



Lakes & Waterways Advisory Board Regular Meeting

January 12, 2021 12:00pm

Hybrid Meeting

City Commission Chamber

Agenda Items

Call Meeting to Order

Approve minutes from December 8, 2020

Approval Shoreline Permit Applications

SAP-21-01 Boathouse/Dock, 115 Palmer Ave, Lake Maitland, Jim and Carole Henderson
SAP-21-02 Boathouse/Dock, 117 Genius Dr., Lake Mizell, Cameron & Elaine Weber
SAP-21-03 Boathouse/Dock, 741 Virginia Dr., Lake Virginia, John & Michelle Randolph
SAP-21-04 Seawall/Revetment, 117 Genius Dr. Lake Mizell Cameron & Elaine Weber

Reports

- WP Police Lakes Patrol Lt John Bologna
- Sustainability - Vanessa Balta
- Lakes Management -Tim Egan/Megan Johansson
- Stormwater Management - Don Marcotte

Discussion items

- Lake Vegetation Maintenance Policy

New Business

Citizen Comment

ADJOURN - Next Meeting February 9, 2021

appeals & assistance

"If a person decides to appeal any decision made by the Board with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105). "Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office (407-599-3277) at least 48 hours in advance of the meeting."

Shoreline Alteration Permit Staff Report (Boathouse & Dock)

Application #: 21-01 **WATERBODY:** Lake Maitland **Date:** January 2021

APPLICANT NAME AND SITE ADDRESS:

Jim and Carole Henderson, Winter Park, FL 32789
115 Palmer Avenue

Comments:

Dock Parameter	Proposed	Allowed	Variance Required?
Total Area (ft ²)	590	600 max	no
Length from OHW (ft)	30'	30'	no
Height of Roof (ft above deck)	11'	11 max.	no
Height of Deck (ft above OHW)	1.5'	2 max.	no
Enclosures?	44 sf	80 ft ² max (no plumbing/water allowed)	no
Side Yard Setback(s) (ft)	15'	10 min*	no
Meets Vegetation Criteria?	No	50% may be cleared	n/a

*Side yard setback may be reduced to 5-feet without a variance if a signed letter of no objection is obtained from the affected adjacent property owner.

Staff Recommendation:

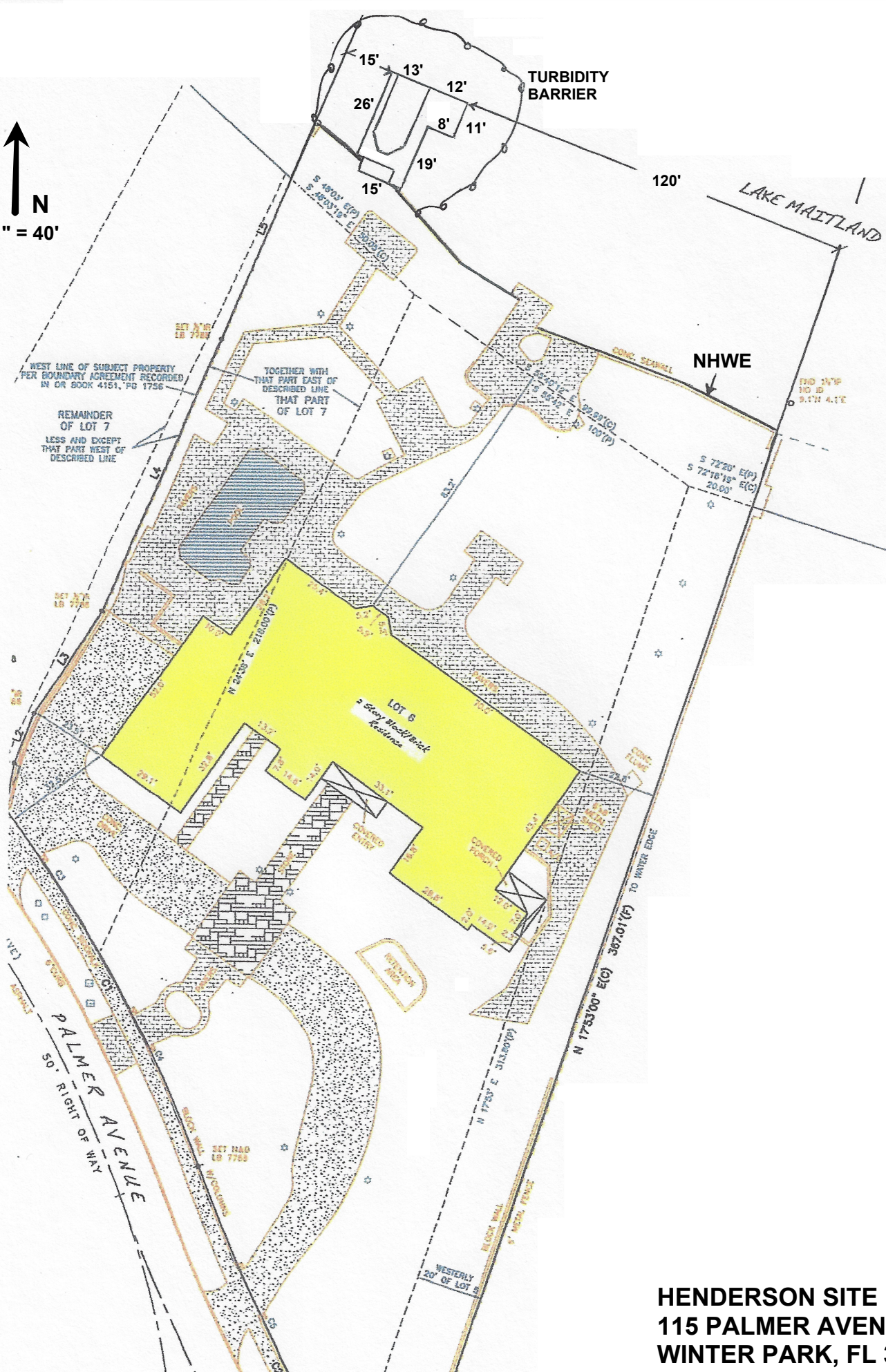
Approval.

Reviewed By: Megan Johansson and Matthew Noonon

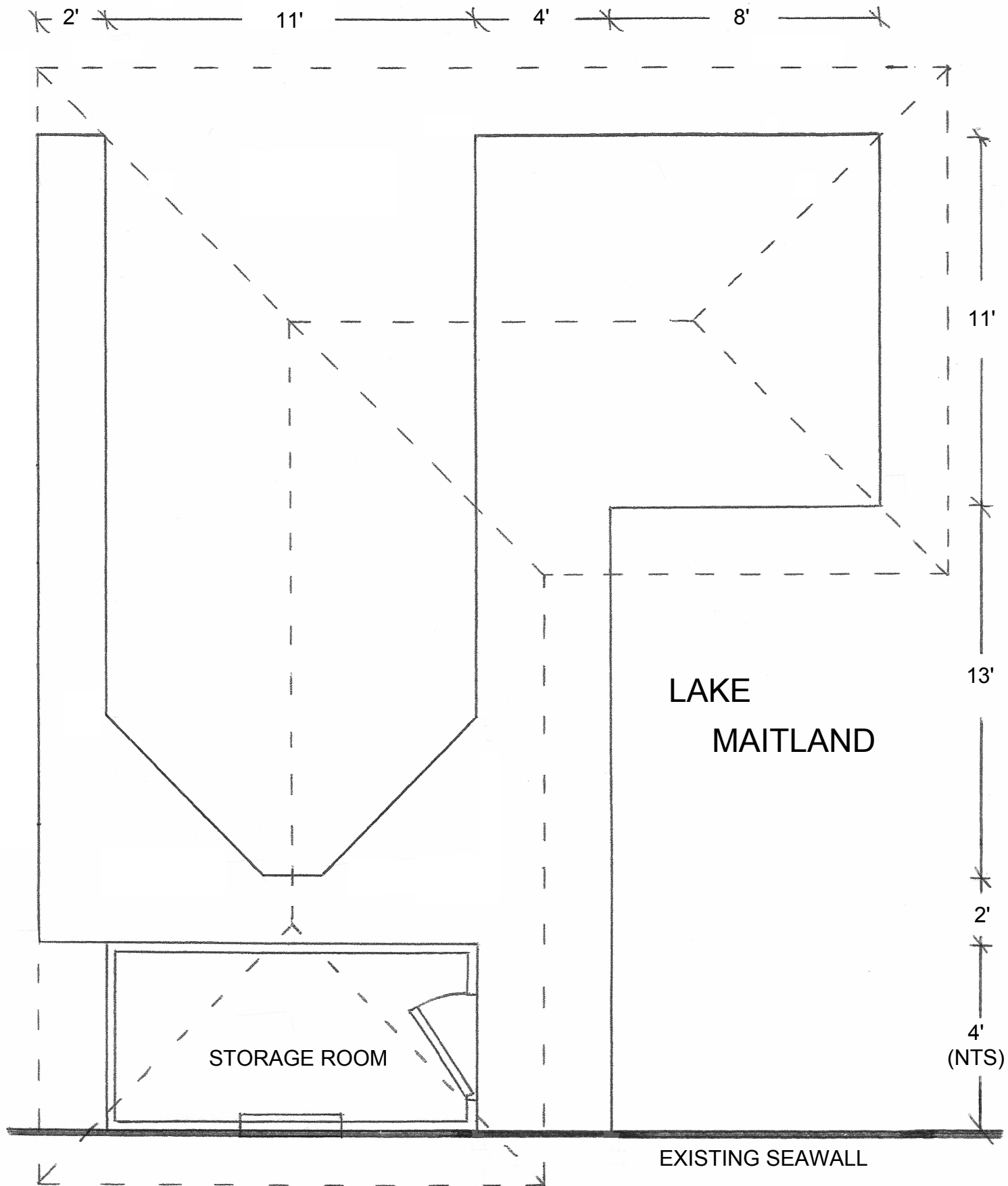




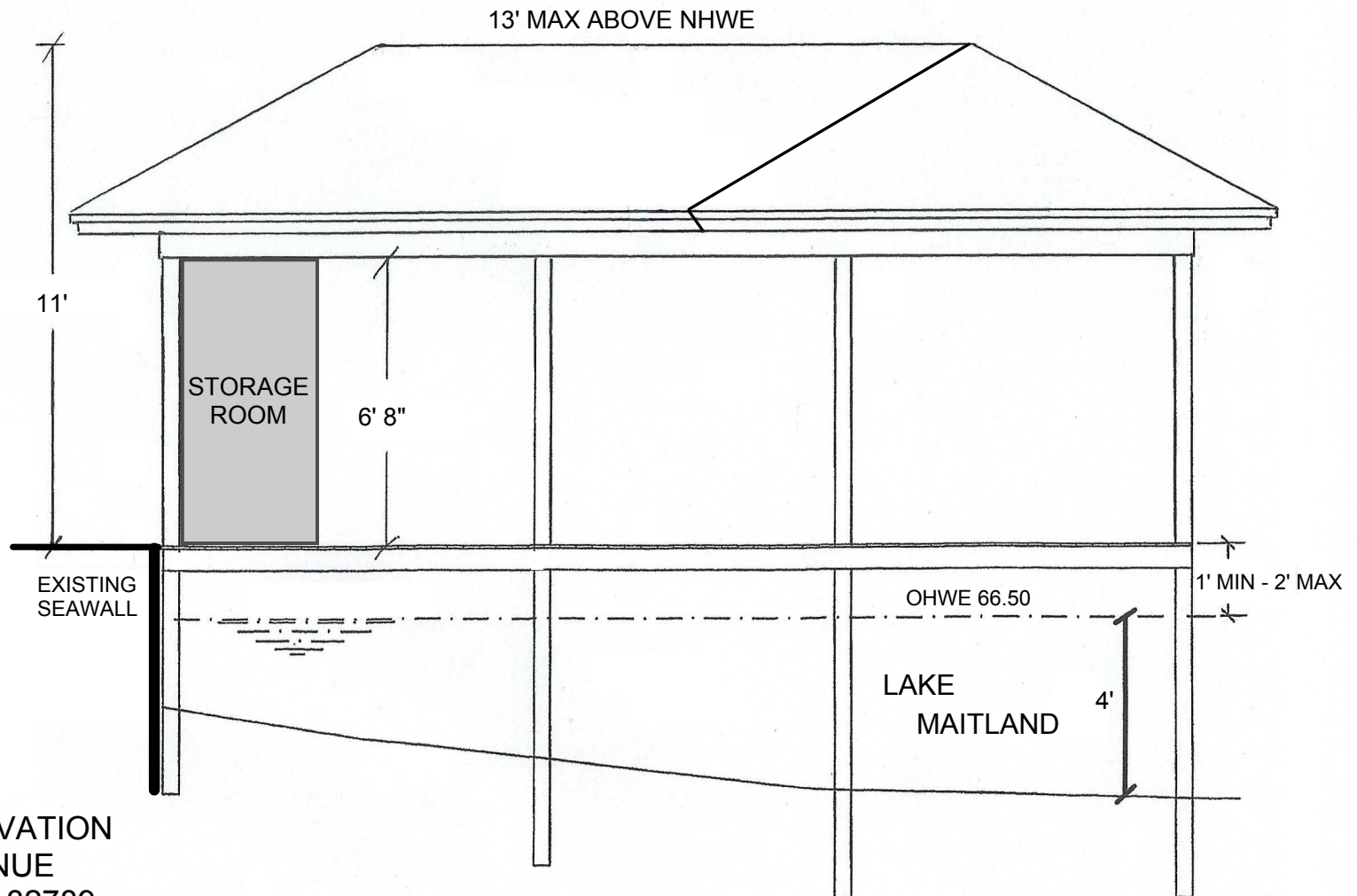
N
1" = 40'



**HENDERSON SITE PLAN
115 PALMER AVENUE
WINTER PARK, FL 32789**



HENDERSON PLAN VIEW
115 PALMER AVENUE
WINTER PARK, FL 32789



HENDERSON ELEVATION
115 PALMER AVENUE
WINTER PARK, FL 32789

Shoreline Alteration Permit Staff Report (Boathouse & Dock)

Application #: 21-02 **WATERBODY:** Lake Mizell **Date:** January 2021

APPLICANT NAME AND SITE ADDRESS:

Cameron and Elaine Weber, 3226 Deer Chase Run, Longwood, FL 32779
117 Genius Dr

Comments:

Dock Parameter	Proposed	Allowed	Variance Required?
Total Area (ft ²)	562.5	600 max	no
Length from OHW (ft)	30'	30'	no
Height of Roof (ft above deck)	11'	11 max.	no
Height of Deck (ft above OHW)	1-2'	2 max.	no
Enclosures?	n/a	80 ft ² max (no plumbing/water allowed)	no
Side Yard Setback(s) (ft)	20'	10 min*	no
Meets Vegetation Criteria?	Yes	50% may be cleared	n/a

*Side yard setback may be reduced to 5-feet without a variance if a signed letter of no objection is obtained from the affected adjacent property owner.

Staff Recommendation:

Approval.

Reviewed By: Megan Johansson and Matthew Noonon



-Site Benchmark Information-

#1

Set Nail & Disk "LB 7623"
Elevation: 78.76'

#2

Set Nail & Disk "LB 7623"
Elevation: 77.07'

#3

Set Nail & Disk "LB 7623"
Elevation: 75.60'

-Benchmark Information-



Orange County Benchmark

Benchmark Designation: WP-6

Elevation: 76.756'

Description: The Florida D.O.T. brass cap is on the East end of South curb of bridge on Osceola Avenue and 80 feet West of Henkel Circle intersection.

(Elevations are based upon NAVD 88 Datum)

DEMO AND REBUILD DOCK, DECK & BOATHOUSE

WEBER BOATHOUSE SITE PLAN 117 GENIUS DRIVE WINTER PARK, FL 32789



TURBIDITY BARRIER

100-Year Flood Line
Elevation = 67.3' (NAVD '88)

Normal High Water Line
Elevation = 65.7' (NAVD '88)

Edge of Water
(05/31/19)

Concrete Transformer Pad

Monitor Well

Witness Corner
Fnd. 1/2" Rebar
& Cap "LB 7084"

Irrigation Well

Lake Mizell
Water Elevation = 65.17'
*as of 12-02-20

Zone "AE"

Zone "X"

193± (C)
Survey Closure Line
N 17°04'43" E 196.66' (M)

Edge of Water
(05/31/19)

Witness Corner
Fnd. 1/2" Rebar
(No Identification)

264± (C) o Water
N 89°31'52" E 263.80' (M) To Witness
East 261.62' (P)

West 262.50' (D)
262.65' (P)
N 88°19'46" W 264.77' (M)

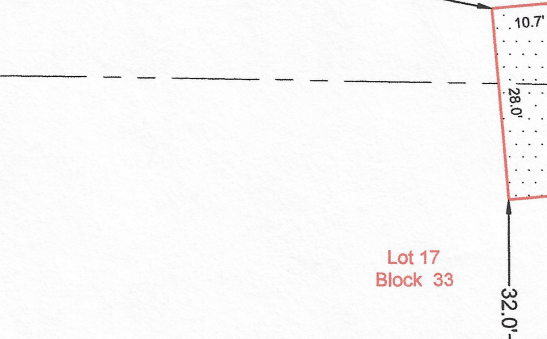
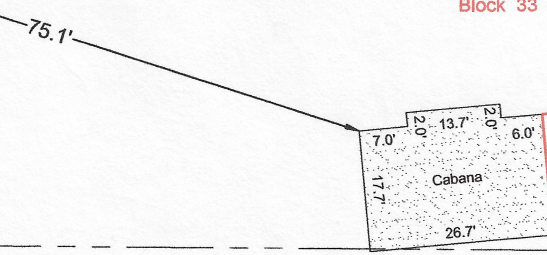
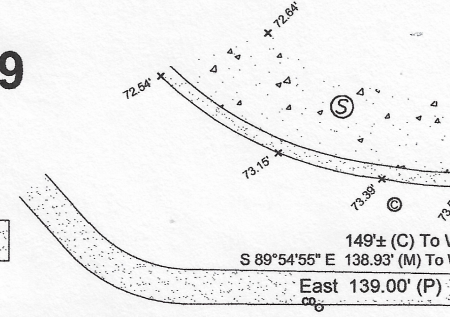
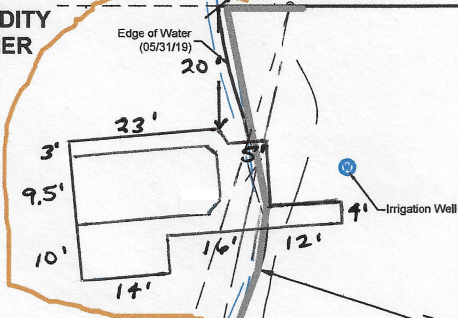
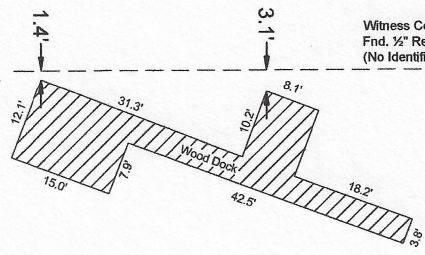
Lot 16
Block 33

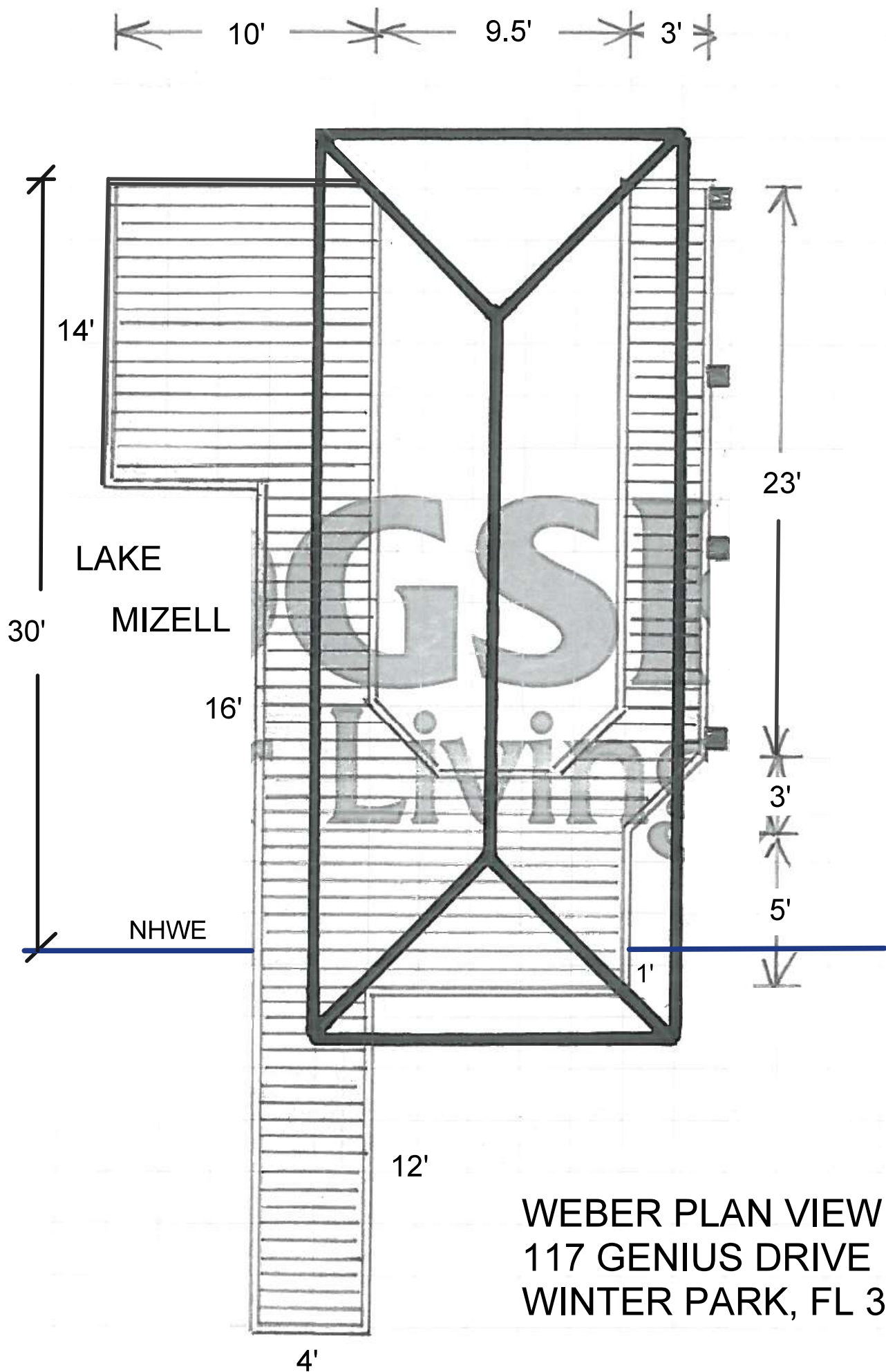
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Block 33

Lot 18
Block 33

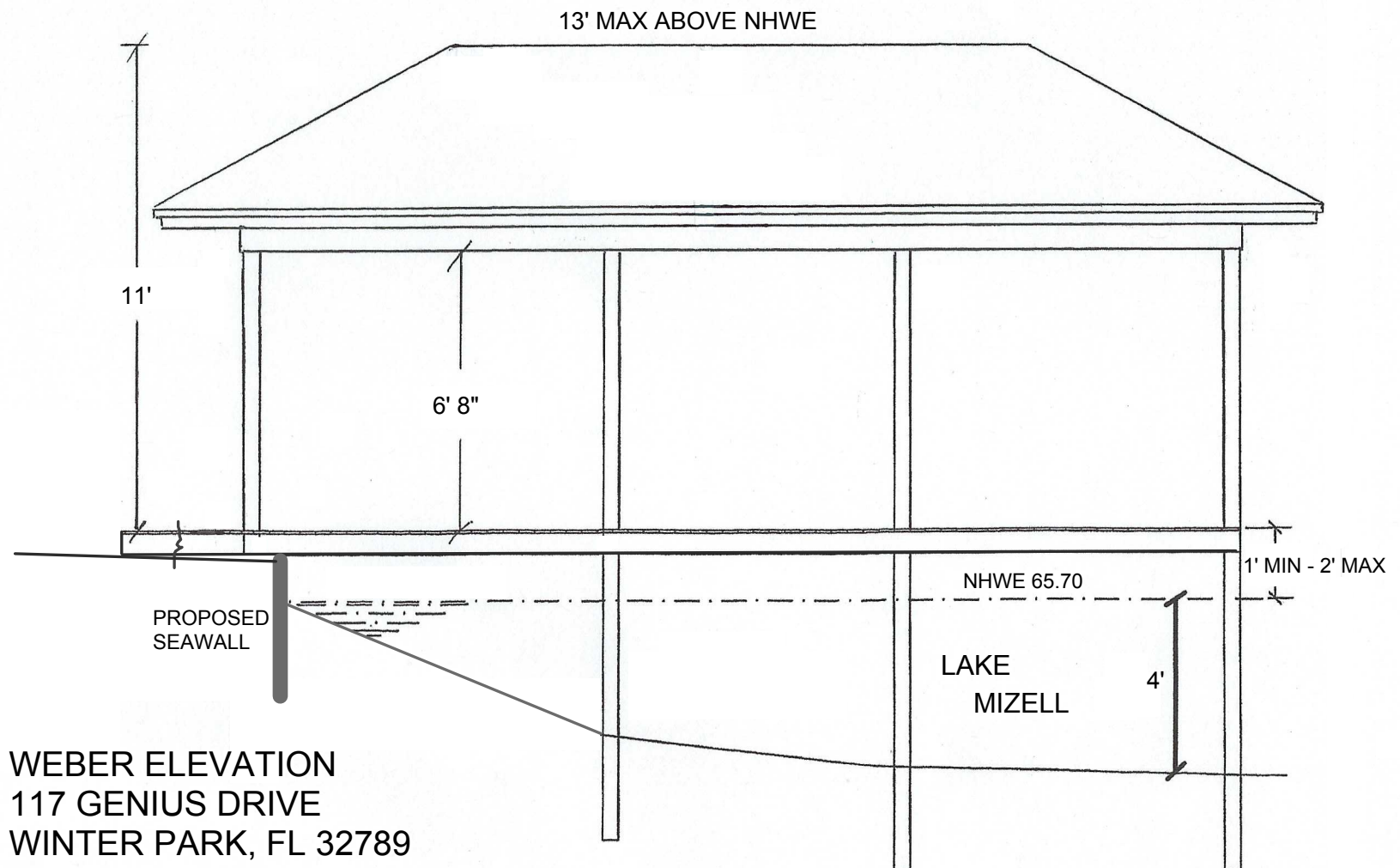
Lot 19
Block 33

Cabana





WEBER PLAN VIEW
117 GENIUS DRIVE
WINTER PARK, FL 32789



WEBER ELEVATION
117 GENIUS DRIVE
WINTER PARK, FL 32789

Shoreline Alteration Permit Staff Report (Boathouse & Dock)

Application #: 21-03 **WATERBODY:** Lake Virginia **Date:** January 2021

APPLICANT NAME AND SITE ADDRESS:

John and Michelle Randolph, Winter Park, FL 32789
741 Virginia Drive

Comments:

Dock Parameter	Proposed	Allowed	Variance Required?
Total Area (ft ²)	552	600 max	no
Length from OHW (ft)	30'	30'	no
Height of Roof (ft above deck)	11'	11 max.	no
Height of Deck (ft above OHW)	1.5'	2 max.	no
Enclosures?	44 sf	80 ft ² max (no plumbing/water allowed)	no
Side Yard Setback(s) (ft)	8'	10 min*	no
Meets Vegetation Criteria?	Yes	50% may be cleared	n/a

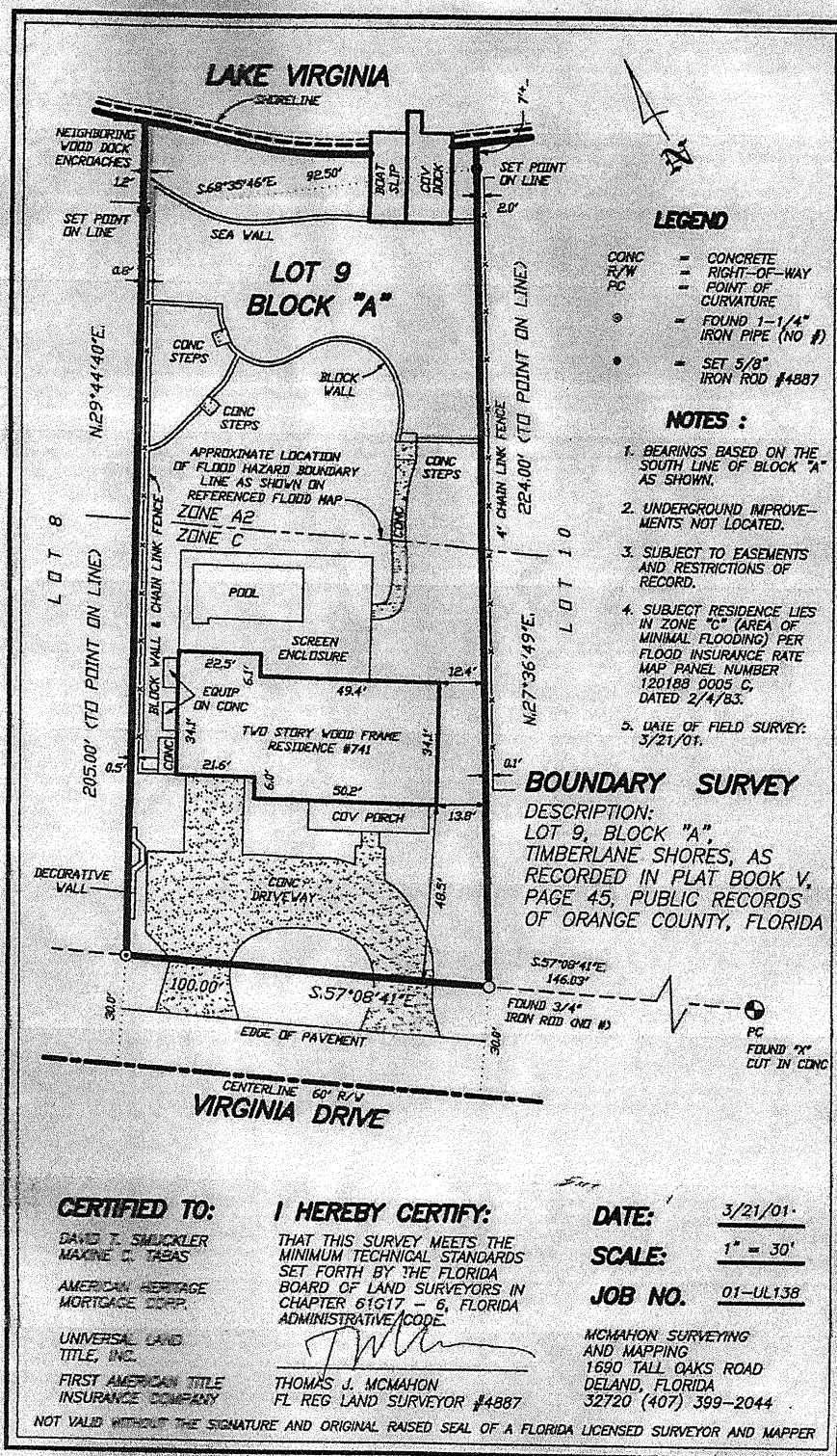
*Side yard setback may be reduced to 5-feet without a variance if a signed letter of no objection is obtained from the affected adjacent property owner.

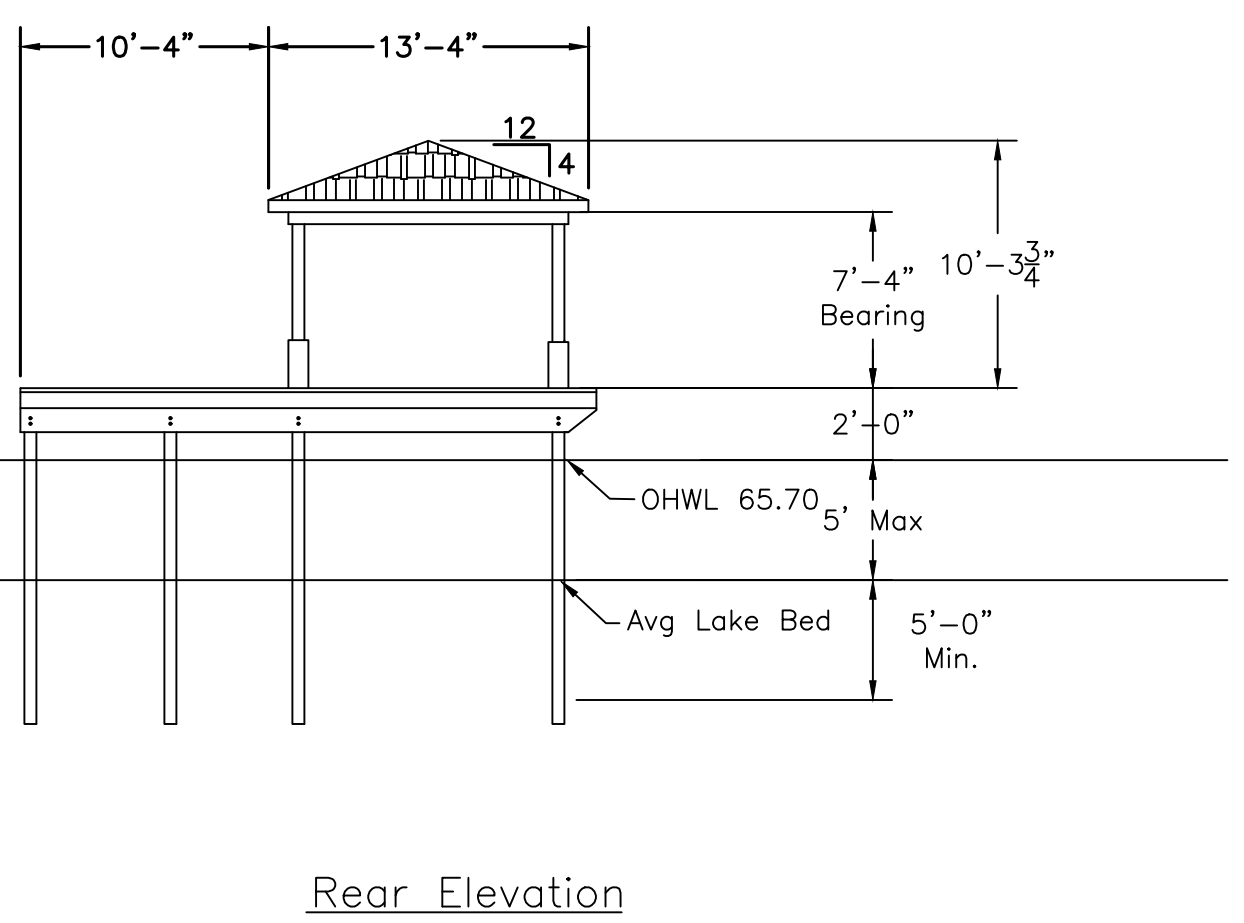
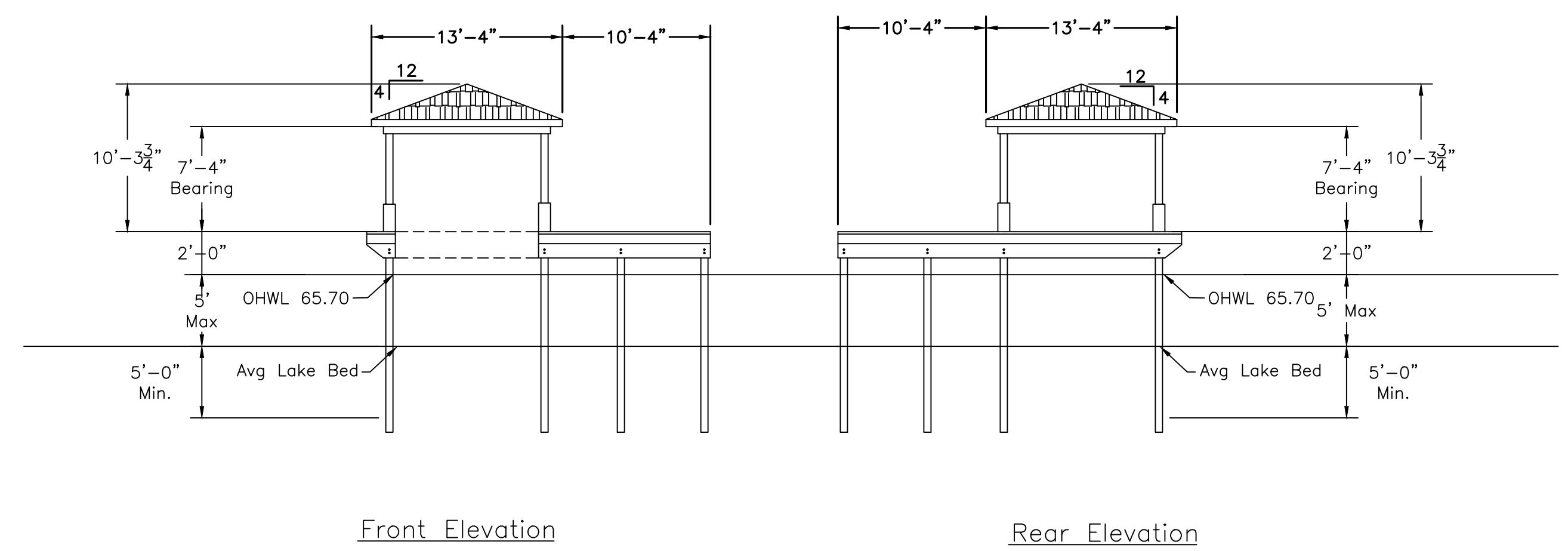
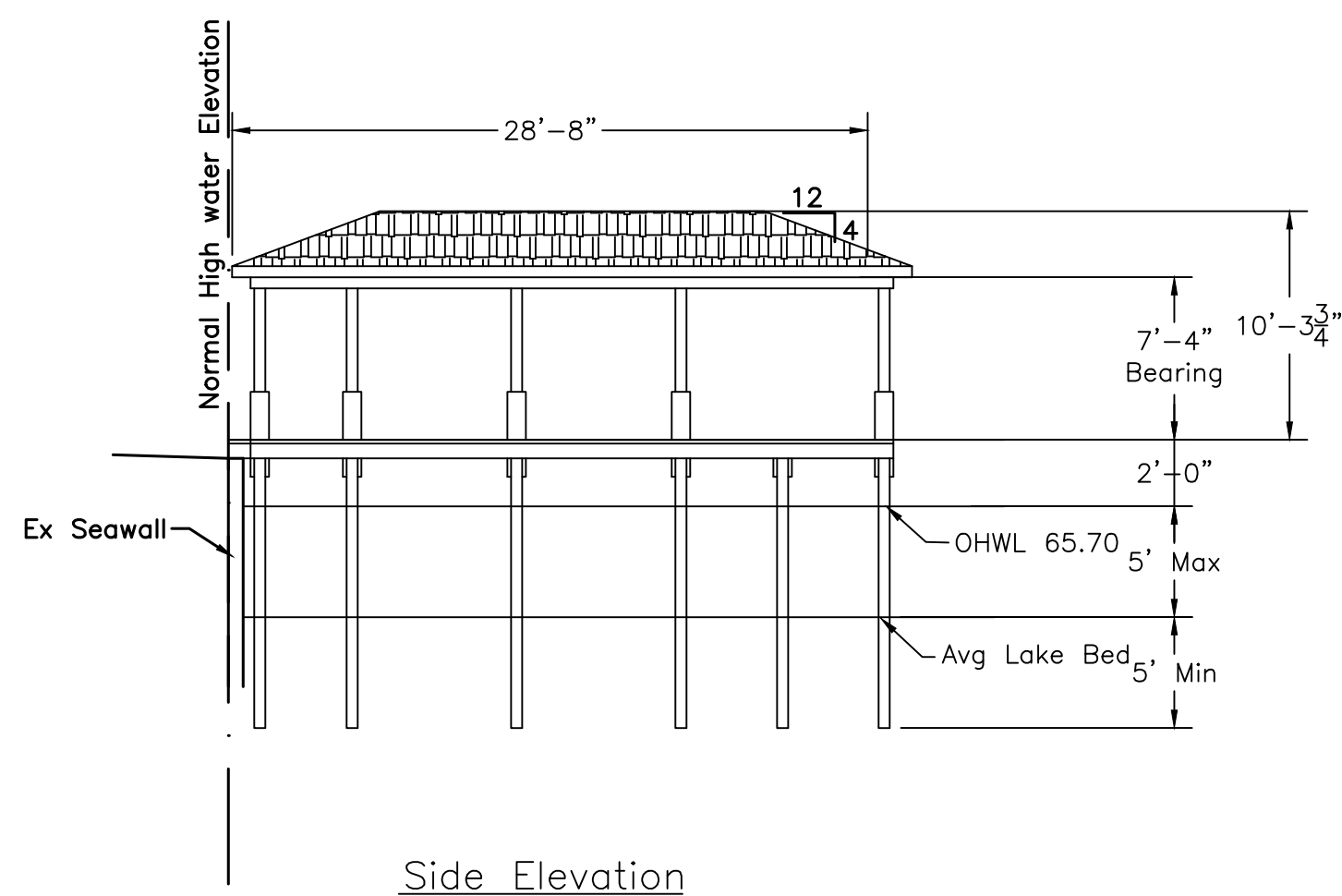
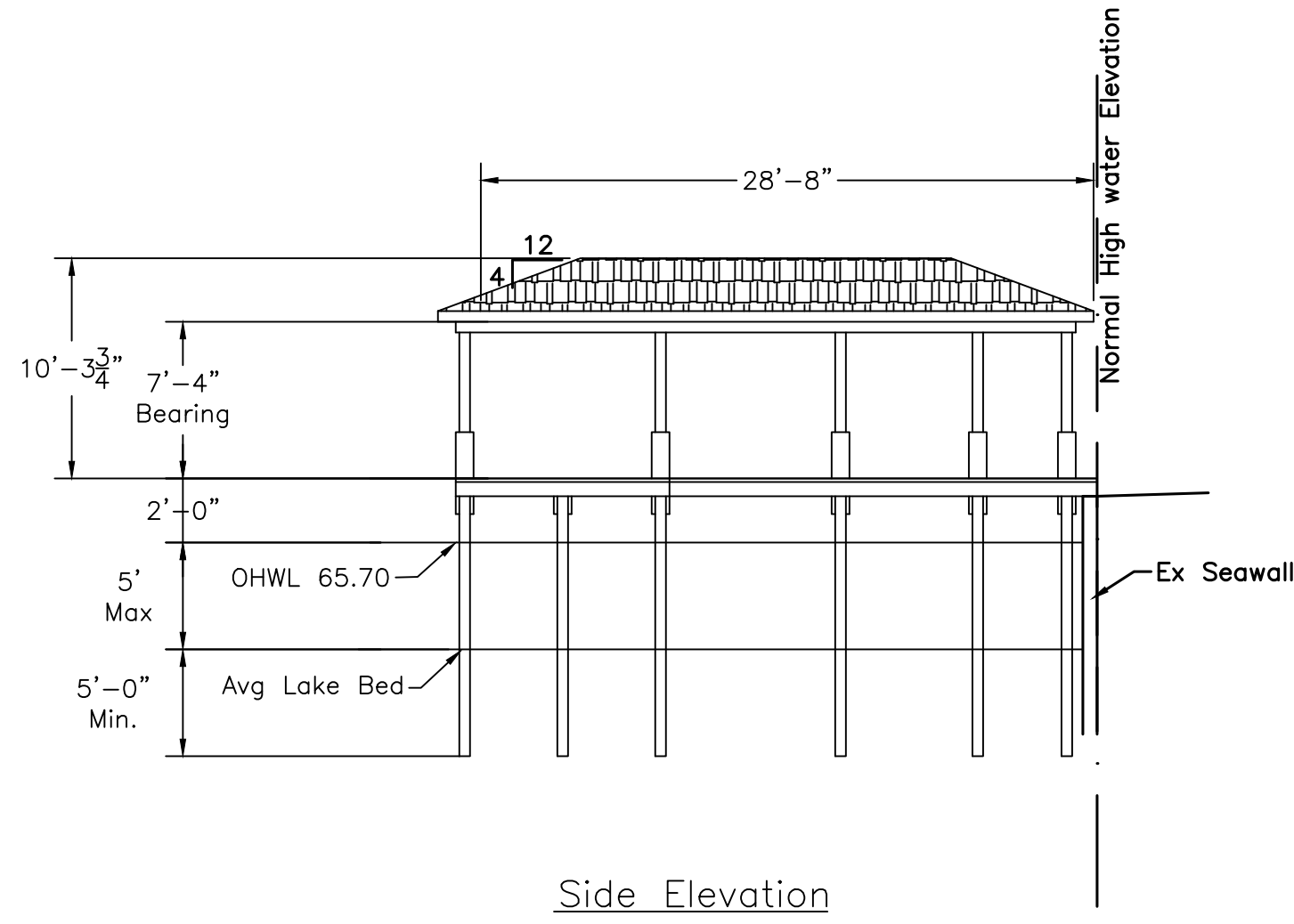
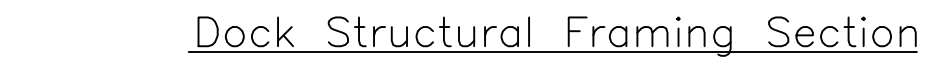
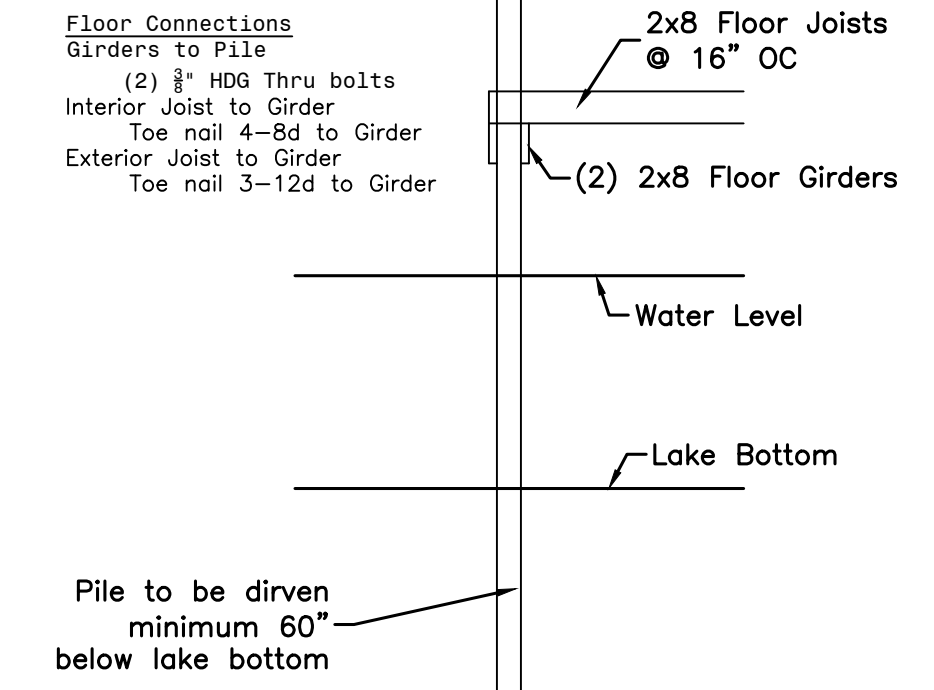
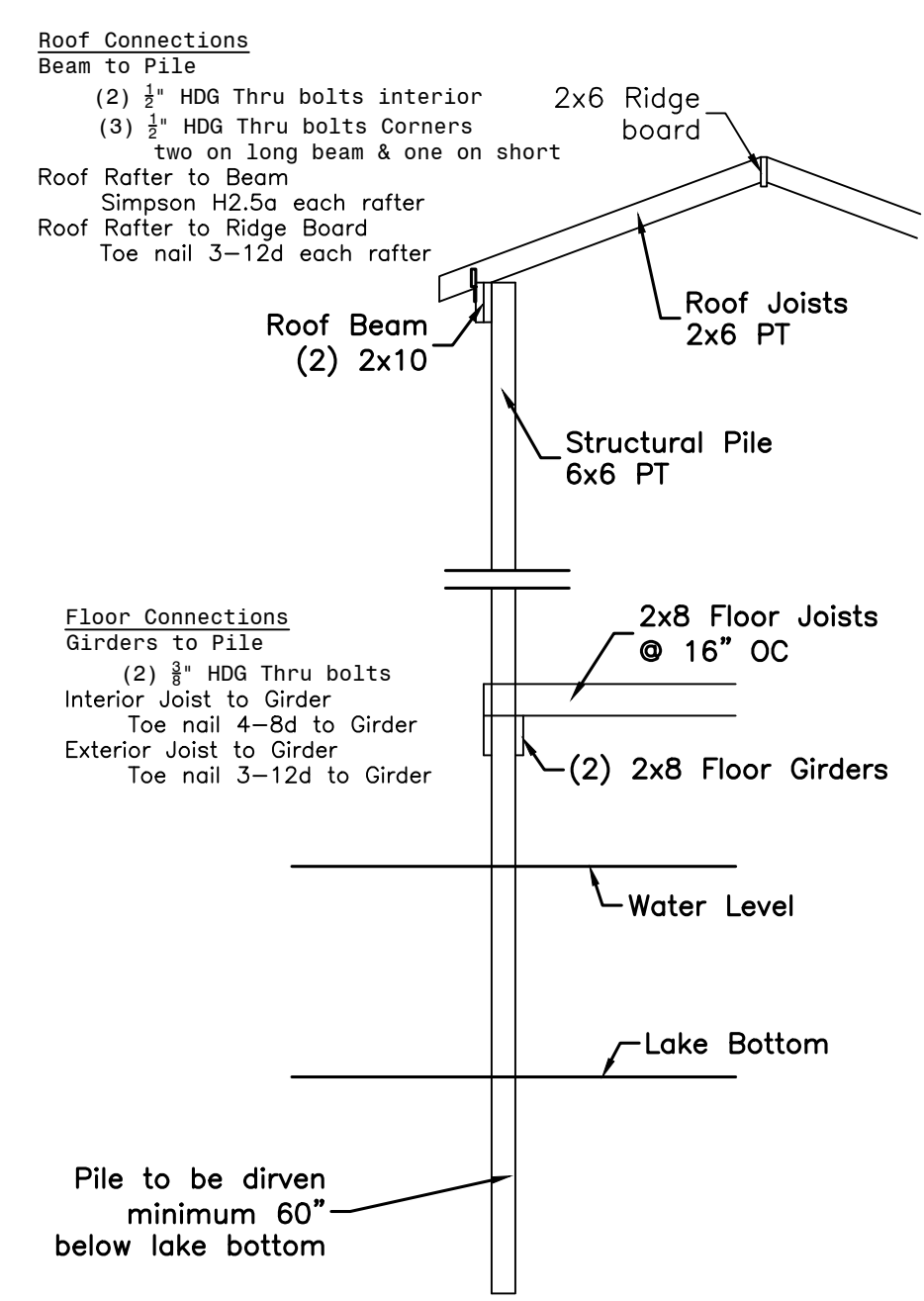
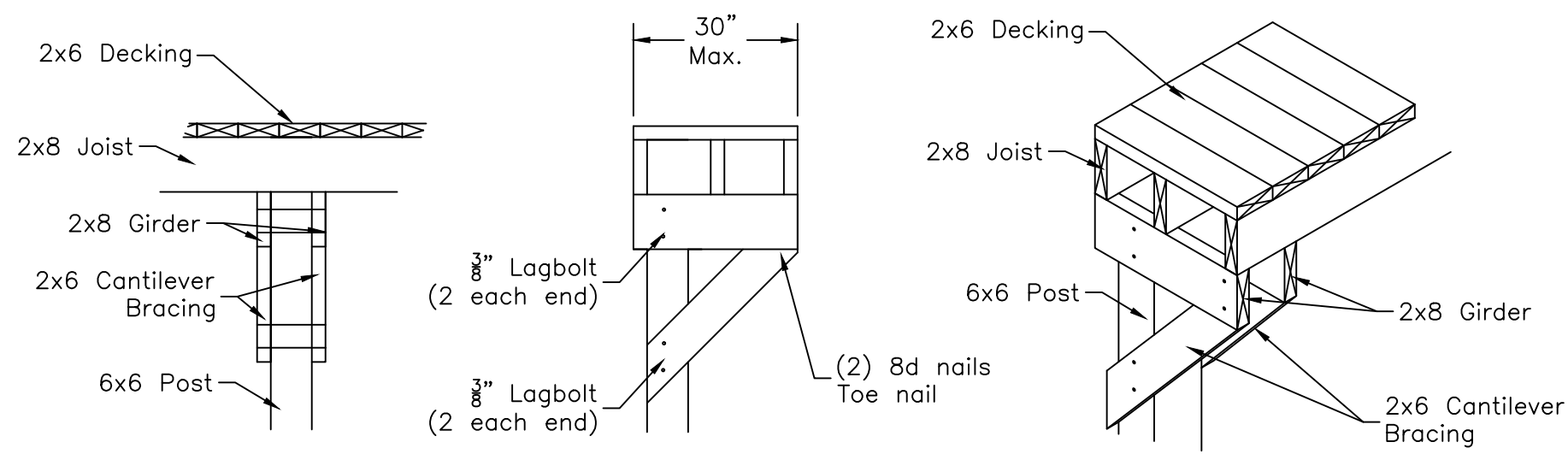
Staff Recommendation:

Approval.

Reviewed By: Megan Johansson and Matthew Noonon





[illegible]

Unroe Engineering, Inc
Civil Engineering/Planning/Scientific Evaluation
PO Box 690942, Orlando, FL 32869-0942
Business Authorization Number - EB 00006579 ph (407) 299-0650

Roof Plan & Elevations

Randolph Residence Dock
741 Virginia Dr, Winter Park, FL 32789

DP	Drawn
DP	Checked
per plan	Scale
11/4/20	Date
dockc3	File

Dwg. No.

C3

3 of 3

I, Peggy M. Evans, owner of 761 Virginia Drive, Winter Park, have reviewed my adjacent property owner's proposed boat dock construction site plan and have no objection to the project, which will have a 8' side setback.

Peggy M. Evans
(Signature)

11/18/2020
(Date)

Peggy M. Evans
(Print Name)

ACKNOWLEDGEMENT:

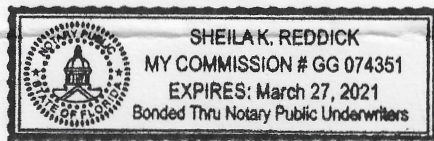
STATE OF FLORIDA

COUNTY OF Orange

The foregoing instrument was acknowledged before me this 11th day of November 2020, by

Peggy M. Evans.

(NOTARY SEAL)



Sheila K. Reddick
(Signature of Notary Public – State of Florida)

Personally Known ☒ OR Produced Identification ☐

Type of Identification Produced
