



# Planning & Zoning Board Virtual Regular Meeting

August 4, 2020 at 6 p.m.

## Agenda Items

### 1. Call to Order

### 2. Approval of July 21, 2020 meeting minutes

### 3. Public Hearings

- SPR #20-10. Michael and Angie Strasberg for: Approval to construct a new, two-story, 5,243 square foot, single-family home located at 2146 Lake Drive on Lake Killarney, zoned R-1A.
- SPR #20-11. Request of Daniel Cohen and Esther Kovacs to: Modify the P&Z approval granted on July 9, 2019 in order to enlarge the porch as a component of a two-story, addition to the single-family home located at 2104 Venetian Way on Lake Maitland, zoned R-1AAA.
- ZTA #20-05 Request of the City of Winter Park for: An Ordinance to Amend the Land Development Code to specify coop accessory structure regulations for backyard chickens in the Chapter 58, subsection 58-71(i); Amend Chapter 18, Subsection 18-16 to allow the keeping of backyard chickens; and adding Subsection 18-18, "General Conditions for the keeping of backyard chickens pilot program", to allow up to 50 permits of up to four hens per household.

### 4. New Business

### 5. Planning Director's Report

### 6. Board Updates & Comments

### 7. Upcoming Meeting Schedule

Next P&Z Work Session: Tuesday, August 11, 2020 at 12:00 p.m.

Next P&Z Regular Meeting: Tuesday, September 1, 2020 at 6:00 p.m.

## appeals & assistance

---

"If a person decides to appeal any decision made by the Board with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

"Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office (407-599-3277) at least 48 hours in advance of the meeting."



401 South Park Avenue • Winter Park, Florida 32789

407-599-3324 • [planning@cityofwinterpark.org](mailto:planning@cityofwinterpark.org)  
[cityofwinterpark.org](http://cityofwinterpark.org)

## Planning & Community Development

### Planning & Zoning Board Staff Report for August 4, 2020 Meeting

SPR #20-10. Michael and Angie Strasberg for: Approval to construct a new, two-story, 5,243 square foot, single-family home located at 2146 Lake Drive on Lake Killarney, zoned R-1A.

#### Background

The property owners, Michael and Angie Strasberg are requesting site plan approval to construct a new, two-story, 5,243 square-foot, single-family home at 2146 Lake Drive, which is located on Lake Killarney, and is zoned R-1A. This property measures 14,714 square feet. Below is a table summarizing this request in comparison to the R-1A zoning/lakefront lot requirements.

Table 1:

	R-1A/Lakefront Lot Requirements	Proposed
Floor Area Ratio	Max 38%	5,243 square feet/35.6%
Impervious Lot Coverage	Max 50%	6,057 square feet/41.2%
Lakefront Setback	67 feet	67 feet and 9 inches

#### Lakefront Lot Review Criteria:

#### Tree Preservation

The purpose and intent of the lakefront lots section of the code states that existing trees shall be preserved to the degree reasonably possible, and the appearance of the property and the shore when viewed from the water will be kept as natural as reasonably possible. The applicant is proposing to remove a 60" laurel oak tree as part of this request (see attached pictures for reference). The City's Urban Forestry Department has assessed this laurel oak and stated that the tree is over-mature and has generally poor branching structure. They noted that the crown of the tree is relatively healthy but also noted some deadwood and a large cavity with decay and boring activity is present in the trunk of the tree near the base. They noted buttressing at the flare as well as the presence of ganoderma (a fungal organism that grows on decayed wood) which indicates the presence of basal decay.

The Urban Forestry Department indicated that the tree could be conceivably be managed in its final years of life by removing the deadwood from the crown and clearing the root-suppressing vegetation from the base of the tree. However, the poor structure and significant decay at the base would result in any attempt to prevent root damage during the construction process to be difficult at best. Even with barricades installed, site grading, digging for the retention swale, and other construction activity would inevitably harm the tree.

The Urban Forestry Department's recommendation is for removal.

### **View From the Lake**

The code limits walls and swimming pool decks facing the lake in excess of three feet in height. This lot has a minimal grade drop from the front of the home to the lakefront, and the pool and rear deck have been designed as to not exceed the three-foot height rule.

### **View of Neighbors**

The purpose and intent of the lakefront lots section of the code is to ensure that the views of the lake from adjoining properties will not be unduly impaired by new houses, additions, second story additions, etc. In order to achieve this, the code states that the lakefront setback shall be the average established by the adjacent lakefront properties within 200 feet of the subject property, or 50 feet, whichever is greater. However, the P&Z Board does have the authority to approve setbacks less than the average determined, or impose more restrictive setbacks. Staff has determined that the average lakefront setback is 67 feet. The applicant is proposing the house to be at 67 feet and 9 inches. The applicant is also proposing the pool deck to be at the minimum 50 foot lakefront setback.

### **Stormwater Retention**

The code requires retention of stormwater so that stormwater flowing over a waterfront lawn area does not carry with it into the canal or chain of lakes any fertilizers, herbicides, or other chemicals that affect the water quality of our community's most precious assets. The amount of impervious surface on the lot determines the depth/size of the retention needed. The applicant is proposing multiple stormwater swales throughout the lot that are sized to meet the City's code requirements.

### **Summary**

The applicant is proposing a home that is compatible with the natural grade of the property and is ensuring that water pollution from stormwater runoff and other sources will be minimized. The applicant is ensuring the appearance of the property and the shore when viewed from the water, will be kept as natural as reasonably possible. One laurel oak will be removed as recommended by the Urban Forestry Department. Overall, the plans meet the intent of the lakefront review criteria defined in the code and no variances are requested.

*Staff recommendation is for approval.*

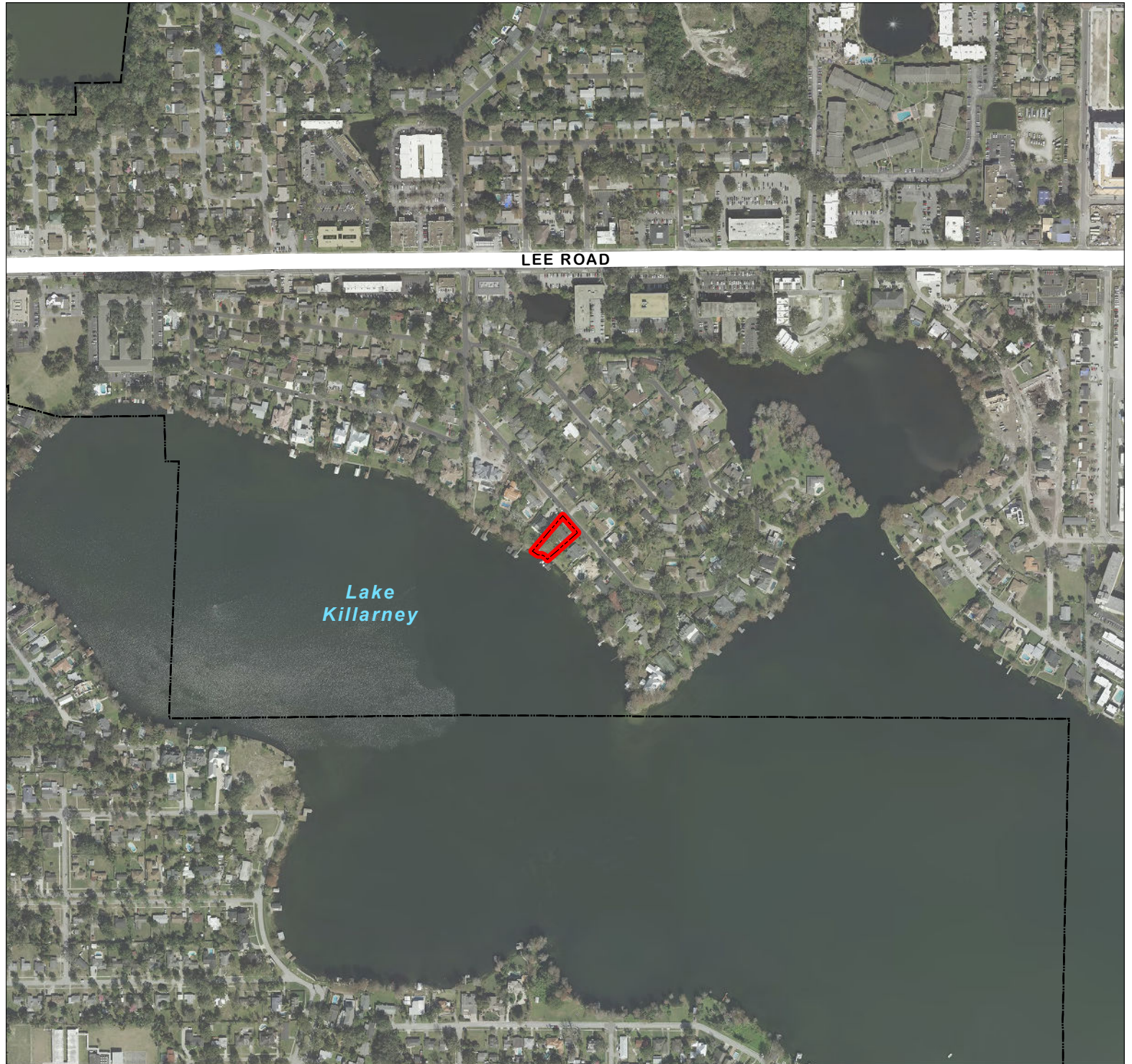




## LOCATION MAP

**2146 Lake Drive**

City of Winter Park  
Florida







## LOCATION MAP

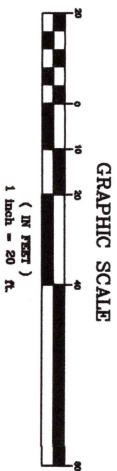
**2146 Lake Drive**

City of Winter Park  
Florida





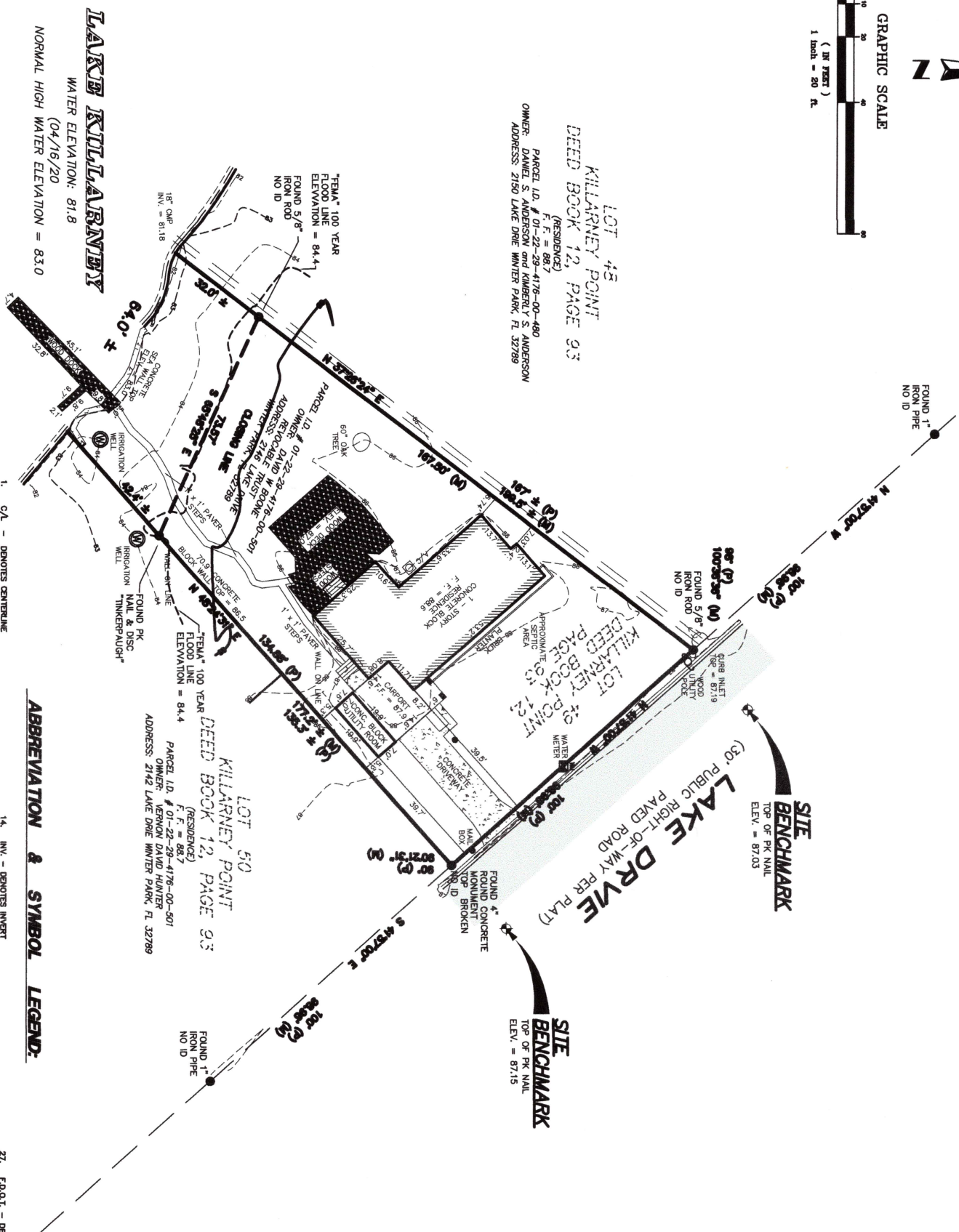
# FOR














**LEGAL DESCRIPTION:** Lot 49, KILLARNEY POINT, according to Plat thereof as recorded in Deed Book 905, page 93, Public Records of Orange County, Florida.

**LEGAL DESCRIPTION:**

LOT 43  
KILLARNEY POINT  
DEED BOOK 12, PAGE 93  
(RESIDENCE)  
F. F. = 88.7  
PARCEL I.D. # 01-22-29-4176-00-480  
OWNER: DANIEL S. ANDERSON AND KIMBERLY S. ANDERSON  
ADDRESS: 2150 LAKE ONE WINTER PARK, FL 32789



### ABBREVIATION & SYMBOL LEGEND:

- |     |   |     |  |     |  |
|-----|---|-----|--|-----|--|
| 1.  | C/L - DENOTES CENTERLINE                        | 14. | INV. - DENOTES INVERT                        | 27. | F.O.U.T. - DENOTES FLORIDA DEPARTMENT OF TRANSPORTATION  |
| 2.  | P.O.B. - DENOTES POINT OF BEGINNING             | 15. | C - DENOTES CHORD                            | 28. |  - DENOTES FIRE HYDRANT           |
| 3.  | P.O.C. - DENOTES POINT OF COMMENCEMENT          | 16. | C.B. - DENOTES CHORD BEARING                 | 29. |  - DENOTES LIGHT POLE             |
| 4.  | O.R. - DENOTES OFFICIAL RECORDS BOOK            | 17. | E.P. - DENOTES EDGE OF PAVEMENT              | 30. |  - DENOTES HANDICAP PARKING SPACE |
| 5.  | ELEV. - DENOTES ELEVATION                       | 18. | (N) - DENOTES DISTANCE MEASURED IN THE FIELD | 31. |  - DENOTES CONCRETE               |
| 6.  | P.C. - DENOTES POINT OF CURVATURE               | 19. | I.D. - DENOTES IDENTIFICATION                | 32. |  - DENOTES SANITARY SEWER MANHOLE |
| 7.  | P.C.C. - DENOTES POINT OF CIRCULAR CURVATURE    | 20. | T24S - DENOTES TOWNSHIP 24 SOUTH             | 33. |  - DENOTES FLOOD LIGHT            |
| 8.  | P.T. - DENOTES POINT OF TANGENCY                | 21. | R28E - DENOTES RANGE 28 EAST                 | 34. |  - DENOTES SIGN                   |
| 9.  | W.L. - DENOTES UNDERGROUND WATER LINE           | 22. | P.S. - DENOTES PAGES                         | 35. |  - DENOTES GAS VALVE              |
| 10. | R.W.L. - DENOTES UNDERGROUND RECLAIM WATER LINE | 23. | P.G. DENOTES PAGE                            | 36. |  - DENOTES WATER VALVE            |
| 11. | O.U.L. - DENOTES OVERHEAD UTILITY LINES         | 24. | P.B. - DENOTES PLAT BOOK                     | 37. |  - DENOTES STORM DRAINAGE MANHOLE |
| 12. | E.L. - DENOTES UNDERGROUND ELECTRICAL LINES     | 25. | (A) - DENOTES ACTUAL                         | 38. |  - DENOTES WOOD UTILITY POLE      |
| 13. | T.V.L. - DENOTES UNDERGROUND CABLE T.V. LINES   | 26. | (D) - DENOTES DESCRIPTION                    |     |  |

## **SURVEY NOTES:**

1. "NOT WITHIN THE SOUTHWEST AND THE ORIGINAL SAVED SEAL OF A FLOOD DITCHED SURVEYOR AND MAPPER."
2. ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE SOUTHERLY, WEST-OF-MAY LINE OF L&N D&N AS BEING NORTH 41°30'00" WEST PER PLAT.
3. THE T&L SURVEYOR HEREON PER THE PUBLIC RECORDS OF ORANGE COUNTY FLORIDA AS SHOWN WAS WRITTEN BY THIS SURVEYOR FOR THE CLAREN RECORD.
4. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A/L INSTRUMENT OR OPINION OF TITLE, NO INSTRUMENTS OF RECORD RELICTING ELEVATIONS, NORTH-OF-MAY, ANY/OF OVERSEER'S WERE FURNISHED TO THIS SURVEYOR EXCEPT AS NOTED.
5. ALL ELEVATIONS AND DISTANCES SHOWN HEREON ARE PER THE DESCRIPTION AND ARE CORRECT AND IN AGREEMENT WITH THE PLAT AND SET MONUMENTS AS RECORDED IN THE FIELD NOTES CHICKEN WOOD.
6. ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAY BE FOUND (COUNTY RATES) NO 12000000000 PERCENTAGE DATE: SEPTEMBER 25, 2008. THIS PROPERTY LIES IN NORTH, WEST, MAY LINE, OUTSIDE THE FLOOD DUNE, AND DUNE, MAY LINE INSIDE THE 100 YEAR FLOOD DUNE WITH A L&N FLOOD ELEVATION OF 84.5.
7. NO UNDERGROUND UTILITIES, FOUNDATIONS OR IMPROVEMENTS, IF ANY, HAVE BEEN LOCATED EXCEPT AS SHOWN.
8. THIS BOUNDARY SURVEY MEETS OR EXCEEDS THE MINIMUM TITLE, ACCURACY OF A SURVEYOR SURVEY 1/2500.
9. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND SAID ELEVATIONS ARE BASED ON ELEVATIONS SHIPPED BY ELEVATION DATUM SURVEY EXPERIMENT, AS FOLLOWS:
  - a. RESURVEYING - L&N D&N BEING A 2<sup>ND</sup> BRANCH USED IN THE SOUTH SIDE OF A DUNE ALLEY ON THE NORTHEAST CORNER OF THE INTERSECTION OF L&N D&N AND TURNER ROAD, 25 FT +/- EAST OF THE C/L OF TURNER ROAD, 50 FT +/- NORTH OF THE C/L OF L&N D&N, ELEVATION = 84.807.
  - b. RESURVEYING - L&N D&N BEING A SQUARE CUT OF C&N D&N MEET ON THE NORTH SIDE OF L&N D&N 40 FT +/- NORTH OF C/L OF L&N D&N IN FRONT OF ADDRESS 1468 L&N ROAD, ELEVATION = 87.121.

# SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THE ATTACHED BOUNDARY & TOPOGRAPHIC SURVEY OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION ON MARCH 26, 2020. I FURTHER CERTIFY THAT THIS BOUNDARY & TOPOGRAPHIC SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH IN RULE 51-17 OF THE FLORIDA ADMINISTRATIVE CODE AS ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO FLORIDA STATUTES 470.027.

David W. Boone, as Trustee of the David W. Boone Revocable Trust dated May 10, 2016  
Lucy-Marie Boone Brambley and Madeline Boone Brambley  
Fidelity National Title Insurance Company  
Lomdas, Drowdick, Doester, Kantor & Reed, P.A.

**CERTIFIED CORRECT TO:**

W. C. ELIOTT, P.S.M.  
PROFESSIONAL SURVEYOR & MAPPER  
FLORIDA REGISTRATION NO. 5599

NOT VALID WITHOUT SHEET 1 THROUGH 4  
 Apr 27, 2020 - 1:16pm  
 C:\Jobs\650-MUMAS-001 2148 Lake Drive Winter Park Fl 327

C:\Jobs\650-MJMAS-001 2146 Lake Drive Winter Park Fl 32789 Michael Jason Miriam Angela Strasberg\SURVEY\650-MJMAS-001\dwg\650-MJMAS-001.dwg

Copyright 2020. KLE SURVEYING & MAPPING, INC. reserves copyright & other rights restricting these documents to the original site or purpose for which they were prepared. Reproductions, changes or assignments are prohibited.

REV.	DATE	DESCRIPTION	F.B./PG.	BY
△				
△				
△				
△				
△	03/29/20	BOUNDARY & TOPOGRAPHIC SURVEY	32/1-6	A.C.J.

**PREPARED FOR:**

**Michael Jason and  
Miriam Angela Strassberg**

## BOUNDARY & TOPOGRAPHIC SURVEY

2146 LAKE DRIVE  
SECTION 1 TOWNSHIP 22 SOUTH, RANGE 29 EAST,  
CITY OF WINTER PARK, ORANGE COUNTY, FLORIDA

**K L E**  
**Surveying and Mapping, Inc.**

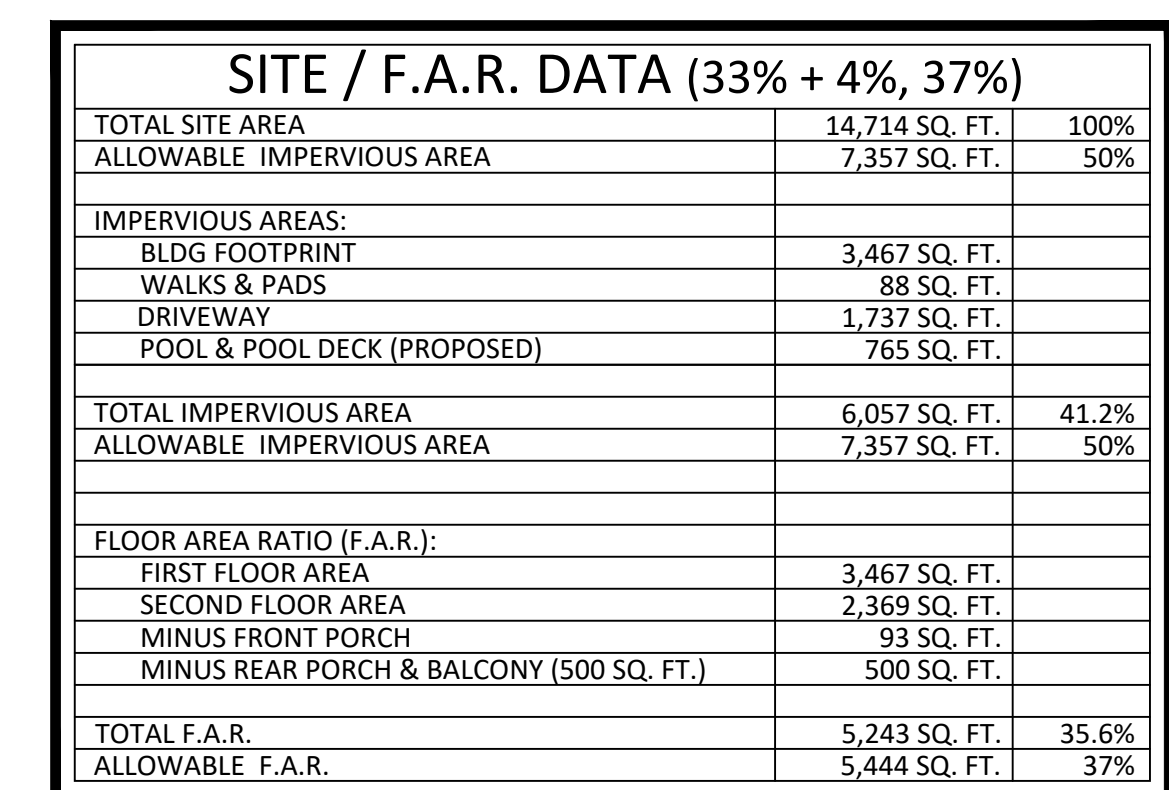
153 S.W. TOPAZ LANE NORTH  
LAKE MARY, FLORIDA 32746  
PH. No. (407) 402-2331  
LICENSED BUSINESS REGISTRATION No. 7899



DRAWN DATE:	04/16/20
SCALE:	1" = 20'
CHECKED BY:	W.C.E.
DRAWN BY:	W.C.E.




# Orange County, Florida



**DON BOLDEN ENG., INC.**  
Don Bolden, P.E.  
Florida Registration # 47524  
Certificate of Authorization # 26030  
P.O. Box 530783  
DeBary, FL. 32753

REVISIONS	BY
6/26/2020	
-	
-	



Hyatt  
Custom Estate Homes

213 N. ORANGE AVENUE  
SUITE B  
ORLANDO, FL 32804

PHONE (407) 894-0020  
FAX (407) 894-0033  
WWW.HYATTDESIGN.COM

THE STRASBERG RESIDENCE  
ORANGE COUNTY, FLORIDA

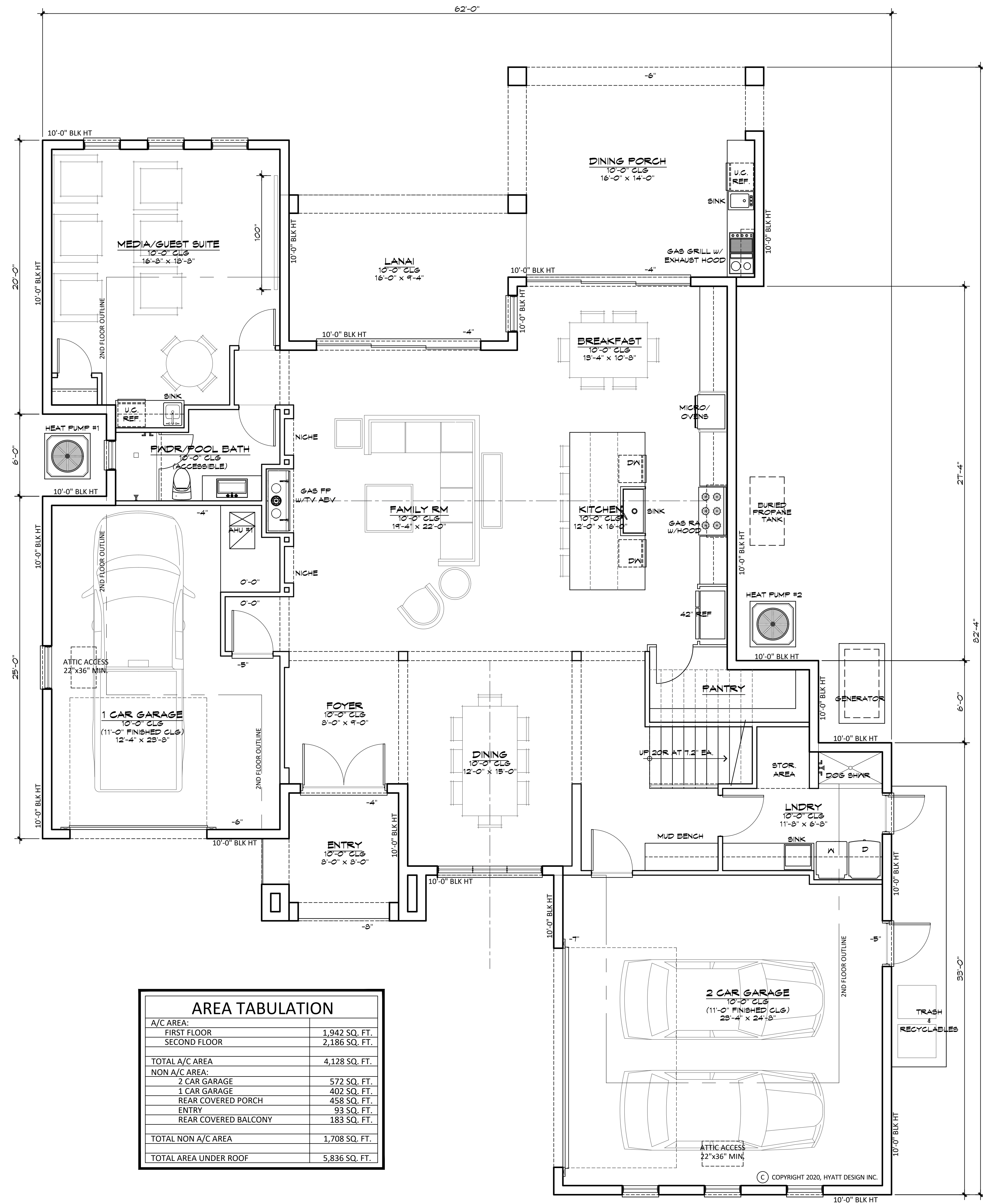
PROJECT:  
LOCATION:  
BUILDER:

DESIGNER  
**GREG HYATT**  
CAD DRAFTING  
**CJ/PA**  
CHECKED  
**GH**  
DATE  
**X-X-2020**  
SCALE  
**as noted**  
JOB NO.  
**22081**  
SHEET  
**C**



NOTE:  
THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF  
THE FLORIDA BUILDING CODE RESIDENTIAL SIXTH EDITION (2017) (AND ASCE 7-10.)

WIND SPEED (V ULTIMATE) 140 MPH  
WIND SPEED (V ALLOWABLE) 108 MPH  
WIND IMPORTANCE FACTOR 1  
BUILDING CATEGORY II  
EXPOSURE CATEGORY C  
INTERNAL PRESSURE COEFF. 0  
COMPONENTS & CLADDING 29.4 PSF/39.4 PSF  
BUILDING TYPE VB



AREA TABULATION	
A/C AREA:	
FIRST FLOOR	1,942 SQ. FT.
SECOND FLOOR	2,186 SQ. FT.
TOTAL A/C AREA	4,128 SQ. FT.
NON A/C AREA:	
2 CAR GARAGE	572 SQ. FT.
1 CAR GARAGE	402 SQ. FT.
REAR COVERED PORCH	458 SQ. FT.
ENTRY	93 SQ. FT.
REAR COVERED BALCONY	183 SQ. FT.
TOTAL NON A/C AREA	1,708 SQ. FT.
TOTAL AREA UNDER ROOF	5,836 SQ. FT.

1ST FLOOR PLAN

scale: 1/4" = 1'-0"

DON BOLDEN ENG., INC.  
Don Bolden, P.E.  
Florida Registration # 47524  
Certificate of Authorization # 26030  
P.O. Box 530783  
DeBary, FL 32753

REVISIONS	BY
6/26/2020	

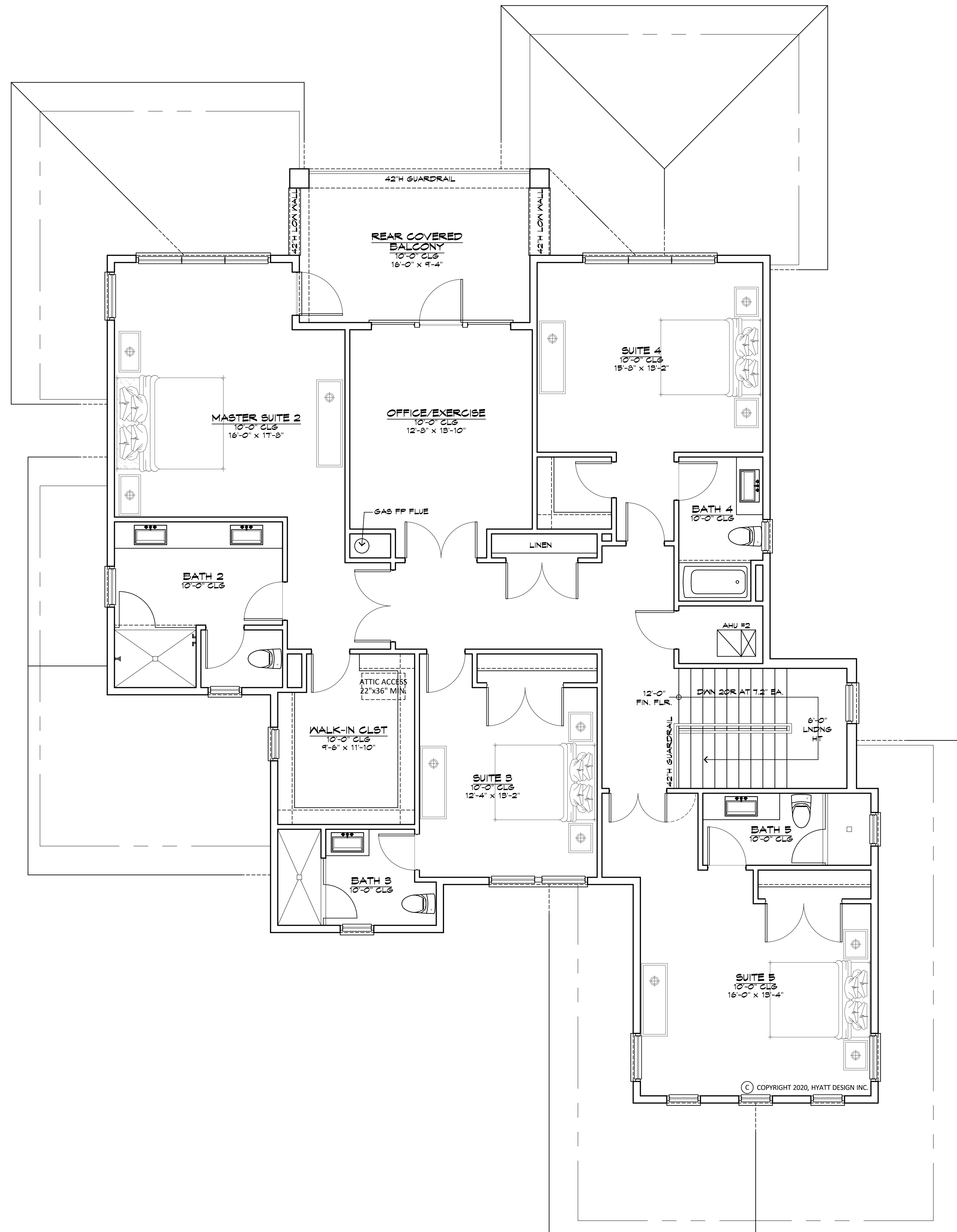
**Hyatt**  
DESIGN  
1213 N. ORANGE AVENUE  
SUITE B  
ORLANDO, FL 32804  
PHONE (407) 894-0030  
FAX (407) 894-0033  
WWW.HYATTDISEGN.COM

PROJECT: THE STRASBERG RESIDENCE  
LOCATION: ORANGE COUNTY, FLORIDA  
BUILDER:

DESIGNER: GREG HYATT  
CAD DRAFTER: C.J. PA  
CREATED: 5/1  
DATE: 5/1/2020  
SCALE: 1/4" = 1'-0"  
JOB NO: 22001  
SHEET: 2.1

NOTE:  
THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF  
THE FLORIDA BUILDING CODE RESIDENTIAL SIXTH EDITION (2017) (AND ASCE 7-10.)

WIND SPEED (V ULTIMATE) 140 MPH  
WIND SPEED (V ALLOWABLE) 108 MPH  
WIND IMPORTANCE FACTOR 1  
BUILDING CATEGORY II  
EXPOSURE CATEGORY C  
INTERNAL PRESSURE COEFF. 0  
COMPONENTS & CLADDING 29.4 PSF/39.4 PSF  
BUILDING TYPE VB



2ND FLOOR PLAN

scale: 1/4" = 1'-0"

DON BOLDEN ENG., INC.  
Don Bolden, P.E.  
Florida Registration # 47524  
Certificate of Authorization # 26030  
P.O. Box 530783  
DeBary, FL 32753

REVISIONS	BY
6/26/2020	

**Hyatt**  
DESIGN  
Custom Estate Homes

1213 N. ORANGE AVENUE  
SUITE 8  
ORLANDO, FL 32804  
PHONE (407) 894-0030  
FAX (407) 894-0033  
WWW.HYATTDISEGN.COM

PROJECT: THE STRASBERG RESIDENCE  
LOCATION: ORANGE COUNTY, FLORIDA  
BUILDER: \_\_\_\_\_

DESIGNER GREG HYATT
CAD DRAFTING CJ/PA
CREATED 5/1
DATE X-1-2020
SCALE AS NOTED
SEE NO 22001
SHEET 2.2



REVISIONS	BY
6/26/2020	

*Hyatt*  
DESIGN  
Custom Estate Homes

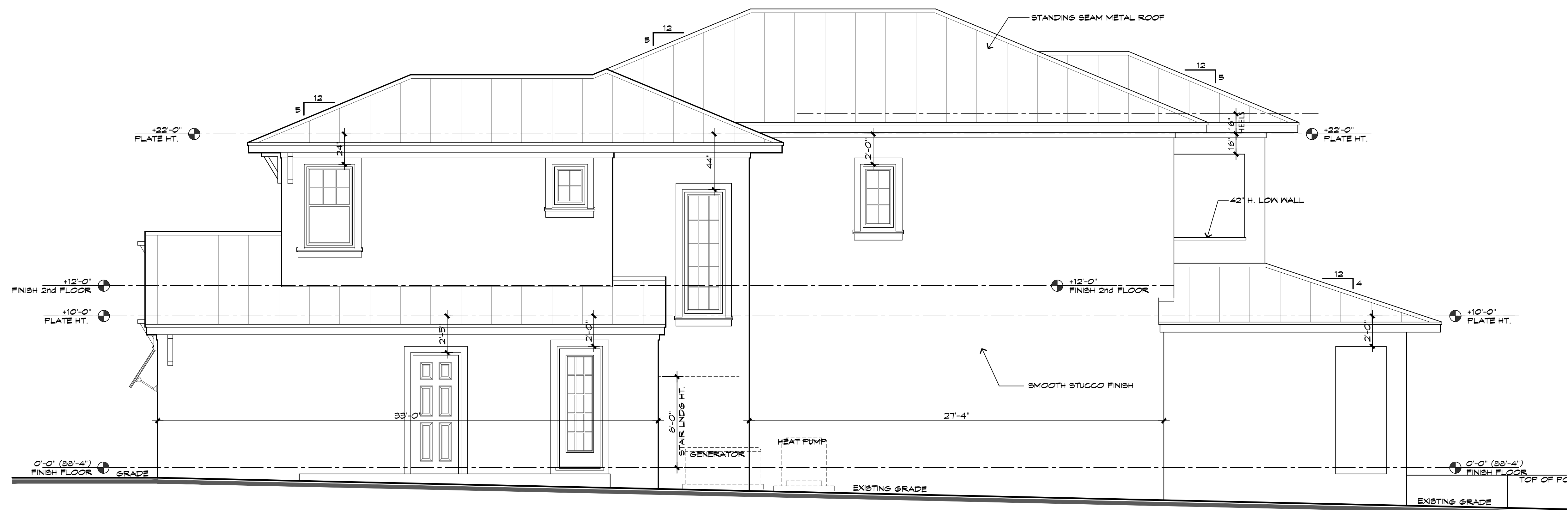
1213 N. ORANGE AVENUE  
SUITE B  
ORLANDO, FL 32804  
PHONE (407) 894-0030  
FAX (407) 894-0033  
WWW.HYATTDISEGN.COM

PROJECT: THE STRASBERG RESIDENCE  
LOCATION: ORANGE COUNTY, FLORIDA  
BUILDER: \_\_\_\_\_

PROJECT: THE STRASBERG RESIDENCE  
LOCATION: ORANGE COUNTY, FLORIDA  
BUILDER: \_\_\_\_\_

DESIGNER  
GREG HYATT  
CAD DRAFTING  
CJ/PA  
CREATED  
5/11  
DATE  
X-13-2020  
SCALE  
8 1/2"=1'-0"  
SHEET NO.  
25001  
SHEET

3.1



**RIGHT ELEVATION**

scale: 1/4" = 1'-0"



**FRONT ELEVATION**

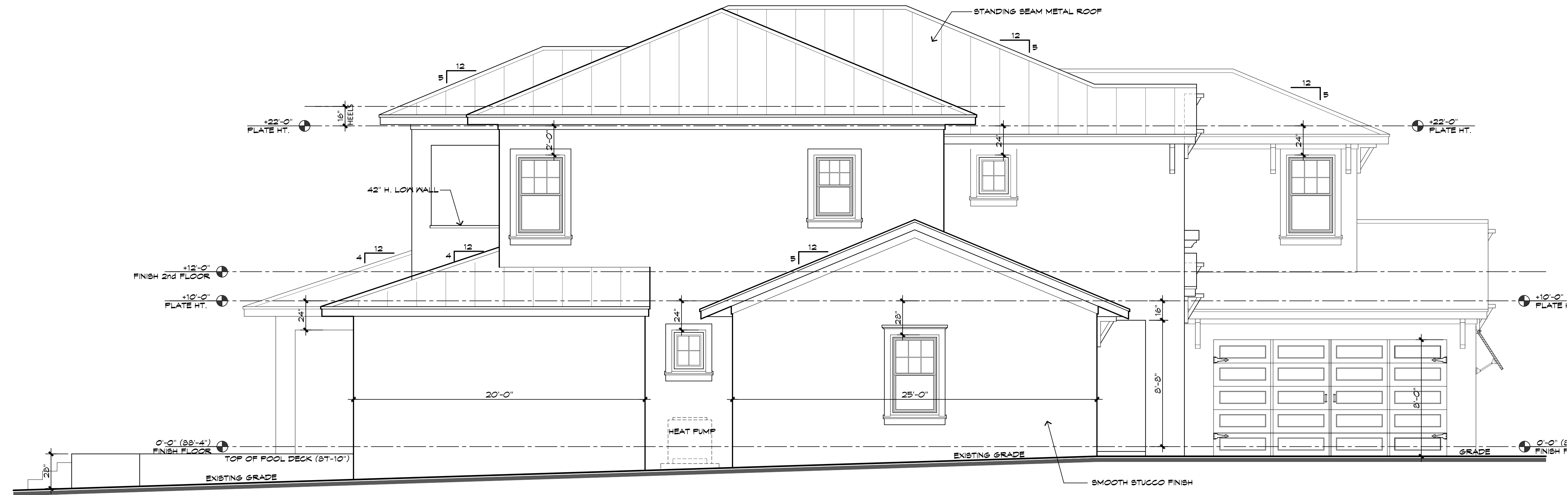
scale: 1/4" = 1'-0"

NOTE:  
THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF  
THE FLORIDA BUILDING CODE RESIDENTIAL SIXTH EDITION (2017) (AND ASCE 7-10.)

WIND SPEED (V ULTIMATE) 140 MPH  
WIND SPEED (V ALLOWABLE) 108 MPH  
WIND IMPORTANCE FACTOR 1  
BUILDING CATEGORY II  
EXPOSURE CATEGORY C  
INTERNAL PRESSURE COEFF. 0  
COMPONENTS & CLADDING 29.4 PSF/39.4 PSF  
BUILDING TYPE VB

DON BOLDEN ENG., INC.  
Don Bolden, P.E.  
Florida Registration # 47524  
Certificate of Authorization # 26030  
P.O. Box 530783  
DeBary, FL 32753





**LEFT ELEVATION**  
scale: 1/4" = 1'-0"



**REAR ELEVATION**  
scale: 1/4" = 1'-0"

NOTE:  
THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF  
THE FLORIDA BUILDING CODE RESIDENTIAL SIXTH EDITION (2017) (AND ASCE 7-10.)

WIND SPEED (V ULTIMATE) 140 MPH  
WIND SPEED (V ALLOWABLE) 108 MPH  
WIND IMPORTANCE FACTOR 1  
BUILDING CATEGORY II  
EXPOSURE CATEGORY C  
INTERNAL PRESSURE COEFF. 0  
COMPONENTS & CLADDING 29.4 PSF/39.4 PSF  
BUILDING TYPE VB

DON BOLDEN ENG., INC.  
Don Bolden, P.E.  
Florida Registration # 47524  
Certificate of Authorization # 26030  
P.O. Box 530783  
DeBary, FL 32753

REVISIONS	BY
6/26/2020	

*Hyatt*  
DESIGN  
Custom Estate Homes

1213 N. ORANGE AVENUE  
SUITE B  
ORLANDO, FL 32804  
PHONE (407) 894-0030  
FAX (407) 894-0033  
WWW.HYATTDDESIGN.COM

PROJECT: THE STRASBERG RESIDENCE  
LOCATION: ORANGE COUNTY, FLORIDA  
BUILDER:

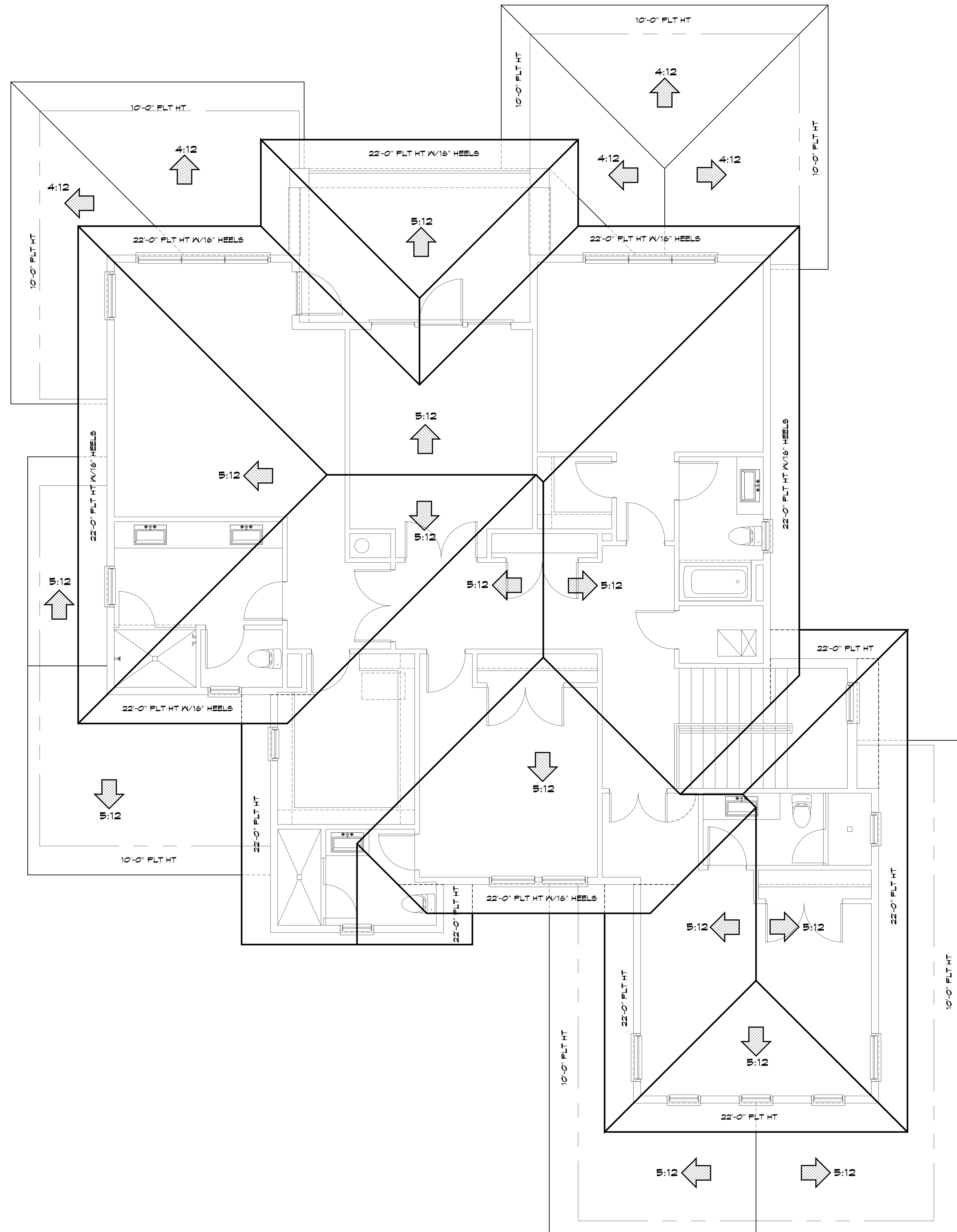
PROJECT: THE STRASBERG RESIDENCE  
LOCATION: ORANGE COUNTY, FLORIDA  
BUILDER:

DESIGNER: GREG HYATT  
CAD DRAFTING: C.J. PA  
CREATED: 5/11/2020  
DATE: 5/11/2020  
SCALE: 8 1/2" X 11" (SHEET)  
SHEET NO: 32753

3.2

NOTE:  
THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF  
THE FLORIDA BUILDING CODE RESIDENTIAL SIXTH EDITION (2017) (AND ASCE 7-10.)

WIND SPEED (V ULTIMATE) 140 MPH  
WIND SPEED (V ALLOWABLE) 108 MPH  
WIND IMPORTANCE FACTOR 1  
BUILDING CATEGORY II  
EXPOSURE CATEGORY C  
INTERNAL PRESSURE COEFF. 0  
COMPONENTS & CLADDING 29.4 PSF/39.4 PSF  
BUILDING TYPE VB



**ROOF PLAN**  
scale: 1/4" = 1'-0"

DON BOLDEN ENG., INC.  
Don Bolden, P.E.  
Florida Registration # 47524  
Certificate of Authorization # 26030  
P.O. Box 530783  
DeBary, FL 32753

REVISIONS	BY
6/26/2020	

*Hyatt*  
DESIGN  
1213 N. ORANGE AVENUE  
SUITE B  
ORLANDO, FL 32804  
PHONE (407) 894-0020  
FAX (407) 894-0033  
WWW.HYATTDDESIGN.COM

PROJECT: THE STRASBERG RESIDENCE  
LOCATION: ORANGE COUNTY, FLORIDA  
BUILDER: \_\_\_\_\_

DESIGNER	GREG HYATT
CAD DRAFTING	CJ/PA
CHECKED	SM
DATE	X-12-2020
SCALE	8 1/2" X 11" (SHEET)
SHEET NO.	5.1
SHEET	5.1





















401 South Park Avenue • Winter Park, Florida 32789

407-599-3324 • [planning@cityofwinterpark.org](mailto:planning@cityofwinterpark.org)  
[cityofwinterpark.org](http://cityofwinterpark.org)

**Planning &  
Community  
Development**

## **Planning & Zoning Board Staff Report for August 4, 2020 Meeting**

SPR #20-11. Daniel Cohen and Esther Kovacs for: Approval to modify the site plan approval granted on July 9, 2019 to construct an enlarged addition to the lakefront façade of the home and a new circular driveway located at 2104 Venetian Way on Lake Maitland, zoned R-1AAA.

**Lakefront Site Plan Modification:** On July 9, 2019, the owners of 2104 Venetian Way received approval to expand their existing home with a two-story addition and a new two-story exterior porch on the lakeside façade of the existing home. The owners have subsequently decided to redesign the lakeside façade and to enlarge those additions.

Originally a smaller two-story open porch was approved, as shown in the attached plan from July 2019. That open porch (roofed or covered on first floor and open as a second-floor balcony on the second floor) extended 11 feet out from the façade of the home to a setback approved in July 2019 of 77 feet.

Now the owners desire to bring the entire façade out to that same 77-foot setback. The new plans would have an open lanai/porch on the first floor across most of the width of the lakefront façade of the home. The second floor would consist of covered porch in the middle and then extensions of second floor living space on top of the lanai/porch below. This adds approximately 1,440 square feet to the home, of which about one-third is second floor living space and the balance is open lanai/porch.

The owners have also decided to add a circular drive to the front. Since this is materially different from what was approved by the Planning Board in July 2019, the Code requires that this site plan modification be approved by the Planning Board.

**Staff Appraisal:** The previously approved two-story porch was 11 feet out from the main house façade and the new proposal is the same distance, albeit significantly increased in square footage. There are no issues or variances to the FAR, Setbacks or Impervious Coverage. The only issue could be whether the larger lakefront addition “unduly impairs the lake views” of the neighboring properties. From the staff’s perspective this is not the case. Both the previous approval and the new request are at the previously approved 77-foot setback to the lake. There is certainly more of the home, at the previously approved 77-foot setback now in this modification, but it does not appear to impair lake views.

**STAFF RECOMMENDATION IS FOR APPROVAL of the proposed addition with the same condition from the July 9, 2019 approval:**

- 1. That due to the FEMA floodway status of the property, potential changing of grades, construction within the down slope area of the lot and storm water issues on this site, that any future plans for a swimming pool/deck must be brought back to the P&Z Board for approval.**



## **For Background, the Staff Report from July, 2109 is Below**

Daniel Cohen and Esther Kovacs are requesting approval to construct a two-story, 1,448 square foot addition to the single-family home located at 2104 Venetian Way on Lake Maitland, zoned R-1AAA. This property measures 17,625 square feet. Below is a table summarizing this request in comparison to the R-1AAA zoning/lakefront lot requirements. Items in bold indicate a variance request as part of this site plan review.

**Stormwater Retention:** The code requires retention of stormwater so that stormwater flowing over a waterfront lawn area does not carry with it into the lake any fertilizers, herbicides, etc. The amount of impervious surface on the lot determines the depth/size of the retention needed. The applicant is proposing a stormwater swale that is sized to meet the city's code requirements.

This property has a very unique history because the land was designated on the FEMA maps as a "floodway" when the home was built in 2008/2009. A "floodway" is land that is expected to flood or hold water during high water hurricane type events. The soils were historically, and are currently, several feet of organic soils (muck). To make the land buildable, the organic soils had to be compacted. There was a large amount of dirt placed where the home would be located in order to compact the soils. That dirt was in place for three to four years prior to construction. As evident in the attached aerial photograph, the same thing is currently happening on the adjacent lot to the west at 2072 Venetian Way.

The adjacent neighbors to the east (the Serrao's) at 2112 Venetian Way were not happy living next to a tarp covered mountain of dirt for three to four years with every rainstorm washing runoff onto their lakefront. There were serious issues with erosion and flooding and a wall was built to block most of this runoff.

In order to satisfy the City and the Federal Emergency Management Agency (FEMA), a large retention area (pond) was created on the lakefront of this property. It is not a retention area where water drains down after a rain, as it holds water as compensating storage for the fill brought in to enable the existing house pad to be built. This limits changing grades and building in the location of lot slope from the house pad down to the retention pond. The owners may not realize, but the storm water design is for the entire lakefront of this lot to flood up to (but not over) the level of the fill and the home.

This proposed construction is on the area previously filled. A previous version of the plans included a swimming pool to be located that would change grades and be located outside the fill area. That is going to be problematic and would certainly involve a future pool design much different than what was presented and then withdrawn. Because of this circumstance, you will see a condition of approval that puts the property owners on notice about these restrictions to keep any future pool exclusively within the filled area of the lot.

**Tree Preservation:** The purpose and intent of the lakefront lots section of the code states that existing trees shall be preserved to the degree reasonably possible, and the appearance of the property and the shore when viewed from the water will be kept as natural as reasonably possible. This proposed addition does not require any tree removals.

**View From The Lake:** The code limits walls and swimming pool decks facing the lake in excess of three feet in height. The proposed addition is in the flat/filled area of the lot and therefore meets this code requirement.



**View of Neighbors:** The purpose and intent of the lakefront lots section of the code is to ensure that the views of the lake from adjoining properties will not be unduly impaired by new houses, additions, second story additions, etc. In order to achieve this, the code states that the lakefront setback shall be the average established by the adjacent lakefront properties within 200 feet of the subject property, or 50 feet, whichever is greater. However, the P&Z Board does have the authority to approve setbacks less than the average determined, or impose more restrictive setbacks. The average lakefront setback is 77 feet. The majority of the building addition is located behind this setback, with the exception of the one-story covered lanai which extends 14 feet into the average lakefront setback at 64 feet from the lake. The extent of the addition that extends into the average lakefront setback is relatively minimal, but there is still the concern that this will impact the eastern adjoining property's lakefront views.

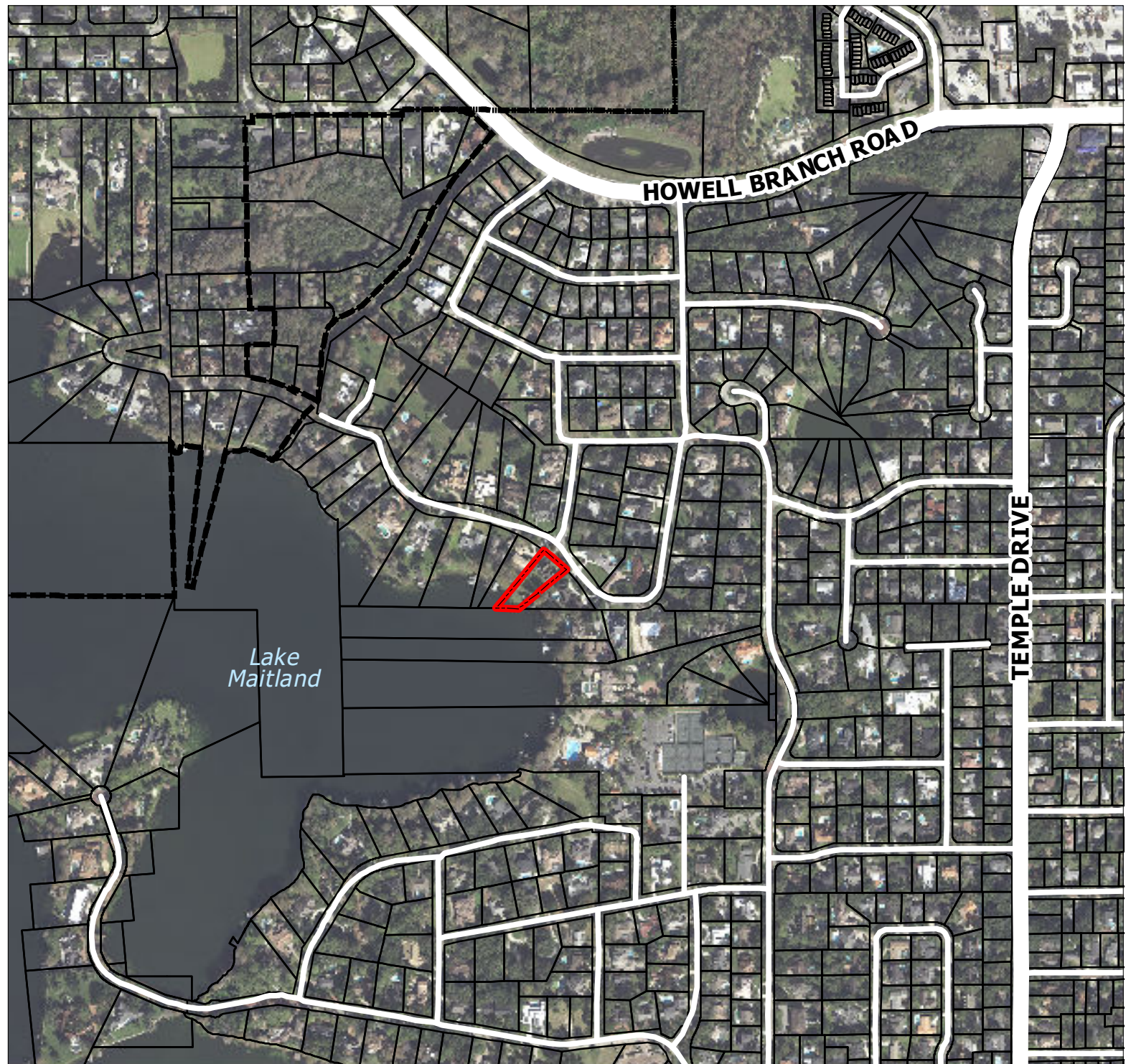




## LOCATION MAP

**2104 Venetian Way**

City of Winter Park  
Florida



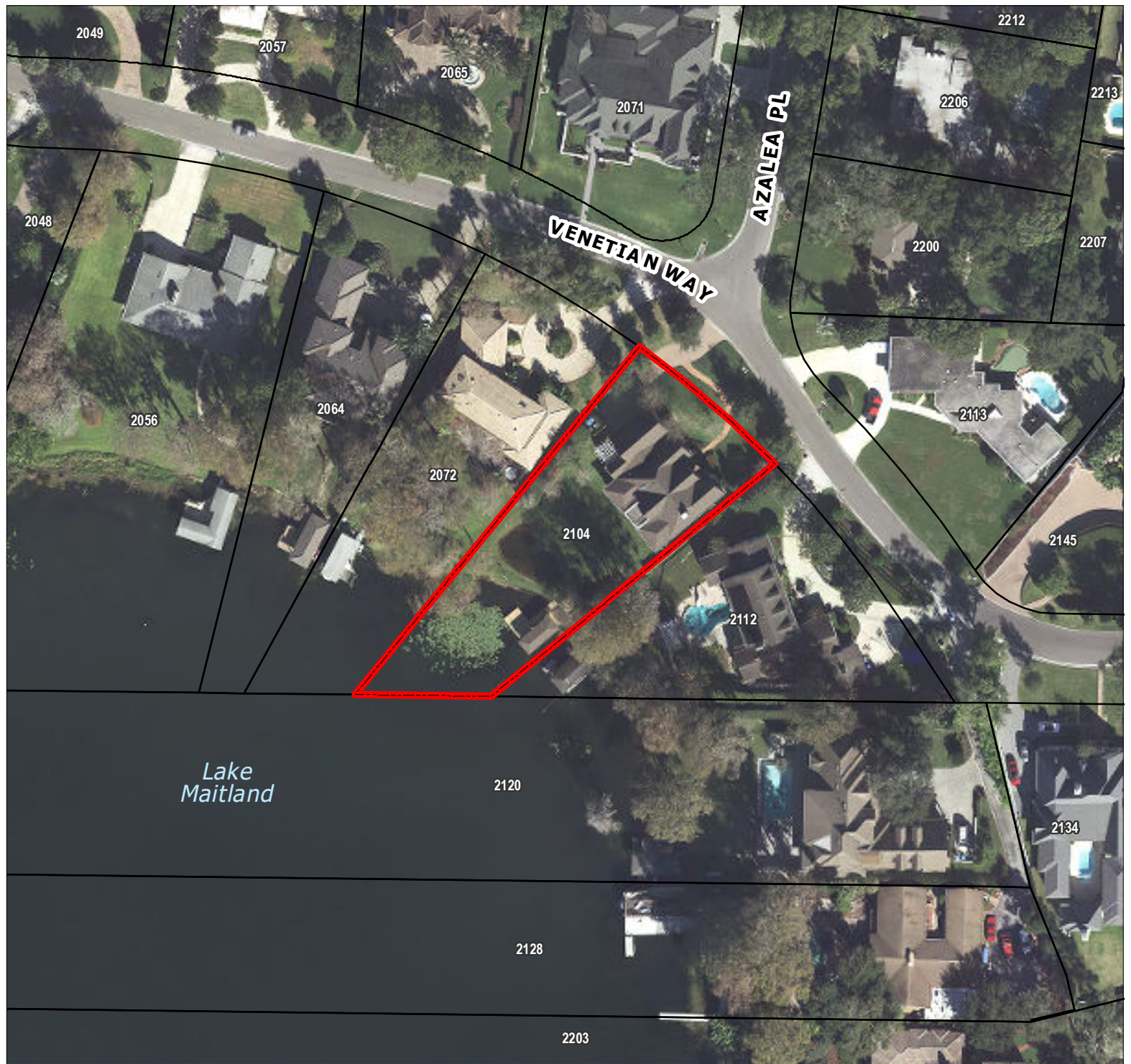




## LOCATION MAP

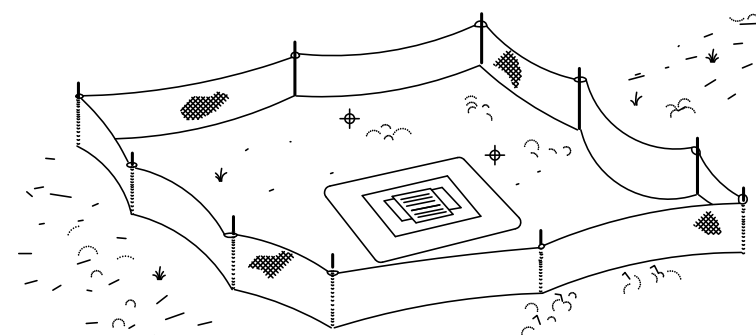
### 2104 Venetian Way

City of Winter Park  
Florida



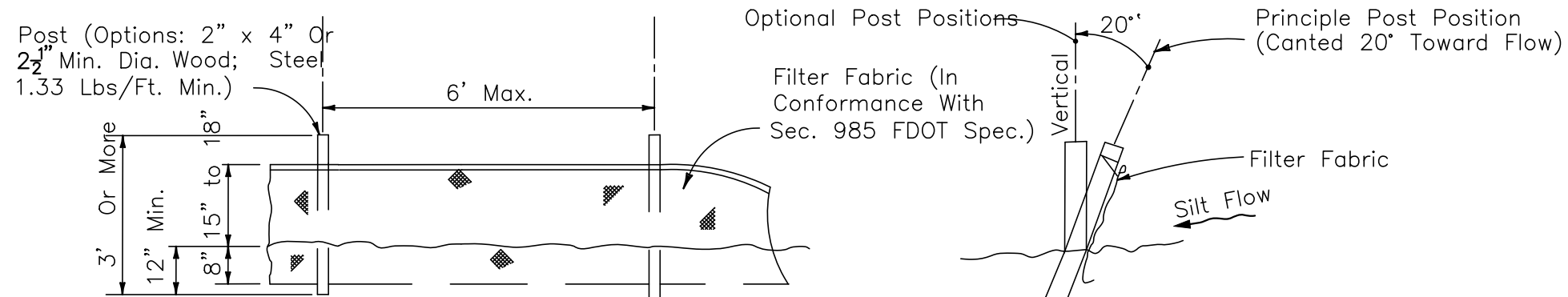


	Existing Flood Storage Volume										Proposed Flood Storage Volume						
	NAVD-88										NAVD-88						
	Stage (Ft)	Area (S.F.)	Area (Ac)	Inc Vol (C.F.)	Cum Vol (C.F.)	Cum Vol (C.Y.)	Cum Vol (A.F.)				Stage (Ft)	Area (S.F.)	Area (Ac)	Inc Vol (C.F.)	Cum Vol (C.F.)	Cum Vol (C.Y.)	Cum Vol (A.F.)
NWFL	65.7	2755	0.06	0	0	0	0.00	NWFL			65.7	1,630	0.037	0	0	0	0.00
	65.8	3325	0.08	304	304	11	0.01				65.8	2,620	0.051	192	192	7	0.00
	65.9	3830	0.09	358	662	25	0.02				65.9	3,065	0.070	264	457	17	0.01
	66.0	4300	0.10	406	1,068	40	0.02				66.0	4,115	0.094	359	816	30	0.02
	66.1	4850	0.11	457	1,526	57	0.04				66.1	5,145	0.118	463	1,279	47	0.03
	66.2	5475	0.13	516	2,042	76	0.05				66.2	8,245	0.189	669	1,948	72	0.04
	66.3	6100	0.14	579	2,621	97	0.06				66.3	6,045	0.139	714	2,663	99	0.06
	66.4	6565	0.15	633	3,254	121	0.07				66.4	7,110	0.163	658	3,320	123	0.08
	66.5	6925	0.16	674	3,928	145	0.09				66.5	7,755	0.178	743	4,064	151	0.09
	66.6	7305	0.17	711	4,640	172	0.11				66.6	7,865	0.181	781	4,845	179	0.11
	66.7	7665	0.18	748	5,388	200	0.12				66.7	7,975	0.183	792	5,637	209	0.13
	66.8	8005	0.18	783	6,172	229	0.14				66.8	8,085	0.186	803	6,440	239	0.15
	66.9	8320	0.19	816	6,988	259	0.16				66.9	8,195	0.188	814	7,254	269	0.17
	67.0	8645	0.20	848	7,836	290	0.18				67.0	8,305	0.191	825	8,079	299	0.19
	67.1	8875	0.20	876	8,712	323	0.20				67.1	8,479	0.195	839	8,918	330	0.20
	67.2	9075	0.21	897	9,610	356	0.22				67.2	8,653	0.199	857	9,775	362	0.22
	67.3	9265	0.21	917	10,527	390	0.24				67.3	8,827	0.203	874	10,649	394	0.24
	67.4	9435	0.22	935	11,462	425	0.26				67.4	9,001	0.207	891	11,540	427	0.26
67.5	9615	0.22	952	12,414	460	0.28			67.5	9,175	0.211	909	12,449	461	0.29		
67.6	9820	0.23	972	13,416	496	0.31			67.6	9,373	0.224	947	13,386	496	0.31		
67.7	10045	0.23	993	14,439	533	0.33			67.7	10,371	0.238	1,007	14,403	533	0.33		
67.8	10300	0.24	1,017	15,397	570	0.35			67.8	10,969	0.252	1,067	15,470	573	0.36		
67.9	10635	0.24	1,047	16,443	609	0.38			67.9	11,567	0.266	1,127	16,597	615	0.38		
BFE	68.0	11080	0.25	1,086	17,529	649	0.40	BFE			68.0	12,165	0.279	1,187	17,784	659	0.41



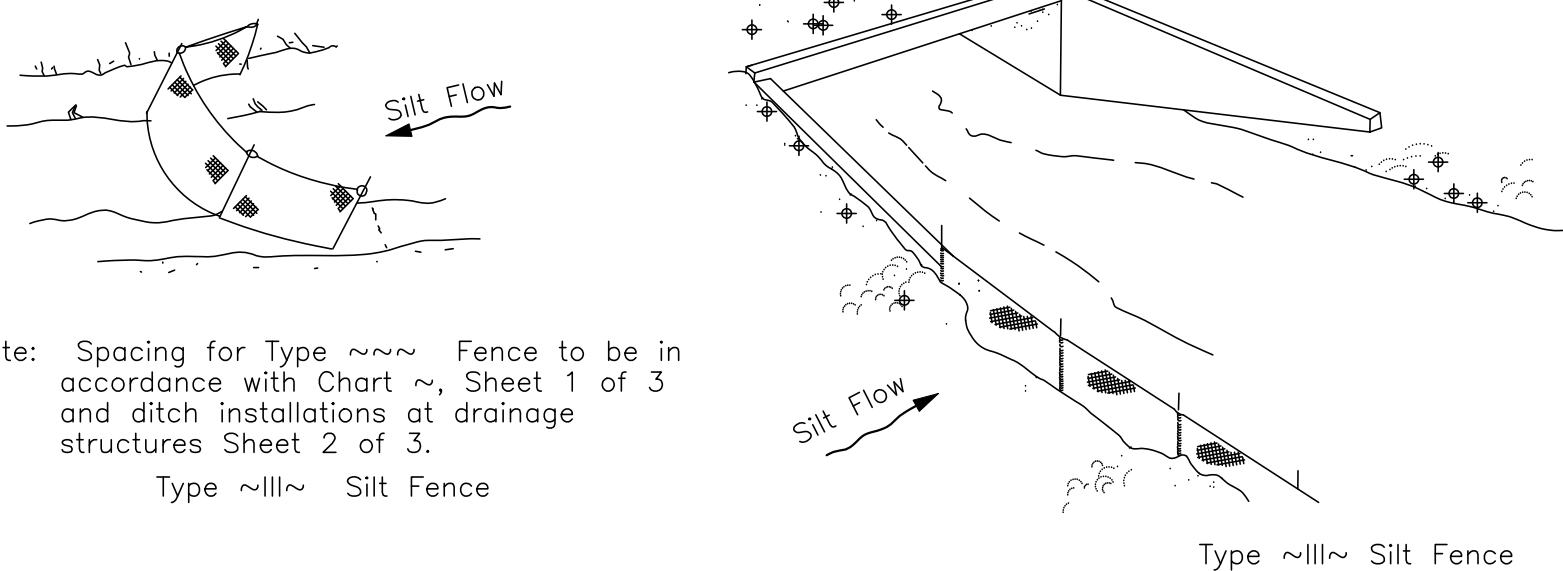
Type ~II~ Silt Fence Protection  
Around Ditch Bottom Inlets.

Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.



### ELEVATION

## SECTION



Note: Spacing for Type ~~~ Fence to be in accordance with Chart ~, Sheet 1 of 3 and ditch installations at drainage structures Sheet 2 of 3.

Type ~III~ Silt Fence

TYPE ~III~ SILT FENCE  
SILT BARRIER DETAIL

N.T.S.

GENERAL NOTES

1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL PERMITTING AUTHORITIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS, SPECIFICATIONS, REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
3. FOR BENCHMARKS, CONTACT: IRELAND SURVEYING, INC. (407) 678-3366.
4. ALL HANDICAP SPACE STRIPING AND PAVEMENT MARKINGS AND SIGNAGE TO COMPLY WITH THE FOOT ROADWAY AND TRAFFIC DESIGN STANDARDS, THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND CITY OF WINTER PARK LAND DEVELOPMENT CODE. ALL STOP BARS SHALL BE THERMOPLASTIC.
5. ALL WORK SHALL CONFORM TO THE CITY OF WINTER PARK SPECIFICATIONS AND REGULATIONS.
6. DIMENSIONS SHOWN ARE FOR CONSTRUCTION OF IMPROVEMENTS ONLY. REFER TO ARCHITECTURAL PLANS FOR CONSTRUCTION OF BUILDING. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT/FACE OF CURB UNLESS NOTED OTHERWISE.
7. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE FOUND BETWEEN THESE PLANS, THE ARCHITECTURAL PLANS AND/OR FIELD CONDITIONS.
8. ALL PRIVATE AND PUBLIC PROPERTY DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN PRE-DEVELOPMENT CONDITIONS.
9. FIRE DEVELOPMENT AREAS SHALL BE REGRADED AND SODDED, UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLANS.
10. DURING CONSTRUCTION, WHEN COMBUSTIBLES ARE BROUGHT ONTO THE SITE IN SUCH QUANTITIES AS DEEMED HAZARDOUS BY THE FIRE OFFICIAL, ACCESS ROADS AND A SUITABLE TEMPORARY SUPPLY OF WATER ACCEPTABLE TO THE FIRE DEPARTMENT SHALL BE PROVIDED AND MAINTAINED.
11. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC EXCEPT PARKING SPACES WHICH MAY BE FOOT TRAFFIC RATED PAINT. MINIMUM LINE WIDTH SHALL BE 6".
12. WOOD IN CONTACT WITH GROUND OR BELOW GROUND LEVEL WHICH SUPPORTS PERMANENT STRUCTURES SHALL BE APPROVED PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT USE. EXCEPTIONS:
13. NATURALLY DURABLE WOOD MAY BE USED IN CONTACT WITH THE GROUND FOR SUPPORT OF STRUCTURES OTHER THAN BUILDINGS AND WALKING SURFACES.
14. SEE BUILDING PLANS FOR STRUCTURAL SPECIFICATIONS AND DETAILS.
15. EXISTING/EXISTING CONDITION INFORMATION PRESENTED WAS TAKEN FROM TOPOGRAPHIC SURVEY PROVIDED BY THE CLIENT AND BEING UTILIZED. IN THIS DRAWING FOR INFORMATION PURPOSES ONLY. BRAVO ENGINEERING, LLC IS NOT LIABLE FOR ANY INACCURACY OF THE INFORMATION.
16. CONTRACTOR SHALL FIELD STAKE ALL BUILDING CORNERS & CENTERLINE GEOMETRY TO ENSURE PROPOSED DIMENSIONS FIT EXISTING CONDITIONS. CONTRACTOR SHALL NOTIFY BRAVO ENGINEERING, LLC IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND PLANS BEFORE PROCEEDING WITH CONSTRUCTION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, AND HE SHALL BE RESPONSIBLE FOR ANY DAMAGE DUE TO HIS OPERATIONS. CONTRACTOR IS TO COORDINATE ALL UTILITY CONNECTIONS WITH THE OWNERS AND/OR THE LOCAL AUTHORITIES PRIOR TO INSTALLATION.
18. CONTRACTOR SHALL REFER TO MANUFACTURER'S PLANS AND SPECS FOR ACTUAL LOCATION OF ALL UTILITY CONNECTION POINTS, TO INCLUDE; GAS, SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL AND TELEPHONE SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS, COORDINATE WITH THE MANUFACTURER'S APPROVED LOCATIONS AS SCHEDULED FOR tie-INS/CONNECTIONS TO THEIR FACILITIES.
19. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS AND TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. CONTRACTOR SHALL COMPLY WITH OSHA REGULATIONS AND SAFETY REQUIREMENTS.
20. HANDICAPPED PASSES SHALL MEET ADA AND FLORIDA STANDARDS.
21. INGRESS AND EGRESS TO SITE DURING CONSTRUCTION IS ALLOWED ONLY THROUGH APPROVED SITE DRIVEWAYS.

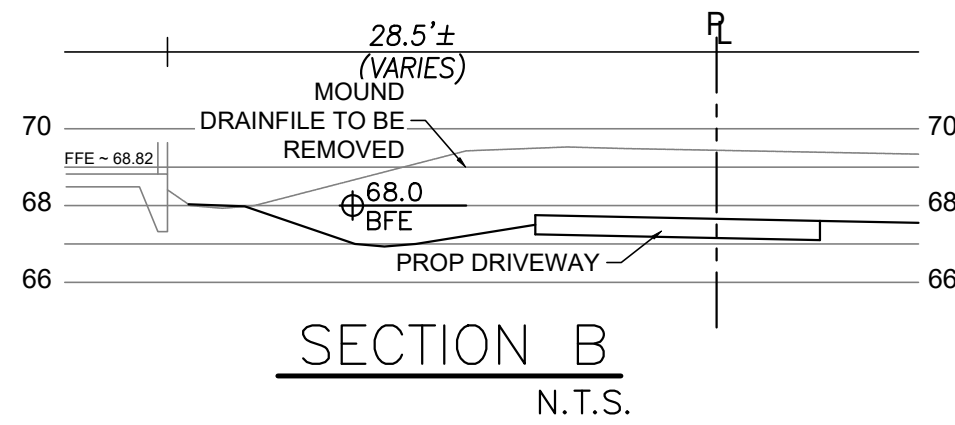
DEMOLITION NOTES

1. DEMOLISH STRUCTURES AND IMPROVEMENTS AS INDICATED ON PLANS.
2. REMOVE FOUNDATIONS FOR STRUCTURES INDICATED TO BE REMOVED.
3. REMOVE WEEKLY FROM SITE TO MAINTAIN ACCESS TO FRESH AND OTHER
4. MATERIAL RESULTING FROM DEMOLITION AND CONSTRUCTION.
5. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OCCUPIED FACILITIES.
6. PROVIDE PROTECTION OF PERSONS AND ADJACENT FACILITIES TO REMAIN
7. AROUND OR BEHIND DEMOLITION OR CONSTRUCTION BRUSHING
8. REQUIRED TO PREVENT INJURIES AND DAMAGE TO ADJACENT FACILITIES.
9. MAINTAIN EXISTING UTILITIES, EXCEPT AS REQUIRED TO BE REMOVED, AND
10. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL
- PROTECTION AND POLLUTION ABATEMENT.
11. CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OFF SITE.
12. GAS NOTIFICATION NO. 01042012. CONTRACTOR TO COORDINATE WITH
- TECO/PEOPLE'S GAS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
13. CONTRACTOR TO NOTIFY THE FLORIDA GAS TRANSMISSION PRIOR TO
- COMMENCING CONSTRUCTION ACTIVITIES.

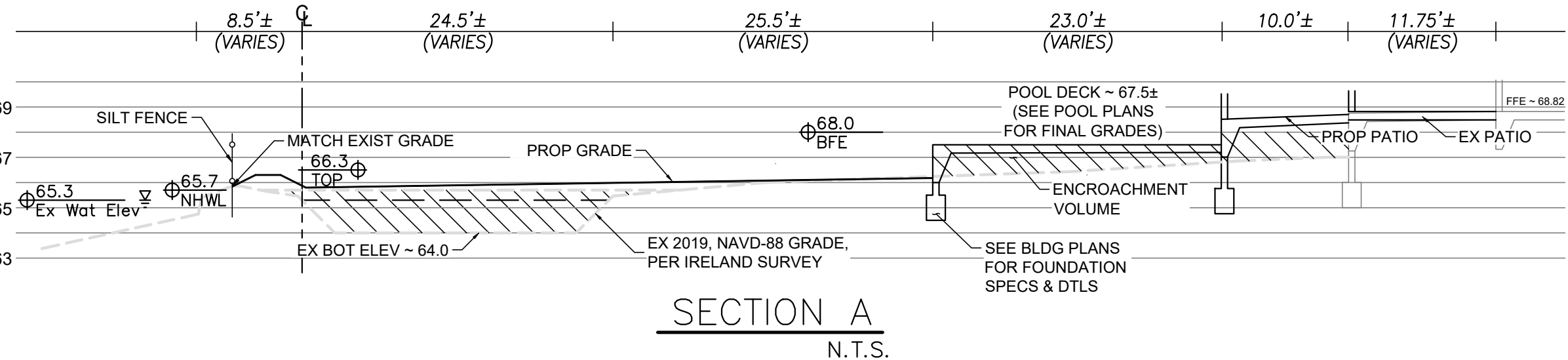
Retention Storage/Storage						
Stage (Ft)	Area (S.F.)	Area (Ac)	Inc Vol (C.F.)	Cum Vol (C.F.)	Cum Vol (C.Y.)	Cum Vol (A.F.)
65.8	530	0.012	0	0	0	0.00
65.9	1,320	0.030	92	92	3	0.00
66.0	2,310	0.053	181	274	10	0.01
66.1	3,280	0.075	279	553	20	0.01
66.2	6,325	0.145	480	1,034	38	0.02
66.3	4,000	0.092	516	1,550	57	0.04
WATER QUALITY CALCULATIONS:						
WATER QUALITY REQ'D: 1/12 Ft W/ 1,850 SF =					1,488	CF
WATER QUALITY PROV'D =					1,550	CF

## GRADING DRAINAGE AND PAVING

1. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE VARIOUS UTILITIES TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT. RELOCATION OR EXTENSION OF EXISTING UTILITIES SHALL BE COORDINATED BY THE CONTRACTOR.
2. MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO CONTROL EROSION ON THE SITE DURING CONSTRUCTION. SUCH METHODS SHALL BE IN ACCORDANCE WITH CURRENT STANDARDS AND SPECIFICATIONS OF THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
3. ALL SOIL STRIPPINGS AND ANY UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY EROSION OR SHOALING PROBLEMS THAT RESULT FROM THE CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY WATER QUALITY PROBLEMS THAT RESULT FROM THE CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL NEWLY PLANTED GRASS OR VEGETATION UNTIL THE WORK HAS BEEN ACCEPTED BY THE OWNER.
7. ALL MANHOLE AND INLET STRUCTURES SHALL BE PRECAST AND IN ACCORDANCE WITH FDOT & LOCAL STANDARDS.
8. ALL FILL MATERIAL SHALL BE CLEAN, COARSE SAND CONTAINING LESS THAN 5% FINES PASSING THE #200 SIEVE. FILL PLACEMENT SHALL BE IN 12" LIFTS AND COMPACTED TO 95% MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-180. EACH LIFT SHALL BE TESTED FOR COMPACTION BY A FLORIDA REGISTERED SOILS ENGINEER RETAINED BY THE CONTRACTOR. ALL TEST RESULTS SHALL BE SUBMITTED TO THE OWNER FOR REVIEW BY HIS CONSULTANT. COMPACTION AT THE BUILDING PAD SHALL BE IN ACCORDANCE WITH ABOVE EXCEPT THAT MAXIMUM DENSITY SHALL BE 98%.
9. LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO ANY FACILITY CAUSED.
10. THE CONTRACTOR SHALL SUBMIT ASBUILT DRAWINGS (RECORD DRAWINGS) PREPARED BY A PROFESSIONAL LAND SURVEYOR AND LICENSED IN THE STATE OF FLORIDA, TO THE ENGINEER OF RECORD. ASBUILT DRAWINGS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE CITY OF WINTER PARK AND CEMA.
11. THE ASBUILT DRAWINGS SHALL SHOW ADEQUATE ELEVATIONS TO INDICATE SURFACE FLOW PATTERNS, FINISHED FLOOR ELEVATION, TOPS OF ALL STRUCTURES, INVERTS OF ALL STRUCTURES & PIPE MATERIALS, HIGH POINTS AND LOW POINTS OF FINISHED GRADES.
12. SOD ALL DISTURBED AREAS WITHIN THE DEMISED PREMISES, INCLUDING THE RETENTION POND, EXCEPT AS DIRECTED BY LANDSCAPE PLANS.
13. ALL PAVING SURFACES SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION INDICATED IN THE PLAN AND TO PROVIDE A SMOOTH, TRANSITIONED DRYING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES.
14. PAVED AREAS ARE TO BE CONSTRUCTED IN A PRECISE MANNER AND APPROVED BY THE OWNER OR HIS REPRESENTATIVE PRIOR TO COMPLETION OF WORK.
15. THE OPEN SPACE IS TO BE GRADED IN SUCH A MANNER AS TO PROMOTE POSITIVE FLOW AND AVOID ANY PONDING ON SITE.
16. WHERE DRAINAGE SLOPES OR IN DRAINAGE DITCHES, ARRANGE THE SETTING OF THE PIECES TO AVOID A CONTINUOUS PATH FOR THE LINE OF FLOW.
17. ON AREAS WHERE THE SOD MAY SLIDE DUE TO SLOPE, PEG THE SOD WITH PEGS DRIVEN THROUGH THE SOD INTO FIRM EARTH AT SUITABLE INTERVALS. REPLACE ANY SOD WHICH, AFTER PLACING, SHOWS AN APPEARANCE OF DRYNESS.
18. PROPOSED SPOT ELEVATIONS ARE AT THE EDGE OF PAVEMENT. ADD 6" TO DETERMINE BACK OF CURB ELEVATION.
19. ALL STORM PIPE SHALL BE REINFORCED CONCRETE (RCP) CLASS III (MINIMUM) UNLESS OTHERWISE NOTED ON PLANS OR APPROVED BY ENGINEER OF RECORD.



## Lake Maitland



**BRAVO ENGINEERING, LLC**  
7221 ALOMA AVE, STE 300  
WINTER PARK, FLORIDA 32792  
Telephone: 407-252-1671

NO.	DATE	DESCRIPTION
0	2/18/20	INITIAL SUBMITTAL TO CITY
1	4/01/20	REVISED PER FDP
2	4/15/20	REVISED SUPPLEMENTAL TOPO SURVEY
3	6/30/20	REVISED ARCH PLANS & CITY

DRAWN BY: CTB

CHECK BY: CTB

PROJECT NO.: 2020-04

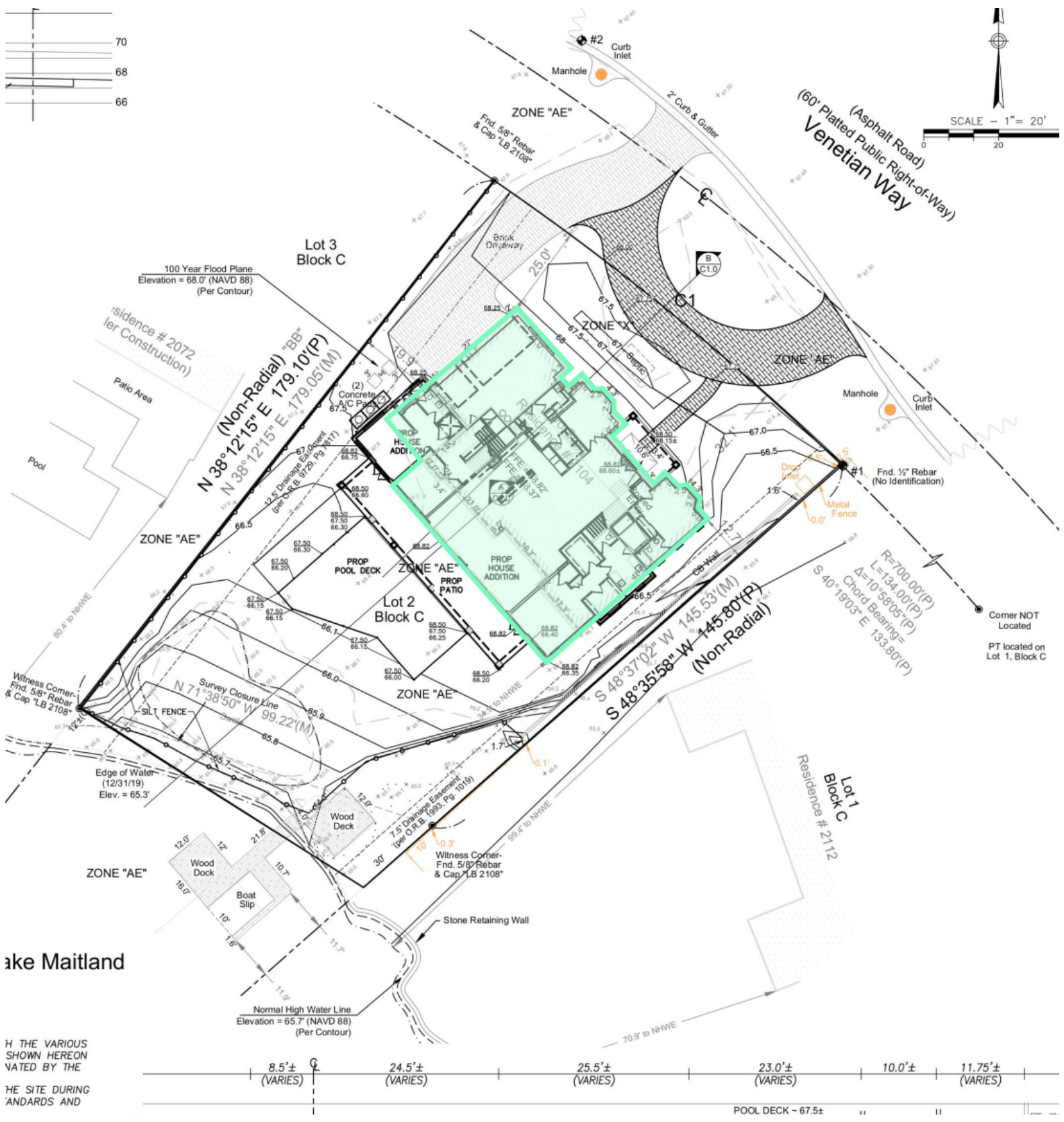
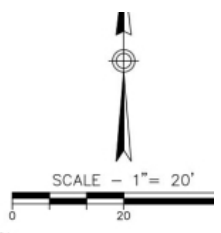
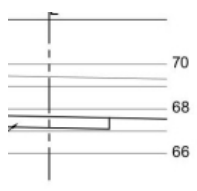
PROJECT DATE: 02/17/20

**CHRISTOPHER T. BRAVO, P.E.**  
**REGISTRATION # 58562**  
**C.A. # 28953**

# C1.0

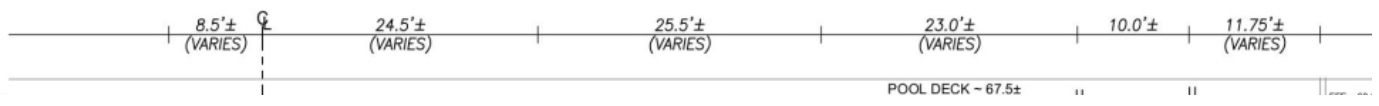
this document, to include all drawings, pictorial representations, designs, and the written material is not to be copied, reproduced, or transmitted in any form or by any means, electronic or mechanical without written permission from BRAVO ENGINEERING, LLC. All common law rights of copyright are hereby specifically reserved.



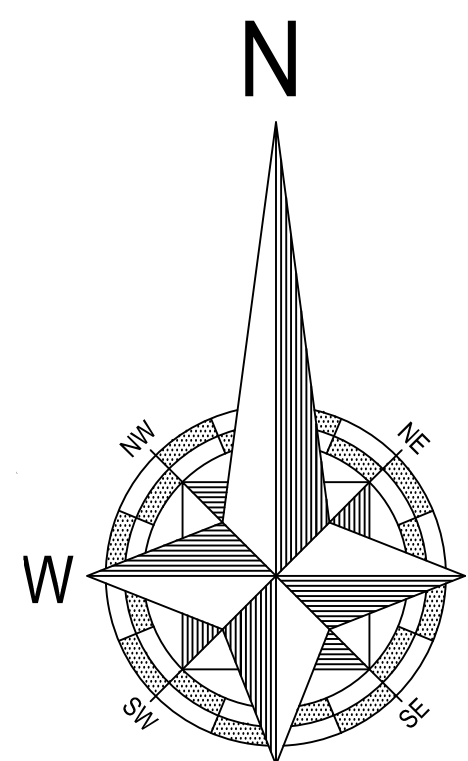
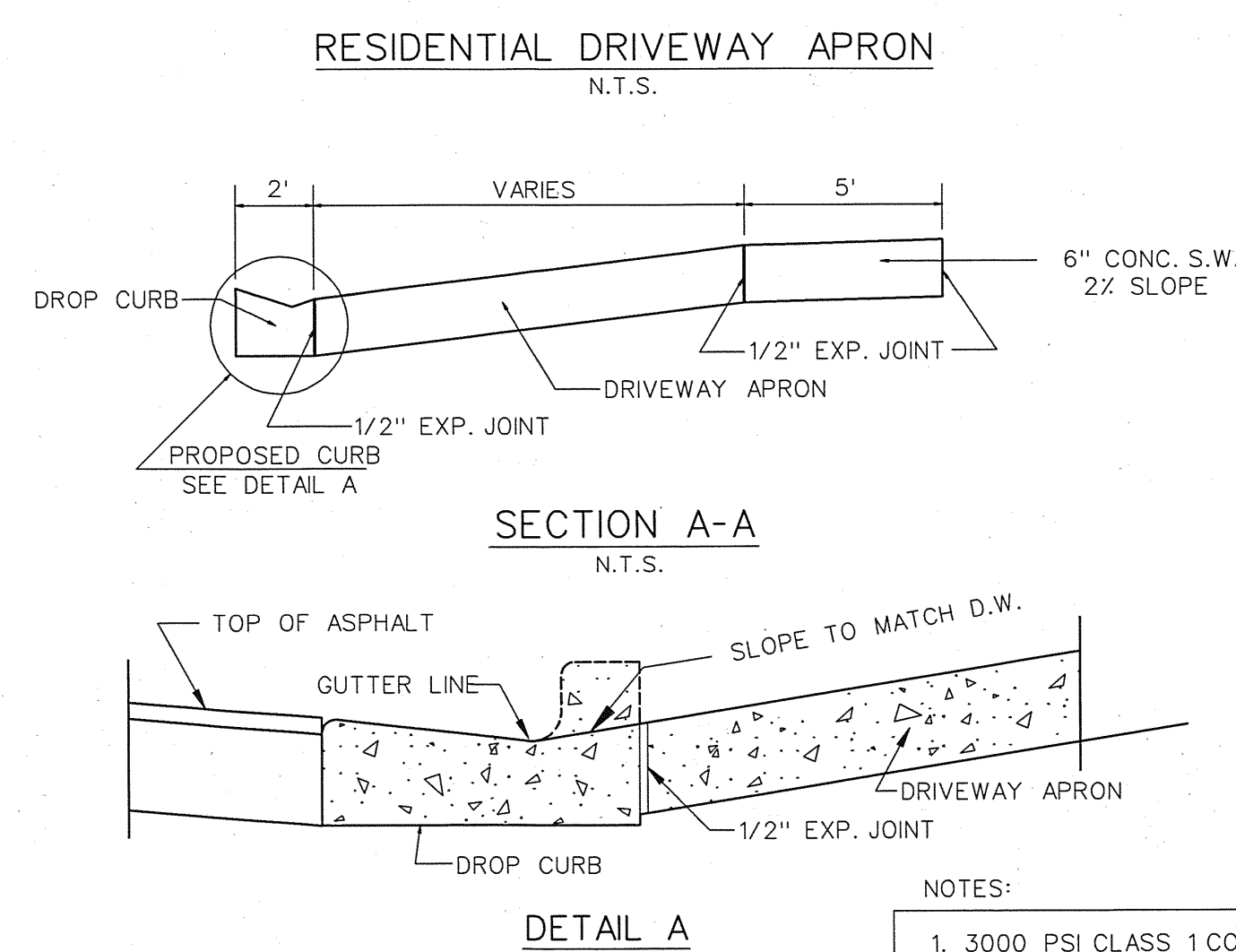


Lake Maitland

THE VARIOUS SHOWN HEREON VATED BY THE HE SITE DURING ANDARDS AND



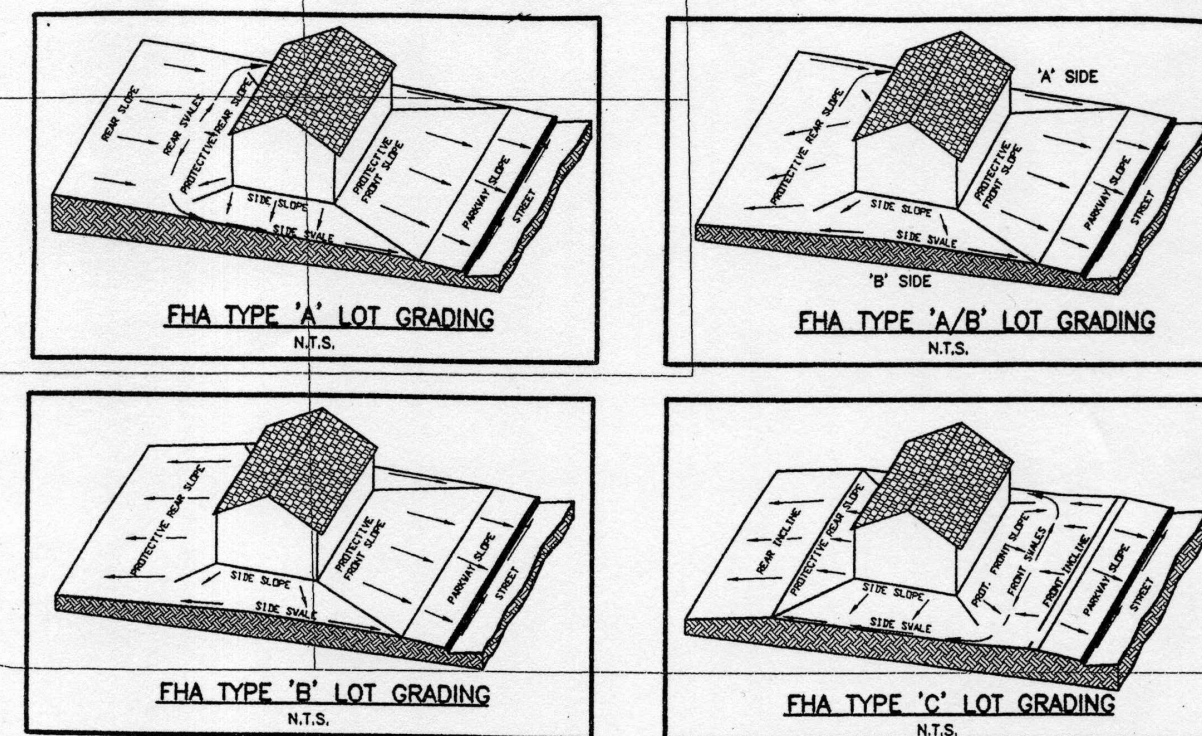




Lot 2, Block C, MAITLAND SHORES, according to the Plat thereof as recorded in Plat Book R, Page 150, Public Records of Orange County, Florida.

1. DRIVEWAY APPROACHES WITH PRIVATE-SIDE TO BE CONSTRUCTED AND INSPECTED TO CITY'S SPECIFICATIONS PRIOR TO PLACING CONCRETE.
2. DRIVEWAY APPROACH ONLY TO BE CONSTRUCTED AND INSPECTED TO CITY'S SPECIFICATIONS PRIOR TO PLACING CONCRETE (SIDEWALK INCLUDE)
3. PRIVATE SIDE DRIVEWAYS ONLY TO BE CONSTRUCTED AND INSPECTED TO CITY'S SPECIFICATIONS PRIOR TO PLACING CONCRETE.
4. THE RETENTION AREA AND DRAINAGE BEING CONFIGURED IN SUCH A WAY AS TO DIRECT GUTTERS AND OTHER SOURCES OF RUNOFF TO THE RETENTION AREAS.

C1  
R=700.00'(P)  
L=120.00'(P)  
 $\Delta=9^{\circ}49'20''$ (P)  
Chord Bearing=  
S  $50^{\circ}42'45''$  E 119.85'(P)  
S  $50^{\circ}43'50''$  E 119.65'(M)



CITY OF WINTER PARK NOTE:

## CONSTRUCTION

- 1) A 4" CAST IRON WATER MAIN EXISTS WITHIN THE ROW OF OAKS BLVD AND THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES NOT TO DAMAGE THE MAIN AND MAINTAIN SEPARATION. IF A CONFLICT EXIST CONTACT LEE BOWMAN, UTILITY INSPECTOR (407-599-3249) PRIOR TO CONSTRUCTION. ADDITIONAL FEES MAY BE ASSESSED IF THE MAIN IS REQUIRED TO BE RELOCATED OR DAMAGED DURING CONSTRUCTIONS.

CITY OF WINTER PARK'S WATER AND WASTEWATER DEPARTMENT REQUIREMENTS

- THE CITY OF WINTER PARK'S WATER AND WASTEWATER PERMIT CONDITIONS & INSPECTION REQUIREMENT SHEET SHALL BE POSTED INTO THE FRONT BOARD AND AVAILABLE FOR REVIEW.
  - IF ANY EXISTING UTILITY LOCATIONS ARE IDENTIFIED BY THE CITY OR CONTRACTOR, THE CITY AND SEWER SERVICE CONNECTIONS TO THE PROPERTY FOR DETERMINATION OF A POSSIBLE CONFLICT. NO CONCRETE OR STRUCTURE IS ALLOWED OVER THE UTILITY SERVICES LOCATED WITHIN THE ROW.
  - IF ANY EXISTING UTILITY LOCATIONS ARE IDENTIFIED BY THE CITY OR CONTRACTOR, THE CITY AND SEWER SERVICE CONNECTIONS TO THE PROPERTY FOR DETERMINATION OF A POSSIBLE CONFLICT, CONTACT E-LE BOWMAN, UTILITY INSPECTOR (407-599-3249) PRIOR TO CONSTRUCTION.
  - A CAST IRON WATER MAIN EXISTS WITHIN THE ROW OF OAK BLVD AND THE CONTRACTOR SHALL TAKE CARE TO PROTECT THIS UTILITY. IF ANY EXISTING UTILITY LOCATIONS ARE IDENTIFIED BY THE CITY OR CONTRACTOR, THE CITY AND SEWER SERVICE CONNECTIONS TO THE PROPERTY FOR DETERMINATION OF A POSSIBLE CONFLICT, CONTACT E-LE BOWMAN, UTILITY INSPECTOR (407-599-3249) PRIOR TO CONSTRUCTION. ADDITIONAL FEES MAY BE ASSESSED IF THE MAIN IS REQUIRED TO BE RELOCATED OR DAMAGED DURING CONSTRUCTION.
  - IF ANY EXISTING UTILITY LOCATIONS ARE IDENTIFIED BY THE CITY OR CONTRACTOR, THE CITY AND SEWER SERVICE CONNECTIONS TO THE PROPERTY FOR DETERMINATION OF A POSSIBLE CONFLICT, COMPLIANCE WITH FLORIDA'S SAFE DRINKING WATER ACT. BACKFLOW PREVENTERS SHALL BE INSTALLED ABOVE GROUND AND NOT GREATER THAN 2' FROM THE METERS). A WARNING ROZ 979362 SHALL BE INSTALLED ON ALL SEWER SERVICE CONNECTIONS TO THE PROPERTY. IF ANY EXISTING UTILITY LOCATIONS ARE IDENTIFIED BY THE CITY OR CONTRACTOR, THE CITY AND SEWER SERVICE CONNECTIONS TO THE PROPERTY FOR DETERMINATION OF A POSSIBLE CONFLICT, CONTACT THE INSPECTION LINE TO SCHEDULE.
  - IF THE SEWER LATERAL SHALL BE VIDEO INSPECTED AND APPROVED BY THE CITY'S WASTEWATER INSPECTOR (407-599-3249) PRIOR TO CONSTRUCTION. IF ANY EXISTING UTILITY LOCATIONS ARE IDENTIFIED BY THE CITY OR CONTRACTOR, THE CITY AND SEWER SERVICE CONNECTIONS TO THE PROPERTY FOR DETERMINATION OF A POSSIBLE CONFLICT, CONTACT THE INSPECTION LINE TO SCHEDULE.
  - IF ANY EXISTING UTILITY LOCATIONS ARE IDENTIFIED BY THE CITY OR CONTRACTOR, THE CITY AND SEWER SERVICE CONNECTIONS TO THE PROPERTY FOR DETERMINATION OF A POSSIBLE CONFLICT, CONTACT THE INSPECTION LINE TO SCHEDULE.
- THE CITY OF WINTER PARK'S WATER AND WASTEWATER PERMIT CONDITIONS & INSPECTION REQUIREMENT SHEET SHALL BE POSTED INTO THE FRONT BOARD AND AVAILABLE FOR REVIEW.
- PRELIMINARY WATER AND WASTEWATER INSPECTION PRIOR TO CONSTRUCTION
  - WATER MAIN/WASTEWATER MAIN SEPARATIONS, IF A CONFLICT IS IDENTIFIED, CONTACT THE INSPECTION LINE TO SCHEDULE
  - BACKFLOW/CROSS CONNECTION CONTROL INSPECTION

GENERAL NOTES KEY:

THIS IS NOT A SURVEY. MJS, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY. THE OWNER AND CONTRACTOR ARE TOTALLY RESPONSIBLE FOR PLACING THE BUILDING ON THE PROPERTY.

POOL DESIGN AND LOCATION SHOWN ARE ONLY SUGGESTED. THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR FINAL POOL DESIGN AND LOCATION.

LANDSCAPING DESIGN BY OTHERS

MJS, INC. ASSUMES NO RESPONSIBILITY FOR SEPTIC DESIGN OR LOCATION. SEPTIC IF SHOWN ON PLANS IS PER BUILDER OR OWNER REQUIREMENTS. SEPTIC SYSTEMS ARE TO BE DESIGNED AND LOCATED PER DEPT. OF HEALTH REQUIREMENTS OR AS PER GOVERNING CODES.

**NOTE:**  
THE DRAINAGE MUST BE DIRECTED TOWARD  
A DRAINAGE EASEMENT WITH A POSITIVE  
OUTFALL OR TO THE ROADWAY R/W. INCREASE  
OR CREATION OF "WATER PONDING" TO  
ADJACENT PROPERTIES IS PROHIBITED.

**NOTE:**  
PROPOSED IMPROVEMENTS WILL HAVE  
MINIMAL IMPACT TO EXISTING RUNOFF  
DRAINAGE PATTERNS. NO FILL WILL BE  
IMPORTED TO SITE EXCEPT FOR RESIDENCE  
FOUNDATION.

## SITE COVERAGE DATA

TOTAL SITE: 25,486 SQ. FT.  
IMPERVIOUS MAX. ALLOWED: 50% = 12,743 SQ. FT.

IMPERVIOUS AREA  
50% MAX. PERMITTED

FIRST FLOOR:	3,716 SQ.
PATIO:	729 SQ.
GARAGE:	579 SQ.
A/C PADS / STOOPS:	90 SQ.
EXISTING DRIVE / WALKWAY:	1,042 SQ.
POOL / DECK:	998 SQ.
<b>TOTAL:</b>	<b>7,154 SQ. FT. = 28,011 SQ. FT.</b>

F.A.R. - 33% = 8,410 SQ. FT.  
(MAX. PERMITTED)

FIRST FLOOR:	3,716 SQ.
SECOND FLOOR:	2,723 SQ.
PORCH & BALCONY:	364 SQ.
(ABOVE 900 SQ. FT. MAX.)	
GARAGE:	579 SQ.
TOTAL:	7,382 SQ. FT. = 28.9

YARD COVERAGE DATA

TOTAL FRONT YARD:	3,429 SQ. FT.
40% IMP. MAX. ALLOWED:	1,372 SQ. FT.


ENTRY:	84 SQ. F.
DRIVEWAY:	774 SQ. F.
WALKWAY (EXEMPT UP TO 75 SQ. FT.):	12 SQ. F.
TOTAL:	870 SQ. F.

## RETENTION COVERAGE

REFER TO CIVIL ENGINEERS PLANS FOR DRAINAGE & RETENTION CALCULATIONS.

ASE ENGINEERING SERVICES, INC.

**AMS**  
815 Orienta Ave., Suite #1040  
Altamonte Springs, FL 32701



GOBA  
GREATER ORLANDO BUILDERS ASSOCIATION

**Cohen Remodel**  
2104 Venetian Way  
Winter Park, FL 32790

**Zoltan Construction**  
127 W. Fairbanks Ave PMB#526  
Winter Park, Fl. 32789

Jun 30, 2020, 5:11pm Jason Zoltan Cor

ISSUE DATE	06/01/17
REVISIONS	
PLAN REVISIONS	05/23/2012
PROJECT:	20-0135
SCALE:	AS NOTED
DRAWN BY:	JML & F
DESIGNED BY:	MJS

SITE PLAN  
S-01

[illegible]

# Lake Maitland

## Site Layout

SCALE: 1" = 10'-0"













401 South Park Avenue • Winter Park, Florida 32789

407-599-3324 • [planning@cityofwinterpark.org](mailto:planning@cityofwinterpark.org)  
[cityofwinterpark.org](http://cityofwinterpark.org)

## Planning & Community Development

### Planning & Zoning Board Staff Report for August 4, 2020 Meeting

ZTA #20-05 Request of the City of Winter Park for: An Ordinance to Amend the Land Development Code to specify coop accessory structure regulations for backyard chickens in the Chapter 58, subsection 58-71(i); Amend Chapter 18, Subsection 18-16 to allow the keeping of backyard chickens; and adding Subsection 18-18, "General Conditions for the keeping of backyard chickens pilot program", to allow up to 50 permits of up to four hens per household.

#### Background:

At the April 8, 2020 City Commission Special Meeting Commissioner Weaver requested that a backyard chicken program be brought forward for further discussion, Mayor Leary said he would include the discussion under his report in the next meeting. Sustainability Program Staff drafted an ordinance based on backyard chicken program ordinances of cities of Orlando, Maitland and Longwood and requested program updates from each city. To date, the City of Orlando's Backyard Chicken Program has issued 75 permits (Pilot launched in 2012), the City of Maitland's Backyard Chicken Program has issued 10 permits (Pilot launched 2013) and the City of Longwood's Backyard Chicken Program has yet to issue a permit (Launched in 2018).

At the April 13, 2020 City Commission Regular Meeting, Commissioner Weaver spoke to the benefits of introducing a backyard chicken program including improving local food system resilience during unforeseen food shortages and advancing the City's Sustainability Action Plan Local Food & Agriculture goals of increasing local food consumption. The Commission discussed the drafted ordinance and based on this discussion the Commission requested that Sustainability Program staff work with the Keep Winter Park Beautiful & Sustainable Advisory Board and Planning and Zoning Board to bring back an ordinance to the Commission for consideration. This Ordinance addresses concerns brought by the City Commission during the April 13<sup>th</sup> meeting including:

- *Type of Program.* 24-month pilot program.
- *Inspections:* Follow up inspections to ensure criteria being met
- *Number of Permits.* Maximum of 50 permits during pilot program.
- *Height Limit.* 6' height limit for accessory structure.
- *Allowable Zoning Designations.* Single-family residential only.
- *Completion date of Educational Class.* Completed within the last year.

This Ordinance also addresses concerns brought by the Keep Winter Park Beautiful and Sustainable Advisory Board at the board's July 13, 2020 Regular Meeting:

- *Animal Welfare.* Access to food and water at all times.
- *Disposal of waste materials (feed, manure and litter).* Composted or bagged and disposed of in the trash.
- *Prohibited areas.* Prohibited in front yards. Allowed in side and back yards.



- *Height Limit.* Increase height limit to 7' to allow for easy entry for cleaning.

*Staff recommendation is for approval.*



**AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, RELATING TO BACKYARD CHICKENS; ESTABLISHING REGULATIONS FOR THE ISSUANCE OF BACKYARD CHICKEN PERMITS AND THE KEEPING OF BACKYARD CHICKENS AS A PILOT PROGRAM; PROVIDING FOR CIVIL PENALTIES; PROVIDING FOR CONFLICTS, AND FOR SEVERABILITY, CODIFICATION, CORRECTION OF SCRIVENER'S ERRORS, AND AN EFFECTIVE DATE.**

**WHEREAS**, there is increased interest in backyard and community food production to provide local food sources; and

**WHEREAS**, many communities in Florida and throughout the United States have been enacting regulations to compatibly integrate the keeping of backyard chickens into urban residential settings; and

**WHEREAS**, chickens can make good pets, and findings indicate that four are sufficient to meet the needs of the average family's egg consumption; and

**WHEREAS**, the City Commission of the City of Winter Park, Florida (the "Winter Park City Commission"), recognizes the desire of all residents to live in a clean environment free of excessive odor, noise, vermin and disease; and

**WHEREAS**, the Winter Park City Commission hereby finds and declares that this ordinance is in the best interest of the public health, safety, and welfare; and

**NOW, THEREFORE, BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF WINTER PARK, FLORIDA, AS FOLLOWS:**

**SECTION 1. Recitals.** The above recitals are incorporated herein by reference and form an integral part of this Ordinance.

**SECTION 2.** Portions of Chapter 18 and Chapter 58, Code of Ordinances of the City of Winter Park, Florida, is hereby amended to read as shown below, and words with single underlined type shall constitute additions to the original text and ~~strike-through~~ shall constitute deletions to the original text.

**SECTION 3.** The allowance of chickens in single-family residential zoning designations (R-1A, R-1AA, R-1AAA) is hereby established as a pilot program of the City of Winter Park which will expire 24 months from the date of the adoption of this ordinance. At that time, City Commission shall analyze the impacts of the pilot program, both negative and positive, and determine if the pilot program shall be continued for an additional limited amount of time, or be incorporated permanently into the City Code, or be discontinued.

**SECTION 4.** Chapter 18, Animals, Article I, Subsection 18-16 "Keeping farm animals prohibited" is hereby amended and adding new Subsection 18-18 "General Conditions for the keeping of backyard chickens" as shown below:

**Sec. 18-16 – Keeping farm animals prohibited.**



It shall be unlawful to keep, harbor or maintain within the city limits any horse, mule, sheep, cattle, hog, pig, goat, geese, turkey, ~~chicken~~, livestock or other farm animals, including but not limited to grazing and browsing animals.

**Sec. 18.18. – General Conditions for the keeping of backyard chickens pilot program.**

Any person keeping chickens as an accessory to an occupied dwelling shall be subject to the following restrictions:

- 1) Permit Required. A Backyard Chicken permit (hereinafter “permit”), is required for the keeping of chickens. The permit is personal to the permittee and may not be assigned. If the person applying for the permit is not the fee simple owner of the subject property, the fee simple owner must provide owner authorization and written consent to the application. The fee for the permit will be set by Resolution of the Winter Park City Commission.
- 2) During the pilot program, City of Winter Park staff shall be permitted to perform follow-up inspections on the premises where permits have been issued for the keeping of chickens. Inspections shall be to ensure that all of the program criteria are being met. The City shall provide 48-hour notice to permit holders prior to performing inspections. Staff will keep a record of the progress and conditions for evaluation at the end of the 24-month program. In the event the City Commission does not act to continue the program prior to said termination date, all persons with backyard chickens shall be grandfathered and be able to keep their chickens so long as no new ones are added and the guidelines and regulations of the pilot as set forth herein are maintained.
- 3) Up to four chickens may be kept at an occupied single family residence upon receiving a permit from the City.
- 4) Ducks, geese, turkeys, peafowl, male chickens/roosters, pigeons, or any other poultry or fowl are not allowed.
- 5) Chickens are not allowed on duplex, triplex, townhomes, multifamily properties, community gardens, or any other uses.
- 6) Chickens must be secured within a covered chicken coop, chicken tractor, or fenced pen/run area at all times and are not allowed to run at large upon any public properties or off the premises of the owner. Chickens must have access to food and water at all times. The coop and pen/run area must be completely secured from predators with hardware cloth or similar material. Chicken wire shall not be used.
- 7) The coop and pen/run area must be cleaned regularly and kept free of insects and rodents. Odors from chickens, chicken manure, or other items associated with the keeping of chickens must not be perceptible at the property boundaries. Chickens must not be permitted to create a nuisance consisting of noise or pests, or contribute to any other nuisance condition.
- 8) No manure may be allowed to accumulate on the floor of the coop or ground. All feed and other items associated with the keeping of chickens that are likely to attract or to become infested with rodents or other pests shall be kept in a rodent and pest-proof container.



- 9) Composting of chicken manure is allowed in an enclosed bin. The composting bin shall be kept at least 20 feet away from all property lines. Waste materials (feed, manure and litter) not composted must be bagged and disposed of in the trash.
- 10) Chickens must be kept for personal use only. Selling chickens, eggs, feathers, or chicken manure, or the breeding of chickens is prohibited.
- 11) Chickens may not be slaughtered on premises.
- 12) Any person who violates any provision of the article will, upon conviction, be punished as provided in Section 1.7 of this Code. Additionally, the building official has the sole discretion to revoke the permit and require that the chickens be removed within 10 days if he or she determines that the permittee is in violation of the requirements of the Code.

**SECTION 5.** Chapter 58, Land Development Code, Article III, Zoning, Subsection 58-71(i) is hereby amended as follows by adding Subsection (11):

(11) Backyard Chicken Coop Accessory Structures.

- 1) Chicken coops, pens or chicken tractors must be located in the rear yard (behind the home) and be set back a minimum of ten (10) feet from the rear and a minimum of five (5) feet from the side lot lines. No coop will be allowed in any front yard.
- 2) The coop, pen, or chicken tractor must be a minimum of 20 feet from any pre-existing neighboring residential homes, at least 5 feet from the principal structure on the subject property, and at least 5 feet from any property line. The coop, pen, or chicken tractor may be placed 0 feet from the property line if placed adjacent to a 7' height masonry wall at property line at property in a non-residential zoning district. A 0 foot setback is allowed between a coop and another accessory structure on the subject property.
- 3) Chicken coops must be less than 50 square feet and may have an attached run. The coop must also be tied down for wind resistance.
- 4) The maximum height of a coop shall be seven (7) feet, as measured from the existing grade to the highest part of the coop.
- 5) An applicant for a permit must demonstrate compliance with the criteria in the Code in order to obtain a permit. The application for a permit must be submitted to the building official. Applicants must submit photos of the proposed site of the coop/run areas, a to scale survey/site plan of the subject property showing the location, and proof of successful completion of a University of Florida Agricultural Extension Service class or an equivalent class approved by the building official, completed within the last year.
- 6) A building official determination is required for a permit. The building official is authorized to implement reasonable rules and regulations regarding backyard chickens. The building official must not approve locations with outstanding code violations.
- 7) No more than 50 permits will be issued citywide. Permits will be issued on a first-come, first-served basis. If a participant chooses to leave the program, he/she must provide notice to the City. The City is then authorized to re-issue the permit to another qualified applicant. If a participant is removed from the program due to violations of the terms of this ordinance, his/her permit may also be re-issued to another qualified applicant.



**SECTION 6.** Chapter 1, General Provisions, Article II, Subsection 1-24 "Schedule of violations and penalties" is hereby amended as follows:

**Sec. 1.24. – Schedule of violations and penalties.**

(a) Civil infractions of city codes and ordinances for which citations may be issued include, but are not limited to:

Class	Civil Penalty	Violation	Ord. No.
<u>II</u>	<u>\$100.00</u>	<u>Compliance with backyard chicken restrictions</u>	<u>XX-XX</u>

**SECTION 7. CONFLICTS.** The provisions of this Ordinance shall prevail in the event of conflict with the provisions of any existing ordinance.

**SECTION 8. CODIFICATION.** The city clerk and the city attorney shall cause the Code of the City of Winter Park, Florida, to be amended as provided by this ordinance 132 and may renumber, re-letter, and rearrange the codified parts of this ordinance if necessary to facilitate the finding of the law.

**SECTION 9. SCRIVENER'S ERROR.** The city attorney may correct scrivener's errors found in this ordinance by filing a corrected copy of this ordinance with the city clerk.

**SECTION 10. SEVERABILITY.** If any provision of this ordinance or its application to any person or circumstance is held invalid, the invalidity does not affect other provisions or applications of this ordinance which can be given effect without the invalid provision or application, and to this end the provisions of this ordinance are 143 severable.

**SECTION 11. EFFECTIVE DATE.** This ordinance is effective upon adoption.

**DONE, THE FIRST READING,** by the City Commission of the City of Winter Park, Florida, at a regular meeting, the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

**DONE, THE PUBLIC NOTICE,** in a newspaper of general circulation in the City of Winter Park, Florida, by the City Clerk of the City of Winter Park, Florida, the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

**DONE, THE SECOND READING, THE PUBLIC HEARING, AND ENACTED ON FINAL PASSAGE,** by an affirmative vote of a majority of a quorum present of the City Commission of the City of Winter Park, Florida, at a regular meeting, the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Steve Leary, Mayor

ATTEST:

\_\_\_\_\_  
City Clerk