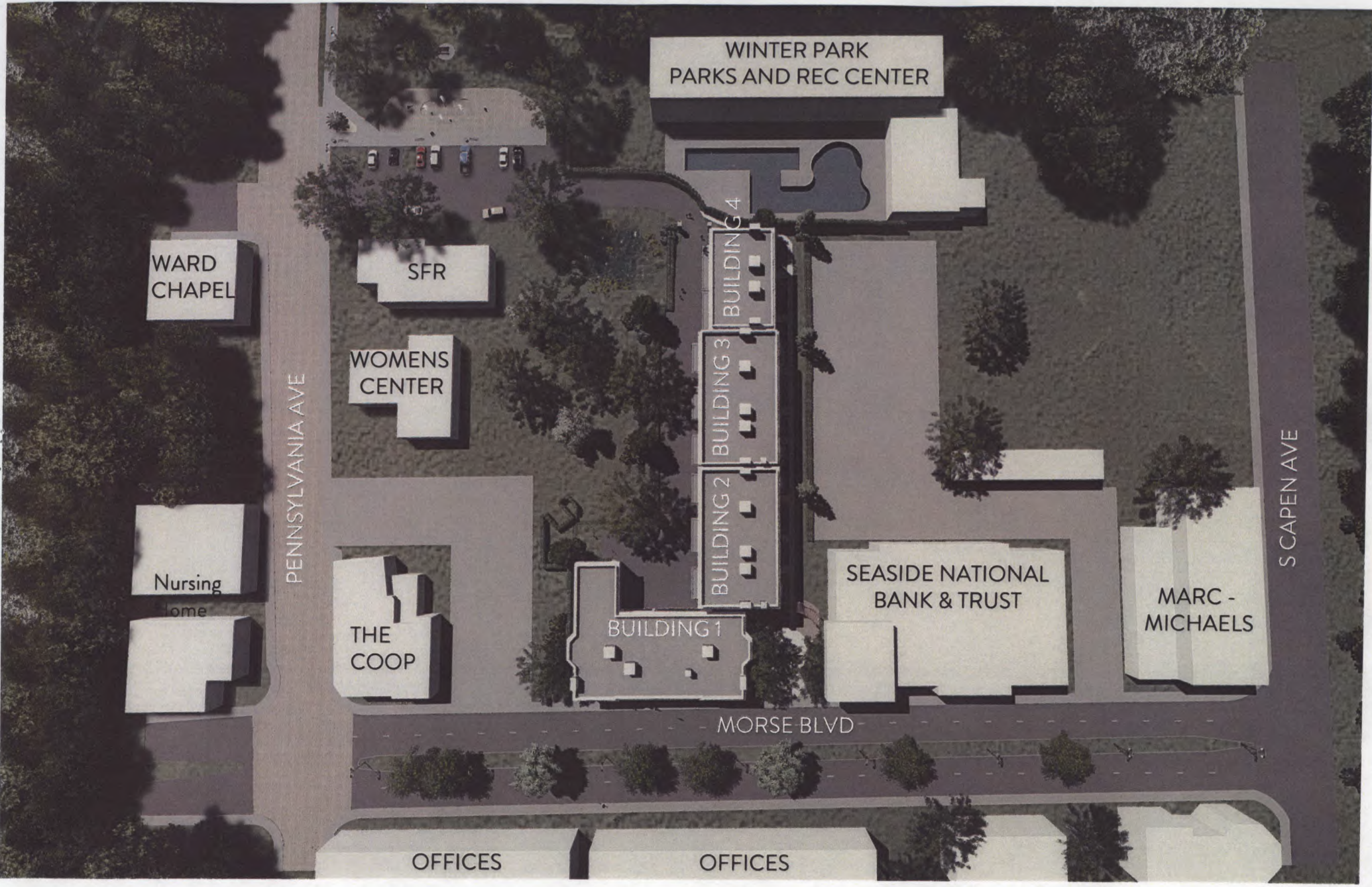
	Major Roads		Proposed Road		Residential		Commercial/Industrial/Vacant Land		Parks		6 Lot Number
	Florida Turnpike		Public Roads		Brick Road		Agriculture		Lakes and Rivers		06060 Parcel Number
	Interstate 4		Gated Roads		Block Line		Commercial/Institutional		Building		3106 Parcel Address
	Toll Road		Road Under Construction		Lot Line		Governmental/Institutional/Misc		Hydro		E Block Number
							Waste Land				111.9 Parcel Dimension

Courtesy Rick Singh, CFA, Orange County Property Appraiser



Created: 8/18/2015

This map is for reference only and is not a survey.



WINTER PARK
PARKS AND REC CENTER

WARD
CHAPEL

SFR

WOMENS
CENTER

Nursing
Home

THE
COOP

BUILDING 4

BUILDING 3

BUILDING 2

BUILDING 1

SEASIDE NATIONAL
BANK & TRUST

MARC -
MICHAELS

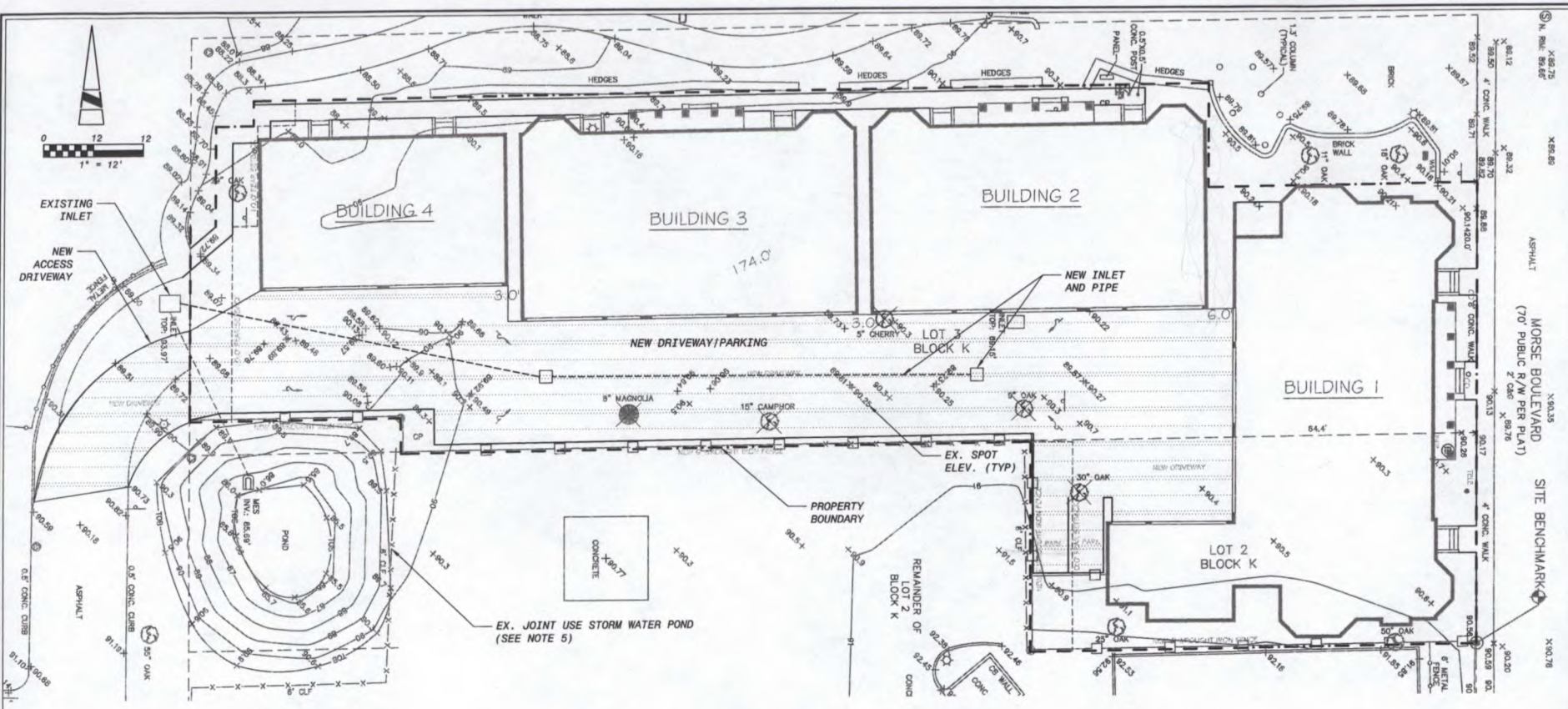
MORSE BLVD

OFFICES

OFFICES

PENNSYLVANIA AVE

SCAPEN AVE



SITE AREA AND RATIO CALCULATIONS

Item	Existing	Proposed
Total Site	29,190	29,190
Impervious		
Building	3,207	15,552
Patio and Walkways	1,570	1,480
Driveway/Parking	10,584	7,720
Total, Impervious	15,361	24,752
Impervious Ratio	53%	85%

REQUIRED RETENTION VOLUME CALCULATIONS

Basin Number	Basin Description	Area, sf	Rainfall, inch	Volume, cf
1	Site	24,752	0.5	1,031
Joint Use Pond Volume (adequate volume in pond)				7,263

NOTES:

- EXISTING SITE INFORMATION BASED ON BOUNDARY AND TOPOGRAPHICAL SURVEY BY HLSM, LLC SURVEYS (DATED 6/28/15). REFER TO THIS DOCUMENT FOR ADDITIONAL INFORMATION REGARDING PROPERTY LEGAL DESCRIPTIONS, FLOOD ZONE AND BENCHMARKS.
- MATCH EXISTING GRADE AT PROPERTY LINE.
- CALCULATIONS FOR IMPERVIOUS AREA INCLUDE ROOF/HOMES, SIDEWALKS AND DRIVEWAY.
- CALCULATIONS FOR RETENTION VOLUME IN ACCORDANCE WITH SECTION 58, CITY OF WINTER PARK CODE OR ORDINANCES FOR CENTRAL BUSINESS DISTRICT (RETENTION OF 0.5" OVER IMPERVIOUS AREA).
- STORM WATER VOLUME (RETENTION) PROVIDED BY JOINT STORM WATER POND IN ACCORDANCE WITH DEVELOPMENT AGREEMENT DATED 1995 (OR/BK 4973; PG 2833).

LEGEND

- COUNTOUR
- 91.20 SPOT ELEVATION
- FLOW DIRECTION
- PROPERTY BOUNDARY

Signature: Richard D. Wilson, P.E.
License Number: 42807

DATE: _____

REVISIONS

REV	DATE	DESCRIPTION

PHIL KEAN
DESIGNS, INC.

652 W. MORSE BOULEVARD
DRAINAGE CONCEPT PLAN
MORSE - PENNSYLVANIA BROWNSTONES

PRW GROUP, LLC
1891 Lake Spot Drive, Winter Park, Florida 32789
Phone: (407) 721-6954 Fax: (407) 657-5047
CERTIFICATE OF AUTHORIZATION NUMBER: 27490

DRAWING NUMBER
D-1

DATE: _____

SINGLE FAMILY RESIDENCES



MORSE & PENNSYLVANIA BROWNSTONES

WINTER PARK, FLORIDA

NOTES

GENERAL NOTES

BASED ON THE FLORIDA RESIDENTIAL BUILDING CODE 2014 5TH EDITION

TO THE BEST OF THIS ENGINEER'S INTERPRETATION, THESE DRAWINGS MEET THE REQUIREMENTS OF CHAPTER 3 OF THE FLORIDA RESIDENTIAL BUILDING CODE 2014 EDITION, AS DEVELOPED AND MAINTAINED BY THE FLORIDA BUILDING COMMISSION, AND ADMINISTERED AND ENFORCED BY LOCAL JURISDICTIONS.

CONSTRUCTION NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. THE FLORIDA BUILDING CODE 2014 EDITION, IS APPLICABLE TO THIS PROJECT. ALL CONSTRUCTION SHALL BE BRACED AND SHORED BY THE CONTRACTOR AS REQUIRED TO SAFELY PERFORM THE WORK. THERE SHALL BE NO WOOD STAKES USED IN ANY FOUNDATION OR SLAB AREA FOR STAKING PLUMBING, REINFORCING OR FOR ANY OTHER USE IN THESE AREAS.

ROOF COVERINGS

ALL ROOF COVERINGS SHALL BE NOTED ON PLANS AND COMPLY WITH CHAPTER 9. A PACKET CONTAINING ALL MATERIALS FOR UNDER LAYMENT, FLASHING, AND COVERINGS AND ALL MANUFACTURERS INSTALLATION INSTRUCTIONS SHALL BE FURNISHED BY THE GENERAL CONTRACTOR AS AN ATTACHMENT TO THIS PLAN SET AT THE TIME OF APPLICATION FOR PERMIT WHEN REQUIRED BY THE PERMITTING AUTHORITY.

WINDOWS AND DOORS

ALL WINDOWS AND DOORS SHALL BE DESIGNED TO MEET AT LEAST THE MINIMUM PRESSURES SHOWN ON THESE PLANS. THE MANUFACTURERS CERTIFICATION AND INSTALLATION INSTRUCTIONS SHALL BE FURNISHED BY THE GENERAL CONTRACTOR AS AN ATTACHMENT TO THIS PLAN SET AT THE TIME OF APPLICATION FOR PERMIT. IF STRUCTURAL WOOD BUCKS ARE TO BE USED, THE BUCK SHALL BE ATTACHED TO THE SUBSTRATE PER THESE PLANS AND THE ATTACHMENT TO THE BUCK SHALL BE PER THE MANUFACTURERS INSTALLATION INSTRUCTIONS. WINDOWS ARE SIZED MINIMUM SIZES. CONTRACTOR SHALL VERIFY EGRESS WINDOW MANUFACTURER FOR CODE COMPLIANCE.

STAIR AND RAILING NOTES

STAIR STRUCTURE BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311.7 HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311.7.7. GUARDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R312.

MEANS OF EGRESS

MEANS OF EGRESS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF CHAPTER 3 SECTION R311.

MECHANICAL AND HVAC

ALL MECHANICAL SYSTEMS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF CHAPTER 13 AND 14. ENERGY CALCULATIONS FOR HEATING AND COOLING CAPACITIES SHALL BE FURNISHED BY THE GENERAL CONTRACTOR AS AN ATTACHMENT TO THIS PLAN SET AT THE TIME OF APPLICATION FOR PERMIT.

FIRE SPRINKLER

THESE BUILDINGS ARE FIRE SPRINKLED

TERMITE

SECTION 816 PROTECTION AGAINST TERMITES

TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITOCIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS PREVENTIVE TREATMENT TO NEW CONSTRUCTION (SEE SECTION 202, REGISTERED TERMITOCIDE). UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

NOTES:

1) METHOD OF TREATMENT SHALL BE APPROVED BY THE GOVERNING JURISDICTION. LIQUID BORATE OR BORAX-ACCORD PRODUCT METHODS MUST BE DETERMINED AT PERMIT STAGE AND PRODUCT APPROVAL DATA MUST BE ON FILE WITH THE BUILDING DEPARTMENT.

2) PRESSURE TREATED LUMBER THAT HAS BEEN CUT OR DRILLED THAT EXPOSED UNTRATED PORTIONS OF WOOD ARE REQUIRED TO BE FIELD TREATED TO PREVENT INSECT INFESTATION.

3) BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" A.F.F.

STUCCO

ASTM: C 1063 - 06

7.6.2 METAL LATH SHALL BE LAPPED $\frac{1}{2}$ IN. (12.7mm) AT THE SIDES, OR MEET THE EDGE JOINT. WIRE LATH SHALL BE LAPPED ONE MESH AT THE SIDES AND THE ENDS. LAP METAL LATH 1 IN. (25mm) AT ENDS, WHERE ENDS LAPS OCCUR BETWEEN THE FRAMING MEMBERS. THE ENDS OF THE SHEETS OF ALL METAL PLASTER BASES SHALL BE LACED OR WIRE TIED WITH 0.0475-IN. (1.21-mm) GALVANIZED, ANNEALED STEEL WIRE.

7.10.2.1 LATH SHALL BE ATTACHED TO FRAMING MEMBERS WITH ATTACHMENTS SPACED NOT MORE THAN 7 IN. (178mm) ON CENTERS ALONG SUPPORTS.

7.10.2.2 DIAMOND-MESH EXPANDED METAL LATH, PLAT-RIB EXPANDED METAL LATH, AND WIRE LATH SHALL BE ATTACHED TO HORIZONTAL WOOD FRAMING MEMBERS WITH 1 IN. (25.4-mm) ROOFING NAILS DRIVEN FLUSH WITH THE PLASTER BASE AND ATTACHED TO VERTICAL WOOD FRAMING MEMBERS WITH 6d COMMON NAILS, 1 IN. (25.4-mm) ROOFING NAILS DRIVEN TO A PENETRATION OF NOT LESS THAN $\frac{3}{4}$ IN. (19.0mm), OR 1 IN. (25.4-mm) WIRE STAPLES DRIVEN FLUSH WITH THE PLASTER BASE. STAPLES SHALL HAVE CROWNS NOT LESS THAN $\frac{3}{8}$ IN. (9.5mm) AND SHALL ENGAGE NOT LESS THAN THREE STRANDS OF LATH AND PENETRATE THE WOOD FRAMING MEMBERS NOT LESS THAN $\frac{3}{4}$ IN. (19.0mm). WHEN METAL LATH IS APPLIED OVER SHEATHING, USE FASTENERS THAT WILL PENETRATE THE STRUCTURAL MEMBERS NOT LESS THAN $\frac{3}{4}$ IN. (19mm).

CODE TABULATION

- THIS PROJECT IS TO BE BUILT IN ACCORDANCE WITH THE 2019 FLORIDA BUILDING CODE-RESIDENTIAL WITH ALL THE CITY OF WINTER PARK BLDG. DEPT. REQUIREMENTS AND AMENDMENTS.
- TYPE OF CONSTRUCTION: TYPE II
- OCCUPANCY GROUP: R-RESIDENTIAL
- ZONING DISTRICT: O-1

LOCATION MAP

- SUBJECT: CITY OF WINTER PARK
- 8.064 A.C.
- 15,711 S.F. (including front porch)
- 54%.

SURVEYOR'S NOTES:

- The lands as shown herein lie within Section 06, Township 22 S., Range 30 E., Orange County, Florida.
- This survey represents a survey made on the ground under the supervision of the signing surveyor, unless otherwise noted.
- Underground improvements or underground foundations have not been located except as noted.
- This survey does not reflect or determine ownership.
- All easements of which the surveyor has knowledge of, or has been furnished, have been noted on this map.
- No title data has been provided to this surveyor unless otherwise noted.
- Boundaries shown herein are assumed relative to said bearing being.
- According to the Federal Insurance Rate Map, this property lies in Zone "X". Community Parcel number 100950255 F, District 905009.
- Elevations shown herein are based on Orange County Benchmarks #M4-3, having an elevation of 94.84 feet relative to NAVD 88.

GENERAL

- STRUCTURE IS SUBJECT TO FIELD VERIFICATION AND CHANGES. ANY CHANGES THAT ARE DEEMED NECESSARY ARE TO BE REPORTED TO E.O.R. BEFORE MAKING SAID CHANGES.
- DO NOT SCALE DRAWINGS IF THERE ARE WRITTEN DIMENSIONS. WRITTEN DIMENSIONS ARE TO TAKE PRECEDENCE. DIMENSIONS AND CONSTRUCTION DETAILS MAY VARY DUE TO SUBSTITUTION, FIELD CONDITIONS, CONSTRUCTION TECHNIQUES, AVAILABILITY OR OTHER VARIABLES.
- THESE DRAWINGS ARE NOT INTENDED TO COVER ALL CONDITIONS. FIELD DECISIONS MAY NEED TO BE MADE BY E.O.R. OR D.O.R. IF THIS SITUATION ARISES. E.O.R. OR D.O.R. AT PHONE NUMBERS ARE LISTED IN TITLE BLOCK. CONTRACTOR SHALL ALLOW FOR MINOR ADJUSTMENTS.
- ALL CHANGES TO FLOOR PLAN OR ELEVATIONS MUST BE REPORTED TO E.O.R. OR D.O.R. FOR APPROVAL.
- PHIL KZAN DESIGN GROUP SHALL NOT BE HELD LIABLE FOR ANY FIELD CHANGES MADE THAT ARE NOT REPORTED TO PHD PRIOR TO MAKING SAID CHANGES.

LEGAL DESCRIPTION

LOT 3, BLOCK K, CAPENS ADDITION TO WINTER PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK A, PAGE 96, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS THE FOLLOWING PORTION THEREOF, TO WIT:

BEGIN AT THE NORTHWEST CORNER OF SAID LOT 3; THENCE RUN NORTH $89^{\circ}00'00''$ EAST ALONG THE NORTH BOUNDARY OF SAID LOT 3, A DISTANCE OF 80.00 FEET; THENCE RUN SOUTH $00^{\circ}45'00''$ EAST PARALLEL WITH THE WEST BOUNDARY OF SAID LOT 3, A DISTANCE OF 45.00 FEET; THENCE RUN SOUTH $00^{\circ}45'00''$ EAST, A DISTANCE OF 45.00 FEET; THENCE RUN SOUTH $00^{\circ}45'00''$ WEST, A DISTANCE OF 15.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 3; THENCE RUN SOUTH $00^{\circ}45'00''$ WEST, A DISTANCE OF 300.00 FEET TO THE POINT OF BEGINNING.

AND THE NORTH 45 FEET OF THE WEST 80 FEET, LESS THE WEST 40 FEET THEREOF, OF LOT 3, BLOCK K, CAPENS ADDITION TO WINTER PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE 96, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

AND THE WEST 50 FEET OF THE NORTH 100 FEET OF LOT 2, BLOCK K, CAPENS ADDITION TO WINTER PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE 96, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A 3 FOOT BY 4 FOOT TRACT OF LAND LYING IN LOT 3, BLOCK K, CAPENS ADDITION TO WINTER PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE 96, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 3, BLOCK K, CAPENS ADDITION TO WINTER PARK, FOR A POINT OF REFERENCE, THENCE EAST 45.00 FEET ALONG AND WITH THE SOUTH RIGHT-OF-WAY LINE OF MORSE & PENNSYLVANIA BOULEVARD AND THE NORTH LINE OF SAID LOT 3; THENCE SOUTH $00^{\circ}45'00''$ EAST, 3.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH $00^{\circ}45'00''$ EAST, 3.00 FEET; THENCE WEST, 4.00 FEET; THENCE NORTH $00^{\circ}45'00''$ WEST, 3.00 FEET; THENCE EAST, 4.00 FEET TO THE POINT OF BEGINNING.

LESS A 234 SQUARE FEET TRACT OF LAND LYING IN LOT 3, BLOCK K, CAPENS ADDITION TO WINTER PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE 96, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 3, BLOCK K, CAPENS ADDITION TO WINTER PARK, FOR A POINT OF REFERENCE, THENCE EAST, 15.00 FEET ALONG AND WITH THE SOUTH LINE OF SAID LOT 3 TO THE SOUTHWEST CORNER OF THE TRACT BEING DESCRIBED AND THE POINT OF BEGINNING; THENCE NORTH, PARALLEL TO THE WEST LINE OF SAID LOT 3, 15.00 FEET TO THE NORTHWEST CORNER OF THE TRACT BEING DESCRIBED; THENCE EAST, PARALLEL TO THE SOUTH LINE OF SAID LOT 3, 6.00 FEET; THENCE SOUTH, PARALLEL TO THE WEST LINE OF SAID LOT 3, 8.00 FEET; THENCE EAST, PARALLEL TO THE SOUTH LINE OF SAID LOT 3, 34.00 FEET; THENCE SOUTH, PARALLEL TO THE WEST LINE OF SAID LOT 3, 8.00 FEET TO THE SOUTH LINE OF SAID LOT 3; THENCE WEST, ALONG AND WITH THE SOUTH LINE OF SAID LOT 3, 30.00 FEET TO THE POINT OF BEGINNING.

LESS THE SOUTH 18 FEET OF THE NORTH 64 FEET OF THE WEST 40 FEET OF LOT 3, LESS THE WEST 15 FEET THEREOF, BLOCK K, CAPENS ADDITION TO WINTER PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE 96, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

LESS THE EAST 83 FEET OF THE SOUTH 30 FEET OF LOT 3, BLOCK K, CAPENS ADDITION TO WINTER PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK A, PAGE 96, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

SAID LANDS CONTAINING 0.67 ACRES MORE OR LESS.

INDEX

SHEET SHEET NAME

GENERAL

COVERSHEET

ARCHITECTURAL

ENGINEERING

SHEET DATA:

DESIGNED BY: PHIL KZAN
DRAWN BY:

SHEET DESC.:

COVERSHEET

SHEET

CS

MORSE & PENNSYLVANIA BROWNSTONES

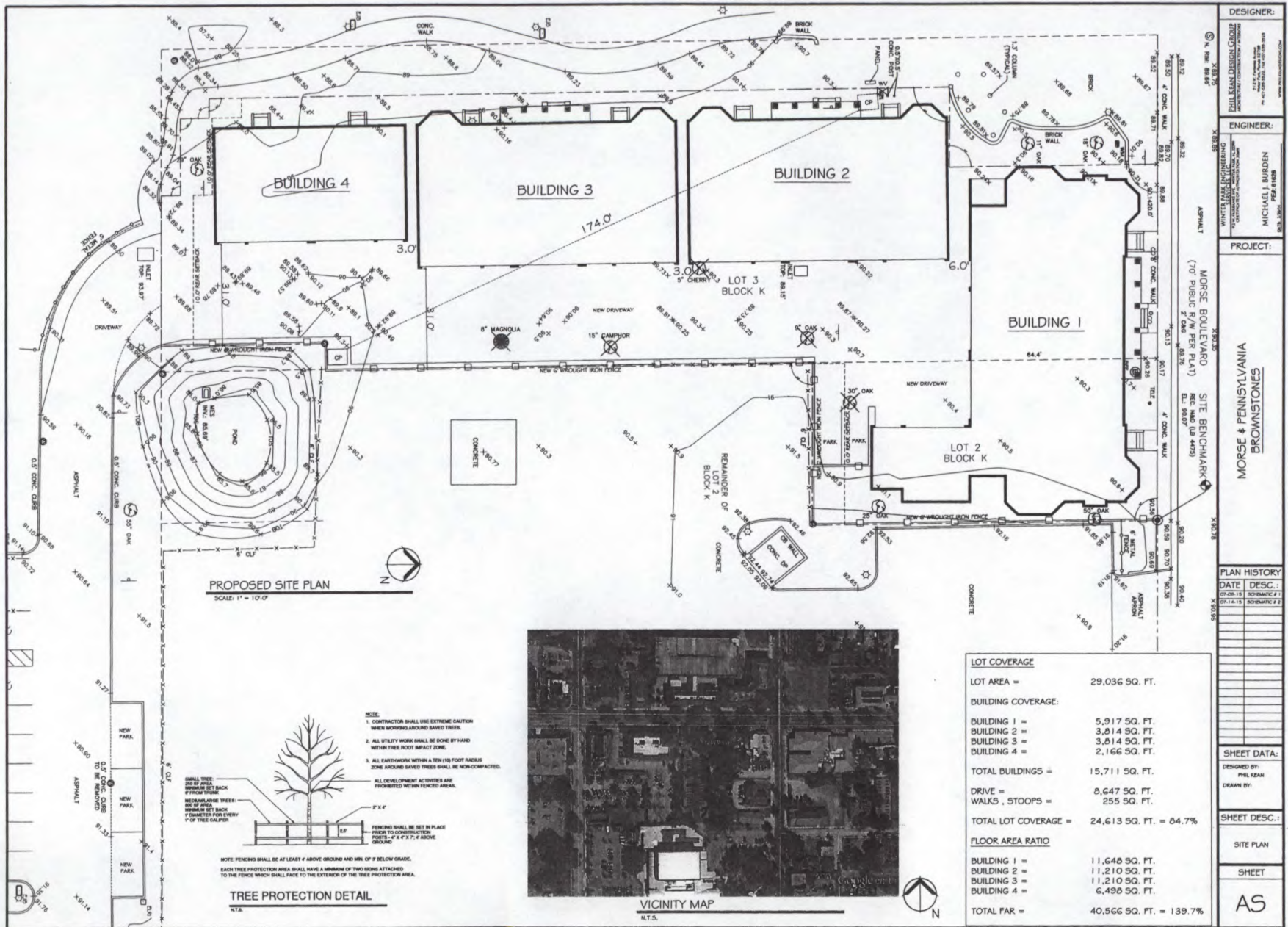
DESIGNER:

PHIL KZAN DESIGN GROUP
ARCHITECTURAL & ENGINEERING
217 E. Avenue
PO BOX 1000
WINTER PARK, FL 32789
PH: 407.288.8827 FAX: 407.288.8828
WWW.PHILKZANDESIGN.COM

ENGINEER:

WINTER PARK, FLORIDA
UNIVERSITY OF FLORIDA
MICHAEL J. BURDEN
P.E. #11588
2024.12.01

PROJECT:



DESIGNER:
DANIEL J. DOLAN, CRD
1117 N. 10TH ST., SUITE 100
PHILADELPHIA, PA 19107
TEL: 215-595-1117
WWW.DJDO.COM

ENGINEER:
MICHAEL J. BILBODEN
1117 N. 10TH ST., SUITE 100
PHILADELPHIA, PA 19107
TEL: 215-595-1117
WWW.DJDO.COM

PROJECT:
MORSE & PENNISTONS BROWNSTONES
MORSE BOULEVARD
(70' PUBLIC R/W PER PLAN)
SITE BENCHMARK
M.C. 440 (445)
M.C. 440
M.C. 440

PLAN HISTORY

DATE	DESC.
07-08-18	SCHEMATIC #1
07-14-18	SCHEMATIC #2

SHEET DATA:

DESIGNED BY: PHIL LEAH
DRAWN BY:

SHEET DESC.:
SITE PLAN
SHEET
AS

DWELLING / GARAGE SEPARATION (TABLE R302.6)	
SEPARATION	MATERIAL
FROM RESIDENCE AND ATTICS	NOT LESS THAN 5/8 INCH GYPSUM BOARD OR EQUIVALENT TO THE GARAGE SIDE
FROM HABITABLE ROOMS ABOVE GARAGE	NOT LESS THAN 1/2 INCH TYPE X GYPSUM BOARD OR EQUIVALENT
STRUCTURES/SUPPORTING FLOORING/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN 5/8 INCH GYPSUM BOARD OR EQUIVALENT
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT	NOT LESS THAN 5/8 INCH GYPSUM BOARD OR EQUIVALENT AFFIUED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA

PLAN NOTES:

1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL HAVE A 20 MIN. FIRE RATED DOOR OR SOLID WOOD DOOR NOT LESS THAN 1 AND 1/2 INCHES IN THICKNESS OR SOLID OR HONEYCOMB DOOR DOORS TO BE EQUIPPED WITH AUTOMATIC CLOSERS.

BUILDING # 1

UNIT #1

LOWER LEVEL

AC:	1165
GARAGE:	725
COV. PORCH:	63

UPPER LEVEL

AC:	1755
2 STORY AREA:	171
BALCONY:	39

TOTALS

AC:	2973
GARAGE:	725
COV. PORCH:	63
2 STORY AREA:	171
BALCONY:	39
TOTAL UNDER ROOF:	3952

UNIT #2

LOWER LEVEL

AC:	1322
GARAGE:	484
ENTRY PORCH:	107

UPPER LEVEL

AC:	1606
BALCONY:	156

TOTALS

AC:	3135
GARAGE:	484
ENTRY PORCH:	107
BALCONY:	156
TOTAL UNDER ROOF:	3609

UNIT #3

LOWER LEVEL

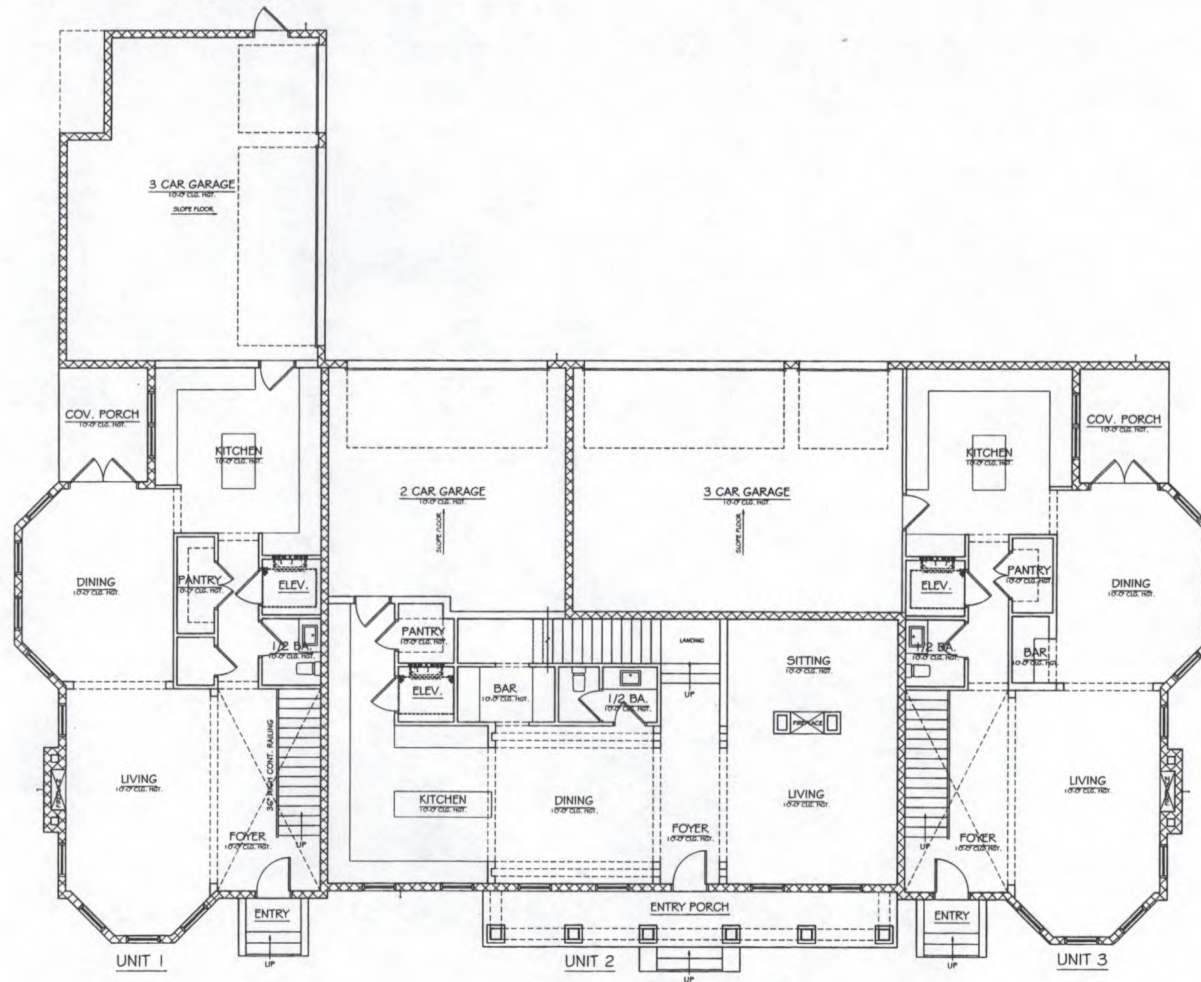
AC:	1166
GARAGE:	620
COV. PORCH:	63

UPPER LEVEL

AC:	1755
2 STORY AREA:	171
BALCONY:	39

TOTALS

AC:	2943
GARAGE:	620
COV. PORCH:	63
2 STORY AREA:	171
BALCONY:	39
TOTAL UNDER ROOF:	3567



#1 LOWER LEVEL FLOOR PLAN - NOTED

SCALE: 1/4" = 1'-0"

DESIGNER:

PAUL KLAN DESIGN GROUP
ARCHITECTURAL / CONSTRUCTION / INTERIOR
212 N. 4th Street, Suite 200
P.O. Box 1000, Erie, PA 16501-1000
TEL: 814.398.1100
WWW.PKDG.COM

ENGINEER:

WINTER PARK ENGINEERING
1000 W. 10th Street, Suite 200
Erie, PA 16501-1000
TEL: 814.398.1100
MICHAEL J. BURDEN
PE # 11858

PROJECT:

MORSE & PENNSYLVANIA
BROWNSTONES

PLAN HISTORY

DATE	DESC.
07-09-15	SCHEMATIC # 1
07-14-15	SCHEMATIC # 2

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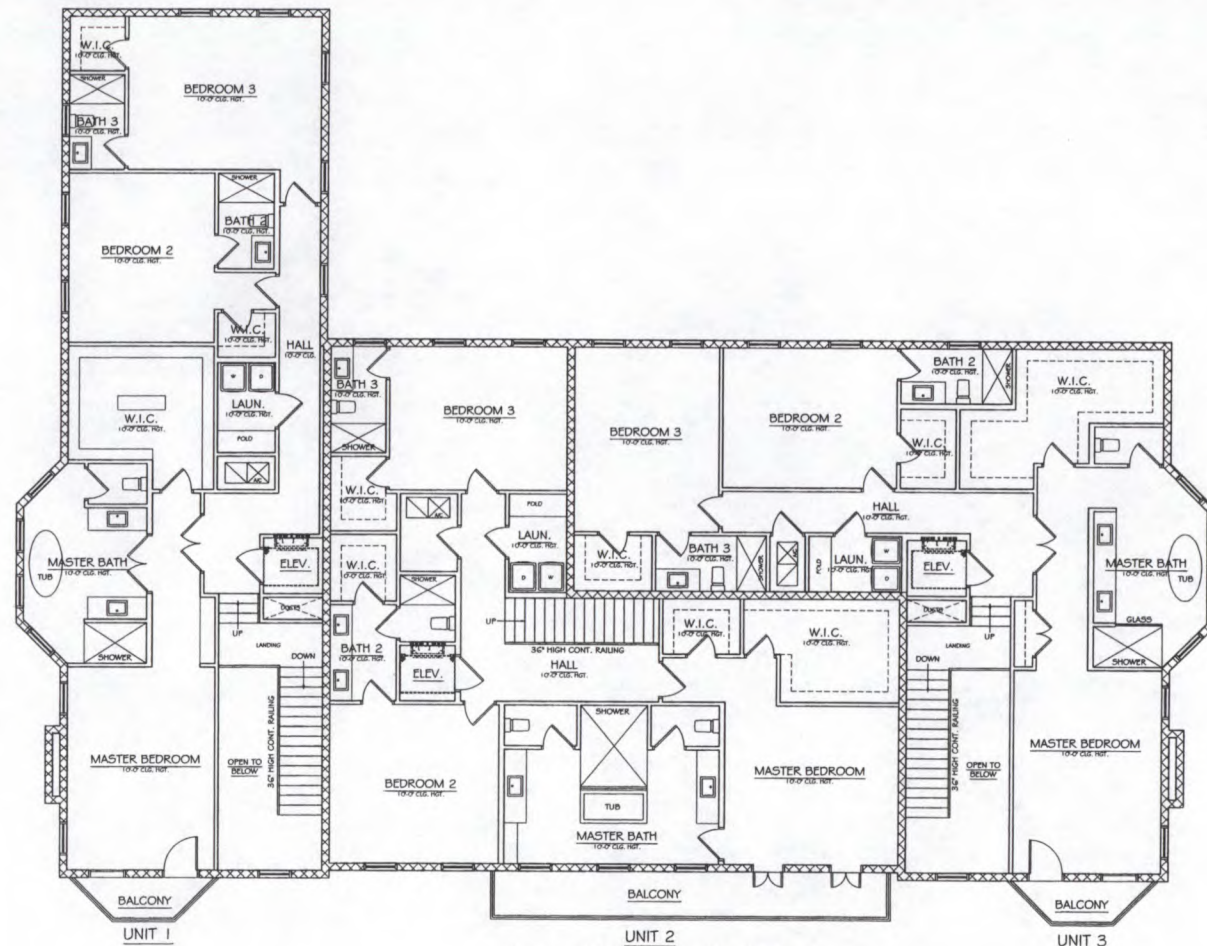
DESIGNED BY: PHIL KLAN
DRAWN BY:

SHEET DESC.:

BUILDING 1
LOWER LEVEL
FLOOR PLAN
NOTED
SHEET

1.2

BUILDING # 1	
UNIT #1	
LOWER LEVEL	
AC:	1166
GARAGE:	725
COV. PORCH:	63
UPPER LEVEL	
AC:	1785
2 STORY AREA:	171
BALCONY:	39
TOTALS	
AC:	2973
GARAGE:	725
COV. PORCH:	63
2 STORY AREA:	171
BALCONY:	39
TOTAL UNDER ROOF:	3952
UNIT #2	
LOWER LEVEL	
AC:	1322
GARAGE:	464
ENTRY PORCH:	167
UPPER LEVEL	
AC:	1806
BALCONY:	156
TOTALS	
AC:	3130
GARAGE:	464
ENTRY PORCH:	167
BALCONY:	156
TOTAL UNDER ROOF:	3609
UNIT #3	
LOWER LEVEL	
AC:	1166
GARAGE:	690
COV. PORCH:	63
UPPER LEVEL	
AC:	1755
2 STORY AREA:	171
BALCONY:	39
TOTALS	
AC:	2943
GARAGE:	690
COV. PORCH:	63
2 STORY AREA:	171
BALCONY:	39
TOTAL UNDER ROOF:	3567



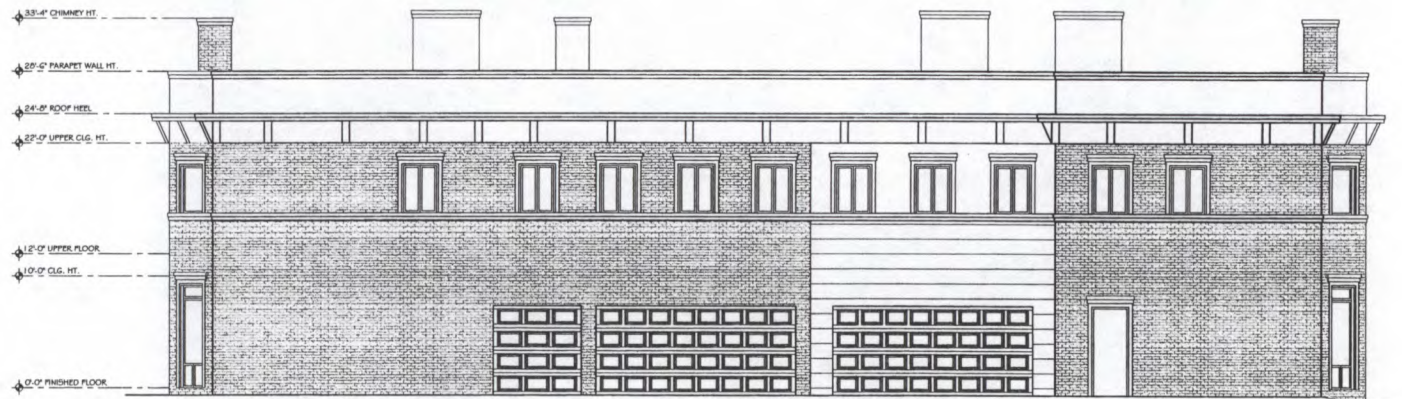
#1 UPPER LEVEL FLOOR PLAN - NOTED
SCALE: 1/4" = 1'-0"

DESIGNER:	DILL KIAN DESIGN GROUP ARCHITECTURAL / CONSTRUCTION / INTERIOR 401 E. 12th Street, Suite 100 PHILADELPHIA, PA 19107 PH: 412-233-1234 FAX: 412-233-1235 WWW.DILLKIANDESIGN.COM
ENGINEER:	WHITNEY BAKER ENGINEERING 1015 N. 12th Street, Suite 100 PHILADELPHIA, PA 19107 MICHAEL J. BUDEN P.E. & S.E.
PROJECT:	MORSE & PENNSYLVANIA BROWNSTONES
PLAN HISTORY	DATE DESC. 1 07-09-15 SCHEMATIC 2.1 07-14-15 SCHEMATIC 2.2
SHEET DATA:	DESIGNED BY: PHEL KEAN DRAWN BY:
SHEET DESC.:	BUILDING 1 UPPER LEVEL FLOOR PLAN NOTED
SHEET	1.4



MORSE BUILDING FRONT (NORTH)

SCALE: 1/4" = 1'-0"



MORSE BUILDING REAR (SOUTH)

SCALE: 1/4" = 1'-0"

DESIGNER:

PHIL KEANE DESIGN GROUP
ARCHITECTS / INTERIORS / LANDSCAPE ARCHITECTS
412 S. 4th Street, Suite 200
Pittsburgh, PA 15219
PH: 412.281.8811 FAX: 412.281.8813
WWW.PHILKEANEDESIGN.COM

ENGINEER:

WINTERS, KANE, INCORPORATING
1015 UNIVERSITY AVENUE, SUITE 200
PITTSBURGH, PA 15222
MICHAEL J. BURDEN
PE # 11528

PROJECT:

MORSE & PENNSYLVANIA
BROWNSTONES

PLAN HISTORY

DATE	DESC.:
07/08/15	SCHEMATIC # 1
07/14/15	SCHEMATIC # 2

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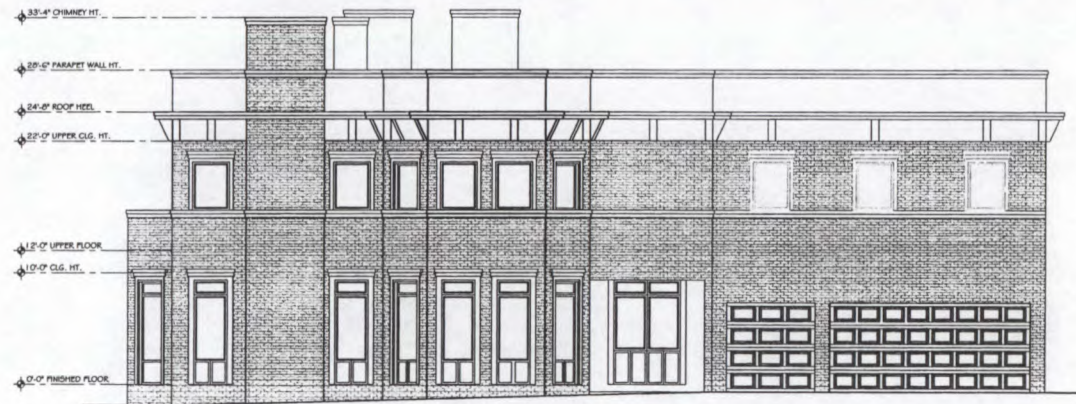
DESIGNED BY:
PHIL KEANE
DRAWN BY:

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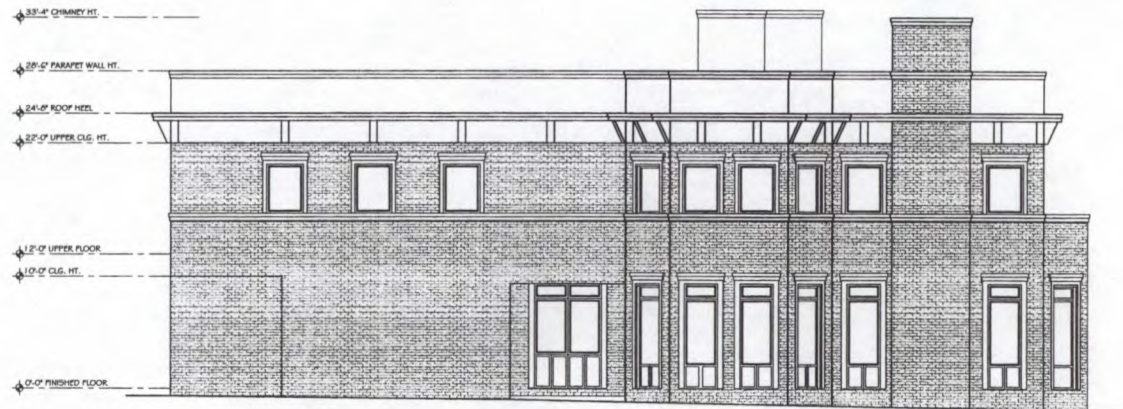
BUILDING 1
FRONT & REAR
ELEVATIONS

SHEET

2.0



MORSE BUILDING RIGHT (WEST)
SCALE: 1/8" = 1'-0"



MORSE BUILDING LEFT (EAST)
SCALE: 1/8" = 1'-0"

DESIGNER:
PHIL KEAN DESIGN GROUP
ARCHITECTURAL FIRM, INC.
112 S. 4th Street, Suite 200
P.O. Box 1000, Erie, PA 16501-1000
www.philkeandesign.com

ENGINEER:
MICHAEL J. BULLEN
P.E.
112 S. 4th Street, Suite 200
P.O. Box 1000, Erie, PA 16501-1000
www.philkeandesign.com

PROJECT:

MORSE & PENNSYLVANIA
BROWNSTONES

PLAN HISTORY
DATE DESC. 1
07-08-15 SCHEMATIC 1.1
07-14-15 SCHEMATIC 2.1

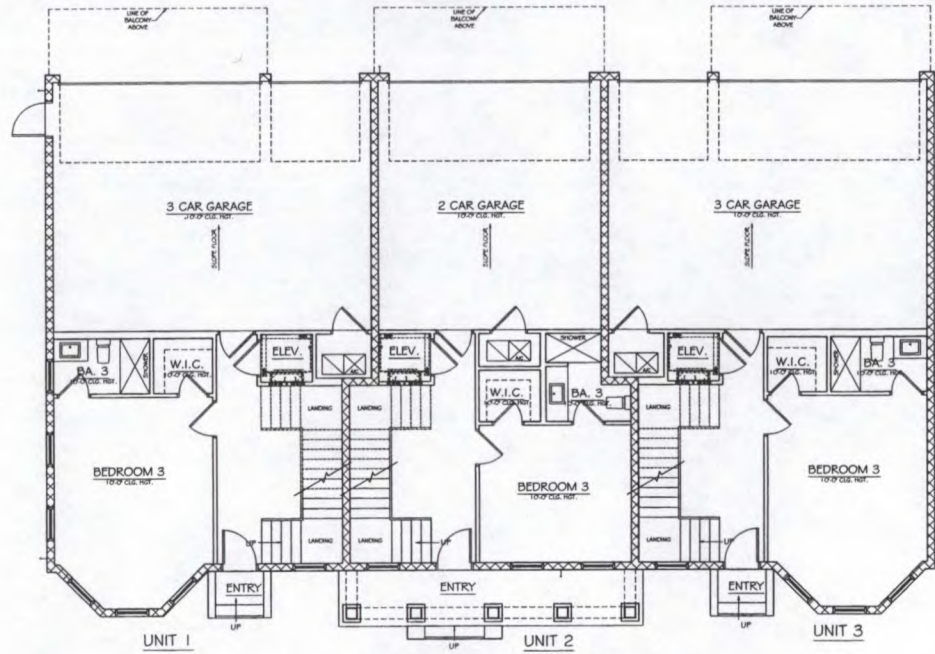
SHEET DATA:
DESIGNED BY:
PHIL KEAN
DRAWN BY:

SHEET DESC. 1
BUILDING 1
RIGHT & LEFT
ELEVATIONS

SHEET

2.1

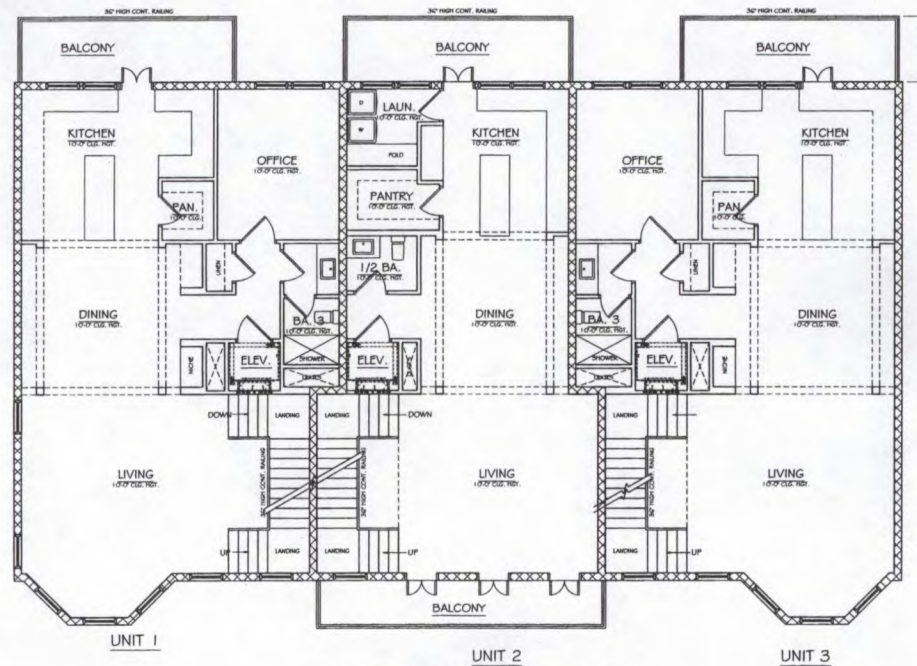
BUILDING # 2	
UNIT #1	
LOWER LEVEL	
AC:	636
GARAGE:	708
MIDDLE LEVEL	
AC:	1328
BALCONY:	122
UPPER LEVEL	
AC:	1217
PROT. BALCONY:	39
2 STORY AREA:	73
TOTALS	
AC:	3161
GARAGE:	708
2 STORY AREA:	73
TOTAL UNDER ROOF:	3960
BALCONY:	195
UNIT #2	
LOWER LEVEL	
AC:	553
GARAGE:	498
COVERED ENTRY:	137
MIDDLE LEVEL	
AC:	1051
BALCONY:	128
UPPER LEVEL	
AC:	963
2 STORY AREA:	88
TOTALS	
AC:	2567
GARAGE:	498
2 STORY AREA:	88
COVERED ENTRY:	137
TOTAL UNDER ROOF:	3290
BALCONY:	128
UNIT #3	
LOWER LEVEL	
AC:	636
GARAGE:	708
MIDDLE LEVEL	
AC:	1328
BALCONY:	122
UPPER LEVEL	
AC:	1202
2 STORY AREA:	88
TOTALS	
AC:	3164
GARAGE:	708
2 STORY AREA:	88
TOTAL UNDER ROOF:	3960
BALCONY:	122



#2 LOWER LEVEL FLOOR PLAN - NOTED
SCALE: 1/4" = 1'-0"

DESIGNER:	PAUL KEAN DESIGN GROUP ARCHITECTS 100 N. 10th St., Suite 100 P.O. Box 1000, Erie, PA 16501 TEL: 814/333-1111 FAX: 814/333-1112 WWW.PAULKEANDSIGN.COM
ENGINEER:	WHITFIELD ASSOCIATES, INC. 100 N. 10th St., Suite 100 P.O. Box 1000, Erie, PA 16501 TEL: 814/333-1111 FAX: 814/333-1112 MICHAEL J. BURDEN P.E. 000000000000000000
PROJECT:	MORSE & PENNSYLVANIA BROWNSTONES
PLAN HISTORY	DATE DESC.: 07/01/15 SCHEMATIC #1 07/14/15 SCHEMATIC #2 07/14/15 SCHEMATIC #3
SHEET DATA:	DESIGNED BY: PAUL KEAN DRAWN BY:
SHEET DESC.:	BUILDING 2 LOWER LEVEL FLOOR PLAN
SHEET	1.2

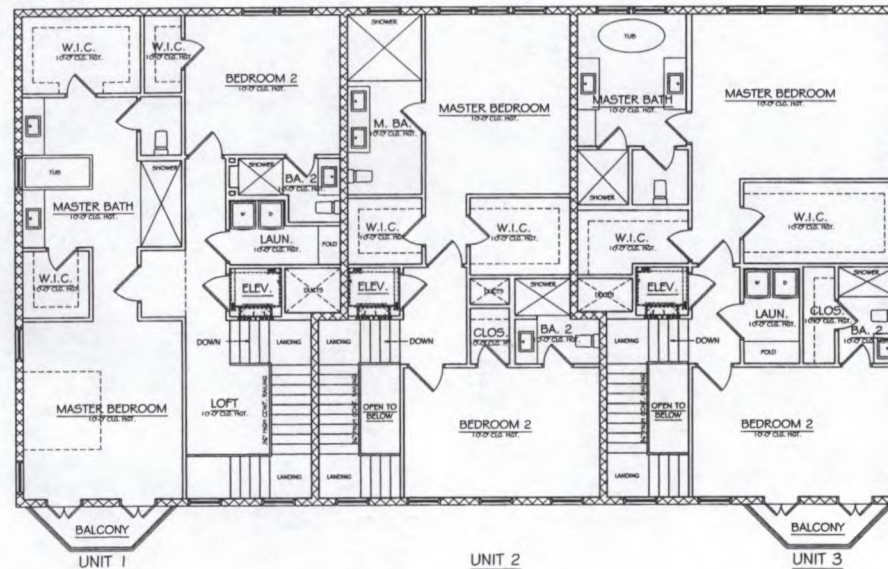
BUILDING # 2		
UNIT #1		
LOWER LEVEL		
A/C:	636	
GARAGE:	706	
MIDDLE LEVEL		
A/C:	1326	
BALCONY:	122	
UPPER LEVEL		
A/C:	1217	
FRONT BALCONY:	39	
2 STORY AREA:	73	
TOTALS		
A/C:	3181	
GARAGE:	706	
2 STORY AREA:	73	
TOTAL UNDER ROOF:	3960	
BALCONY:	195	
UNIT #2		
LOWER LEVEL		
A/C:	953	
GARAGE:	496	
COVERED ENTRY:	137	
MIDDLE LEVEL		
A/C:	1051	
BALCONY:	126	
UPPER LEVEL		
A/C:	963	
2 STORY AREA:	66	
TOTALS		
A/C:	2567	
GARAGE:	496	
2 STORY AREA:	66	
COVERED ENTRY:	137	
TOTAL UNDER ROOF:	3290	
BALCONY:	126	
UNIT #3		
LOWER LEVEL		
A/C:	636	
GARAGE:	706	
MIDDLE LEVEL		
A/C:	1326	
BALCONY:	122	
UPPER LEVEL		
A/C:	1202	
2 STORY AREA:	66	
TOTALS		
A/C:	3164	
GARAGE:	706	
2 STORY AREA:	66	
TOTAL UNDER ROOF:	3960	
BALCONY:	122	



#2 MIDDLE LEVEL FLOOR PLAN - NOTED
SCALE: 1/8" = 1'-0"

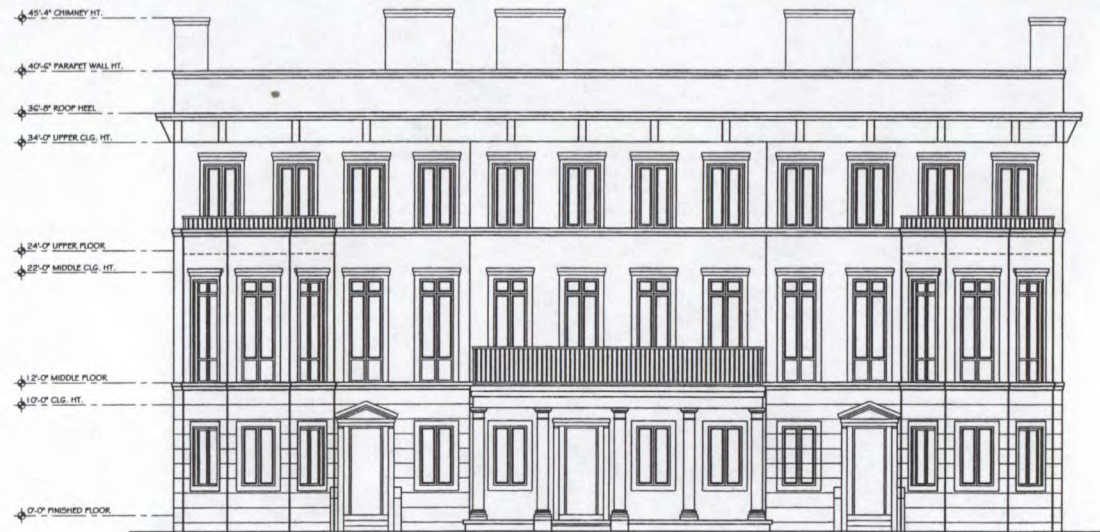
DESIGNER:	PATRICK DILLON CREATIVE
ENGINEER:	WINTER PARK ENGINEERING
PROJECT:	MORSE & PENNSYLVANIA BROWNSTONES
PLAN HISTORY	DATE DESC.
	07-08-15 SCHEMATIC #1
	07-14-15 SCHEMATIC #2
SHEET DATA:	DESIGNED BY: PHIL SEAN
	DRAWN BY:
SHEET DESC.:	BUILDING 2 MIDDLE LEVEL FLOOR PLAN NOTED
SHEET	1.4

BUILDING # 2	
UNIT #1	
LOWER LEVEL	
AC:	636
GARAGE:	706
MIDDLE LEVEL	
AC:	1326
BALCONY:	122
UPPER LEVEL	
AC:	1217
FRONT BALCONY:	59
2 STORY AREA:	73
TOTALS	
AC:	3161
GARAGE:	706
2 STORY AREA:	73
TOTAL UNDER ROOF:	3960
BALCONY:	195
UNIT #2	
LOWER LEVEL	
AC:	553
GARAGE:	496
COVERED ENTRY:	137
MIDDLE LEVEL	
AC:	1091
BALCONY:	126
UPPER LEVEL	
AC:	963
2 STORY AREA:	66
TOTALS	
AC:	2567
GARAGE:	496
2 STORY AREA:	66
COVERED ENTRY:	137
TOTAL UNDER ROOF:	3290
BALCONY:	126
UNIT #3	
LOWER LEVEL	
AC:	636
GARAGE:	706
MIDDLE LEVEL	
AC:	1326
BALCONY:	122
UPPER LEVEL	
AC:	1208
2 STORY AREA:	66
TOTALS	
AC:	3164
GARAGE:	706
2 STORY AREA:	66
TOTAL UNDER ROOF:	3960
BALCONY:	122



#2 UPPER LEVEL FLOOR PLAN - NOTED
SCALE: 1/8" = 1'-0"

DESIGNER:	
PAUL KEAM DESIGN GROUP ARCHITECTS - COMMERCIAL - RESIDENTIAL 1111 N. 10TH STREET, SUITE 200 PHILADELPHIA, PA 19107 TEL: 215-591-1111 FAX: 215-591-1112 WWW.PAULKEAMDESIGNGROUP.COM	
ENGINEER:	
WINTERS, KASSEL & ASSOCIATES, INC. STRUCTURAL ENGINEERS 1000 N. 10TH STREET, SUITE 200 PHILADELPHIA, PA 19107 TEL: 215-591-1111 FAX: 215-591-1112 WWW.WINTERSKASSEL.COM	
PROJECT:	
MORSE & PENNSYLVANIA BROWNSTONES	
PLAN HISTORY	
DATE	DESC.
07-09-13	SCHEMATIC #1
07-14-13	SCHEMATIC #2
SHEET DATA:	
DESIGNED BY: PAUL KEAM	
DRAWN BY:	
SHEET DESC.:	
BUILDING 2 UPPER LEVEL FLOOR PLAN NOTED	
SHEET	
1.6	



BUILDING #2 FRONT (WEST)

SCALE: 1/4" = 1'-0"



BUILDING #2 REAR (SOUTH)

SCALE: 1/4" = 1'-0"

DESIGNER:

PHIL KEAN DESIGN GROUP
ARCHITECTS & INTERIORS
212 S. 4th Street, Suite 200
P.O. Box 8822, Harrisburg, PA 17108-8822
PH: 717.633.8822 FAX: 717.633.8823
WWW.PHILKEANDSIGN.COM

ENGINEER:

WINTER KASE ENGINEERING
1030 N. 10th Street, Suite 200
Harrisburg, PA 17102-1030
MICHAEL J. BURDEN
PE # 81588
RES. 717.633.8823

PROJECT:

MORSE & PENNSYLVANIA
BROWNSTONES

PLAN HISTORY

DATE	DESC.
07-09-15	SCHEMATIC # 1
07-14-15	SCHEMATIC # 2

SHEET DATA:

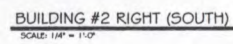
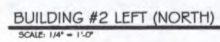
DESIGNED BY:
PHIL KEAN
DRAWN BY:

SHEET DESC.:

BUILDING 2
FRONT & REAR
ELEVATIONS

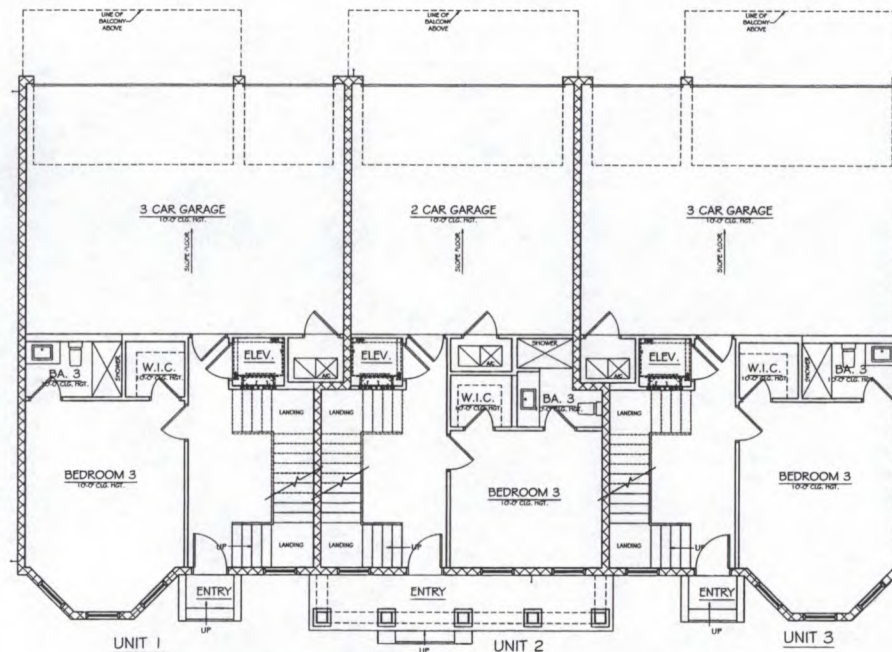
SHEET

2.0



2.1

BUILDING # 3	
UNIT #1	
LOWER LEVEL	
AC:	636
GARAGE:	706
MIDDLE LEVEL	
AC:	1326
BALCONY:	122
UPPER LEVEL	
AC:	1202
FRONT BALCONY:	39
2 STORY AREA:	66
TOTALS	
AC:	3166
GARAGE:	706
2 STORY AREA:	66
TOTAL UNDER ROOF:	3960
BALCONY:	195
UNIT #2	
LOWER LEVEL	
AC:	553
GARAGE:	490
COVERED ENTRY:	137
MIDDLE LEVEL	
AC:	1051
BALCONY:	126
UPPER LEVEL	
AC:	963
2 STORY AREA:	66
TOTALS	
AC:	2567
GARAGE:	490
2 STORY AREA:	66
COVERED ENTRY:	137
TOTAL UNDER ROOF:	3280
BALCONY:	126
UNIT #3	
LOWER LEVEL	
AC:	636
GARAGE:	706
MIDDLE LEVEL	
AC:	1326
BALCONY:	122
UPPER LEVEL	
AC:	1202
2 STORY AREA:	66
TOTALS	
AC:	3164
GARAGE:	706
2 STORY AREA:	66
TOTAL UNDER ROOF:	3960
BALCONY:	122



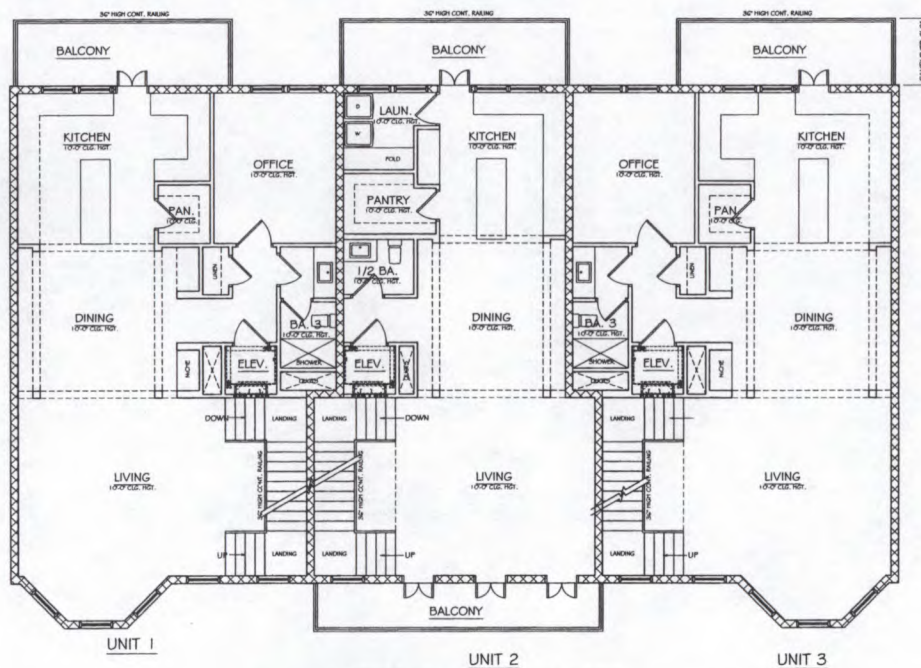
#3 LOWER LEVEL FLOOR PLAN - NOTED
SCALE: 1/4" = 1'-0"

DESIGNER:	PHIL KEAN DESIGN GROUP
ENGINEER:	WINTER, KASE ENGINEERING
PROJECT:	MORSE & PENNSYLVANIA BROWNSTONES
PLAN HISTORY:	DATE: 02-08-15 DESC.: SCHEMATIC #1
SHEET DATA:	DESIGNED BY: PHIL KEAN
SHEET DESC.:	BUILDING 3 LOWER LEVEL FLOOR PLAN NOTED
SHEET:	1.2

<u>UNIT #1</u>	
<u>LOWER LEVEL</u>	
A/C:	636
GARAGE:	706
<u>MIDDLE LEVEL</u>	
A/C:	1328
BALCONY:	122
<u>UPPER LEVEL</u>	
A/C:	1202
FRONT BALCONY:	39
2 STORY AREA:	50
<u>TOTALS</u>	
A/C:	3166
GARAGE:	706
2 STORY AREA:	50
TOTAL UNDER ROOF:	3960
BALCONY:	195

<u>LOWER LEVEL</u>	
A/C:	553
GARAGE:	496
COVERED ENTRY:	137
<hr/>	
<u>MIDDLE LEVEL</u>	
A/C:	1091
BALCONY:	126
<hr/>	
<u>UPPER LEVEL</u>	
A/C:	963
2 STORY AREA:	66
<hr/>	
<u>TOTALS</u>	
A/C:	2567
GARAGE:	496
2 STORY AREA:	66
COVERED ENTRY:	137
TOTAL UNDER ROOF:	3290
BALCONY:	126

<u>LOWER LEVEL</u>		
AC:		636
GARAGE:		708
<hr/>		
<u>MIDDLE LEVEL</u>		
AC:		1320
BALCONY:		122
<hr/>		
<u>UPPER LEVEL</u>		
AC:		1202
2 STORY AREA:		06
<hr/>		
<u>TOTALS</u>		
AC:		3164
GARAGE:		708
2 STORY AREA:		06
TOTAL UNDER ROOM:		3960
BALCONY:		122



#3 MIDDLE LEVEL FLOOR PLAN - NOTED

PHIL KEAN DESIGN GROUP
ARCHITECTURE / CONSTRUCTION / INTERIORS

212 W. Pershing & 1st
Dallas, TX, 75201
PH: 409-595-3322, FAX: 409-595-3322
WWW.PKDG.COM

**WINTER PARK ENGINEERING
SERVICES, LLC**
815 W. SHAWANEE AVE., WINTER PARK, CO. 81091
CERTIFICATE OF AUTHORIZATION 30499

MICHAEL J. BURDEN
PE# 61628

MORSE & PENNSYLVANIA
BROWNSTONES

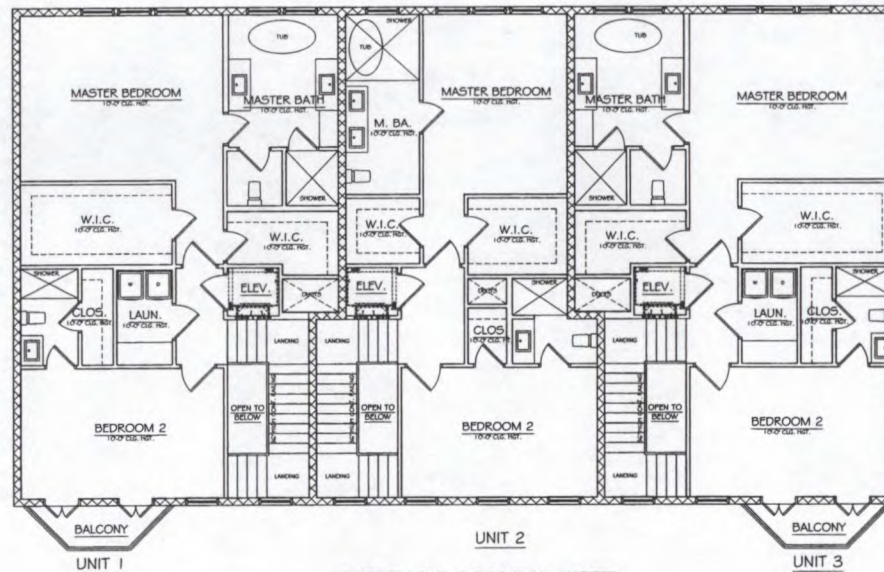
[illegible]

DESIGNED BY:
PHIL KEAN
DRAWN BY:

BUILDING 3
MIDDLE LEVEL
FLOOR PLAN
NOTED

1.4

BUILDING # 3	
UNIT #1	
LOWER LEVEL	
A/C:	636
GARAGE:	708
MIDDLE LEVEL	
A/C:	1328
BALCONY:	122
UPPER LEVEL	
A/C:	1202
FRONT BALCONY:	35
2 STORY AREA:	66
TOTALS	
A/C:	3166
GARAGE:	708
2 STORY AREA:	66
TOTAL UNDER ROOF:	3960
BALCONY:	195
UNIT #2	
LOWER LEVEL	
A/C:	553
GARAGE:	498
COVERED ENTRY:	137
MIDDLE LEVEL	
A/C:	1061
BALCONY:	128
UPPER LEVEL	
A/C:	963
2 STORY AREA:	66
TOTALS	
A/C:	2567
GARAGE:	498
2 STORY AREA:	66
COVERED ENTRY:	137
TOTAL UNDER ROOF:	3290
BALCONY:	128
UNIT #3	
LOWER LEVEL	
A/C:	636
GARAGE:	708
MIDDLE LEVEL	
A/C:	1328
BALCONY:	122
UPPER LEVEL	
A/C:	1202
2 STORY AREA:	66
TOTALS	
A/C:	3164
GARAGE:	708
2 STORY AREA:	66
TOTAL UNDER ROOF:	3960
BALCONY:	122



#3 UPPER LEVEL FLOOR PLAN - NOTED

SCALE: 1/4" = 1'-0"

DESIGNER:
PAUL KRAMER DESIGN GROUP
ARCHITECTS
1000 N. 10TH ST., SUITE 200
PHILADELPHIA, PA 19107
TEL: 215-592-1234
WWW.PKDG.COM

ENGINEER:
WINTER, JAMES & ASSOCIATES
1000 N. 10TH ST., SUITE 200
PHILADELPHIA, PA 19107
TEL: 215-592-1234
WWW.WJA.COM

MICHAEL J. BURDEN
P.E.
1000 N. 10TH ST., SUITE 200
PHILADELPHIA, PA 19107
TEL: 215-592-1234

PROJECT:

MORSE & PENNSYLVANIA
BROWNSTONES

PLAN HISTORY

DATE	DESC.
07-09-15	SCHEMATIC #1
07-14-15	SCHEMATIC #2

SHEET DATA:

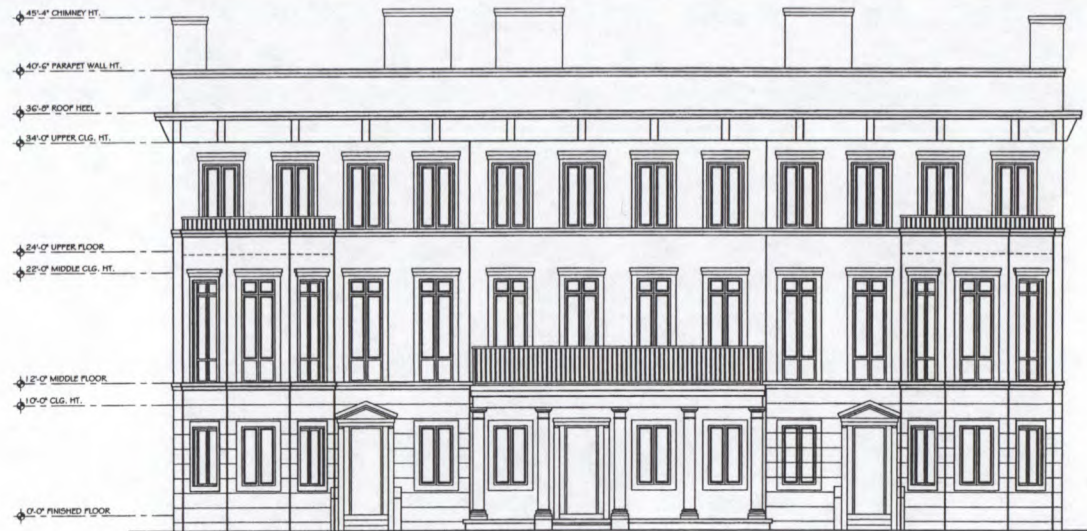
DESIGNED BY: PHIL KRAMER
DRAWN BY:

SHEET DESC.:

BUILDING 3
MIDDLE LEVEL
FLOOR PLAN
NOTED

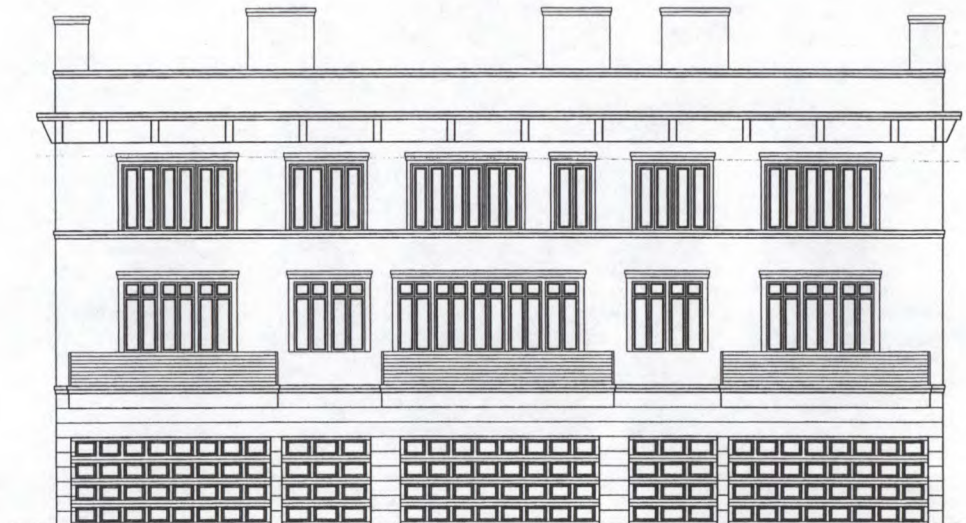
SHEET

1.6



BUILDING #3 FRONT (WEST)

SCALE: 1/4" = 1'-0"



BUILDING #3 REAR (SOUTH)

SCALE: 1/4" = 1'-0"

DESIGNER:

PHIL KEAN DESIGN GROUP
ARCHITECTS / INTERIORS / LANDSCAPE ARCHITECTS
212 E. 10th Street, Suite 100
P.O. Box 1000, Erie, PA 16501-1000
TEL: 814.399.1000 FAX: 814.399.1001
WWW.PHILKEANDSIGN.COM

ENGINEER:

WINTER KANE ENGINEERING
100 E. 10th Street, Suite 100
P.O. Box 1000, Erie, PA 16501-1000
TEL: 814.399.1000 FAX: 814.399.1001
WWW.WINTERKANEENGINEERING.COM
MICHAEL J. BURDEN
P.E. # 1000

PROJECT:

MORSE & PENNSYLVANIA
BROWNSTONES

PLAN HISTORY

DATE	DESC.
07-09-15	SCHEMATIC # 1
07-14-15	SCHEMATIC # 2

SHEET DATA:

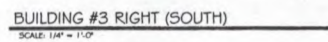
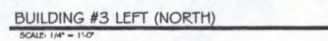
DESIGNED BY:
PHIL KEAN
DRAWN BY:

SHEET DESC.:

BUILDING 3
FRONT & REAR
ELEVATIONS

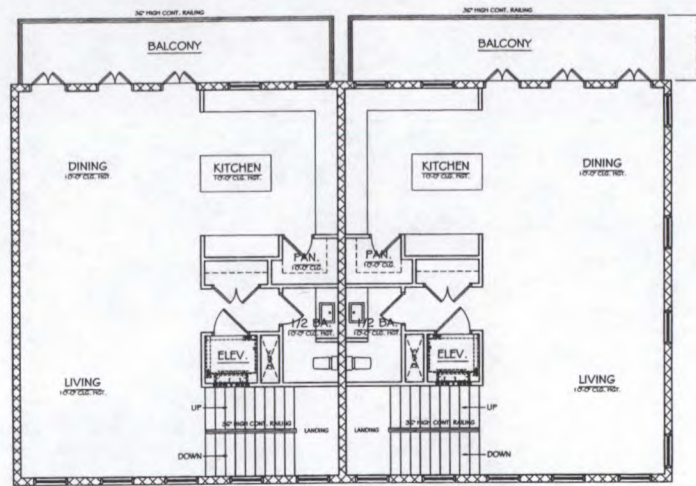
SHEET

2.0



2.1

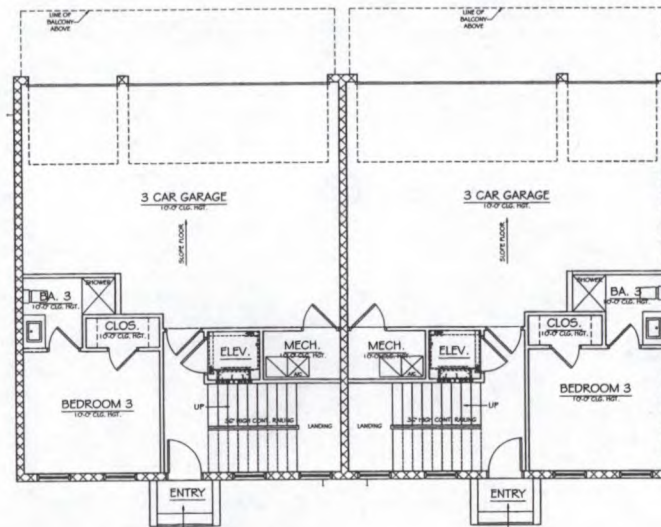
BUILDING # 4			
UNIT #1			
LOWER LEVEL			
AC:		45.6	
GARAGE:		625	
MIDDLE LEVEL			
AC:		1063	
BALCONY:		170	
UPPER LEVEL			
AC:		1063	
TOTALS			
AC:		2624	
GARAGE:		625	
TOTAL UNDER ROOF:		3249	
BALCONY:		170	
UNIT #2			
LOWER LEVEL			
AC:		45.6	
GARAGE:		625	
MIDDLE LEVEL			
AC:		1063	
BALCONY:		170	
UPPER LEVEL			
AC:		1063	
TOTALS			
AC:		2624	
GARAGE:		625	
TOTAL UNDER ROOF:		3249	
BALCONY:		170	



UNIT 2

#4 MIDDLE LEVEL FLOOR PLAN - NOTED

SCALE: 1/4" = 1'-0"



UNIT 2

#4 LOWER LEVEL FLOOR PLAN - NOTED

SCALE: 1/4" = 1'-0"

DESIGNER:

PHIL KEAN DESIGN GROUP
ARCHITECTURE / CONSTRUCTION / INTERIORS
212 W. Tennessee Avenue
Savannah, PA, 15473
PH 412-639-3522 FAX 412-639-3528
WWW.PHILKEANDSIGN.COM

ENGINEER:

WINTER PARK ENGINEERING
SERVICES, LLC
100 E. HUNTERS CIRCLE, SUITE 100, 10000
COLUMBIA, SC 29208
TEL: 803/771-1100 FAX: 803/771-1101
WWW.WPESVCS.COM

PROJECT:

MORSE & PENNSYLVANIA
BROWNSTONES

PLAN HISTORY

DATE	DESC.:
07-08-15	SCHEMATIC # 1
07-14-15	SCHEMATIC # 2

SHEET DATA:

DESIGNED BY:
PHIL KEAN
DRAWN BY:

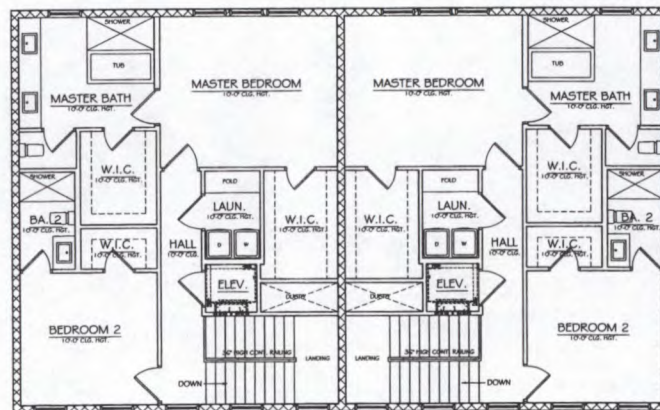
SHEET DESC.:

BUILDING 4
LOWER & MIDDLE
LEVEL FLOOR
PLANS NOTED

SHEET

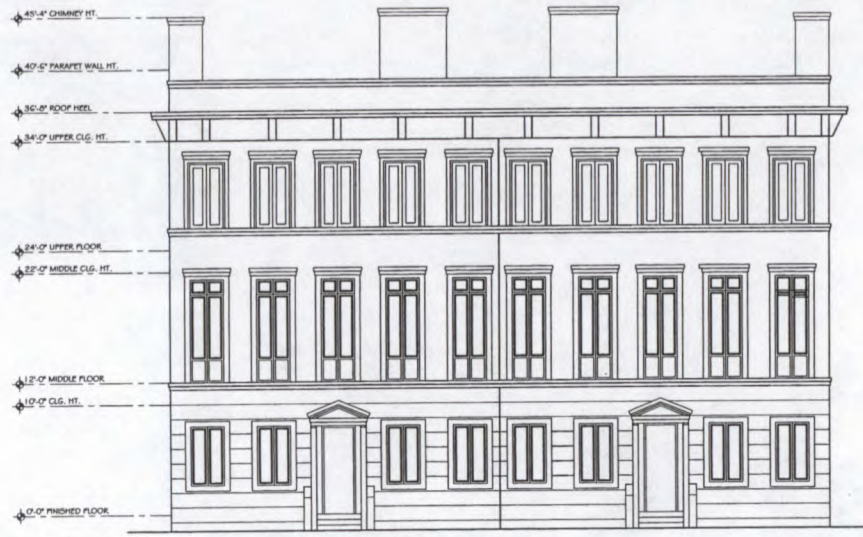
1.2

BUILDING # 4	
UNIT #1	
LOWER LEVEL	
AC:	456
GARAGE:	625
MIDDLE LEVEL	
AC:	1063
BALCONY:	170
UPPER LEVEL	
AC:	1063
TOTALS	
AC:	2624
GARAGE:	625
TOTAL UNDER ROOF:	3249
BALCONY:	170
UNIT #2	
LOWER LEVEL	
AC:	456
GARAGE:	625
MIDDLE LEVEL	
AC:	1063
BALCONY:	170
UPPER LEVEL	
AC:	1063
TOTALS	
AC:	2624
GARAGE:	625
TOTAL UNDER ROOF:	3249
BALCONY:	170

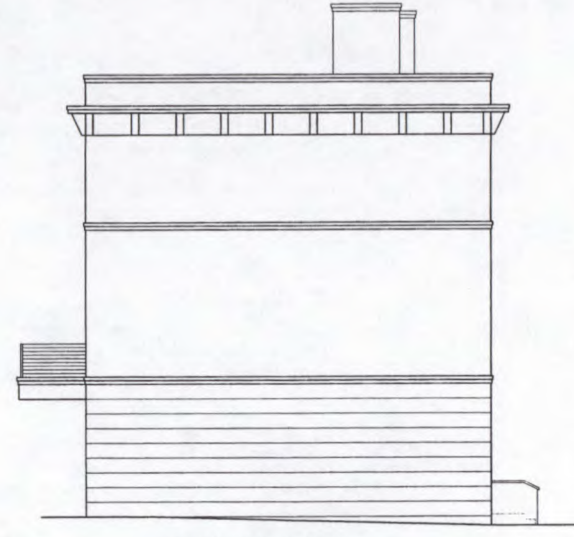


UNIT 1
UNIT 2
#4 UPPER LEVEL FLOOR PLAN - NOTED
SCALE: 1/4" = 1'-0"

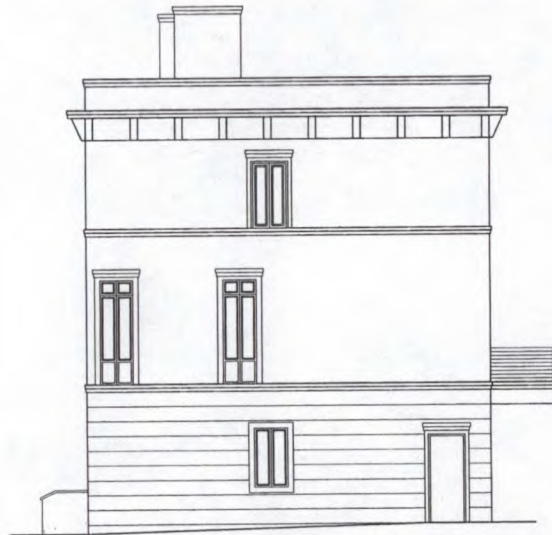
DESIGNER:	PHIL KEAN DESIGN GROUP ARCHITECTS - INTERIORS - ENGINEERS 200 E. Main Street, Suite 200 P.O. Box 1000, New York, NY 10001 Tel: 212-333-3333 www.philkean.com
ENGINEER:	WHITTEK & ASSOCIATES, INC. REGISTERED PROFESSIONAL ENGINEERS IN THE STATE OF NEW YORK MICHAEL J. BURDEN PE No. 10000 DOB, 1/28/57
PROJECT:	MORSE & PENNSYLVANIA BROWNSTONES
PLAN HISTORY	DATE DESC.: 07-09-15 SCHEMATIC # 1 07-14-15 SCHEMATIC # 2
SHEET DATA:	DESIGNED BY: PHIL KEAN DRAWN BY:
SHEET DESC.:	BUILDING 4 UPPER LEVEL FLOOR PLAN
SHEET	1.3



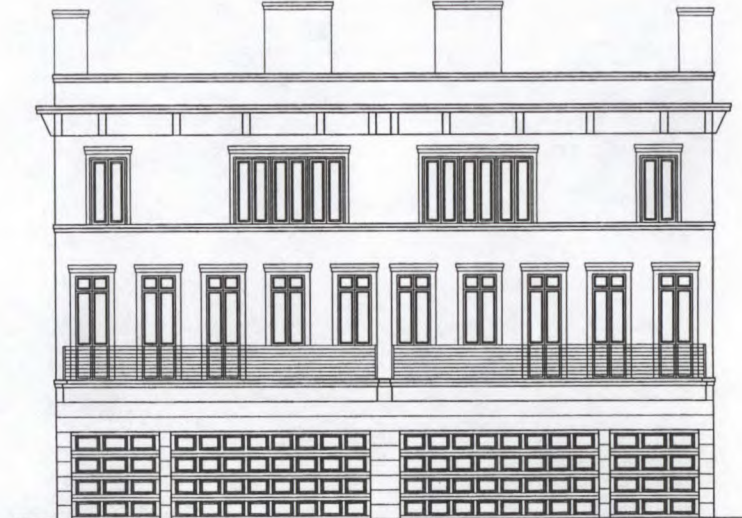
BUILDING #4 FRONT (WEST)
SCALE: 1/4" = 1'-0"



BUILDING #4 LEFT (NORTH)
SCALE: 1/4" = 1'-0"



BUILDING #4 RIGHT (SOUTH)
SCALE: 1/4" = 1'-0"



BUILDING #4 REAR (SOUTH)
SCALE: 1/4" = 1'-0"

DESIGNER:

DAVID KEAN DESIGN GROUP
ARCHITECTS
1000 N. 10TH ST., SUITE 200
PHILADELPHIA, PA 19107
PH: 215-592-1234
WWW.DKDG.COM

ENGINEER:

WHITTEK & ASSOCIATES, INC.
STRUCTURAL ENGINEERS
1000 N. 10TH ST., SUITE 200
PHILADELPHIA, PA 19107
PH: 215-592-1234
WWW.WA-PA.COM

PROJECT:

MORSE & PENNSYLVANIA
BROWNSTONES

PLAN HISTORY

DATE	DESC.
07-09-15	SCHEMATIC #1
07-14-15	SCHEMATIC #2

SHEET DATA:

DESIGNED BY:

PHIL KEAN

DRAWN BY:

SHEET DESC.:

BUILDING 4

ELEVATIONS

SHEET

2.0

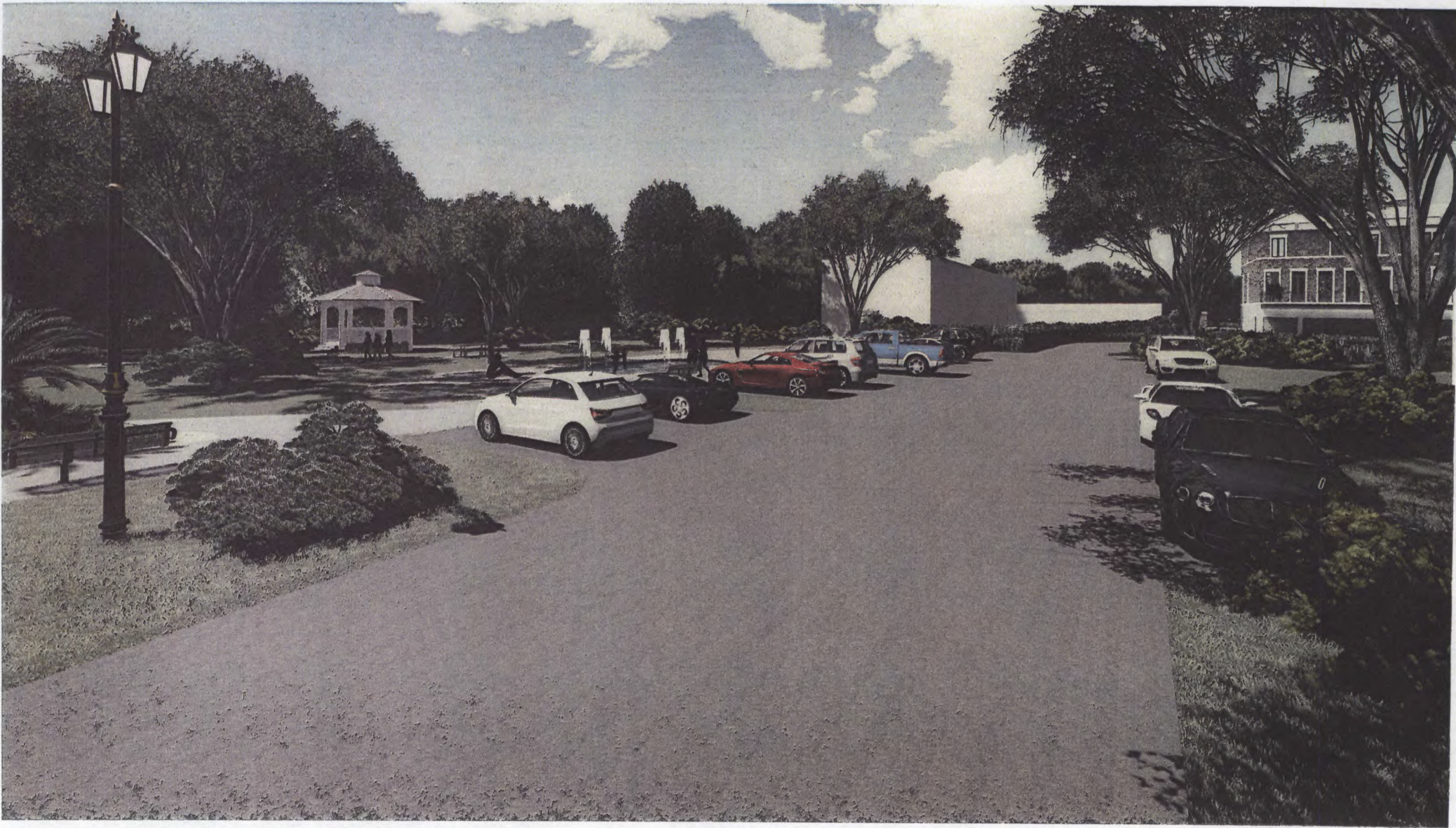


























city commission **public hearing**

item type	Public Hearing	meeting date	October 12, 2015
prepared by	Terry Hotard	approved by	<input checked="" type="checkbox"/> City Manager
department	Electric Utility		<input type="checkbox"/> City Attorney
division	Administration		<input type="checkbox"/> N/A
board approval	<input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> N/A		final vote
strategic objective	<input type="checkbox"/> Exceptional Quality of Life <input type="checkbox"/> Fiscal Stewardship		
	<input type="checkbox"/> Intelligent Growth & Development <input type="checkbox"/> Public Health & Safety		
	<input type="checkbox"/> Investment in Public Assets & Infrastructure		

Subject **SECOND READING OF ORDINANCE**

1. Request to vacate 1999 Florida Power Corporation distribution easement (O.R.B. 5858 Page 2124)
2. Request to vacate 5' platted easement Block "G" Home Acres Subdivision

motion | recommendation

Approve the vacate request

Background

Sydgan Corporation has requested that the City vacate two (2) separate easements. The first is a 5' 1999 Florida Power Corporation distribution easement recorded in O.R.B. 5858 Page 2124. The second is a 5' platted easement recorded in 1926 as part of the Home Acres Subdivision. All utilities within the defined easement areas have been removed.

alternatives | other considerations

N/A

fiscal impact

None

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF WINTER PARK, FLORIDA, VACATING AND ABANDONING THE 5 FOOT UTILITY EASEMENT LOCATED ON BLOCK "G" OF THE HOME ACRES SUBDIVISION AND THE 1999 FLORIDA POWER CORPORATION DISTRIBUTION EASEMENT, MORE PARTICULARLY DESCRIBED HEREIN; PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City of Winter Park by custom will vacate and abandon an easement no longer needed for municipal purposes; and

WHEREAS, the City has determined that the easement or part thereof is no longer needed by the City of Winter Park; and

WHEREAS, all utilities within the defined easement area have been removed.

NOW THEREFORE, BE IT ENACTED by the People of the City of Winter Park, Florida, as follows:

Section 1. The City Commission of the City of Winter Park, Florida, does hereby vacate and abandon that certain utility easement located within Block "G" of the Home Acres Subdivision in Winter Park, Florida, more particularly described and attached as Exhibit "1."

Section 2. The City Commission of the City of Winter Park, Florida, does hereby vacate and abandon that certain 1999 Florida Power Corporation distribution easement, as recorded in O.R.B. 5858, Page 2124, of the Orange County Clerk of Court Public Records, being more particularly described as follows:

A 5 foot wide Easement Area defined as comprising the North 5 feet of the following described property.

Lot 13 and the South 25 feet of Lot 12, Block G, HOME ACRES, according to the plat thereof, as recorded in Plat Book M, Page 97, of the Pubic Records of Orange County, Florida.

Tax Parcel Number: 01-22-29-3712-07-130

Section 3. The legal description for the distribution easement is based on the grant of the Distribution Easement recorded in O.R.B. 5858, Page 2124, of the Orange County Clerk of Court Public Records; and the legal description for the utility easement is based on the survey performed by William F. Menard. The City Manager is authorized to execute such curative documents and to record the same as may be necessary to conform the vacation to the accurate legal description of the easement being vacated should error exists in the legal description.

A subsequently recorded vacation of this easement, if any, which is in the nature of a curative document necessary to conform the vacation of the easement to the accurate legal description of the easement being vacated, shall take precedence over the legal description provided herein, and any subsequently recorded curative document shall control with respect to the legal description of the easement being vacated. An accurate legal description of the easement being vacated is a condition of this vacation of the easement.

Section 4. All ordinances or portions of ordinances in conflict herewith are hereby repealed.

ADOPTED by the City Commission of the City of Winter Park, Florida, in a regular meeting assembled on the ____ day of _____, 2015.

Mayor Steve Leary

ATTEST:

Cynthia S. Bonham, City Clerk, MMC

Exhibit "1"

LEGAL DESCRIPTION:

THAT PORTION OF BLOCK 102 THAT PORTION OF UNPLATTED LEWIS DRIVE, A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY, HOME ACRES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 4, PAGE 97, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 1, TOWNSHIP 22 SOUTH, RANGE 28 EAST; THENCE S02°33'38"E ALONG THE WEST LINE OF THE NORTHWEST 1/4, A DISTANCE OF 1048.89 FEET; THENCE LEAVING SAID WEST LINE SECTION 101 S89°50'28"E, A DISTANCE OF 638.0 FEET TO A POINT BEARING THENCE S89°30'28"E, A DISTANCE OF 231.90 FEET; THENCE S02°27'38"W, A DISTANCE OF 411.80 FEET TO A POINT BEARING THENCE S89°30'28"E, A DISTANCE OF 748.89 FEET; THENCE N00°02'18"E, A DISTANCE OF 412.31 FEET TO THE POINT OF BEGINNING.

CONTAINING 2.37 ACRES (102,179 SQUARE FEET), MORE OR LESS

SURVEYOR'S NOTES:

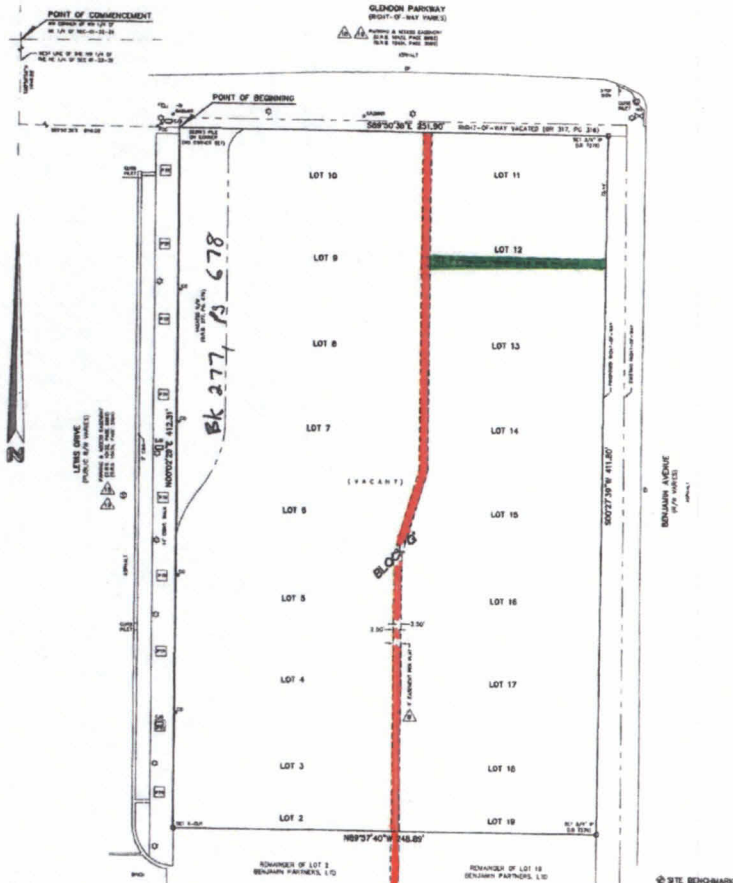
- [illegible]

SURVEYOR'S CERTIFICATE

Ex. 20. Water Park, a Florida limited liability company, Old Republic National Life Insurance Company

Date of Work: August 17, 2015

William F. Menard
Professional Surveyor & Mapper
Florida Registration #34225



Utility easement BLK "G" HOME ACRES

FPC distribution easement PBM PG 97



10.50
11.70

DISTRIBUTION EASEMENT

Orange Co FL 1999-0442504
101299 11:34:36am
OR Ak 5858 Pg 2124
Rec 10.50 DSC .70

KNOW ALL MEN BY THESE PRESENTS, That the undersigned, their successors, lessees and assigns ("GRANTOR"), in consideration of the mutual benefits, covenants and conditions herein contained, did grant and convey to FLORIDA POWER CORPORATION, a Florida corporation ("GRANTEE"), P. O. Box 14042, St. Petersburg, Florida 33733, and to its successors, lessees and assigns, an easement to install, operate and maintain in perpetuity or until the use thereof is abandoned, such facilities as may be necessary or desirable for providing electric energy and service and communication services; by GRANTEE or others; said facilities being located in the following described "Easement Area" within GRANTOR'S premises in Orange County, Florida, to wit:

A 5 foot wide Easement Area defined as comprising the North 5 feet of the following described property.

Lot 13 and the South 25 feet of Lot 12, Block G, HOME ACRES, according to the plat thereof, as recorded in Plat Book M, Page 97, of the Public Records of Orange County, Florida.

Tax Parcel Number: 01-22-29-3712-07-130

The rights herein granted to GRANTEE by GRANTOR specifically include: (a) the right for GRANTEE to patrol, inspect, alter, improve, repair, rebuild, relocate, and remove said facilities; (b) the right for GRANTEE to increase or decrease the voltage and to change the quantity and type of facilities; (c) the right for GRANTEE to clear the Easement Area of trees, limbs, undergrowth and other physical objects which, in the opinion of GRANTEE, endanger or interfere with the safe and efficient installation, operation or maintenance of said facilities; (d) the right for GRANTEE to trim or remove any timber adjacent to but outside the Easement Area which, in the opinion of GRANTEE, endangers or interferes with the safe and efficient installation, operation or maintenance of said facilities; (e) the reasonable right for GRANTEE to enter upon land of the GRANTOR adjacent to said Easement Area for the purpose of exercising the rights herein granted; and (f) all other rights and privileges reasonably necessary or convenient for GRANTEE's safe and efficient installation, operation and maintenance of said facilities and for the enjoyment and use of said easement for the purposes described above.

GRANTOR hereby covenants and agrees that no buildings, structures or obstacles (except fences) shall be located, constructed, excavated or created within the Easement Area. If fences are installed, they shall be placed so as to allow ready access to GRANTEE's facilities and provide a working space of not less than six feet (6') on the opening side and one foot (1') on the other three sides of any pad mounted transformer. If GRANTOR's future orderly development of the premises is in physical conflict with GRANTEE's facilities, GRANTEE shall, within 60 days after receipt of written request from GRANTOR, relocate said facilities to another mutually agreed upon Easement Area in GRANTOR's premises, provided that prior to the relocation of said facilities, (a) GRANTOR shall pay to GRANTEE the full expected cost of the relocation as estimated by GRANTEE, and (b) GRANTOR shall execute and deliver to GRANTEE, at no cost, an acceptable and recordable easement to cover the relocated facilities. Upon the completion of the relocation, the easement herein shall be considered canceled as to the portion vacated by such relocation.

This document prepared by BELISA OLIVEIRA
Real Estate Dept., Florida Power Corp.
P. O. Box 14042, St. Petersburg, FL 33733
Rev. 9/94

Sec-Twp-Rng: 01-22-29
County: Orange
Grantor: *Cordones, Lilia*
Project ID: J39-99-1011

COUNTY USE ONLY

GRANTOR covenants not to interfere with GRANTEE's facilities within the Easement Area in GRANTOR's premises, and GRANTOR further covenants to indemnify and hold GRANTEE harmless from any and all damages and injuries, whether to persons or property, resulting from interference with GRANTEE's facilities by GRANTOR or by GRANTOR's agents or employees.

GRANTOR hereby warrants and covenants (a) that GRANTOR is the owner of the fee simple title to the premises in which the above described Easement Area is located, (b) that GRANTOR has full right and lawful authority to grant and convey this easement to GRANTEE, and (c) that GRANTEE shall have quiet and peaceful possession, use and enjoyment of this easement.

All covenants, terms, provisions and conditions herein contained shall inure and extend to and be obligatory upon the successors, lessees and assigns of the respective parties hereto.

IN WITNESS WHEREOF, the GRANTOR's hands and seals have been hereunto affixed this 19 day of August, 19 99.

WITNESSES:

[Signature]
Printed Name: PERMANAND BHIKHA
[Signature]
Printed Name: Ted Woodberry

(Names must be typed or printed under each signature.)

GRANTOR(s):

[Signature] (L.S.)
Printed Name: Lilia Cordones, Trustee

(L.S.)
Printed Name: _____

(Grantor(s) mailing address)

P.O. Box 1882
Winter Park, FL 32790

STATE OF FLORIDA)
COUNTY OF ORANGE) ss:

OR Bk 5858 Pg 2125
Orange Co FL 1999-0442504
Recorded - Martha D. Haynie

The foregoing Easement was acknowledged before me this 19 day of August, 19 99
by LILIA CORDONES who is/are personally known to me or who has/have
produced _____ as identification and who did/did not take an oath.

[Signature]
Name:
Notary Public
Serial Number:
My Commission Expires:



Permanand Bhikha
My Commission CC617341
Expires March 11 2001

(SEAL)

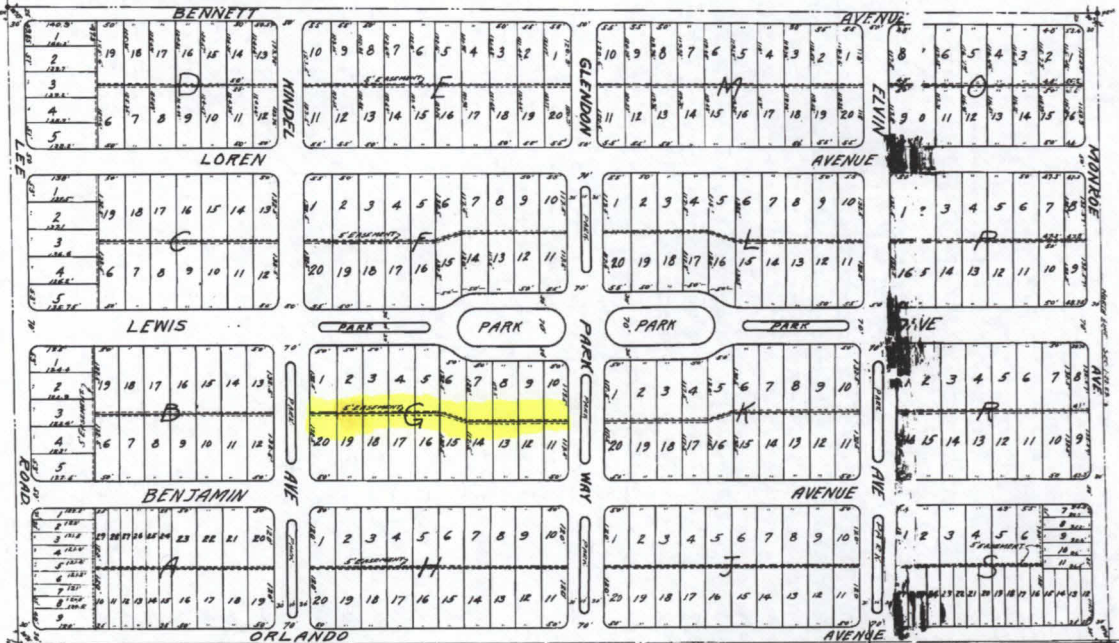
ORANGE COUNTY CITY OF WINTER PARK, ORANGE COUNTY, FLORIDA
 4577 BLOCK 2 SOUTH LAY AS THE EXISTING BLOCK DATED:
 NOV. 1, 1957 FOR THE CITY OF WINTER PARK, FLORIDA

HOME ACRES

WINTER PARK—ORANGE COUNTY, FLORIDA

SEE RESOLUTION COUNTY
 COMM. RECORDED DEC. 1956
 IN O.R. BOOK 176 PAGE 16
 VACATING - ABANDONING BLOCKS
 LYING WITHIN RIGHT-OF-WAY
 OF LEWIS BOULEVARD (EAST-WEST)
 BLOCKS F, G, H, I, J, K, L

RAMSEY-HERNDON & CO.
 SCALE 1"=40' ENGINEERS
 ORLANDO FLA.



SEE RESOLUTION Co. Comm. RECORDED APR. 1, 1957 IN O.R. BOOK
 177 PAGE 456 VACATING & ABANDONING THE "PARKS" LYING WITHIN
 THE RIGHT OF GLENDA PARK WAY BETWEEN BLOCKS F, G, H, I, J, K, L

IN WITNESS WHEREOF THE SAID COMMISSIONER HAS SIGNED
 THIS RESOLUTION AT THE CITY OF WINTER PARK, FLORIDA, AND THE
 CITY CLERK HAS SIGNED THE SAME AND THE CITY CLERK HAS SIGNED THE SAME
 AND THE CITY CLERK HAS SIGNED THE SAME AND THE CITY CLERK HAS SIGNED THE SAME

SEE RESOLUTION COUNTY COMM. RECORDED APR. 1, 1957 IN O.R. BOOK 177
 PAGE 456 VACATING & ABANDONING THE "PARKS" LYING WITHIN
 THE RIGHT OF GLENDA PARK WAY BETWEEN BLOCKS F, G, H, I, J, K, L

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STATE OF FLORIDA
 COUNTY OF ORANGE
 I, B. H. HERNDON, CLERK OF THE COUNTY, DO HEREBY CERTIFY THAT THE
 ABOVE PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE CLERK OF THE
 COUNTY OF ORANGE, FLORIDA, ON THE 15TH DAY OF APRIL, 1957, AT
 THE CITY OF WINTER PARK, FLORIDA, AND THAT THE SAME IS A TRUE
 AND CORRECT COPY OF THE ORIGINAL AS FILED.

STATE OF FLORIDA
 COUNTY OF ORANGE
 I, B. H. HERNDON, CLERK OF THE COUNTY, DO HEREBY CERTIFY THAT THE
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 AND CORRECT COPY OF THE ORIGINAL AS FILED.

 Toll Road

Road Under Construction

 **Proposed
SunRail**

Agriculture

 **Agricultural
Curtilage**
Parks Hospital

This map is for reference only and is not a survey.



city commission **public hearing**

item type	Public Hearing	meeting date	October 12, 2015
prepared by department division	City Management	approved by	<input checked="" type="checkbox"/> City Manager <input type="checkbox"/> City Attorney <input type="checkbox"/> N/A
board approval	<input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> N/A final vote		
strategic objective	<input type="checkbox"/> Exceptional Quality of Life <input type="checkbox"/> Intelligent Growth & Development <input type="checkbox"/> Investment in Public Assets & Infrastructure <input type="checkbox"/> Fiscal Stewardship <input type="checkbox"/> Public Health & Safety		

subject

Resolution supporting petition of Lake Bell neighborhood requesting school rezoning

motion | recommendation

Adopt the attached Resolution.

background

City staff was approached by representatives of the Lake Bell neighborhood north of Lee Road about the potential of changing the schools to which their children are zoned to attend. The have been working with OCPS and were told that they should put together a petition of their request and also to get support from the Winter Park City Commission.

The Lake Bell neighborhood is currently zoned to attend Hungerford Elementary, Lee Middle and Edgewater High School. The neighbors would like to be zoned in the Winter Park or Maitland schools.

The attached Resolution was drafted to provide that support.

alternatives | other considerations

N/A

fiscal impact

N/A

RESOLUTION NO. _____

**A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF
WINTER PARK, FLORIDA, SUPPORTING THE SCHOOL REZONING
PETITION OF THE LAKE BELL NEIGHBORHOOD.**

WHEREAS, the residents of the Lake Bell neighborhood in Winter Park have submitted the attached petition requesting that its neighborhood be rezoned into Winter Park/Maitland schools; and

WHEREAS, the Lake Bell neighborhood consists of approximately 200 single family homes that are currently zoned in the Hungerford Elementary, Lee Middle and Edgewater High School districts, and

WHEREAS, the petitioners request consideration to be rezoned to an elementary school such as Dommerich, Lake Sybelia, Killarney, or Lakemont; to Maitland Middle School; and to Winter Park High School; and

WHEREAS, the School Board of Orange County Public Schools has the authority and responsibility to establish school districts within Orange County

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE
CITY OF WINTER PARK, FLORIDA:**

Section 1. The City Commission of the City of Winter Park hereby supports the school rezoning request of the Lake Bell neighborhood.

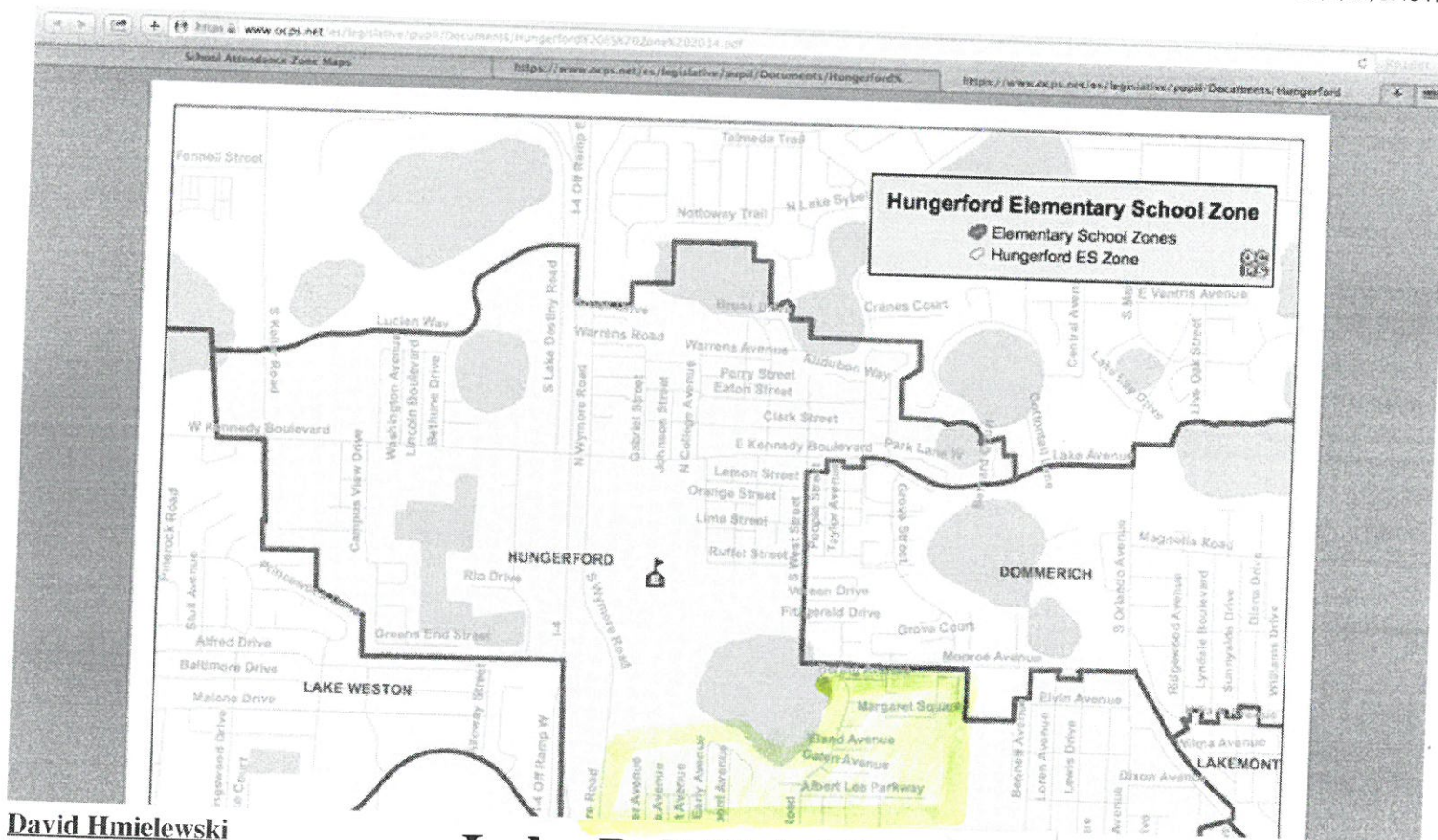
Section 2. The City Commission hereby encourages the School Board of Orange County Public Schools to give the rezoning request due consideration.

ADOPTED at a regular meeting of the City Commission of the City of Winter Park held in City Hall, Winter Park on this 12th day of October 2015.

Mayor Steve Leary

ATTEST:

City Clerk Cynthia S. Bonham



David Hmielewski

Winter Park, FL

163

Supporters

Lake Bell Neighborhood School Rezoning Petition

The residents of the Lake Bell neighborhood would like for Orange County Public Schools to rezone our homes into Winter Park/Maitland area schools...specifically schools such as: Dommerich, Lake Sybelia, Killarney, Lakemont, Maitland Middle and Winter Park High. (**A section of Lake Bell is currently zoned for Dommerich Elementary and Maitland Middle already!****)

We are a City of Winter Park neighborhood that consists of 203 single family homes. 85 homes on the West side of Lake Bell (Dupont area) and 118 homes on the East side (Turner area). At this time, we are able to account for approximately 30 school aged children for our entire neighborhood. That number reflects children in elementary, middle and high school. All elementary aged children in our neighborhood either go to a private school, charter school or are home schooled. We are not aware of one child attending our zoned elementary school. Over the years, few families have enrolled their kids at Hungerford but their attendance their was short lived.

The families of Lake Bell support Winter Park/Maitland businesses, send their children to Winter Park/Maitland pre-schools & private schools, participate in Winter Park/Maitland youth sports leagues (our zoned area), and actively participate in our Winter Park/Maitland community! We love our neighborhood! Most neighbors have been here a long time! Some are even 2nd generation homeowners! Many residents own local Winter Park businesses, teach in Winter Park schools, work in local government, etc. As residents of the City of Winter Park, we'd like the opportunity for our children to attend public schools within our area, with their neighbors and with their extracurricular sports teammates.

Currently, our neighborhood is zoned for Hungerford Elementary school (Eatonville), Lee Middle (Orlando) and Edgewater High School (Orlando). Hungerford Elementary is between 1.2-2.4 miles away for our residents. A majority of us would be considered "walkers!" In the journey to Hungerford, for our 5-10 year olds, they would have to walk out of our neighborhood to the sidewalks on Lee Rd. From Lee and Wymore, they'd have to walk .8 mile down Wymore towards

Eatonville with NO SIDEWALKS. This is a busy, 45 mph road with a sharp curve, hidden businesses entrances/exits, as well as a new I4 construction zone with an increasing amount of "Trucks Entering and Leaving Highway!" The sidewalk does not start again until you reach the intersection of Wymore and Kennedy. (Please see attached pictures depicting route to and from Hungerford using Lee Rd and Wymore.)

We'd like for our school zones to please be reconsidered! Overall, outside of our current zone, our neighborhood is closest to the Dommerich and Maitland Middle School zone lines. It's closer than the Hungerford and Killarney zone lines. The number of school aged children we have in total is few! The impact they would make on any Winter Park/Maitland area school in regards to the population would be very minimal!

Thank you! Please help us!

Lake Bell residents

Letter to
School Board, School Zoning Orange County Public Schools
Orange County Public Schools
Orange County School Board
City of Winter Park
Nancy Robinson, District School Board Representative
Updates

Keep your supporters engaged with a news update. Every update you post will be sent as a separate email to signers of your petition.

[Post an update](#)

1. 1 day ago
100 supporters

Delete this update

Are you sure?

2. 1 week ago
David Hmielewski started this petition

Reasons for signing

- [Most Popular](#)
- [Latest](#)



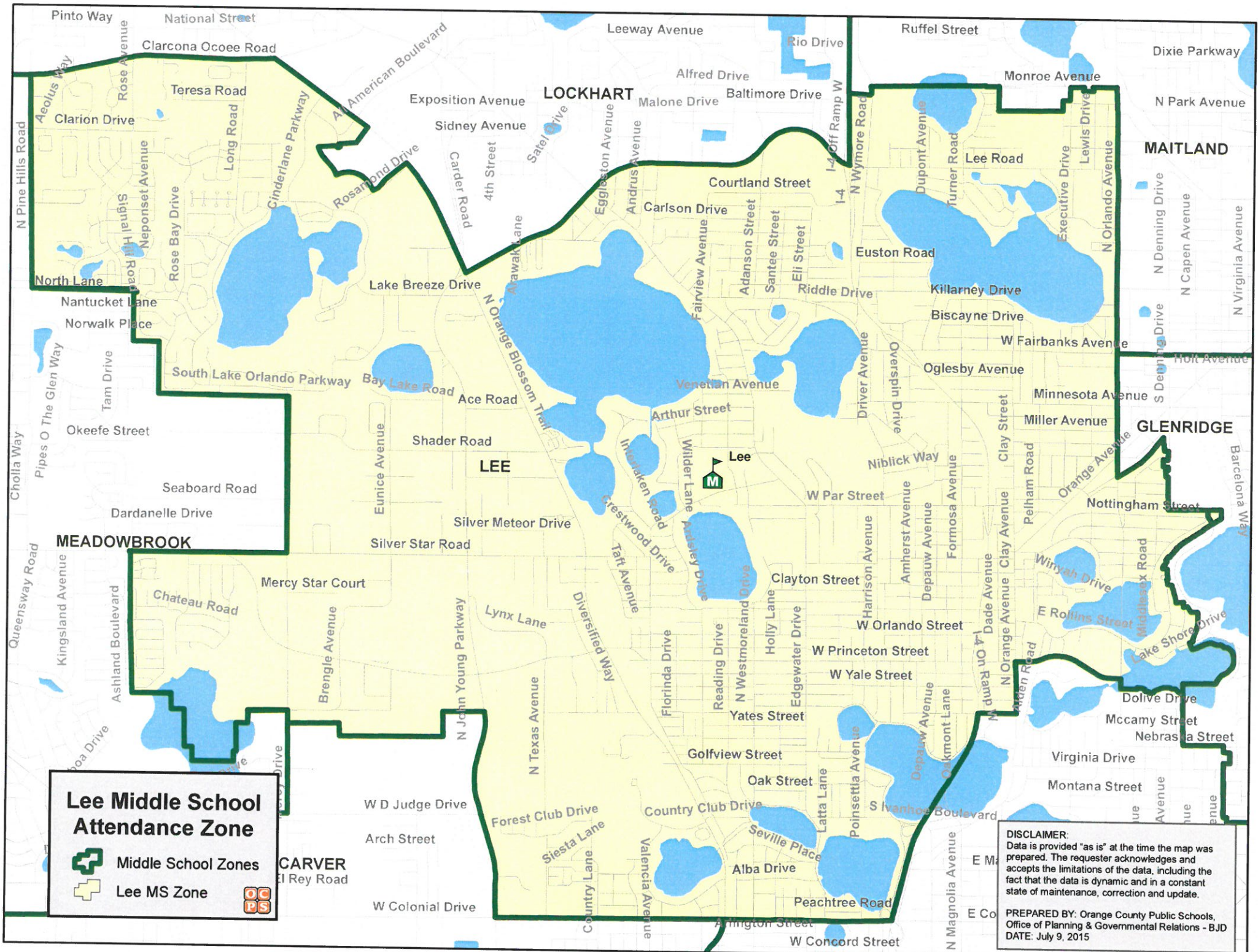
- [Sandra Schmidt](#) OKLAHOMA CITY, OK
◦ 2 days ago

Name	City	State	Postal Code	Country	Signed On
Kari Bartol	Winter Park	Florida	32789	United States	9/24/15
Jeff romano	Winter Park	Florida	32789	United States	9/24/15
Susan Mills	Winter Park	Florida	32789	United States	9/24/15
David Hmielewski	Winter Park	Florida	32789	United States	9/24/15
Mary Ellen Handley	Winter Park	Florida	32789	United States	9/24/15
Edward Valley	Winter Park	Florida	32789	United States	9/24/15
Hillary Bressler	Winter Park	Florida	32789	United States	9/24/15
Caroline Jacklin	Winter Park	Florida	32789	United States	9/25/15
Richard McDaniel	Winter Park	Florida	32789	United States	9/25/15
Barbara Baker	Winter Park	Florida	32789	United States	9/25/15
Anthony Romao	Winter Park	Florida	32789	United States	9/25/15
michelle lanoue	Winter Park	Florida	32789	United States	9/25/15
Tracey Romao	Winter Park	Florida	32789	United States	9/25/15
Georgie Roberts	Winter Park	Florida	32789	United States	9/25/15
Idalia Romao	Winter Park	Florida	32789	United States	9/25/15
Miguel Romao	Winter Park	Florida	32789	United States	9/25/15
Nathan Roberts	Winter Park	Florida	32789	United States	9/25/15
Yurii Salisbury	Winter Park	Florida	32789	United States	9/25/15
Melissa Valley	Winter Park	Florida	32789	United States	9/25/15
Lisa Almodovar	Winter Park	Florida	32789	United States	9/25/15
Ramon Almodovar	Winter Park	Florida	32789	United States	9/25/15
Hannah Almodovar	Winter Park	Florida	32789	United States	9/25/15
Edwin Alagano	Winter Park	Florida	32789	United States	9/26/15
Gary Lowe	Brandon	Florida	33511	United States	9/26/15
Sean Bejarano	Winter Park	Florida	32789	United States	9/26/15
Kerrin Kuhn	Winter Park	Florida	32789	United States	9/27/15
Stephen Roberts	Winter Park	Florida	32789	United States	9/28/15
Steven DeNunzio	Winter Park	Florida	32789	United States	9/28/15
Derek Hearst	Winter Park	Florida	32789	United States	9/28/15
curtis stevenson	Winter Park	Florida	32789	United States	9/28/15
Katrina Lawrence	Winter Park	Florida	32789	United States	9/28/15
Joe Tavaraz	Winter Park	Florida	32789	United States	9/28/15
Donald Griffin	Winter Park	Florida	32789	United States	9/28/15
Jared Goldberg	Winter Park	Florida	32789	United States	9/28/15
Greg Gratz	Winter Park	Florida	32789	United States	9/28/15
Ella Boll	Winter Park	Florida	32789	United States	9/28/15
kircher autumn	Winter Park	Florida	32789	United States	9/28/15
Scott Bodie	Winter Park	Florida	32789	United States	9/28/15
Todd Weaver	Winter Park	Florida	32789	United States	9/28/15
Corey Nugent	Winter Park	Florida	32789	United States	9/28/15
Greg Creek	Winter Park	Florida	32789	United States	9/28/15

Fernando Lopes	Winter Park	Florida	32789	United States	9/29/15
JJ Salisbury	Winter Park	Florida	32789	United States	9/29/15
Joao Argento	Winter Park	Florida	32789	United States	9/29/15
Christine Girand	Winter Park	Florida	32789	United States	9/29/15
Chris Depierro	Winter Park	Florida	32789	United States	9/29/15
Sara DePierro	Winter Park	Florida	32789	United States	9/29/15
Mark Loretta	Winter Park	Florida	32789	United States	9/29/15
Karen Yaste	Winter Park	Florida	32789	United States	9/29/15
Greg Barone	Winter Park	Florida	32789	United States	9/29/15
Kristine DeNunzio	Winter Park	Florida	32789	United States	9/29/15
George Yaste	Winter Park	Florida	32789	United States	9/29/15
Irene Benson	Winter Park	Florida	32789	United States	9/29/15
Kelly Hirvela	Winter Park	Florida	32789	United States	9/30/15
Loren Hirvela	Winter Park	Florida	32789	United States	9/30/15
Benjamin Bower	Winter Park	Florida	32789	United States	9/30/15
Amy Tatum	Minoa	New York	13116	United States	9/30/15
Suzanne Pope	Winter Park	Florida	32789	United States	9/30/15
John Houlihan	Winter Park	Florida	32789	United States	9/30/15
Celeste Houlihan	Winter Park	Florida	32789	United States	9/30/15
Marty Hellwig	Winter Park	Florida	32789	United States	9/30/15
Regina Calhoun Slags	Palm Coast	Florida	32137	United States	9/30/15
William Usher	Winter Park	Florida	32789	United States	9/30/15
Meggin Senz	Winter Park	Florida	32789	United States	9/30/15
Jonathan Rose	Winter Park	Florida	32789	United States	9/30/15
Shaun Grimes	Winter Park	Florida	32789	United States	9/30/15
Melissa McCoy	Winter Park	Florida	32789	United States	9/30/15
Sandra Schmidt	Oklahoma Ci	Oklahoma	73107	United States	9/30/15
Barclay Ivanek	Winter Park	Florida	32789	United States	9/30/15
David Lawrence	Winter Park	Florida	32789	United States	9/30/15
Jacqueline Blanton	Winter Park	Florida	32789	United States	9/30/15
Mike Trent	Apopka	Florida	32703	United States	9/30/15
Benjamin Blanton	Winter Park	Florida	32789	United States	9/30/15
Erika Phelan	Winter Park	Florida	32789	United States	9/30/15
Kimberlee Grimes	Winter Park	Florida	32789	United States	9/30/15
David Moore	Winter Park	Florida	32789	United States	9/30/15
Michael Schmidt	Winter Park	Florida	32789	United States	9/30/15
Margaret slage	Winter Park	Florida	32789	United States	9/30/15
Elizabreth Moore	Winter Park	Florida	32789	United States	9/30/15
Kelly Webb	Winter Park	Florida	32789	United States	9/30/15
Alyson DePierro	Winter Sprin	Florida	32708	United States	9/30/15
Melissa DePierro	Winter Sprin	Florida	32708	United States	9/30/15
Andres Ayala	Winter Park	Florida	32789	United States	9/30/15

Dave Webb	Winter Park	Florida	32789	United States	9/30/15
Debbie Mooser	Winter Park	Florida	32789	United States	10/1/15
Jonathan Moore	Orlando	Florida	32803	United States	10/1/15
Cynthia Geer	Winter Park	Florida	32789	United States	10/1/15
david Gips	Palm Coast	Florida	32137	United States	10/1/15
marta Gips	Palm Coast	Florida	32137	United States	10/1/15
Bart Johnson	Florence	Oregon	97439	United States	10/1/15
Lenore Stephens	Winter Park	Florida	32789	United States	10/1/15
Robert Stephens	Winter Park	Florida	32789	United States	10/1/15
Lanea Sagert	Winter Park	Florida	32789	United States	10/1/15
Angela Hearst	Winter Park	Florida	32789	United States	10/1/15
Jack Calvert	Winter Park	Florida	32789	United States	10/1/15
Teri Rose	Winter Park	Florida	32789	United States	10/1/15
Jason Marsh	Winter Park	Florida	32789	United States	10/1/15
Adriana Linares	Winter Park	Florida	32789	United States	10/1/15
Chad Limes	Winter Park	Florida	32789	United States	10/1/15
Jill Limes	Sorrento	Florida	32776	United States	10/1/15
Becky Cook	Winter Park	Florida	32789	United States	10/1/15
William Gray	Winter Park	Florida	32789	United States	10/1/15
Michele Banks	Winter Park	Florida	32789	United States	10/1/15
Meghan Boyle	Winter Park	Florida	32789	United States	10/1/15
Daryl Bush	Winter Park	Florida	32789	United States	10/1/15
Earl McCoy	Winter Park	Florida	32789	United States	10/1/15
Jennifer Morley	Winter Park	Florida	32789	United States	10/1/15
Bill Cook	Winter Park	Florida	32789	United States	10/1/15
Joanie Buckley	Winter Park	Florida	32789	United States	10/1/15
David Maul	Winter Park	Florida	32789	United States	10/1/15
Clay Bourgeois	Winter Park	Florida	32789	United States	10/1/15
Unju Chung-Canine	Winter Park	Florida	32789	United States	10/2/15
Niamh Barry	Palm Coast	Florida	32137	United States	10/2/15
Paul Cooney	Winter Park	Florida	32789	United States	10/2/15
Lyanne Abril	Winter Park	Florida	32789	United States	10/2/15
Scott Torrico	Winter Park	Florida	32789-1842	United States	10/2/15
Kyle Rutter	Winter Park	Florida	32789	United States	10/2/15
Nisha Sanjurjo	Knoxville	Tennessee	37920	United States	10/2/15
Crystal Shannon	Sebring	Florida	33875	United States	10/2/15
Pam Agard	Tampa	Florida	33615	United States	10/2/15
Ashley Ritter	Port Orange	Florida	32127	United States	10/2/15
Melissa Butler	Riverview	Florida	33578	United States	10/2/15
Jessica P	Cocoa	Florida	32927	United States	10/2/15
William Campbell	Orlando	Florida	32801	United States	10/2/15
Jennifer Adams	Los Angeles	California	91403	United States	10/2/15

jessica Gipson	Buffalo	New York	14211 United States	10/2/15
Shannon Smith	Buffalo	New York	14208 United States	10/2/15
Tony Ceballos	Davenport	Florida	33837 United States	10/2/15
Lysa Barrios	Kissimmee	Florida	34744 United States	10/2/15
Jeannette Rodriguez	Kissimmee	Florida	34743 United States	10/2/15
Annabel Bermeo	orlando	Florida	32812 United States	10/2/15
Jennifer Henry	Orlando	Florida	32826 United States	10/2/15
Awilda Serrano	Orlando	Florida	32822 United States	10/2/15
Melissa Chacon	Brooksville	Florida	34602 United States	10/2/15
Caren Sussett Rivera	Kissimmee	Florida	34743 United States	10/2/15
Nancy Diaz	Davenport	Florida	33897 United States	10/2/15
nicole warden	buffalo	New York	14213 United States	10/2/15
Jessica Towne	Orlando	Florida	32803 United States	10/2/15
Jenifer Harding	Winter Springs	Florida	32708 United States	10/2/15
Tamra Schreiner	Orlando	Florida	32827 United States	10/2/15
Jennifer goodwin	Eustis	Florida	32726 United States	10/2/15
Amanda Robinson	Buffalo	New York	14216 United States	10/2/15
Amy Priel	Delevan	New York	14042 United States	10/2/15
Nedra McNay	Buffalo	New York	14204 United States	10/2/15
Nicole Stephens	McDonough	Georgia	30253 United States	10/2/15
Jennifer Freche	Lake Mary	Florida	32746 United States	10/2/15
Jatesha Madden-Wilson	Bayonne	New Jersey	7002 United States	10/2/15
Nadia Gillylan	Davenport	Florida	33897 United States	10/2/15
Anthony Marrero	Buffalo	New York	14201 United States	10/2/15
Kelsey Velazquez	Washington	District of Columbia	20011 United States	10/2/15
Margaret Fantigrossi	Buffalo	New York	14220 United States	10/2/15
lisa smith	Buffalo	New York	14215 United States	10/2/15
rosa warden	Buffalo	New York	14220 United States	10/2/15
jerylis vargas	Orlando	Florida	32835 United States	10/2/15
Wanda Jimenez	Sebring	Florida	33870 United States	10/2/15
Wendy Rutte	Kissimmee	Florida	34743 United States	10/2/15
Jillian Mendez	Queens	New York	11428 United States	10/2/15
naomi Weber	Orlando	Florida	32839 United States	10/2/15
David Alvarado	Orlando	Florida	32808 United States	10/2/15
Mariana Miller	Grant	Alabama	35747 United States	10/2/15
lindrix freeman	gainesville	Florida	32609 United States	10/2/15



**Lee Middle School
Attendance Zone**



Middle School Zones



Lee MS Zone



DISCLAIMER:
Data is provided "as is" at the time the map was prepared. The requester acknowledges and accepts the limitations of the data, including the fact that the data is dynamic and in a constant state of maintenance, correction and update.

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