

Parks & Recreation Advisory Board



March 18, 2015 at 5:00 p.m.

WP Community Center • Oak Room
721 W. New England Ave • Winter Park, Florida

1. Consent Agenda

- a) **Approval of Minutes –February 25, 2015**

2. Action Items

- b) **Changing the policy for large events in Kraft Azalea Gardens, Dinky Dock, Howell Branch Preserve, and Phelps Park**
- c) **Naming of property in honor of notable citizens**
- d) **Canine Memorial (Lake Baldwin Park)**
- e) **Rollins College Restroom Donation at Martin Luther King Park**

3. Discussion

- f) **Farmers Market Food Trucks**

4. Staff Report

- g) **Capital Projects**
- h) **Fee Schedule**

5. Adjourn

Next Meeting – April 22, 2015 @5:00pm; Winter Park Community Center

appeals & assistance

"If a person decides to appeal any decision made by the Commission with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F. S. 286.0105).

"Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office (407-599-3277) at least 48 hours in advance of the meeting."

**PARKS AND RECREATION
ADVISORY BOARD
February 25, 2015**

The meeting was called to order by Chairman Blair Culpepper at 5:00 p.m. at the Winter Park Community Center in conference room C.

Advisory Board Members present:

Chairman Blair Culpepper
Vice Chairman Julio de Arcos
Carl Creasman arrived at 5:02
Janet Atkins
Gary Diehl
Joel Roberts arrived at 5:07
Taylor Sacha arrived at 5:04

Staff present:

Director John Holland
Assistant Director Brenda Moody
Assistant Director Chuck Trice
Assistant Director Ron Moore
Recording Secretary Kesha Jones
Lieutenant Jeffery Biles – WPPD

Advisory Board Members absent:

Marni Spence

Staff absent:

Guests:

Brian Weinstein, Doggie Door
Gail Robinson, SMM Catholic Church

Consent Agenda:

- a) Approval of Minutes – January 28, 2015

Motion made by Julio de Arcos to approve consent agenda item 'a'; seconded by Gary Diehl the motion carried unanimously with a 4-0 vote.

Action Items:

- b. Rowing Regatta Orange County East/WP Rotary

Motion made by Janet Atkins to approve action items agenda item 'b'; seconded by Julio de Arcos the motion carried unanimously with a 5-0 vote.

- c) Sebastian Haul Fund Doggie Door Art Festival/Annual Pet Costume Contest

Motion made by Janet Atkins to approve action items agenda item 'c'; seconded by Gary Diehl, the motion carried unanimously with a 5-0 vote.

d) Saint Margaret Mary East Sunrise Service

Motion made by Carl Creasman to approve action items agenda item 'd'; seconded by Janet Atkins, the motion carried unanimously with a 7-0 vote.

e) Kraft Azalea Gardens Ruse and Standards Approval

The board supported the proposed changes to the guidelines to change the maximum allowed crowd to be 200 instead of 400.

Motion made by Janet Atkins to approve action items agenda item 'e'; seconded by Julio de Arcos the motion carried unanimously with a 7-0 vote.

Staff Report

- Staff informed the board of the group bike ride on March 11, 2015.
- Staff informed the board that this is Mr. Culpeper's last term
- Staff informed and Invited the board to the Meet and Greet breakfast for the Accreditation Team on March 25, 2015
- The March Parks Board meeting has been changed to March 18, 2015
- Cady Way Parking lot has been under construction for about six weeks
- Cady Way Pool project is completed.
- Staff will be taking the Pet Cemetery to the City Commission after elections

New Business

Next Meeting – March 18, 2015 @ 5:00 p.m., Parks & Recreation, Community Center conference room C.

The meeting adjourned at _____.

Kesha Jones
Recording Secretary

Title Sheet

Parks and Recreation
Advisory Board
March 18, 2015

Requested Action

Review and vote on concept of eliminating organized special events in the following parks: Howell Branch Preserve
Dinky Dock
Phelps Park
Kraft Azalea Garden

Applicable Rules

Approval will require an amendment to the park use guidelines and to the fee schedule, elimination of the sections regarding special events in the four parks.

Staff Recommendation

Staff recommends eliminating organized special events in these parks. Each have very small parking lots. Overflow parking for Phelps and Kraft Azalea Garden puts vehicles on residential streets. There is no overflow parking for Dinky Dock and Howell Branch Preserve. All of these parks are heavily attended without adding to the demand on the park with organized events.

Phelps Parking Lot



Howell Branch Preserve



Dinky Dock Parking Lot



Kraft Azalea Garden Parking Lot

Title Sheet

Parks and Recreation
Advisory Board
March 18, 2015

Requested Action

Discuss, and take action if warranted, the City Commission's directive to consider naming a Parks property in honor of notable citizens.

EXCERPT FROM CITY COMMISSION MINUTES OF February 23, 2015

"Mayor Bradley requested support to have our Parks & Recreation Board review and recommend the renaming of a park for former Mayor Allen Trovillion and Mayor Joe Terranova and to rename the West Meadow to the Strong Meadow in honor of both David and Hope Strong. A majority showed support and said they look forward to hearing the recommendations from the board for their approval. Commissioner Cooper requested that we also look at renaming a park after Reverend Dawkins and Gus Henderson. City Manager Knight acknowledged the request to provide information regarding the process by which we name things after people."

Applicable Rules

CURRENT POLICY:

- A. Naming proposal should be in honor of an individual with the following exception:
 - a. Rooms within existing facilities may be considered for (re)naming in recognition of an organization or business on a case by case basis.
 - i. The Organization or business must demonstrate a significant contribution to the building in which the room is located.
 - ii. The organization or business must have made significant contributions to the history, progress, development, and/or culture of Winter Park.
- B. Naming proposals will only be considered for persons who are deceased.
- C. The individual must have been a resident.
- D. The individual must have had a significant tie to Winter Park.
- E. The individual must have made significant contributions to the history, progress, development, and/or culture of Winter Park.
 - a. Consideration will be given to the degree to which the individual and their contributions to Winter Park are recognizable by the public.
- F. The individual must be directly associated with the existing building or site that is proposed for (re)naming.

Staff Recommendation

Parks and Recreation Advisory Board Members may discuss the Commission directive. Item has been placed into the Action Items section of agenda to provide latitude to the board should a motion be made to provide a recommendation to the City Commission. We have been told that the former Mayor David Strong is not in favor of naming a park in his name.

SHORT BIOS:

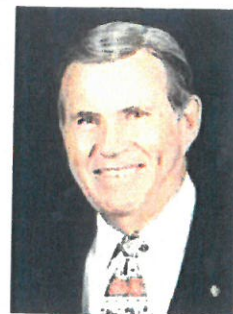
Allen Trovillion:	Mayor 1962-1967, House of Representatives 1994 – two terms. A is street named Trovillion Avenue.
Joe Terranova:	Mayor 1997-2000
Hope Strong, Jr.:	Mayor 1981-1987 Died March 1, 1992
David Strong:	Mayor 2006-2009
Reverend Dawkins:	Pastor New Warner Chapel Primitive Baptist Church 1992-2014 Died February 2014
Gus Henderson:	1887 Political Activist and newspaper owner. Died 1915

More Extensive biographies below.....

Allen Trovillion: Born in Winter Park on May 1, 1926

- Lifelong Resident
- Ninth Judicial Circuit Nominating Committee
- Representative, Florida State House, 1994-2002
- Orange County Delegation, Chair, 2001
- Winter Park, Mayor, 1962-1967
- World War II Veteran, Army Air Corps
- Boy Scouts of America Scout Master
- Christian Businessmen's Committee of Winter Park
- Citrus Club Board of Governors
- Economic Development Committee of mid-Florida
- Florida League of Municipalities Board Member
- Orange County School Foundation Board, Founding Member
- Greater Orlando Chamber of Commerce Regional Board
- Junior Achievement Board Member
- Trustee Emeritus, Polasek Museum

- Central Florida Builders Exchange, past President
- Rotary Club of Winter Park, past President
- United Way of Winter Park, past President
- University of Central Florida Foundation, past President
- Winter Park Chamber of Commerce Advisory Committee to Board Chair
- Winter Park Jaycees
- Winter Park Memorial Hospital, past Trustee, 1967-1974
- General Contractor



Joseph Terranova: Born in Washington, DC on February 1925

- United States Foreign Service Officer 28 Years
- Executive Director of the Foreign Service Institute, Retired 1980
- Winter Park Mayor 1997-2000
- State Assignments in Monrovia, Madrid, Belgrade, Karachi, Siagon and Paris
- CRA Advisory Board Member Currently
- Rotary Club of Winter Park,
- Resident since 1981
- Winter Park City Commission 1993-1997
- Metroplan Orlando Board Vice Chair
- NTC Reuse Commission Neighborhood Subcommittee Chair.

- Trustee, Winter Park Chamber of Commerce
- Board of Directors Hannibal Square Community Land Trust
- University Club President 1990-1991



Hope Strong, Jr.: Born in Brunswick, GA on July 26, 1920.

- Mayor of Winter Park 1981-1987
- Resident since 1924
- Died March 1, 1992
- World War II Veteran, Navy Captain, Bronze Star, Legion of Merit
- "Please drive with extraordinary care" signs creator



David Strong:

- Mayor of Winter Park 2006-2009
- Current Winter Park Resident

(no other info found)



**Reverend Mitchell Dawkins, Sr.: Born in West Palm Beach, FL on August 15, 1955
Died February 28, 2014**

- Raised in Orlando
- Bachelors degree from Florida Theological Seminary and Bible College in Lakeland, FL
- Doctorate from St. Thomas Christian College in Jacksonville
- Pastor of New Warner Chapel Primitive Baptist Church 1992-2014
- Winter Park Police Department Chaplain
- President of the Interdenominational Ministerial Fellowship of Winter Park
- Casselberry Resident



Gus C. Henderson: Born near Lake City, FL on November 16, 1862 Died 1915

- Moved to Winter Park in 1886
- In support of Loring Chase's efforts, he rallied 64 Hannibal Square residents registered to vote (outnumbering the 47 white registered voters) to make Winter Park a city and Hannibal Square part of the district and the support of electing Hannibal Square residents Walter Simpson and Frank Israel to the first city council.
- Founded newspaper Winter Park Advocate, first issued May 31, 1889. Winter Park's only newspaper at the time.



Title Sheet

Parks and Recreation
Advisory Board
March 18, 2015

Requested Action

Request from Janette Matos representing the Floating Lantern Memorials Event.

Requesting approval of the 3rd Annual Pet Memorial Event.

Saturday, April 25, 2015 6-9PM

The main portion of the event takes place in the Baldwin Park Neighborhood Park and attendees walk to our park with their lanterns to put into canoes for launch onto the lake. All lanterns are later collected and removed from the lake.

Applicable Rules

Approval will require a waiver of the park closing hours.

The applicant must clean up.

All other Park Rules apply.

Applicant will pay full park rental fee of \$550 and has paid the \$50 application fee.

Staff Recommendation

Staff recommends approval of event.

Applicant has maintained a good working relationship with the department.

The event takes place in the open area near the boat ramp. The unlit area within the off leash portion of the park and further north in the wooded area are not used.



March 10th, 2015

Winter Park - Parks and Recreation Advisory Board

Re: Canine Memorial

Dear Board Members,

We are requesting permission from the Advisory Board to allow for the use of the dock located at Lake Baldwin Park. After hours access to the dock area is necessary to host our annual floating ceremony at Harbor Park. Unlike the last two events, which brought our attendees to Fleet Peoples Park following the ceremony, **this year we will only be using the dock to launch canoes into the water.**

The event will take place on Saturday April 25th, 2015 from 6-9pm. Now on our third year, the Canine Memorial is a one-of-kind event that brings together animal lovers from near and far to celebrate the bond between human and "man's best friend".

Through the use of music, lantern dedication, and other activities, this memorial helps attendees support one another as they come to terms with the loss of their beloved canine companions.

In previous years, the event began in Baldwin Park and ended with a procession to Fleet Peoples Park. This year, the entire event including the procession of lantern bearers will be kept within Harbor Park.

We need your help; we hereby ask the City of Winter Park for permission to use the dock as well as assistance with any resources available to help us make the above a reality.

Thanks so much for your attention to this matter.

Sincerely,


Floating Lantern Memorial Team
Jannette Matos
Alanna Leaptrot
Kiara Leaptrot

**CITY OF WINTER PARK
PARKS AND RECREATION DEPARTMENT
LAKE BALDWIN PARK APPLICATION**



Organization Name: Floating Lantern Memorials, Inc.

Contact Name: Jannette Matos

Address: 13444 Gran Bay Parkway ste 1401 Jacksonville, FL

Work Phone: _____ Home Phone: _____ Cell Phone: 561-577-7050

Organization Status: Profit Registered Non-Profit If so, what type? _____

Tax Number _____ Other (specify) _____

Proposed Event Date: April 25th, 2015 Second Choice: _____

Event Time: 7-9pm Set up time: no set up time Break Down Time: no break down time

Are dates/times flexible? no Alternate Dates: _____

Type of Event: Canine Memorial Is this a Fundraiser? no

Describe the event: see attached letter

(Attach detailed outline) _____

Area of Park Requested: Dock area from 7-9pm

Stage? no List Electricity Requirements? no

Expected size of Crowd: 10 Estimated Parking Requirements? no

Will there be amplified music? no If Yes, type: _____ Hours: _____

Amplified Voices: no If Yes, type: _____ Hours: _____

Are you proposing tents: no If Yes, type: _____

***The use of tent stakes in Central Park is Strictly Prohibited. Tents must be secured with weights.

Is the consumption of alcoholic beverages requested? no If yes, will it be sold? _____

Are you proposing to sell anything? no T-shirts? no Posters? no

Other (describe): _____

Are you proposing food sales? no If Yes, type: _____

Describe in detail? _____

Will there be displays? no If Yes, type: _____

Are banners/signs requested? no If Yes, type: _____

Describe banners/signs in detail. What will they say and how many: _____

Please note that the display banners and signs severely limited and subject to zoning and park regulations.

Will there be booths? no If Yes, type: _____

Describe booth contents and numbers in detail: _____

What Sanitation Facilities are planned? no

Central Park has no restrooms. The City of Winter Park requires two portalets per 300 people if no food or drink is on site. If there is food and/or drink on site, two portalets per 125 people are required. The City does not provide portalets.

What Clean up Arrangements will be made? volunteers will clean up the day of the event and the following day

Have you held this event in the past? yes Where? same location

Size of Crowd at previous event? 400 Date of Last Event? 26-Jul-14

Name and Phone Number of location official at Last Event: _____

How will event be advertised/ marketed? In Baldwin Park

How many event staff members will you provide, describe duties: 10 volunteers in canoes and kayaks

The City of Winter Park charges a fee for use of Central Park, see fee schedule. Further, a deposit equal to the fee is required and is refundable subject to the condition of the park post event. A certificate of insurance may also be required.

"By execution hereof, the undersigned releases and discharges and agrees to hold harmless the City of Winter Park from any

and all claims, demands, action, or right of action arising out of or by reason of the use of City Owned Facilities except due to the sole negligence of the City"

By signing below, client acknowledges receipt of and understanding of facility rules and regulations on a separate sheet.

SIGNATURE

[Handwritten Signature]

DATE

3/10/15

For Office Use Only:

Parks and Recreation Board Agenda Date (if needed) _____

Dep Ck # _____

Parks and Recreation Board Approval: _____ If Yes, list conditions of approval if any: _____

Deposit Rec # _____

Dep Date: _____

Rental Fee Receipt #: _____ Check Number: _____ Date Paid _____

Refunded _____

Comments: _____

Retained: _____

Date Ref/Ret: _____

STAFF SIGNATURE: _____

[Handwritten Signature]

DATE:

3/10/15

PD 050.00 K.A M/0 3/10/15

Title Sheet

Parks and Recreation
Advisory Board
March 18, 2015

- Requested Action** Review and vote on entering into a donation and development agreement with Rollins College for the installation of a public restroom in Martin Luther King, Jr. Park.
- Applicable Rules** The donation is consistent with the donation policy in that the restroom design was provided by the city to meet park standards, donor is paying costs, location is approved by Parks Department,
- Staff Recommendation** Staff recommends acceptance of donation and agreement.
A new restroom is needed in the park.
It will be available to park guests during all open hours.
It will be located beside the basketball courts in the central south area of the park.



THIS INSTRUMENT PREPARED BY
AND RETURN TO:

City of Winter Park
Dept. of Public Works
401 Park Avenue, South
Winter Park, Fl 32789

DONATION AND DEVELOPMENT AGREEMENT
BETWEEN
ROLLINS COLLEGE AND THE CITY OF WINTER PARK
FOR A PUBLIC RESTROOM FACILITY AT
MARTIN LUTHER KING PARK

The City of Winter Park, ("City") and Rollins College, ("Rollins") hereby enter this Agreement pursuant to which Rollins will design, develop, construct and then donate to the City a restroom facility, as more particularly described hereinafter, at the City's Martin Luther King Park, ("MLK"). To set forth the legal requirements binding upon the parties and to provide the means by which Rollins may develop, construct and donate said restroom facility, the parties agree as follows:

1. Consideration. The parties acknowledge that the consideration to support this Agreement is sufficient, and includes but is not limited to the faithful performance by each party of its promises of future performance, said promises being embodied in this Agreement and binding upon the parties hereto.

2. Responsibilities of Rollins.

Plans For Construction

- a. Rollins accepts the design and specifications provided by the City showing the public restroom facility Rollins will build or cause to be built at the MLK Park site provided for the project. Additional provisions regarding the design:

- i. The design provided by City and to be accepted by Rollins shall be legally compliant with all state and federal laws, and compliant with the City's Land Development Code. Without limitation, the restroom facility shall be ADA compliant.
- ii. Rollins will build or cause to be built a public restroom facility consistent with the plans and specifications provided by the City. The plans may be changed only in advance, in writing, by mutual agreement of the parties.
- iii. Value engineering or other revisions to the design may be made, subject to mutual agreement of the parties to make such changes, and in no event shall any such changes result in any Code violation or other material inadequacy in the final product or its intended use.
- iv. A copy of the design documents and specifications (including a site plan) that govern this project are attached as Exhibit "A" hereto.

Construction

- b. Rollins will cause, through its own forces or utilizing others who are duly licensed to perform such work, the construction of the restroom facility in accordance with the buildable construction documents, plans and specifications provided by the City. The following additional provisions shall apply with respect to the construction of the restroom facility:
 - i. Rollins will abide by all permitting and construction regulations pursuant to the City of Winter Park Land Development Code. The City shall promptly review the plans, permit the work and promptly conduct inspections as required by the Land Development Code such that the

time for substantial completion and final completion of the restroom facility is not delayed.

- ii. Rollins shall achieve substantial completion of the restroom facility on or before one (1) year from the date that this Agreement is fully executed and delivered to Rollins. Rollins shall achieve final completion of the restroom facility on or before thirty (30) calendar days following substantial completion. At substantial completion, occupancy may be allowed by City in accordance with its normal procedures. And, the City shall conduct a review at substantial completion and identify any items necessary for final completion in the form of a punchlist. There shall be one punchlist and the parties shall mutually agree as to the accuracy of that list. Rollins shall thereafter diligently complete the work identified in the punchlist such that final completion is timely achieved.
- iii. Rollins will cause its contractor to warrant the work for at least one (1) year following the acceptance of the project at final completion by the City. This will be a general warranty guaranteeing that the installed work is free from defect including latent defects not reasonably noticeable by the City at the time of the development of the punchlist and acceptance of the completed work. The project is warranted by the contractor upon final completion as fit and satisfactory for its intended purposes, with all items functioning and operating in accordance with general commercially acceptable standards, and that the work is compliant with all applicable codes and regulations. Rollins shall convey and assign over to the City each and every manufacturer's warranty, the

- contractor's warranty and each subcontractor's warranty issued in connection with the work installed at the project.
- iv. Without limitation of Rollins' duties in subparagraph 2(b)(iii), above, Rollins and its contractor(s) and suppliers shall deliver signed, sealed as-built drawings, operation and maintenance manuals showing model number, color and description of all significant construction materials and installed appliances, devices and equipment.
 - v. Rollins shall use only duly licensed and qualified contractors and material suppliers for the work, and shall hold the City harmless and indemnify it from and against any claim arising out of or pursuant to the work in connection with the construction and donation of the restroom facility. Without limitation, this obligation to hold harmless and indemnify the City shall include claims relating to accidents at the project, claims relating to the failure of one or more contractors, subcontractors or material suppliers to comply with any state or federal law such as, but not limited to workers' compensation, environmental, OSHA, labor, wage and hour and other issues and matters.
 - vi. Upon City acceptance, Rollins by Bill of Sale and Dedication shall donate the building and all fixtures to the City.
 - vii. Rollins shall deliver the completed project free and clear of all claims for payment from any general, sub and sub-sub-contractor as well as claims of material suppliers, and shall hold harmless and indemnify the City from and against any of such claims.

3. Extensions of Time. Rollins shall have the right to request an extension of time to present final design and construction buildable final plans and specifications, and/or substantial completion or final completion, if the reason(s) for the request(s) of a time extension is a matter that is beyond the reasonable control of Rollins. Such matters that may entitle Rollins to an extension of time shall include but are not limited to strikes, war, acts of terrorism, significantly unusual and inclement weather that is substantially different than the weather customarily experienced in Central Florida at the applicable time of year, and, unreasonable delay by the City of Winter Park in making the site available and clear for construction, or in review or inspection responsibilities subject to the requirement that Rollins shall provide prompt written notice and reminders to the City that its work is ready to be reviewed and/or inspected.

Rollins shall request an extension of time within seven (7) business days following the occurrence of the matter which entitles it to request the extension. With respect to a claim that the City has failed to promptly review and inspect work tendered by Rollins, the request for an extension shall be made within seven (7) days following written notice by Rollins to the City that work is ready for review and/or inspection and a reminder notice is provided (which reminder shall be sent no sooner than twenty-four (24) hours after the first notice).

The extension of time shall reasonably relate to the actual time by which Rollins was delayed on account of the occurrence that justifies the extension.

4. Donation and Funding Commitment. Rollins shall fund the work required to complete the design, plans and specifications for the project, and the construction of the restroom facility. Upon completion and acceptance by the City of the work, Rollins shall convey the facility to the City and dedicate it to public use.

5. City's Obligations.

- a. The City shall provide the site as depicted on Exhibit "A" clear and suitable for the construction of the restroom facility.
- b. The City shall promptly review and inspect work tendered as ready for such review and inspection by Rollins, subject to the requirements for notice and reminder provided elsewhere in this Agreement. Further, the City shall be excused from this requirement to the extent that there are exigent circumstances that reasonably require the devotion of City staff responding to other matters, but in such event Rollins shall be entitled to receive upon its request a reasonable extension of time commensurate with the amount of delay occasioned by such exigent circumstances.
- c. City will provide suitable utility lines stubbed to the restroom facility site, and shall connect at City expense, City water, wastewater and electric lines.
- d. City will provide sufficient site work such that a suitable building pad at grade, with suitable compacted buildable soil, is available for Rollins to construct or cause the construction of the public restroom facility thereon.
- e. Upon execution of the Bill of Sale and Dedication to the City, the City will thereafter maintain the restroom facility, including the building and fixtures, as a restroom facility open to the public for use in conjunction with recreation activities at the Martin Luther King Park and neighboring Rollins College facilities. The City will maintain the restroom facility to the standard generally required for public restrooms. Cleaning services at the restroom facility will be the responsibility of the City. The City will provide security at the facility to the

same extent security is provided to the public generally, and without undertaking any additional duty.

6. Municipal Purpose and Acknowledgement. The parties agree that this project and the procedures by which it will be developed, constructed and donated, serve a significant municipal purpose by providing a restroom facility for use in conjunction with recreation activities at the Martin Luther King Park and neighboring Rollins College facilities. Additionally, the City acknowledges that significance of Rollins' donation of this facility with appreciation.

7. Future Change of Land Use. If the City requires or causes demolition of the facility as part of a change in use of the area for a municipal purpose during the first 5 years following CO and acceptance, City will reimburse Rollins one hundred percent (100%) of its documented construction costs; if after 5 years, but before the 10th year following CO and acceptance, City will reimburse Rollins sixty percent (60 %) of its documented costs of construction; from the 10th year through the 15th year thirty percent (30 %) of its documented costs of construction. If the City constructs a new restroom facility within six months of the demolition that provides the same service level no reimbursements will be paid. If the restroom facility is damaged or destroyed in whole or in part by casualty such as fire, storm, flood, etc., during the first 5 years following CO and acceptance, the City agrees to repair or reconstruct the restroom facility within six (6) months of such damage or destruction.

8. Miscellaneous Provisions.

a. The parties will attempt to resolve any and all disputes that may arise concerning this project and the performance of this agreement through voluntary, non-binding mediation. If mediation is unsuccessful or is rejected, then dispute resolution shall be in the court of appropriate jurisdiction in Orange County, Florida.

- b. There are no third party beneficiaries to this Agreement and only the parties to this Agreement shall have any rights created hereunder or standing to enforce any duties and obligations provided for in this Agreement.
- c. This Agreement is binding upon the successors of each party.
- d. This Agreement may not be assigned by either party. However, Rollins may use duly licensed professionals and contractors subject to the requirements stated elsewhere in this Agreement.
- e. The City reserves all of its rights of sovereign immunity and shall not be liable to any party in excess of the limits of liability set out in Section 768.28, Florida Statutes. Additionally, for those matters for which the City has complete sovereign immunity, such immunity is maintained and is not waived or altered in any manner by any provision of this Agreement. Notwithstanding the foregoing, the City is responsible to perform the express written obligations set out in this Agreement.
- f. Notices shall be sent by email and also by First Class U.S. Regular Mail or express delivery to:
 - i. For the City:
Randy Knight, City Manager
City of Winter Park
401 Park Avenue South
Winter Park, FL 32789
 - ii. For Rollins:

 - iii. If notice is sent by email, it shall also be sent by First Class U.S. Regular Mail, personal delivery or express delivery.

- g. No member of the staff of the City shall have the authority to modify the terms of this Agreement, and only the City Manager may amend subject to compliance with the City's purchasing regulations and the limitations set forth in Section 2-188 of the Municipal Code. City Commission vote is required to amend the Agreement if the proposed amendment requires a vote of the City Commission as set out in Section 2-188 of the Municipal Code.

This Agreement is effective March 23, 2015.

[signatures to follow]

Signed, sealed and delivered in the presence of:

CITY OF WINTER PARK

Signature of witness

By: _____
Ken Bradley, Mayor

Print/Type Name of Witness

Date: _____

Signature of Witness

Attest: _____
City Clerk

Print/Type Name of Witness

ROLLINS COLLEGE, a Florida non-profit corporation

Signature of Witness

By: _____

Name: _____

Its: _____

Date: _____

Print/Type Name of Witness

Signature of Witness

Print/Type Name of Witness

EXHIBIT "A"

PLANS, SPECIFICATIONS AND SITE PLAN

MARTIN LUTHER KING PARK RESTROOMS

COMSTOCK AVENUE | WINTER PARK | FLORIDA | 32789



CAROLYN COOPER
COMMISSIONER

TOM McMACKEN
COMMISSIONER

SARAH SPRINKEL
COMMISSIONER

KENNETH W. BRADLEY
MAYOR

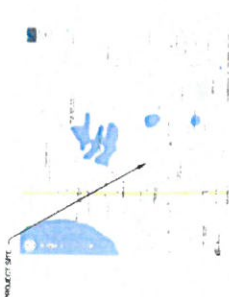
STEVEN LEARY
VICE MAYOR

RANDY B. KNIGHT, C.P.A.
CITY MANAGER

JOHN HOLLAND
PARKS & RECREATION DIRECTOR

TROY R. ATTAWAY, P.E.
PUBLIC WORKS DIRECTOR

DONALD MARCOTTE, P.E.
CITY ENGINEER, ASSISTANT PW DIRECTOR



SHEET INDEX

NO.	DESCRIPTION	DATE
1	GENERAL NOTES AND RECORD REQUIREMENTS	
2	COVER SHEET, SHEET INDEX AND DETAILS MAP	
3	GENERAL NOTES AND RECORD REQUIREMENTS	
4	ARCHITECTURAL SITE PLAN (SEE SHEET 10)	
5	GENERAL NOTES AND RECORD REQUIREMENTS	
6	FOUNDATION PLAN, MECHANICAL AND NOTES	
7	MECHANICAL / PLUMBING / ELECTRICAL	
8	POWER / LIGHTING PLAN, MECHANICAL AND NOTES	

architect information
KOSUTA
 CTRC | KOSUTA and ASSOCIATES, INC.
 1501 N. W. 10th Street, Suite 100
 Ft. Lauderdale, Florida 33304
 Phone: 954.576.1111
 Fax: 954.576.1112
 Website: www.kosuta.com

consultant information
 name: [blank]
 address: [blank]
 contact: [blank]
 phone: [blank]
 fax: [blank]
 email: [blank]

owner information
 name: MARTIN LUTHER KING PARK RESTROOMS
 address: COMSTOCK AVENUE
 WINTER PARK, FLORIDA 32789

project name | address
 MARTIN LUTHER KING PARK RESTROOMS
 COMSTOCK AVENUE
 WINTER PARK, FLORIDA 32789

plan revision for

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

sheet data
 project no.: 14-120
 title: [blank]
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 sheet name: [blank]
 sheet description: [blank]

sheet content
 COVER SHEET, SHEET INDEX AND VICINITY MAP

sheet designation
G.100

architect information
KOSUTA
 ONE EIGHT AND A HALF AVENUE, INC.
 1000 AVENUE D, SUITE 100
 WEST PALM BEACH, FLORIDA 33411
 PHONE: (561) 833-1111
 FAX: (561) 833-1112
 WWW.KOSUTA.COM

consultant information
 name: _____
 address: _____
 phone: _____
 fax: _____
 email: _____

signature date soil

owner information
 name: _____
 address: _____
 phone: _____
 fax: _____
 email: _____

project name address
MARTIN LUTHER KING PARK RESTROOMS
 COUNTY PARK AVENUE 13280
 WEST PALM BEACH, FLORIDA 33411

plan issued for
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plan revision for
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sheet data
 drawn by: _____
 checked by: _____
 title: _____
 sheet: _____ of _____
 scale: _____
 date: _____

sheet content
 GENERAL NOTES AND PERMITTING REQUIREMENTS

sheet description
G.110

SAFETY AND PERMITTING NOTES

1. SEPARATELY METERED AND CONTROLLED PLUMBING CONTRACTOR IS TO NOTIFY OWNER ONE WEEK PRIOR TO ANY WORK BEING PERFORMED TO THE OWNER. TURNOVER MAY SET THE PERMANENT DEPOSIT IN THEIR OWN NAME.

2. ALL TELEPHONE AND COMMUNICATIONS MARKING WHETHER IN THIS CONTRACT OR UNDER SEPARATE CONTRACT MUST BE IN PLACE PRIOR TO ANY WORK BEING PERFORMED.

3. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES, INCLUDING BUT NOT LIMITED TO: LOCAL, STATE AND FEDERAL AGENCIES.

4. ALL PERMITS SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF WORK.

5. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CONCEALED CONDITIONS WHICH MAY BE DISCOVERED DURING THE PERFORMANCE OF THE WORK.

6. ALL EXISTING UTILITIES SHALL BE IDENTIFIED AND MARKED PRIOR TO THE COMMENCEMENT OF WORK.

7. ALL WORK SHALL COMPLY WITH ALL APPLICABLE ELECTRICAL, MECHANICAL AND PLUMBING CODES.

8. DOOR HARDWARE SHALL COMPLY WITH SECTION 4.10 OF THE 2010 INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.

9. PROVIDE MANUFACTURER'S INSTRUCTIONS FOR ALL HARDWARE AND MATERIALS TO BE USED IN THE WORK.

10. ALL WORK SHALL COMPLY WITH ALL APPLICABLE ELECTRICAL, MECHANICAL AND PLUMBING CODES.

11. INFORMATION CONTAINED IN THESE DOCUMENTS IS BASED UPON EXISTING DOCUMENTS AND LISTED FIELD CONDITIONS. CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL INFORMATION PRIOR TO THE COMMENCEMENT OF WORK.

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ELECTRICAL CONDITIONS

1. GENERAL: CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES, INCLUDING BUT NOT LIMITED TO: LOCAL, STATE AND FEDERAL AGENCIES.

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MECHANICAL CONDITIONS

1. HVAC: NOT APPLICABLE.

2. PLUMBING: CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES, INCLUDING BUT NOT LIMITED TO: LOCAL, STATE AND FEDERAL AGENCIES.

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GENERAL REQUIREMENTS

1. SCOPE OF THE WORK: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES, INCLUDING BUT NOT LIMITED TO: LOCAL, STATE AND FEDERAL AGENCIES.

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GENERAL SPECIFICATIONS

1. THE MATERIAL, EQUIPMENT AND ACCESSORY SHALL BE AS SPECIFIED IN THE DRAWINGS AND OTHER NOTES TO THE APPLICABLE SECTION AND MATERIALS SHALL BE APPROVED BY THE ARCHITECT BEFORE CONSTRUCTION.
2. ALL OF THE WORK SPECIFICATIONS SHALL COMPLY WITH THE SCOPE OF WORK PERFORMED. CONTRACTOR SHALL APPLY SPECIFICATIONS WHEN APPLICABLE.

- SECTION 0720 - FIRE STOPPING
- 1.0 GENERAL
- 1.1 WORK COVERED BY THIS SECTION INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
- A. CALLING ALL EXTERIOR JOINTS AND SIMILAR CONDITIONS.
 - B. CALLING JOINTS ON OTHER JOINTS AND NECESSARY TO OTHER PARTS OF THE PROJECT.
 - C. ALL EXTERIOR JOINTS, JOINTS, AND PENETRATIONS IN WALLS, FLOORS, AND ROOFS.
- MISCELLANEOUS MATERIALS:
- 1.2 SEQUENCING AND SCHEDULING COORDINATION:
 - 1.3 WORK COVERED BY THIS SECTION INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:

- MANUFACTURER
- 3.7 ALL JOINT WORK SHALL BE PACKED WITH SUITABLE JOINT BACKING MATERIAL TO WITHIN 1/8" OF THE JOINT. FINISH SHALL BE SMOOTH AND COMPACT.
- 3.8 JOINTS SHALL BE PACKED WITH SUITABLE JOINT BACKING MATERIAL TO WITHIN 1/8" OF THE JOINT. FINISH SHALL BE SMOOTH AND COMPACT.
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Architect Information
KOSUTA
1410 Broadway Ave. Ste. 300 Albany, NY 12210 Tel: 518/435-8800 Fax: 518/435-8801 www.kosuta.com
Project Information
Project Name: MARTIN LUTHER KING PARK RESTROOMS
Address: COMSTOCK AVENUE WINTER PARK, COLORADO 81399
Owner Information
Owner Name: MARTIN LUTHER KING PARK RESTROOMS
Address: COMSTOCK AVENUE WINTER PARK, COLORADO 81399
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Address: COMSTOCK AVENUE WINTER PARK, COLORADO 81399

GENERAL NOTES

1. THIS SHEET IS FOR INFORMATIONAL PURPOSES ONLY. ALL SITE WORK, ENGINEERING, SURVEY, LOCATION AND ELECTRICAL LAYOUT AND SERVICE ENTRY SHALL BE AS SHOWN ON THIS SHEET.
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architect information

KOSUTA
 COSIE J. KOSUTA and ASSOCIATES, INC.
 ARCHITECTS
 1101 WEST PARK BLVD, SUITE 100
 WINTER PARK, FL 32789
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 www.kosuta.com

consultant information
 name: [blank]
 address: [blank]
 phone: [blank]
 fax: [blank]
 email: [blank]

signature / date / seal
 [Signature]
 10-Jan-14

owner information
 name: [blank]
 address: [blank]
 phone: [blank]
 fax: [blank]
 email: [blank]

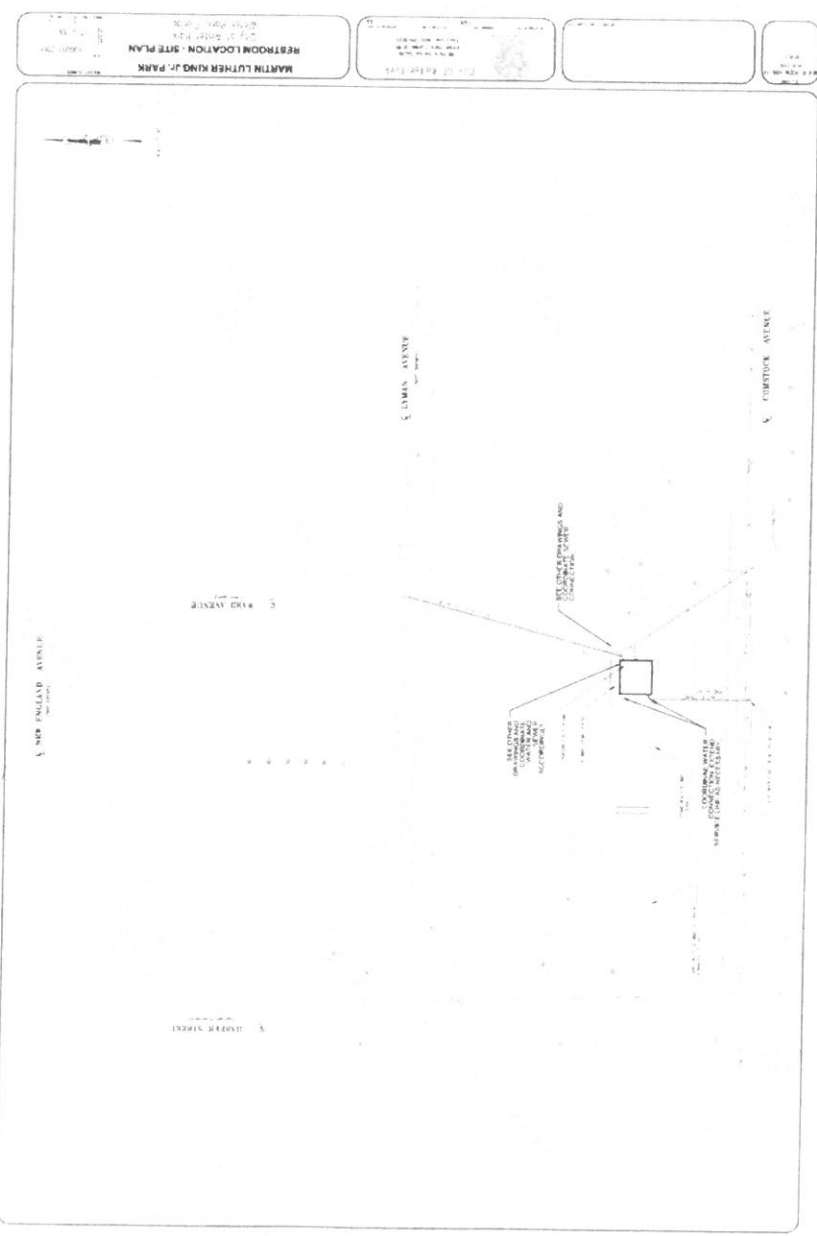
project name / address
MARTIN LUTHER KING PARK RESTROOMS
 WINTER PARK, FLORIDA 32789

plan issued for
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plan revision for
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sheet data
 drawn by: [blank]
 checked by: [blank]
 approved by: [blank]
sheet content
 LAYOUT PLAN, DIMENSIONS AND NOTES

sheet designation
AS.101



1 PLAN: SITE LAYOUT
 Scale: 1" = 20'

architect information

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 CHRIS J. KOSUTA and ASSOCIATES, INC.
 10101 WINTER PARK BLVD., SUITE 100
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CONSULTANT INFORMATION
 NAME: [Blank]
 ADDRESS: [Blank]
 CITY: [Blank]
 STATE: [Blank]
 ZIP: [Blank]
 CONTACT: [Blank]
 PHONE: [Blank]
 FAX: [Blank]
 E-MAIL: [Blank]

SIGNATURE: [Blank]
 DATE: [Blank]
 TITLE: [Blank]

30-JAN-15

OWNER INFORMATION

MARTIN LUTHER KING PARK RESTROOMS
 WINTER PARK, FLORIDA 32789
 PROJECT NAME / ADDRESS
 CONTACT: [Blank]
 PHONE: [Blank]
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plan issued for

NO.	DATE	DESCRIPTION
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plan revision for

NO.	DATE	DESCRIPTION

Sheet data
 Project no: 14-120
 CIP: 0000
 prepared by: CKK
 Checked by: CKK

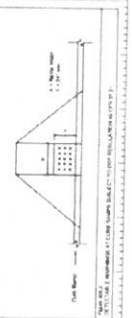
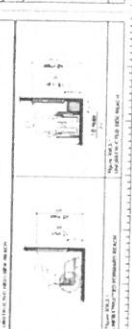
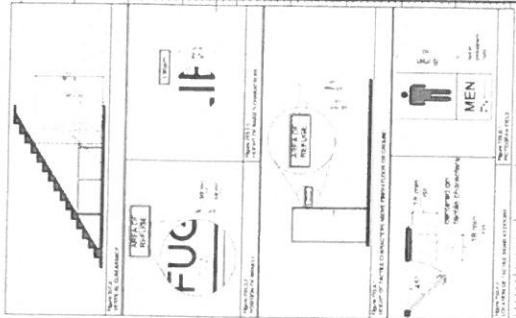
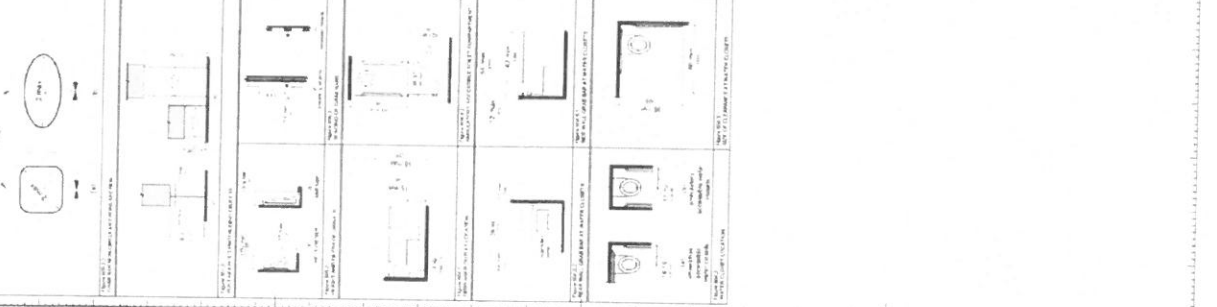
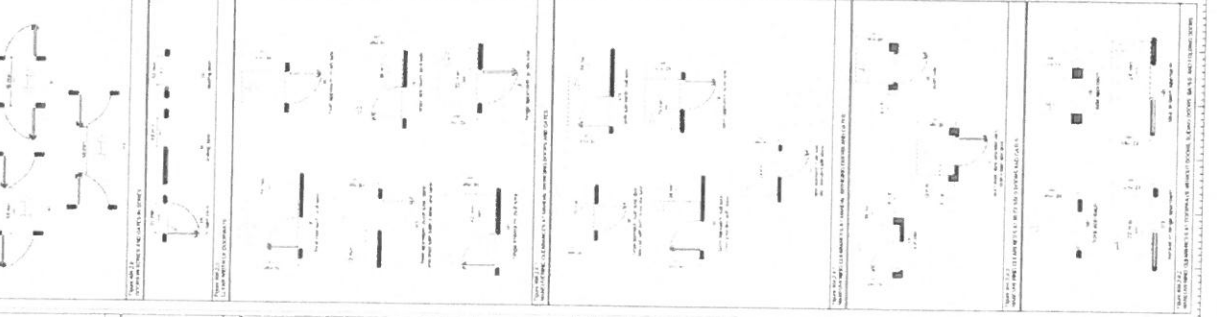
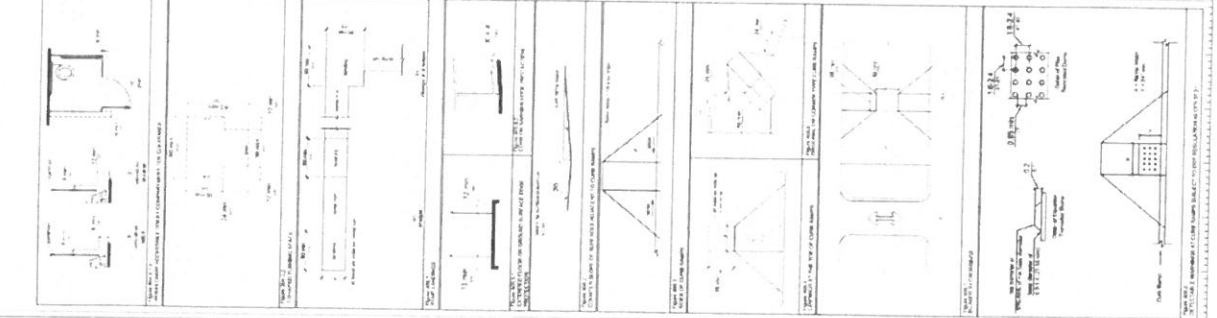
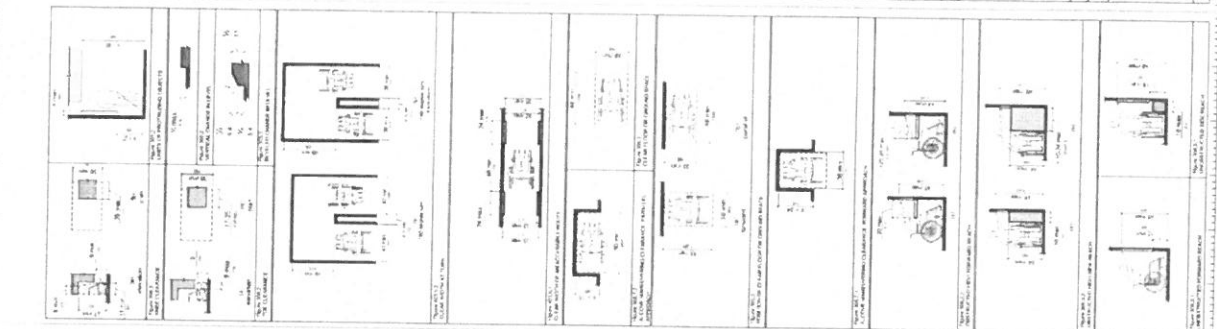
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 ACCESSIBLE DETAILS AND
 SWIS

Sheet designation
A.100

ACCESSIBLE NOTES

1. THE STATE OF FLORIDA HAS ADOPTED THE 2010 INTERNATIONAL BUILDING CODE AND AS A RESULT, SHALL BE CONSIDERED TO BE IN COMPLIANCE WITH THE 2010 INTERNATIONAL BUILDING CODE. THE BUILDING DEPARTMENT HAS REVIEWED THIS DRAWING FOR COMPLIANCE WITH THE 2010 INTERNATIONAL BUILDING CODE.
2. THIS DRAWING IS FOR THE CITY OF WINTER PARK AND IS SUBJECT TO THE CITY'S ZONING ORDINANCES AND OTHER REGULATORY REQUIREMENTS. ANY CHANGES TO THIS DRAWING SHALL BE SUBJECT TO THE CITY'S ZONING ORDINANCES AND OTHER REGULATORY REQUIREMENTS.
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Comment	Description
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 city: [blank]
 state: [blank]
 zip: [blank]
 phone: [blank]
 fax: [blank]
 email: [blank]

signature | date | rcs |
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 11/11/11

owner information
 name: [blank]
 address: [blank]
 city: [blank]
 state: [blank]
 zip: [blank]
 phone: [blank]
 fax: [blank]
 email: [blank]

project name | address
MARTIN LUTHER KING PARK RESTROOMS
 COURTSIDE AVENUE
 WINTER PARK (FLORIDA) 32789

plan issued for

no.	date	description
1	11/11/11	ISSUED FOR PERMIT
2	11/11/11	ISSUED FOR PERMIT
3	11/11/11	ISSUED FOR PERMIT
4	11/11/11	ISSUED FOR PERMIT

plan revision by

no.	date	description
1	11/11/11	ISSUED FOR PERMIT
2	11/11/11	ISSUED FOR PERMIT
3	11/11/11	ISSUED FOR PERMIT
4	11/11/11	ISSUED FOR PERMIT

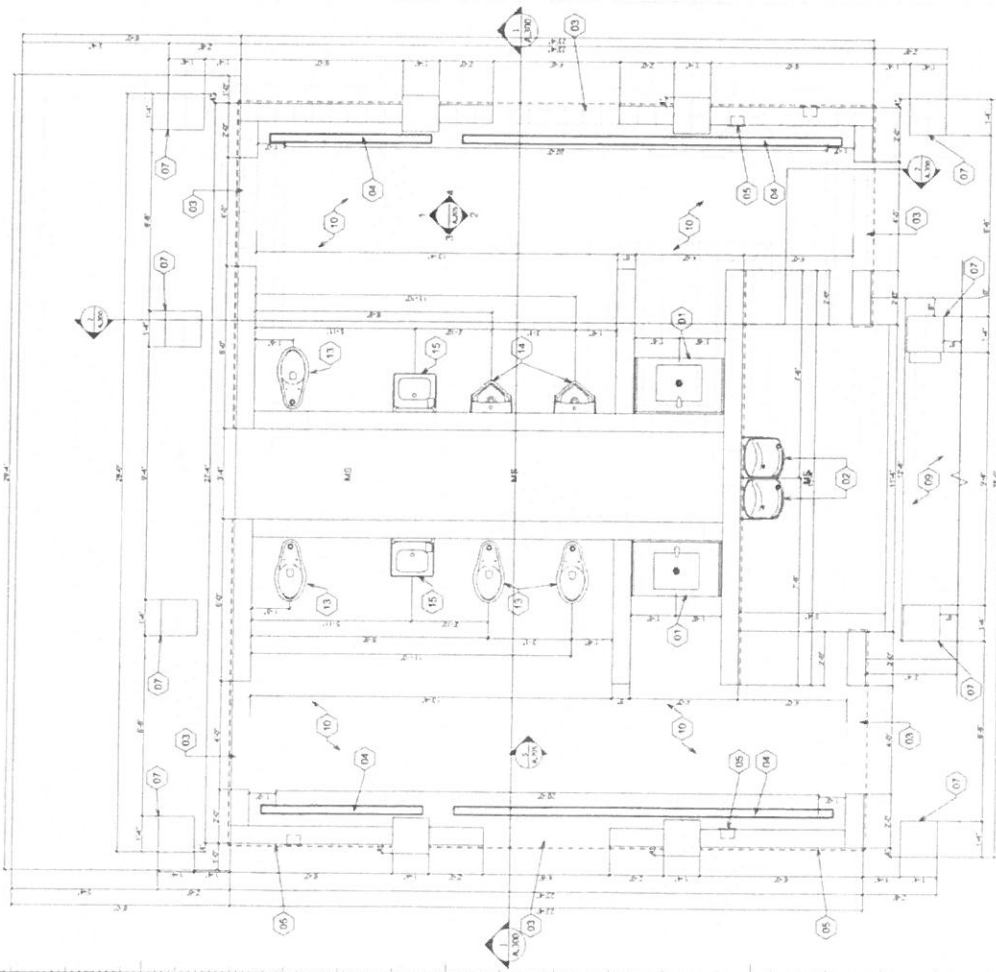
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 drawn by: [blank]
 checked by: [blank]
 approved by: [blank]

sheet content
 LAYOUT PLAN, DIMENSIONS AND NOTES

sheet designation
A.105

NOTES REFERRED TO DRAWING

1. NOTES ON SHEET REFERRED TO WITH SYMBOLS TO BE MAINTAINED THROUGHOUT THE PROJECT.
2. ALL NOTES BELOW MAY NOT APPLY TO THIS DRAWING.
3. SEE PLAN NOTE 1.
4. SEE PLAN NOTE 2.
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99. SEE PLAN NOTE 97.
100. SEE PLAN NOTE 98.



1 PLAN: LAYOUT AND DIMENSIONS
 Scale: 1/8" = 1'-0"

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 state: COLORADO
 zip: 80202
 signature: [Signature]
 date: 08/15/15

owner information
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 phone: 303.733.1111
 email: jts@kosuta.com

project name | address
 MARTIN LUTHER KING PARK RESTROOMS
 COMMERCE AVENUE
 WINTER PARK, COLORADO 81090

plan issued for
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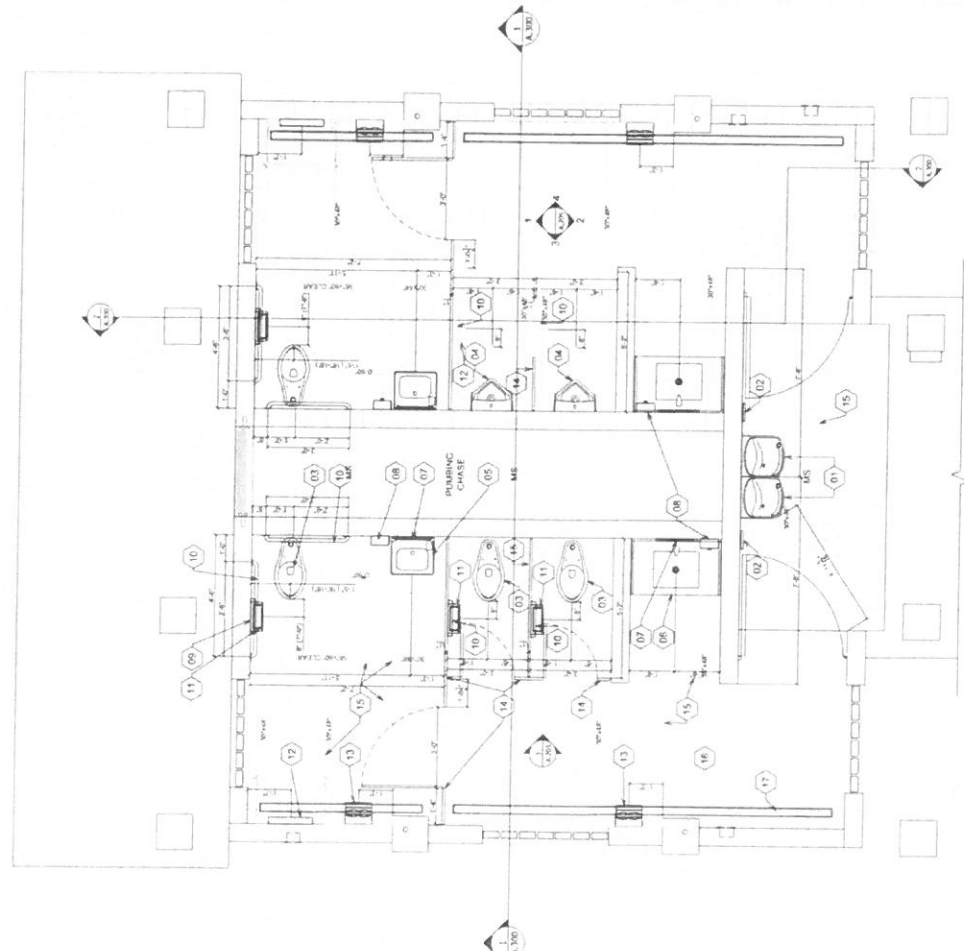
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sheet data
 sheet no: 14.111
 drawn by: CJK
 checked by: CJK
 approved by: CJK
sheet content
 ACCESSORIES, PARTITION, PLAN, DIMENSIONS AND NOTES
sheet designation
A.111

GENERAL NOTES

1. VERIFY ALL CONDITIONS BEFORE CONSTRUCTION. VERIFY ALL CONDITIONS SHALL BE AS SHOWN ON THIS DRAWING. VERIFY ALL CONDITIONS SHALL BE AS SHOWN ON THIS DRAWING.
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1 PLAN: ACCESSIBLE DIMENSIONS, ACCESSORIES AND PARTITIONS

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 address: [blank]
 phone: [blank]
 email: [blank]

signature | date | seal
 [Signature]
 30 June 15

owner information
 name: [blank]
 address: [blank]
 phone: [blank]
 email: [blank]

project name | address
MARTIN LUTHER KING PARK RESTROOMS
 COMASTOCK AVENUE
 WINTER PARK | FLORIDA | 32786

plan issued for
 2015-12-15
 2016-01-15
 2016-02-15
 2016-03-15
 2016-04-15
 2016-05-15
 2016-06-15
 2016-07-15
 2016-08-15
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plan revision for
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 checked by: [blank]
 approved by: [blank]

sheet content
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 DIMENSIONS AND NOTES

sheet designation
A.115

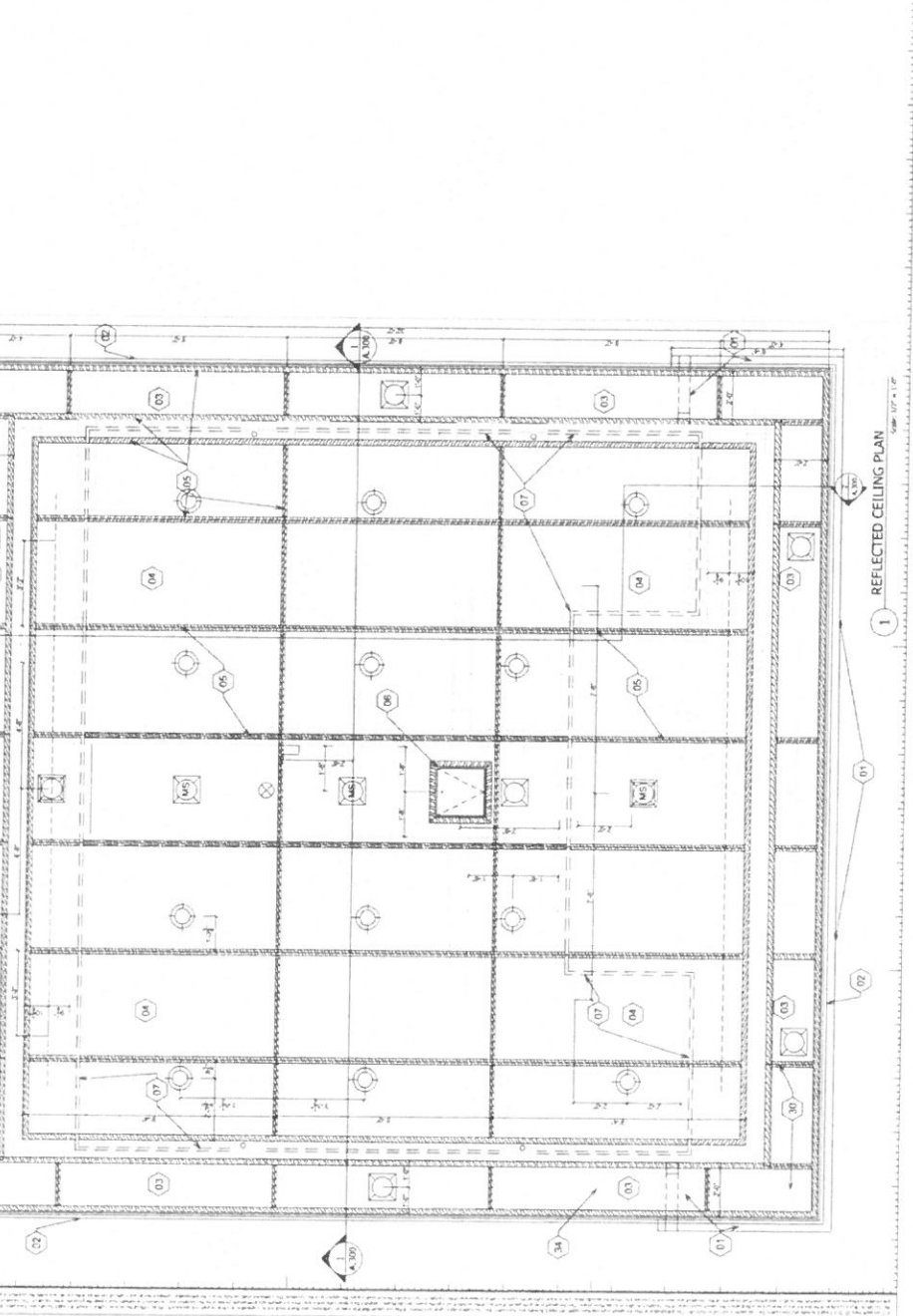
GENERAL NOTES
 1. REFER TO ALL OTHER DRAWINGS FOR DETAILS AND SPECIFICATIONS.
 2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
 3. FINISHES SHALL BE AS SHOWN ON THE DRAWINGS.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL MECHANICAL, ELECTRICAL, AND PLUMBING (M.E.P.) CODE.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND STRUCTURES.
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CEILING FIXTURE LEGEND

| SYMBOL | DESCRIPTION |
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| (M1) | RECESSED SQUARE DOWN LIGHT |
| (M2) | RECESSED SQUARE DOWN LIGHT WITH DIMMER |
| (M3) | RECESSED SQUARE DOWN LIGHT WITH DIMMER AND EXTERIOR SHIELD |
| (M4) | RECESSED SQUARE DOWN LIGHT WITH DIMMER AND EXTERIOR SHIELD AND EXTERIOR SHIELD |
| (M5) | RECESSED SQUARE DOWN LIGHT WITH DIMMER AND EXTERIOR SHIELD AND EXTERIOR SHIELD AND EXTERIOR SHIELD |
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1 REFLECTED CEILING PLAN

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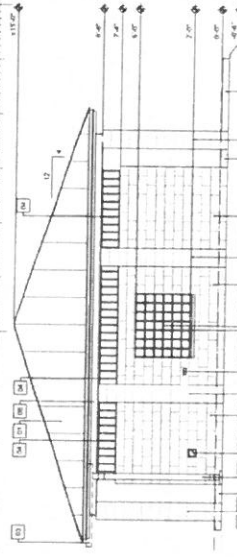
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 3 10/20/13 REVISIONS TO ROOF
 4 11/01/13 REVISIONS TO ELEVATIONS
 5 11/15/13 REVISIONS TO MATERIALS
 6 12/01/13 REVISIONS TO FINISHES
 7 12/15/13 REVISIONS TO MECHANICAL
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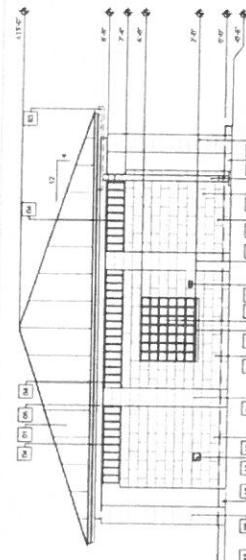
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 Drawn by: [Name]
 Checked by: [Name]
 Approved by: [Name]
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 Sheet designation: A.200

GENERAL NOTES

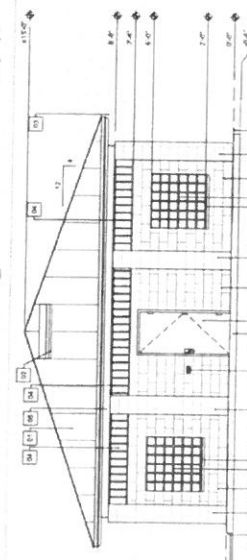
- ALL SURFACES TO BE PROPERLY CLEANED BEFORE PAINT.
 - ALL ARCHITECTURAL CONCRETE SHALL BE SEALED WITH ANTI-CREPEAKING SEALER FOR ALL EXPOSED FACES OF BLOCK, EXTERIOR AND INTERNAL WALLS AND INTERIOR PARTS.
 - ALL 4" x 8" x 16" STEEL STUDS SHALL BE GALVANNEALIZED STEEL.
 - WITH MAJORITIES TO LOCATE PARTS OF BLOCK, EXTERIOR AND INTERNAL WALLS.
 - PROVIDE COLOR SAMPLES FOR SELECTION BY OWNER. COLOR SHALL BE MATCHED TO THE COLOR OF THE EXISTING WALLS. COLOR SHALL BE MATCHED TO THE COLOR OF THE EXISTING WALLS.
- NOTES REVED TO DRAWING**
- NOTES BELOW ARE REVISED TO PLAN WITH OR REVISED SYMBOLS, UNLESS NOTED OTHERWISE.
 - ALL NOTES BELOW ARE NOT APPLICABLE TO THIS DRAWING.
- REVISIONS**
1. 4" x 8" x 16" STEEL STUDS SHALL BE GALVANNEALIZED STEEL.
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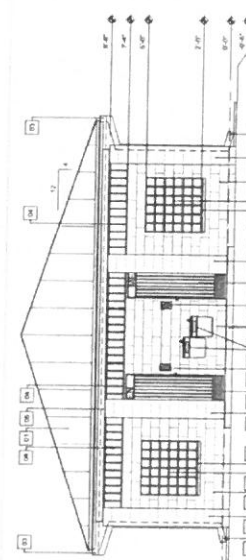
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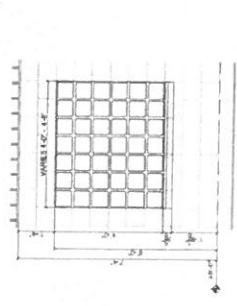
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 Scale: 1/4" = 1'-0"



2 EXTERIOR REAR ELEVATION
 Scale: 1/4" = 1'-0"



1 EXTERIOR FRONT ELEVATION
 Scale: 1/4" = 1'-0"



5 GLASS WINDOW ELEVATION
 Scale: 1/4" = 1'-0"



6 GLASS BLOCK DETAIL
 Scale: 1/4" = 1'-0"

NOTE: GLASS BLOCKS TO BE PROVIDED BY MANUFACTURER. MANUFACTURER TO PROVIDE TECHNICAL DOCUMENTATION.

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 phone: _____
 fax: _____
 email: _____
 signature: _____
 date: _____
 title: _____

owner information
 name: MARTIN LUTHER KING PARK RESTROOMS
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 fax: _____
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 signature: _____
 date: _____
 title: _____

project name | address
MARTIN LUTHER KING PARK RESTROOMS
 COASTLICK AVENUE
 WINTER PARK, FLORIDA 32789

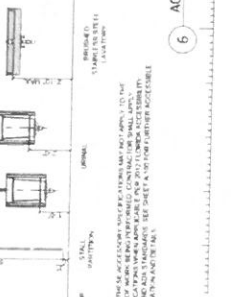
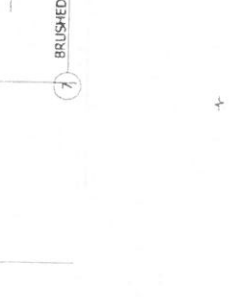
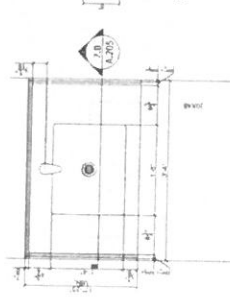
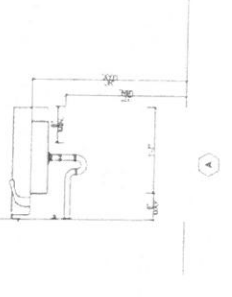
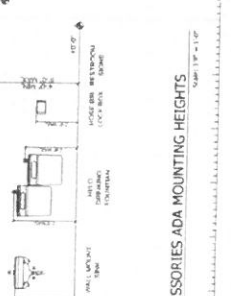
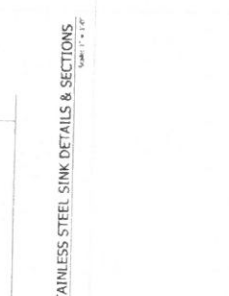
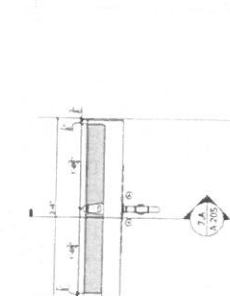
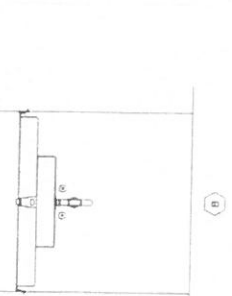
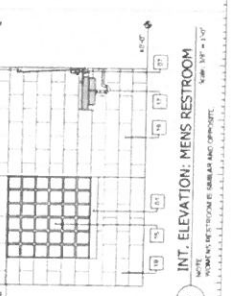
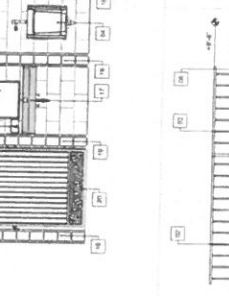
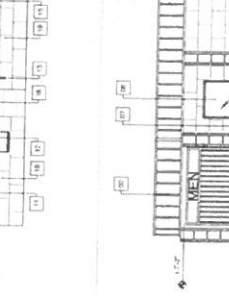
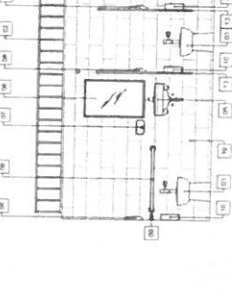
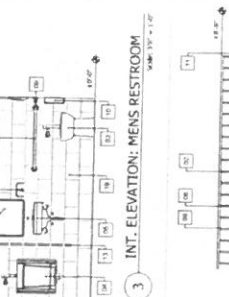
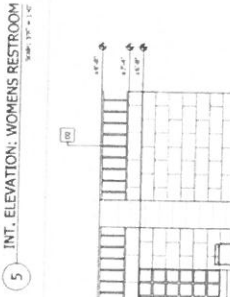
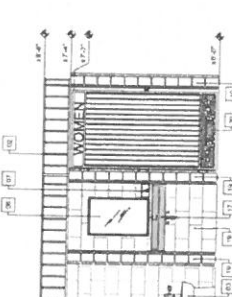
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 drawing: CIP
 sheet: CK
 approved by: CK

sheet content
 INTERIOR ELEVATIONS, DIMENSIONS AND NOTES

sheet designation
A.205

GENERAL NOTES
 1. THE JOHN PETERSON INTERIORS BY COOK AND SHAW SHALL BE MADE AS PER THE CONTRACT AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES OF THIS SET OF DRAWINGS.
 2. FINISH MATERIALS, COLORS AND QUANTITIES SHALL BE AS NOTED ON THE DRAWINGS AND SCHEDULE.
 3. MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
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NOTES REVED TO DRAWING
 1. NOTES BELOW ARE KEPT TO REMAIN UNCHANGED TO MAINTAIN THE INTENT OF THE ORIGINAL DRAWING.
 2. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
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 name: [blank]
 address: [blank]
 phone: [blank]
 fax: [blank]
 email: [blank]

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owner information
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MARTIN LUTHER KING PARK RESTROOMS
 CORNER LOCK AVENUE
 WINTER PARK, CO 80196

plans issued for
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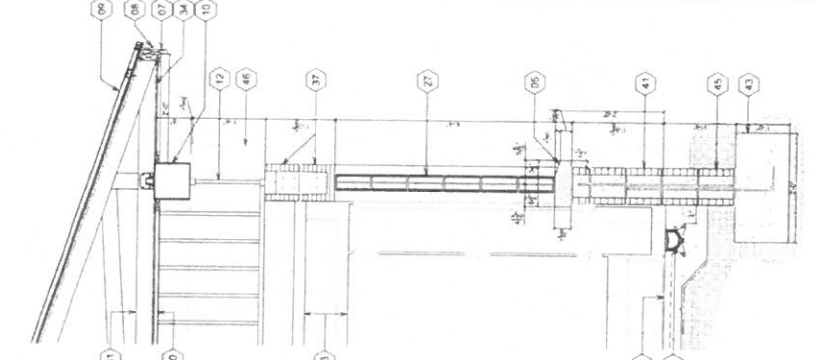
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WALL SECTIONS, DETAILS AND NOTES
 sheet designation
A.310

NOTES REFERRED TO DRAWING

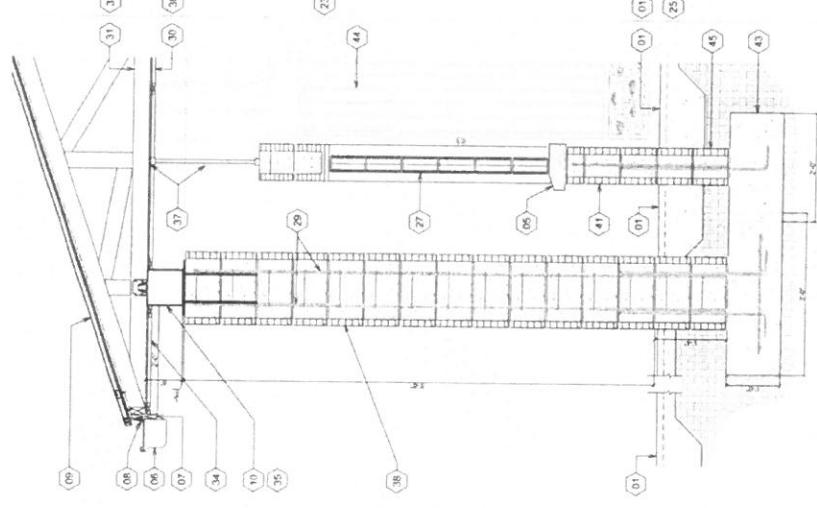
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- 2. ALL NOTES ON THIS SHEET ARE TO BE OBSERVED.
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- 4. SEE DRAWING FOR MATERIALS.
- 5. SEE DRAWING FOR FINISHES.
- 6. SEE DRAWING FOR SCHEDULES.
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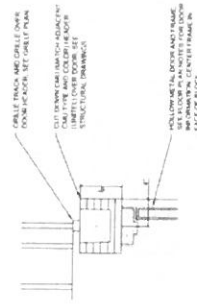
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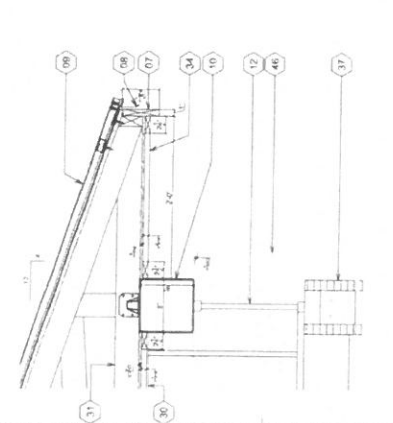
1 DOOR SILL DETAIL
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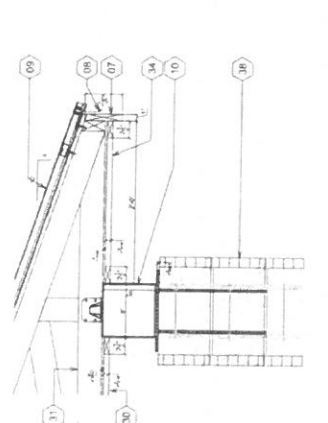
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 Scale: 1/4" = 1'-0"



2 DOOR HEAD DETAIL
 Scale: 1/4" = 1'-0"



3 GIRDER AND TYPICAL TRUSS CONNECTION DETAIL
 Scale: 1/4" = 1'-0"



4 PILASTER CONNECTION DETAIL
 Scale: 1/4" = 1'-0"

architect information
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 17151 BOLLARD AND ASSOCIATES, INC.
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 17151 BOLLARD AND ASSOCIATES, INC.

signature / date / seal
 17151 BOLLARD AND ASSOCIATES, INC.
 17151 BOLLARD AND ASSOCIATES, INC.
 17151 BOLLARD AND ASSOCIATES, INC.

owner information
 MARTIN LUTHER KING PARK RESTROOMS
 17151 BOLLARD AND ASSOCIATES, INC.

plan issued for
 17151 BOLLARD AND ASSOCIATES, INC.

plan revision for
 17151 BOLLARD AND ASSOCIATES, INC.

sheet data
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sheet content
 17151 BOLLARD AND ASSOCIATES, INC.

sheet designation
 17151 BOLLARD AND ASSOCIATES, INC.

GENERAL CONDITIONS
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

FOUNDATION
 1. THE FOUNDATION SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
 2. THE FOUNDATION SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
 3. THE FOUNDATION SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.

CAST IN PLACE CONCRETE
 1. CONCRETE SHALL BE PLACED AND FINISHED TO THE SPECIFICATIONS OF THE ARCHITECT.
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 3. CONCRETE SHALL BE PLACED AND FINISHED TO THE SPECIFICATIONS OF THE ARCHITECT.

MASONRY WALL CONSTRUCTION
 1. MASONRY WALLS SHALL BE CONSTRUCTED TO THE SPECIFICATIONS OF THE ARCHITECT.
 2. MASONRY WALLS SHALL BE CONSTRUCTED TO THE SPECIFICATIONS OF THE ARCHITECT.
 3. MASONRY WALLS SHALL BE CONSTRUCTED TO THE SPECIFICATIONS OF THE ARCHITECT.

| NO. | TYPE | SIZE | REMARK |
|-----|------------------|-----------------|-----------------|
| 01 | CONCRETE STOP | 12" X 12" X 24" | 1. PER CONCRETE |
| 02 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 03 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 04 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 05 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 06 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 07 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 08 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 09 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 10 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 11 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 12 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 13 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 14 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 15 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 16 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 17 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 18 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 19 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 20 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
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| 32 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 33 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
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| 49 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |
| 50 | REINFORCING BARS | 1/2" DIA. X 24" | 2. PER CONCRETE |

NOTES KEYED TO DRAWING
 1. ALL NOTES ARE REFERRED TO BY NUMBER IN THE DRAWING.
 2. ALL NOTES ARE REFERRED TO BY NUMBER IN THE DRAWING.
 3. ALL NOTES ARE REFERRED TO BY NUMBER IN THE DRAWING.

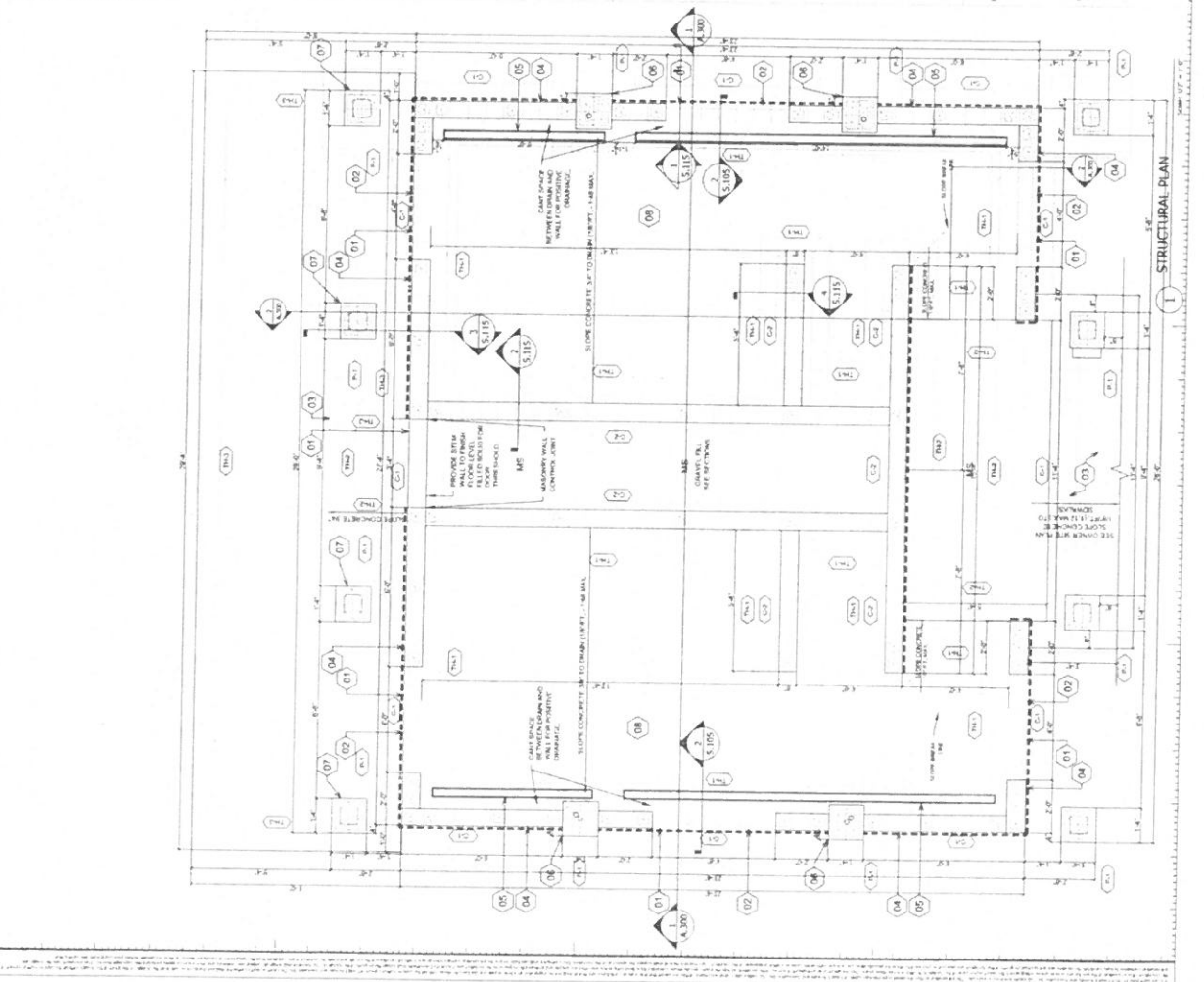
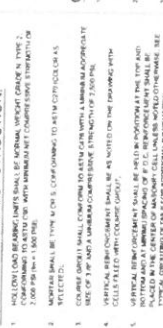
REVISIONS
 1. ALL REVISIONS SHALL BE MADE BY THE ARCHITECT.
 2. ALL REVISIONS SHALL BE MADE BY THE ARCHITECT.
 3. ALL REVISIONS SHALL BE MADE BY THE ARCHITECT.

GENERAL NOTES
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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STRUCTURAL PLAN
 17151 BOLLARD AND ASSOCIATES, INC.

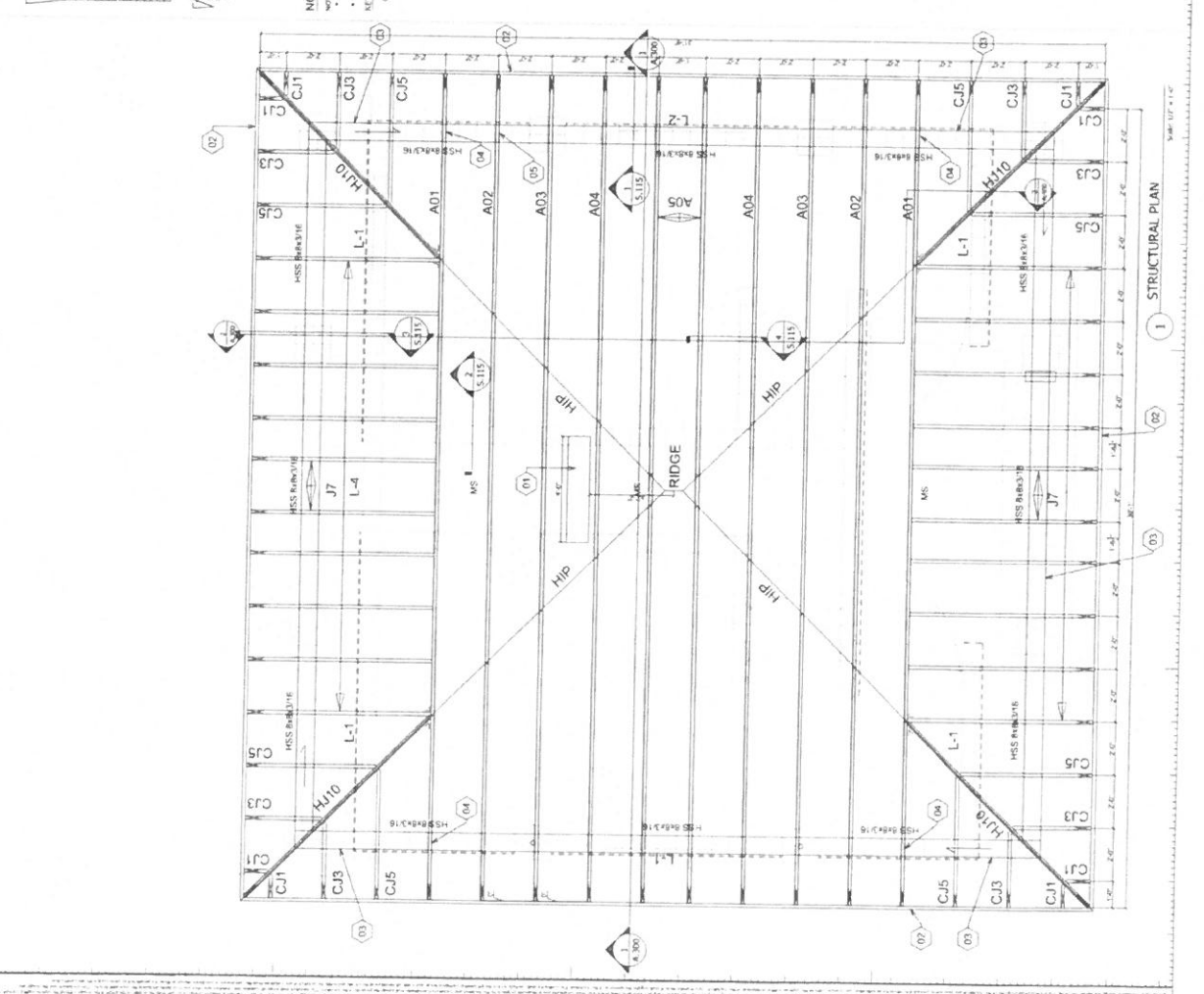
| | |
|--|--|
| architect information | PROJECT INFORMATION |
| KOSUTA
OSCAR J. KOSUTA ARCHITECTS, INC.
1115 S. W. 11TH AVENUE, SUITE 200
MIAMI, FL 33135
TEL: (305) 441-4200
WWW.KOSUTA.COM | PROJECT NAME ADDRESS
MARTIN LUTHER KING PARK RESTROOMS
COMPLEX NO. 418-010
WINTER PARK FLORIDA 32789 |
| consultant information | owner information |
| CONTRACTOR
JAMES L. WYATT, INC.
200 S. W. 15TH AVENUE, SUITE 100
MIAMI, FL 33135
TEL: (305) 441-4200
WWW.JLWYATT.COM | owner name address
JAMES L. WYATT, INC.
200 S. W. 15TH AVENUE, SUITE 100
MIAMI, FL 33135
TEL: (305) 441-4200
WWW.JLWYATT.COM |
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Professional Seal | signature date seal
[Signature] 01/27/2020
Professional Seal |
| plan revision for | plan revision for |
| 1: 100% - 01/27/2020 | 1: 100% - 01/27/2020 |
| sheet data | sheet designation |
| sheet no. H-110
title RESTROOMS
designed by: CRK
approved by: CRK | S.110 |

PREFABRICATED WOOD TRUSSES

- WOOD TRUSS FABRICATORS SHALL PROVIDE APPROPRIATE CONNECTIONS TO ALL SUPPORTS. CONNECTIONS SHALL BE DESIGNED BY AN ENGINEER AND SHALL BE FABRICATED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NDS AND THE LATEST EDITIONS OF THE AIA/CES. THE CONTRACTOR SHALL VERIFY THAT THE TRUSS MANUFACTURER HAS BEEN APPROVED BY THE AIA/CES. THE CONTRACTOR SHALL VERIFY THAT THE TRUSS MANUFACTURER HAS BEEN APPROVED BY THE AIA/CES. THE CONTRACTOR SHALL VERIFY THAT THE TRUSS MANUFACTURER HAS BEEN APPROVED BY THE AIA/CES.
- ALL WOOD TRUSS MEMBERS SHALL BE DESIGNED TO BE INSTALLED WITH A MINIMUM OF 10% OVERSTRESS. THE TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR PROVIDING THE CONNECTIONS TO ALL SUPPORTS. THE CONTRACTOR SHALL VERIFY THAT THE TRUSS MANUFACTURER HAS BEEN APPROVED BY THE AIA/CES. THE CONTRACTOR SHALL VERIFY THAT THE TRUSS MANUFACTURER HAS BEEN APPROVED BY THE AIA/CES.
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DESIGN NOTES

- TRUSS MANUFACTURER SHALL PROVIDE A TRUSS LAYOUT AND SHOP DRAWINGS FOR APPROVAL BY THE ARCHITECT AND INSTALLATION MANUAL.
- ALL WOOD TRUSS MEMBERS SHALL BE DESIGNED TO BE INSTALLED WITH A MINIMUM OF 10% OVERSTRESS. THE TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR PROVIDING THE CONNECTIONS TO ALL SUPPORTS. THE CONTRACTOR SHALL VERIFY THAT THE TRUSS MANUFACTURER HAS BEEN APPROVED BY THE AIA/CES. THE CONTRACTOR SHALL VERIFY THAT THE TRUSS MANUFACTURER HAS BEEN APPROVED BY THE AIA/CES.
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1 STRUCTURAL PLAN
SCALE: 1/2" = 1'-0"

architect information
KOSUTA
 FRANK PAVONE AND ASSOCIATES, INC.
 SUITE 150 (R6) W. WINTER BLVD.
 WINTER PARK, FLORIDA 32789
 407-874-1111
 www.kosuta.com

consultant information
 name: [blank]
 address: [blank]
 city: [blank]
 state: [blank]
 zip: [blank]
 email: [blank]
 phone: [blank]
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signature date seal
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owner information
 name: [blank]
 address: [blank]
 city: [blank]
 state: [blank]
 zip: [blank]
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project name / address
MARTIN LUTHER KING PARK RESTROOMS
 COMSTOCK AVENUE
 WINTER PARK, FLORIDA 32789

plan issued for

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| NO. | DATE | DESCRIPTION |
| 1 | 10/15/14 | ISSUED FOR PERMITS |
| 2 | 11/10/14 | ISSUED FOR PERMITS |
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| 4 | 11/10/14 | ISSUED FOR PERMITS |
| 5 | 11/10/14 | ISSUED FOR PERMITS |

plan revision for

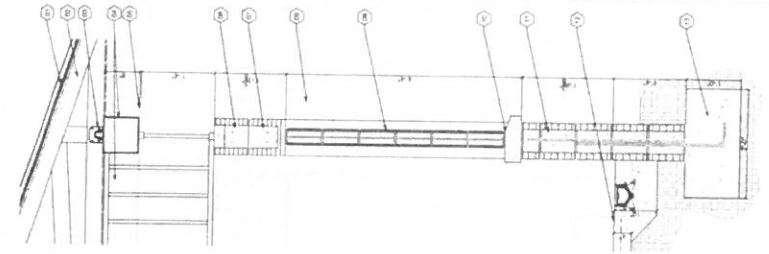
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| 4 | 11/10/14 | ISSUED FOR PERMITS |
| 5 | 11/10/14 | ISSUED FOR PERMITS |

sheet data
 project no: 14-120
 drawn by: CJP
 checked by: CJK
 approved by: [blank]
 sheet content
 SECTIONS AND NOTES

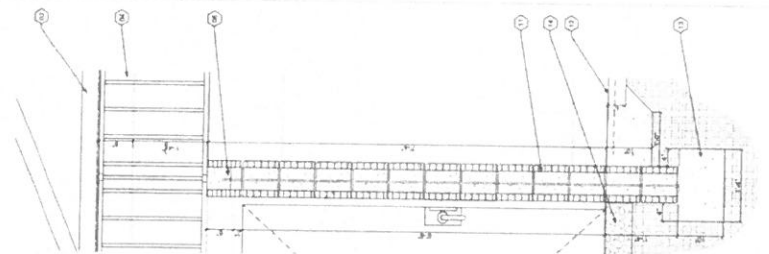
sheet designation
S.115

NOTES KEYED TO DRAWING

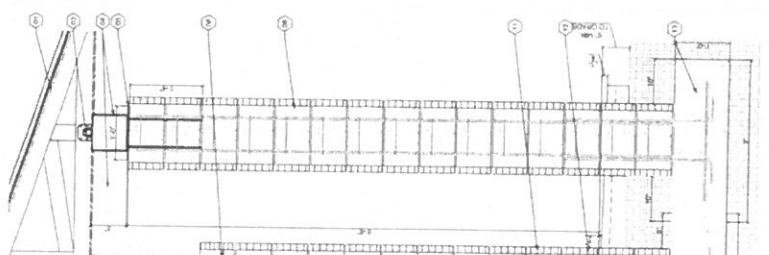
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- 2. ALL NOTES BELOW ARE KEYED TO THIS DRAWING.
- 3. SEE OTHER DRAWINGS FOR DETAILS.
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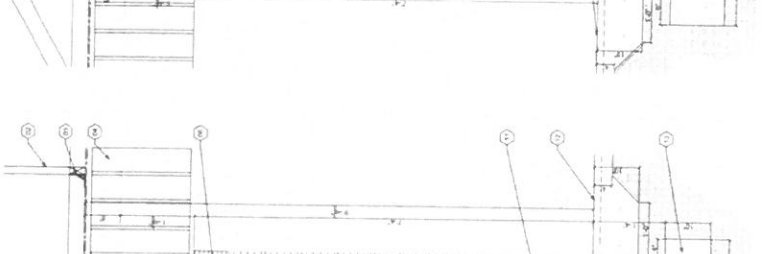
1 WALL SECTIONS
 SCALE: 1/4" = 1'-0"



2 WALL SECTIONS
 SCALE: 1/4" = 1'-0"



3 WALL SECTIONS
 SCALE: 1/4" = 1'-0"



4 WALL SECTIONS
 SCALE: 1/4" = 1'-0"

architect information
KOSUTA
 1015 KENNEDY AVENUE, SUITE 100
 OAKLAND, CALIFORNIA 94612
 TEL: (415) 778-1000
 FAX: (415) 778-1001
 WWW.KOSUTA.COM

contract information
 project name | address
MARTIN LUTHER KING PARK RESTROOMS
 1500 WINTER PARK BLVD, SUITE 100
 DENVER, CO 80202

owner information
 owner name | address
CONTRACTOR
 1500 WINTER PARK BLVD, SUITE 100
 DENVER, CO 80202

signature | date | seal

sheet data
 project no. | 14-230
 sheet no. | 14-230-1
 title | PLUMBING PLAN AND NOTES
 scale | AS SHOWN
 date | 10/20/14

planning information
 prepared by | _____
 checked by | _____
 approved by | _____
 sheet content | PLUMBING PLAN AND NOTES
 sheet designation | **P.105**

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER PLUMBING CODE AND THE INTERNATIONAL PLUMBING CODE.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER ELECTRICAL CODE AND THE NATIONAL ELECTRICAL CODE.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER MECHANICAL CODE AND THE INTERNATIONAL MECHANICAL CODE.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER GAS CODE AND THE INTERNATIONAL GAS CODE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER FIRE CODE AND THE INTERNATIONAL FIRE CODE.

PLUMBING

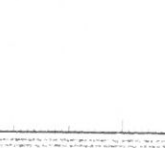
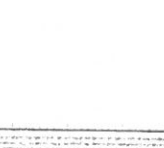
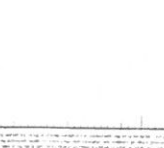
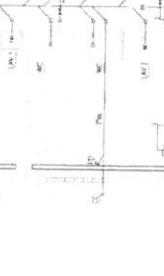
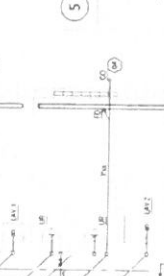
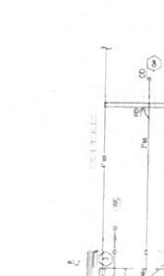
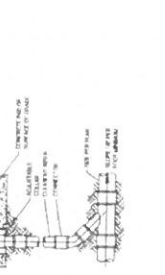
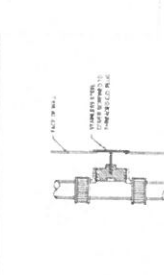
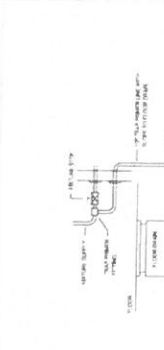
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4. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF DENVER GAS CODE AND THE INTERNATIONAL GAS CODE.
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WATER SUPPLY RISER NOTES

1. THE RISER SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF DENVER PLUMBING CODE AND THE INTERNATIONAL PLUMBING CODE.
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NOTES KEYS TO DRAWING

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER PLUMBING CODE AND THE INTERNATIONAL PLUMBING CODE.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER ELECTRICAL CODE AND THE NATIONAL ELECTRICAL CODE.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER MECHANICAL CODE AND THE INTERNATIONAL MECHANICAL CODE.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER GAS CODE AND THE INTERNATIONAL GAS CODE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF DENVER FIRE CODE AND THE INTERNATIONAL FIRE CODE.



1 PLUMBING PLAN
 1/8" = 1'-0" (AS SHOWN)

2 SANITARY RISER DIAGRAM
 1/8" = 1'-0" (AS SHOWN)

3 DOMESTIC WATER RISER DIAGRAM
 1/8" = 1'-0" (AS SHOWN)

4 PIPING LEGEND
 1/8" = 1'-0" (AS SHOWN)

5 TYPICAL WALL CLEANOUT
 1/8" = 1'-0" (AS SHOWN)

6 TYPICAL FLOOR CLEANOUT
 1/8" = 1'-0" (AS SHOWN)

7 TYPICAL TRENCH DRAIN TRAP PRIMER
 1/8" = 1'-0" (AS SHOWN)

8 WATER SUPPLY RISER NOTES
 1/8" = 1'-0" (AS SHOWN)

9 NOTES KEYS TO DRAWING
 1/8" = 1'-0" (AS SHOWN)

10 PIPING LEGEND
 1/8" = 1'-0" (AS SHOWN)

11 TYPICAL WALL CLEANOUT
 1/8" = 1'-0" (AS SHOWN)

12 TYPICAL FLOOR CLEANOUT
 1/8" = 1'-0" (AS SHOWN)

13 TYPICAL TRENCH DRAIN TRAP PRIMER
 1/8" = 1'-0" (AS SHOWN)

14 WATER SUPPLY RISER NOTES
 1/8" = 1'-0" (AS SHOWN)

15 NOTES KEYS TO DRAWING
 1/8" = 1'-0" (AS SHOWN)

16 PIPING LEGEND
 1/8" = 1'-0" (AS SHOWN)

17 TYPICAL WALL CLEANOUT
 1/8" = 1'-0" (AS SHOWN)

18 TYPICAL FLOOR CLEANOUT
 1/8" = 1'-0" (AS SHOWN)

19 TYPICAL TRENCH DRAIN TRAP PRIMER
 1/8" = 1'-0" (AS SHOWN)

20 WATER SUPPLY RISER NOTES
 1/8" = 1'-0" (AS SHOWN)

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 1/8" = 1'-0" (AS SHOWN)

22 PIPING LEGEND
 1/8" = 1'-0" (AS SHOWN)

23 TYPICAL WALL CLEANOUT
 1/8" = 1'-0" (AS SHOWN)

24 TYPICAL FLOOR CLEANOUT
 1/8" = 1'-0" (AS SHOWN)

25 TYPICAL TRENCH DRAIN TRAP PRIMER
 1/8" = 1'-0" (AS SHOWN)

26 WATER SUPPLY RISER NOTES
 1/8" = 1'-0" (AS SHOWN)

27 NOTES KEYS TO DRAWING
 1/8" = 1'-0" (AS SHOWN)

28 PIPING LEGEND
 1/8" = 1'-0" (AS SHOWN)

29 TYPICAL WALL CLEANOUT
 1/8" = 1'-0" (AS SHOWN)

30 TYPICAL FLOOR CLEANOUT
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31 TYPICAL TRENCH DRAIN TRAP PRIMER
 1/8" = 1'-0" (AS SHOWN)

32 WATER SUPPLY RISER NOTES
 1/8" = 1'-0" (AS SHOWN)

33 NOTES KEYS TO DRAWING
 1/8" = 1'-0" (AS SHOWN)

34 PIPING LEGEND
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35 TYPICAL WALL CLEANOUT
 1/8" = 1'-0" (AS SHOWN)

36 TYPICAL FLOOR CLEANOUT
 1/8" = 1'-0" (AS SHOWN)

37 TYPICAL TRENCH DRAIN TRAP PRIMER
 1/8" = 1'-0" (AS SHOWN)

38 WATER SUPPLY RISER NOTES
 1/8" = 1'-0" (AS SHOWN)

39 NOTES KEYS TO DRAWING
 1/8" = 1'-0" (AS SHOWN)

40 PIPING LEGEND
 1/8" = 1'-0" (AS SHOWN)

41 TYPICAL WALL CLEANOUT
 1/8" = 1'-0" (AS SHOWN)

42 TYPICAL FLOOR CLEANOUT
 1/8" = 1'-0" (AS SHOWN)

43 TYPICAL TRENCH DRAIN TRAP PRIMER
 1/8" = 1'-0" (AS SHOWN)

44 WATER SUPPLY RISER NOTES
 1/8" = 1'-0" (AS SHOWN)

45 NOTES KEYS TO DRAWING
 1/8" = 1'-0" (AS SHOWN)

46 PIPING LEGEND
 1/8" = 1'-0" (AS SHOWN)

47 TYPICAL WALL CLEANOUT
 1/8" = 1'-0" (AS SHOWN)

48 TYPICAL FLOOR CLEANOUT
 1/8" = 1'-0" (AS SHOWN)

49 TYPICAL TRENCH DRAIN TRAP PRIMER
 1/8" = 1'-0" (AS SHOWN)

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signature / date / seal
 [Signature]
 DATE: 10/15/15
 [Seal]

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 address | WINTER PARK, FLORIDA 32789
 contact | [Name]
 phone | [Phone]
 email | [Email]

project name / address
MARTIN LUTHER KING PARK RESTROOMS
 WINTER PARK, FLORIDA 32789

plan issued for

| NO. | DATE | DESCRIPTION |
|-----|----------|------------------|
| 1 | 10/15/15 | FOR PERMIT |
| 2 | 10/15/15 | FOR CONSTRUCTION |
| 3 | 10/15/15 | FOR RECORD |

plan revision for

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |

sheet data
 project no. | 14120
 drawn by | [Name]
 checked by | [Name]
 approved by | [Name]

sheet content
 ELECTRICAL POWER AND LIGHTING SCHEDULES, ELECTRICAL POWER DIAGRAM AND RISER

sheet designation
E.105

GENERAL NOTES

- VERIFY BEFORE WORKING AS TO ROOMS AND SUBSTITUTIONS AT OWNER'S RISK. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF ALL CODES. EQUIPMENT AND ACCESSORIES SHALL BE REVERTED TO ORIGINAL MANUFACTURER'S SPECIFICATIONS.
- ALL MATERIALS AND EQUIPMENT SHALL BE THE BEST QUALITY AVAILABLE AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- PROVIDE ALL NECESSARY PROTECTION TO EXISTING UTILITIES AND STRUCTURES. VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE ANY WORK BEGINS.
- PROTECT ALL EXISTING WORK AND MATERIALS. ALL DAMAGE TO EXISTING WORK SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER.
- ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.

ELECTRICAL NOTES:

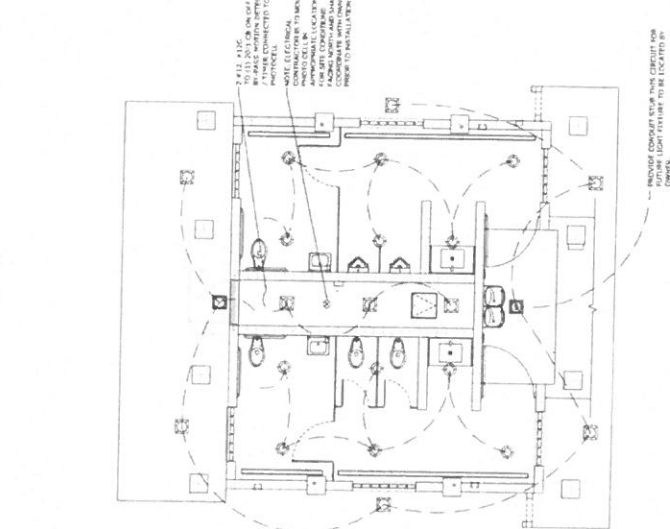
- NEEDS IN EXISTENCE SHALL BE AS REQUIRED BUT IN NO CASE SHALL BE LESS THAN 75% OF THE ORIGINAL.
- ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.
- CONDUIT SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.
- ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.
- ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.

LIGHTING NOTES:

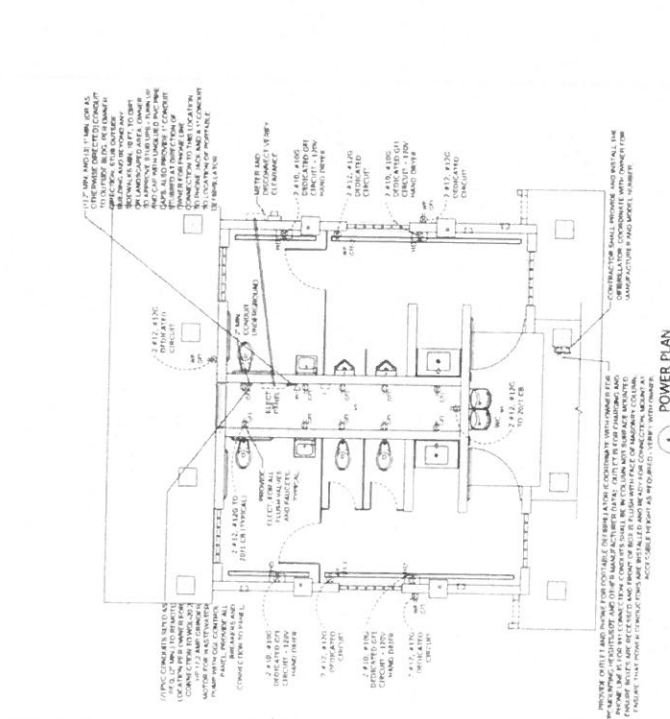
- VERIFY BEFORE WORKING AS TO ROOMS AND SUBSTITUTIONS AT OWNER'S RISK. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF ALL CODES. EQUIPMENT AND ACCESSORIES SHALL BE REVERTED TO ORIGINAL MANUFACTURER'S SPECIFICATIONS.
- ALL MATERIALS AND EQUIPMENT SHALL BE THE BEST QUALITY AVAILABLE AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- PROTECT ALL EXISTING WORK AND MATERIALS. ALL DAMAGE TO EXISTING WORK SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER.
- ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.

ELECTRICAL LEGEND

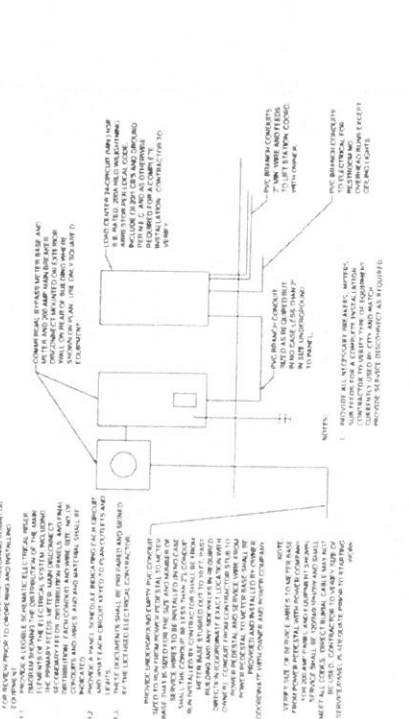
| SYMBOL | DESCRIPTION |
|----------|--|
| [Symbol] | 120V AC SINGLE PHASE |
| [Symbol] | 240V AC SINGLE PHASE |
| [Symbol] | 480V AC THREE PHASE |
| [Symbol] | 120V AC SINGLE PHASE WITH GROUND |
| [Symbol] | 240V AC SINGLE PHASE WITH GROUND |
| [Symbol] | 480V AC THREE PHASE WITH GROUND |
| [Symbol] | 120V AC SINGLE PHASE WITH GROUND AND NEUTRAL |
| [Symbol] | 240V AC SINGLE PHASE WITH GROUND AND NEUTRAL |
| [Symbol] | 480V AC THREE PHASE WITH GROUND AND NEUTRAL |



2 LIGHTING PLAN
 SCALE: 1/4" = 1'-0"



1 POWER PLAN
 SCALE: 1/4" = 1'-0"



3 RISER DIAGRAM
 SCALE: 1/4" = 1'-0"

NOTES:
 1. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.
 2. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL CODES.
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