



Board of Adjustments regular meeting

February 16, 2021 at 5:00p.m.

City Hall | Commission Chambers
401 S. Park Ave. | Winter Park, Florida

Hybrid Meeting

Register Online: cityofwinterpark.org/live-broadcasts

Agenda Items

Opening & public comments

Approval

Minutes for the January 19, 2020 Meeting

New business

1. Request of Christopher & Teresa Mairn, for a variance to allow construction of a second story addition to be located 9.58 feet from the side lot line, in lieu of the required setback of 16 feet.
Located at: 1219 Via Estrella Zoned: R-1AA
2. Request of Leo Alvarez, for a variance to allow construction of a patio/outdoor kitchen accessory structure with low walls to be located 2.5 feet from the side lot line, in lieu of the required setback of 5 feet.
Located at: 2961 Parkland Drive Zoned: R-1A
3. Request of Rene Fernandez, on behalf of Oxana Daniels for a variance to allow re-construction of a detached storage shed to living space with an addition that includes a bathroom, located 11 feet from the rear lot line, in lieu of permitted rear setback of 25 feet.
Located at: 2028 Summerfield Rd Zoned: R-1A
4. Request of David Auerbach, for a variance to allow the construction of a one story detached carport with a rear setback of 3 feet, in lieu of the required setback of 10 feet.
Located at: 731 W Canton Ave Zoned: R-1A
5. Request of Matthew Anderson on behalf of Benjamin & Christina Lalikos, for a variance to allow the construction of a 5 feet high wall setback 5 feet from the east street-side lot line, in lieu of the minimum setback of 10 feet.
Located at: 240 E Rockwood Way Zoned: R-1AA
6. Request of Kelly Carr on behalf of Justin Loughran, for a variance to allow the construction of an addition to be located 25 feet from the front lot line and 9.3 from the side lot line, in lieu of the required front setback of 30 feet and required side setback of 10 feet.
Located at: 2244 Brookshire Ave Zoned: R-1A

7. Request of Jennifer Sorrentino and Hannibal Square Community Land Trust for variances to convert the garage into a guesthouse with a side setback of 5 feet and a rear setback of 10 feet, in lieu of the required setbacks of 7 feet and 25 feet respectively and to allow removal of 2 parking spaces within existing garage leaving less than 22 feet of back up distance for access within the remaining parking area.

Located at: 651 Israel Simpson Ct.

Zoned: R-2

8. Request of Jose Campuzano, on behalf of Patricia Neidlinger, for a variance to allow construction of a room addition to be located 20.75 feet from the rear lot line, in lieu of the required setback of 25 feet.

Located at: 683 Dunblane Drive

Zoned: R-1A

Adjourn

appeals & assistance

“If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.” (F.S. 286.0105).

“Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk’s Office (407-599-3277) at least 48 hours in advance of the meeting.”



Board of Adjustments regular meeting

February 16, 2021 at 5:00p.m.

Hybrid Meeting

Agenda Items

New business

1. Request of Christopher & Teresa Mairn, for a variance to allow construction of a second story addition to be located 9.58 feet from the side lot line, in lieu of the required setback of 16 feet.

Located at: 1219 Via Estrella

Zoned: R-1AA



401 South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

**Building &
Permitting
Services**

TO: BOARD OF ADJUSTMENTS MEMBERS
FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS
DATE: February 16, 2021
SUBJECT: VARIANCE REQUEST by Christopher & Teresa Mairn, 1219 Via Estrella

The applicants are requesting a variance to allow construction of a second story addition to be located 9.6 feet from the side lot line whereas the required setback is 16 feet to a second story addition.

The proposed second floor is proposed in order to create a new master bath and closet areas and will be located directly above an existing first floor sunroom. Although the proposed addition has a gross area of 200 square feet various parts of the home are being removed that result in a smaller net increase of area. Those items being removed include a chimney, a bay window and a rear staircase, which reduces the net area increase to 143 square feet.

A previous similar second story addition variance at 2532 Fifeshire Drive was denied on 2/20/2020 with a slightly smaller side setback of 7.9 feet, where 9 feet was the required setback for the first floor and 12 feet to the second floor.

However, the Board did approve an alternate request recommended by a Board member as follows:

Alternately, the Board of Adjustments approves a single story addition, located 7.9 feet from the east line, in lieu of the required side setback of 9 feet and without articulation. The installation of two windows in the east wall of the addition is a condition of this approval.

This approved alternate request would permit the applicant to build a one story addition that projects into the rear yard instead of the second floor addition proposal, however the applicant has not pursued building this one story addition due to the need to preserve more open yard space for their family.

Images of this previous proposal are included.

A letter of support was provided with signatures of two residents who directly abut this property on each side and three residents directly across the street.



PLAN SNAPSHOT REPORT BOA-2021-0023 FOR CITY OF WINTER PARK

Plan Type: Board of Adjustments	Project:	App Date: 01/04/2021
Work Class: Board of Adjustments/Variance Application	District: Winter Park	Exp Date: NOT AVAILABLE
Status: Fees Paid	Square Feet: 0.00	Completed: NOT COMPLETED
Valuation: \$0.00	Assigned To: Wiggins, George	Approval Expire Date:

Description: Article III Zoning of the Land Development Code of Winter Park cites the side setback for two-story homes, measured to the second story wall, shall be 35 percent of the lot width in feet equally divided on each side of the home, except the second floor side setback is ten feet for lots which are 60 feet wide or less. Specific to the property in question, the required setbacks are 11' to the 1st floor and 16' to the 2nd floor. We are seeking a variance, for the 2nd floor side setback only, to 9'7". Our variance request is for relief of the 2nd floor northeast side setback to a total of 9.61 ft. This request does not alter the existing footprint, allows for a consistent 2nd floor architectural, structural and functional elevation (like the west side of the property), and limits the proposed addition roof height to 24'-5" (shorter than center of the house) to less impede on neighbor.

Parcel: 302132878803120	Main	Address: 1219 Via Estrella Winter Park, FL 32789-2705	Main	Zone:
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Applicant Christopher A Mairn 1219 Via Estrella Winter Park, FL 32789 Mobile: (140) 734-2991 x3	Owner Christopher A Mairn 1219 Via Estrella Winter Park, FL 32789 Mobile: (140) 734-2991 x3
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Plan Custom Fields

Zoning	R-1AA and R-1A	Section	58-66	Subsection	
Is the property on waterfront?	No	Is this property on historic registry or district?	No	Describe variance	<p>Article III Zoning of the Land Development Code of Winter Park cites the side setback for two-story homes, measured to the second story wall, shall be 35 percent of the lot width in feet equally divided on each side of the home, except the second floor side setback is ten feet for lots which are 60 feet wide or less. Specific to the property in question, the required setbacks are 11' to the 1st floor and 16' to the 2nd floor. We are seeking a variance, for the 2nd floor side setback only, to 9'7".</p> <p>Our variance request is for relief of the 2nd floor northeast side setback to a total of 9.61 ft. This request does not alter the existing footprint, allows for a consistent 2nd floor architectural, structural and functional elevation (like the west side of the property), and limits the proposed addition roof height to 24'-5" (shorter than center of the house) to less impede on neighbor.</p>
How long have you owned the property?	Purchased and occupied the property since June 6,	How long have you occupied the property?	Purchased and occupied the property since June 6,	Special Condition	The home was built in 1997 with a Florida sun-room without a second story. We would

PLAN SNAPSHOT REPORT (BOA-2021-0023)

like to expand above the existing sun-room for additional space and balance the front elevation. Beyond the desire to expand and elevation imbalance, the construction method (flat roof) has also caused water penetration issues requiring replacement. As such, we would like to incorporate this into home renovation project.

Rights/Priv

1. Based on the change in the setback requirements of 2010, we would be unable to align the entire northeast side of the property to the existing 2nd story height. This directly prohibits and deprives the realization of:
 - * Utilization of roofed/air-conditioned space for family of six (6)
 - * Increased property value that accompanies additional space
 - * Ability to have a balanced architectural front elevation
2. Other homes in the same zoning district have been granted approval for side variances

Hardship

1. The side setback requirements have changed since the home was built in 1997.
 - a. In 2010 a new set of stricter side setbacks were adopted based on lot width.
 - b. The side setbacks are now a % of the lot width and are set up on a scale which requires that they be larger for a home with a larger gross area.
2. Inability to expand our home in other directions due to irregular lot shape
 - a. Side setbacks- See above
 - b. Rear setback- The current pool was installed when the more lenient setbacks were enforced. Unfortunately, it essentially blocks adding an addition to the rear of the property (complying to the current setbacks).

Limited Variance We would welcome the opportunity to collaborate with the City on a mutually acceptable solution.

Attachment File Name	Added On	Added By	Attachment Group	Notes
1219 Via Estrella - Plans and Elevations.pdf	01/04/2021 11:26	Mairn, Christopher		Uploaded via CSS
1219 Via Estrella- Property Survey.pdf	01/04/2021 11:26	Mairn, Christopher		Uploaded via CSS
Mairn- Neighbor Consent.pdf	01/04/2021 11:26	Mairn, Christopher		Uploaded via CSS
Mairn Variance Application- 1219 Via Estrella- 12142020.pdf	01/04/2021 11:26	Mairn, Christopher		Uploaded via CSS
Mairn- Winter Park Board of Adjustment Variance Request-12152020.pdf	01/04/2021 11:26	Mairn, Christopher		Uploaded via CSS
Signature_Christopher_Mairn_1/4/2021.jpg	01/04/2021 11:26	Mairn, Christopher		Uploaded via CSS

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00006394	Residential Variance Application Fee	\$200.00	\$200.00
Total for Invoice INV-00006394		\$200.00	\$200.00
Grand Total for Plan		\$200.00	\$200.00

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Board of Adjustments Review v.1	Approved	01/04/2021	01/06/2021		No	No

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Building Official Review	Building & Permitting Services	Wiggins, George	Approved	01/04/2021	01/06/2021	01/04/2021

Workflow Step / Action Name	Action Type	Start Date	End Date
Application Completeness Check v.1			01/04/2021 11:50
Confirm Application Complete v.1	Generic Action		01/04/2021 11:50
Review v.1			
Board of Adjustments Review v.1	Receive Submittal	01/04/2021 0:00	

**CITY OF WINTER PARK
VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT**

Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received _____
Assigned _____
Date of Hearing _____

Applicant: _____

Owner: _____

(Address)

(Address)

(City, State) (Zip)

(City, State) (Zip)

(Phone – Home)

(Phone – Home)

(Phone – Work or Cell)

(Phone – Work or Cell)

(Email Address)

(Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section _____, Paragraph _____, Zoning _____.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of property _____

Legal description of property _____

Describe variance request _____

This section may be left blank for completion by city staff
Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.

Variance Application
Page 2 of 2

What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

How long have you owned the property? _____

How long have you occupied the property? _____

What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?

Signature of Applicant

Date

Name of Applicant (PRINT)

Variance app 12/00 - Instructions, and setback sheet - attached.



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address: _____

Lot width²: _____

Submitted by: _____

Lot area³: _____

	Maximum % Allowed ⁴	Existing Area ¹¹	Additional Proposed Area ¹¹	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.	2 story - 50%				
	1 story - 60%				
FLOOR AREA RATIO (F.A.R.)^{5,6,7} For one and two story bldgs (include 1st & 2nd floors, garages/carports, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁸ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁹ .	Lots < 11,600 sf: Use 38% Base FAR or w/ increased side setbacks: 43% Max FAR				
	Lots 11,600 sf to 13,600 sf Use 4,500 sf Base area & 5,200 sf Maximum area				
	Lots > 13,600 sf Use 33% Base FAR or w/ increased side setbacks: 38% Max FAR				
SCREEN POOL ENCLOSURE	8% ¹⁰				

	Minimum % Required	Existing Area ¹¹	Landscape Area Reduced ¹¹	New Total Area	Minimum Required Area
FRONT YARD LANDSCAPE COVERAGE Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious). Front Lot Area:	50%				

NOTES:

- Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
- Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director. For a proposed home, determine the front setback as described on page 2.
- Submerged lands or land across the street shall not be included.
- Percentage based on the lot area.
- One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
- Area forming a room behind 2nd floor walls shall be included in the gross floor area.
- See page 3 on how to achieve maximum F.A.R.
- Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
- The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area.
- Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.

¹¹ These columns only apply to existing homes.

From: Chris Heeley <chris@daedalusdesignstudio.com>

Sent: Wednesday, February 10, 2021 9:24:09 AM

To: Mairn, Chris <Chris.Mairn@fisglobal.com>

Subject: EXTERNAL: 1219 Via Estrella Revised Setback Coverage Worksheet

I updated the Setback/Coverage worksheet for both the Impervious lot coverage and the Floor Area Ratio calculations. (See attached sheet)

For reference, below is the breakdown/totals and the explanation of why the existing gross floor area is not 3830 using the Winter Park F.A.R. guidelines.

Impervious Lot Coverage:

Here are the updated and verified totals:

Existing: **4,930**

Additional Proposed: **231**

New Total Area: **5,161**

Maximum Allowed (50% of lot area) **5,347**

Floor Area Ratio:

Like I mentioned yesterday, the existing gross floor area (as calculated using Winter Park's guidelines for F.A.R.) is not 3830 as listed on the Orange County Property Appraiser's website because of the following reasons:

1. The Orange County total does not include counting the staircases and double height space on both floors which is required in the Winter Park F.A.R. calculations.
2. The Orange County total is including the area of the front porch which is exempt from the Winter Park F.A.R. calculations.
3. The Orange County total is including the unfinished attic space at the front two dormers.
4. The Orange County total does not include the square footage of the existing Bedroom 5. They overlooked adding this area to the total when doing their calculations.

My assumption is that Orange county goofed and should have added the square footage of Bedroom 5 and not added the square footage of the attic space to the gross floor area total.

Here is a breakdown of my Floor Area Ratio Calculations using Winter Park's guidelines:

Existing

Existing First Floor Gross Floor Area (excluding front porch which is less than 400 sq. ft.) : 2181 sq. ft.

Existing Second Floor Gross Floor Area (including double height spaces and counting stairs again): 1735 sq. ft.

Existing Total Gross Floor Area: **3,916 sq. ft.**

Additional Proposed Areas and Removed Areas

New Master Bath Suite: +200 sq. ft.

Deleted Chimney bump-out: -4.5 sq. ft.

Deleted Bay Window: -15.5 sq. ft.

Back Staircase deleted and second floor space above deleted stair not used (attic/no floor space): -37 sq. ft.

Total change in Gross Square Footage: **143 sq. ft.**

New Total Gross Floor Area

4,059 sq. ft.

Maximum Allowed Area

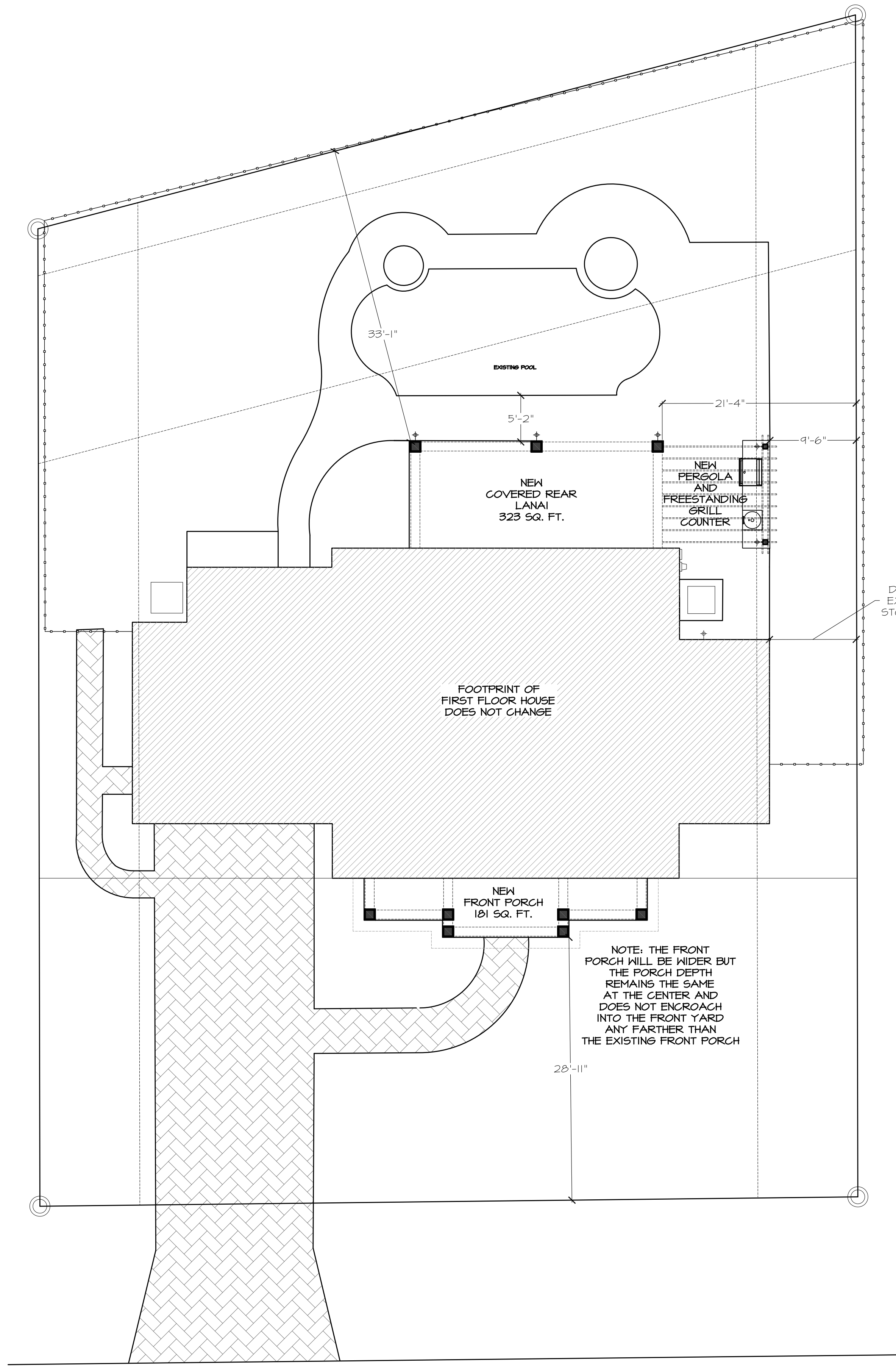
38% of Lot Area: $10,694 \times .38 = 4,063$ sq. ft.

SETBACKS (complete boxes A and B first)

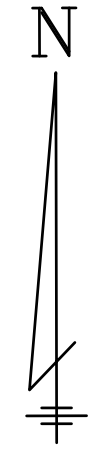
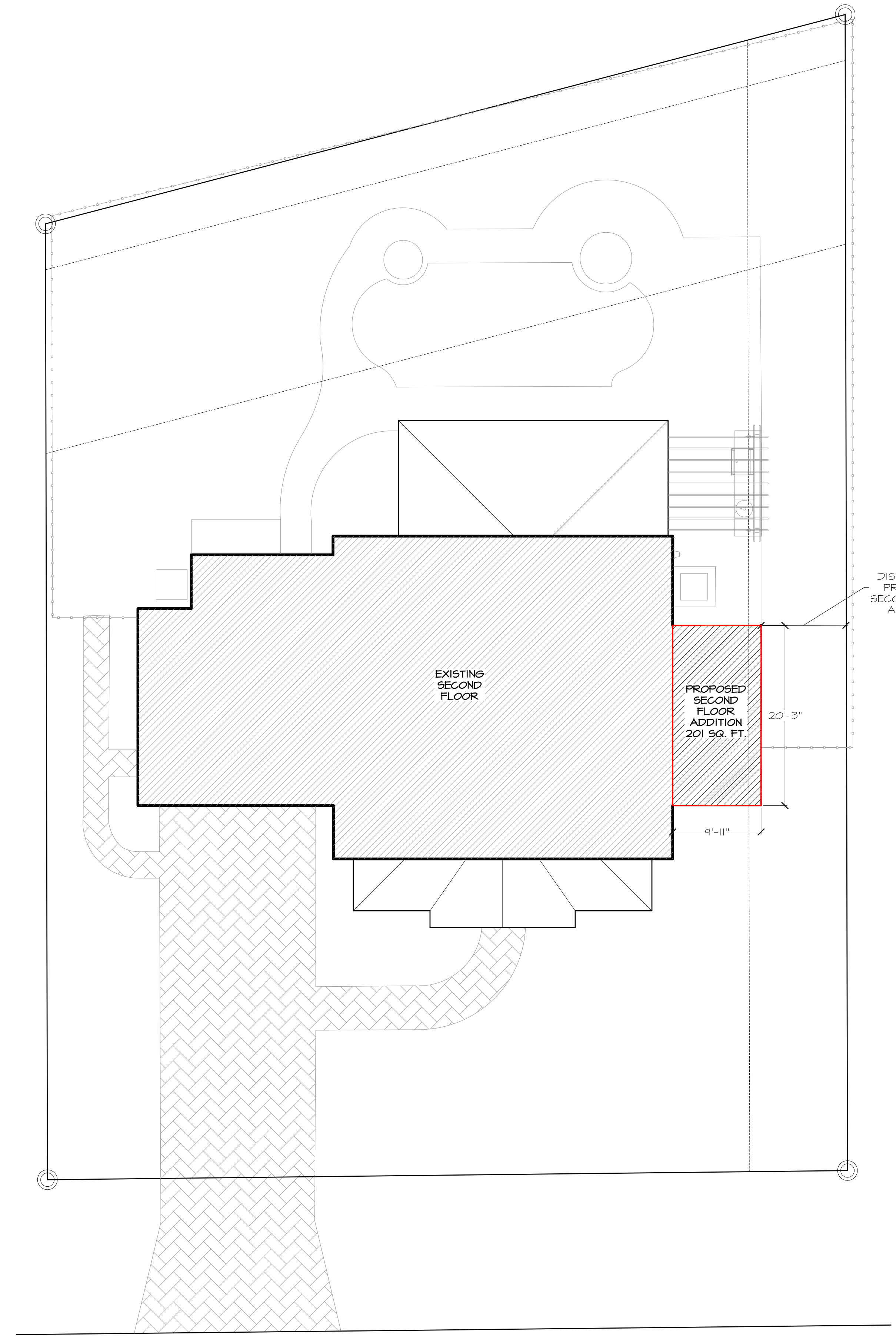
	Minimum Allowable Dimensions			Existing ¹³	Proposed
FRONT	Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.				
SIDES ^{1,2} <small>(see other side setback options on pg 4)</small>	1st Floor <small>see pages 3 & 4</small>	See pages 3&4	A	Left	Right
	2nd Floor		B	Left	Right
REAR ^{1,3,4}	1st Floor		25 ft.		
	2nd Floor		35 ft⁵		
	Lakefront		see note 6		
CORNER LOT <small>CORNER LOT CORNER LOT CORNER LOT</small>	1st Floor <small>1ST FLOOR</small>	Lot width ≤ 65 ft.	15 ft.		
		Lot width > 65 ft⁷	20 ft.		
	2nd Floor <small>2ND FLOOR</small>	Lot width ≤ 65 ft.	15 ft.		
		Lot width > 65 ft⁷	22.5 ft.		
BUILDING HEIGHT ^{8,9,10,11,12}	30 ft. - 35 ft. plus 2 ft. or 40 ft. (see notes 11 & 12)				

Notes:

1. Any building wall that exceeds 12 ft. in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
2. Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft. and interior side setback is 5 ft. minimum (no gable end allowed) for garages up to 600 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
3. Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. For lots that are 75ft deep or less a first floor setback of 10ft and a second floor setback of 25ft is allowed. For lots which are 105ft deep or less a first floor setback of 15ft and a second floor setback of 30ft is allowed.
4. Accessory buildings: garage/carport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. . Other accessory buildings used for habitation shall meet setbacks of the main residence.
5. The rear setback may be reduced to 25 ft. for two-story components when those consist of a second story loft or mezzanine that is within the normal scale and 18-ft max height of a typical one-story structure.
6. Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft. or 50 ft., whichever is greater, measured from ordinary high water line.
7. Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft. with 1st and 2nd floor setbacks of 25 ft. may reduce the rear setback by 5 ft. on each floor.
8. Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
9. No building or portion thereof shall exceed 30 ft. in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft. additional building height.
10. Accessory building that exceeds 18 ft. in height shall meet the same setbacks as the principal building on the property.
11. Properties or lots with at least 80 ft. of width at the building line are permitted to have a building height of 35 ft. if the side setbacks are increased to 20 ft. at 30 ft. above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft. of additional building height.
12. Properties or lots exceeding 50,000 sq.ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft. if side setbacks are increased to 35 ft. to the portion of the roof over 30 ft. in height.
13. This column only applies to existing homes.



○ Proposed Site Plan at First Floor
SCALE: 1/8" = 1'-0"



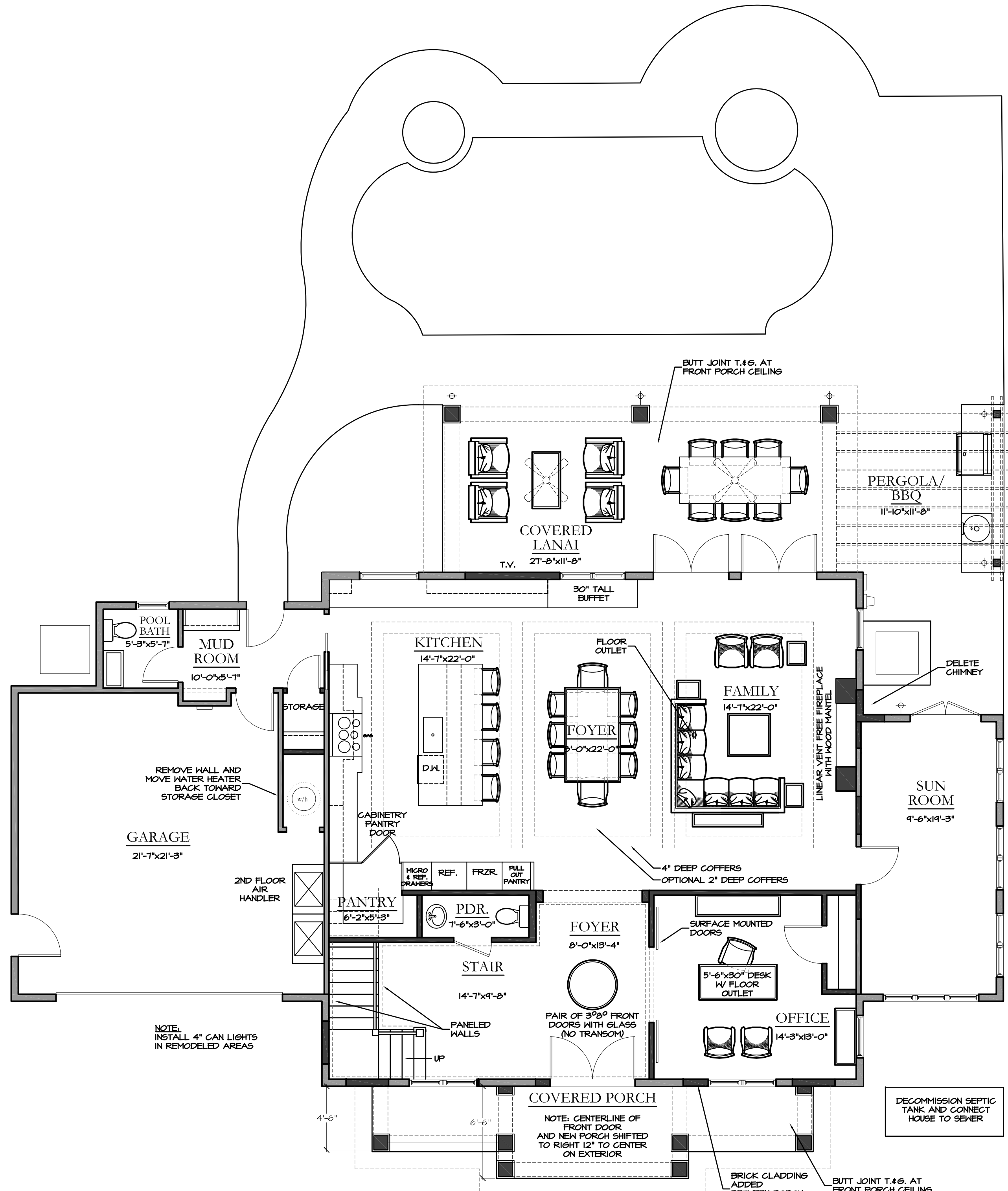
○ Proposed Site Plan at Second Floor
SCALE: 1/8" = 1'-0"

DATE ISSUED:	12.10.20
REVISION DATES:	
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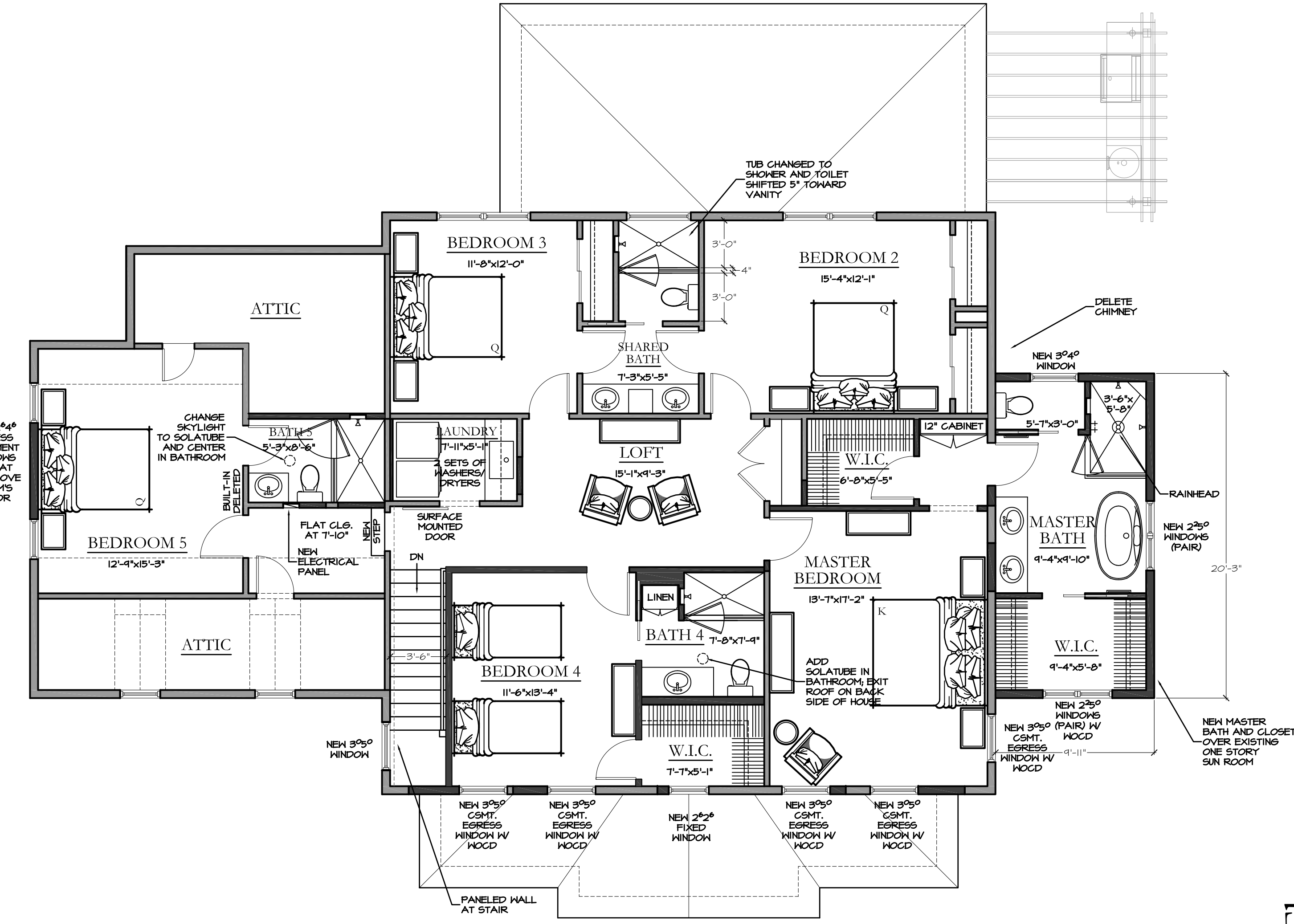
First Floor and Second Floor
Site Plans
SCALE: 1/8" = 1'-0"

Mairn Remodel/Addition
1219 Via Estrella
Winter Park, FL 32789

DAEDALUS
DAEDALUS DESIGN STUDIO LLC.
120 GENE STREET, SUITE 300
WINTER PARK, FL 32789
PHONE: 407.897.0960 FAX: 407.897.1541



○ Remodel/Addition Plan at First Floor
SCALE: 3/16" = 1'-0"



○ Remodel/Addition Plan at Second Floor
SCALE: 3/16" = 1'-0"

REMODEL/ADDITION CALCULATIONS:	
LOT AREA:	10,694 S.F.
IMPERVIOUS SURFACE AREA (50% ALLOWED=5347):	5183 SQ. FT. IMPERVIOUS = 48%
FRONT YARD IMPERVIOUS SURFACE AREA (50% OF 2610 SQ. FT. ALLOWED = 1305):	648 SQ. FT. FRONT YARD IMPERVIOUS SURFACE AREA = 25%
ALLOWED GROSS FLOOR AREA (38% OF LOT ALLOWED=4063):	FRONT PORCH = 164 SQ. FT. (400 SQ. FT. EXEMPT) REAR PORCH = 323 SQ. FT. (500 SQ. FT. EXEMPT) HOUSE = 4054 SQ. FT.
LOT SETBACKS	
FRONT:	BASED ON AVERAGE OF ADJACENT LOTS THIS REMODEL DESIGN WIDENS PORCH BUT DEPTH REMAINS THE SAME
FIRST FLOOR SIDE SETBACKS:	11'-0"
SECOND FLOOR SIDE SETBACKS:	16'-0"
FIRST FLOOR REAR SETBACK:	25'-0"
SECOND FLOOR REAR SETBACK:	35'-0"

DATE ISSUED:	
12.10.20	
REVISION DATES:	
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First Floor and Second Floor
Remodel Plans

SCALE: 3/16" = 1'-0"

Maim Remodel/Addition

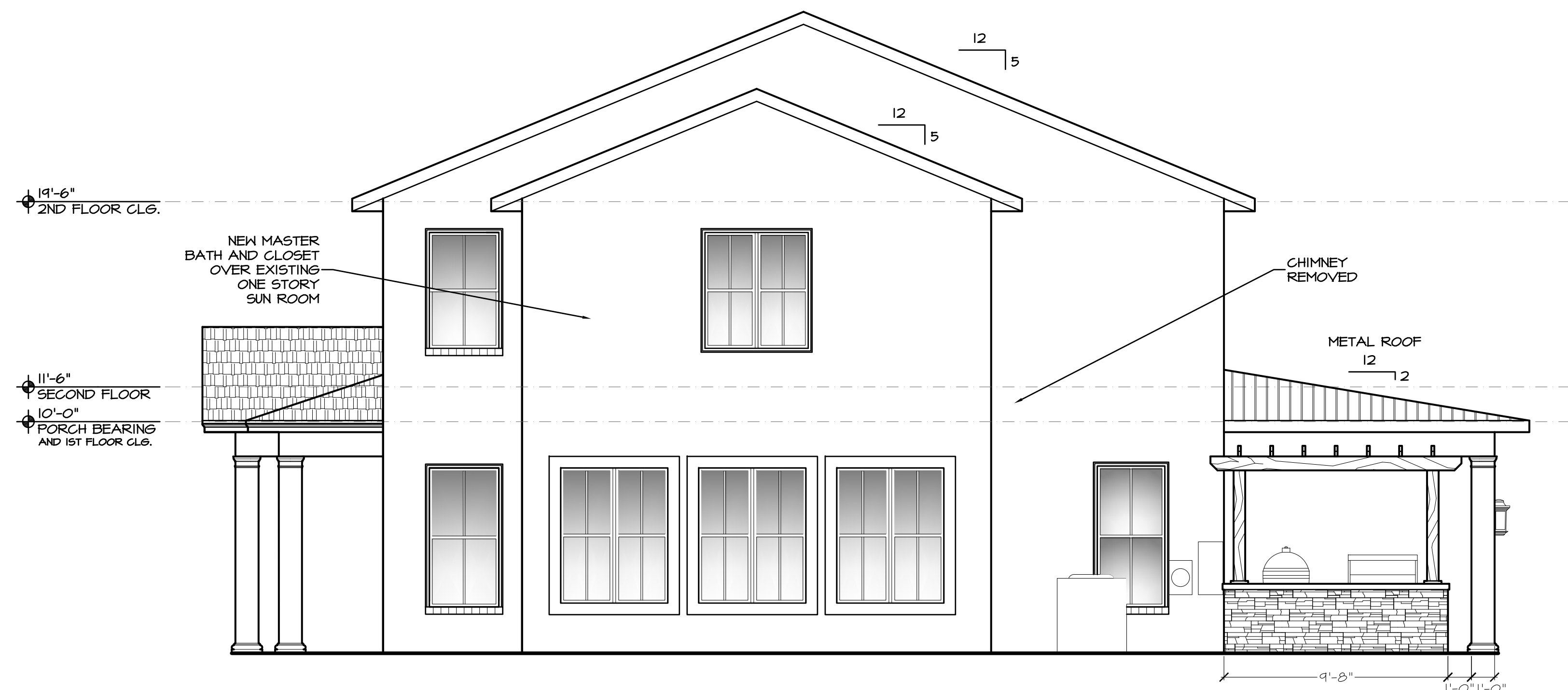
1219 Via Estrella
Winter Park, FL 32789

DAEDALUS
DAEDALUS DESIGN STUDIO LLC.
1200 GENESEE STREET, SUITE 300
WINTER PARK, FLORIDA 32789
PHONE: 407.897.9960 FAX: 407.897.3541

▲	----
▲	----
▲	----
▲	----



○ Remodel Front Elevation
SCALE: 1/4" = 1'-0"



○ Remodel Right Elevation
SCALE: 1/4" = 1'-0"

Exterior Elevations SCALE: 1/4" = 1'-0"

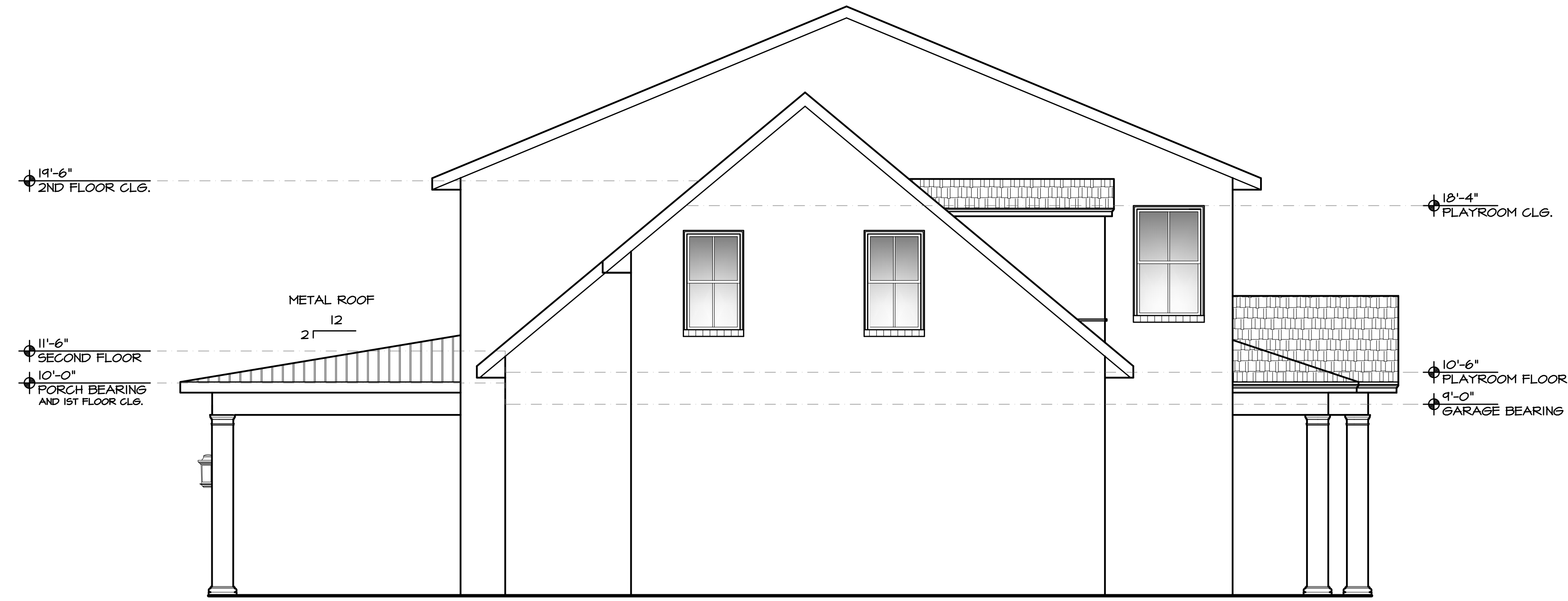
Mairn Remodel/Addition

1219 Via Estrella
Winter Park, FL 32789

DAEDALUS
DAEDALUS DESIGN STUDIO LLC.
420 GENE STREET, SUITE 200
WINTER PARK, FL 32789
PHONE: 407.897.8960 FAX: 407.897.3541



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○ Remodel Left Elevation
SCALE: 1/4" = 1'-0"

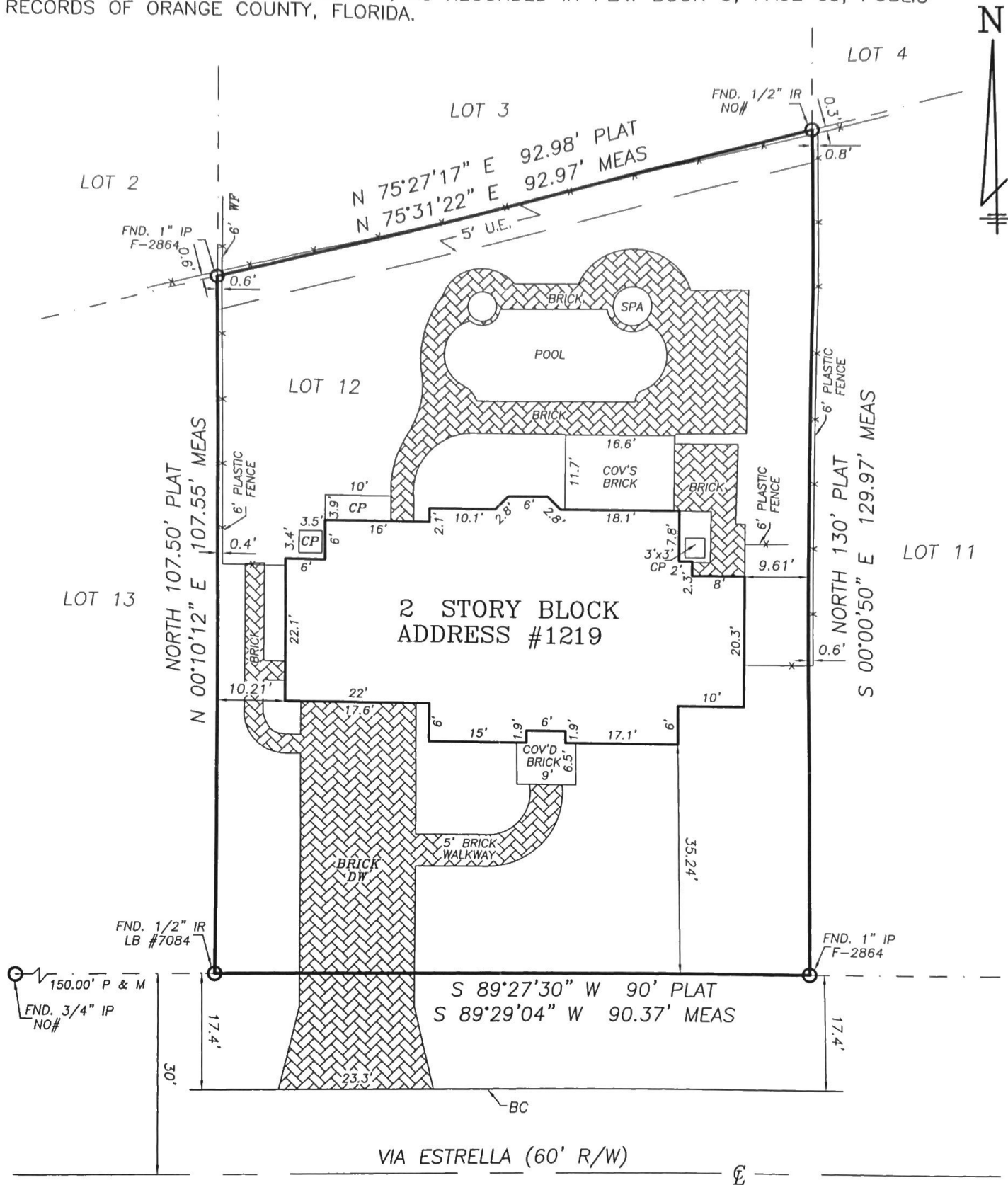


○ Remodel Rear Elevation
SCALE: 1/4" = 1'-0"



MAP OF SURVEY DESCRIPTION

LOT 12, BLOCK C, TUSCANY TERRACE, AS RECORDED IN PLAT BOOK U, PAGE 69, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.



DF#OCU-69-BLKC-LOT12

NOTE: UNDERGROUND UTILITIES AND FOUNDATIONS HAVE NOT BEEN SHOWN.

BOUNDARY SURVEY CERTIFIED TO: CHRISTOPHER ANDREW AND TERESA ESPERANZA MAIRN; FBC MORTGAGE; OLD REPUBLIC NATIONAL TITLE INSURANCE CO.; DOWNING LAW OFFICES, P. A.

FIELD DATE: JUNE 22, 2018

SCALE: 1" = 20' | DRAWN BY: AP/AR

THIS BUILDING/LOT IS IN FLOOD ZONE X, BASED ON FLOOD INSURANCE RATE MAP, NO.120188 0255 F, CITY OF WINTER PARK, FLORIDA.

BEARING STRUCTURE BASED ON: THE NORTH RIGHT OF WAY LINE OF VIA ESTRELLA.

- LEGEND**
- BC - BACK OF CURB
 - CALC - CALCULATED
 - CL - CENTERLINE
 - CA - CENTRAL ANGLE
 - CLF - CHAIN LINK FENCE
 - CONC - CONCRETE
 - CBW - CONCRETE BLOCK WALL
 - CM - CONCRETE MONUMENT
 - CP - CONCRETE PAD
 - CW - CONCRETE WALKWAY
 - COVD - COVERED
 - DESC - DESCRIPTION
 - DW - DRIVEWAY
 - DE - DRAINAGE EASEMENT
 - ESMT - EASEMENT
 - E/P - EDGE OF PAVEMENT
 - FFE - FINISHED FLOOR ELEVATION
 - FND - FOUND
 - IP - IRON PIPE
 - IR - IRON ROD
 - L - ARC LENGTH
 - LB - LICENSE BUSINESS
 - MEAS - MEASURED
 - MS - METAL SHED
 - N&D - NAIL & DISK
 - # - NUMBER
 - OHE - OVERHEAD ELECTRICAL
 - OL - ON LINE
 - POB - POINT OF BEGINNING
 - POC - POINT OF COMMENCEMENT
 - PC - POINT OF CURVATURE
 - PP - POWER POLE
 - P&M - PLAT & MEASURED
 - R - RADIUS
 - R/W - RIGHT OF WAY
 - TYP - TYPICAL
 - UE - UTILITY EASEMENT
 - UB - UTILITY BOX
 - WF - WOOD FENCE
 - Y - GUY WIRE ANCHOR

REVISIONS:

M.A.P.
Land Surveying, Inc.



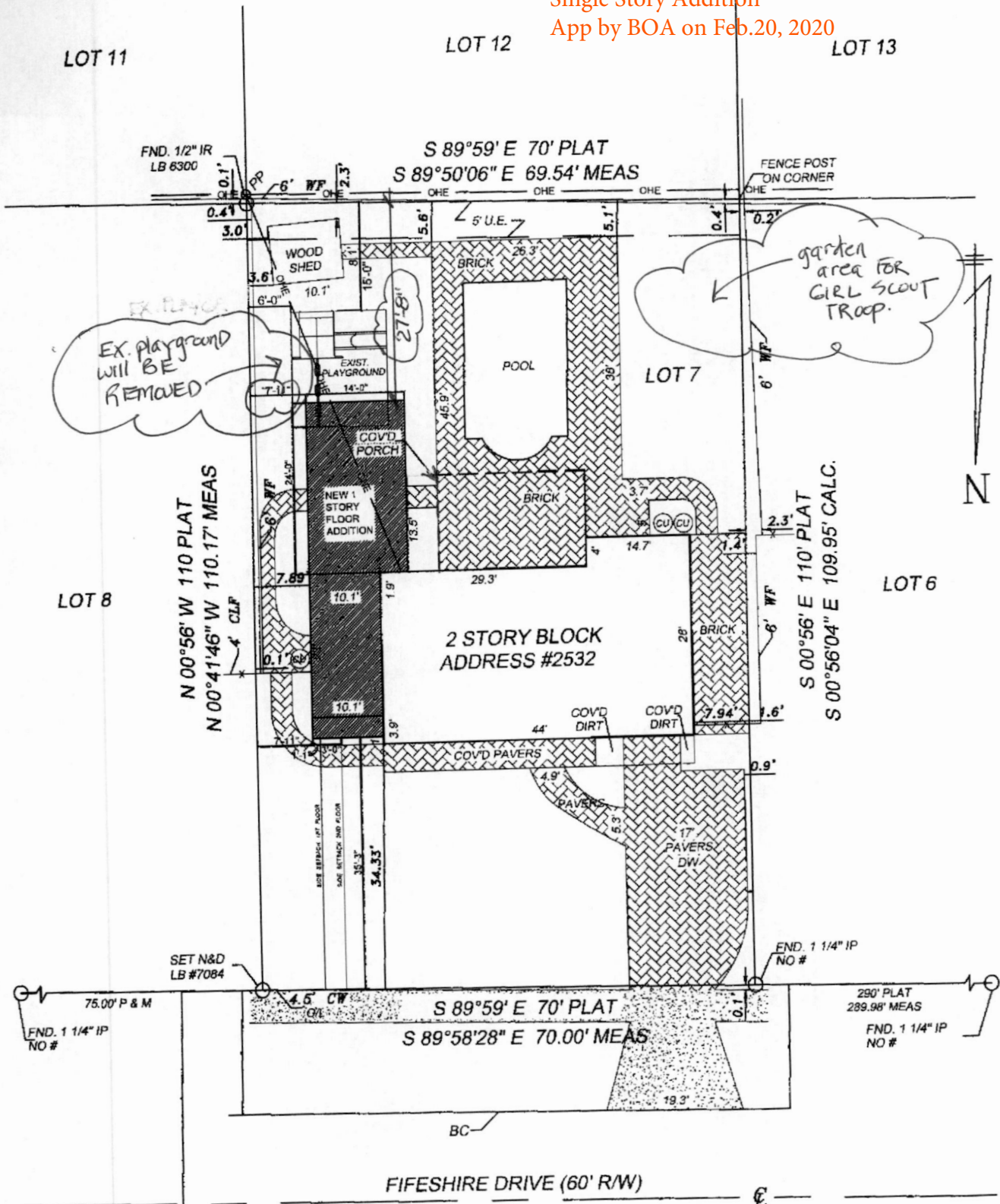
4515 Curry Ford Rd.
Suite C
Orlando Fl. 32812
PH. 407 896 4557
FAX 407 277 3778

E-Mail: Maplandsurvey@cfl.rr.com

LB #7084

Andrew Perry
Andrew Perry, P.S.M.
Professional Surveyor & Mapper #6124
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL, OR THE ELECTRONIC SIGNATURE AND SEAL OF THIS FLORIDA LICENSED SURVEYOR AND MAPPER.

For reference only
2532 FIFESHIRE DR
 Single Story Addition
 App by BOA on Feb.20, 2020



1-STORY
 EXISTING SURVEY W/ PROPOSED ADDITION
 SCALE: 1" = 20'-0"



City of Winter Park
Board of Adjustments
City Hall
401 South Park Avenue
Winter Park, Florida 32789

Dear the City of Winter Park Board of Adjustments:


This letter is to affirm support of the variance request, by Chris and Teresa Mairn, at 1219 Via Estrella. We have been briefed on their intent to renovate their home which includes a 2nd floor addition, on the east side of their house, above the existing sunroom footprint.

The Mairn's proposal is seeking a variance for an eastern side setback allowance of 9.61ft", for the second-floor addition. The current side setback allowances are 11' for the first floor and 16' for the second floor.

We understand that this will require a variance to the current code that will allow the encroachment for the second floor, side setback, and we consent and support the variance.

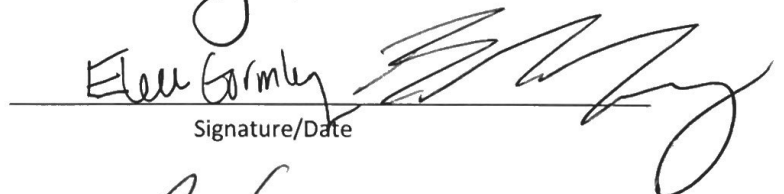
Sincerely,

Mr. George R. Coe
1231 Via Estrella, Winter Park, Florida 32789



Signature/Date

Mr. and Mrs. Brian and Elena Gormley
1222 Via Estrella Winter Park, Florida 32789



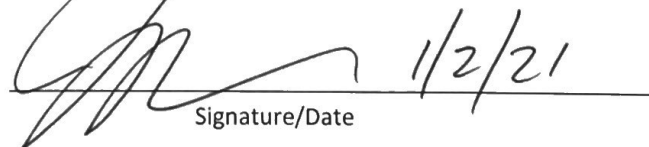
Signature/Date

Mr. and Mrs. Sean and Lauren Bogle
1230 Via Estrella, Winter Park, Florida 32789



Signature/Date

Mr. and Mrs. W. Rogers and Hilary Turner
1214 Via Estrella, Winter Park, Florida 32789



Signature/Date 1/2/21

Mr. and Mrs. Zoltan and Maria Kecskes
1211 Via Estrella, Winter Park, Florida 32789



Signature/Date 1/2/21



WINTER PARK BOARD OF ADJUSTMENT VARIANCE REQUEST

1219 VIA ESTRELLA

TABLE OF CONTENTS

- Contact Information
- Variance Description
- Current State
- Proposed Future State
 - Site Plan
 - Floor Plan
 - Elevations
- Variance evaluation Criteria Analysis
- Supporting Documentation
 - FAR and Setback Calculations
 - Neighbor Consent



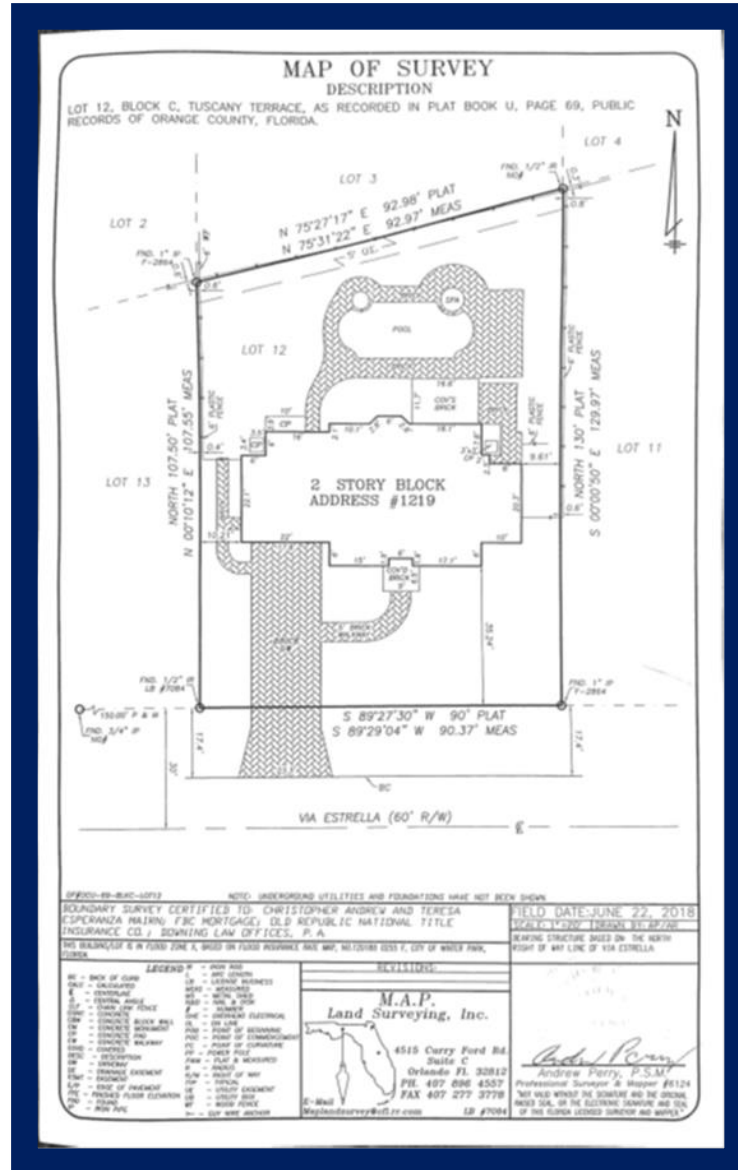
CONTACT INFORMATION

- Applicant/Owner: Christopher (Chris) and Teresa Mairn
- Address: 1219 Via Estrella
- City, State: Winter Park, Florida
- Zip: 32789
- Phone – Cell: 407-342-9913 or 407-202-9553
- Email Address: Chris.Mairn@fisglobal.com
Teresa.Mairn@adventhealth.com
- Legal Description: TUSCANY TERRACE U/69 LOT 12 BLK
- Ownership: Owned and occupied since June 6, 2018

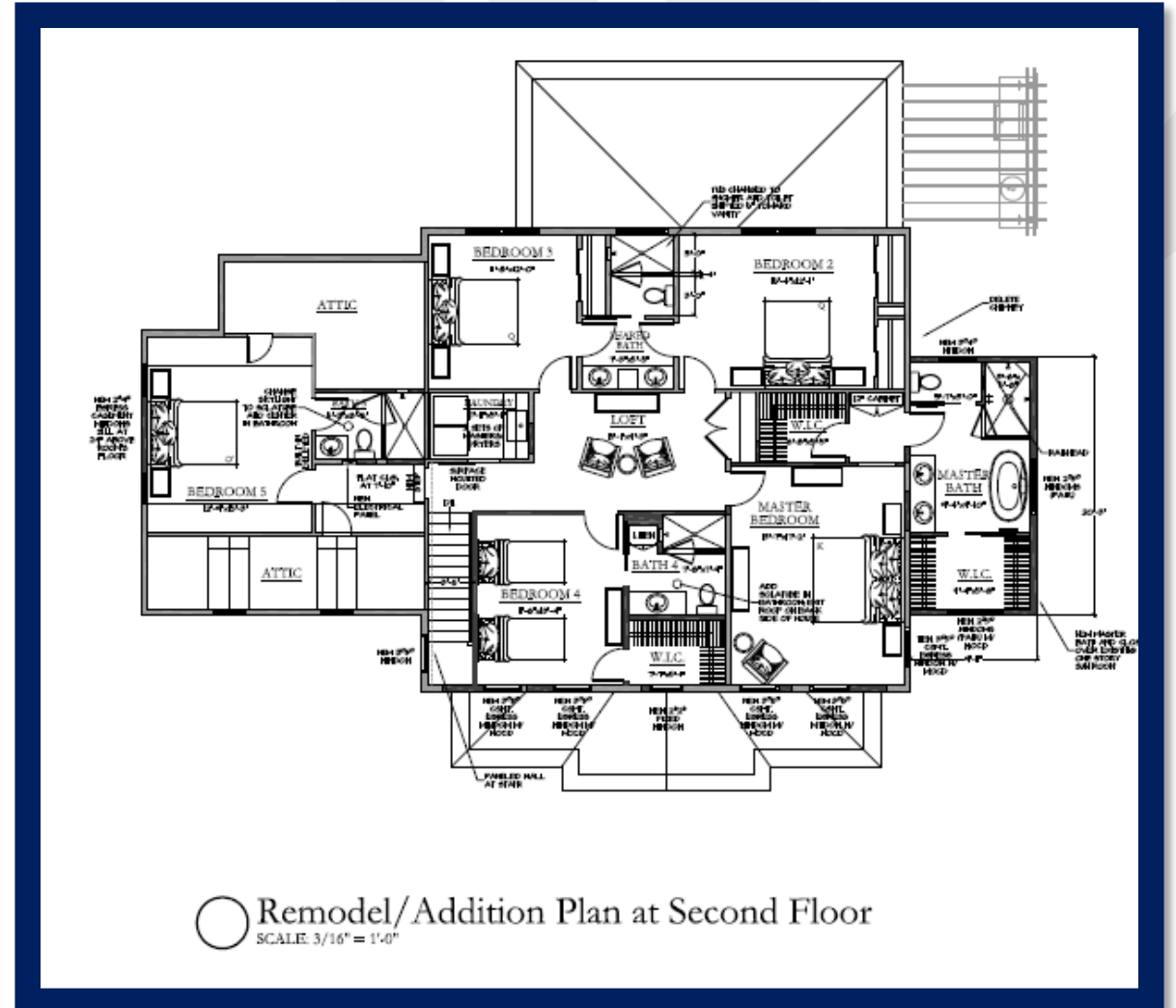
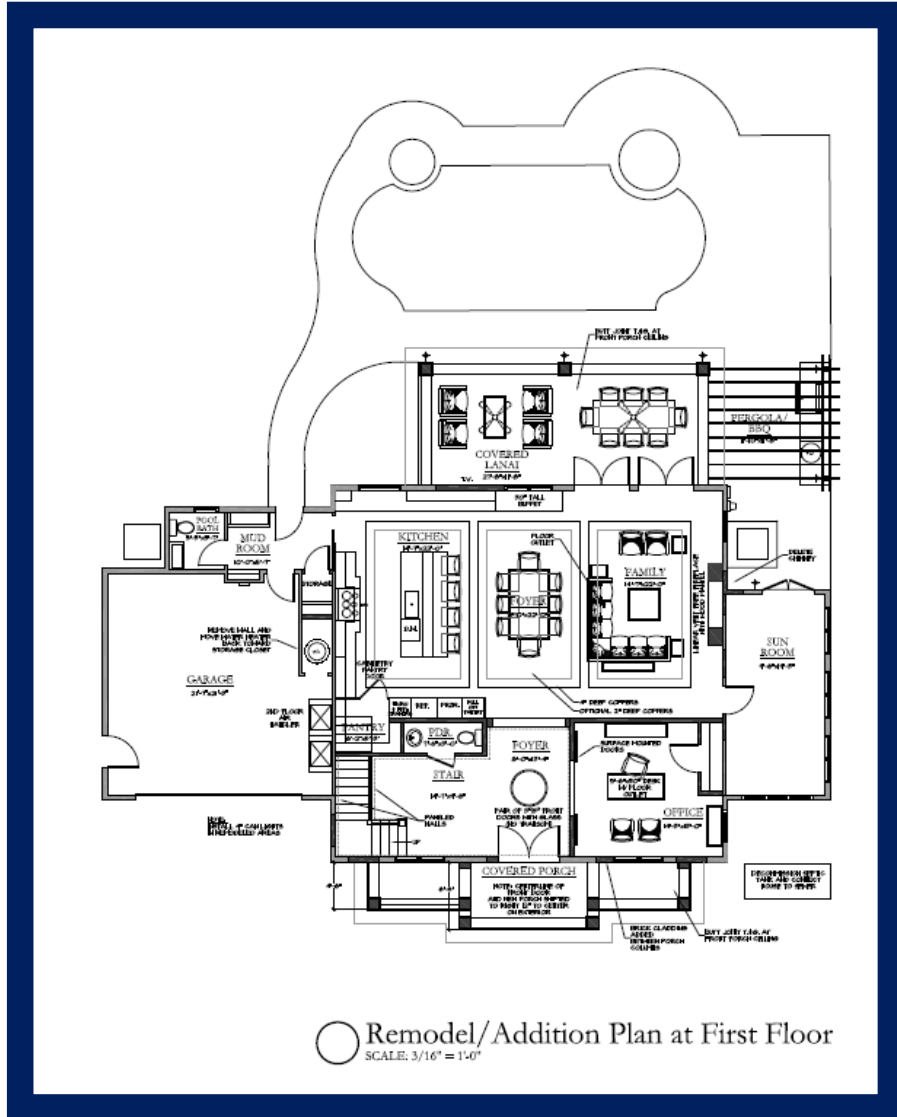
VARIANCE DESCRIPTION

- Article III Zoning of the Land Development Code of Winter Park cites the side setback for two-story homes, measured to the second story wall, shall be 35 percent of the lot width in feet equally divided on each side of the home, except the second-floor side setback is ten (10) feet for lots which are 60 feet wide or less.
 - Specific to the property in question, this translates to a required setback of 11' to the 1st floor and 16' to the 2nd floor.
- Our variance request is for relief of 2nd floor northeast side setback to a total of 9.61 ft.
 - This request:
 - Does not alter the existing footprint
 - Allows for a consistent 2nd floor architectural, structural and functional elevation (like the west side of the property)
 - Limits the proposed addition roof height to 24'-5" (not as tall as the center of the house) to less impede on our neighbor

CURRENT STATE



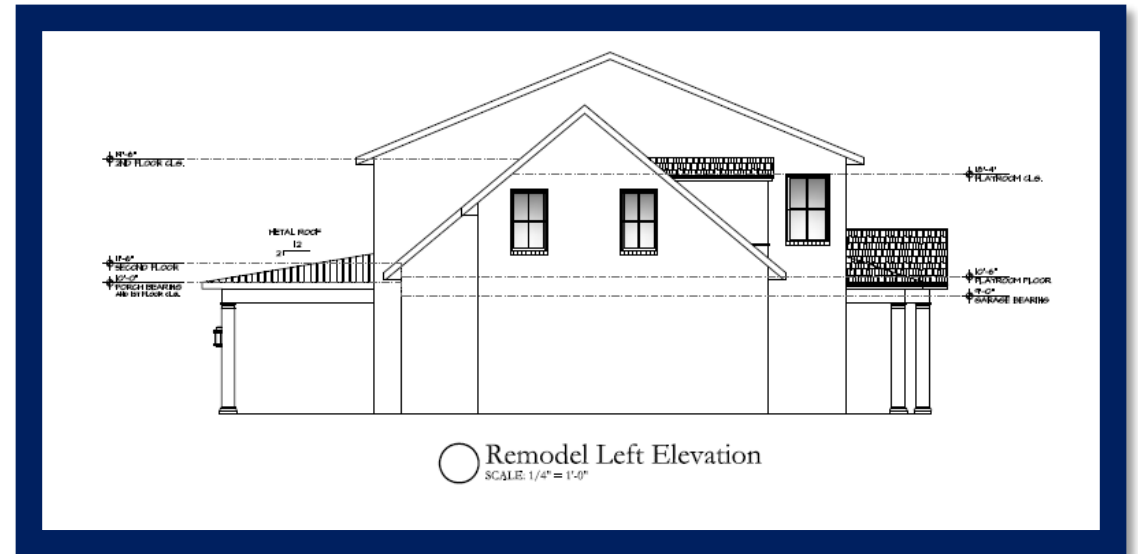
PROPOSED 1ST AND 2ND FLOOR PLAN



PROPOSED ELEVATIONS



PROPOSED ELEVATIONS



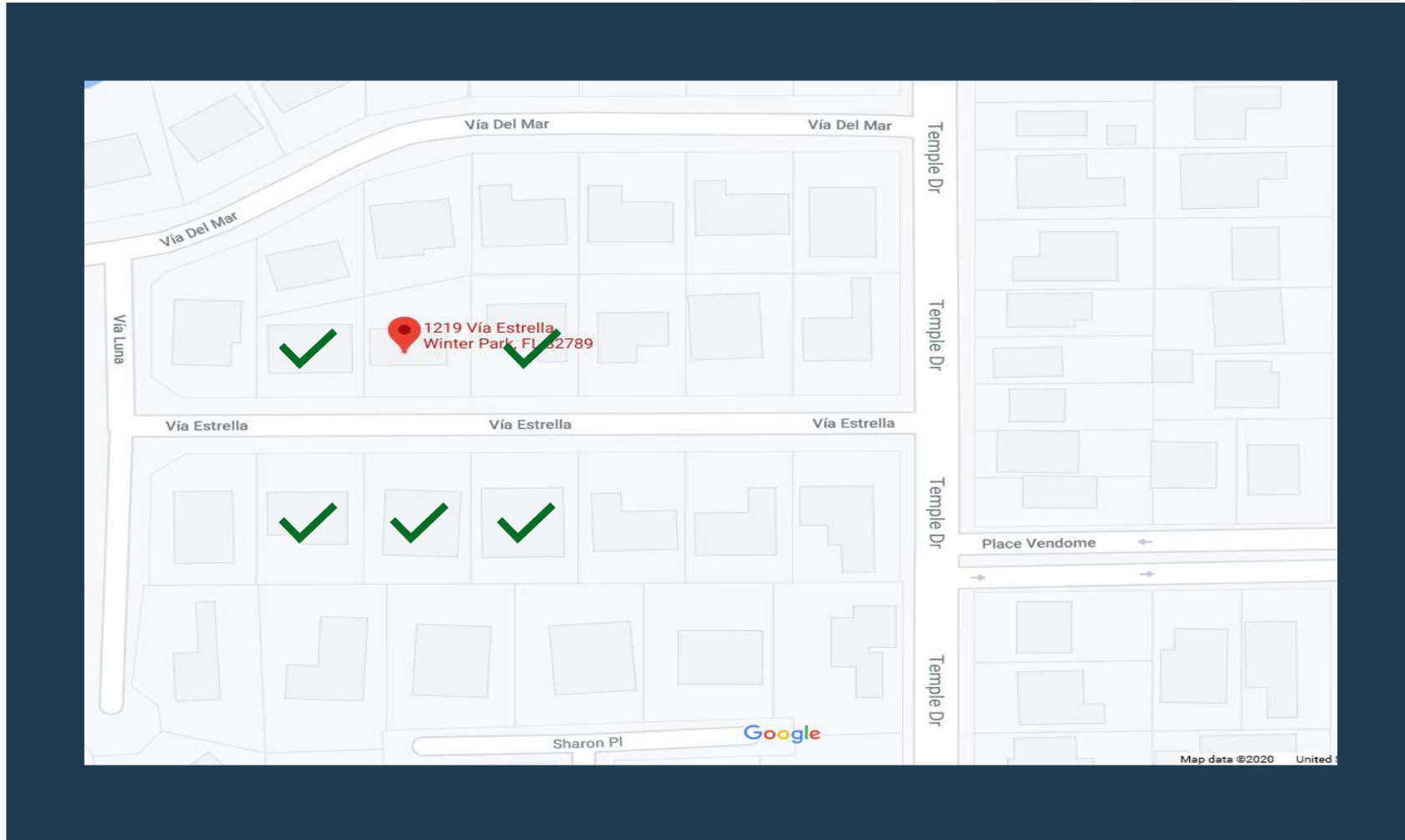
VARIANCE EVALUATION CRITERIA ANALYSIS

Evaluation Criteria	Applicant/Owner Remarks
<p>I. What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?</p>	<p>The home was built in 1997 with a Florida sunroom without a second story. Beyond the architectural imbalance, the construction method has also caused water penetration issues requiring invasive action. As such, we have decided to incorporate this into home renovation project.</p>
<p>II. What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?</p>	<ol style="list-style-type: none"> 1. Based on the change in the setback requirements of 2010, we would be unable to align the entire northeast side of the property to the existing 2nd story height. This directly prohibits and deprives the realization of: <ol style="list-style-type: none"> 1. Utilization of roofed/air-conditioned space for family of six (6) 2. Increased property value that accompanies additional space 3. Ability to have a balanced architectural front elevation 2. Other homes in the same zoning district have been granted approval for side variances
<p>III. Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.</p>	<ol style="list-style-type: none"> 1. The side setback requirements have changed since the home was built in 1997. <ol style="list-style-type: none"> a) In 2010 a new set of stricter side setbacks were adopted based on lot width. b) The side setbacks are now a % of the lot width and are set up on a scale which requires that they be larger for a home with a larger gross area. 2. Inability to expand our home in other directions due to irregular lot shape <ol style="list-style-type: none"> a) Side setbacks- See above b) Rear setback- The current pool was installed when the more lenient setbacks were enforced. Unfortunately, it essentially blocks adding an addition to the rear of the property (complying to the current setbacks).
<p>IV. Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc.? If so, to what extent?</p>	<p>We would welcome the opportunity to collaborate with the City on a mutually acceptable solution.</p>

SUPPORTING DOCUMENTATION



VARIANCE REQUEST-NEIGHBOR CONSENT STATUS



SETBACK / COVERAGE WORKSHEET

Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)
 Lot Width is Ninety (90) Linear Feet
 Lot area is 10,694 sqft

IMPERVIOUS LOT COVERAGE	Maximum % Allowed	Existing Area	Additional Proposed Area	New Total Area	Maximum Allowed Area
Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.	2 story - 50%	3941 sq. ft.	1242 sq. ft.	5,183 sq. ft.	5,347 sq. ft.
	1 story - 60%	N/A	N/A	N/A	N/A
FLOOR AREA RATIO (F.A.R.) For one and two story bldgs (include 1st & 2nd floors, garages/carports, stair areas on both floors, areas on 2nd floors which are open to the 1st floor, and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches	Lots < 11,600 sf: Use 38% Base FAR or w/ increased side setbacks: 43% Max FAR	3,927 sq. ft.	127 sq. ft.	4,054 sq/ft	4,063 sq/ft
	Lots 11,600 sf to 13,600 sf Use 4,500 sf Base area & 5,200 sf Maximum area	N/A	N/A	N/A	N/A
	Lots > 13,600 sf Use 33% Base FAR or w/ increased side setbacks: 38% Max FAR	N/A	N/A	N/A	N/A
SCREEN POOL ENCLOSURE	8%	N/A	N/A	N/A	N/A

SETBACK	Minimum Allowable Dimensions		Existing		Proposed	
Front	Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.		No change		No change	
Side	1st Floor	11ft	10.21 ft (left)	9.61 ft (right)	10.21 ft (left)	9.61 ft (right)
	2nd Floor	16ft	10.21 ft (left)	19.61 ft (right)	10.21 ft (left)	9.61 ft (right)
Rear	1st Floor	25ft	25ft		No change	
	2nd Floor	35ft	35ft		No change	
	Lakefront	N/A	N/A		N/A	
Corner Lot	N/A	N/A	N/A		N/A	
Building Height	30 ft. - 35 ft. plus 2 ft. or 40 ft.		27' 8"		27' 8"	

FRONT YARD LANDSCAPE COVERAGE	Maximum % Allowed	Existing Area	Landscape Area Reduced	New Total Area	Minimum Required Area
Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious).	50%	1962 sq. ft.	0 sq. ft.	1962 sq. ft.	1305 sq. ft.



THANK YOU!

CHRIS.MAIRN@FISGLOBAL.COM

407.342.9913



Board of Adjustments regular meeting

February 16, 2021 at 5:00p.m.

Hybrid Meeting

Agenda Items

New business

2. Request of Leo Alvarez, for a variance to allow construction of a patio/outdoor kitchen accessory structure with low walls to be located 2.5 feet from the side lot line, in lieu of the required setback of 5 feet.

Located at: 2961 Parkland Drive

Zoned: R-1A



401 South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

**Building &
Permitting
Services**

TO: BOARD OF ADJUSTMENTS MEMBERS
FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS
DATE: February 16, 2021
SUBJECT: VARIANCE REQUEST by Leonardo Alvarez, 2961 Parkland Drive

The applicant is requesting a variance to allow construction of a patio/outdoor kitchen accessory structure with low walls to be located 2.5 feet from the side lot line, whereas the required side setback is 5 feet.

This patio/outdoor kitchen is substantially built and the applicant is applying for an after-the-fact variance and permit. The applicant says he was unaware of a need for a permit and unaware of the setback requirement.

While meeting with the applicant at his property we took measurements between the existing fence and the pool deck and there may be enough room to move the deck further into the property to achieve a 5 foot side setback. However, one limiting factor is the swimming pool deck which is approximately 14 feet from the side lot line. With block work in place for a future counter and grill placement, the applicant desires to ask for this variance to prevent removal of work already started.

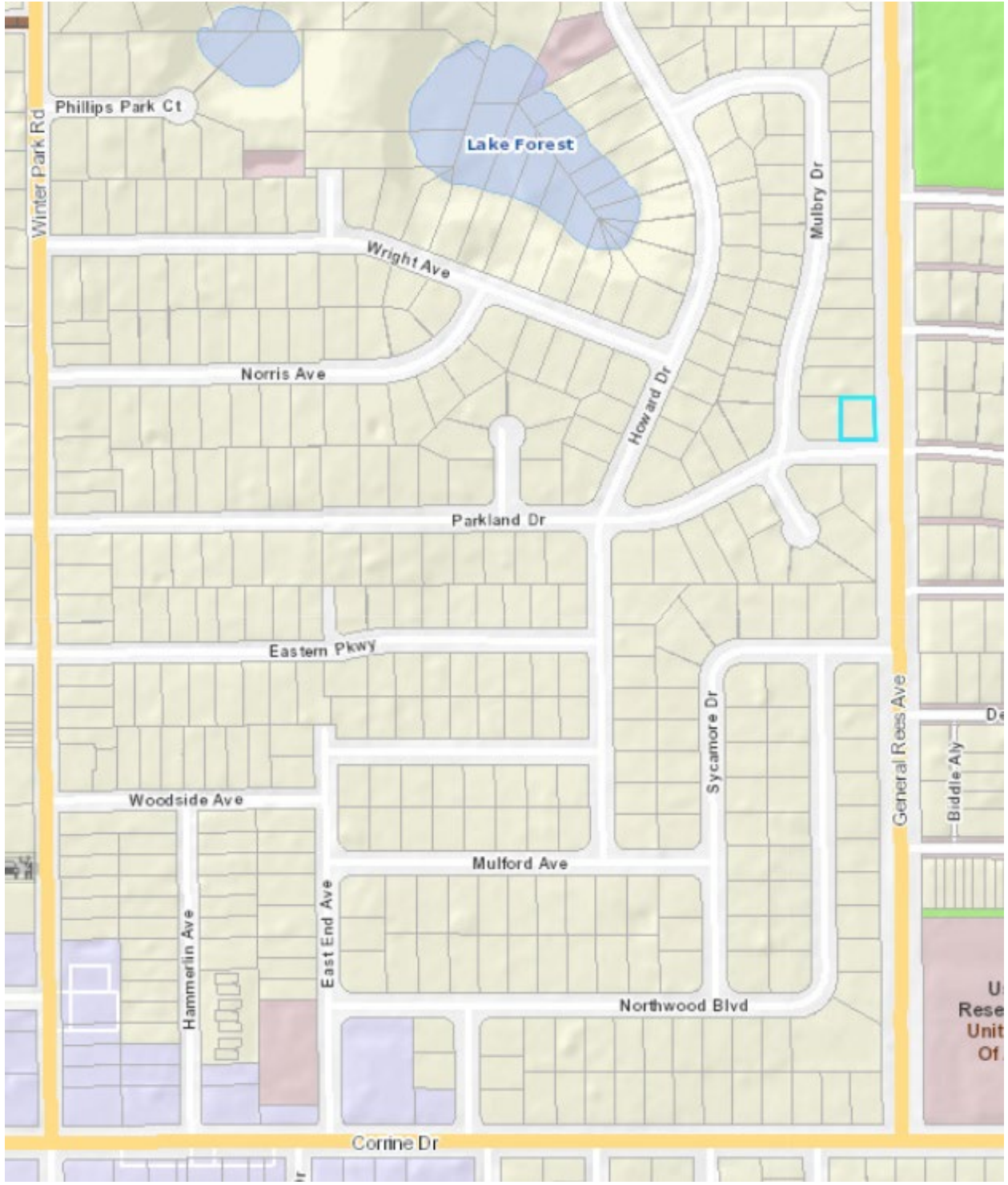
With regard to placing this patio area on the east side of the pool, a sloped condition exists in that location and ground area tends to have standing water during rainy periods and acts as an extended drainage storage area from the required storm water swale created during the construction of this new home within the last 2 years.

The proposed area of the new patio falls within the allowable impervious coverage for this site.

Two photos that I took have been provided with this request.

No letters have been received regarding this request, however, the applicant had stated that he had talked to the property owner that abuts the rear of this lot and stated that this individual has no objection to the patio. We have not heard from the resident or property owner that directly abuts this patio on the west side.

2961 Parkland Drive





PLAN SNAPSHOT REPORT BOA-2021-0030 FOR CITY OF WINTER PARK

Plan Type: Board of Adjustments	Project:	App Date: 01/27/2021
Work Class: Board of Adjustments/Variance Application	District: Winter Park	Exp Date: NOT AVAILABLE
Status: Submitted - Online	Square Feet: 0.00	Completed: NOT COMPLETED
Valuation: \$0.00	Assigned To: Wiggins, George	Approval Expire Date:

Description: Apply for a variance to the 5ft setback requirement. A paver patio has been constructed measuring 9 feet by 13 feet and sits 2.5 feet from the side lot line.

Parcel: 302217443603190	Main	Address: 2961 Parkland Dr Winter Park, FL 32789	Main	Zone:
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Applicant Leonardo Alvarez 2961 Parkland DR Winter Park, FL 32789	Owner Leonardo Alvarez 2961 Parkland DR Winter Park, FL 32789
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Plan Custom Fields

Zoning	Section	Subsection
Is the property on waterfront? No	Is this property on historic registry or district? No	Describe variance I'm looking to build an outdoor grill and have installed a 9 foot by 13 foot paver pad. It sits 2.5 feet from the side lot line and therefore need a 2.5 variance to meet the 5 foot setback requirement. When putting down the paver pad I was unaware of the setback requirement. The grill would stand counter high at 36 inches, therefore would not be visible to my adjacent neighbors or cause any drainage issues. Given the size scope of the project and that this would not create a hardship to my adjacent neighbors I respectfully request for your approval to complete my project.
How long have you owned the property? 13 years	How long have you occupied the property? 9 Years	Special Condition Do to terrible drainage issues in our area of Winter Park, I have swales that were required by the City of Winter Park in my backyard, limiting my options of where to place my outdoor grill. Moving the structure an additional 2.5 feet away from the lot line would leave very little room to move around and cost prohibitive. would not impact either neighbor in any way, but would create a hardship for me making the space very tight between the outdoor grill and the pool.
Rights/Priv If my home did not have swales on both sides of the backyard that gather over a foot of rain in the summer months, my options for placement of an outdoor grill would be much greater.	Hardship The options for placement of the outdoor grill are limited due to swales inside the property line. The structure is a flat structure and will not be visible to either adjacent neighbor. Moving the structure an additional 2.5 feet out to meet the 5 foot setback requirement	

PLAN SNAPSHOT REPORT (BOA-2021-0030)

Limited Variance The request is for a limited variance. The structure currently sits 2.5 feet from the side lot line and only need a limited variance of 2.5 feet. Based on the small scope of the project and no visibility to either of my adjacent neighbors I ask the city of approve moving forward with my project.

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Leonardo_Alvarez_1/27/2021.jpg	01/27/2021 8:37	Alvarez, Leonardo		Uploaded via CSS
bldr-2021-1031.pdf	01/27/2021 8:52	Dunkle, Theresa	Available Online	plans from bldg permit app

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Board of Adjustments Review v.1	In Review	01/27/2021	01/29/2021		No	No

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Building Official Review	Building & Permitting Services	Wiggins, George	In Review	01/27/2021	01/29/2021	

Workflow Step / Action Name	Action Type	Start Date	End Date
Application Completeness Check v.1			01/27/2021 8:42
Confirm Application Complete v.1	Generic Action		01/27/2021 8:42
Review v.1			
Board of Adjustments Review v.1	Receive Submittal	01/27/2021 0:00	
Issue Invoice v.1	Generic Action		
Final Decision v.1			
Board of Adjustments Decision v.1	Generic Action		



CITY OF WINTER PARK - COVERAGE/SETBACK WORKSHEET

SWIMMING POOLS, SPAS AND DECKS

Land Development Code Sec. 58-71(j). General Provisions for Residential Zoning Districts

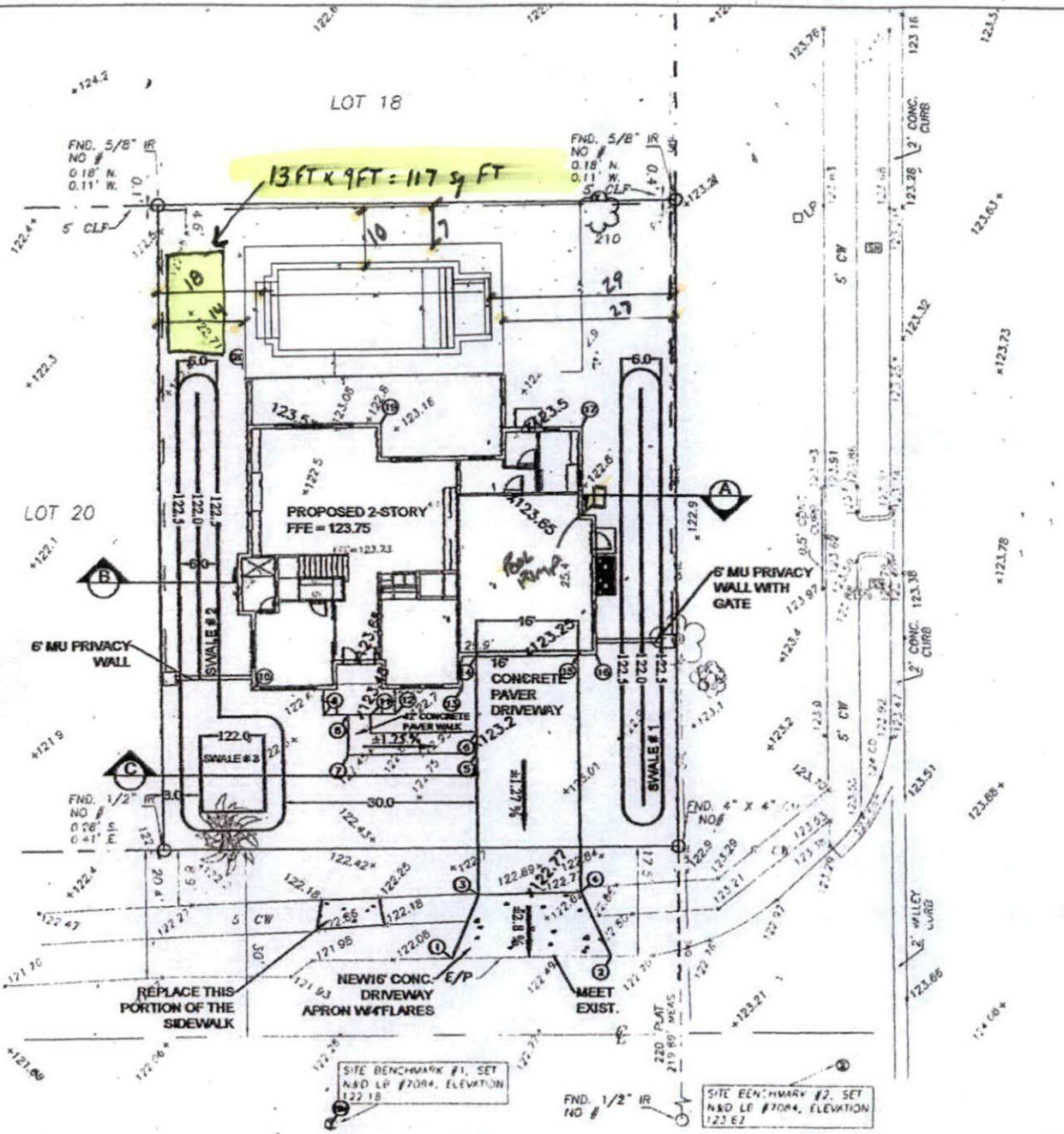
Address: 2961 Parkland Drive Winter Park, FL 32789 Lot area¹: 8,181 sq ft

	Maximum % Allowed ³	Existing Area	Additional Proposed Area	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE	2 story home 50%	3444	117	3,561	4093
Include bldg footprint, driveways, sidewalks, patios, pools, A/C pads, artificial turf, etc. (show area tabulations)	1 story home 60%				

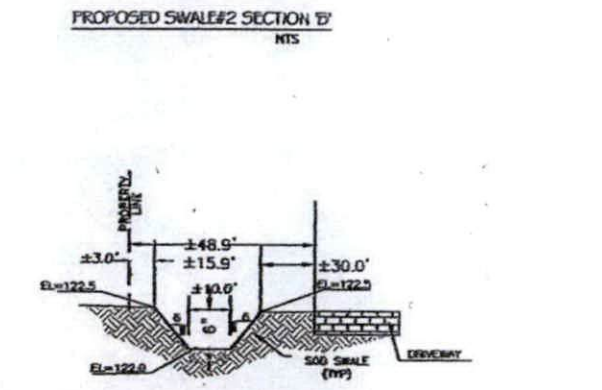
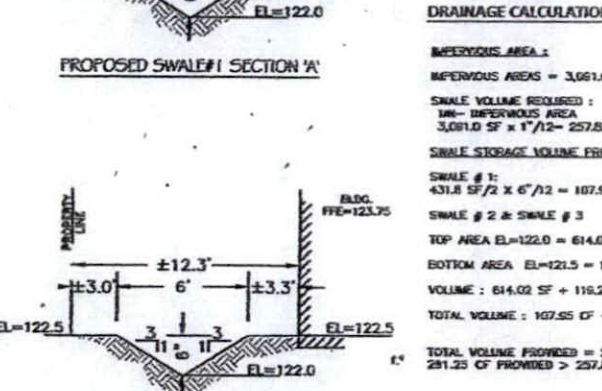
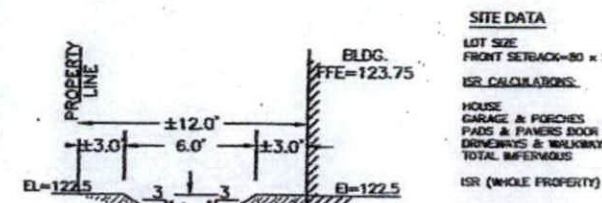
	MINIMUM ALLOWABLE SETBACK			PROPOSED
SWIMMING POOL/SPA²	Interior Side	Lot width ≤ 60 ft.	7.5 ft.	
		Lot width > 60 ft.	10 ft.	
	Rear	All lots	10 ft.	
	Street Side ³	Lot width ≤ 65 ft.	15 ft.	
		Lot width > 65 ft. to 75 ft.	20 ft.	
		Lot width > 75 ft.	25 ft.	
Lakefront ^{3,4,5}	same as the main building			
DECK	Interior Side	50% of the swimming pool/spa setback		
	Rear			
	Street Side ³			
	Lakefront ^{3,4,5}	50 ft. from ordinary high water elev.		

Note:

1. Submerged lands or lakefront land across streets shall not be included.
2. Setback measured from the property line to the ordinary high water line.
3. See LCD Section 58-71(n) for walls and fences regulations.
4. Retaining walls and the edge of pool decks on the lake side are limited to 3ft.
5. Streamfront or canalfront may be 20 ft. from the bulkhead if approved by the Planning and Zoning Board.



- DRAINAGE NOTES:**
1. THE PROJECT PROFESSIONAL ENGINEER HAS INSPECTED THE GENERAL TOPOGRAPHY OF THE AREA. ALL AREAS OF THE ROOF AND POOL SHALL CONNECT TO THE UNDERGROUND DRAIN LINE SYSTEM.
 2. FOR THIS AREA OF WINTER PARK, THE RESIDENTIAL LOT IS TO COLLECT ALL ROOF DRAINS AND DIRECT THE FLOW TO THE FRONT R.O.W. AN UNDERGROUND 6" PVC COLLECTION LINE WILL FLOW INTO AND END AT PROPERTY LINE. THE SUMP SHALL COLLECT LEAVES/DEBRIS AND PROVIDE FOR EASE OF MAINTENANCE OF SYSTEM. STORM WATER WILL BUBBLE OUT FROM SUMP BOX AND FLOW OVER SIDEWALK INTO R.O.W.



DETAILS

REVISIONS

▲	
▲	
▲	
▲	

DAO CONSULTANTS, INC.
 CERTIFICATE OF AUTHORIZATION NO.: FL 05402
 1110 EAST MARIN STREET
 ORLANDO, FLORIDA 32803-4018
 PHONE: 407.266.8877

LEO + CAROLINA ALVAREZ RESIDENCE
 2961 PARKLAND DRIVE, WINTER PARK, FL 32789
 SITE PLAN

2021.0126



2021.0126









Board of Adjustments regular meeting

February 16, 2021 at 5:00p.m.

Hybrid Meeting

Agenda Items

New business

3. Request of Rene Fernandez, on behalf of Oxana Daniels for a variance to allow re-construction of a detached storage shed to living space with an addition that includes a bathroom, located 11 feet from the rear lot line, in lieu of permitted rear setback of 25 feet.

Located at: 2028 Summerfield Rd

Zoned: R-1A



401 South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

**Building &
Permitting
Services**

TO: BOARD OF ADJUSTMENTS MEMBERS
FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS
DATE: February 16, 2021
SUBJECT: VARIANCE REQUEST by Rene Fernandez on behalf of Jorge Oliveira,
2028 Summerfield Road

The applicant is requesting a variance to allow re-construction or addition to an existing detached storage building to create living space with an addition that includes a bathroom, and located 11 feet from the rear lot line whereas the permitted rear setback is 25 feet.

An existing storage building has an area of 234 square feet according to the dimensions shown on the site plan. However, the applicants indicate that the area is 192 square feet. Any new storage building over 320 square feet or habitable detached accessory building is required to be located at the same setbacks as the main residence. In this case, the rear setback should be 25 feet as an accessory dwelling use building.

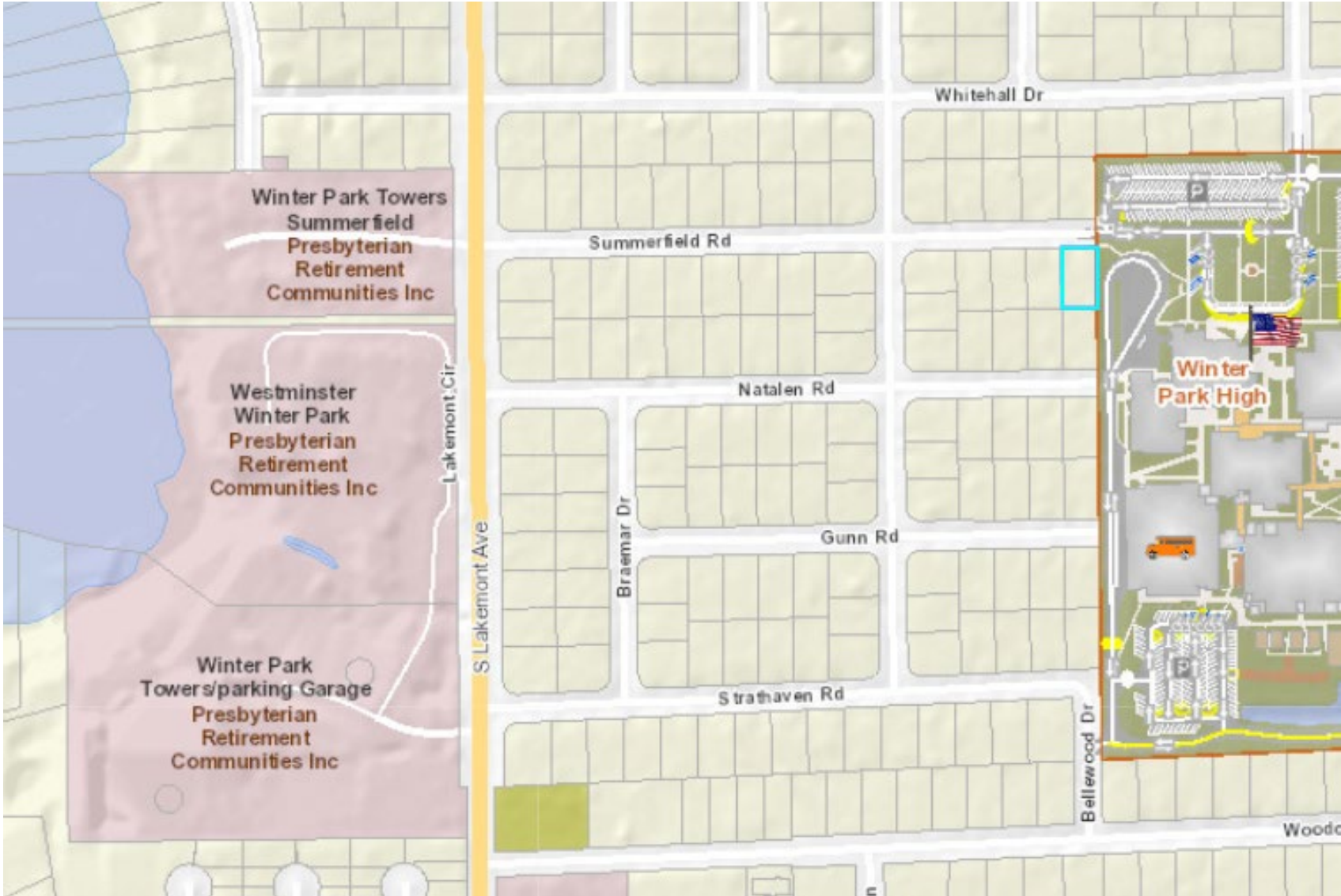
The plans provided with this application show a new building with dimensions of 33' by 14'3" resulting in an area of 470 square feet. In addition, the proposed plans depict a new building with a hip shaped roof on both ends, however, the small existing building has two gable ends.

Also, the plans provided show a full bathroom and an enclosed closet even though the spaces are labeled as storage and utility areas. With this arrangement we conclude that this is for accessory living quarters. In addition, as seen in a photo provided, a window type A/C unit is in place on the existing storage building.

Based on the site plan provided, it appears that the existing storage building could be expanded inward toward the rear of the home by 19 feet to accomplish having the same size proposed building with a lesser variance request. This would leave a distance of 6 feet between the home and an expanded storage building.

No letters have been received regarding this request.

2028 Summerfield Rd





PLAN SNAPSHOT REPORT BOA-2021-0024 FOR CITY OF WINTER PARK

Plan Type: Board of Adjustments	Project:	App Date: 01/11/2021
Work Class: Board of Adjustments/Variance Application	District: Winter Park	Exp Date: NOT AVAILABLE
Status: Submitted - Online	Square Feet: 0.00	Completed: NOT COMPLETED
Valuation: \$0.00	Assigned To: Wiggins, George	Approval Expire Date:

Description: Permit to do an addition to an existing Shed within the existing setback.

Parcel: 302209413404050	Main	Address: 2028 Summerfield Rd Winter Park, FL 32792	Main	Zone:
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Applicant Rene Fernandez 13638 Tortona Ln Windermere, FL 34786	Owner Oxana Daniels	Alternate Contact Daniel Jorge Oliveira Home: (407) 731-2070 Business: (407) 674-2040 Mobile: (407) 731-0113
--	-------------------------------	---

Plan Custom Fields

Zoning		Section		Subsection	
Is the property on waterfront?	No	Is this property on historic registry or district?	No	Describe variance	Permit to build an addition to an existing 192 sqft Shed to over the max size of 320 sf. The Proposed size is 470sf.
How long have you owned the property?	1 year and 6 months	How long have you occupied the property?	1 year and 6 months	Special Condition	The property is large enough. We are within the setbacks and a lot bellow the allowed impervious coverage.
Rights/Priv	There are other properties in the neighborhood with large sheds and additions.	Hardship	The way the shed is located and the way the roof is placed, and addition would not cost much to be accommodated. If I have to attached the Shed to the house or demolished the shed and build a new attached building, it would increase drastically the cot of the improvement.	Limited Variance	Yes.

Attachment File Name	Added On	Added By	Attachment Group	Notes
A001 - Cover Sheet - 010920ds.pdf	01/11/2021 12:38	Fernandez, Rene		Uploaded via CSS
A002 - Site Plan - 010920ds.pdf	01/11/2021 12:38	Fernandez, Rene		Uploaded via CSS
A003 - Existing Floor Plan - 010920ds.pdf	01/11/2021 12:38	Fernandez, Rene		Uploaded via CSS
A004 - New Floor Plan - 010920ds.pdf	01/11/2021 12:38	Fernandez, Rene		Uploaded via CSS
A005 - New Roof Plan - 010920ds.pdf	01/11/2021 12:38	Fernandez, Rene		Uploaded via CSS
A006 - Elevations Plan - A006 - 010920ds.pdf	01/11/2021 12:38	Fernandez, Rene		Uploaded via CSS
A007 -Sections Plan - 010920ds.pdf	01/11/2021 12:38	Fernandez, Rene		Uploaded via CSS
A008 - Foundation Plan - 010920ds.pdf	01/11/2021 12:38	Fernandez, Rene		Uploaded via CSS
A009 - Electrical Plans - 010920ds.pdf	01/11/2021 12:38	Fernandez, Rene		Uploaded via CSS
A010 - Plumbing Plan - 010920ds.pdf	01/11/2021 12:38	Fernandez, Rene		Uploaded via CSS
Product Approval.pdf	01/11/2021 12:38	Fernandez, Rene		Uploaded via CSS
Setback Coverage Worksheet.pdf	01/11/2021 12:38	Fernandez, Rene		Uploaded via CSS
Shed Addition - ENERGY.pdf	01/11/2021 12:38	Fernandez, Rene		Uploaded via CSS
Shed Addition - LOAD.pdf	01/11/2021 12:38	Fernandez, Rene		Uploaded via CSS

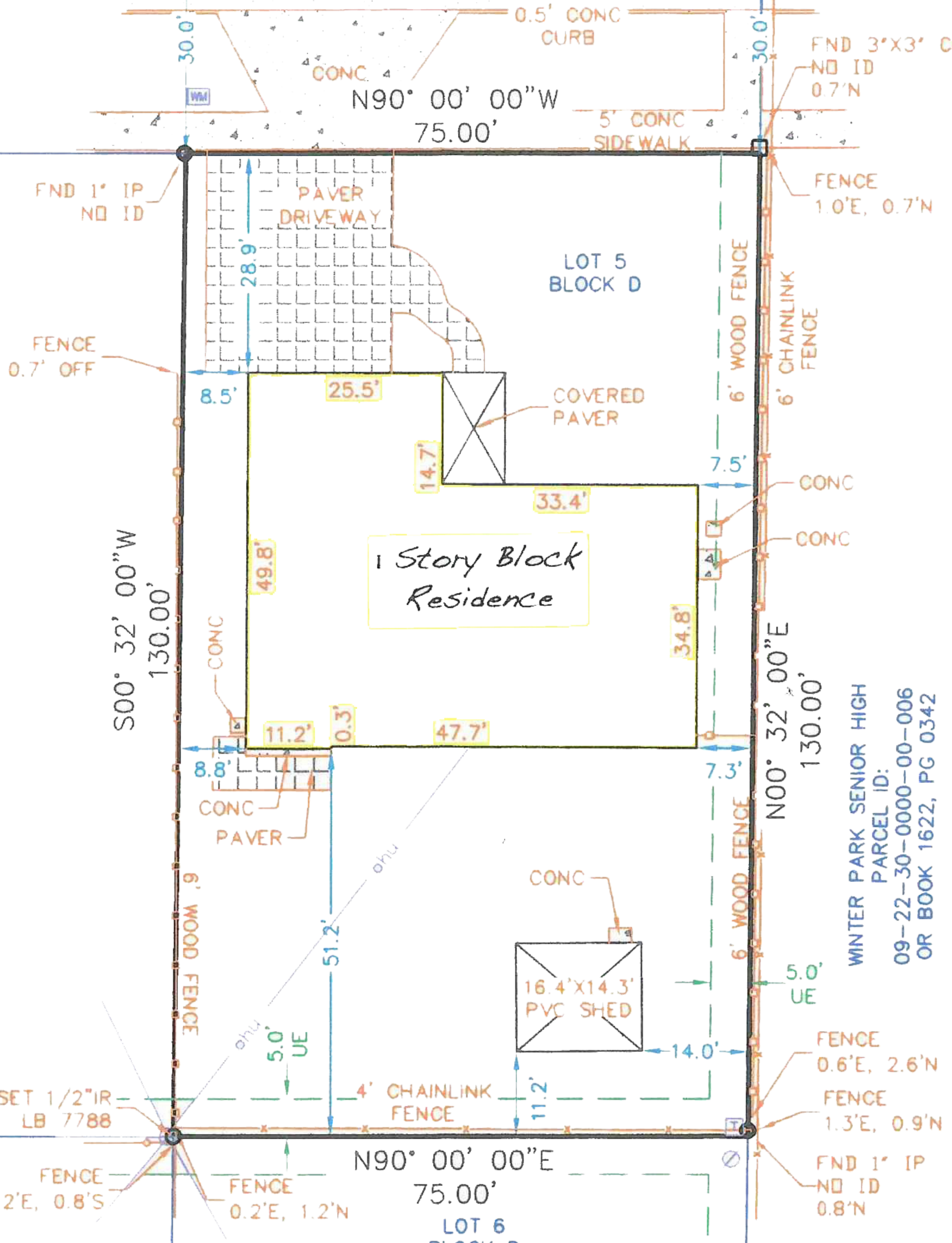
PLAN SNAPSHOT REPORT (BOA-2021-0024)

Survey.pdf	01/11/2021	12:38	Fernandez, Rene	Uploaded via CSS
Signature_Rene_Fernandez_1/11/2021.jpg	01/11/2021	12:38	Fernandez, Rene	Uploaded via CSS

Workflow Step / Action Name	Action Type	Start Date	End Date
Application Completeness Check v.1			
Confirm Application Complete v.1	Generic Action		
Review v.1			
Board of Adjustments Review v.1	Receive Submittal		
Issue Invoice v.1	Generic Action		
Final Decision v.1			
Board of Adjustments Decision v.1	Generic Action		

60' PLATTED RIGHT OF WAY

307.65'



N90° 00' 00"W
75.00'

FND 1" IP
NO ID

PAVER
DRIVEWAY

LOT 5
BLOCK D

FENCE
0.7' OFF

FND 3"X3" CM
NO ID
0.7'N

FENCE
1.0'E, 0.7'N

S00° 32' 00"W
130.00'

1 Story Block
Residence

COVERED
PAVER

N00° 32' 00"E
130.00'

WINTER PARK SENIOR HIGH
PARCEL ID:
09-22-30-0000-00-006
OR BOOK 1622, PG 0342

CONC

CONC
PAVER

CONC

16.4'X14.3'
PVC SHED

6' WOOD FENCE

5.0'
UE

SET 1/2" IR
LB 7788

4' CHAINLINK
FENCE

FENCE
0.6'E, 2.6'N

FENCE
1.3'E, 0.9'N

N90° 00' 00"E
75.00'

FENCE
0.2'E, 0.8'S

FENCE
0.2'E, 1.2'N

FND 1" IP
NO ID
0.8'N

LOT 6
BLOCK D



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address:

2028 SUMMERFIELD RD WINTER PARK

Lot width²:

75.00'

Submitted by:

RENE

32792

Lot area³:

9750

	Maximum % Allowed ⁴	Existing Area ¹⁰	Additional Proposed Area ¹⁰	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE <small>IMPERVIOUS LOT COVERAGE</small>	Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.				
	2 story - 50%				
	1 story - 60%	3410	240	3650	5850

FLOOR AREA RATIO (F.A.R.) ^{5,6} <small>FLOOR AREA RATIO (F.A.R.) FLOOR AREA RATIO (F.A.R.)</small>	For one and two story bldgs (include 1st & 2nd floors, garages/carports, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁷ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁸ .				
	Lots < 11,600 sf: Use 38% Base FAR or w/ increased side setbacks: 43% Max FAR	23%	2.5%	25.5%	38% 60%
	Lots 11,600 sf to 13,600 sf Use 4,500 sf Base area & 5,200 sf Maximum area	2,467 SFR 235 EXIST SHED	2354 SHED ADD.	2,937	3,7054 (112)
	Lots > 13,600 sf Use 33% Base FAR or w/ increased side setbacks: 38% Max FAR	2,7024			

SCREEN POOL ENCLOSURE	8% ⁹				
-----------------------	-----------------	--	--	--	--

FRONT YARD LANDSCAPE COVERAGE	Count all landscaped green areas EXCLUDE - hard surfaces and all driveway surfaces (pervious & impervious).				
FRONT LOT AREA	50%				

NOTES:

1. Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director.
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
6. See page 3 on how to achieve maximum F.A.R.
7. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
8. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area.
9. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
10. These columns only apply to existing homes.
11. Vertical walled in areas created above the 1st floor must be including in the gross floor area

SETBACKS (complete boxes A and B first)

	Minimum Allowable Dimensions		Existing		Proposed	
FRONT	Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.		28.9'		28.9'	
SIDES^{1,2} <small>(see other side setback options on pg 4) SIDES</small>	1st Floor	See pages 3&4 <small>SEE PAGES 3&4</small>	A	8.5'	7.5'	8.5'
	2nd Floor		B			7.5'
REAR^{1,3,4} <small>REAR REAR</small>	1st Floor	25 ft.	51.2' / 11.2'		51.2' / 11.2'	
	2nd Floor	35 ft ⁵				
	Lakefront	see note 6				
CORNER LOT <small>CORNER LOT CORNER LOT CORNER LOT</small>	1st Floor <small>1ST FLOOR</small>	Lot width ≤ 65 ft.	15 ft.			
		Lot width > 65 ft ⁷	20 ft.			
	2nd Floor <small>2ND FLOOR</small>	Lot width ≤ 65 ft.	15 ft.			
		Lot width > 65 ft ⁷	22.5 ft.			
BUILDING HEIGHT <small>8,9,10,11,12</small>	30 ft. - 35 ft. plus 2 ft. or 40 ft. (see notes 11 & 12)		15 ft		15 ft	

Notes:

1. Any building wall that exceeds 12 ft. in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
2. Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft. and interior side setback is 5 ft. minimum (no gable end allowed) for garages up to 600 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
3. Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. For lots that are 75ft deep or less a first floor setback of 10ft and a second floor setback of 25ft is allowed. For lots which are 105ft deep or less a first floor setback of 15ft and a second floor setback of 30ft is allowed.
4. Accessory buildings: garage/carport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. . Other accessory buildings used for habitation shall meet setbacks of the main residence.
5. The rear setback may be reduced to 25 ft. for two-story components when those consist of a second story loft or mezzanine that is within the normal scale and 18-ft max height of a typical one-story structure.
6. Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft. or 50 ft., whichever is greater, measured from ordinary high water line.
7. Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft. with 1st and 2nd floor setbacks of 25 ft. may reduce the rear setback by 5 ft. on each floor.
8. Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
9. No building or portion thereof shall exceed 30 ft. in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft. additional building height.
10. Accessory building that exceeds 18 ft. in height shall meet the same setbacks as the principal building on the property.
11. Properties or lots with at least 80 ft. of width at the building line are permitted to have a building height of 35 ft. if the side setbacks are increased to 20 ft. at 30 ft. above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft. of additional building height.
12. Properties or lots exceeding 50,000 sq.ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft. if side setbacks are increased to 35 ft. to the portion of the roof over 30 ft. in height.

SETBACKS (complete boxes A and B first)

	Minimum Allowable Dimensions		Existing		Proposed	
FRONT	Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.		28.9'		28.9'	
SIDES 1,2 <small>(see other side setback options on pg 4)</small>	1st Floor	See pages 3&4 <small>SEE PAGES 3&4</small>	9'	8.5'	7.5'	8.5' 7.5'
	2nd Floor		B	14' EXISTING		14' PROPOSED
REAR ^{1,3,4} <small>REAR REAR</small>	1st Floor	25 ft.	51.2' / 11.2'		51.2' / 11.2'	
	2nd Floor	35 ft ⁵				
	Lakefront	see note 6				
CORNER LOT <small>CORNER LOT CORNER LOT CORNER LOT</small>	1st Floor <small>1ST FLOOR</small>	Lot width ≤ 65 ft.	15 ft.			
		Lot width > 65 ft ⁷	20 ft.			
	2nd Floor <small>2ND FLOOR</small>	Lot width ≤ 65 ft.	15 ft.			
		Lot width > 65 ft ⁷	22.5 ft.			
BUILDING HEIGHT <small>8,9,10,11,12</small>	30 ft. - 35 ft. plus 2 ft. or 40 ft. (see notes 11 & 12)		15 ft		15 ft	

Notes:

1. Any building wall that exceeds 12 ft. in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
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3. Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. For lots that are 75ft deep or less a first floor setback of 10ft and a second floor setback of 25ft is allowed. For lots which are 105ft deep or less a first floor setback of 15ft and a second floor setback of 30ft is allowed.
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6. Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft. or 50 ft., whichever is greater, measured from ordinary high water line.
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10. Accessory building that exceeds 18 ft. in height shall meet the same setbacks as the principal building on the property.
11. Properties or lots with at least 80 ft. of width at the building line are permitted to have a building height of 35 ft. if the side setbacks are increased to 20 ft. at 30 ft. above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft. of additional building height.
12. Properties or lots exceeding 50,000 sq.ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft. if side setbacks are increased to 35 ft. to the portion of the roof over 30 ft. in height.

INDEX OF DRAWINGS

SHEET	DESCRIPTION	PAGE
A001	Cover Sheet	1
A002	Site Plan	2
A003	Existing Floor Plan	3
A004	New Floor Plan	4
A005	New Roof Plan	5
A006	Elevations Plan	6
A007	Sections Plan	7
A008	Foundation Plan	8
A009	Electrical Plan	9
A010	Plumbing Plan	10

Accessory and Utility Shed Addition

SCOPE OF WORK

To obtain permits for New Addition Construction in concordance to the provisions of the FBC Residential 2017 and relevant laws.

GENERAL NOTES

DESIGN AND LOADING - ALLOWANCE UNIT STRESS AND DESIGN CRITERIA
BUILDING CODE REQUIREMENT FOR REINFORCED CONCRETE BUILDING ACI 318
FLORIDA BUILDING CODE 2017 6TH EDITION

SOIL

NET ALLOWANCE SOIL BEARING PRESSURE USED IN DESIGN 2,000 PSF FOR

FOOTINGS

CONCRETE AND REINFORCING
ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318 AND WITH
SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDING ACI 301
ALL CONCRETE SHALL DEVELOP MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI IN
28 DAYS.

REINFORCING BARS SHALL CONFORM TO ASIM A615, A616 OR A617-GRADE 40

APPLICABLE CODES: INCLUDING ALL REVISIONS

FLORIDA BUILDING CODE 2017
FLORIDA BUILDING CODE RESIDENTIAL 2017
ELECTRICAL CODE NEC 2017
FLORIDA BUILDING CODE PLUMBING 2017
FIRE, CODE NEPA 70
LIFE SAFETY CODE NEPA 101
ACCESSIBILITY CODE, FLORIDA BUILDING CODE, BUILDING 2017
ENERGY CODE, FLORIDA BUILDING CODE, BUILDING 2017

METHOD OF DESIGN

THIS STRUCTURE HAS BEEN DESIGNED TO MEET ALL LOAD REQUIREMENT
OF THE 2017 FBC 6TH EDITION - RESIDENTIAL BUILDING

BUILDING OCCUPANCY CLASSIFICATION:

GROUP R - RESIDENTIAL

BUILDING CONSTRUCTION TYPE:

TYPE V: B

DESIGN LIVE LOADS (MINIMUM)

FLOORS	40 PSF
BALCONIES	40 PSF
DECKS	40 PSF
STAIRS	40 PSF
ROOFS	30 PSF

WIND LOADS

BASIC WIND SPEED -150 MPH (@ 3 SEC GUST)

RISK CATEGORIES II

WIND EXPOSURE-CATEGORY C

INTERNAL PRESSURE COEFFICIENT +/- 0.18

COMPONENT/ CLADDING DESIGN WIND PRESSURE +47.7/-51.6

(FOR DOORS, WINDOWS, & TRANSOMS) U.N.O.

(INTERNAL PRESSURE COEFFICIENT +/- 0.18 INCLUDED)

Property Description

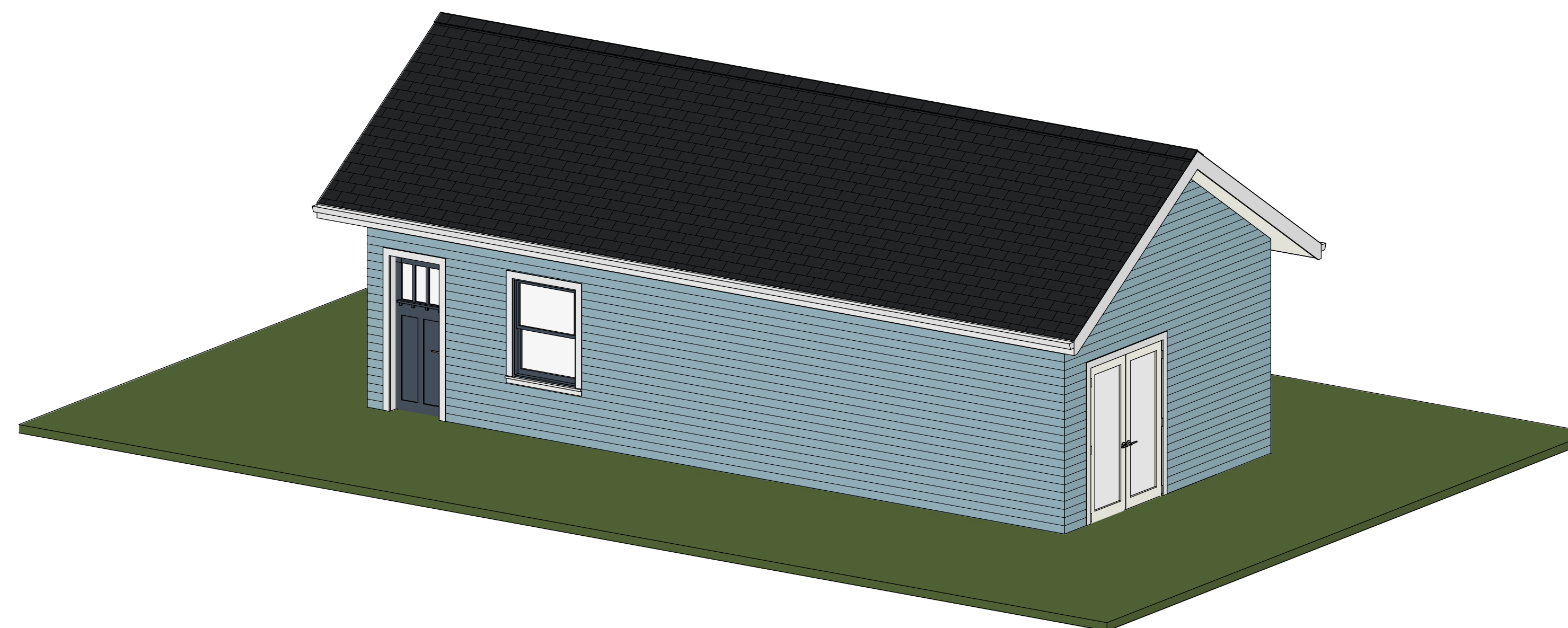
KENILWORTH SHORES SECTION SEVEN U/93 LOT 5 BLK D

Property Address

2028 Summerfield Rd, Winter Park, FL 32792-5036

Parcel ID

09-22-30-4134-04-050



FL Pro Solutions

1701 W Wetherbee Road - Orlando FL 32837
(407) 674-2040 - info@flprocorp.com

OWNER: Oxana Daniels

ADDRESS: 2028 Summerfield Rd, Winter Park, FL 32792

REVISIONS

DESCRIPTION	DATE

WAYNE GANDY

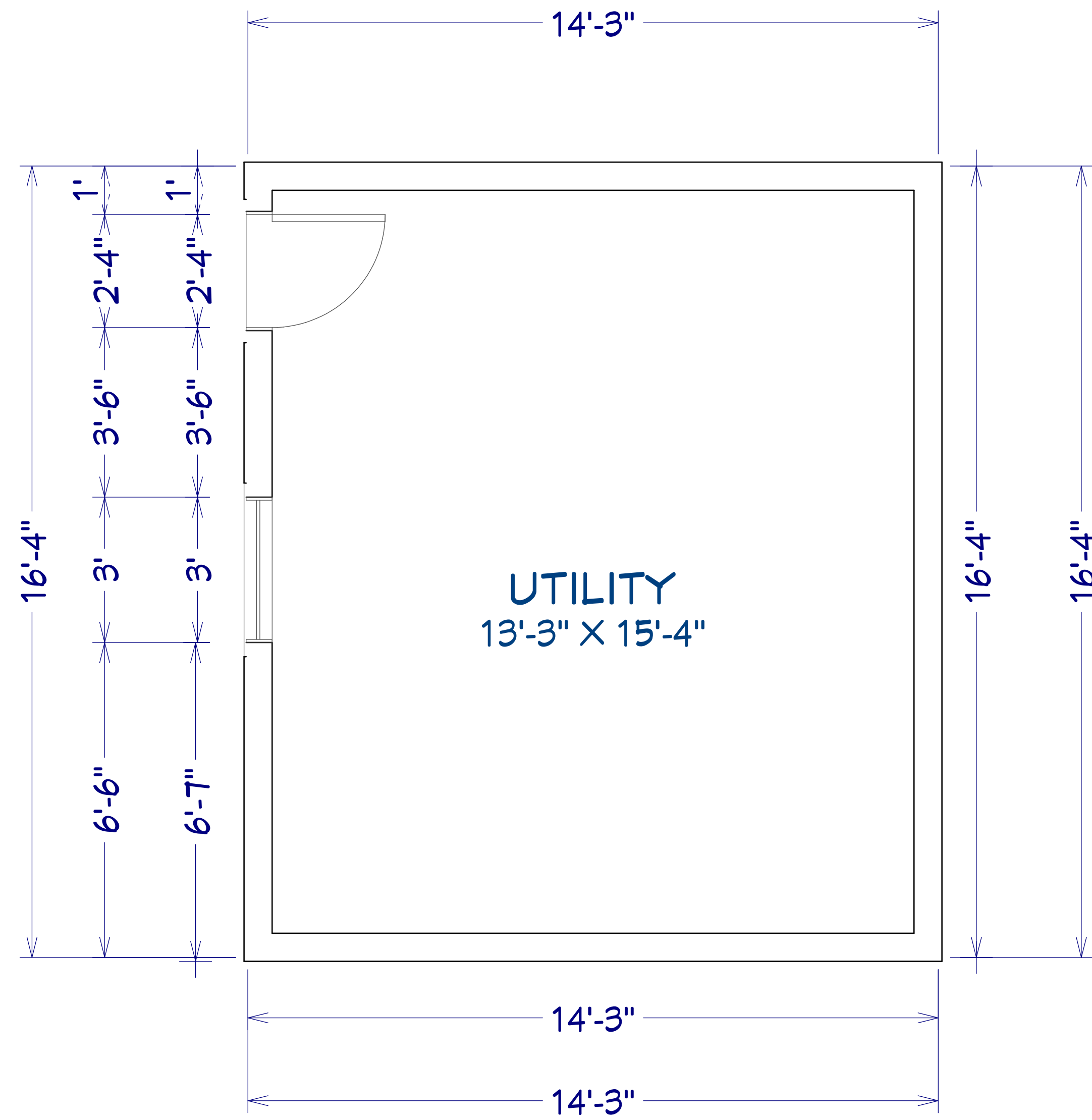
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P.E. # 93134
SEAL AND SIGN:

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DATE:	
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SHEET #:

A001



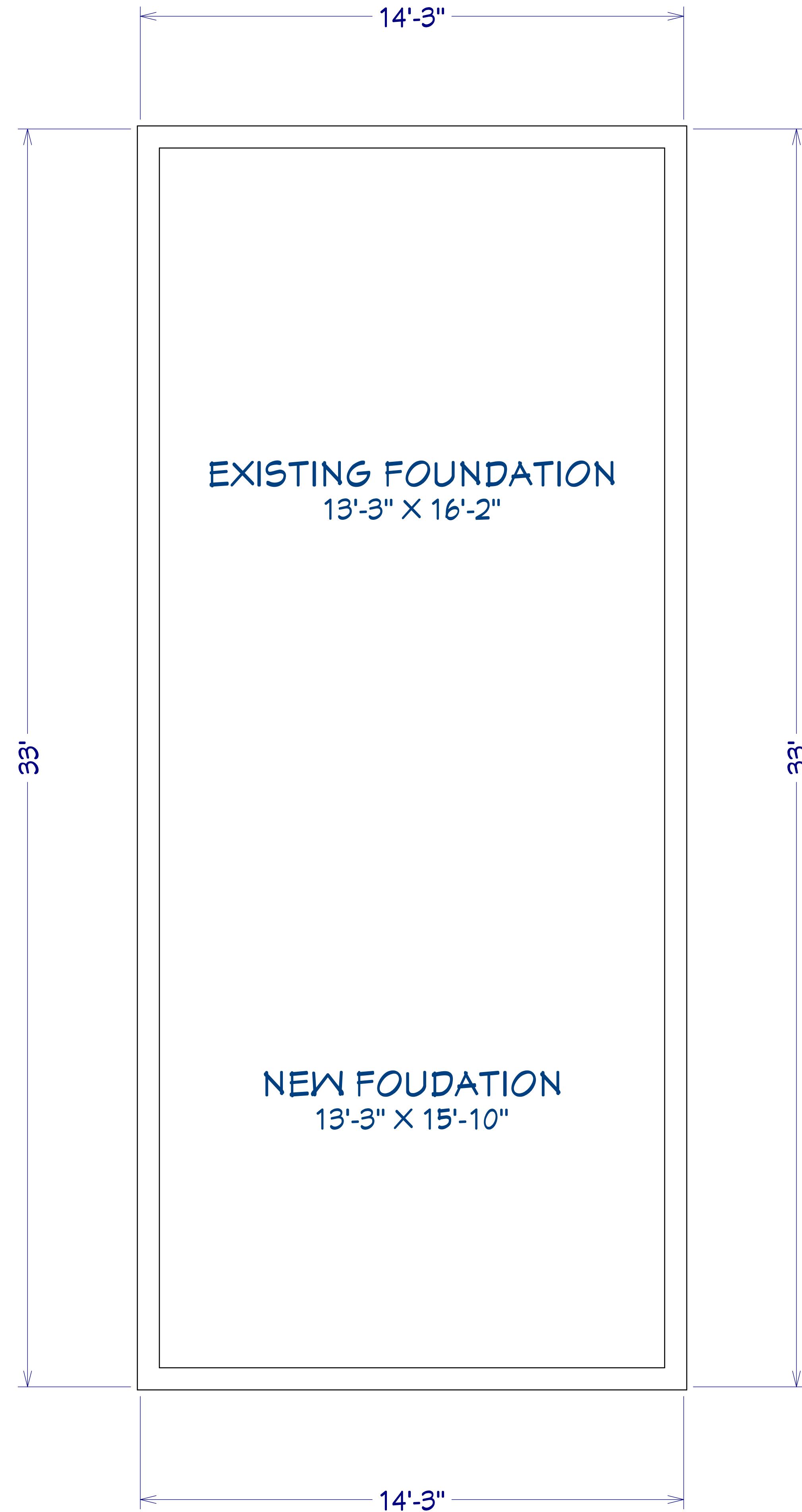
1 Existing Floor Plan
SCALE: 1/2" = 1'-0"

SCOPE OF WORK

To obtain permits for New Addition Construction in concordance to the provisions of the FBC Residential 2017 and relevant laws.

The existing Shed is build up to current code and the new addition will add another 16' to the existing Shed, plus internal walls to accommodate a new bathroom, and a open living / efficiency area.

2 Proposed Floor Plan
SCALE: 1/2" = 1'-0"

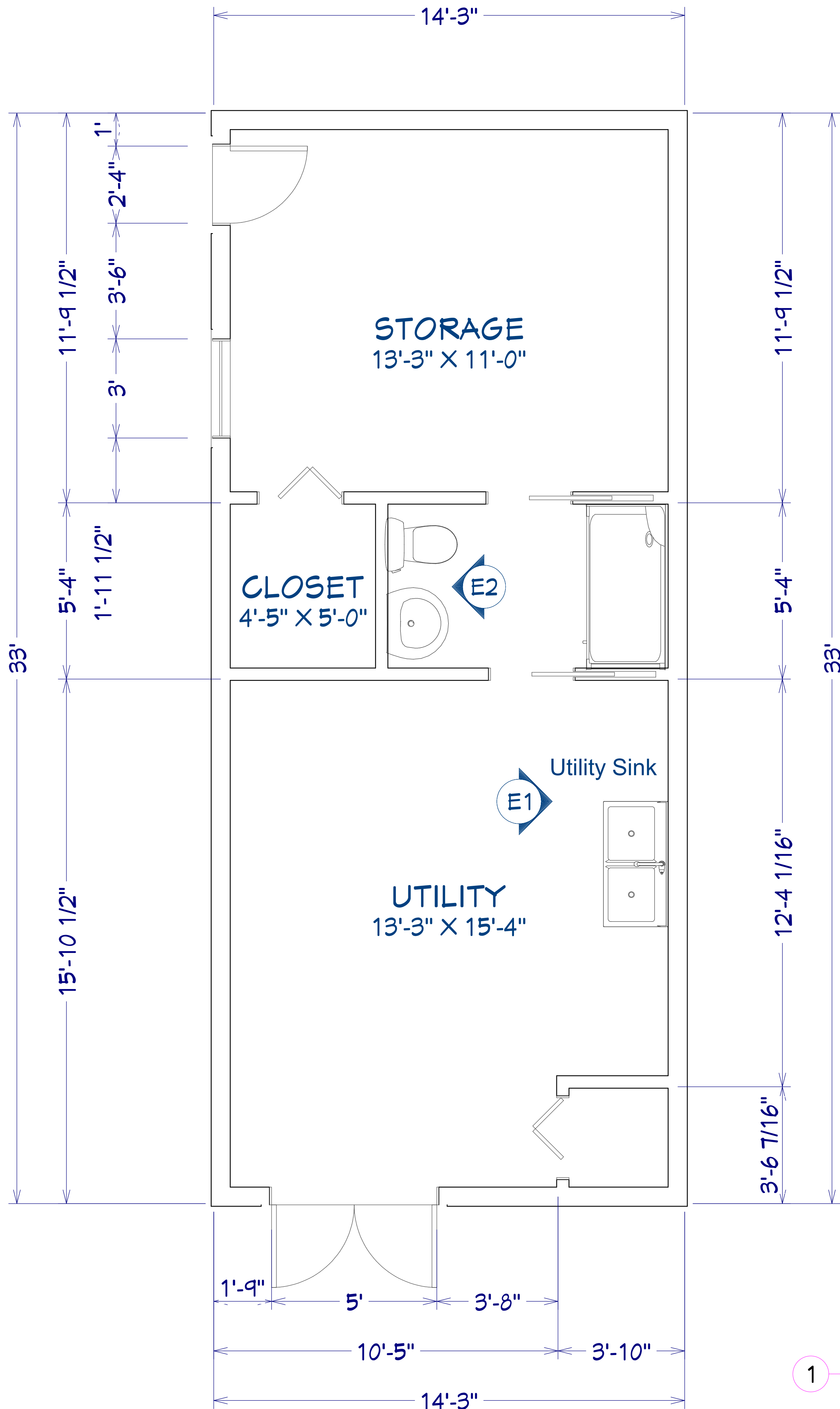


REVISIONS	
DESCRIPTION	DATE

WAYNE GANDY
CONSULTANTING ENGINEERS
P.E # 93134
SEAL AND SIGN:

SHEET INFORMATION	
PROJECT #:	
DATE:	
DRAWN BY:	
SCALE:	

SHEET #:



1 New Floor Plan
SCALE: 1/2" = 1'-0"

DOOR SCHEDULE

MARK	SIZE	DESCRIPTION	QTY
266ø	2'-6"x6'-8"	Exterior - Solid Core	1
266ø	2'-6"x6'-8"	Interior - Bifold	2
266ø	2'-6"x6'-8"	Interior - Pocket	2
506ø	5'-0"x6'-8"	Exterior - Solid Core	1

ALL DIMENSIONS ARE TO BE FIELD VERIFIED BY CONTRACTOR OR INSTALLER. * MIN. INSULATION R6

WINDOW SCHEDULE

MARK	SIZE	Description	QTY
30405H	3'-0"x4'-0"	Single Hung - Vinyl	1

VERIFY ROUGH OPENINGS OF ALL WINDOWS PRIOR CONSTRUCTION. MINIMUM U-FACTOR= 0.40
ALL WINDOWS SHALL BE HIGH HURRICANES GLASS IMPACT.

Design Notes

THIS PROJECT IS A NEW ADDITION CONSTRUCTION FOR HOUSE USE

THIS PROJECT HAS BEEN DEIGNED IN ACCORDANCE WITH 2011 FLORIDA BUILDING CODE RESIDENTIAL 6TH EDITION, SECTION R301 DESIGN CRITERIA AND ASCE 7-10.

THESE CONTRACT DOCUMENTS PREPARED UNDER MY DIRECT SUPERVISION, COMPLY WITH APPLICABLE MINIMUM CODE REQUIREMENT AND SAFETY STANDARD AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH CHAPTER 553 AND 663 OF FLORIDA STATUTES.

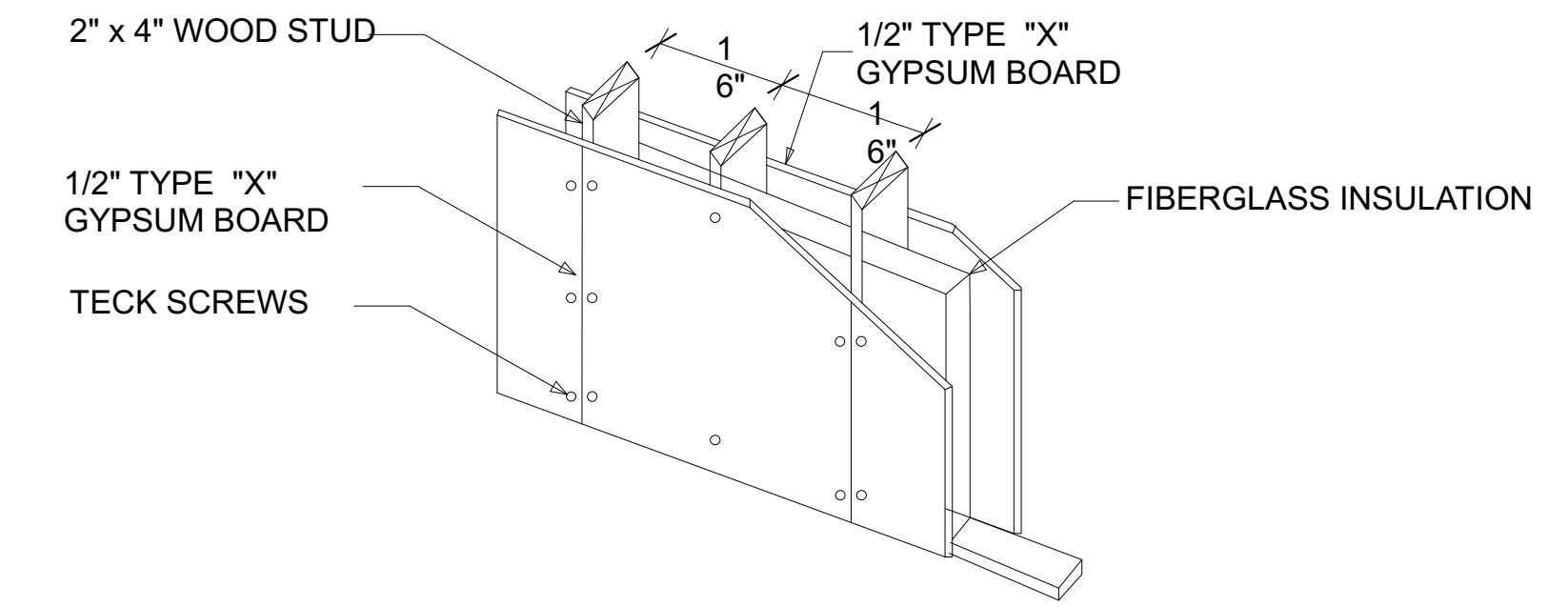
NOTE: VERIFY ALL EXISTING CONDITIONS AND MANagements PRIOR TO ANY CONSTRUCTION

COVERAGE CALCULATION

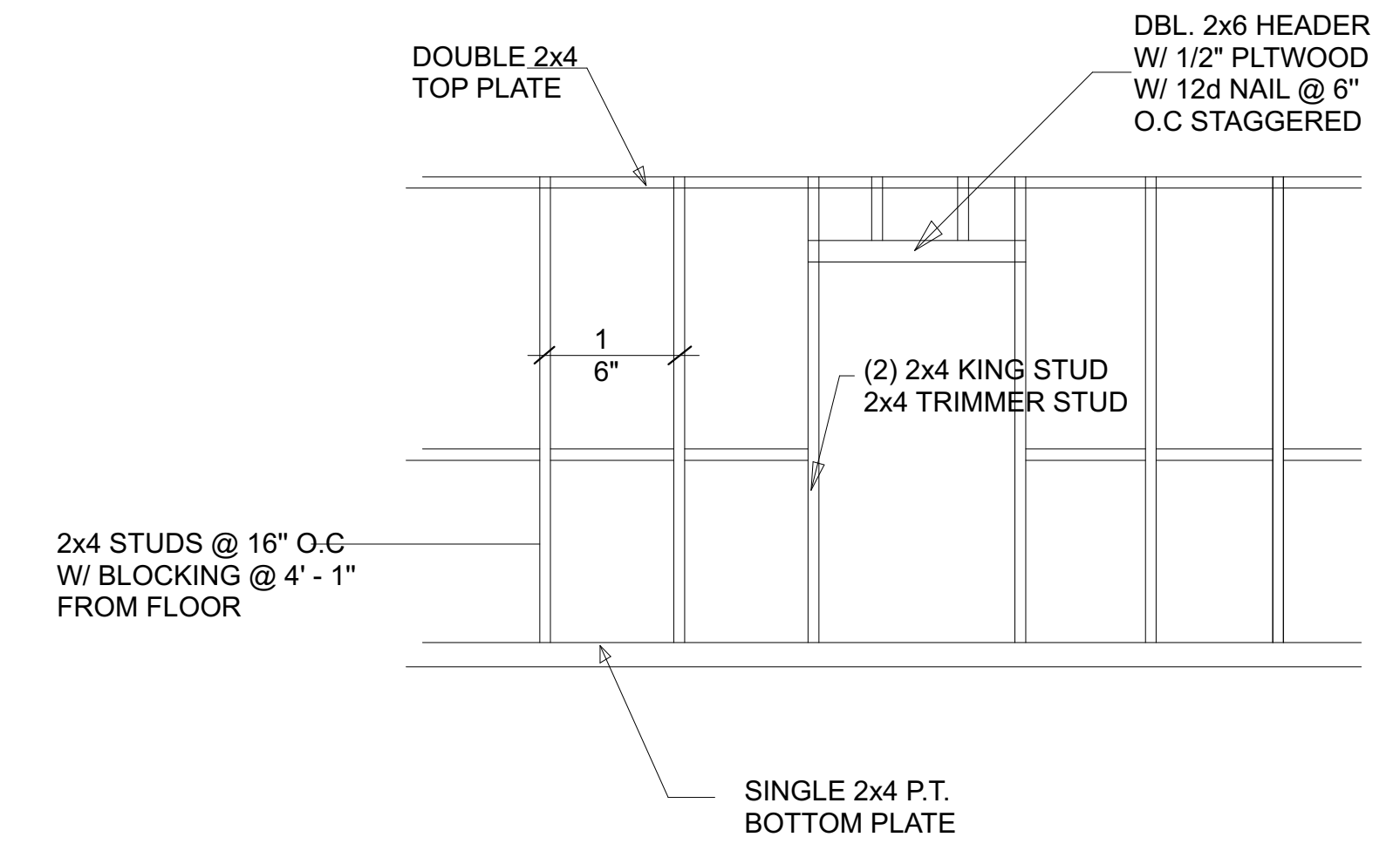
Existing Area	235 SF
Proposed Area	240 SF
Total Area	475 SF

WALL TYPE DETAIL

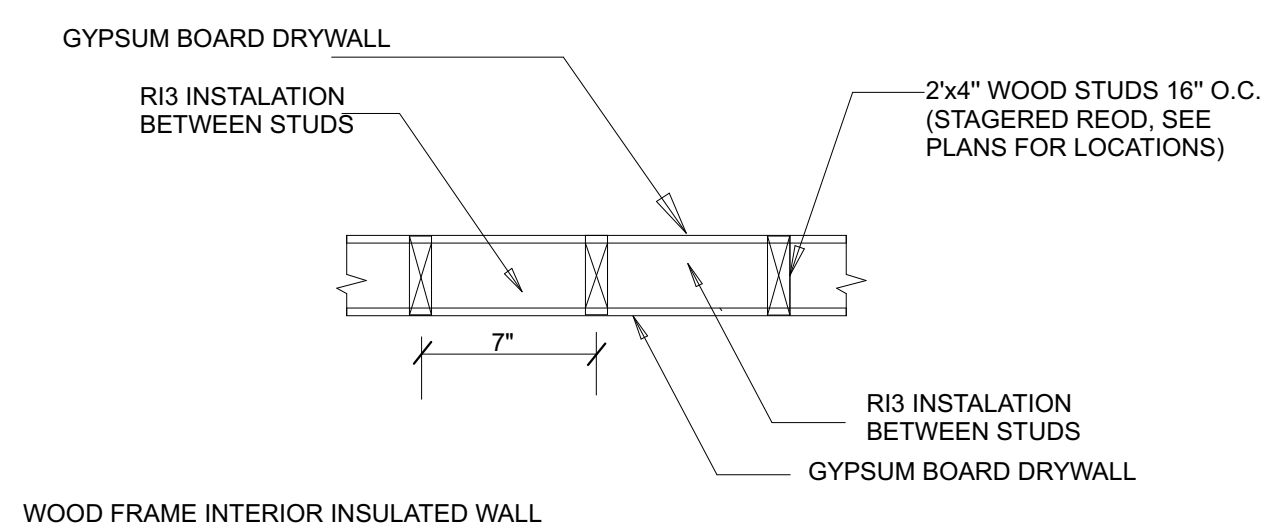
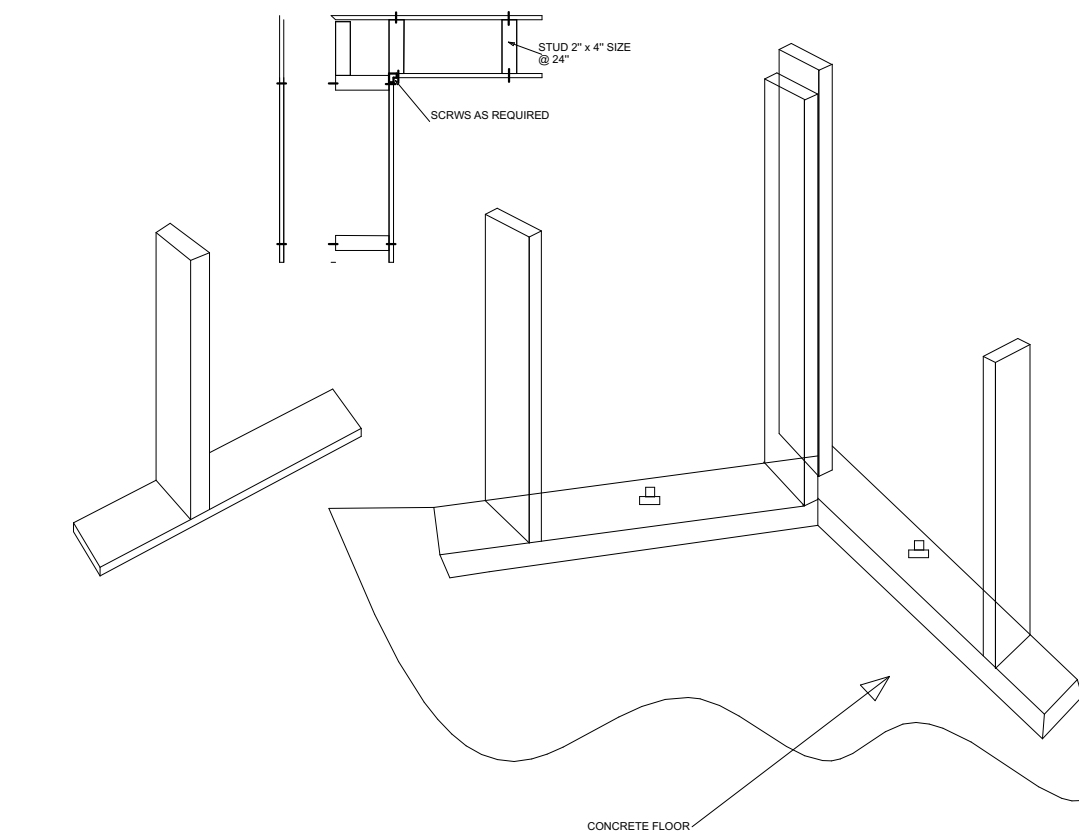
NAILING SCHEDULE
8d RINGSHANK 10" O.C
On field and
GABLE ENDS 6" O.C
w/ RINGSHANK



NON LOAD BEARING DOOR OPENING



CORNER FRAMING/ STUD TO TRACK CONNECTION



REVISIONS

DESCRIPTION	DATE

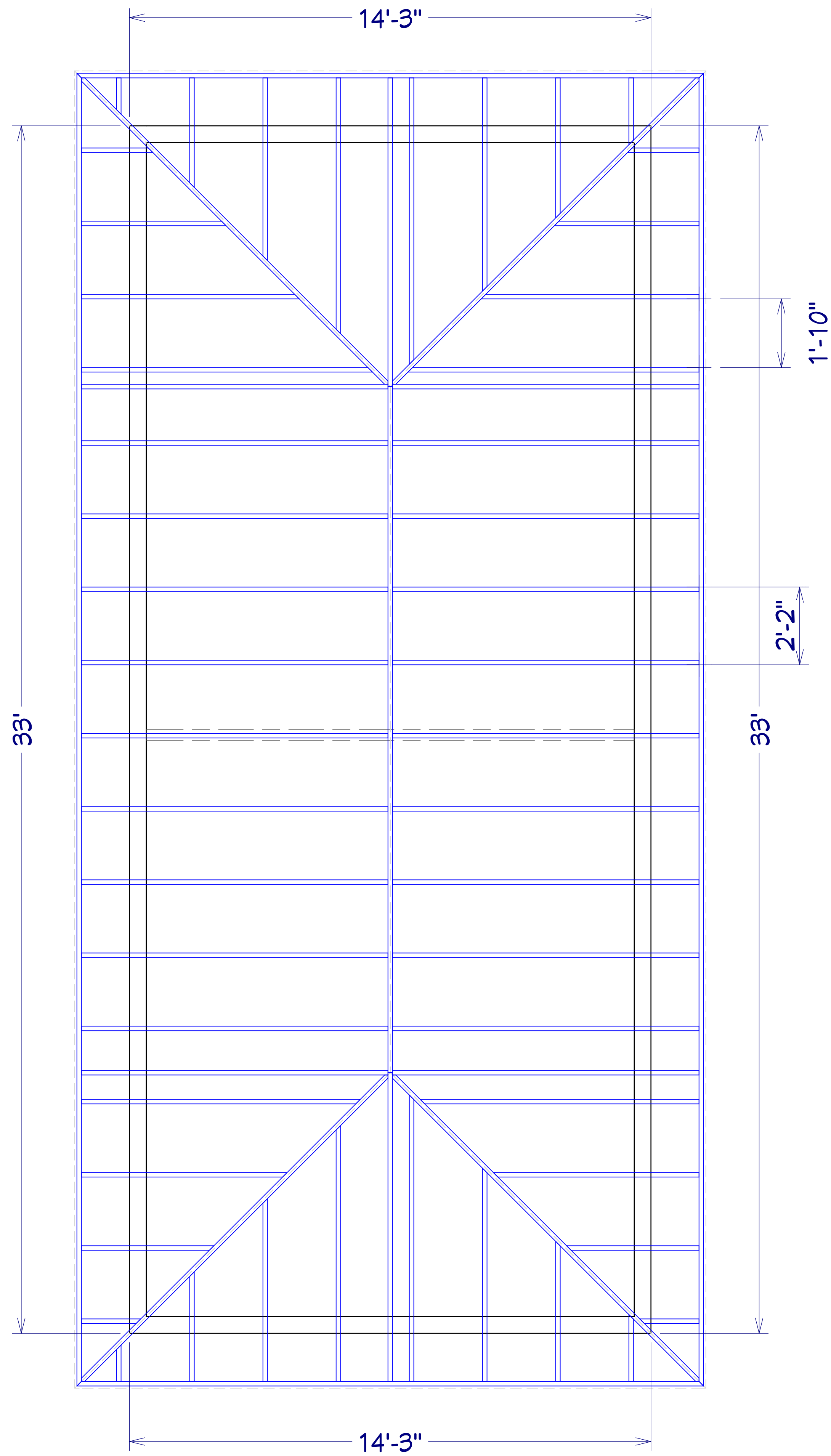
WAYNE GANDY

CONSULTANTING ENGINEERS
P.E # 93134
SEAL AND SIGN:

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SCALE:	

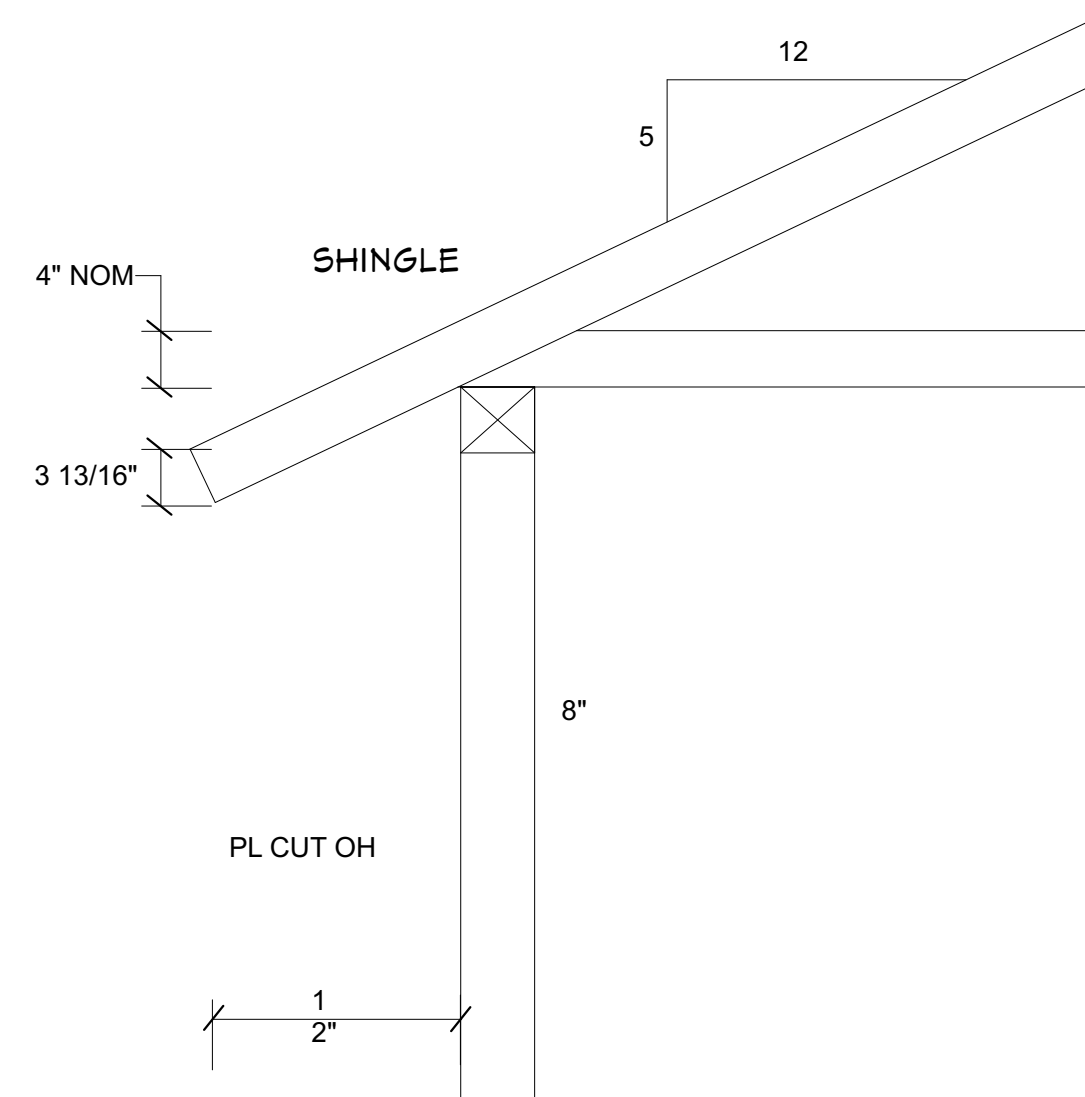
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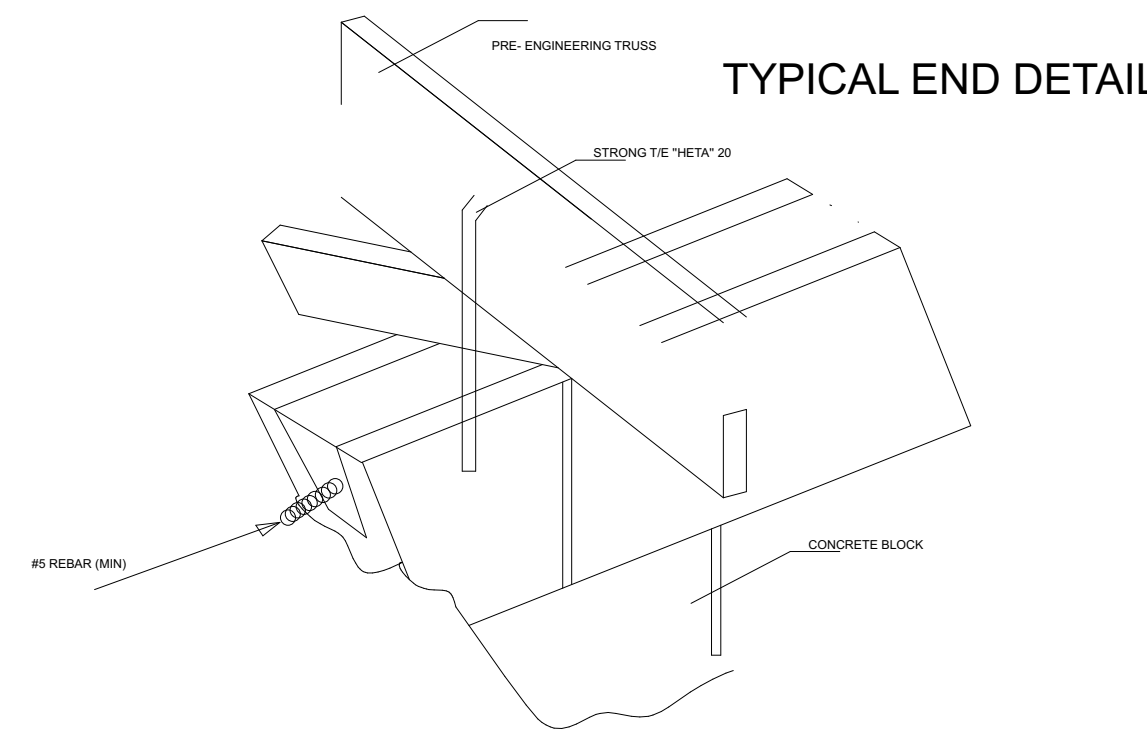
Design Criteria

TOP CHORD LIVE LOAD		20
TOP CHORD DEAD LOAD		7
BOTTOM CHORD LIVE LOAD	NON-CONCURRENT	10#
BOTTOM CHORD DEAD LOAD		10#
TOTAL LOAD		37
DURATION FACTOR		1.25
WIND DESIGN SPEED (MPH)		150
MAX WALL HT FOR WIND LOAD		8'-0"
ASCE 7-10	2017 FBC	MW / FRS
EXP C	CLOSED	
CAT 11		

ALL TRUSSES 24 DEGREE CENSUS UNLESS NOTED OTHERWISE

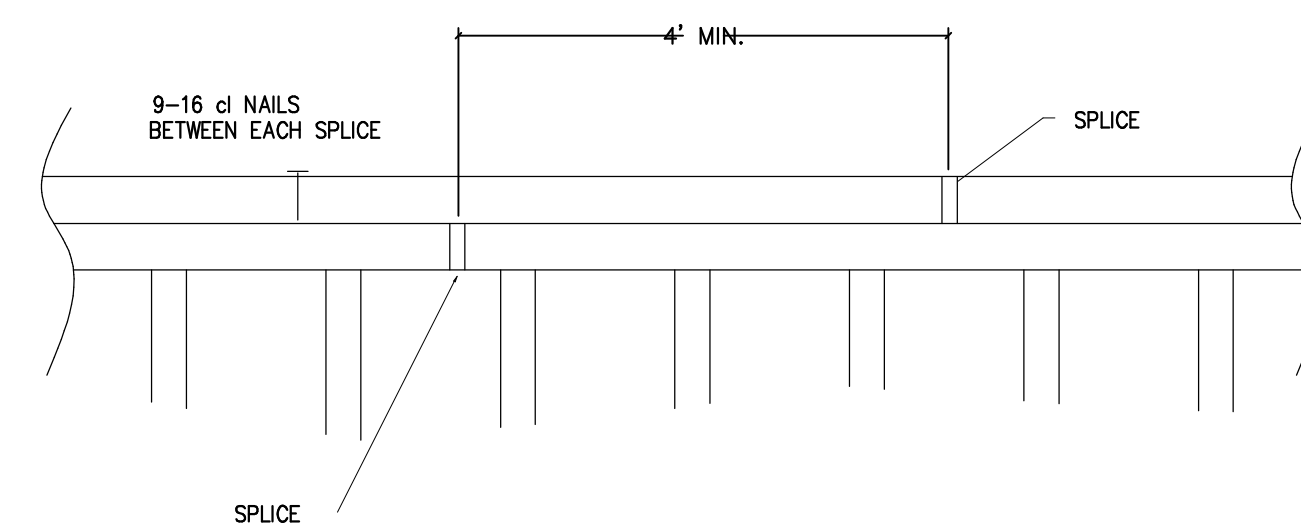


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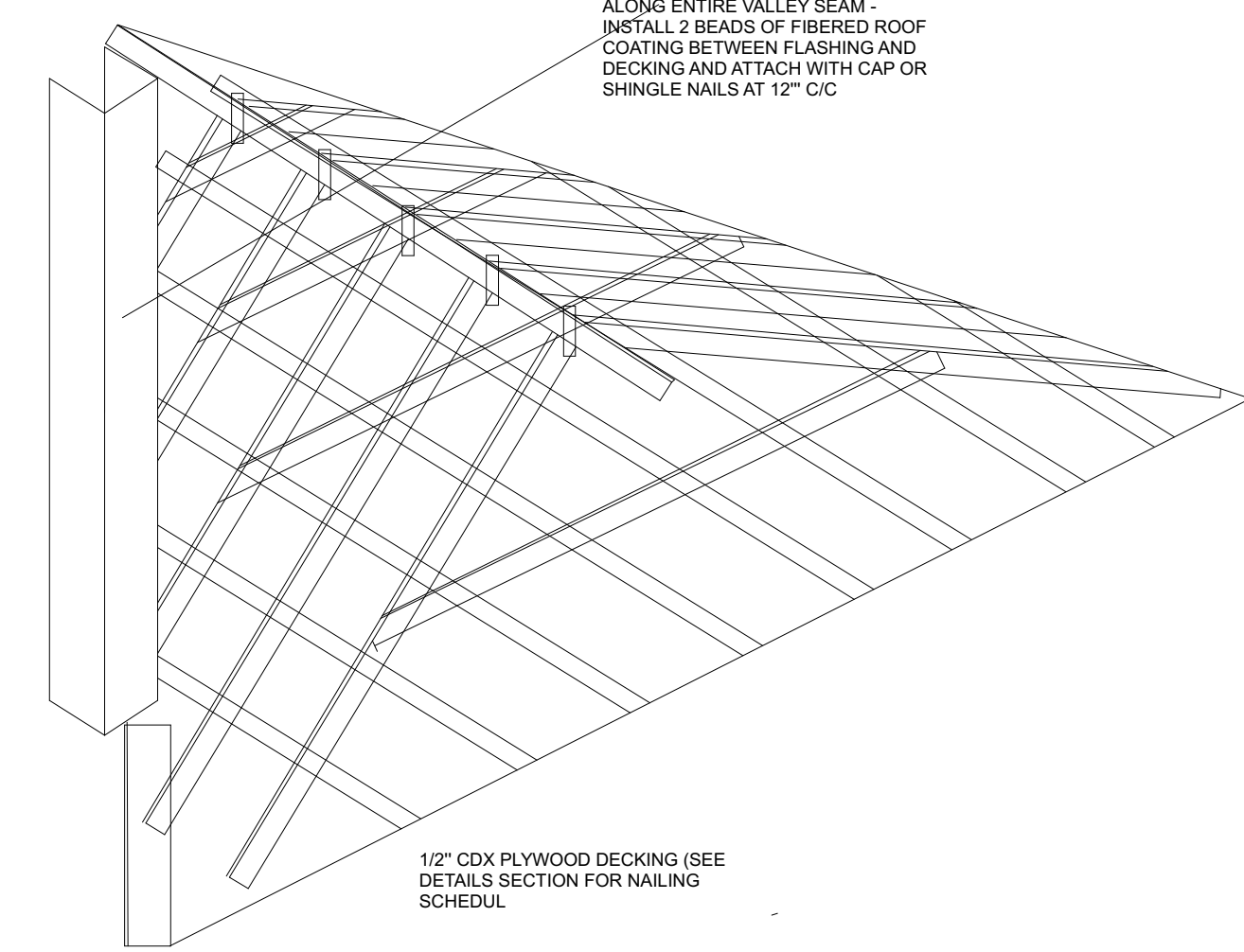


TYPICAL END DETAIL

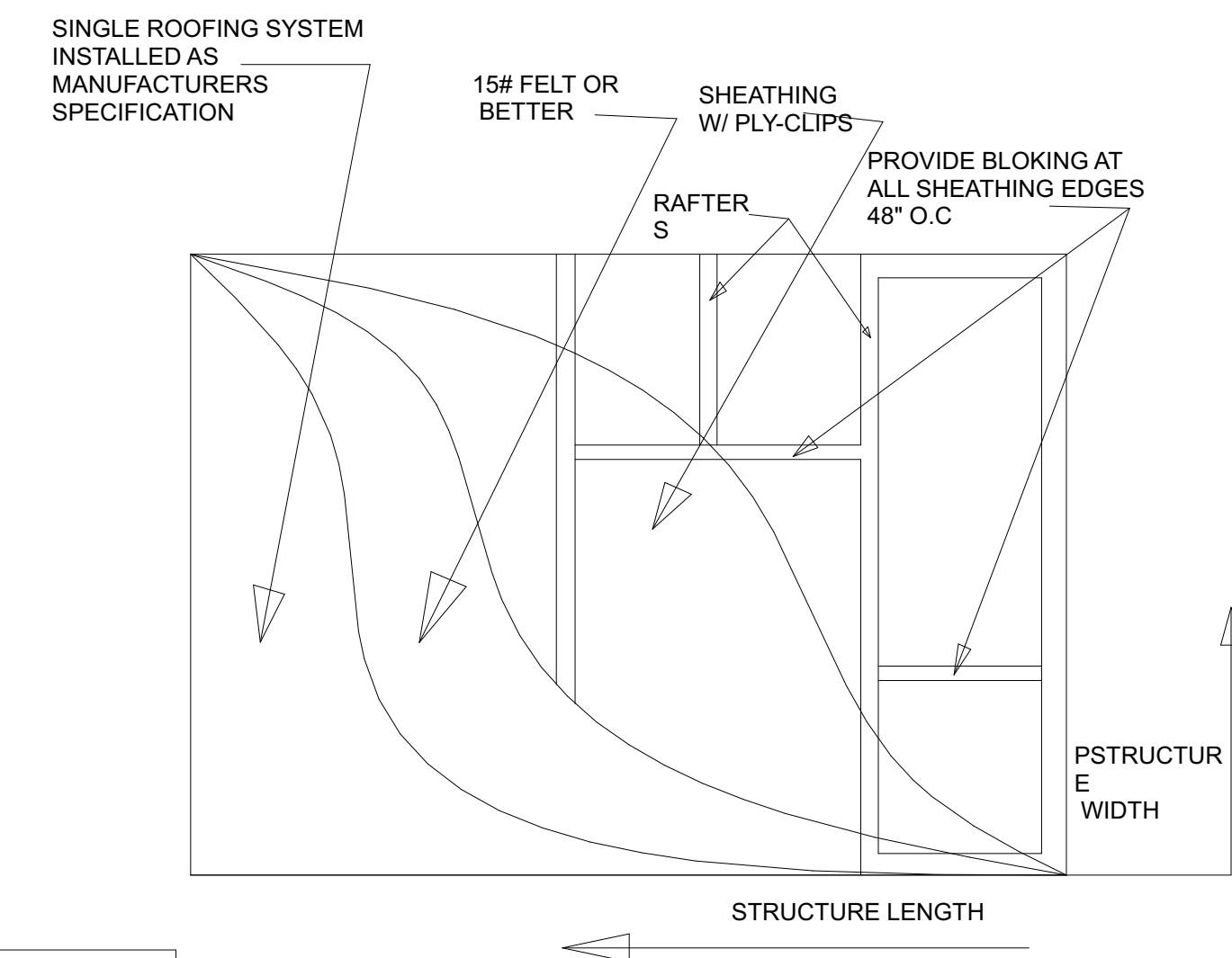
SPLICE DETAIL



VALLEY DETAIL



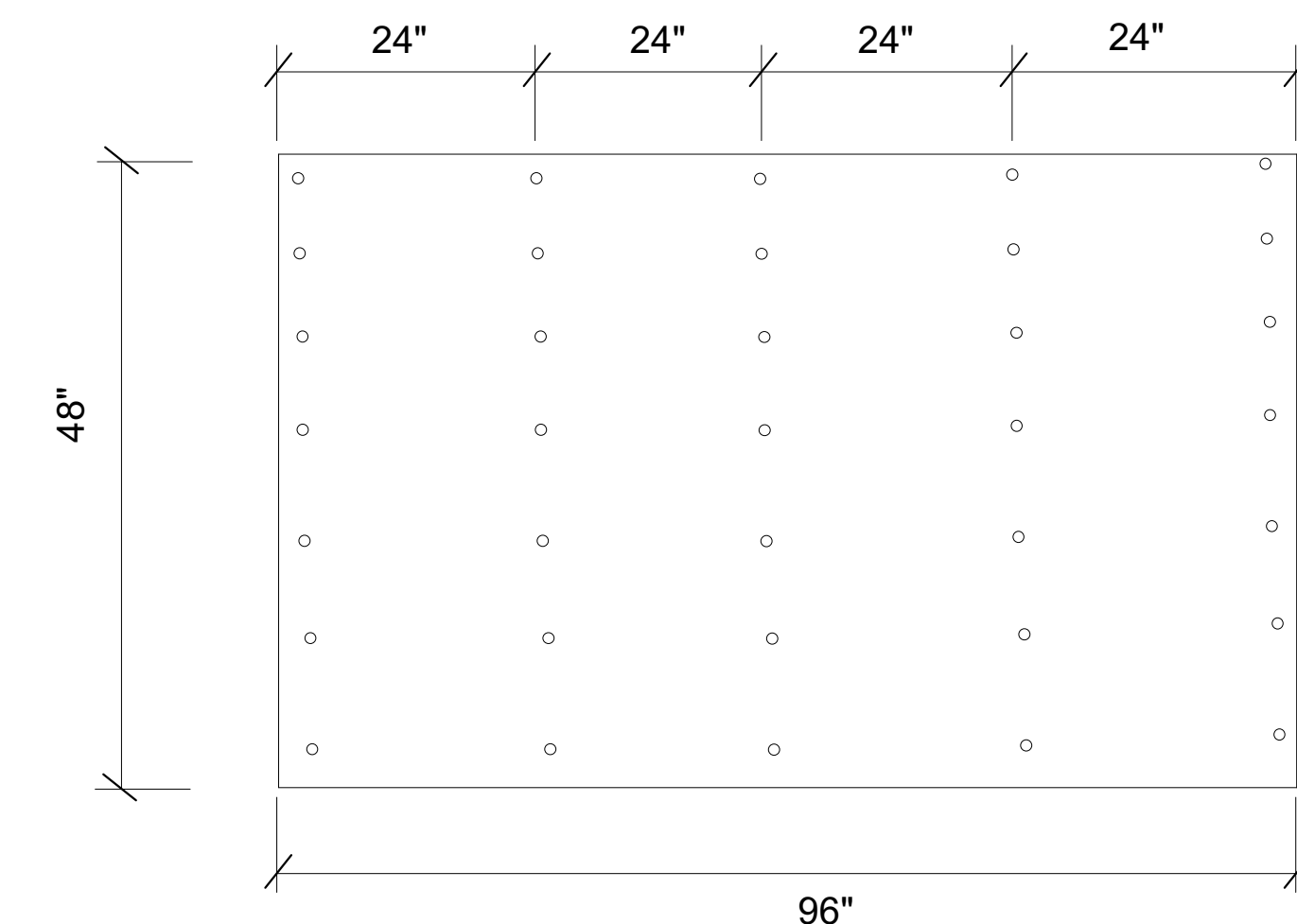
ROOF SHEATHING LAYOUT



SHEATHING:
1/2" Plywood

NAILING SCHEDULE:
8D RINGSHANK 6" O.C
GABLE ENDS 4" O.C
w/ RINGSHANK

WALL TYPE DETAIL



1/2" Plywood Roof Sheathing

R806.2 Minimum Vent Area

The minimum net free ventilation area shall be 1/150 of the area of the vented space.
475 / 150 = 3.17 - Provide 4' x 1' Roof Vents

1 New Roof Plan
SCALE: 1/2" = 1'-0"

REVISIONS

DESCRIPTION	DATE

WAYNE GANDY

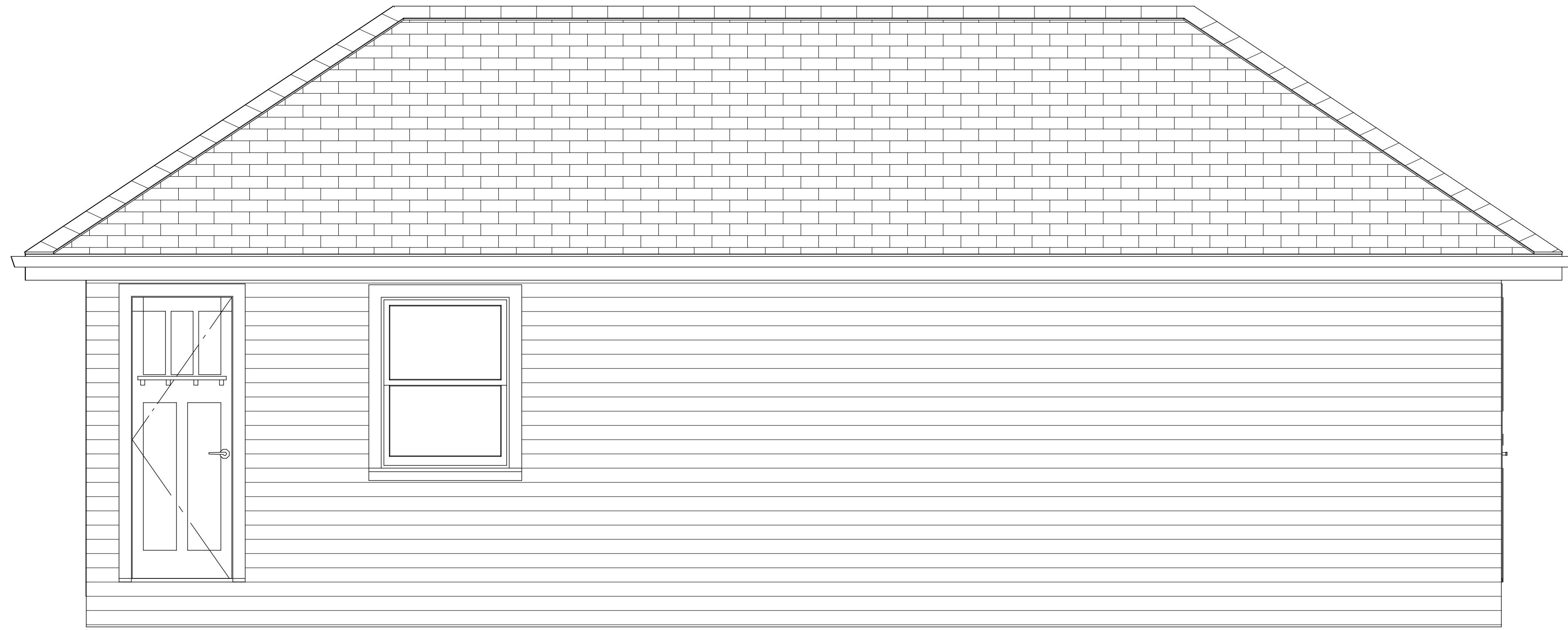
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P.E. # 93134
SEAL AND SIGN:

SHEET INFORMATION

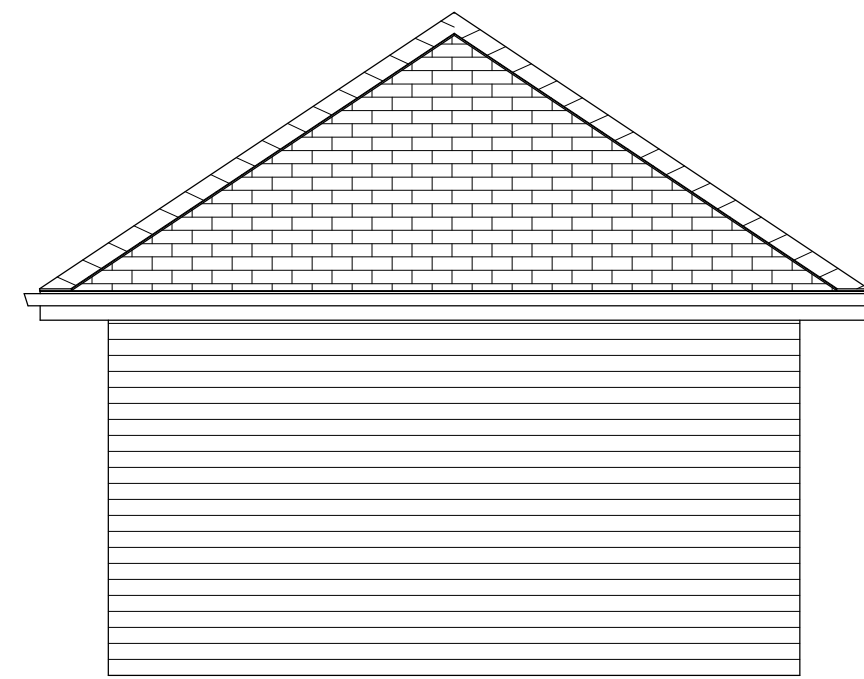
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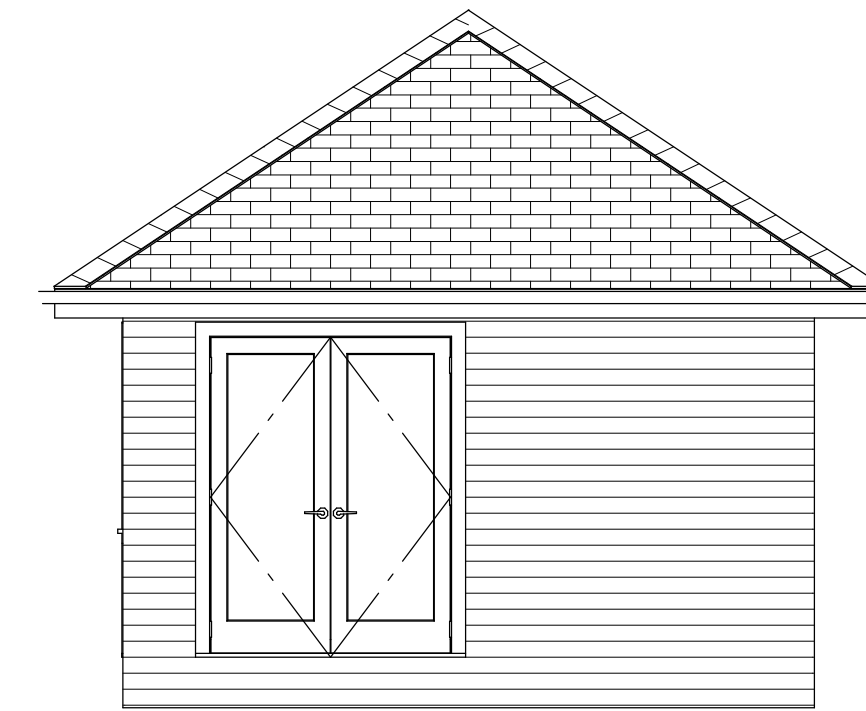
1 North Elevation
SCALE: 1/2" = 10"



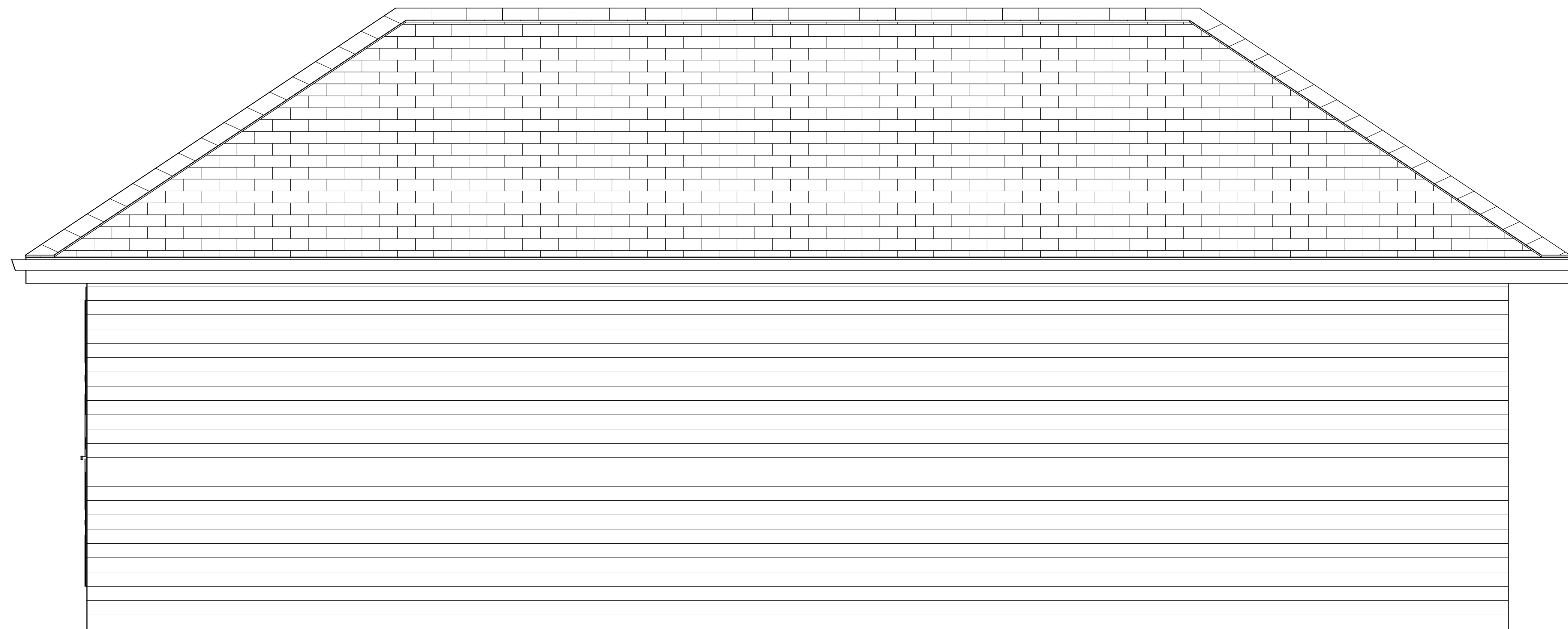
3 East Elevation
SCALE: 1/2" = 10"



4 West Elevation
SCALE: 1/2" = 10"



2 South Elevation
SCALE: 1/2" = 10"



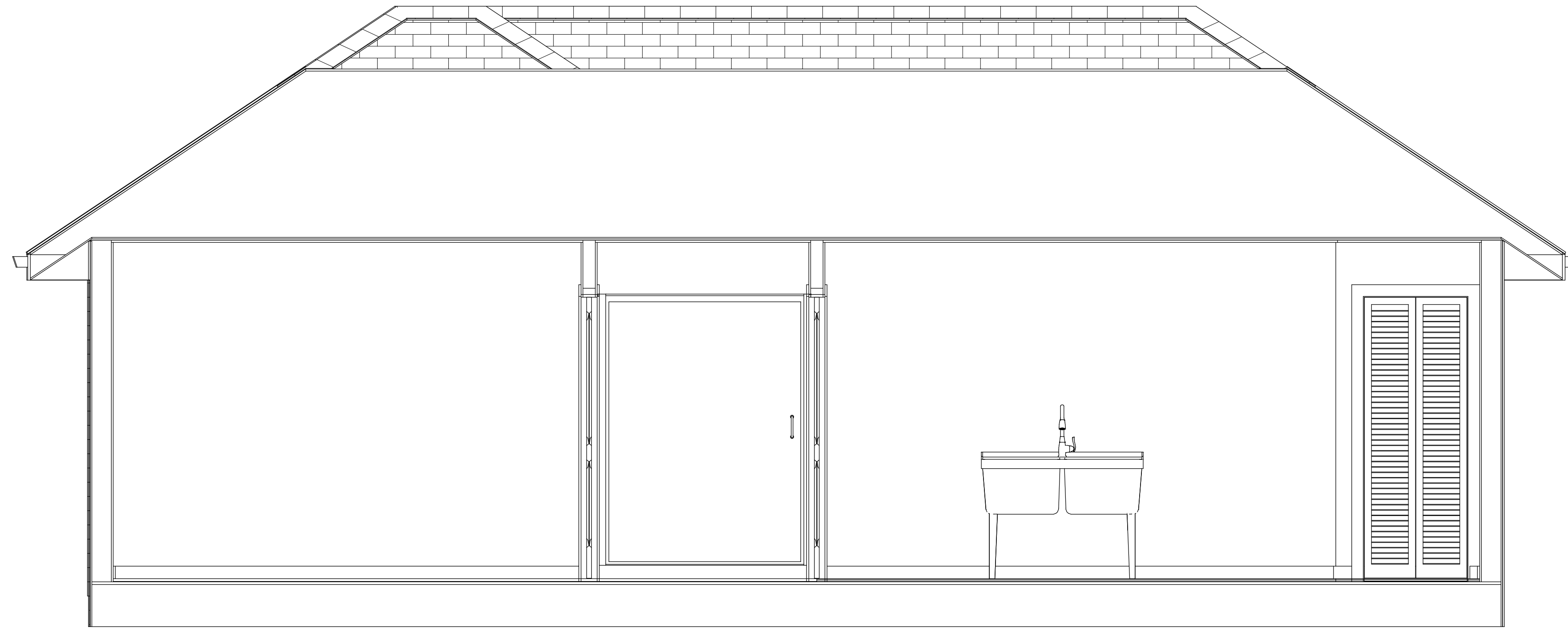
REVISIONS	
DESCRIPTION	DATE

WAYNE GANDY
CONSULTANTING ENGINEERS
P.E. # 93134
SEAL AND SIGN:

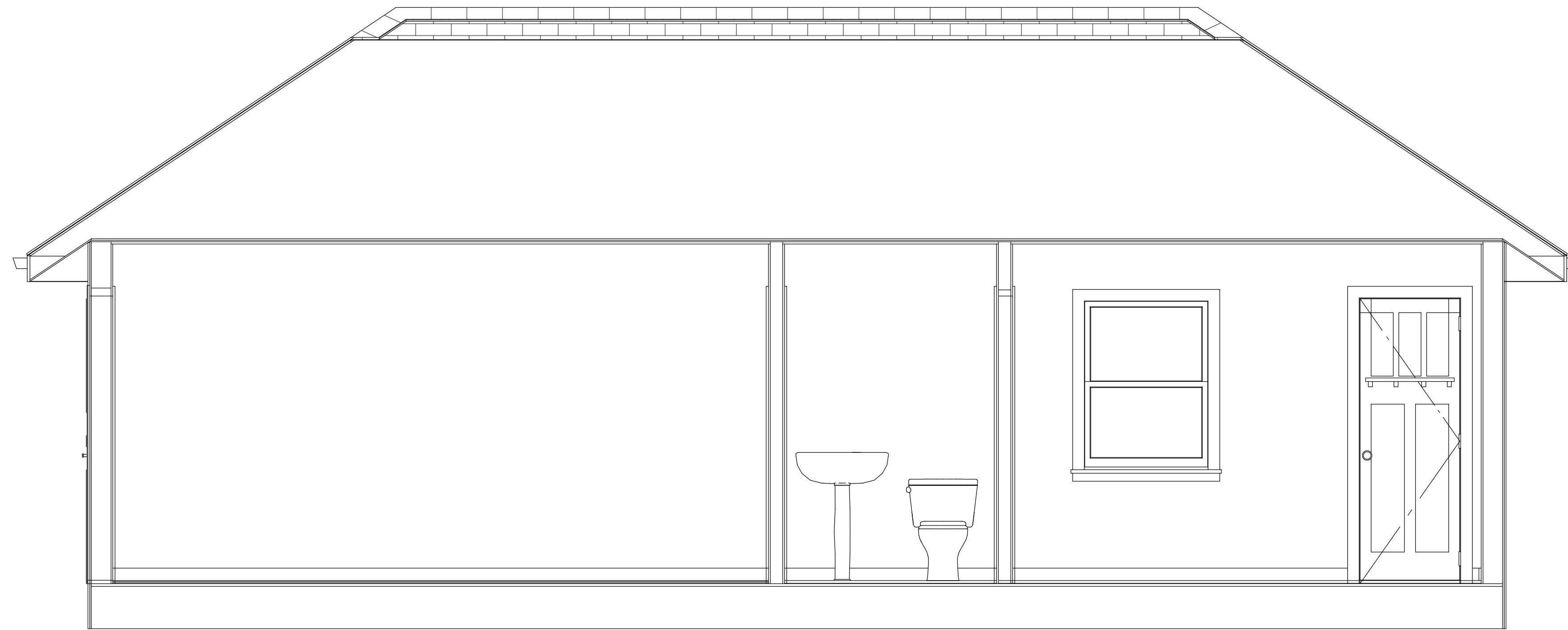
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DRAWN BY:	
SCALE:	

SHEET #:

A006



1 SECTION 1
SCALE: 1/2" = 1'0"



2 SECTION 2
SCALE: 1/2" = 1'0"

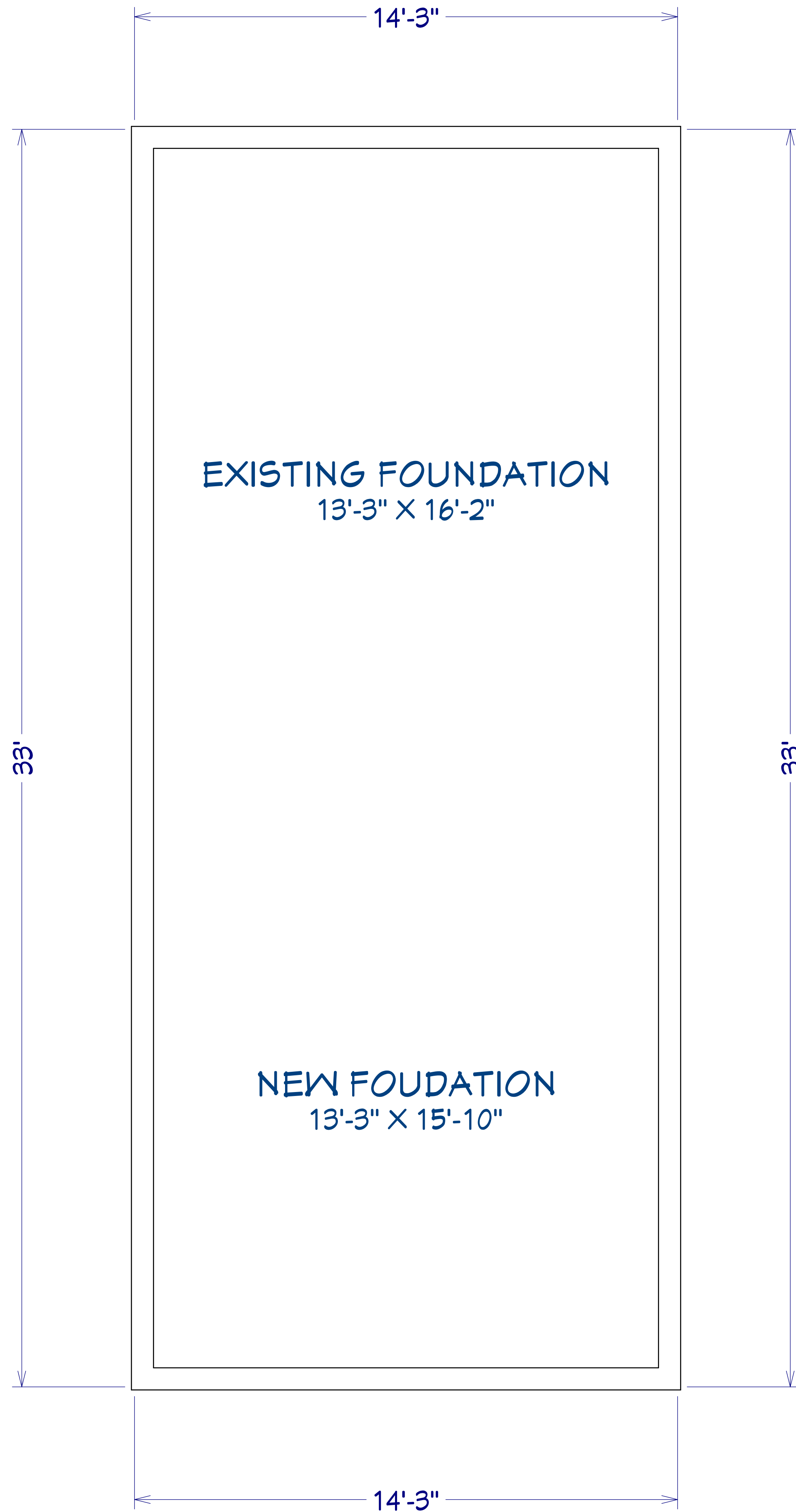
OWNER: Oxana Daniels
ADDRESS: 2028 Summerfield Rd, Winter Park, FL 32792

REVISIONS	
DESCRIPTION	DATE

WAYNE GANDY
CONSULTANT ENGINEERS
P.E. # 93134
SEAL AND SIGN:

SHEET INFORMATION	
PROJECT #:	
DATE:	
DRAWN BY:	
SCALE:	

SHEET #:



1 New Foundation Plan
SCALE: 1/2" = 1'-0"

General Notes

Codes

2017 Florida Building Code-Building
ASCE 7 - 10
ACI 318 - 11
ACI 530 - 11

Concrete

Precast Lintels 4000 psi
Prestressed Lintels - 6000 psi
Grout per ASTM C476 - 3000 psi
Product Approvals: Miami-Dade County
Florida Nos. 03-0605.05 and 03-0605.04.
Florida Certificate of Product Approval No. F1158

Reinforcement

Rebar Placed in Precast - ASTM A615 Gr 60
Rebar Placed in field - ASTM A615 Gr 40
Prestressed Strand - ASTM A416 Gr 270

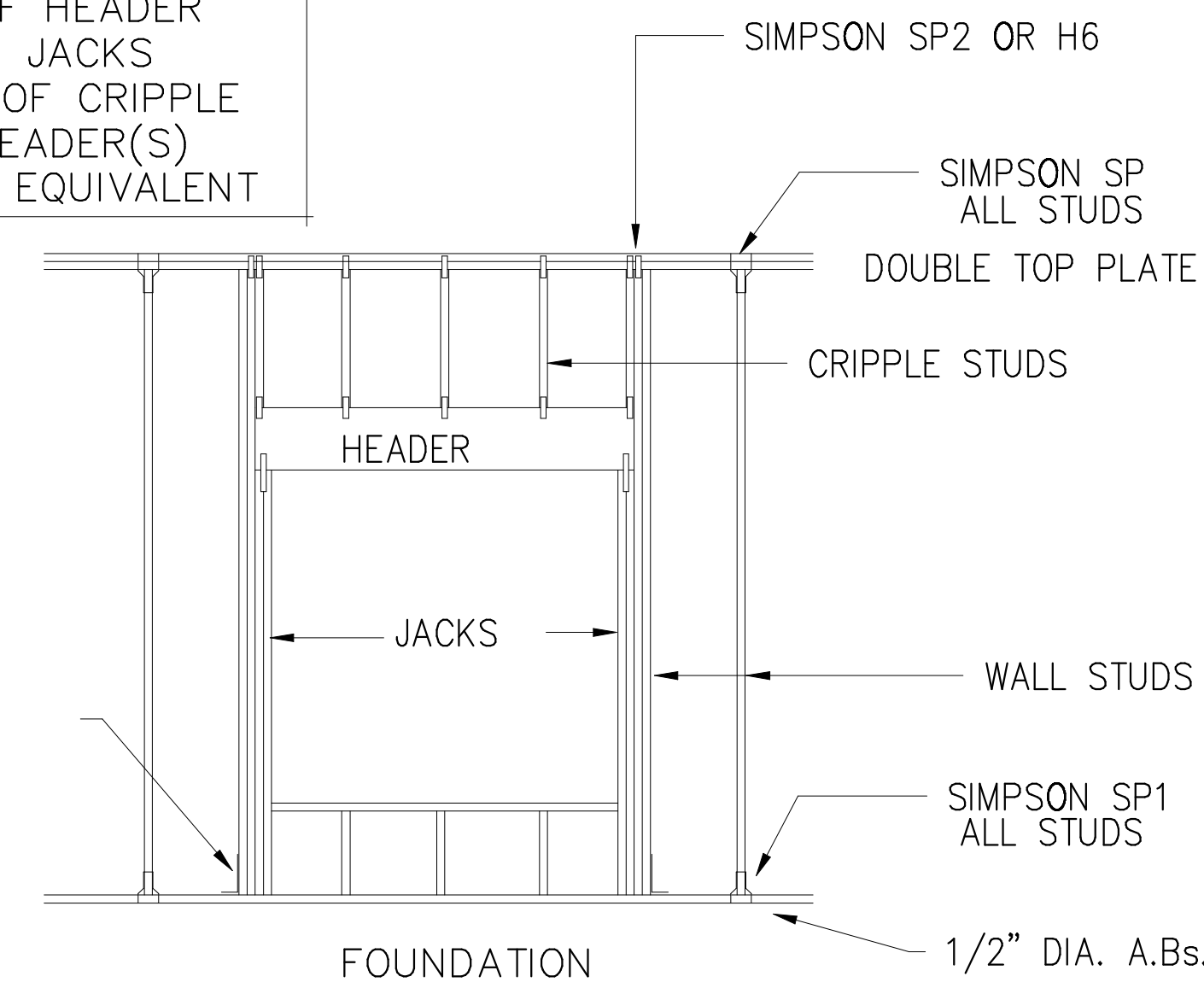
Masonry

Concrete Masonry Unit per Astm C90 1400 psi
Mortar per ASTM C270 Type M or S

IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW ALL DRAWINGS BEFORE CONSTRUCTION BEGINS D32 INVEST IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THIS PROJECT ONLY ANY DISCREPANCY BETWEEN FIELD CONDITIONS. OTHER DESIGN PROFESSIONALS SHOP DRAWINGS. CONTRACTORS BUILDING INVEST PRIOR TO THE COMMENCEMENT OF CONSTRUCTION

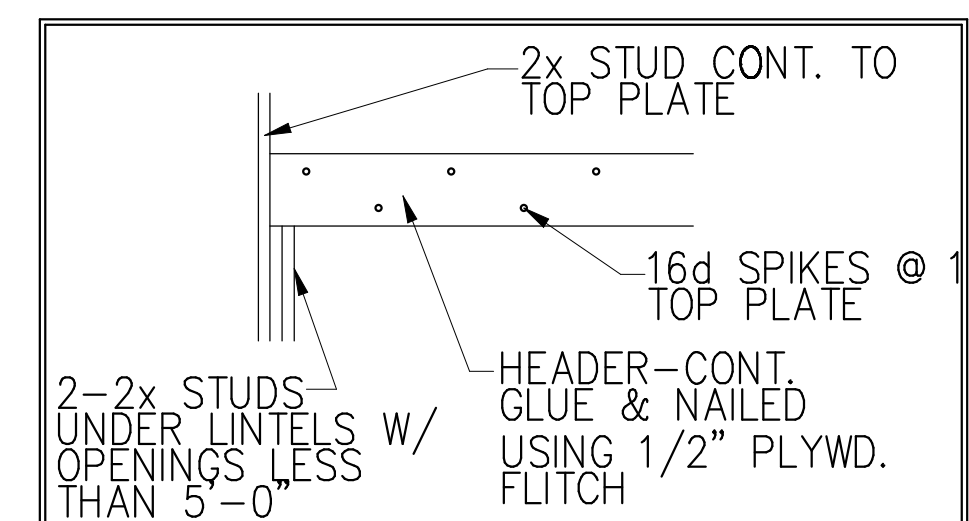
UPLIFT CONNECTORS REQ'D AT EACH END OF HEADER AND BOTTOM OF JACKS AND EACH END OF CRIPPLE STUDS ABOVE HEADER(S) SIMPSON H4 OR EQUIVALENT

SIMPSON LTT20B AND 1/2"DIA. A.Bs. W/2" WASHER



WALL FRAMING DETAILS

FOR WOOD FRAME WITH SILL PLATE BOLTED TO SLAB



HEADER SCHEDULE		
OPENING WIDTH	BEARING WALL OR SHEARWALL	NON-BEARING WALLS
0'-0" TO 3'-0"	2-2x6'S	2-2x4'S
3'-1" TO 5'-0"	2-2x10'S	2-2x4'S
5'-1" TO 7'-0"	2-2x12'S	2-2x6'S
7'-1" TO 9'-0"	2-2x12 W/ 1/2" PLYWD. FLITCH	2-2x8'S

- USE HEADER SIZES ABOVE UNLESS OTHERWISE NOTED ON FRAMING PLAN
- PRIMARY FRAMING (BEAMS,GIRDERS,ETC..) WERE SIZED USING 1800 'FB' EXTREME FIBER IN BENDING(SINGLE) 90 'FV' HORIZONTAL SHEAR 16E 'E' MODULES OF ELASTICITY
- JOIST, RAFTERS, LINTELS, ETC. WERE SIZED USING: 1200 'FB' EXTREME FIBER IN BENDING(SINGLE) 90 'FV' HORIZONTAL SHEAR 16E 'E' MODULES OF ELASTICITY

REVISIONS

DESCRIPTION	DATE

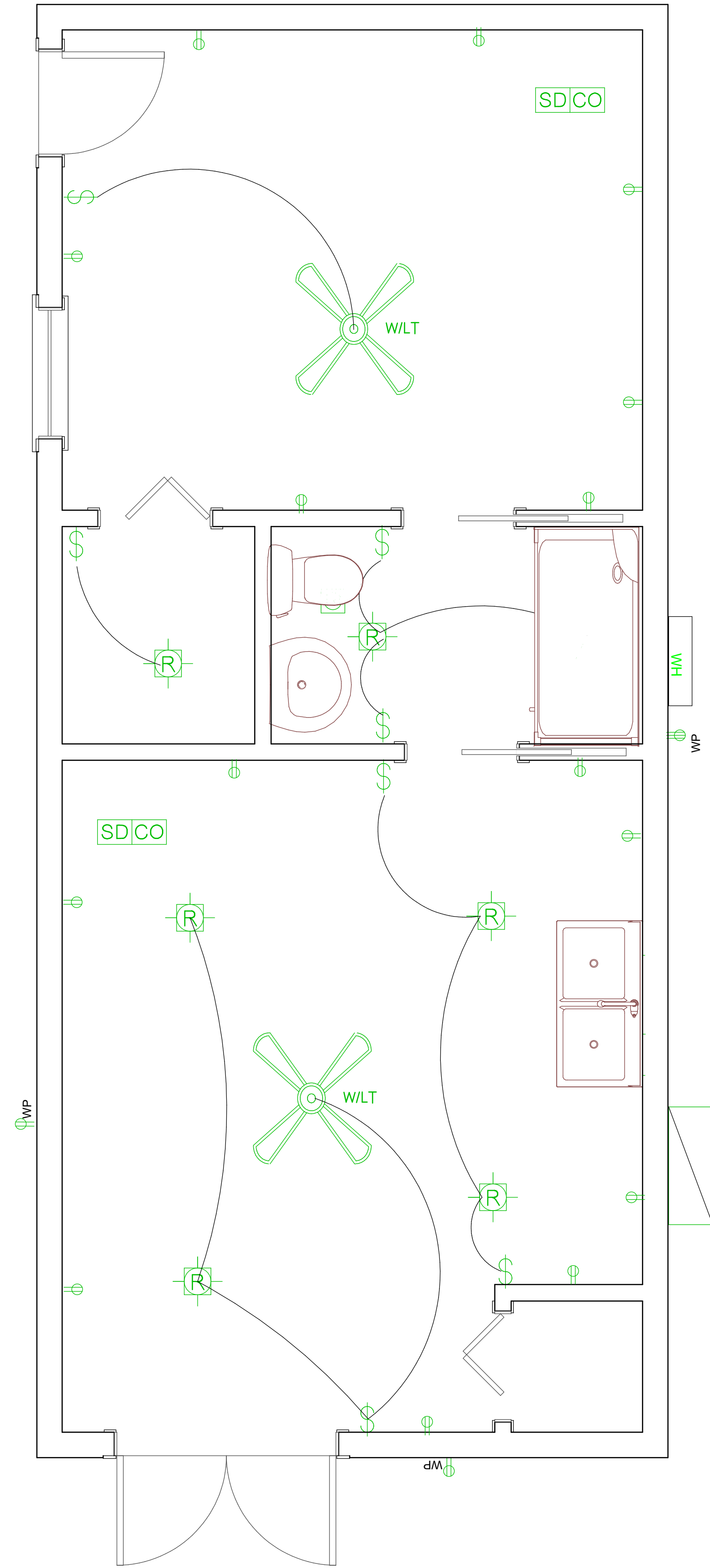
WAYNE GANDY

CONSULTANT ENGINEERS
P.E # 93134
SEAL AND SIGN:

SHEET INFORMATION

PROJECT #:	
DATE:	
DRAWN BY:	
SCALE:	

SHEET #:



Electrical Notes:

ALL EQUIPMENT TO BE PROTECTED IN ACCORDANCE WITH N.E.C. 17.

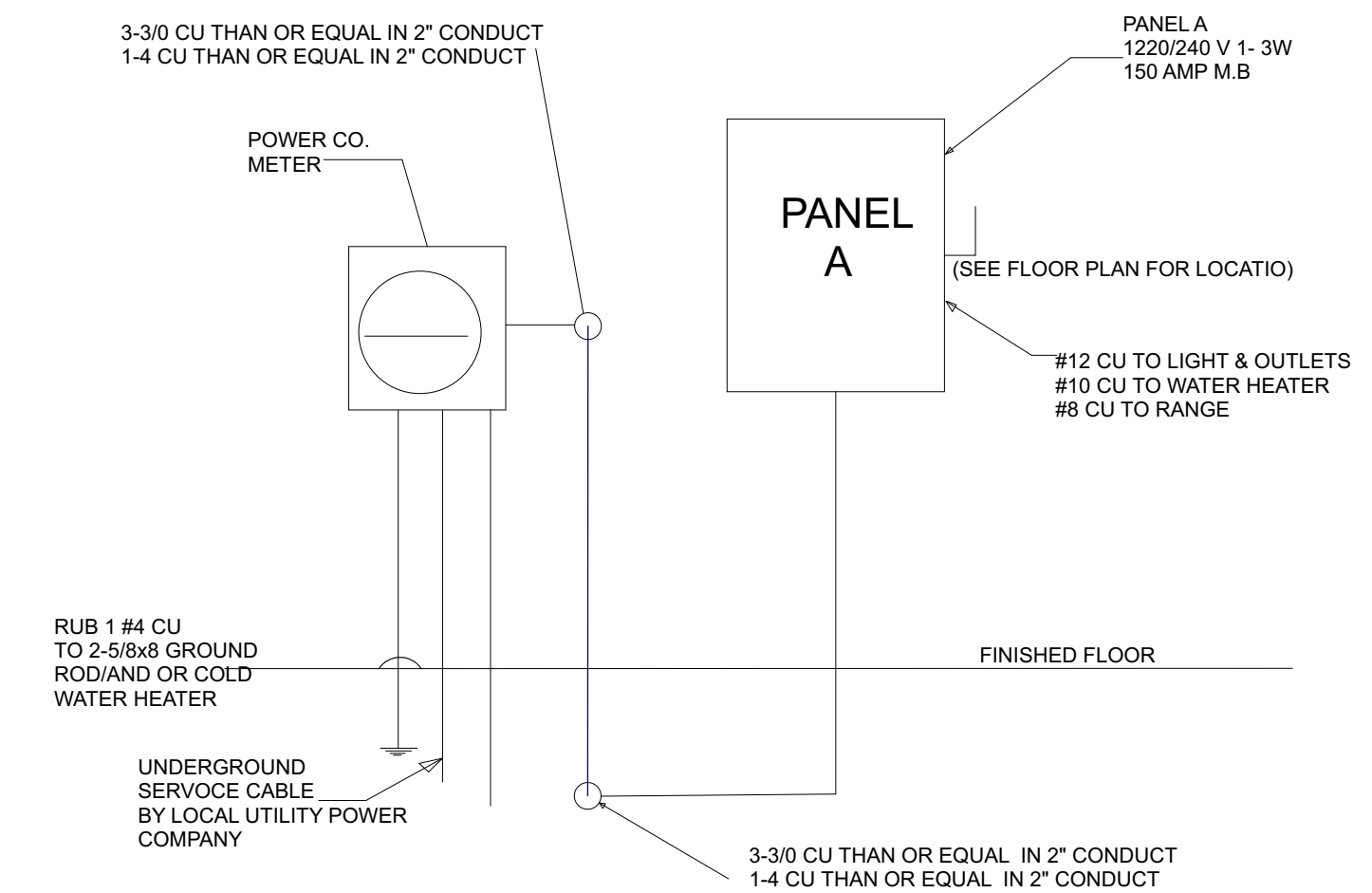
1. INSTALLATION SHALL BE IN ACCORDANCE WITH N.E.C
2. ALL LOCAL AND STATE CODE REQUIREMENT ALL MATERIALS SHALL BE UL APPROVED
3. ELECTRICAL CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE FOR USE OF ALL TRADES AS REQUIRED FOR CONSTRUCTION
4. ELECTRICAL CONTRACTOR SHALL VERIFY REQUIREMENT EXACT LOCATION AND TYPE OF OUTLET FOR ALL ELECTRICAL FIXTURES APPLIANCES AND EQUIPMENT
5. ELECTRICAL CONTRACTORS SHALL PROVIDE ALL ELECTRICAL PERMITS
6. ALL CONTRACTORS SHALL BE COPPERS. THE MINIMUM SIZE SHALL BE #14 THN. CONDUCTORS. #5 AND LARGER SHALL BE THN.
7. ELECTRICAL CONTRACTORS TO COORDINATE TELEPHONE SERVICES
8. PROVIDE A TYPEWRITTEN DICTIONARY FOR PANEL
9. ALL OUTLET, LIGHT AND FANS SHALL BE CONNECTED TO 150 AMP PANEL
10. ALL CONDUCT SHALL BE GALVANIZED RIGID EXCEPT AS FOLLOWS.
11. EMT MAY BE USED INDOORS, OUT OF SOIL AND WHERE NOT SUBJECT TO PHYSICAL ABUSE.
12. ROMEX MAY BE USED WHERE ALLOWED
 - FLEXIBLE CONDUIT SHALL BE USED FOR EQUIPMENT CONNECTIONS NOT TO EXCEED 6FT
 - PVC MAY BE USED OUTDOORS AS ALLOWED BY CODE

ELECTRICAL Load Calculation

Description	Load
2,0 SQ @ 3 VA	= 6.0 KVA
3 APPLIANCE CIRCUITS @ 1,500VA	= 4.5 KVA
WATER HEATER	= 4.5 KVA
DISHWASHER	= 1.2 KVA
DRYER	= 5.6 KVA
	= 21.8 KVA
FIRST 10KVA @ 100%	= 10.0 KVA
REMAINDER @ 40%	= 4.72 KVA
	= 14.72 KVA
CONDENSER UNIT 240V x 20A	= 4.8 KVA
AIR HANDLER UNIT 5 KVA @ 65%	= 3.25 KVA
	= 22.77 KVA
TOTAL AMPS (Minimum) 22,770 / 240	= 94.875 A

ELECTRICAL SCHEDULE:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	CEILING FIXTURE		REFRIGERATOR
	RECESSED CEILING FIXTURE		ELECTRIC RANGE
	DROP CORD CEILING FIXTURE		CLOTHES WASHER
	SINGLE POLE SWITCH		DISH WASHER
	THREE WAY SWITCH		GARBAGE DISPOSAL
	DUPLEX OUTLET		MICROWAVE
	DUPLEX 220V		TELEPHONE OUTLET
	WEATHER PROOF DUPLEX OUTLET		THERMOSTAT
	DUPLEX OUTLET -42" CLEAR FLOOR TO BOTTOM		BUZZER / GARAGE DOOR
	CLOTHES DRYER		TELEVISION OUTLET / CAT5 CABLE
	EXHAUST FAN		CHIMES
	CEILING FAN WITH LIGHT		SMOKE DETECTOR/CARBON MONOXIDE COMBO DETECTOR W/ INTERCONNECTING BATTERY BACK-UP HARDWARE PER N.F.P.A
	CHANDELIER		PANEL 120/240 1ø
	FLUORESCENT FIXTURE 3- BULBS		METER (VERIFY LOCATION W/UTILITY CO.)
	FLUORESCENT FIXTURE 4- BULBS		DISCONNECTING SWITCH
	FLUORESCENT FIXTURE 8- BULBS		150 PAR FLOOD LIGHT



ELECTRICAL RISER DIAGRAM

150 AMP-UNDER GROUND

REVISIONS

DESCRIPTION	DATE

WAYNE GANDY

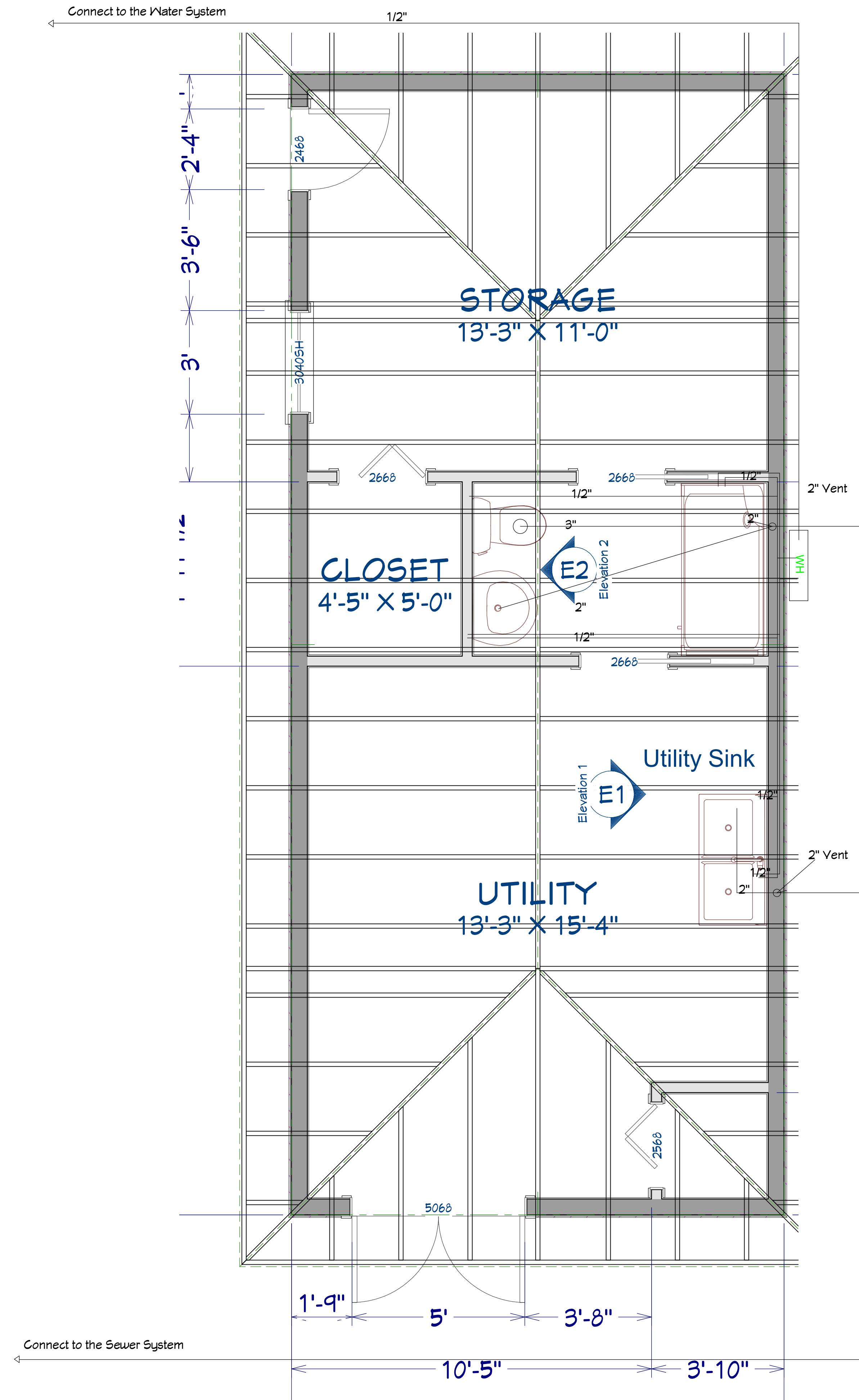
CONSULTANT ENGINEERS
P.E # 93134
SEAL AND SIGN:

SHEET INFORMATION

PROJECT #:	
DATE:	
DRAWN BY:	
SCALE:	

SHEET #:

A009



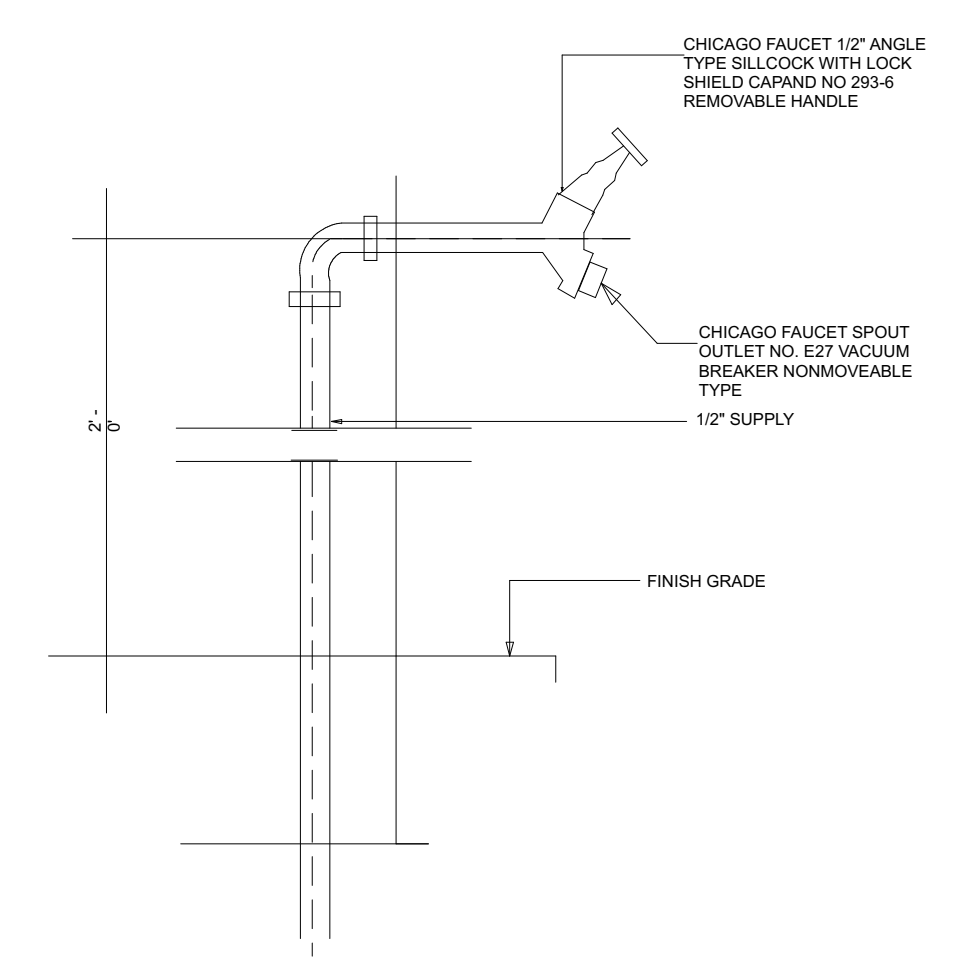
1 Sanitary and Water Diagram
SCALE: 1/2" = 1'-0"

PLUMBING NOTES

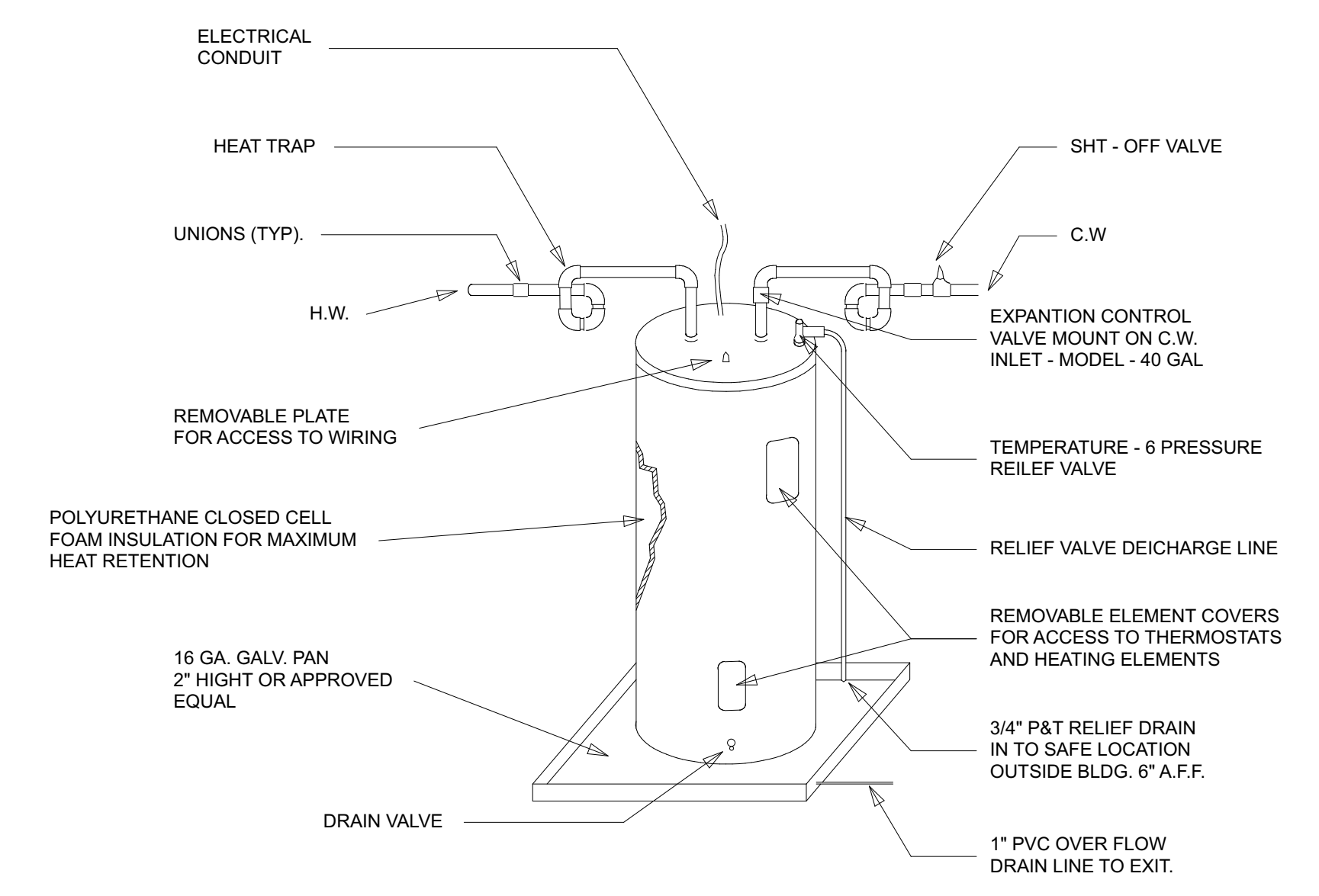
- COORDINATING ALL PIPE ROUTING WITH ALL OTHER TRADES PRIOR TO INSTALLATION. ROUTE ALL PIPING TO AVOID DUCTWORK, ELECTRICITY RACEWAYS AND BUILDING STRUCTURE, IF PENETRATIONS THROUGH STRUCTURAL MEMBERS ARE REQUIRED FOR PLUMBING INSTALLATION, NOTIFY STRUCTURAL ENGINEER PRIOR TO INSTALLATION TO ENSURE STRUCTURAL INTEGRITY IS MAINTAINED.
- PIPE ROUTING IS DIAGRAMMATIC AND IS INTENDED TO INDICATE GENERAL ROUTING PLUMBING CONTRACTOR SHALL PROVIDE ANY ADDITIONAL OFFSET AND FITTING REQUIRED FOR PROPER INSTALLATION AND MAINTAIN CLEARANCES
- ALL PLUMBING INSTALLATION AND MATERIALS SHALL BE IN STRICT ACCORDING WITH FLORIDA PLUMBING CODES 2017, AND FEDERAL CODES, REGULATION, APPLICABLE STANDARDS AND AUTHORITY HAVING JURISDICTION OVER THIS PROJECT.

Pipe Specification

- SOIL PIPING = P.V.C. DWV SCH.40 ASTM D 2665 -- 67
- VENT PIPING = P.V.C. DWV SCH.40 ASTM D 2665 -- 67
- STORM PIPING = P.V.C. DWV SCH.40 ASTM D 2665 -- 67
- WATER PIPING = P.V.C. DWV SCH.40 ASTM D 2665 -- 67



HOSE BIBB DETAIL



ELECTRICAL WATER HEATER DETAIL

REVISIONS	
DESCRIPTION	DATE

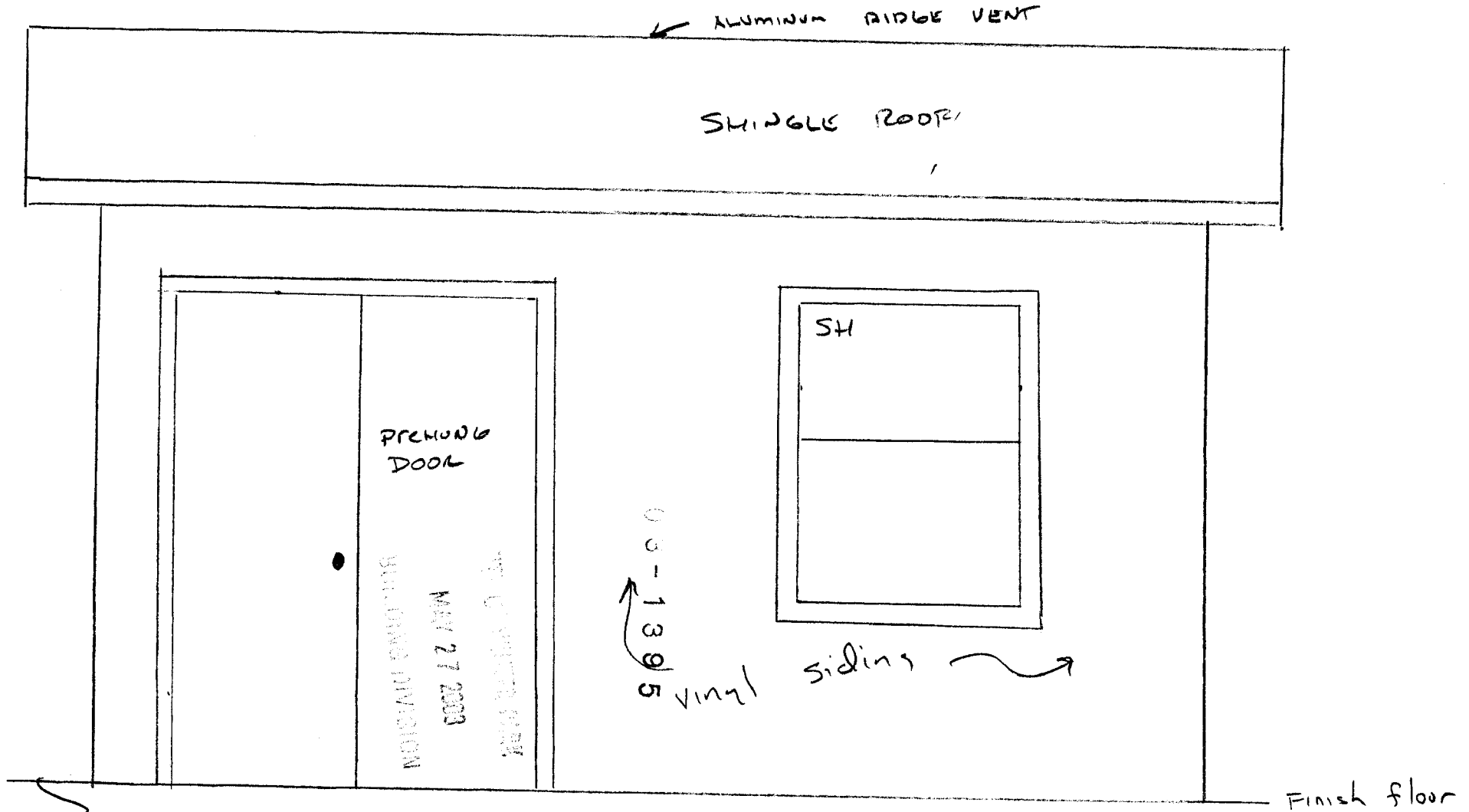
WAYNE GANDY
CONSULTANT ENGINEERS
P.E. # 93134
SEAL AND SIGN:

SHEET INFORMATION	
PROJECT #:	
DATE:	
DRAWN BY:	
SCALE:	
SHEET #:	





For reference Only
Existing Shed permit 03-1395



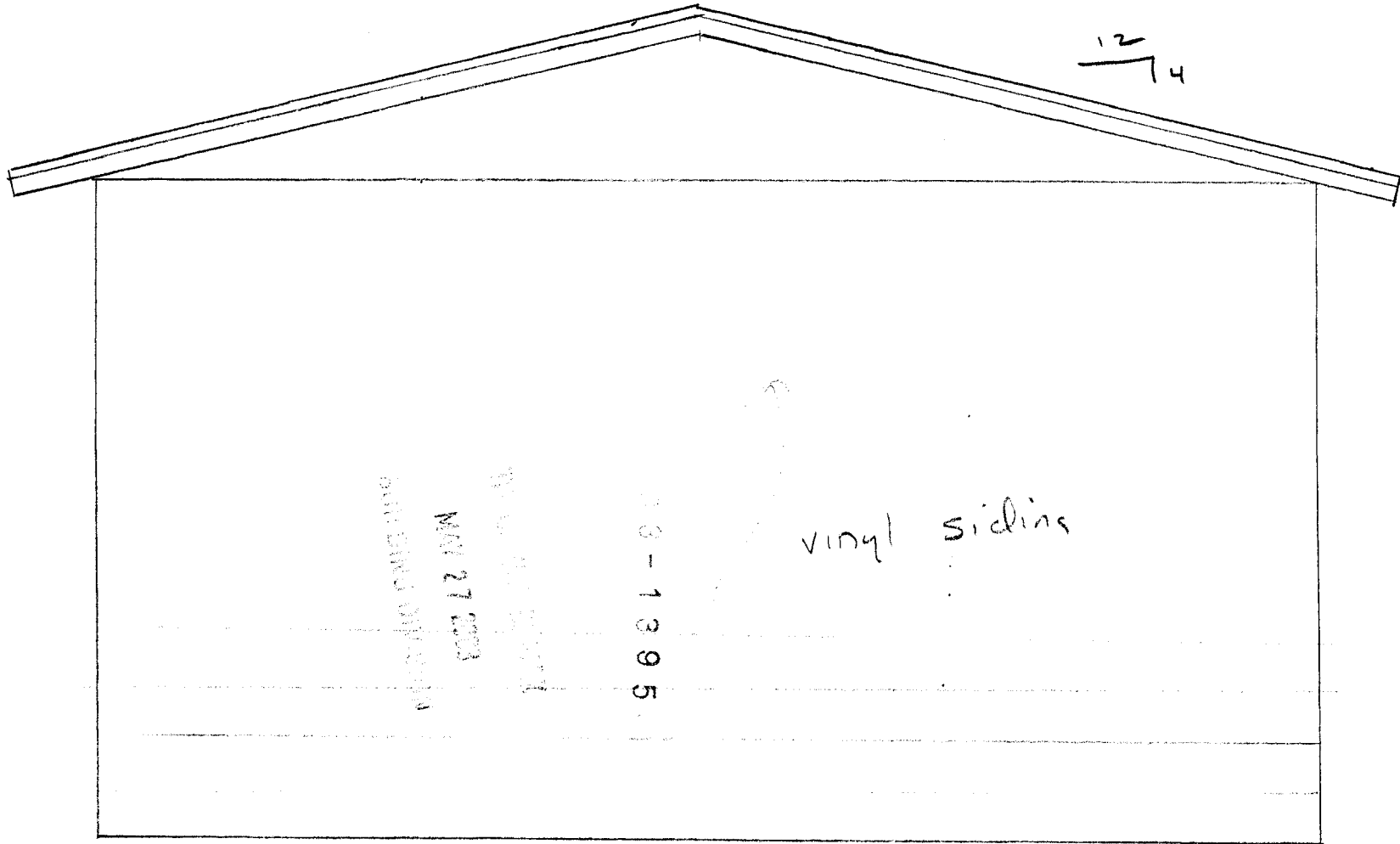
MJD
03/18/03

Front Elevation

1/2" = 1'0"

Schaffer
2028 Summerfield Rd

For reference Only
Existing Shed permit 03-1395



mmj
05/05/03

LEFT / Right Side Elevation

Schaffer
2028 Summerfield RD

For reference Only
Existing Shed permit 03-1395

03/05/03
J Schaffer

RECORD SURVEY

AB	WOOD FENCE	AD	CENTRAL ANGLE/VERT
AA	WOOD BODY	BA	USED BODY
AX	WALL	BB	DESCRIPTION ON DEED
AC	PROPERTY CORNER	BC	DEED FILE
AD	ADJACENT	BD	ADJACENT
AE	FIELD MEASURED	BE	ADJACENT
AF	ADJACENT	BF	ADJACENT
AG	ADJACENT	BF	ADJACENT
AH	ADJACENT	BF	ADJACENT
AI	ADJACENT	BF	ADJACENT
AJ	ADJACENT	BF	ADJACENT
AK	ADJACENT	BF	ADJACENT
AL	ADJACENT	BF	ADJACENT
AM	ADJACENT	BF	ADJACENT
AN	ADJACENT	BF	ADJACENT
AO	ADJACENT	BF	ADJACENT
AP	ADJACENT	BF	ADJACENT
AQ	ADJACENT	BF	ADJACENT
AR	ADJACENT	BF	ADJACENT
AS	ADJACENT	BF	ADJACENT
AT	ADJACENT	BF	ADJACENT
AU	ADJACENT	BF	ADJACENT
AV	ADJACENT	BF	ADJACENT
AW	ADJACENT	BF	ADJACENT
AX	ADJACENT	BF	ADJACENT
AY	ADJACENT	BF	ADJACENT
AZ	ADJACENT	BF	ADJACENT
BA	ADJACENT	BF	ADJACENT
BB	ADJACENT	BF	ADJACENT
BC	ADJACENT	BF	ADJACENT
BD	ADJACENT	BF	ADJACENT
BE	ADJACENT	BF	ADJACENT
BF	ADJACENT	BF	ADJACENT
BG	ADJACENT	BF	ADJACENT
BH	ADJACENT	BF	ADJACENT
BI	ADJACENT	BF	ADJACENT
BJ	ADJACENT	BF	ADJACENT
BK	ADJACENT	BF	ADJACENT
BL	ADJACENT	BF	ADJACENT
BM	ADJACENT	BF	ADJACENT
BN	ADJACENT	BF	ADJACENT
BO	ADJACENT	BF	ADJACENT
BP	ADJACENT	BF	ADJACENT
BQ	ADJACENT	BF	ADJACENT
BR	ADJACENT	BF	ADJACENT
BS	ADJACENT	BF	ADJACENT
BT	ADJACENT	BF	ADJACENT
BU	ADJACENT	BF	ADJACENT
BV	ADJACENT	BF	ADJACENT
BW	ADJACENT	BF	ADJACENT
BX	ADJACENT	BF	ADJACENT
BY	ADJACENT	BF	ADJACENT
BZ	ADJACENT	BF	ADJACENT
CA	ADJACENT	BF	ADJACENT
CB	ADJACENT	BF	ADJACENT
CC	ADJACENT	BF	ADJACENT
CD	ADJACENT	BF	ADJACENT
CE	ADJACENT	BF	ADJACENT
CF	ADJACENT	BF	ADJACENT
CG	ADJACENT	BF	ADJACENT
CH	ADJACENT	BF	ADJACENT
CI	ADJACENT	BF	ADJACENT
CJ	ADJACENT	BF	ADJACENT
CK	ADJACENT	BF	ADJACENT
CL	ADJACENT	BF	ADJACENT
CM	ADJACENT	BF	ADJACENT
CN	ADJACENT	BF	ADJACENT
CO	ADJACENT	BF	ADJACENT
CP	ADJACENT	BF	ADJACENT
CQ	ADJACENT	BF	ADJACENT
CR	ADJACENT	BF	ADJACENT
CS	ADJACENT	BF	ADJACENT
CT	ADJACENT	BF	ADJACENT
CU	ADJACENT	BF	ADJACENT
CV	ADJACENT	BF	ADJACENT
CW	ADJACENT	BF	ADJACENT
CX	ADJACENT	BF	ADJACENT
CY	ADJACENT	BF	ADJACENT
CA	ADJACENT	BF	ADJACENT

GENERAL NOTES:

- LEGAL DESCRIPTION PROVIDED BY OWNER
- THE LINES IDENTIFIED HEREIN WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER INCUMBRANCES NOT SHOWN ON THIS PLAN.
- UNDERSHOWN PORTIONS OF PREVIOUS PLANS OR RECORDS OR OTHER ABSTRACTS WERE NOT LOCATED.
- ALL TIES ARE TO THE FACE OF THE WALL.
- NOT ALL LINES ARE BOUND BY THE SURVEYOR'S OWNERS.
- ONLY VISIBLE ENCUMBRANCES LOCATED.
- NO ENCUMBRANCES FOUND ON PROPERTY OWNERS LATEST NOTES.
- UNDERSHOWN PORTIONS OF PREVIOUS PLANS OR RECORDS OR OTHER ABSTRACTS WERE NOT LOCATED.
- OWNER'S OWNERSHIP NOT GUARANTEED.
- ALL ENCUMBRANCES OF RECORD ARE SHOWN UNLESS OTHERWISE NOTED.
- ENCUMBRANCES REFERENCED TO THIS PLAN ARE AS SHOWN.
- PROPERTY OWNER'S ONLY THIS RECORD SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY FOR RECORDING BY CONTRACT.

STATE OF FLORIDA
DAVE SCHAEFER, SURV
LAND SURVEYOR & APPRAISER NO. 2762

STATE OF FLORIDA
DAVE C. ABLE, SURV
LAND SURVEYOR & APPRAISER NO. 8180

STATE OF FLORIDA
LARRY R. HANCOCK
LAND SURVEYOR & APPRAISER NO. 8041

THIS SURVEY IS OFFERED FOR RECORDING OR OTHERWISE PURCHASED ONLY AS EVIDENCE FOR THE LAW OF RECORD TO WHICH IT IS REFERRED. THIS SURVEY IS NOT TO BE USED FOR CONSTRUCTION, RECONSTRUCTION OR ANY OTHER USE WITHOUT THE WRITTEN CONSENT OF FIRST FINANCIAL SURVEYORS, INC.

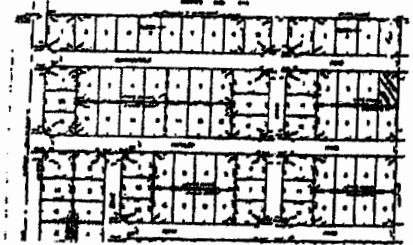
321 North Avenue
Gainesville, Florida 32601
(813) 337-7818 Fax: (813) 337-7819

6800 NW 20th Street, Suite 8-204
Miami, Florida 33150
(305) 571-5333 Fax: (305) 571-5335

8945 North Bay Drive, Suite 400
Miami, Florida 33156
(305) 583-5718 Fax: (305) 583-5711

AND AFFILIATED COMPANIES
L.R. 0017

Mobile: 1-800-767-6292 Fax: 1-800-767-6293



Legal Description

Lot 5, Block D, KENILWORTH SHORES SECTION SEVEN, according to the Plat thereof, as recorded in Plat Book U, Page 93, of the Public Records of Orange County, Florida.

Community Number: 120188 Panel: 0255
Suff: E P.I.R.M. Date: 12/6/2000 Flood Zone: X
Field Work: 5/22/2002 Completed: 5/29/2002

Certified To:
Timothy K. Schaffer; Joy E. Schaffer; Harry G. Reid, III, P.A.; First American Title Insurance Company; SunTrust Mortgage, Inc., its successors and/or assigns.

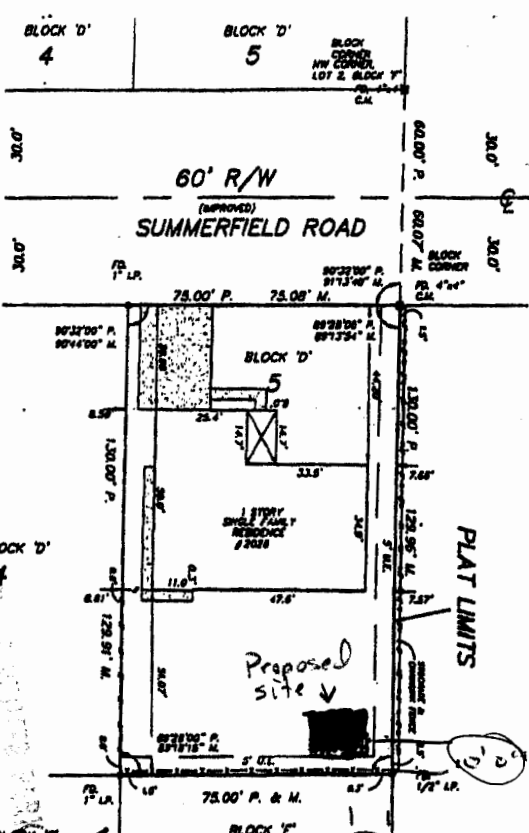
Property Address:
2028 Summerfield Road
Winter Park, Florida 32792

Survey Number: O-96390

Notes:

Accepted By: *Timothy K. Schaffer*
J Schaffer

BUILDING DIVISION
 MAY 27 2003
 COPY FILED
 MAY 27 2003
 03-1395



Tim Schaffer RD
2028 Summerfield Rd
32792

Picts from applicant. Rec'd 2-10-2021





THIS INSTRUMENT PREPARED BY:

GUEST HOUSE/GARAGE APARTMENT USE RESTRICTION DECLARATION

THIS USE RESTRICTION DECLARATION made this _____ day of _____, 20___, by _____, a _____ corporation, whose address is _____, ("Owner"), in favor of the CITY OF WINTER PARK, a municipal corporation organized and existing under the laws of the State of Florida, whose address is 401 Park Avenue South, Winter Park, Florida 32789.

RECITALS

WHEREAS, Owner is the owner of property located at _____, more particularly described as set forth in Exhibit "A" attached hereto, which property (herein- after referred to as the "Property") is located within the corporate limits of the City of Winter Park; and

WHEREAS, Owner has applied for a building permit for the construction or substantial improvement of a guest house or garage apartment on the Property with 1,000 square feet of floor area or less; and

WHEREAS, Section 58-71(i) of the Code of Ordinances of the City of Winter Park prohibits the rental, leasing or hiring for occupancy, whether for direct or indirect compensation, of guest houses and garage apartment and permits said guest houses and garage apartments only when they provide accommodation for guests, servants or members of a family occupying the main building on the same property and so long as said guest houses and garage apartments are not equipped with a kitchen area or cooking facilities and/or separate utility meters; and

WHEREAS, Section 58-71(i) of the Code of Ordinances of the City of Winter Park further requires the recording of a restriction upon the use of the Property setting forth the limitations established by the City of Winter Park prior to the issuance of any building permits pertaining to guests houses and garage apartments.

NOW, THEREFORE, in consideration of the mutual benefits contained herein, and other good and valuable consideration, the receipt of which is hereby acknowledged, Owner hereby declares the following:

- 1.** The Property as described in Exhibit "A" attached hereto is subject to the restrictions identified in Section 58-71(i) of the Code of Ordinances of the City of Winter Park, as said section may from time to time be amended.
- 2.** Owner hereby further declares and warrants that Owner has fee simple title and full right and interest in and to the Property and represents that no other parties other than those signing this document have any legal or equitable right, title or interest to the Property.
- 3.** Owner hereby declares that any guest house or garage apartment located on the Property shall be used only for providing accommodation for guests, servants or members of the family occupying the main building on the

Property and shall not be rented, leased or hired for occupancy, whether for direct or indirect compensation, and shall not be equipped with a kitchen area or cooking facilities and/or separate utility meters and that this restriction shall run with the Property and shall bind the Owner and his successors and assigns.

IN WITNESS WHEREOF, Owner has hereunto executed this document as of the day and year first written above.

Signed, Sealed and Delivered _____, a
in the Presence of: _____ corporation

(Address)

Print Name _____

BY _____
Print Name _____
As Its _____

Print Name _____

STATE OF _____
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20____ by _____ as _____ of _____, a _____ corporation, on behalf of the corporation. He/She is personally known to me or has produced _____ as identification.

My Commission Expires:

NOTARY PUBLIC
Print Name _____

APPROVED BY THE CITY OF WINTER PARK

BY _____
Print Name _____

As Its _____

Date: _____



Board of Adjustments regular meeting

February 16, 2021 at 5:00p.m.

Hybrid Meeting

Agenda Items

New business

4. Request of David Auerbach, for a variance to allow the construction of a one story detached carport with a rear setback of 3 feet, in lieu of the required setback of 10 feet.

Located at: 731 W Canton Ave

Zoned: R-1A



401 South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

**Building &
Permitting
Services**

TO: BOARD OF ADJUSTMENTS MEMBERS
FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS
DATE: February 16, 2021
SUBJECT: VARIANCE REQUEST by David Auerbach, 731 W Canton Ave

The applicant is requesting a variance to allow the construction of a one story detached carport with a rear setback of 3 feet, whereas the required setback is 10 feet.

After completing major remodeling and a new addition to the existing home with no offstreet covered parking area, the applicant has decided to request a variance to allow an open carport at of this property located 3 feet from the rear lot line and 5 feet from the interior side lot line.

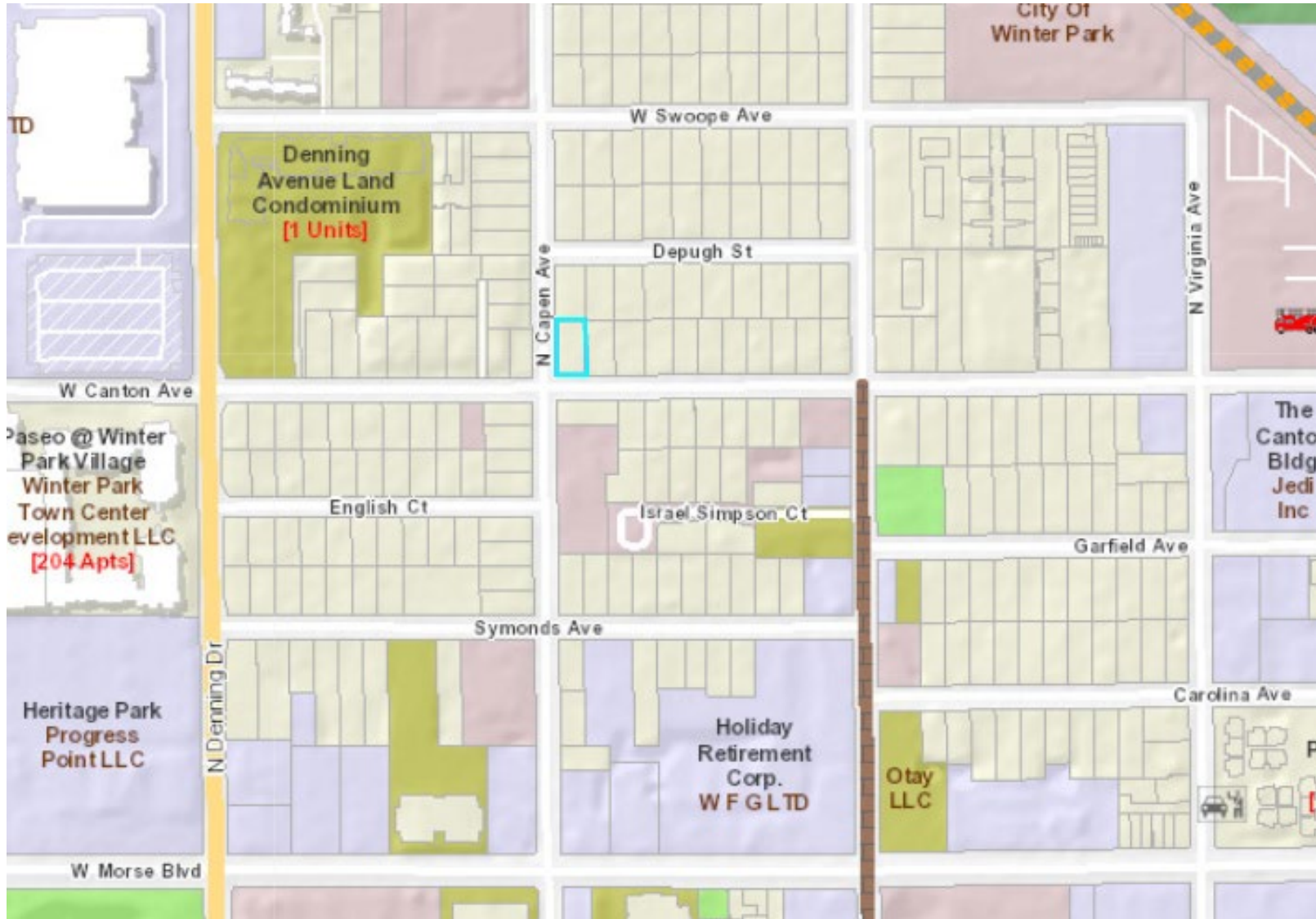
The proposed carport structure has dimensions of 19 feet by 17 feet or 323 square feet to accommodate one or two cars depending on the width of the vehicles. Required parking spaces have a width requirement of 9 feet and the applicant proposes to place the carport 5 feet from the home to avoid a separation distance variance of one foot. However, it might be appropriate to allow the extra foot of carport width if the Board is inclined to grant the variance. This extra foot of width (19 square feet) does not result in exceeding the allowable floor area of 2,904 square feet.

In addition, having 2 properly sized parking spaces may help prevent the congestion of having more cars parking in the street of this fairly busy street intersection, and will minimize or eliminate the need to park two cars in tandem whenever pulling into this new carport.

The proposed plan for this carport lacks much detailed however, we have received more details on the design of the carport just prior to submitting this report and provided in this document.

No letters have been received regarding this request.

731 W Canton Ave





PLAN SNAPSHOT REPORT BOA-2021-0025 FOR CITY OF WINTER PARK

Plan Type: Board of Adjustments	Project:	App Date: 01/12/2021
Work Class: Board of Adjustments/Variance Application	District: Winter Park	Exp Date: NOT AVAILABLE
Status: Submitted - Online	Square Feet: 0.00	Completed: NOT COMPLETED
Valuation: \$0.00	Assigned To: Wiggins, George	Approval Expire Date:

Description: Our property located at 731 W Canton avenue is a corner lot. The original home which we preserved had its front door located on Capen Avenue. The existing home had no driveway prior to our addition. We feel that it is imperative to have a driveway and parking structure that allow for safety and protection from the elements. We are respectfully requesting to be allowed a parking structure that would be 16ft wide by 18ft deep. The structure would be open air, solid beam construction with a gabled roof. The roof will be completed with a black standing seam roof, identically matching the existing home. We have received support from our adjacent neighbors and can assure you that this will be done tastefully. We are looking to encroach 3ft into the northern setback. Please see enclosed rough sketch .

Parcel: 302206121405110	Main	Address: 731 W Canton Ave Winter Park, FL 32789-3055	Main	Zone:
Owner David Auerbach 731 W Canton AVE Winter Park, FL 32789 Mobile: (407) 619-5250	Applicant David Auerbach 731 W Canton AVE Winter Park, FL 32789 Mobile: (407) 619-5250			

Plan Custom Fields

Zoning	Section	Subsection
Is the property on waterfront? No	Is this property on historic registry or district? No	Describe variance Our property located at 731 W Canton avenue is a corner lot. The original home which we preserved had its front door located on Capen Avenue. The existing home had no driveway prior to our addition. We feel that it is imperative to have a driveway and parking structure that allow for safety and protection from the elements. We are respectfully requesting to be allowed a parking structure that would be 16ft wide by 18ft deep. The structure would be open air, solid beam construction with a gabled roof. The roof will be completed with a black standing seam roof, identically matching the existing home. We have received support from our adjacent neighbors and can assure you that this will be done tastefully. We are looking to encroach 3ft into the northern setback. Please see enclosed rough sketch
How long have you owned the property? 14 months	How long have you occupied the property? We have been remodeling.	Special Condition Our property located at 731 W Canton avenue is a corner lot. The original home which we preserved had its front door located on Capen Avenue. The

PLAN SNAPSHOT REPORT (BOA-2021-0025)

existing home had no driveway prior to our addition. We feel that it is imperative to have a driveway and parking structure that allow for safety and protection from the elements. We are respectfully requesting to be allowed a parking structure that would be 16ft wide by 18ft deep. The structure would be open air, solid beam construction with a gabled roof. The roof will be completed with a black standing seam roof, identically matching the existing home. We have received support from our adjacent neighbors and can assure you that this will be done tastefully. We are looking to encroach 3ft into the northern setback. Please see enclosed rough sketch

Rights/Priv

Most of our neighbors do not have a corner lot and have driveways/garages. Our home previously had no driveway and after our addition the only place we have to put a driveway/parking structure is along the northern property line.

Hardship

We only have a limited amount of square footage on the northern side of our home. In order to be able to provide adequate parking for two vehicles, we need 16 feet of width. This will put us 3ft into the setback.

Limited Variance We are very flexible on look, landscaping and design. We really must have the 16 feet of width to accommodate two car parking. Thank you in advance for your consideration.

Attachment File Name	Added On	Added By	Attachment Group	Notes
20-913 (3).pdf	01/12/2021 13:14	Auerbach, David	Available Online	Uploaded via CSS
20-913 (5).pdf	01/12/2021 13:14	Auerbach, David	Available Online	Uploaded via CSS
63216092455_76F6394E-78BD-40B7-8F9E-604E2A6F0870.jpg	01/12/2021 13:14	Auerbach, David	Available Online	Uploaded via CSS
IMG_0157 (1).jpg	01/12/2021 13:14	Auerbach, David	Available Online	Uploaded via CSS
IMG_0285.jpg	01/12/2021 13:14	Auerbach, David	Available Online	Uploaded via CSS
s3VX9S_61829_survey_r1 (5).pdf	01/12/2021 13:14	Auerbach, David	Available Online	Uploaded via CSS
Site Plan Variance - Copy.jpg	01/12/2021 13:14	Auerbach, David	Available Online	Uploaded via CSS
Signature_David_Auerbach_1/12/2021.jpg	01/12/2021 13:14	Auerbach, David	Available Online	Uploaded via CSS

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00006625	Residential Variance Application Fee	\$200.00	\$0.00
Total for Invoice INV-00006625		\$200.00	\$0.00
Grand Total for Plan		\$200.00	\$0.00

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Board of Adjustments Review v.1	In Review	01/12/2021	01/14/2021		No	No

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Building Official Review	Building & Permitting Services	Wiggins, George	In Review	01/12/2021	01/14/2021	

Workflow Step / Action Name	Action Type	Start Date	End Date
Application Completeness Check v.1			01/12/2021 14:09
Confirm Application Complete v.1	Generic Action		01/12/2021 14:09

[Review v.1](#)

FOUNDATION SURVEY

LEGAL DESCRIPTION:

LOT 11, BLOCK E, CARVER TOWN FIRST ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK R, PAGE 83, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

FLOOD INFORMATION:

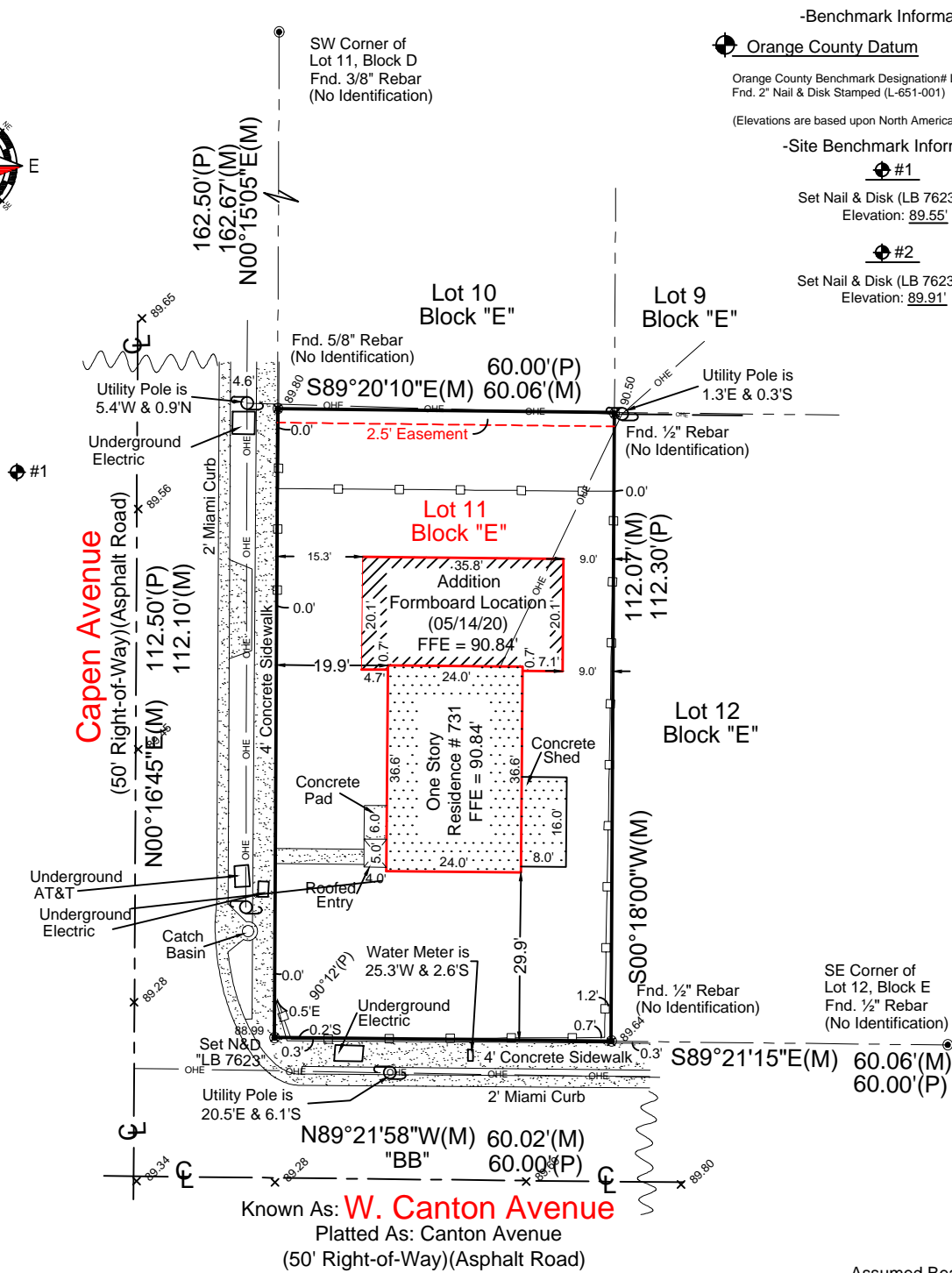
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN CITY OF WINTER PARK, COMMUNITY NUMBER 120188, DATED 9/25/2009.

CERTIFIED TO:

DAVID AUERBACH



731 WEST CANTON AVENUE, WINTER PARK, FLORIDA 32789



-Benchmark Information-

Orange County Datum

Orange County Benchmark Designation# L-651-001
Fnd. 2" Nail & Disk Stamped (L-651-001)

(Elevations are based upon North American Vertical Datum 1988)

-Site Benchmark Information-

#1

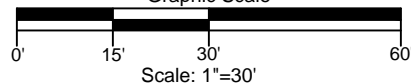
Set Nail & Disk (LB 7623)
Elevation: 89.55'

#2

Set Nail & Disk (LB 7623)
Elevation: 89.91'

SE Corner of Lot 12, Block E
Fnd. 1/2" Rebar
Fnd. 1/2" Rebar
(No Identification)

Assumed Bearings
Graphic Scale



Revision: Foundation Survey - 05/18/20 - TCD

OHE - Overhead Electric Line

Field Date: 5/14/2020 Date Completed: 05/19/20

Drawn By: T.D. File Number: S-68207 FO

-Legend-	
C	- Calculated
CB	- Concrete Block
CM	- Concrete Monument
Conc.	- Concrete
D	- Description
DE	- Drainage Easement
Esmt.	- Easement
F.E.M.A.	- Federal Emergency Management Agency
FFE	- Finished Floor Elevation
Fnd.	- Found
IP	- Iron Pipe
L	- Length (Arc)
M	- Measured
N&D	- Nail & Disk
N.R.	- Non-Radial
ORB	- Official Records Book
P	- Plat
P.B.	- Plat Book
□	- Wood Fence
PC	- Point of Curvature
Pg.	- Page
PI	- Point of Intersection
P.O.B.	- Point of Beginning
P.O.L.	- Point on Line
PP	- Power Pole
PRM	- Permanent Reference Monument
PT	- Point of Tangency
R	- Radius
Rad.	- Radial
R&C	- Rebar & Cap
Rec.	- Recovered
Rfd.	- Roofed
Set	- Set 1/2" Rebar & Rebar Cap "LB 7623"
Typ.	- Typical
UE	- Utility Easement
WM	- Water Meter
Δ	- Delta (Central Angle)
○	- Chain Link Fence

-NOTES-
 >Survey is based upon the Legal Description Supplied by Client.
 >Abutting Properties Deeds have NOT been Researched for Gaps, Overlaps and/or Hiatus.
 >Subject to any Easements and/or Restrictions of Record.
 >Bearing basis shown hereon, is Assumed and Based upon the Line Denoted with a "BB".
 >Fence Ownership is NOT determined.
 >Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.
 >Septic Tanks and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies.
 >Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be construed to give ANY Rights or Benefits to Anyone Other than those Certified.

NONE VISIBLE

-POINTS OF INTEREST-

I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown, Based on Information furnished to Me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 5J-17.052 Florida Administrative Codes, Pursuant to Section 472.027 Florida Statutes.

Patrick K. Ireland
 Patrick K. Ireland, P.S.M. 6637
 This Survey is intended ONLY for the use of Said Certified Parties.
 This Survey NOT VALID UNLESS Signed and Embossed with Surveyor's Seal.

Ireland & Associates Surveying, Inc.
 800 Currency Circle | Suite 1020
 Lake Mary, Florida 32746
 www.irelandsurveying.com
 Office-407.678.3366 Fax-407.320.8165

FOUNDATION SURVEY

LEGAL DESCRIPTION:

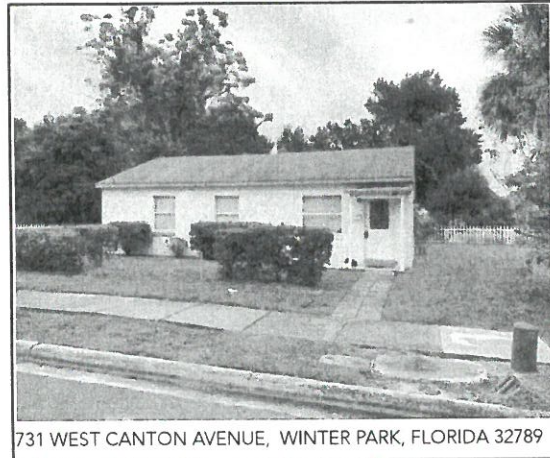
LOT 11, BLOCK E, CARVER TOWN FIRST ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK R, PAGE 83, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

FLOOD INFORMATION:

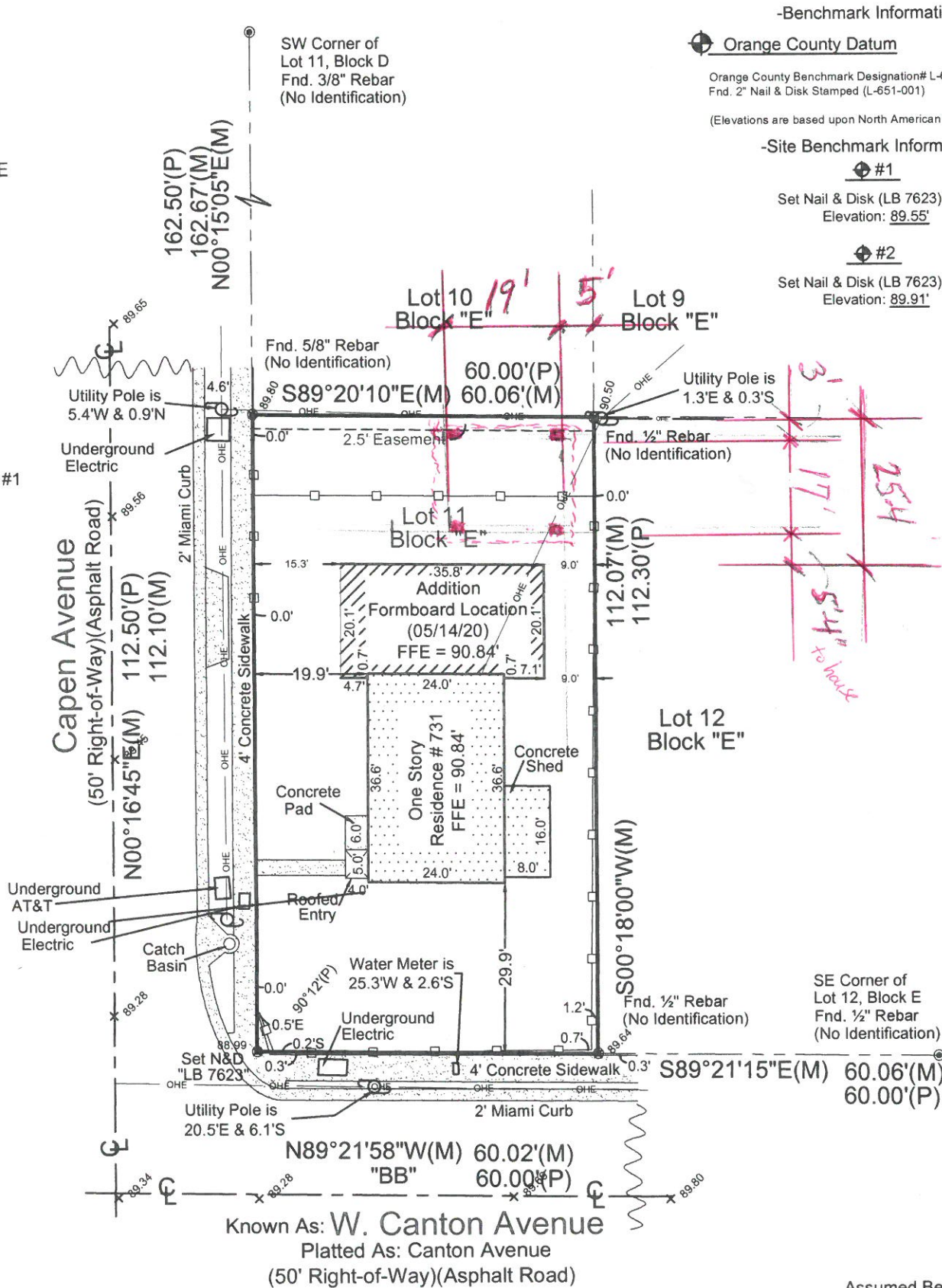
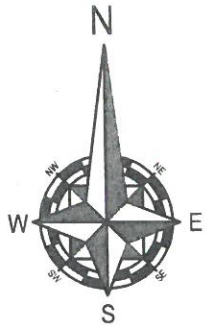
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN CITY OF WINTER PARK, COMMUNITY NUMBER 120188, DATED 9/25/2009.

CERTIFIED TO:

DAVID AUERBACH

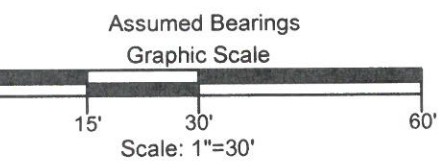


731 WEST CANTON AVENUE, WINTER PARK, FLORIDA 32789



All posts are 6" x 6" overhangs are 12"

- denotes post - denotes overhang



Revision: Foundation Survey - 05/18/20 - TCD

OHE - Overhead Electric Line

Field Date: 5/14/2020	Date Completed: 05/19/20
Drawn By: T.D.	File Number: JS-68207 FO
-Legend-	
C - Calculated	PC - Point of Curvature
CB - Concrete Block	Pg. - Page
CM - Concrete Monument	PI - Point of Intersection
Conc. - Concrete	P.O.B. - Point of Beginning
D - Description	P.O.L. - Point on Line
DE - Drainage Easement	PP - Power Pole
Esmt. - Easement	PRM - Permanent Reference Monument
F.E.M.A. - Federal Emergency Management Agency	PT - Point of Tangency
FFE - Finished Floor Elevation	R - Radius
Fnd. - Found	Rad. - Radial
IP - Iron Pipe	R&C - Rebar & Cap
L - Length (Arc)	Rec. - Recovered
M - Measured	Rfd. - Roofed
N&D - Nail & Disk	Set - Set 1/2" Rebar & Rebar Cap "LB 7623"
N.R. - Non-Radial	Typ. - Typical
ORB - Official Records Book	UE - Utility Easement
P - Plat	WM - Water Meter
P.B. - Plat Book	Δ - Delta (Central Angle)
□ - Wood Fence	○ - Chain Link Fence

-NOTES-

- >Survey is Based upon the Legal Description Supplied by Client.
- >Abutting Properties Deeds have NOT been Researched for Gaps, Overlaps and/or Hiatus.
- >Subject to any Easements and/or Restrictions of Record.
- >Bearing basis shown hereon, is Assumed and Based upon the Line Denoted with a "BB".
- >Building Ties are NOT to be used to reconstruct Property Lines.
- >Fence Ownership is NOT determined.
- >Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.
- >Septic Tanks and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies.
- >Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be construed to give ANY Rights or Benefits to Anyone Other than those Certified.

-POINTS OF INTEREST-

NONE VISIBLE

I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown, Based on Information furnished to Me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 5J-17.052 Florida Administrative Codes, Pursuant to Section 472.027 Florida Statutes.

Patrick K. Ireland FOR THE FIRM

Patrick K. Ireland, P.S.M. 6637 LB 7623
 This Survey is intended ONLY for the use of Said Certified Parties.
 This Survey NOT VALID UNLESS Signed and Embossed with Surveyor's Seal.

Ireland & Associates Surveying, Inc.
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 Lake Mary, Florida 32746
 www.irelandsurveying.com
 Office-407.678.3366 Fax-407.320.8165



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address: 731 West Canton Ave
Submitted by: David Auerbach

Lot width²: 60ft.
Lot area³: 6753

	Maximum % Allowed ⁴	Existing Area ¹¹	Additional Proposed Area ¹¹	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.	2 story - 50%				
	1 story - 60%	2029	323	2352	4051
FLOOR AREA RATIO (F.A.R.)^{5,6,7} For one and two story bldgs (include 1st & 2nd floors, garages/carports, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁸ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁹ .	Lots < 11,600 sf: Use <u>38%</u> Base FAR or w/ increased side setbacks: <u>43%</u> Max FAR	1726	323	2049	2904
	Lots 11,600 sf to 13,600 sf Use <u>4,500 sf</u> Base area & <u>5,200 sf</u> Maximum area				
	Lots > 13,600 sf Use <u>33%</u> Base FAR or w/ increased side setbacks: <u>38%</u> Max FAR				
SCREEN POOL ENCLOSURE	8% ¹⁰				

	Minimum % Required	Existing Area ¹¹	Landscape Area Reduced ¹¹	New Total Area	Minimum Required Area
FRONT YARD LANDSCAPE COVERAGE Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious). Front Lot Area:	50%	N/A			

NOTES:

1. Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director. For a proposed home, determine the front setback as described on page 2.
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
6. Area forming a room behind 2nd floor walls shall be included in the gross floor area.
7. See page 3 on how to achieve maximum F.A.R.
8. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
9. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area.
10. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
11. **These columns only apply to existing homes.**

SETBACKS (complete boxes A and B first)

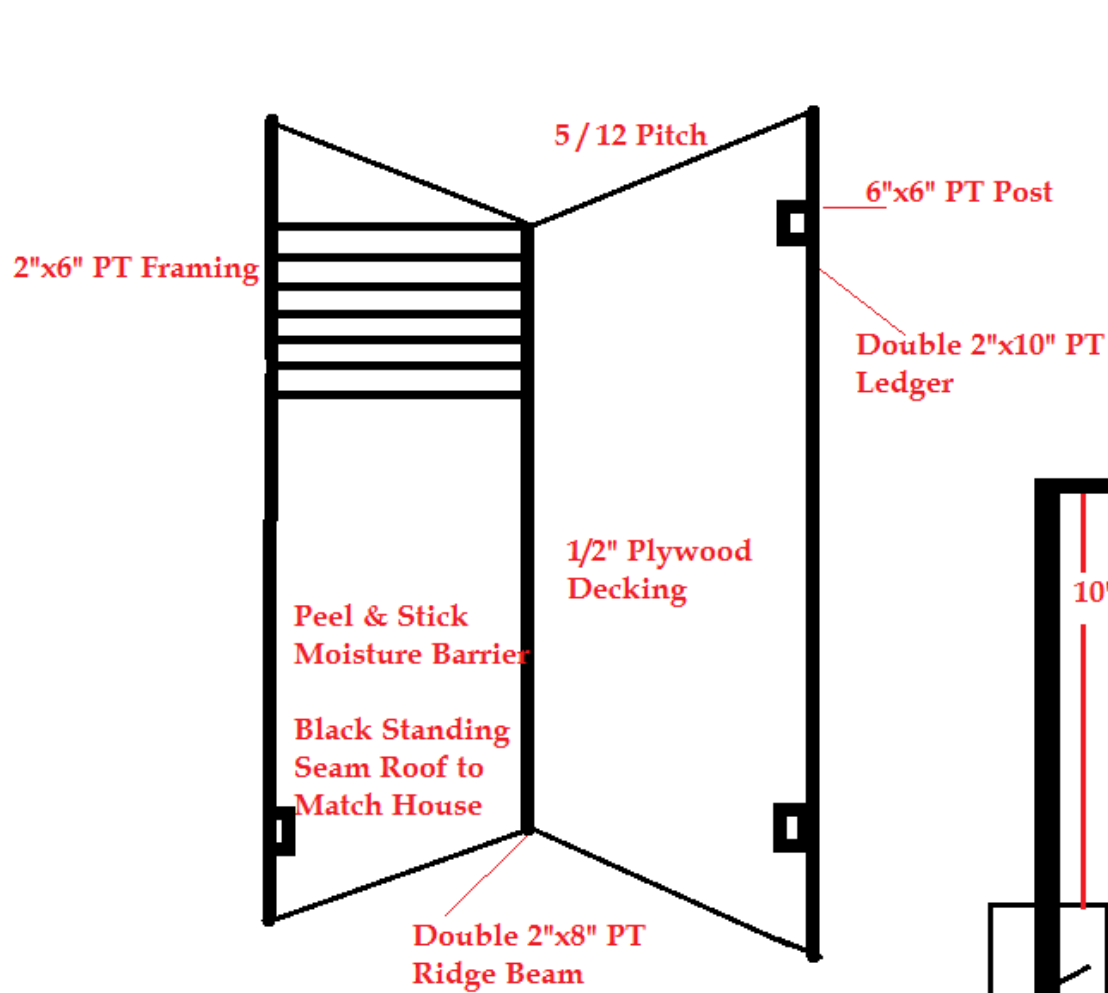
	Minimum Allowable Dimensions			Existing ¹³	Proposed
FRONT	Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.				
SIDES ^{1,2} (see other side setback options on pg 4)	1st Floor	See pages 3&4	<i>5ft. required</i>	Right	Left
	2nd Floor		<i>B</i>		
REAR ^{1,3,4} <i>(ACCESSORY CARPORT)</i>	1st Floor	<i>10'</i>	25 ft.		<i>3</i>
	2nd Floor		35 ft ⁵		
	Lakefront		see note 6		
CORNER LOT	1st Floor	Lot width ≤ 65 ft.	15 ft.		
		Lot width > 65 ft ⁷	20 ft.		
	2nd Floor	Lot width ≤ 65 ft.	15 ft.		
		Lot width > 65 ft ⁷	22.5 ft.		
BUILDING HEIGHT ^{8,9,10,11,12}	30 ft. - 35 ft. plus 2 ft. or 40 ft. (see notes 11 & 12)				

Notes:

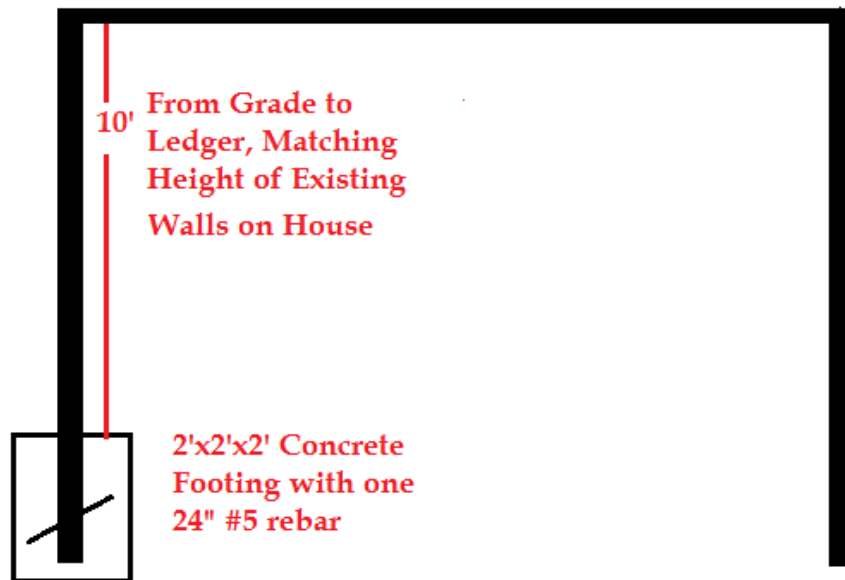
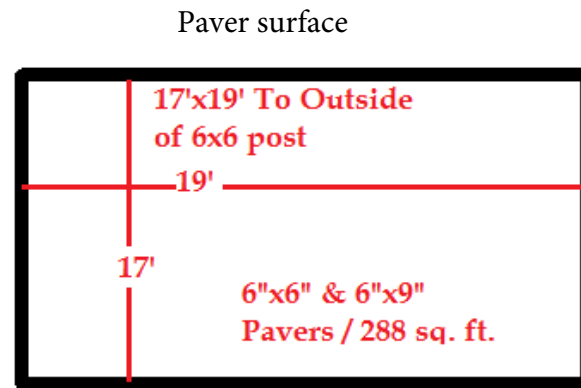
1. Any building wall that exceeds 12 ft. in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
2. Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft. and interior side setback is 5 ft. minimum (no gable end allowed) for garages up to 600 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
3. Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. For lots that are 75ft deep or less a first floor setback of 10ft and a second floor setback 25ft is allowed. For lots which are 105ft deep or less a first floor setback of 15ft and a second floor setback of 30ft is allowed.
4. Accessory buildings: garage/carport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. . Other accessory buildings used for habitation shall meet setbacks of the main residence.
5. The rear setback may be reduced to 25 ft. for two-story components when those consist of a second story loft or mezzanine that is within the normal scale and 18-ft max height of a typical one-story structure.
6. Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft. or 50 ft., whichever is greater, measured from ordinary high water line.
7. Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft. with 1st and 2nd floor setbacks of 25 ft. may reduce the rear setback by 5 ft. on each floor.
8. Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
9. No building or portion thereof shall exceed 30 ft. in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft. additional building height.
10. Accessory building that exceeds 18 ft. in height shall meet the same setbacks as the principal building on the property.
11. Properties or lots with at least 80 ft. of width at the building line are permitted to have a building height of 35 ft. if the side setbacks are increased to 20 ft. at 30 ft. above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft. of additional building height.
12. Properties or lots exceeding 50,000 sq.ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft. if side setbacks are increased to 35 ft. to the portion of the roof over 30 ft. in height.
13. This column only applies to existing homes.



**GABLE
ROOF**



Roof Top View



Side Elevation

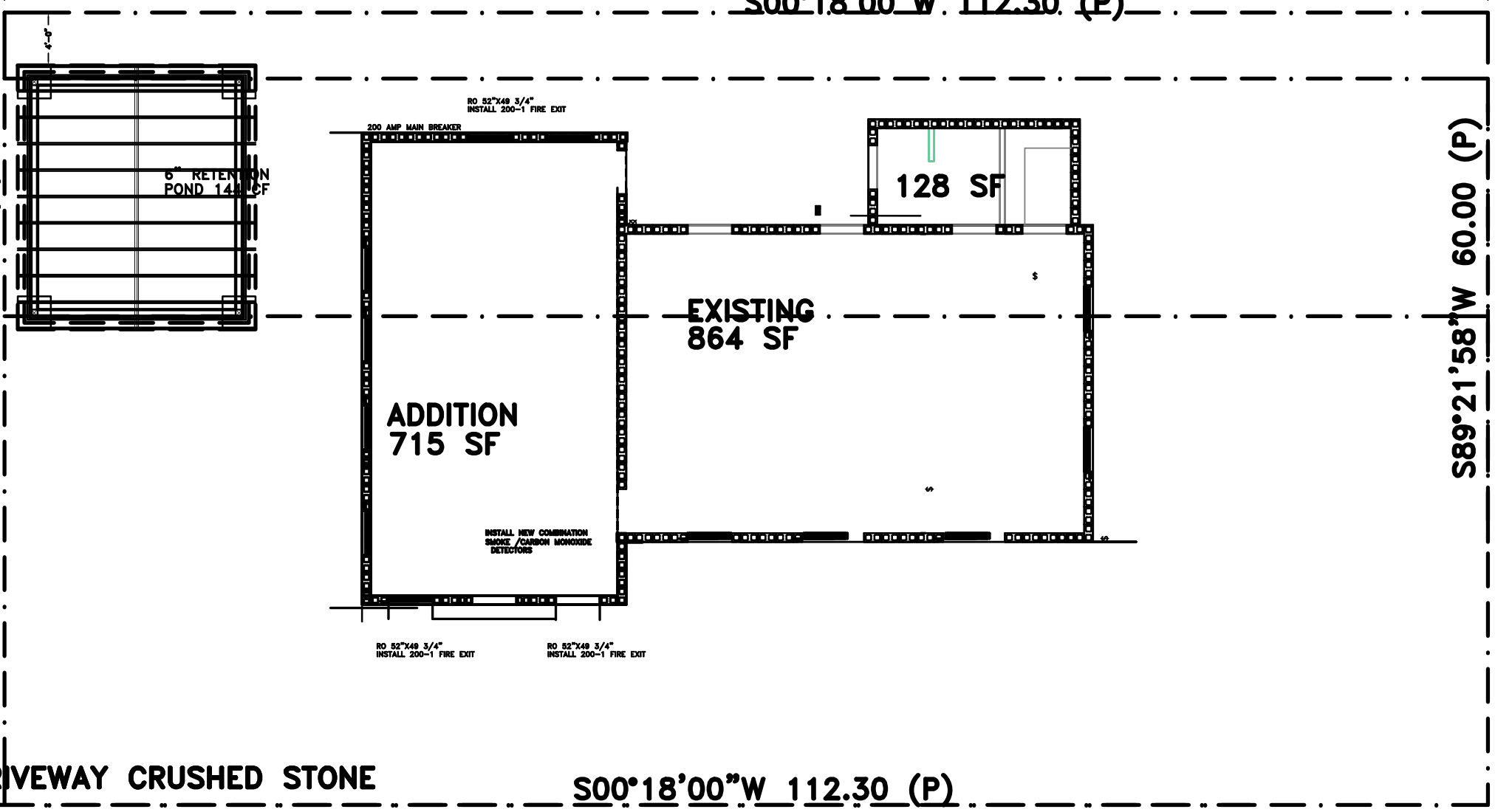
LOT 11, BLOCK "E", CARVER TOWN
FIRST ADDITION
PLAT BOOK R, PAGE 83 ORANGE COUNTY

112.30'

S00°18'00"W 112.30 (P)

LOT 6,738 SF
EXISTING 992 SF
ADDITION 715 SF
TOTAL IMP. 1,707 SF (25.3%)
0.08 X 1,707 = 136 CF REQUIRED
RETENTION 1" - 136 CF REQUIRED
PROVIDE 144 CF OF RETENTION

S89°21'58"W 60.00 (P)



DRIVEWAY CRUSHED STONE

S00°18'00"W 112.30 (P)

NEW CURB CUT

CAPEN AVE.

SITE PLAN

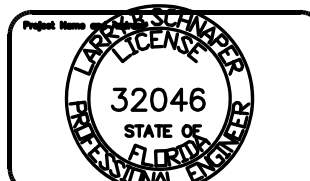
SCALE 1/8" = 1'-0"

General Notes

HOME RENOVATION
731 EAST CANTON AVE.
WINTER PARK, FLORIDA

No.	Revision/Issue	Date
1	0/0/00	

Plan Name and Address
Larry B. Schnaper PE
410 East Packwood Ave.
Maitland, Florida 32751
407-448-8644
SKILOFL@GMAIL.COM



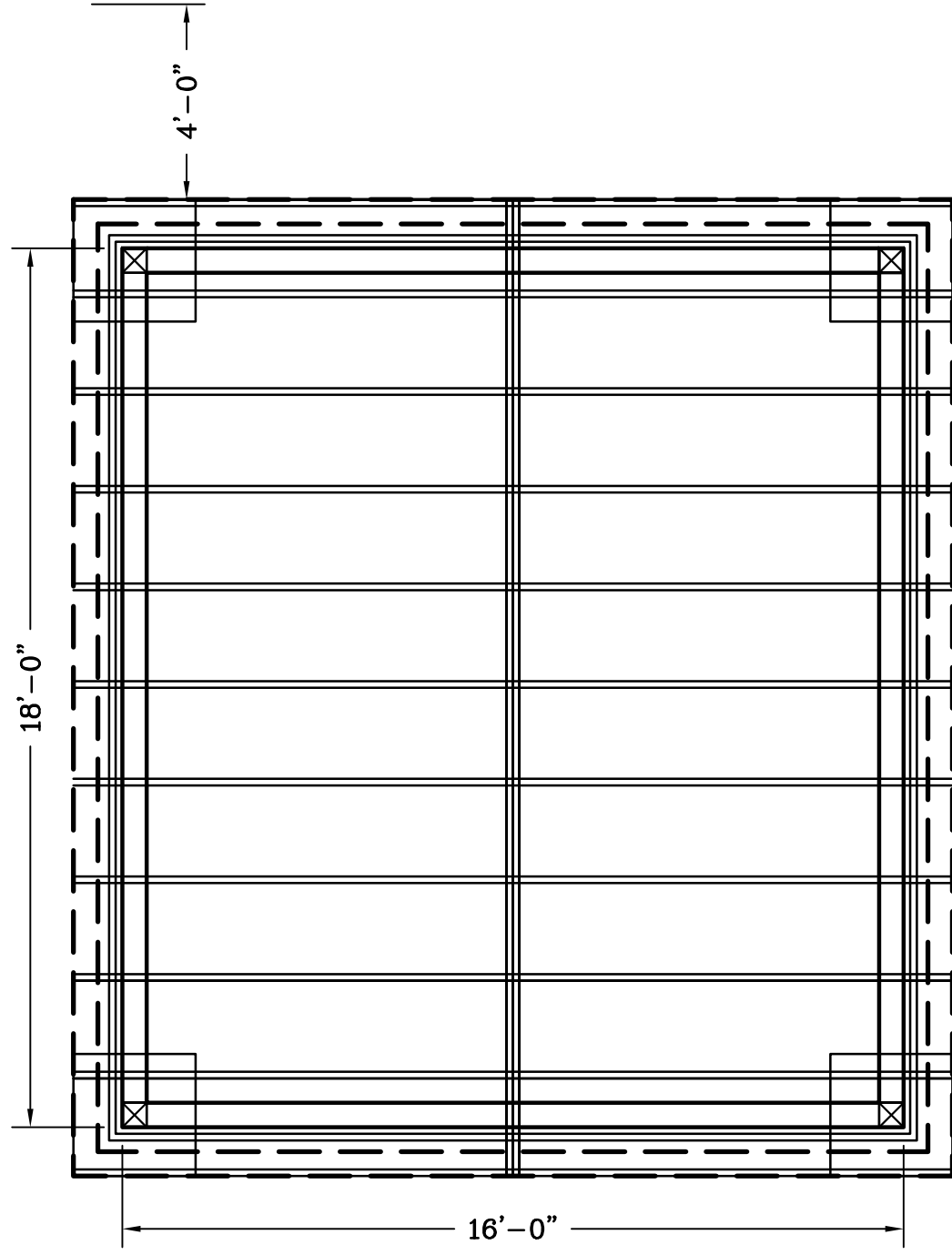
Project	Sheet
Date: 2/12/2021	C2

FNAME

RE/DATE

USER

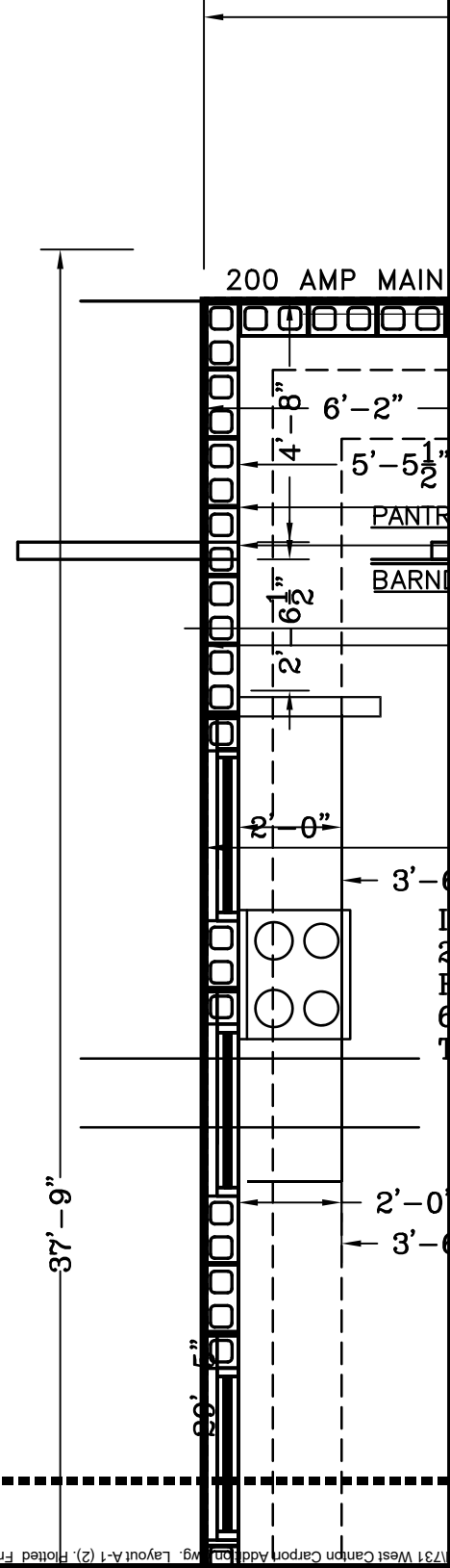
\$



30"x30"x30" FOOTER
2,500 PSI AT 28 DAY
W/4-#5 REBAR VERT.

A

AT 24" O.C.

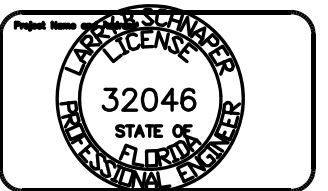


General Notes

Home Renovation
731 West Canton Ave.
Winter Park, Florida 32789

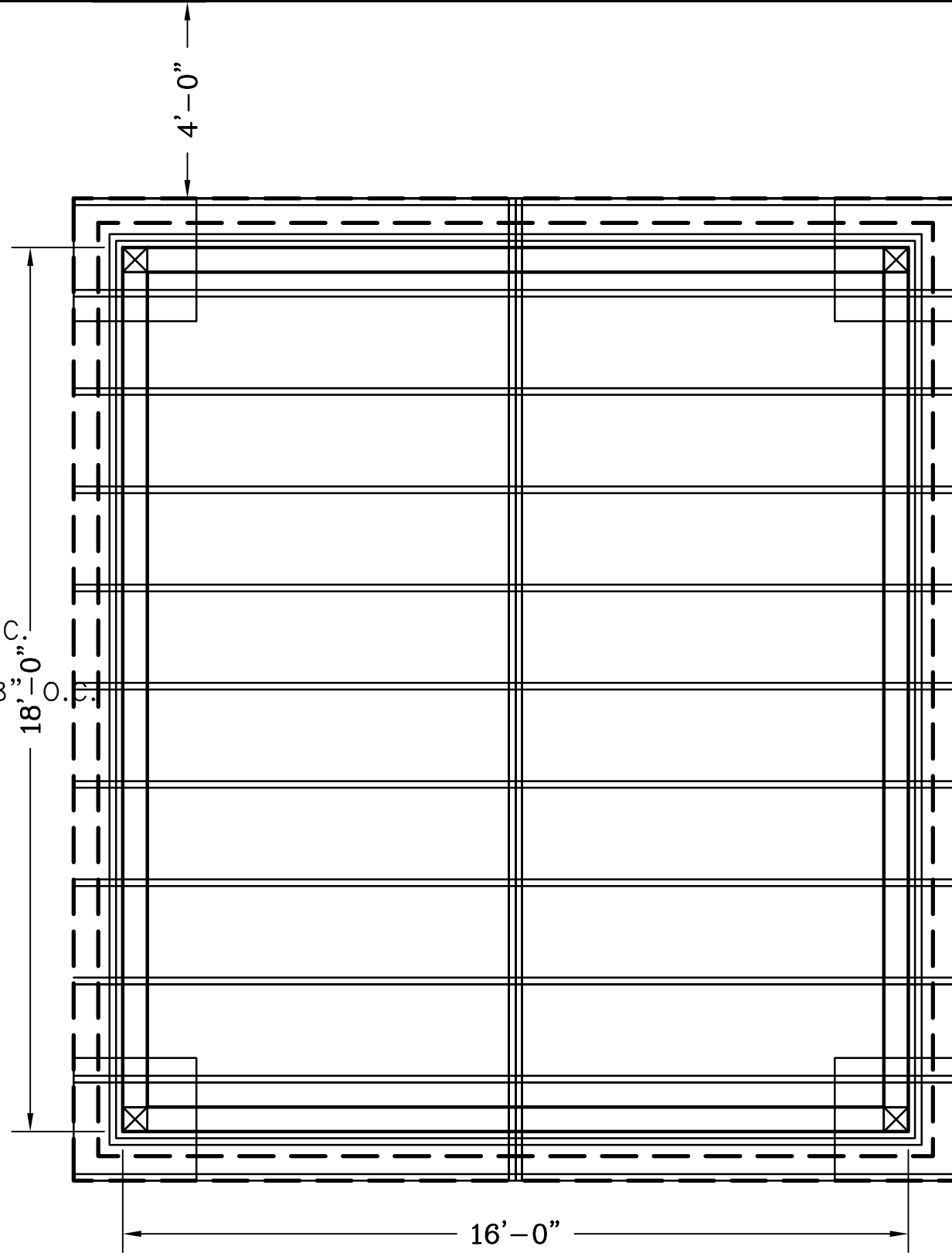
No.	Revision/Issue
1	0/0/0

Firm Name and Address
Larry B. Schnaper PE
410 East Packwood Ave.
Maitland, Florida 32751
407-448-8644
SKILOFL@GMAIL.COM



Project	Sheet
Date: 3/30/2020	2

2-2"X12" BEAMS
 2"X8" RIDGE BEAM
 2"X6" RAFTERS @ 24" O.C.
 1/2" CDX SHEATHING
 2"X6" COLLAR TIES AT 48" O.C.
 ROOF TO MATCH EXISTING
 ⚡



30"X30"X30" FOOTER
 2,500 PSI AT 28 DAY
 W/4-#5 REBAR VERT.

A

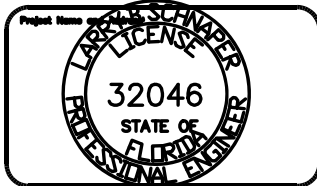
37'-9"

General Notes

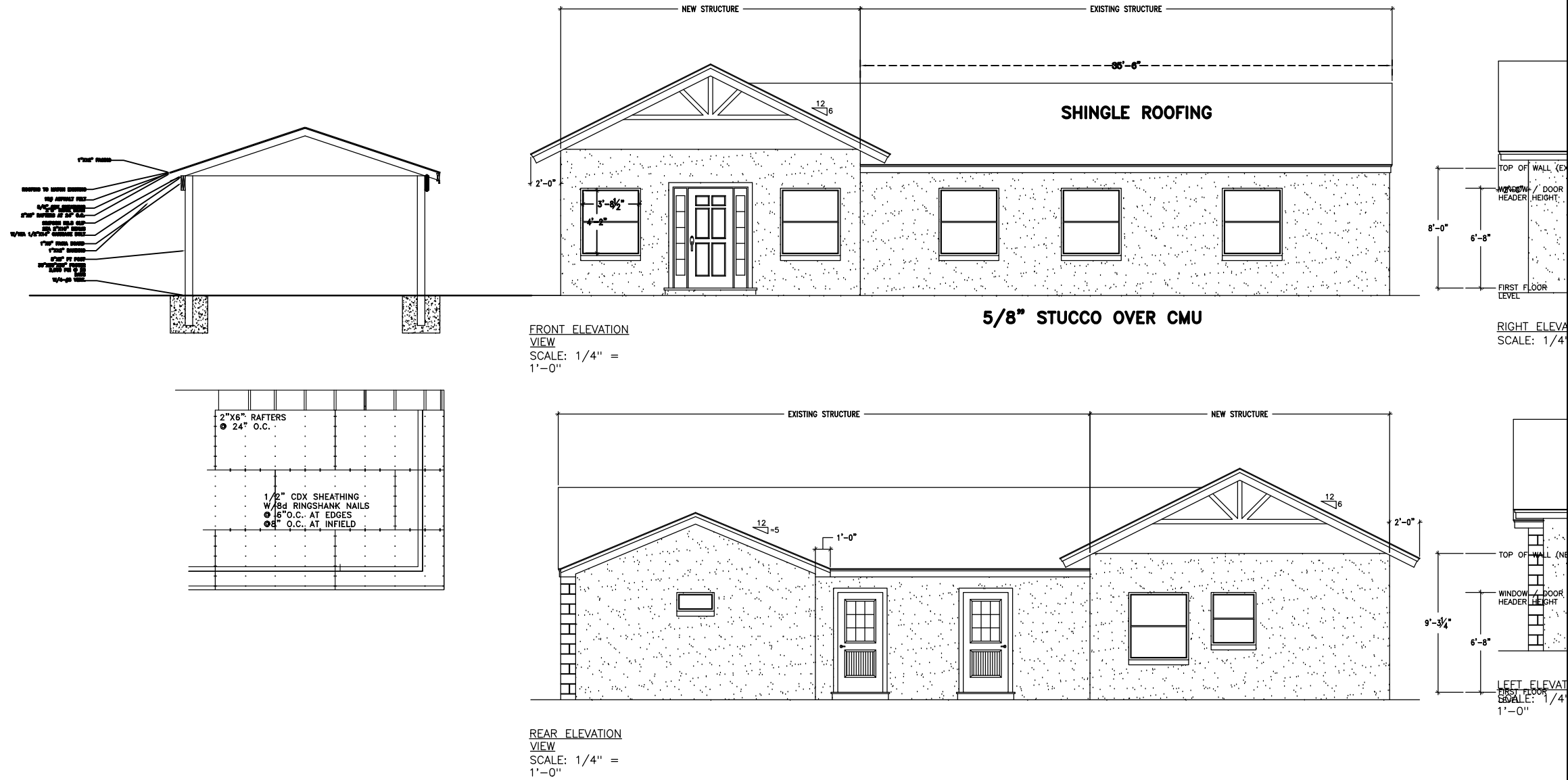
Home Renovation
 731 West Canton Ave.
 Winter Park, Florida 32789

No.	Revision/Issue
1	0/0/0

File Name and Address
 Larry B. Schnaper PE
 410 East Packwood Ave.
 Maitland, Florida 32751
 407-448-8644
 SKILOFLO@GMAIL.COM



Project	Sheet
Date: 3/30/2020	3

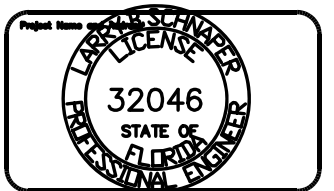


General Notes

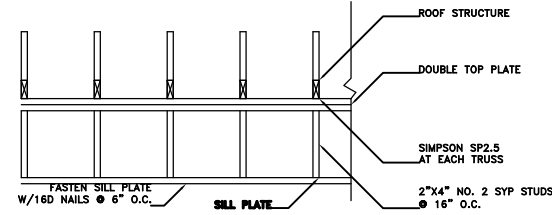
Home Renovation
731 West Canton Ave.
Winter Park, Florida 32789

No.	Revision/Issue
1	0/0/0

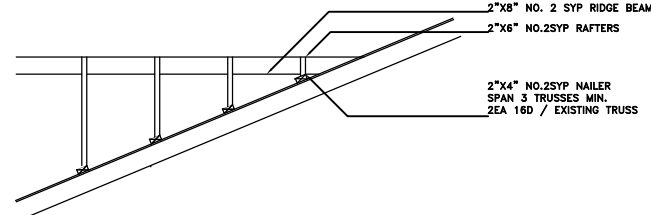
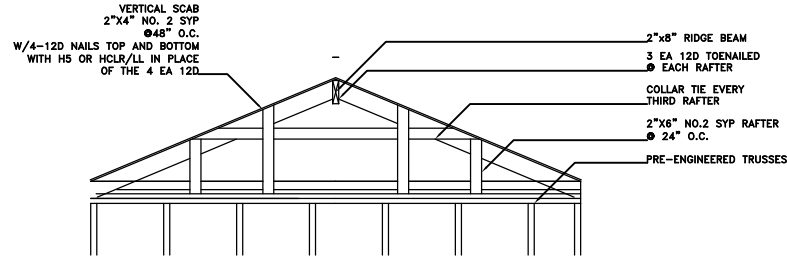
Plan Name and Address
Larry B. Schnaper PE
 Skilo Engineering Service
 410 East Packwood Ave.
 Maitland, Florida 32751
 407-448-8644
 SKILOFLO@GMAIL.COM



Project	Sheet
Date: 3/30/2020	4

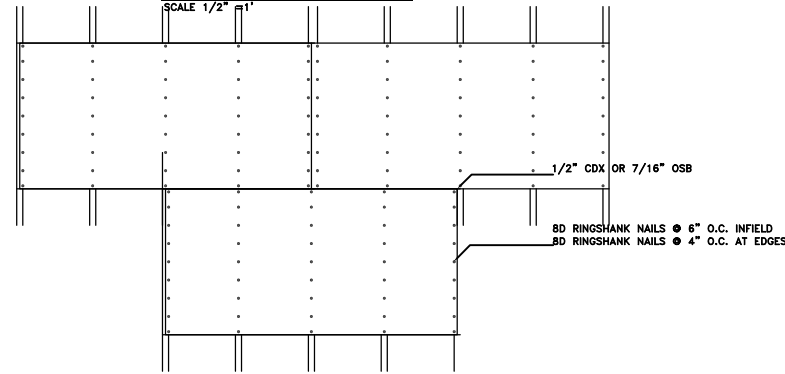


KNEEWALL DETAIL
SCALE 1/2" = 1"

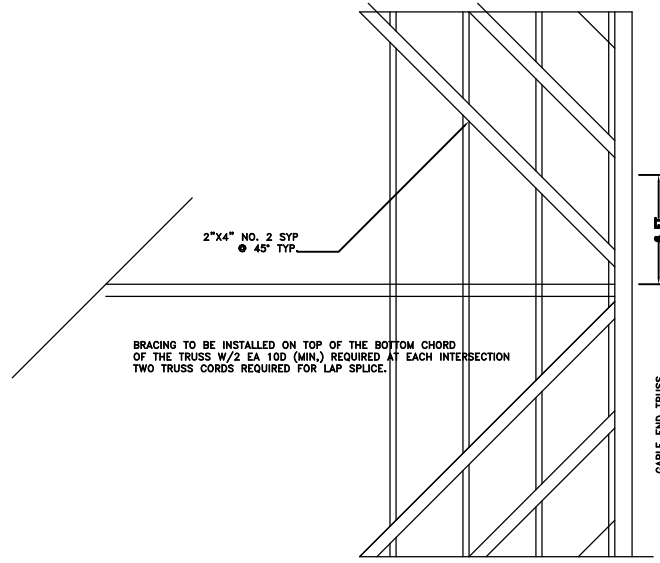


CONVENTIONAL ROOF FRAMING

SCALE 1/2" = 1"

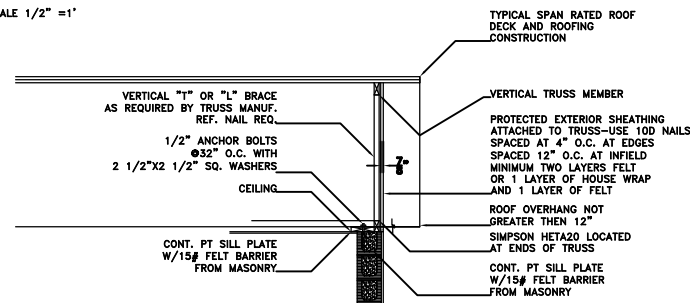


ROOF SHEATHING DETAILS
SCALE 1/2" = 1"

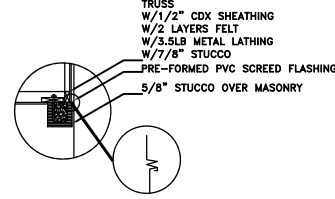


GABLE END DIAGONAL BRACING

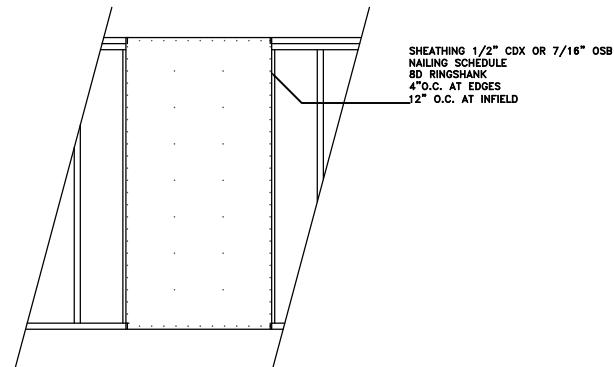
SCALE 1/2" = 1"



GABLED END OF TRUSS
SCALE 1/2" = 1"



STUCCO CONTROL JOINT DETAIL
SCALE 1/2" = 1"



WALL SHEATHING DETAILS
SCALE 1/2" = 1"

General Notes

Home Renovation
731 West Canton Ave.
Winter Park, Florida 32789

No.	Revision/Issue
1	0/0/0

File Name and Address
 Larry B. Schnaper PE
 Skilo Engineering Services
 410 East Packwood Ave.
 Maitland, Florida 32751
 407-448-8644
 SKILOFLOGMAIL.COM



Project	Sheet
Date	5
Date	3/30/2020





KOLBE

KOLBE

NO TRESPASSING
PRIVATE PROPERTY
VIOLATION IS PROHIBITED

NO TRESPASSING
PRIVATE PROPERTY
VIOLATION IS PROHIBITED





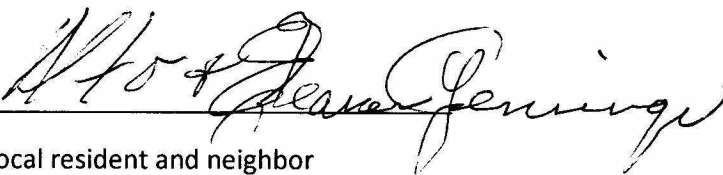
Reliable
Onsite Services
407.670.1728

January 12, 2021

To whom it may concern:

We are in support of our neighbor's proposal to construct a two vehicle carport that will be located at 731 W Canton Avenue, Winter Park, FL 32789. The structure will be located on the northern property line and the front will face Capen Avenue. The proposed structure will be an open style, wooden beam parking carport. The roof will be gabled and will be a black standing seam roof to match the existing home. Thank you for your consideration of this matter.

Sincerely and respectfully,

x 
Local resident and neighbor


751 W CANTON AVE

January 12, 2021

To whom it may concern:

We are in support of our neighbor's proposal to construct a two vehicle carport that will be located at 731 W Canton Avenue, Winter Park, FL 32789. The structure will be located on the northern property line and the front will face Capen Avenue. The proposed structure will be an open style, wooden beam parking carport. The roof will be gabled and will be a black standing seam roof to match the existing home. Thank you for your consideration of this matter.

Sincerely and respectfully,

 DAVID MEDINA 01/13/21
Local resident and neighbor

438 N. Capen Ave



Board of Adjustments regular meeting

February 16, 2021 at 5:00p.m.

Hybrid Meeting

Agenda Items

New business

5. Request of Matthew Anderson on behalf of Benjamin & Christina Lalikos, for a variance to allow the construction of a 5 feet high wall setback 5 feet from the east street-side lot line, in lieu of the minimum setback of 10 feet.

Located at: 240 E Rockwood Way

Zoned: R-1AA



401 South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

Building & Permitting Services

TO: BOARD OF ADJUSTMENTS MEMBERS

FROM: George Wiggins, Director of Building/Legislative Affairs

DATE: February 16, 2021

SUBJECT: VARIANCE REQUEST by Matthew Anderson on behalf of Benjamin Lalikos, 240 E Rockwood Way

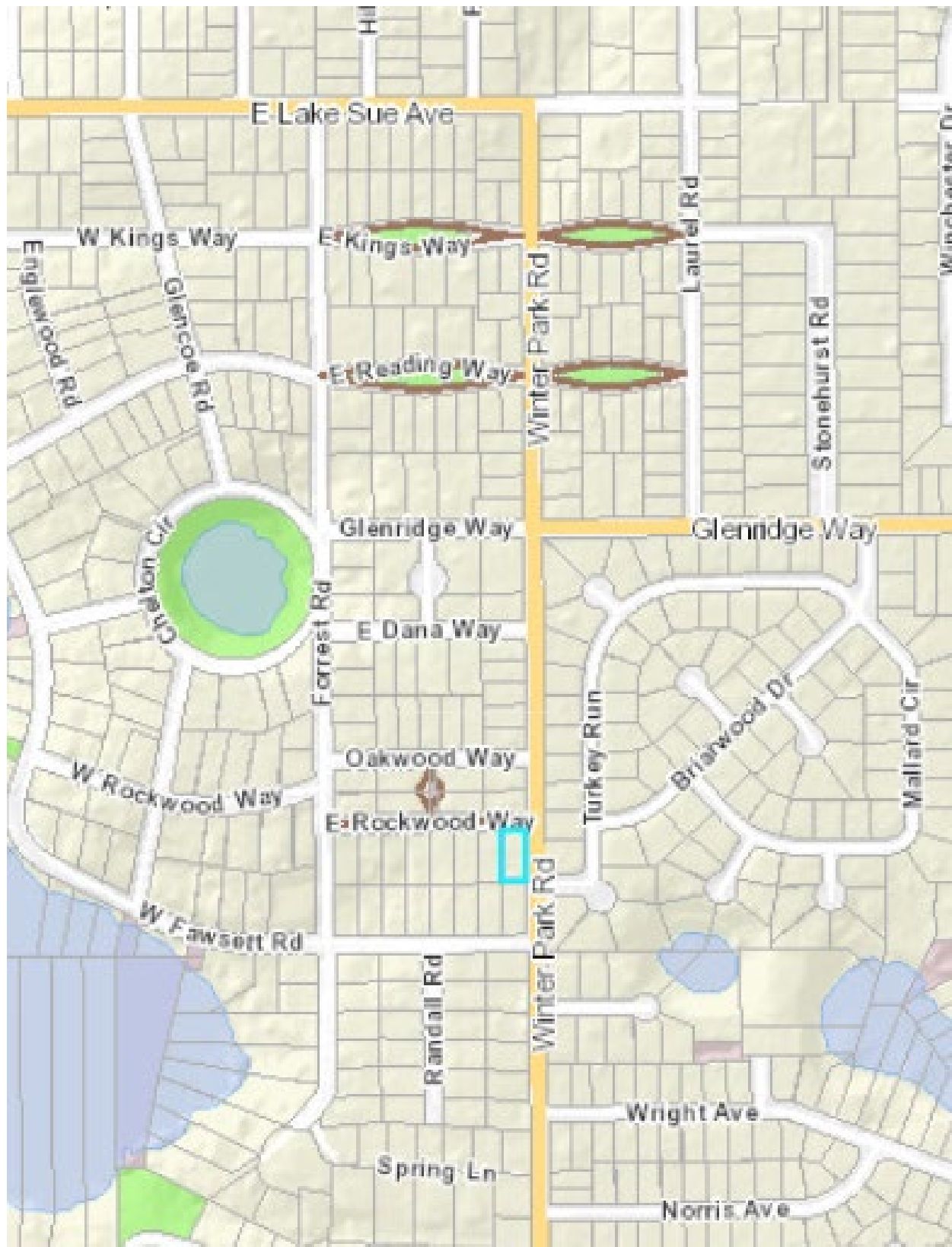
The applicant is requesting a variance to allow the construction of a 5 feet high wall set back 5 feet from the east street-side lot line whereas the minimum setback is 10 feet.

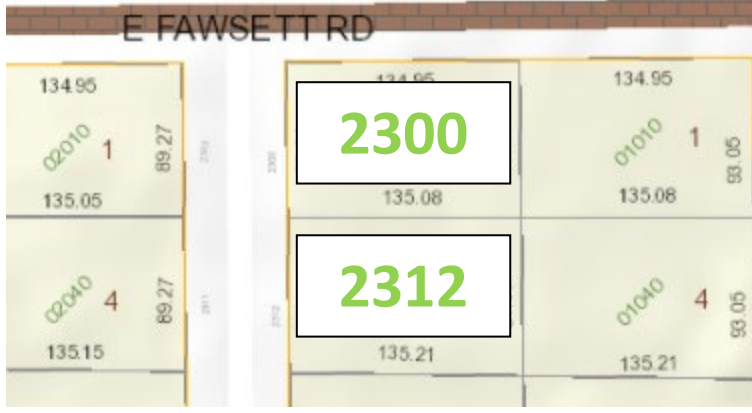
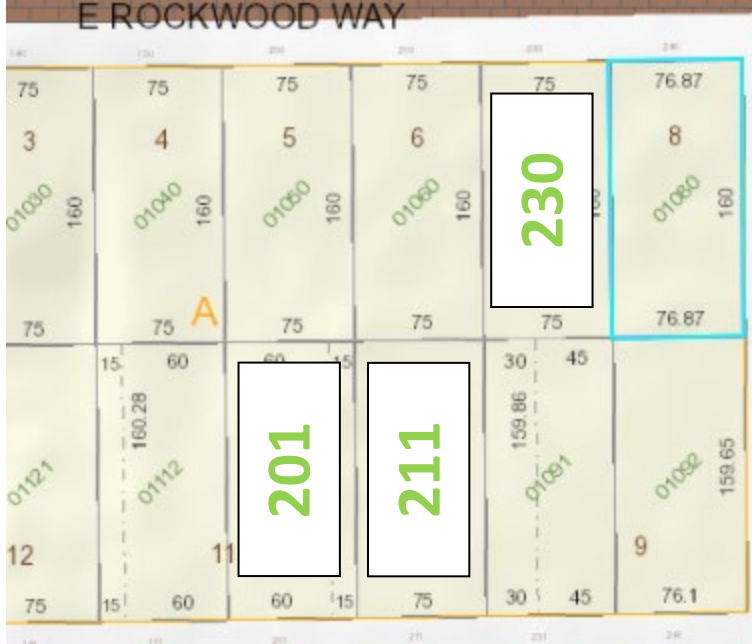
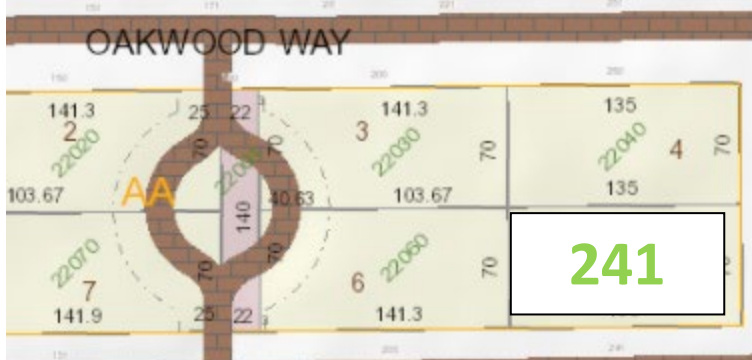
The applicants are preparing to build a new home on this property and have stated that the extra wide right of way (60') along Winter Park Road should be taken into consideration to allow a wall setback of only 5 feet due to this condition. An existing 4 to 5 foot high dense hedge also exists along the east side lot line next to the sidewalk acting as a visual buffer.

Our city arborist has noted that an oak tree or other trees are located in the rear of the property at or near the 5' setback from the street side lot line. If the Board is inclined to grant the request then I recommend that it be designed to jog around the tree(s) at a sufficient distance into the property with additional setback to prevent harming the health of the tree(s) as determined by our arborist prior to construction of the wall.

A letter with seven signatures of approval from nearby neighbors has been received regarding this request.

240 E Rockwood Way







PLAN SNAPSHOT REPORT BOA-2021-0026 FOR CITY OF WINTER PARK

Plan Type: Board of Adjustments	Project:	App Date: 01/19/2021
Work Class: Board of Adjustments/Variance Application	District: Winter Park	Exp Date: NOT AVAILABLE
Status: Submitted - Online	Square Feet: 0.00	Completed: NOT COMPLETED
Valuation: \$0.00	Assigned To: Wiggins, George	Approval Expire Date:

Description: Allow a 5' tall masonry wall at a distance of 5' from the street side property line in lieu of the 10' distance required per code.

Parcel: 302207125201080	Main	Address: 240 E Rockwood Way Winter Park, FL 32789	Main	Zone:
--------------------------------	------	---	------	--------------

Owner Benjamin Lalikos Mobile: (407) 209-6127	Applicant Matthew Anderson PO BOX 547103 ORLANDO, FL 32854 Home: 00 Business: (321) 315-1901 Mobile: (321) 315-1901
--	--

Plan Custom Fields

Zoning	R-1AA	Section	58	Subsection	71-n
Is the property on waterfront?	No	Is this property on historic registry or district?	No	Describe variance	Requesting to install a 5' tall masonry wall at a distance of 5' from the street side property line in lieu of the distance of 10' required by code. This wall will be built along with a new single-family residence on this property.
How long have you owned the property?	4 Months	How long have you occupied the property?	N/A	Special Condition	A typical Right-of-Way consists of 15' from the edge of the road to the street side property line, but the ROW on the west side of Winter Park Road is 20' wide. A 5' setback from the street-side property line would keep the wall the same typical distance from the street as a 10' setback would at a typical ROW. The new construction house that has been designed for this lot has a detached garage in the rear, so the amount of backyard space for a pool is already limited. The extra 5' requested for the fence setback would allow the family enough room for a pool and a small backyard. The existing house and lot has a large row of hedges directly on the street side property line at the sidewalk. If this request is approved, we will remove those existing hedges and install a new wall 5' away from the sidewalk, so the intent of the code for the street side setbacks would improve from the condition

PLAN SNAPSHOT REPORT (BOA-2021-0026)

that the lot is currently in.

Rights/Priv

The interior lots on the south side of Rockwood Way are all 75' wide, and this corner lot is only 76' wide. So all other lots can fence in the full 75' width of their backyards, but this lot would only get a 66' width of a fenced in backyard if the setback is 10' from the property line. If we can decrease the setback to 5', then we will still have less backyard than the neighbors (71' width) and the wall can only be 5' tall instead of 6' tall like the others, but it will help.

Hardship

The hardship we are requesting relief from is the street-side setback rules due to our lot being a corner lot. Corner lots require a street-side setback for a backyard fence of 20' for a 6' tall fence or 10' for a 5' tall fence. However, the lot width is not significantly wider to make up for this difference in the setback rules.

Limited Variance

We would prefer that the variance be approved as requested. We are happy to meet and discuss any concerns or limited variance ideas, but there isn't much room for a limited variance to make sense. We would probably need to keep the existing hedges for privacy along with some type of pool safety fence instead of pushing the wall back further or making it shorter.

Attachment File Name	Added On	Added By	Attachment Group	Notes
Existing Hedges Photo 1.pdf	01/19/2021 14:47	Montalto, David	Available Online	Uploaded via CSS
Existing Hedges Photo 2.pdf	01/19/2021 14:47	Montalto, David	Available Online	Uploaded via CSS
Existing Lot Survey.pdf	01/19/2021 14:47	Montalto, David	Available Online	Uploaded via CSS
Plans - 240 E Rockwood Way.pdf	01/19/2021 14:47	Montalto, David	Available Online	Uploaded via CSS
Signature_Matthew_Anderson_1/19/2021.jpg	01/19/2021 14:47	Montalto, David		Uploaded via CSS
Existing Hedges Photo 1.pdf	01/19/2021 15:18	Montalto, David		Uploaded via CSS
Existing Hedges Photo 2.pdf	01/19/2021 15:18	Montalto, David		Uploaded via CSS
Existing Lot Survey.pdf	01/19/2021 15:18	Montalto, David		Uploaded via CSS
Plans - 240 E Rockwood Way.pdf	01/19/2021 15:18	Montalto, David		Uploaded via CSS

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Board of Adjustments Review v.1	In Review	01/19/2021	01/21/2021		No	No

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Building Official Review	Building & Permitting Services	Wiggins, George	In Review	01/19/2021	01/21/2021	

Workflow Step / Action Name	Action Type	Start Date	End Date
Application Completeness Check v.1			01/19/2021 16:32
Confirm Application Complete v.1	Generic Action		01/19/2021 16:32
Review v.1			
Board of Adjustments Review v.1	Receive Submittal	01/19/2021	0:00
Issue Invoice v.1	Generic Action		
Final Decision v.1			
Board of Adjustments Decision v.1	Generic Action		

BOUNDARY SURVEY

LEGAL DESCRIPTION:

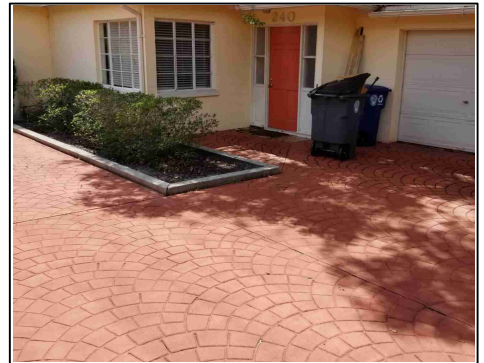
LOT 8, BLOCK A, CHARMONT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK L, PAGE 93, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

FLOOD INFORMATION:

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN CITY OF WINTER PARK, COMMUNITY NUMBER 120188, DATED 9/25/2009.

CERTIFIED TO:

BENJAMIN AND CHRISTINA LALIKOS; KRACHT LAW FIRM, P.A.; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; COGENT BANK



240 EAST ROCKWOOD WAY, WINTER PARK, FLORIDA 32789

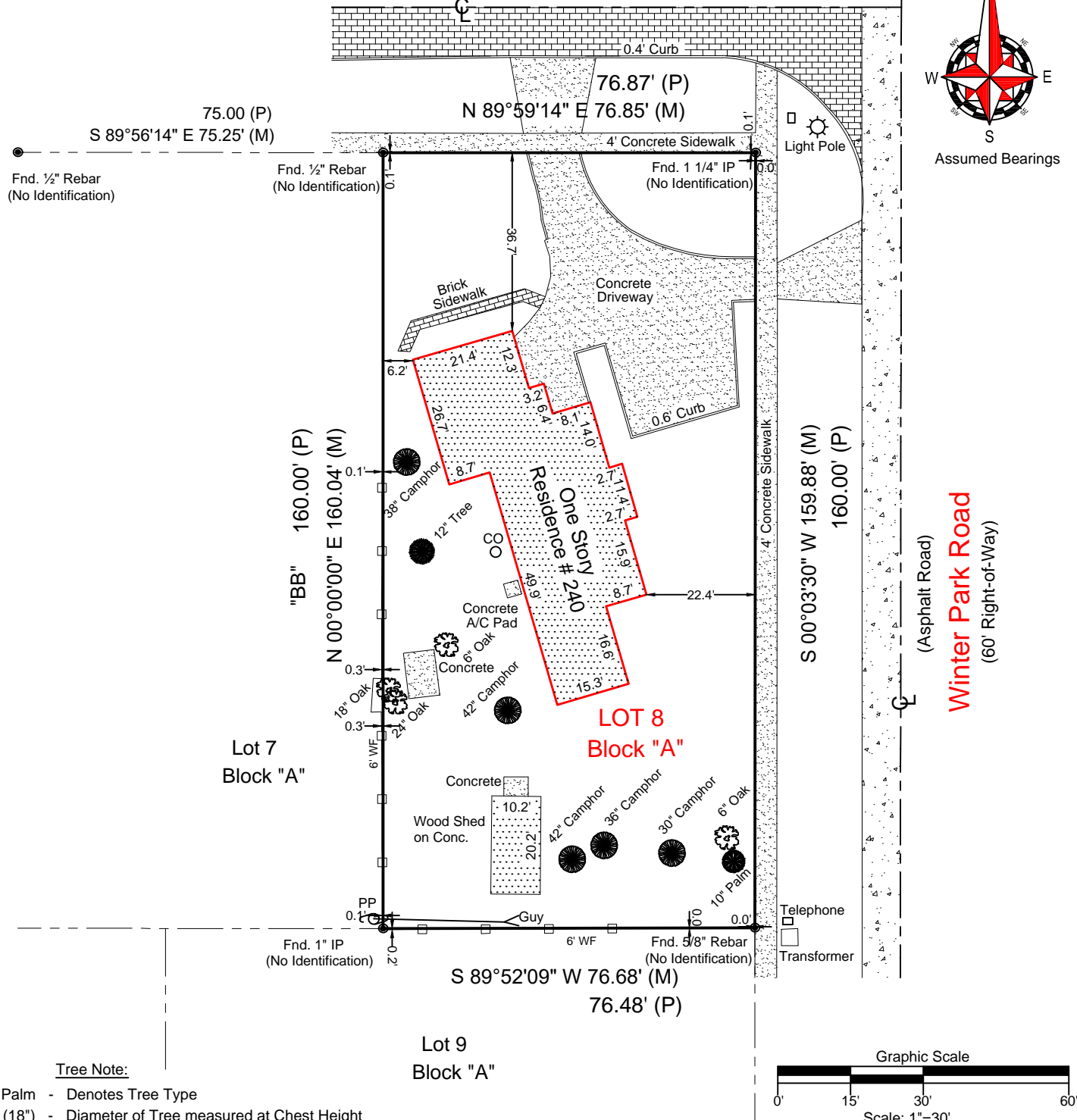
(60' Right-of-Way)

Platted As: **Rockwood Way**

Known As: **East Rockwood Way**


Assumed North

(Brick Road)



Tree Note:

- Palm - Denotes Tree Type
- (18") - Diameter of Tree measured at Chest Height

Field Date: 9/9/2020	Date Completed: 09/14/20	-NOTES- >Survey is based upon the Legal Description Supplied by Client. >Abutting Properties Deeds have NOT been Researched for Gaps, Overlaps and/or Hiatus. >Subject to any Easements and/or Restrictions of Record. >Bearing basis shown hereon, is Assumed and Based upon the Line Denoted with a "BB". >Fence Ownership is NOT determined. >Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted. >Septic Tanks and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies. >Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be construed to give ANY Rights or Benefits to Anyone Other than those Certified.
Drawn By: A.A.	File Number: S-78390	
-Legend- C - Calculated C - Centrifuge CB - Concrete Block CM - Concrete Monument Conc. - Concrete D - Description DE - Drainage Easement Esmt. - Easement F.E.M.A. - Federal Emergency Management Agency FFE - Finished Floor Elevation Fnd. - Found IP - Iron Pipe L - Length (Arc) M - Measured N&D - Nail & Disk N.R. - Non-Radial ORB - Official Records Book P - Plat P.B. - Plat Book □ - Wood Fence PC - Point of Curvature Pg. - Page PI - Point of Intersection P.O.B. - Point of Beginning P.O.L. - Point on Line PP - Power Pole PRM - Permanent Reference Monument PT - Point of Tangency R - Radius Rad. - Radial R&C - Rebar & Cap Rec. - Recovered Rfd. - Roofed Set - Set 1/2" Rebar & Rebar Cap "LB 7623" Typ. - Typical UE - Utility Easement WM - Water Meter Δ - Delta (Central Angle) -O- - Chain Link Fence		
NONE VISIBLE -POINTS OF INTEREST-		
I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown, Based on Information furnished to Me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 5J-17.052 Florida Administrative Codes, Pursuant to Section 472.027 Florida Statutes.  Patrick K. Ireland, P.S.M. 6637, LB 7623 This Survey is intended ONLY for the use of Said Certified Parties. This Survey NOT VALID UNLESS Signed and Embossed with Surveyor's Seal.		
Ireland & Associates Surveying, Inc. 800 Currency Circle Suite 1020 Lake Mary, Florida 32746 www.irelandsurveying.com Office-407.678.3366 Fax-407.320.8165		

Google Maps 2299 Winter Park Rd

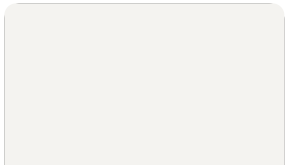


Image capture: May 2018 © 2021 Google

Winter Park, Florida



Street View



Google Maps 2199 Winter Park Rd

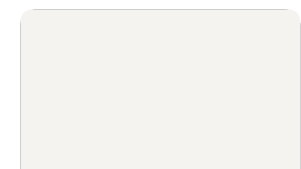


Image capture: May 2018 © 2021 Google

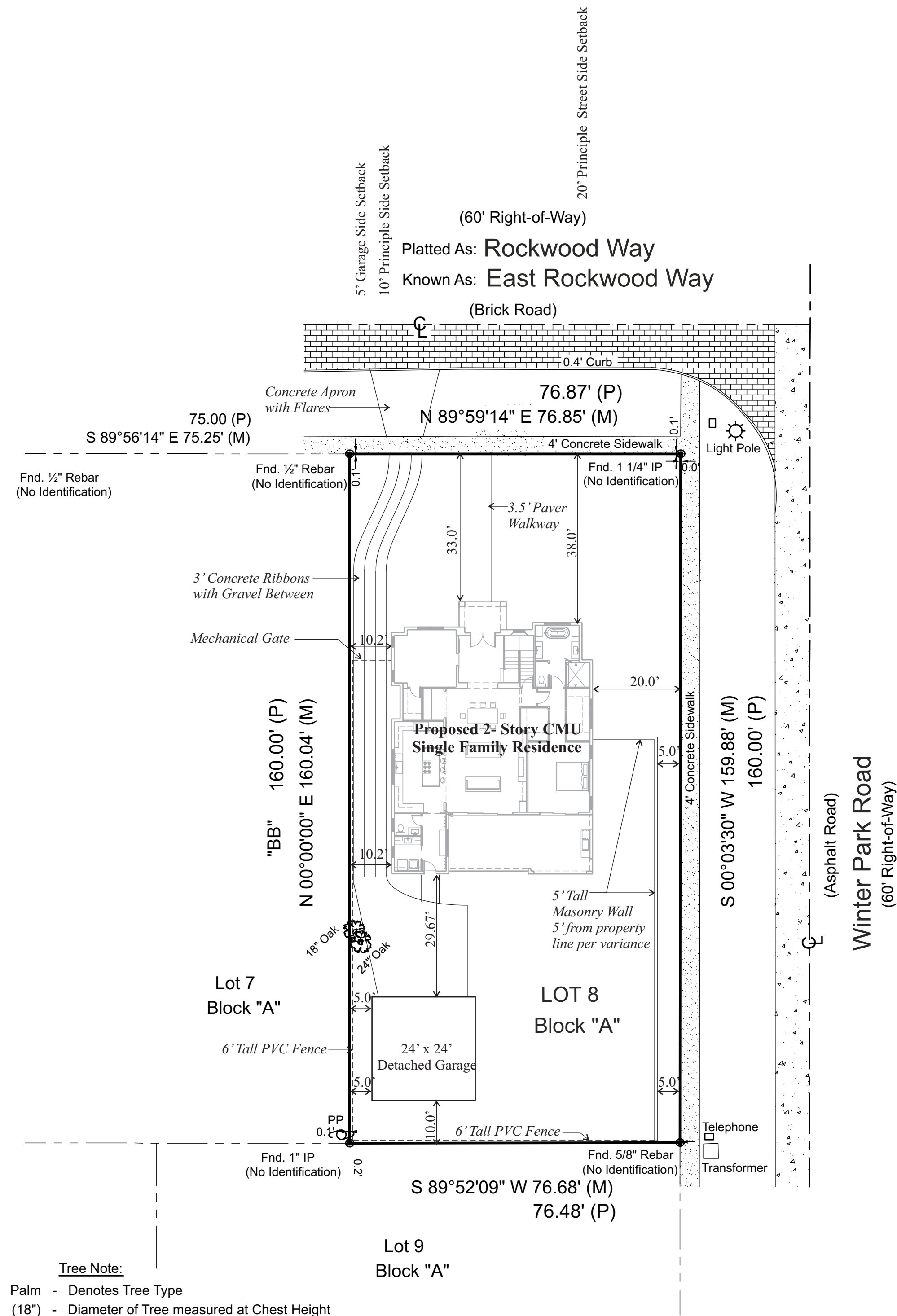
Winter Park, Florida



Street View



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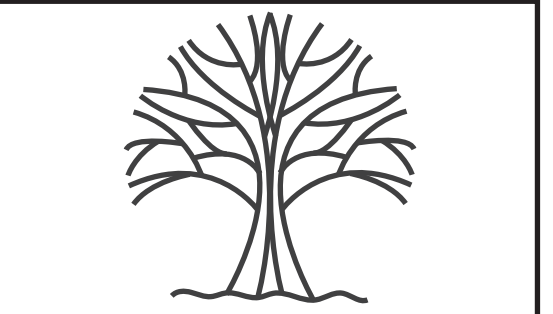
LEGAL DESCRIPTION:
LOT 8, BLOCK A, CHARMONT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK L, PAGE 93, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.



NEW RESIDENCE FOR:

Ben & Christina Lalikos

240 E. Rockwood Way
Winter Park, Florida 32789



Willow Tree Partners

design & consulting

Cosette Arnold
P.O. Box 732
Gotha, FL 34734
352.409.2679

cosette@willowtreepartners.com

NEW RESIDENCE FOR:

Ben & Christina Lalikos
240 E. Rockwood Way
Winter Park, Florida 32789

BUILDER:

M. Lahr Homes
PO Box 547103
Orlando, FL 32854
(407) 702-4315
CRC 1330484

Draft Date: 1/6/2021

REVISIONS:

PAGE 1

Lidon Engineering Company
548-B South Highway 27
Minneola, Florida 34715
(352) 394-2590 Ph. & FAX

Wayne A. Block
P.E. #52583

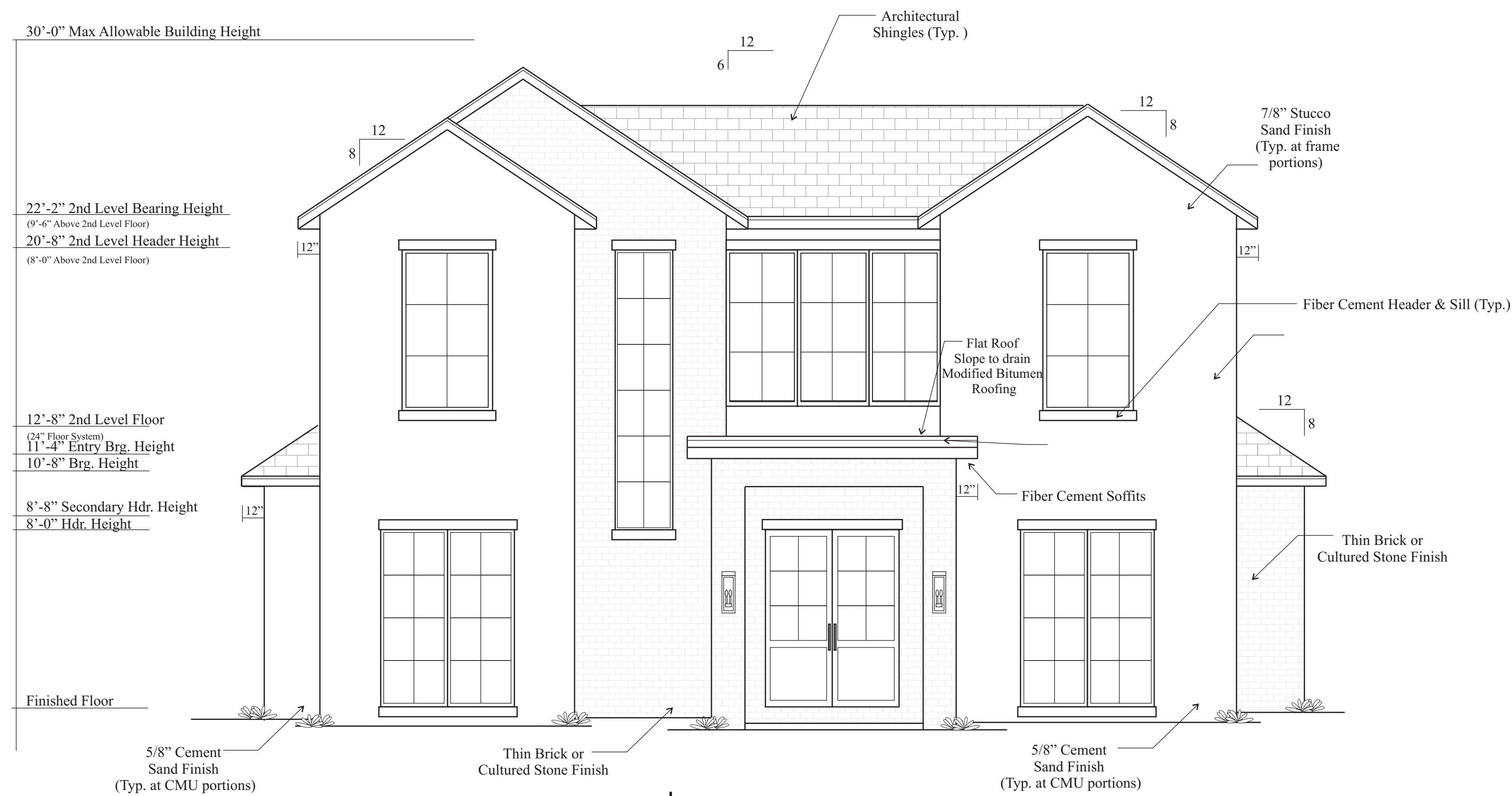
Stucco Wall Design will be similar to the following:





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Note:
Open cell spray foam insulation shall be installed at the underside of roof deck over living space; these roof areas are to be unvented.



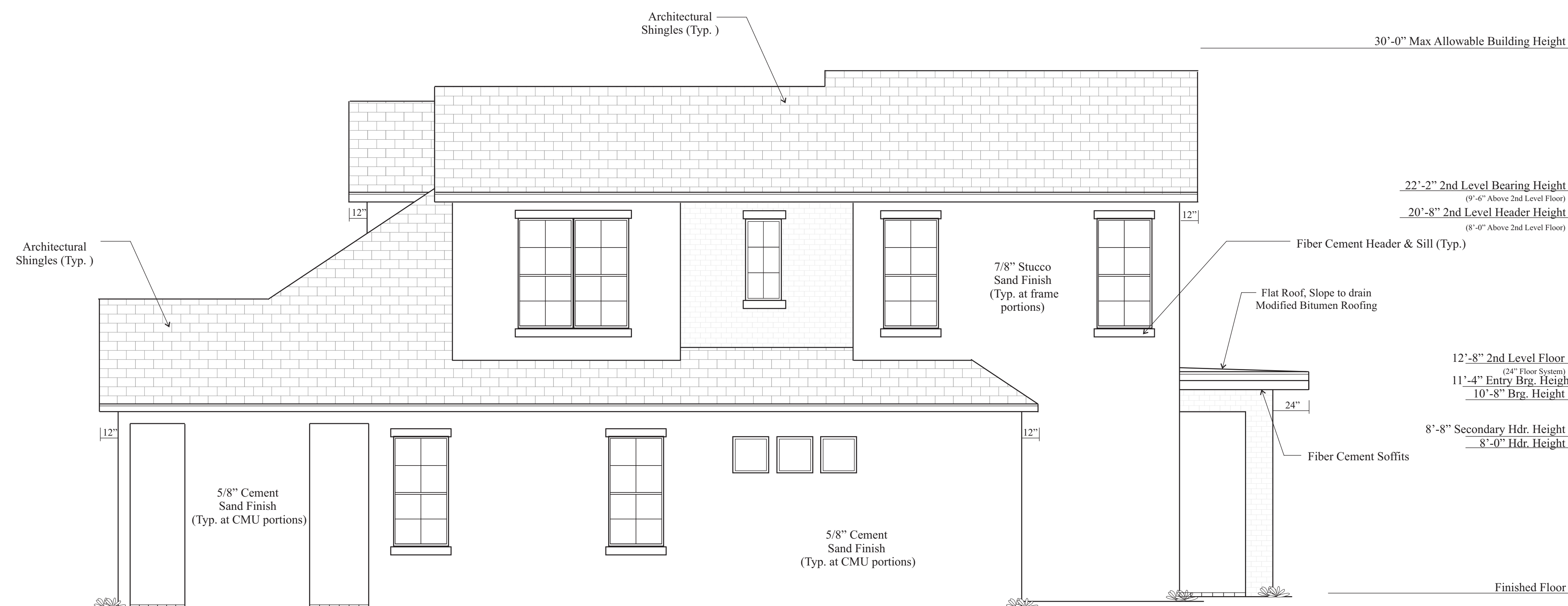
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



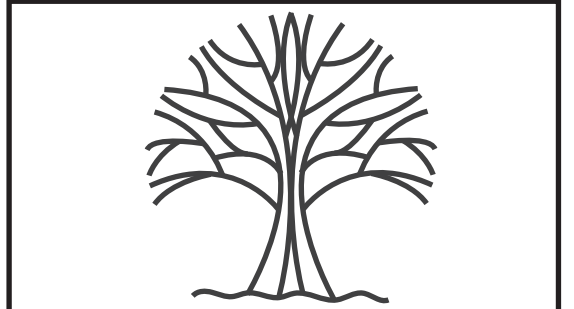
Inspiration Photo

Client wish list for exterior:

- Does not want awnings over windows
- Full length glass at front facade if possible
- Would like double doors
- Statement glass at staircase if possible
- Some stone or brick - mix with stucco for budget
- Roof Pitch as steep as possible



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



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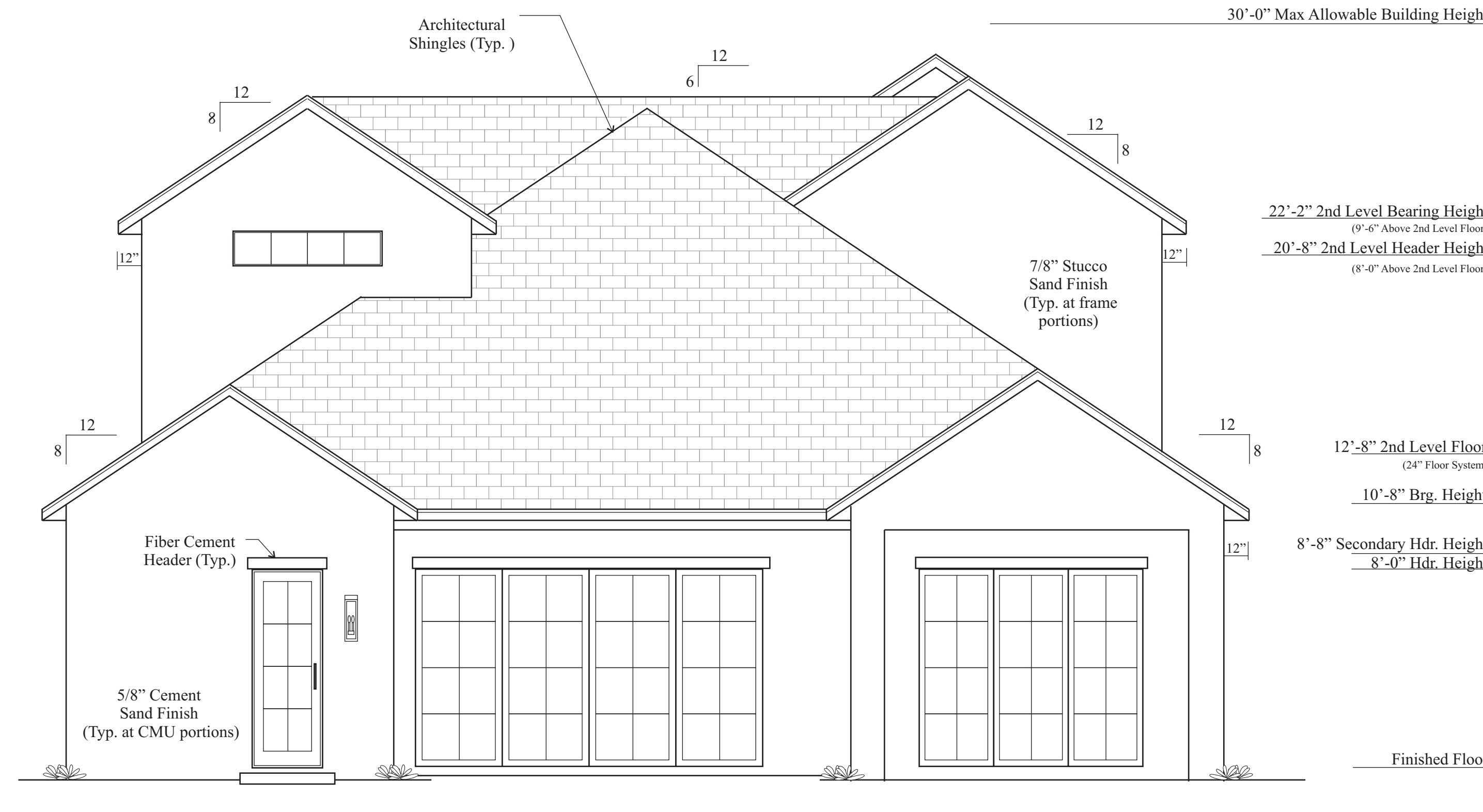
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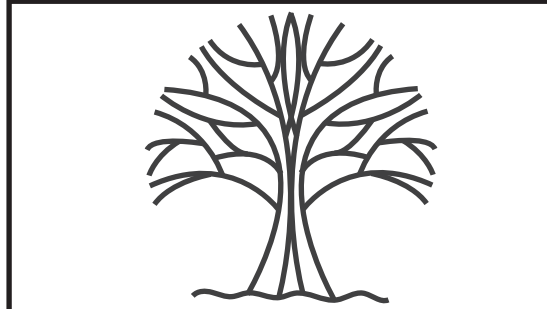
REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



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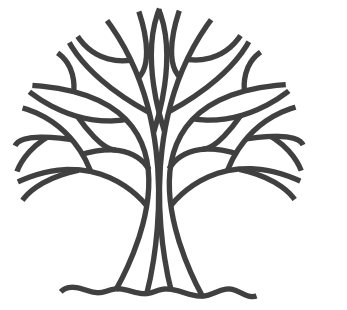
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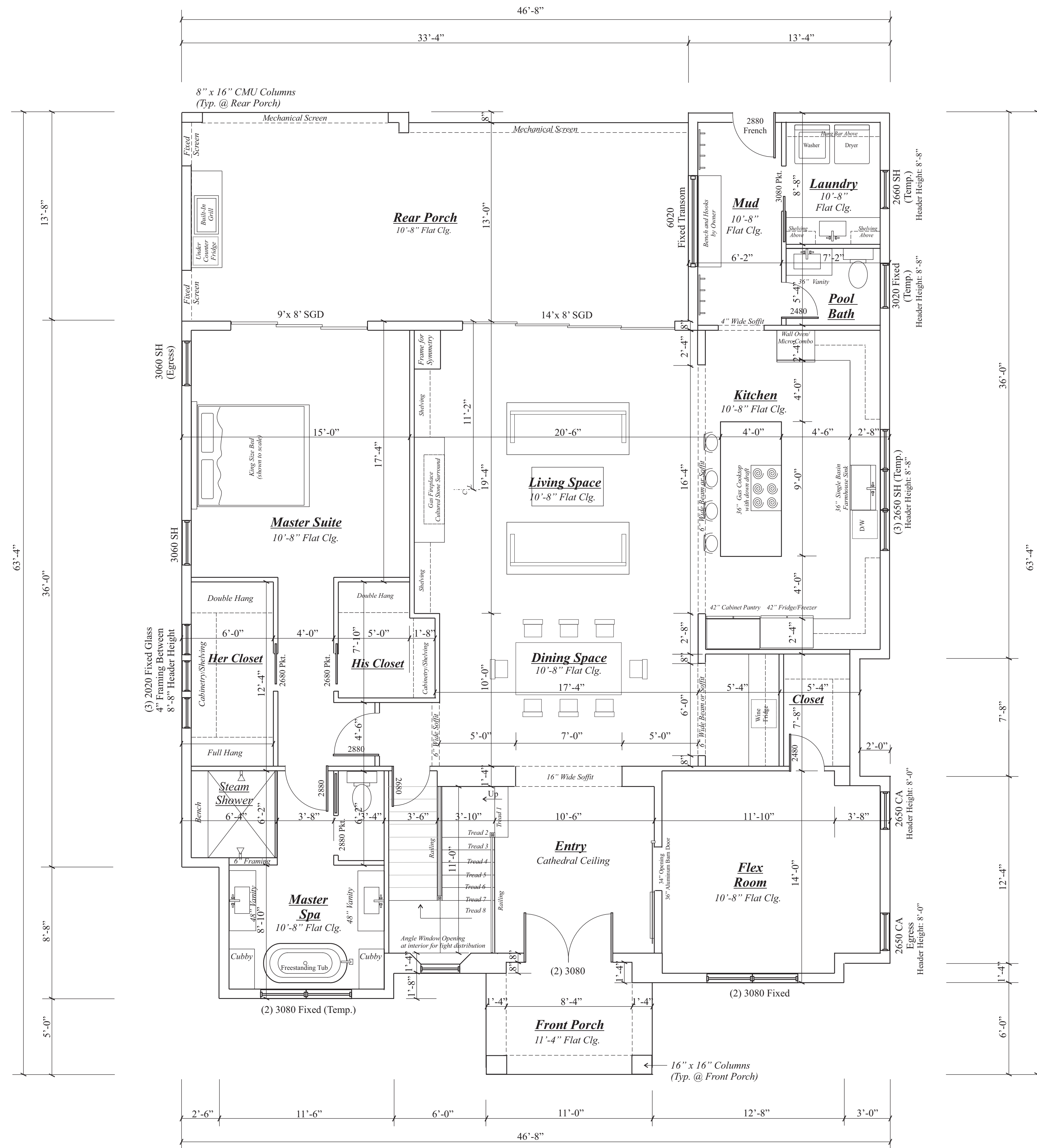
Draft Date: 1/6/2021

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PAGE 4

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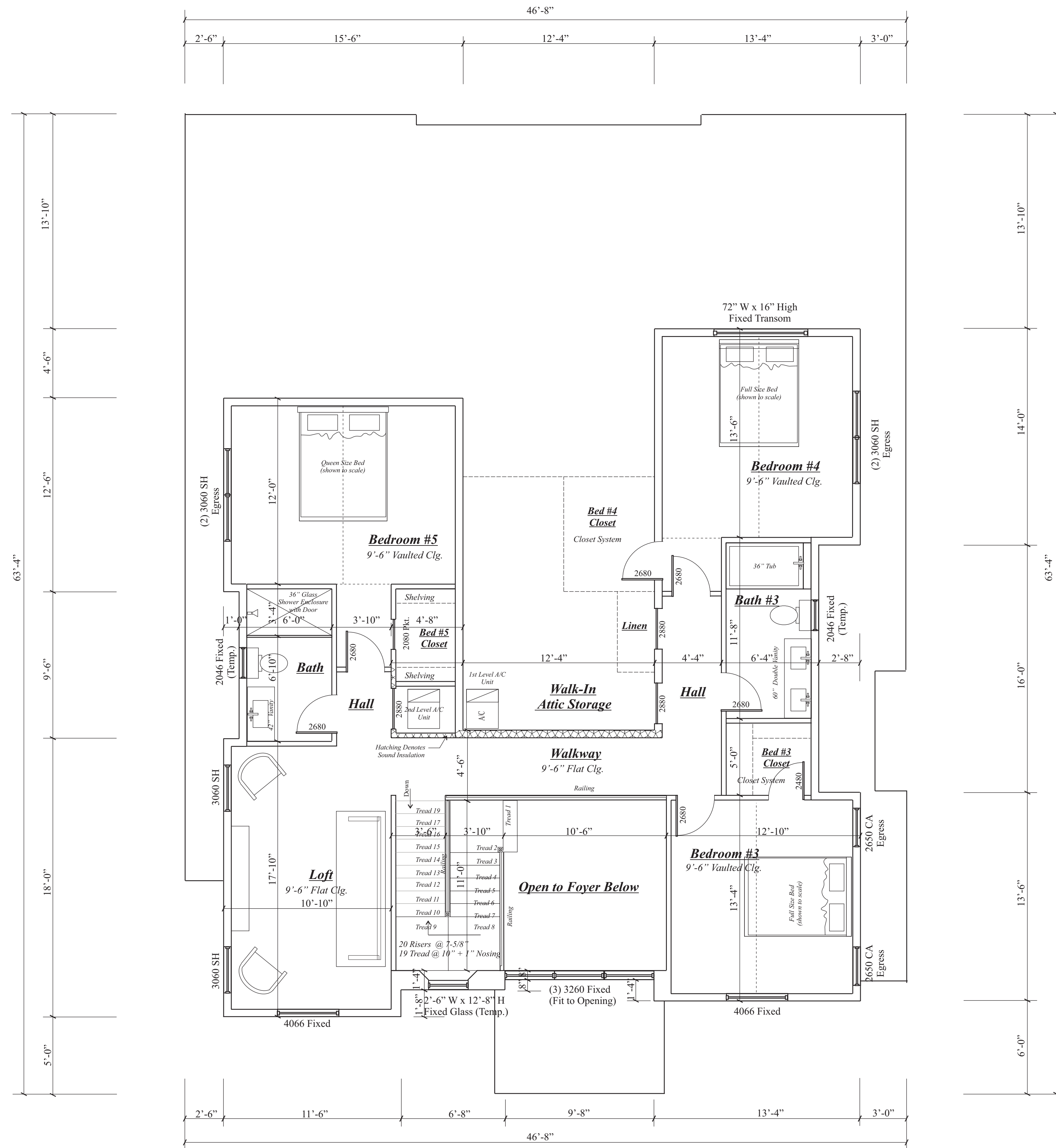


AREA CALCULATIONS	
1st Level Living:	2,172 Sq. Ft.
2nd Level Living:	1,133 Sq. Ft.
Total Living Area:	3,305 Sq. Ft.
Detached Garage:	576 Sq. Ft.
Air Conditioned Attic Storage:	T.B.D.
Rear Porch:	456 Sq. Ft.
Front Porch:	77 Sq. Ft.
Total Area:	T.B.D.

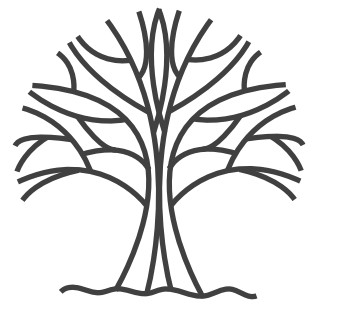
1st LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

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2nd LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



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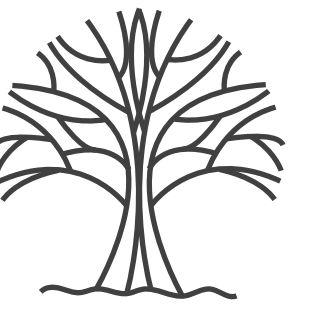
PAGE 5

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NEW RESIDENCE FOR:
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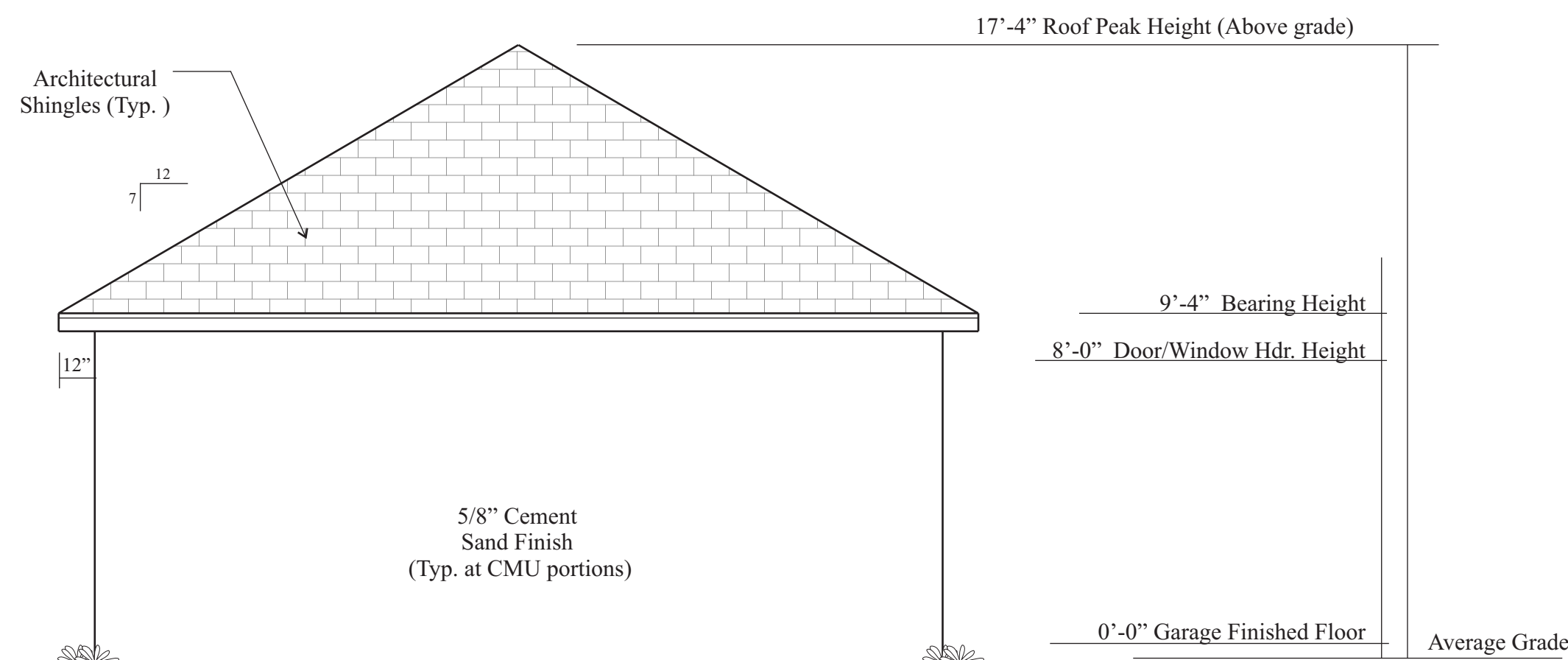
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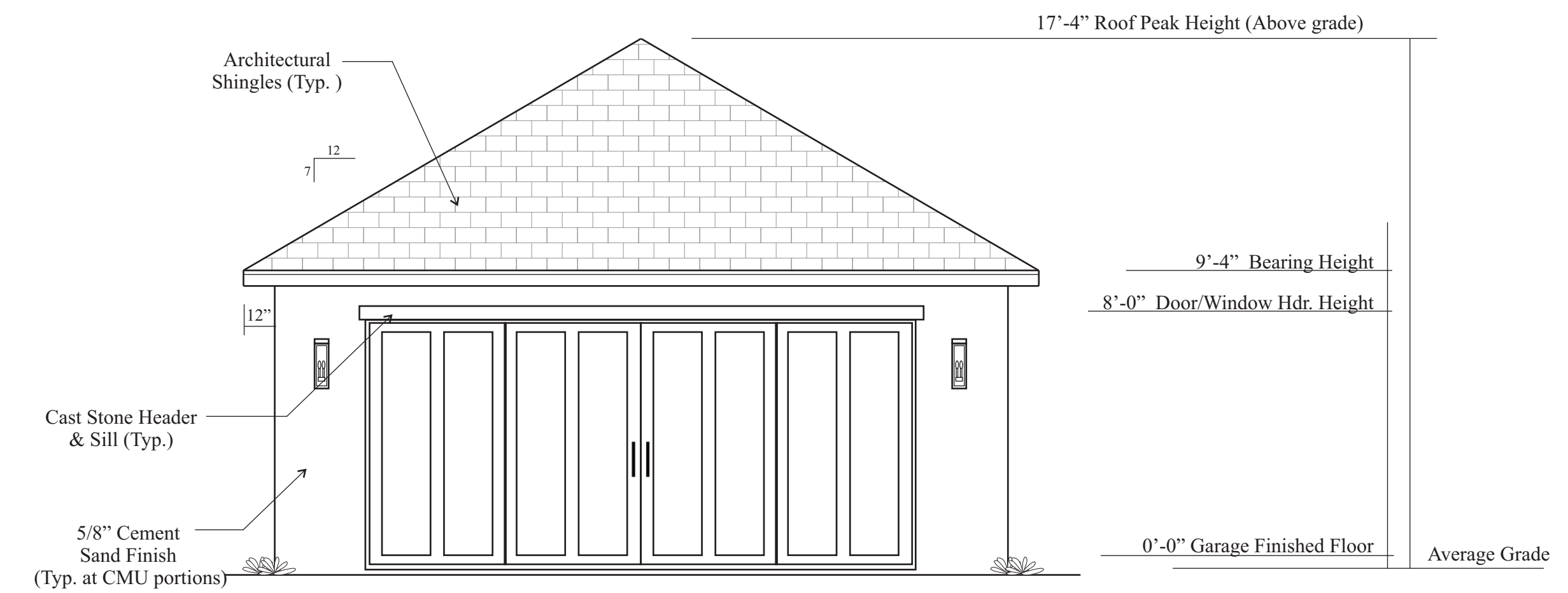
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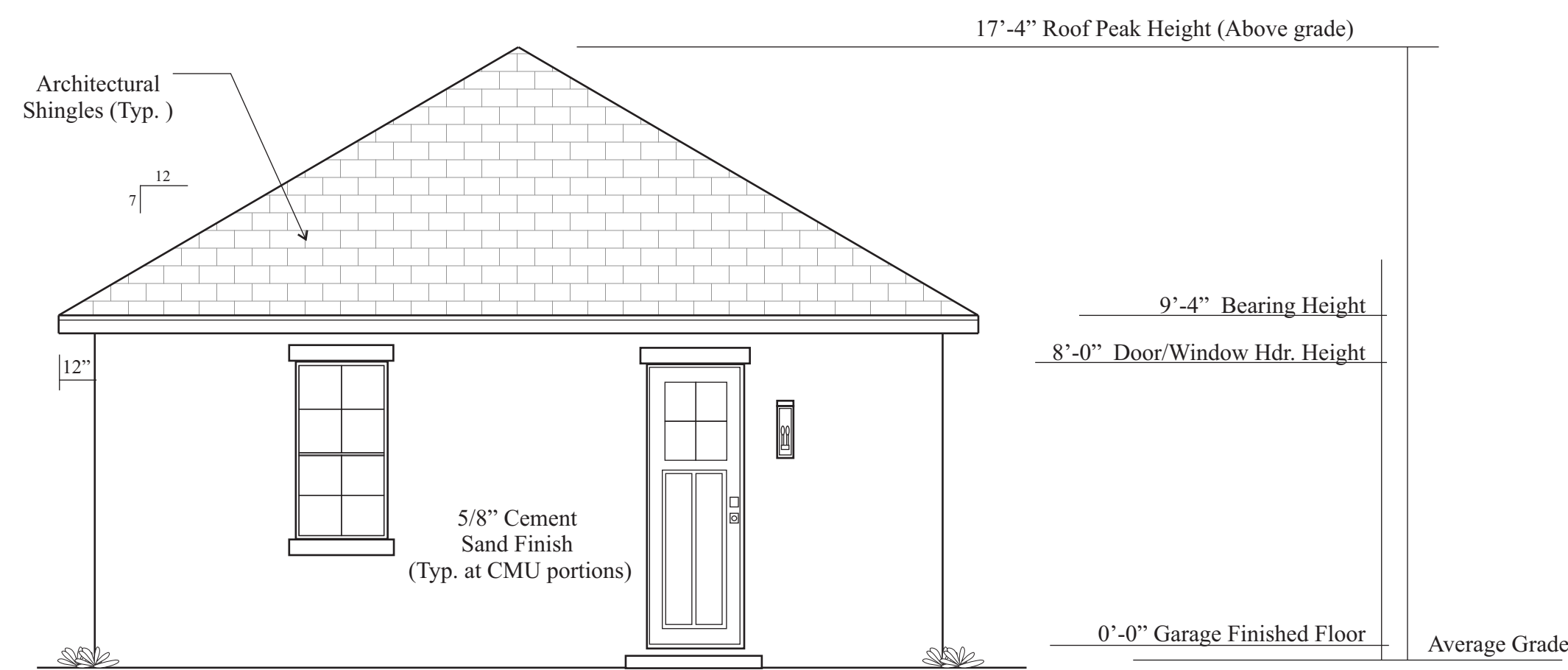
GARAGE - REAR ELEVATION

SCALE: 1/4" = 1'-0"



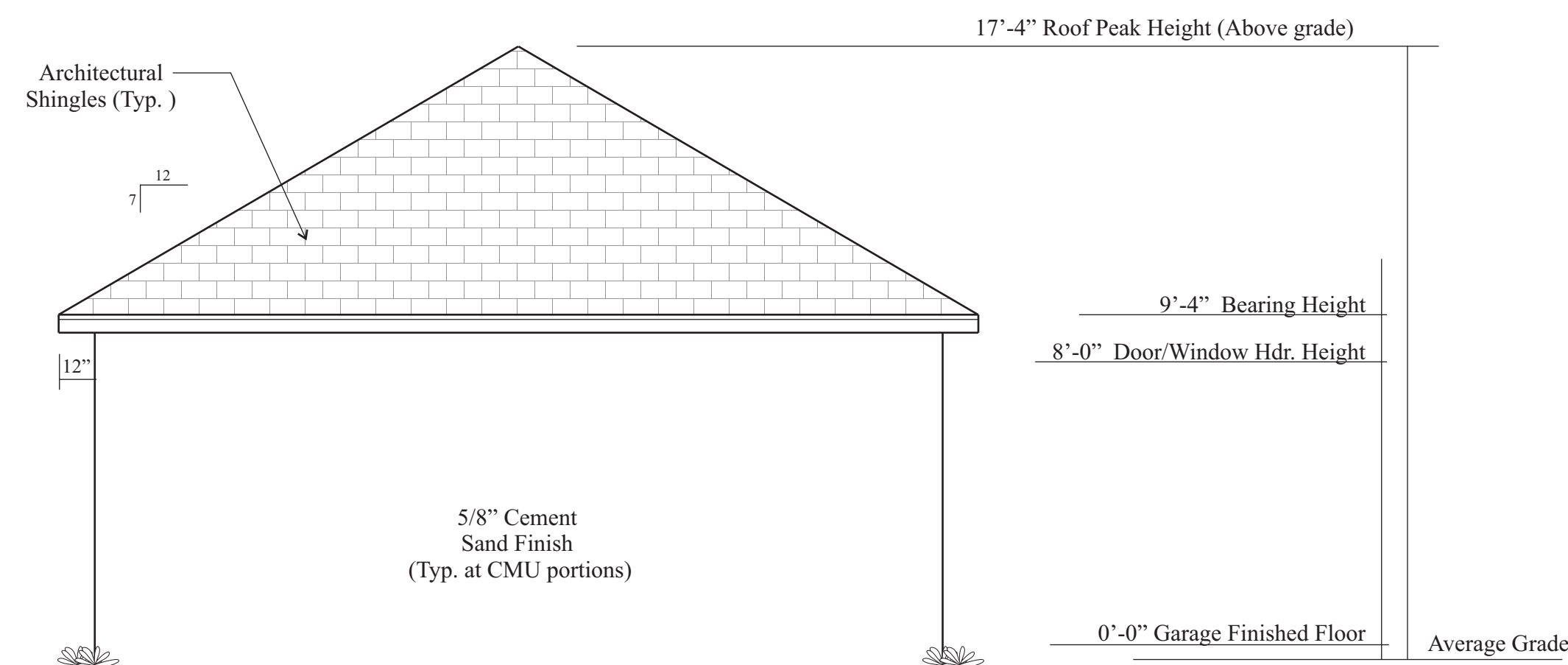
GARAGE - FRONT ELEVATION

SCALE: 1/4" = 1'-0"



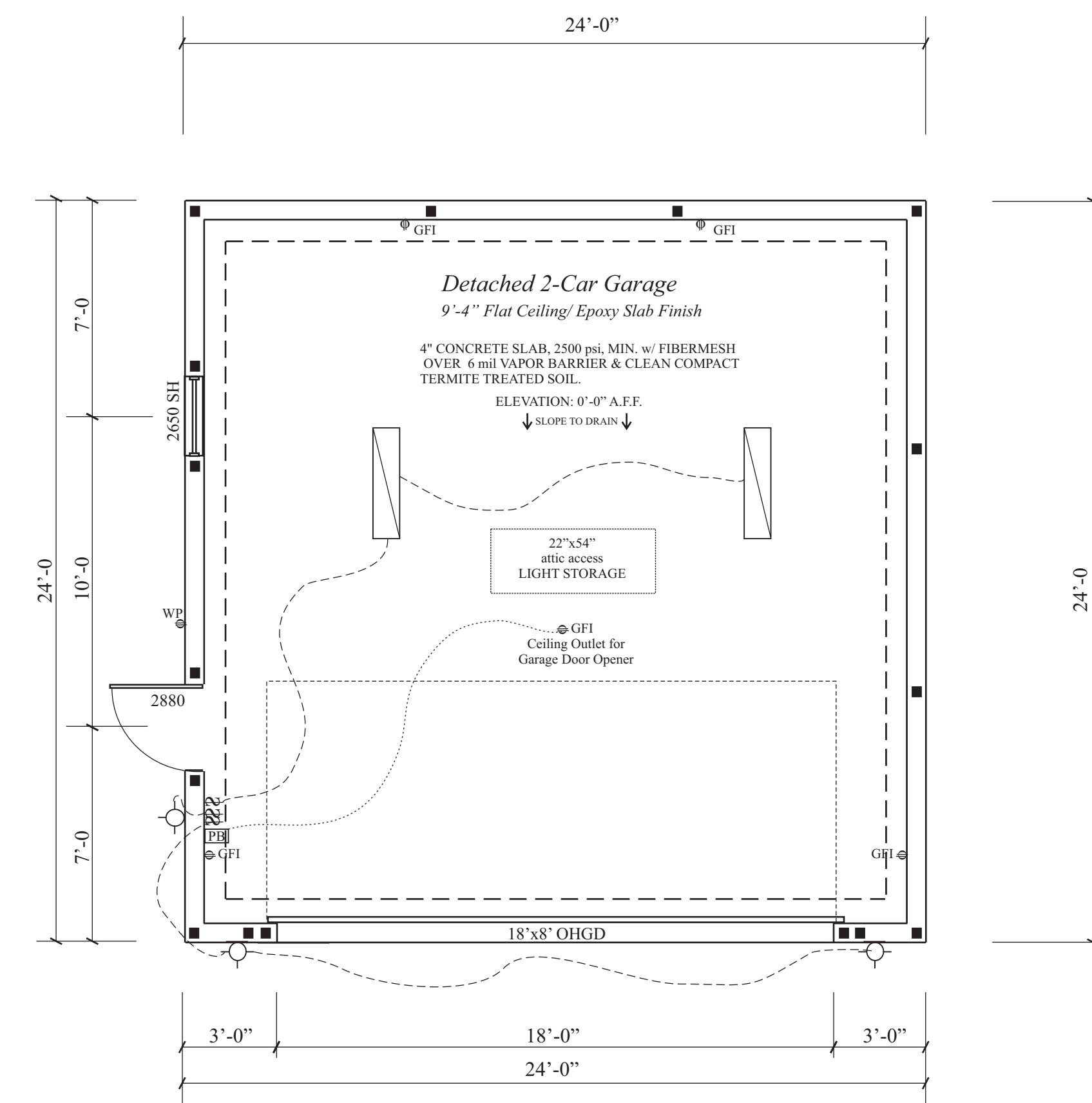
GARAGE - LEFT ELEVATION

SCALE: 1/4" = 1'-0"



GARAGE - RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



DETACHED GARAGE FLOOR/FOUNDATION/ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



240 E. Rockwood Way, Winter Park, FL 32789.
Variance - Neighbor Approval

Variance Description: Request of Benjamin & Christina Lalikos for a variance to allow the construction of a 5 feet high wall setback 5 feet from the east street-side lot line, in lieu of the minimum setback of 10 feet.

Address	Owner Name	Signature	Date
211 East Fawcett Rd	Sean Stripling		2-9-21
201 E Fawcett Rd	Linda Stanford		2-9-21
241 E Rockwood Way	Brad & Casey Caldwell		2/9/21
251 OAKWOOD WAY	SAL CURTU		2/9/21
230 E Rockwood Way	Oscar & Amy Rosaks		2/9/21
2300 Randall Rd	Ben + Camille Goodin		2/9/21
2312 Randall Road	Michael + Jennifer Carolan		2/9/21



Board of Adjustments regular meeting

February 16, 2021 at 5:00p.m.

Hybrid Meeting

Agenda Items

New business

6. Request of Kelly Carr on behalf of Justin Loughran, for a variance to allow the construction of an addition to be located 25 feet from the front lot line and 9.3 from the side lot line, in lieu of the required front setback of 30 feet and required side setback of 10 feet.

Located at: 2244 Brookshire Ave

Zoned: R-1A



401 South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

**Building &
Permitting
Services**

TO: BOARD OF ADJUSTMENTS MEMBERS
FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS
DATE: February 16, 2021
SUBJECT: VARIANCE REQUEST by Kelly Carr on behalf of Justin Loughran,
2244 Brookshire Ave

The applicant is requesting variances to allow the construction of a one story addition to be located 25 feet from the front lot line and 9.3 feet from the side lot line, whereas the required front setback is 30 feet and the required side setback is 10 feet

With this application, the applicants have stated a need for a variance related to the existing garage door which will remain unchanged by this request, however, no variance is needed under the Zoning Code. The subject of this request only relates to the new addition on the east side of the home.

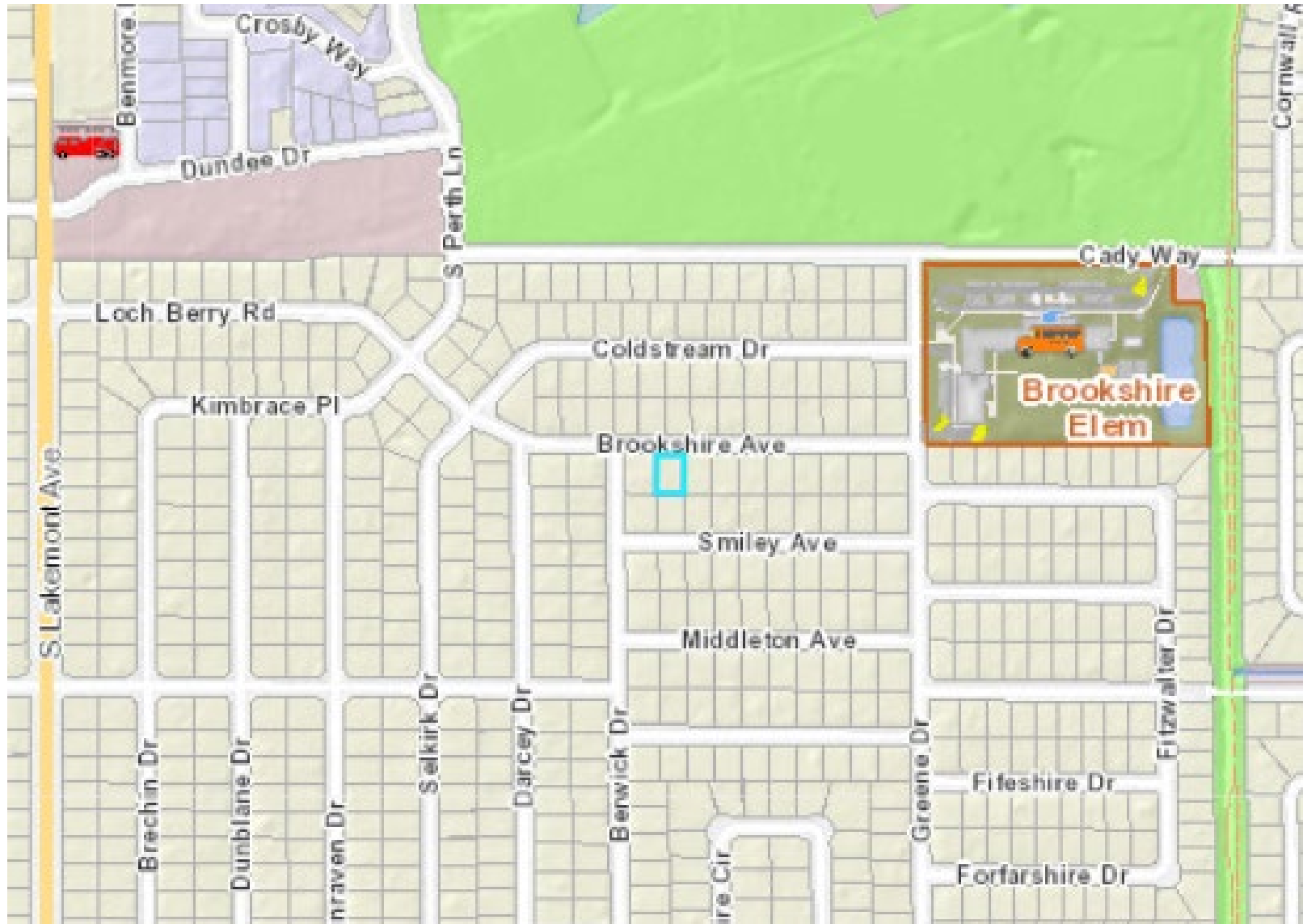
The addition is proposed to be a new master bedroom, office and porch area and will result in only a minor encroachment on the east side since the required setback is 10 feet. With regard to the front encroachment, many of the homes along this street are set at 30 feet although two or three homes appear to be at 28 feet from aerial observations, however, only 11 feet of this addition will project 5 feet and 6 feet of this addition will project 3 feet into the setback.

If the variance is approved, an oak tree located on the side property line will need to be properly protected during construction of the room addition in accordance with direction from our City Arborist.

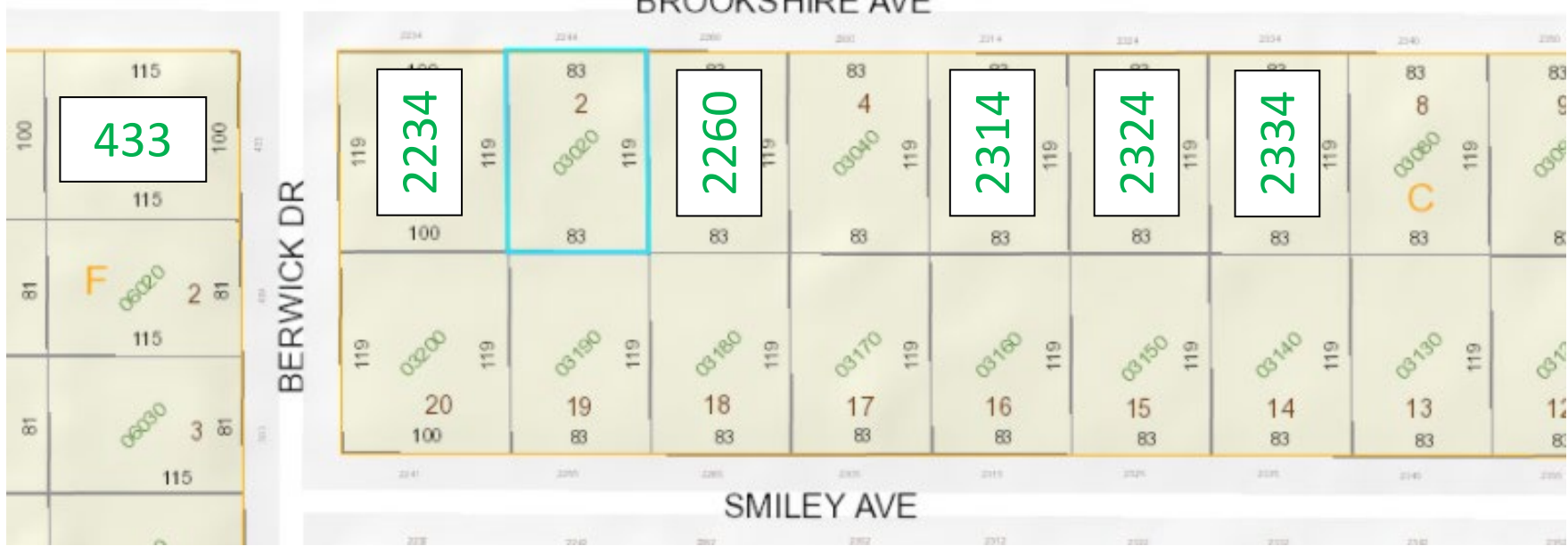
With this proposed addition of 663 square feet, the additional floor area does not result in exceeding the allowable impervious coverage or gross floor area.

Eight letters expressing no objection to this request have been received.

2244 Brookshire Ave



2244 Brookshire Ave





PLAN SNAPSHOT REPORT BOA-2021-0027 FOR CITY OF WINTER PARK

Plan Type: Board of Adjustments	Project:	App Date: 01/20/2021
Work Class: Board of Adjustments/Variance Application	District: Winter Park	Exp Date: NOT AVAILABLE
Status: Submitted - Online	Square Feet: 0.00	Completed: NOT COMPLETED
Valuation: \$0.00	Assigned To: Wiggins, George	Approval Expire Date:

Description: Relief from Garage door setback requirements and 25' front setback instead of required 32'

Parcel: 302209094003020	Main	Address: 2244 Brookshire Ave Winter Park, FL 32792-4766	Main	Zone:
--------------------------------	------	---	------	--------------

Applicant Kelly Carr 2929 E Alamo Dr Orlando, FL 32805 Business: (321) 946-5957 Mobile: (321) 946-5957	Owner Justin Loughran Home: (407) 448-2742
--	---

Plan Custom Fields

Zoning	Section	Subsection
Is the property on waterfront? No	Is this property on historic registry or district? No	Describe variance Relief from garage door setback requirements and 25' front setback instead of the required 32'
How long have you owned the property? August 2001	How long have you occupied the property? August 2001	Special Condition The garage was pre-existing before the existing setback and codes were in place. We can't go further into the rear yard with the new addition because of existing windows in bedrooms that are egress
Rights/Priv There are many residences in Winter Park and a couple on Brookshire Ave that has the same type of garage that juts past the main house. Many of the homes have four bedrooms and the addition is a master suite and a home office that is needed due to the pandemic.	Hardship In the Winter Park code a garage cannot jut out in front of the main structure, and if it does there are additional requirements. The owner would like to add onto the front of the house to balance the garage with the house. Because of existing bedrooms, the addition cannot go any further toward the rear of the house. There is also a bedroom window on the opposite of house that creates a hardship to add on that side as well.	Limited Variance The two variances that we are asking for are for relief of garage doors and reduced front yard setback. Not sure if there could be a limited variance due to bedroom windows.

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Kelly_Carr_1/20/2021.jpg	01/20/2021 18:15	Carr, Kelly		Uploaded via CSS

Workflow Step / Action Name	Action Type	Start Date	End Date
Application Completeness Check v.1			
Confirm Application Complete v.1	Generic Action		
Review v.1			
Board of Adjustments Review v.1	Receive Submittal		
Issue Invoice v.1	Generic Action		
Final Decision v.1			

From: justin loughran justin_loughran@yahoo.com
Subject: Re: Loughran Residence
Date: December 22, 2020 at 11:02 AM
To: Kelly Carr kkskir@gmail.com



Hi Kelly,
Good morning. I got your vmail and not a problem at all. Let me know if the below authorization will suffice?

Dear City of Winter Park,
I hereby authorize that Kelly Carr with KLC Designs, is authorized to submit my application for the variance on my property at

2244 Brookshire Avenue
Winter Park, FL. 32792

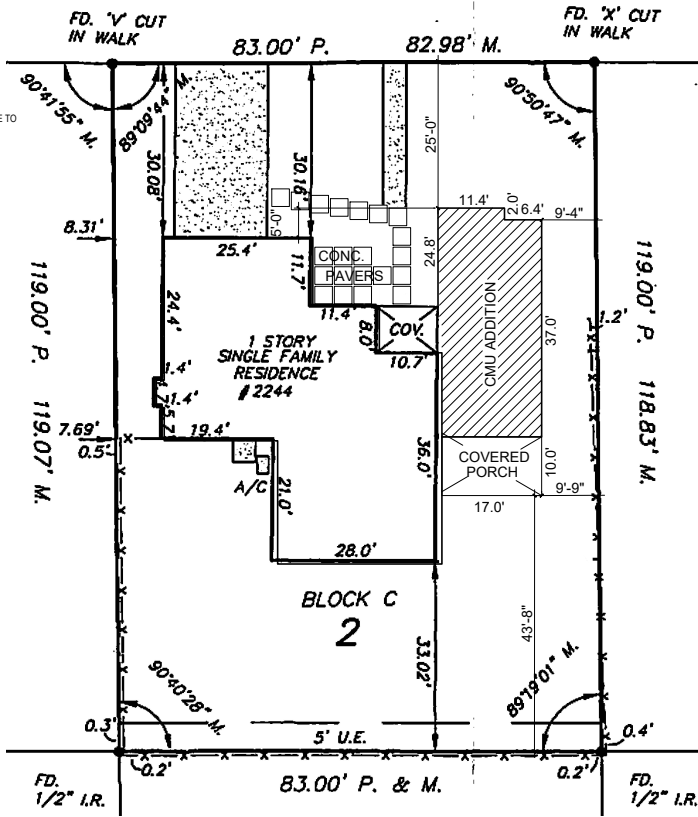
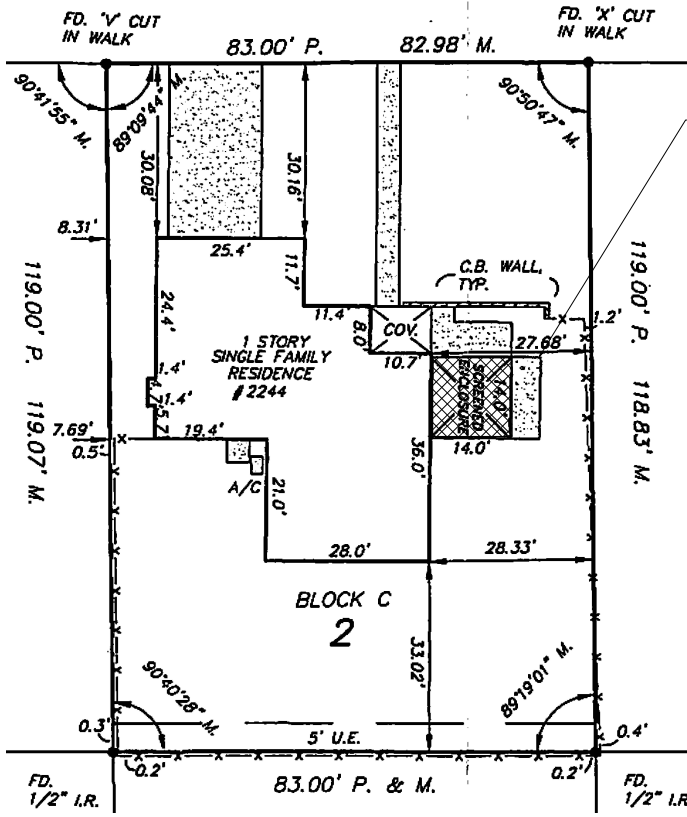
Regards,
Justin Loughran

On Monday, December 21, 2020, 03:58:19 PM EST, Kelly Carr <kkskir@gmail.com> wrote:

Here you go -
We can make interior changes on these after the variance .

BROOKSHIRE AVENUE
60' R/W

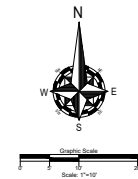
BROOKSHIRE AVENUE
60' R/W



SITE PLAN - EXISTING
SCALE: 1" = 10'-0"
CONTRACTOR VERIFY ALL DIMENSIONS AT JOB SITE.



SITE PLAN - PROPOSED
SCALE: 1" = 10'-0"
CONTRACTOR VERIFY ALL DIMENSIONS AT JOB SITE.



I.S.R. ANALYSIS

SITE AREA	9618 S.Q.F.T.
-----------	---------------

EXISTING SITE PLAN

RESIDENCE	1976 S.Q.F.T.
WALKS & PATHS	974 S.Q.F.T.
TOTAL IMP.	2950 S.Q.F.T.
I.S.R.	0.307

PROPOSED SITE PLAN

RESIDENCE	2816 S.Q.F.T.
WALKS & PATHS	760 S.Q.F.T.
TOTAL IMP.	3576 S.Q.F.T.
I.S.R.	0.372

I.S.R. ANALYSIS - FRONT YARD

F. YARD AREA	2996 S.Q.F.T.
WALKS & PATHS	760 S.Q.F.T.
NEW ADDITION	280 S.Q.F.T.
TOTAL IMP.	1040 S.Q.F.T.
I.S.R.	0.347



Seal/Signature

Consultants

alba
ENGINEERING

C.L. 00000
ORLANDO, FL 32801
P.O. BOX 80777
ORLANDO, FL 32818
PHONE 407-401-8888

Project Title: **LOUGHRAN RESIDENCE**

2244 BROOKSHIRE AVE, WINTER PARK, FL 32792

Sheet Title: **SITE PLANS**

Revisions:

No.	Date	Issued For

SITE: **JANUARY 18, 2021**

CHECKED BY: **KCC**

DRAWN BY: **KCC**

SCALE: **AS NOTED**

SHEET: **A-1**



KCC Designs, Inc.
 Kelly Carr
 321.946.1987
 k@kccdesign.com

Seal/Signature

Consultants



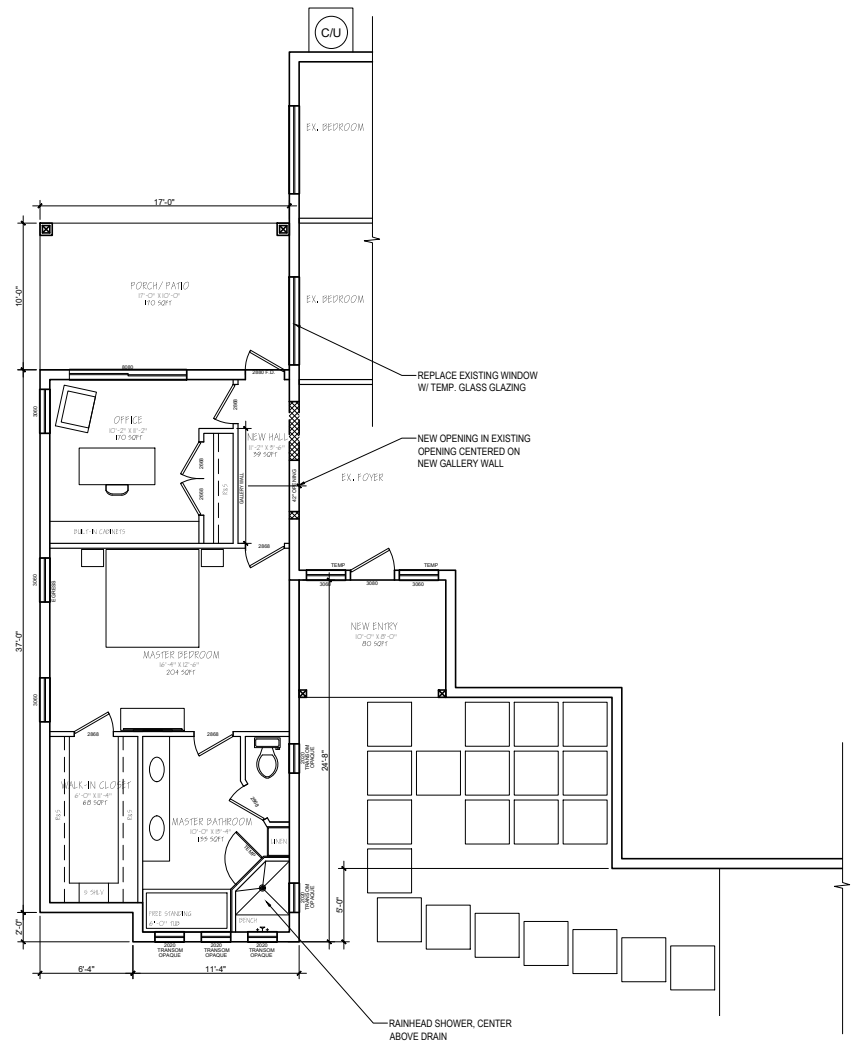
ALBA
 ENGINEERING
 C.A. 9000
 CIVIL, SURVEY, P.E.
 P.O. BOX 60772
 ORLANDO, FL 32816
 PHONE 407-401-8888

Project Title:
LOUGHRAN RESIDENCE
 2244 BROOKSHIRE AVE, WINTER PARK, FL 32792

Sheet Title:
 FLOOR PLANS & SPACE ANALYSIS

Revisions:

No.	Date	Issued For



SPACE ANALYSIS

NEW ADDITION - CONDITIONED -	- 665 S.Q.F.T.
NEW ADDITION - PORCH -	- 170 S.Q.F.T.
TOTAL ADDITION -	- 835 S.Q.F.T.
RENOVATION - FRONT ENTRY -	- 80 S.Q.F.T.

FLOOR PLAN - PROPOSED

SCALE: 1/4" = 1'-0"
 CONTRACTOR VERIFY ALL DIMENSIONS AT JOB SITE.



DATE: JANUARY 18, 2021

CHECKED BY:	KLC
DRAWN BY:	KSS
SCALE:	AS NOTED
SHEET:	A-2



KCC Designs, Inc.
 Kelly Carr
 321.946.1987
 kccdesigns@gmail.com

Seal/Signature

Consultants

alba
ENGINEERING
 C.A. 9000
 OWEN, BOYD, P.E.
 P.O. BOX 60776
 ORLANDO, FL 32816
 PHONE 407-401-8888

Project Title:

LOUGHRAN RESIDENCE

2244 BROOKSHIRE AVE, WINTER PARK, FL 32792

Sheet Title:

EXISTING EXTERIOR ELEVATIONS

Revisions:

No.	Date	Issued For

DATE

JANUARY 18, 2021

CHECKED BY:

KLC

DRAWN BY:

KSS

SCALE:

AS NOTED

SHEET

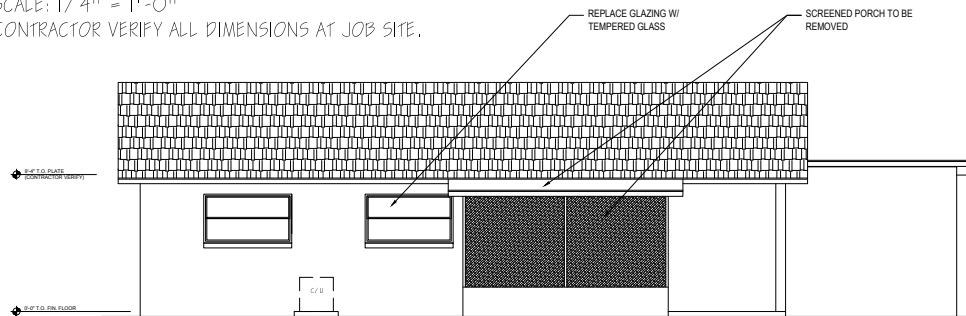
A-3



EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"

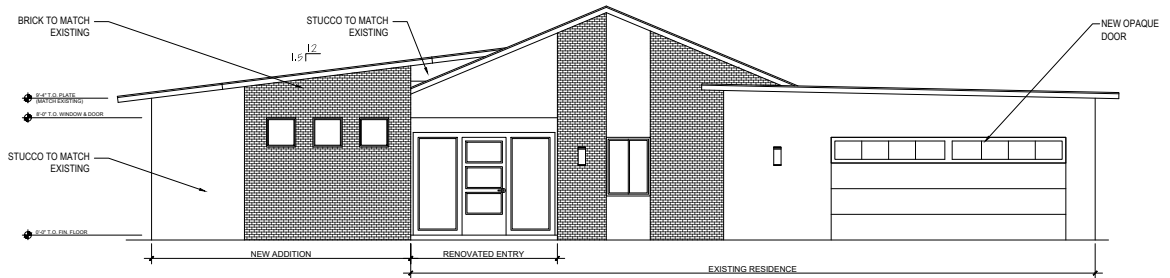
CONTRACTOR VERIFY ALL DIMENSIONS AT JOB SITE.



EXISTING SIDE ELEVATION

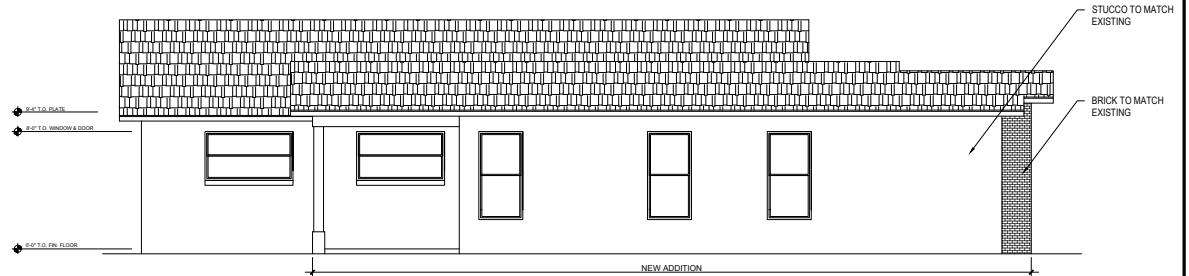
SCALE: 1/4" = 1'-0"

CONTRACTOR VERIFY ALL DIMENSIONS AT JOB SITE.



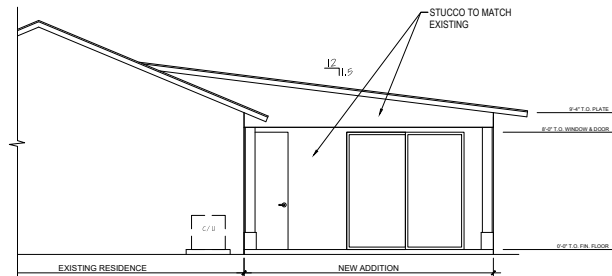
PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"
 CONTRACTOR VERIFY ALL DIMENSIONS AT JOB SITE.



PROPOSED SIDE ELEVATION

SCALE: 1/4" = 1'-0"
 CONTRACTOR VERIFY ALL DIMENSIONS AT JOB SITE.



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"
 CONTRACTOR VERIFY ALL DIMENSIONS AT JOB SITE.

Seal/Signature

Consultants



Project Title: **LOUGHRAN RESIDENCE**
 2244 BROOKSHIRE AVE, WINTER PARK, FL 32792
 Sheet Title: PROPOSED EXTERIOR ELEVATIONS

Revisions:

No.	Date	Issued For

DATE
JANUARY 18, 2021
CHECKED BY: KLC
DRAWN BY: KSS
SCALE: AS NOTED
SHEET: A-4



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address:

2244 Brookshire Av

Lot width²:

83

Submitted by:

Kelly L Carr

Lot area³:

9618

	Maximum % Allowed ⁴	Existing Area ¹⁰	Additional Proposed Area ¹⁰	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE <small>IMPERVIOUS LOT COVERAGE</small>	Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.				
	2 story - 50%				
	1 story - 60%	2950	3780	3576	5770

FLOOR AREA RATIO (F.A.R.)^{5,6} <small>FLOOR AREA RATIO (F.A.R.)</small> <small>FLOOR AREA RATIO (F.A.R.)</small>	For one and two story bldgs (include 1st & 2nd floors, garages/carports, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁷ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁸ .				
	Lots < 11,600 sf: Use 38% Base FAR or w/ increased side setbacks: 43% Max FAR	1976	663	2639	3654
	Lots 11,600 sf to 13,600 sf Use 4,500 sf Base area & 5,200 sf Maximum area				
	Lots > 13,600 sf Use 33% Base FAR or w/ increased side setbacks: 38% Max FAR				



SCREEN POOL ENCLOSURE	8%⁹				
------------------------------	-----------------------	--	--	--	--

FRONT YARD LANDSCAPE COVERAGE	Count all landscaped green areas EXCLUDE - hard surfaces and all driveway surfaces (pervious & impervious).				
FRONT LOT AREA	50%	760	280	1040	1498

NOTES:

1. Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director.
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
6. See page 3 on how to achieve maximum F.A.R.
7. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
8. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area.
9. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
- 10. These columns only apply to existing homes.**
11. Vertical walled in areas created above the 1st floor must be including in the gross floor area

SETBACKS (complete boxes A and B first)

	Minimum Allowable Dimensions			Existing		Proposed	
FRONT	Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.			30'		25'	
SIDES^{1,2} <small>(see other side setback options on pg 4) SIDES</small>	1st Floor	See pages 3&4 <small>SEE PAGES 3&4</small>		Left <small>13.68</small>	Right <small>7.69</small>	Left <small>9.9</small>	Right <small>7.69</small>
	2nd Floor						
REAR^{1,3,4} <small>REAR REAR</small>	1st Floor		25 ft.	33'		33'	
	2nd Floor		35 ft ⁵				
	Lakefront		see note 6				
CORNER LOT <small>CORNER LOT CORNER LOT CORNER LOT</small>	1st Floor <small>1ST FLOOR</small>	Lot width ≤ 65 ft.	15 ft.				
		Lot width > 65 ft ⁷	20 ft.				
	2nd Floor <small>2ND FLOOR</small>	Lot width ≤ 65 ft.	15 ft.				
		Lot width > 65 ft ⁷	22.5 ft.				
BUILDING HEIGHT <small>8,9,10,11,12</small>	30 ft. - 35 ft. plus 2 ft. or 40 ft. (see notes 11 & 12)			16.33		16.33	

Notes:

1. Any building wall that exceeds 12 ft. in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
2. Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft. and interior side setback is 5 ft. minimum (no gable end allowed) for garages up to 600 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
3. Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. For lots that are 75ft deep or less a first floor setback of 10ft and a second floor setback of 25ft is allowed. For lots which are 105ft deep or less a first floor setback of 15ft and a second floor setback of 30ft is allowed.
4. Accessory buildings: garage/carport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. . Other accessory buildings used for habitation shall meet setbacks of the main residence.
5. The rear setback may be reduced to 25 ft. for two-story components when those consist of a second story loft or mezzanine that is within the normal scale and 18-ft max height of a typical one-story structure.
6. Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft. or 50 ft., whichever is greater, measured from ordinary high water line.
7. Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft. with 1st and 2nd floor setbacks of 25 ft. may reduce the rear setback by 5 ft. on each floor.
8. Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
9. No building or portion thereof shall exceed 30 ft. in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft. additional building height.
10. Accessory building that exceeds 18 ft. in height shall meet the same setbacks as the principal building on the property.
11. Properties or lots with at least 80 ft. of width at the building line are permitted to have a building height of 35 ft. if the side setbacks are increased to 20 ft. at 30 ft. above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft. of additional building height.
12. Properties or lots exceeding 50,000 sq.ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft. if side setbacks are increased to 35 ft. to the portion of the roof over 30 ft. in height.





**Support of Variance Request
by Justin and Kelly Loughran
2244 Brookshire Ave., Winter Park, FL 32792**

I, Jeff + Hannah Stingle, reside at 2243 Brookshire Ave
Winter Park, FL 32792

have reviewed the renderings prepared by Kelly Carr, depicting the addition to Justin and Kelly Loughran's home. I have no objection to this addition and support the waiver of any variance requested. I believe it will enhance the property and the neighborhood.

Dated: 2-11-2021



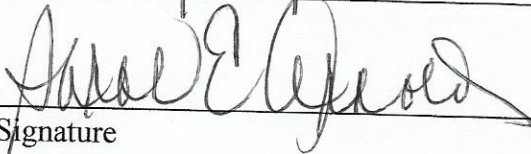
Signature

**Support of Variance Request
by Justin and Kelly Loughran
2244 Brookshire Ave., Winter Park, FL 32792**

I, SARAH E ARNOW, reside at 2234 BROOKSHIRE AVE
(NEXT DOOR NEIGHBOR WEST SIDE)

have reviewed the renderings prepared by Kelly Carr, depicting the addition to Justin and Kelly Loughran's home. I have no objection to this addition and support the waiver of any variance requested. I believe it will enhance the property and the neighborhood.

Dated: 2/10/21


Signature

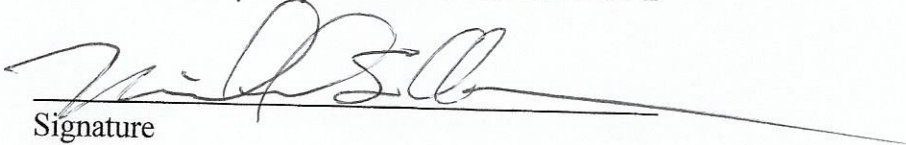
**Support of Variance Request
by Justin and Kelly Loughran
2244 Brookshire Ave., Winter Park, FL 32792**

I, Michael S. Clark, reside at 433 Berwick Dr.

WINTER PARK FL 32792

have reviewed the renderings prepared by Kelly Carr, depicting the addition to Justin and Kelly Loughran's home. I have no objection to this addition and support the waiver of any variance requested. I believe it will enhance the property and the neighborhood.

Dated: 02/11/2021


Signature

**Support of Variance Request
by Justin and Kelly Loughran
2244 Brookshire Ave., Winter Park, FL 32792**

I, TOM & PAMELA GRIFFIN, reside at 2233 BROOKSHIRE AVE.

have reviewed the renderings prepared by Kelly Carr, depicting the addition to Justin and Kelly Loughran's home. I have no objection to this addition and support the waiver of any variance requested. I believe it will enhance the property and the neighborhood.

Dated: 2/11/2021 2/11/2021

Tom Griffin Paul W. Johnson
Signature

**Support of Variance Request
by Justin and Kelly Loughran
2244 Brookshire Ave., Winter Park, FL 32792**

I, Tim Elwood, reside at 2260 BROOKSHIRE AVE
WINTER PARK, FL 32792

have reviewed the renderings prepared by Kelly Carr, depicting the addition to Justin and Kelly Loughran's home. I have no objection to this addition and support the waiver of any variance requested. I believe it will enhance the property and the neighborhood.

Dated: 2/11/21


Tim Elwood
Signature

**Support of Variance Request
by Justin and Kelly Loughran
2244 Brookshire Ave., Winter Park, FL 32792**

I, Robert Mohr, reside at 2334 Brookshire Ave,
Winter Park, FL 32792

have reviewed the renderings prepared by Kelly Carr, depicting the addition to Justin and Kelly Loughran's home. I have no objection to this addition and support the waiver of any variance requested. I believe it will enhance the property and the neighborhood.

Dated: 2/11/21


Signature

**Support of Variance Request
by Justin and Kelly Loughran
2244 Brookshire Ave., Winter Park, FL 32792**

I, CORINNE MURPHY, reside at 2314 Brookshire Ave
WINTER PARK, FL 32792

have reviewed the renderings prepared by Kelly Carr, depicting the addition to Justin and Kelly Loughran's home. I have no objection to this addition and support the waiver of any variance requested. I believe it will enhance the property and the neighborhood.

Dated: 02.11.21

Corinne Murphy
Signature

**Support of Variance Request
by Justin and Kelly Loughran
2244 Brookshire Ave., Winter Park, FL 32792**

I, Angela Hinton, ^{ANGELA HINTON} reside at 2324 BROOKSHIRE AVE.
WINTER PARK, FL 32792

have reviewed the renderings prepared by Kelly Carr, depicting the addition to Justin and Kelly Loughran's home. I have no objection to this addition and support the waiver of any variance requested. I believe it will enhance the property and the neighborhood.

Dated: 2/11/21

Angela Hinton
Signature



Board of Adjustments regular meeting

February 16, 2021 at 5:00p.m.

Hybrid Meeting

Agenda Items

New business

7. Request of Jennifer Sorrentino and Hannibal Square Community Land Trust for variances to convert the garage into a guesthouse with a side setback of 5 feet and a rear setback of 10 feet, in lieu of the required setbacks of 7 feet and 25 feet respectively and to allow removal of 2 parking spaces within existing garage leaving less than 22 feet of back up distance for access within the remaining parking area.

Located at: 651 Israel Simpson Ct.

Zoned: R-2



401 South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

**Building &
Permitting
Services**

TO: BOARD OF ADJUSTMENTS MEMBERS
FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS
DATE: February 16, 2021
SUBJECT: VARIANCE REQUEST by Jennifer Sorrentino, 651 Israel Simpson Ct.

The applicant is requesting variances to convert the garage into a guesthouse with a side setback of 5 feet and a rear setback of 10 feet, whereas the required setbacks are 7 feet and 25 feet respectively, and to allow removal of 2 parking spaces within existing garage leaving less than 22 feet of back up distance for access within the remaining parking area.

This property is part of a development known as Canton Park which has special zoning standards as shown below:

Winter Park Zoning Code Section 58-71

(gg)Canton Park site development standards. The property described as and known as Canton Park Subdivision shall have the following development standards for lots in the R-2 and R-1A zoning district:

Front setback to main dwelling: 23 feet.

Porch setback: 15 feet from front lot line.

Side setbacks: Eight feet on one side and 12 feet on opposite side.

Rear setback: 25 feet to main dwelling. Lots less than 90 feet deep may utilize a rear setback of ten feet.

Garages in rear: Ten feet to rear lot line and five feet to side lot line.

Chimneys and bay windows may encroach two feet into the setback.

Side setback to a porte cochere is two feet.

Rear screened porches may be connected to the garage.

Air-conditioning compressors shall observe a five-foot side setback.

Other zoning provisions shall apply where applicable or not covered under this subsection.

Board of Adjustments
February 16, 2021
651 Israel Simpson Ct.

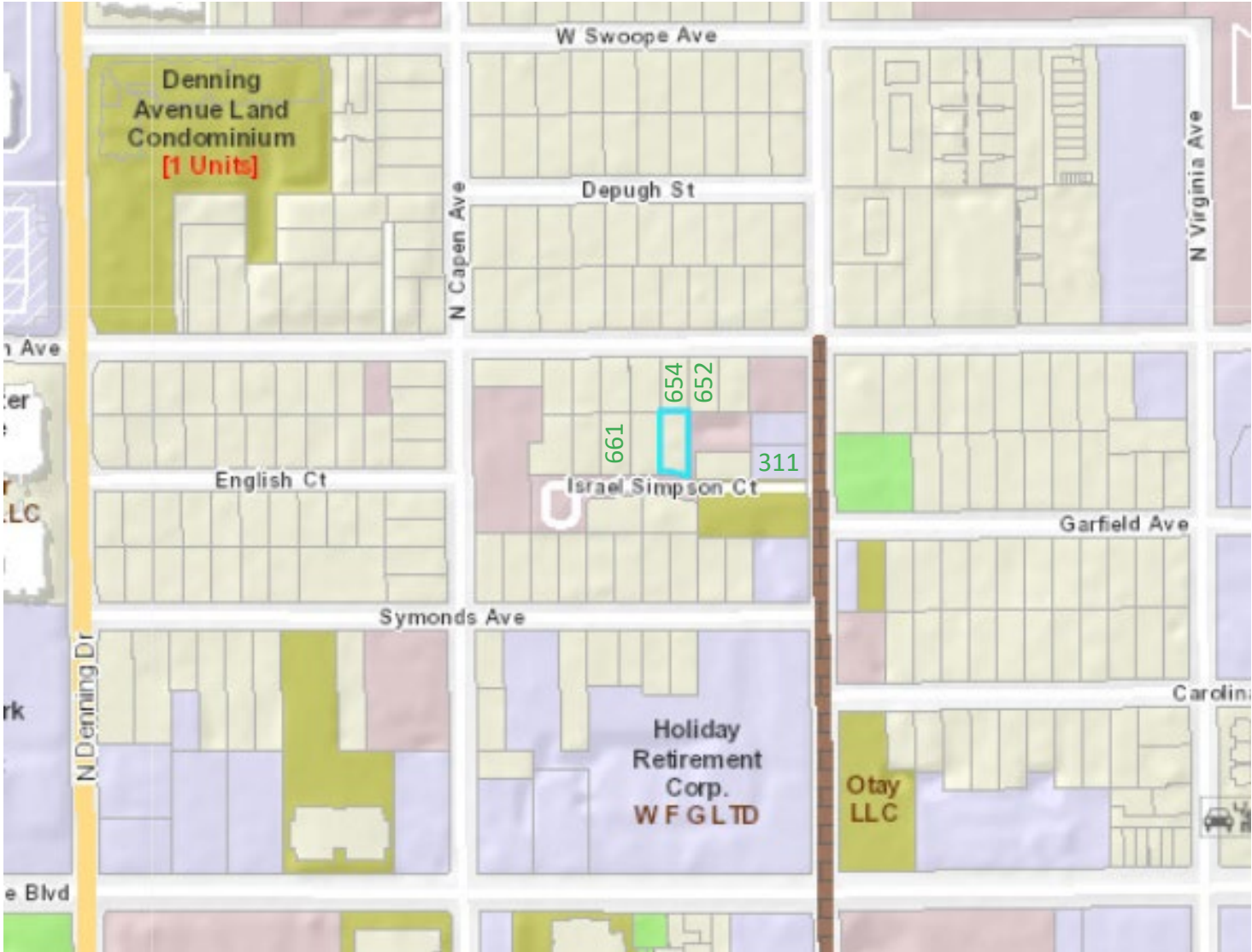
These homes were developed by the Hannibal Square Community Land Trust approximately 15 years ago with these unique setback restrictions due to the relatively small size of the lots (50' by 110') and with distinctive cottage style architecture designs. Six of these properties have garages at the rear of the lot and are accessed through a drive through porte cochere located 2 feet from the side lot line.

The applicant requests permission to convert the garage into to accessory living quarters. Although the applicant states that the current garage is not used to park vehicles, formally converting that space into addition habitable area requires after the fact variances for the change of use of the building.

The applicant had obtained a permit and erected a six foot PVC fence across the driveway to the rear and has placed the entry gate to the rear of the property on the adjacent city owned stormwater retention site in order to allow access to the rear yard of this home. The fencing placed on city is proposed to be removed by the applicant with the gate placed within the applicant's property to allow continued access to the rear parking area.

Four letters from nearby residents expressing non-objection to this request have been received regarding this request.

651 Israel Simpson Ct





PLAN SNAPSHOT REPORT BOA-2021-0028 FOR CITY OF WINTER PARK

Plan Type: Board of Adjustments	Project:	App Date: 01/21/2021
Work Class: Board of Adjustments/Variance Application	District: Winter Park	Exp Date: NOT AVAILABLE
Status: Submitted - Online	Square Feet: 0.00	Completed: NOT COMPLETED
Valuation: \$0.00	Assigned To: Wiggins, George	Approval Expire Date:

Description: This application is requesting the repurposing of a free-standing garage into a living space with bathroom and storage accommodations. No addition is necessary and therefore, all construction will take place on the existing structure. However, I am seeking a 3 ft. left side and 15 ft. rear encroachment for the proposed accessory dwelling unit. In addition, although meeting the East side setback requirement for the allotment of cars at 25 ft. (the current minimum standard is 22 ft.), I requested authorization from the City of Winter Park's Stormwater Division to use approximately 13 ft. of city property adjoining the interior property line for car easement, exceeding the minimum of 22 ft. needed for the setback requirement.

Parcel: 302206372400131	Main	Address: 651 Israel Simpson Ct Winter Park, FL 32789-3769	Main	Zone:
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Applicant Jennifer Sorrentino 651 Israel Simpson CT Winter Park, FL 32789 Business: (407) 782-3548 Mobile: (407) 782-3548	Owner Jennifer Sorrentino 651 Israel Simpson CT Winter Park, FL 32789 Business: (407) 782-3548 Mobile: (407) 782-3548
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Plan Custom Fields

Zoning	Section	Subsection
Is the property on waterfront? No	Is this property on historic registry or district? No	Describe variance Allow a 3 ft. left side and 15 ft. rear side encroachment on the setback requirements for an accessory dwelling unit. The current standard is 8 ft. side and 25 ft. rear setbacks. In addition, although meeting the minimum 22 ft. side setback for the allotment of cars on the East side of the accessory dwelling unit, I have requested permission from the city to authorize the use of city land near a Canton Park retention pond solely for car easement, adding approximately 13 ft. to the 25 ft. I currently have on this side of the structure.
How long have you owned the property? 14 Years, 8 Months	How long have you occupied the property? 14 Years, 8 Months	Special Condition No addition is necessary for the garage conversion and all construction will occur on the existing structure. This garage was built along with the main house in 2006 and no changes have been made since then. If needed, the East side interior property line adjoins a Canton Park retention pond, with 13 ft. of city property that would be used for the turn around space of cars on the East side of the proposed accessory dwelling unit, pending authorization from the

PLAN SNAPSHOT REPORT (BOA-2021-0028)

Stormwater Division of the City of Winter Park.

Rights/Priv

The purpose of this garage conversion would be to provide a living space for my mother. She suffers from several physical ailments that require special assistance and in-home modifications to help with everyday living. The garage's current use is for storing minimal items and never was used to park/store cars.

Hardship

This request is to create a functional living quarters for my mother, who no longer can live on her own. The main house does not have certain alterations necessary for her daily living, such as a handicap accessible shower and an entrance without steps. The garage door will also be replaced with hardwood lap siding and two windows for a suitable living environment.

Limited Variance I am willing to accept a limited variance for solutions/revisions to the initial variance application.

Attachment File Name	Added On	Added By	Attachment Group	Notes
A003-A2.0-FloorPlan-Elevations.pdf	01/21/2021 9:56	Sorrentino, Jennifer	Available Online	Uploaded via CSS
Hannibal Square Community Land Trust_Signed_Authorization_Letter_Final1.pdf	01/21/2021 9:56	Sorrentino, Jennifer	Available Online	Uploaded via CSS
House & Garage Photos Variance Application 2021.pdf	01/21/2021 9:56	Sorrentino, Jennifer	Available Online	Uploaded via CSS
Neighborhood & Retention Pond Survey.pdf	01/21/2021 9:56	Sorrentino, Jennifer	Available Online	Uploaded via CSS
Non-Objection Letters_2021_Variance Application.pdf	01/21/2021 9:56	Sorrentino, Jennifer	Available Online	Uploaded via CSS
PLAT OF SURVEY 2006.pdf	01/21/2021 9:56	Sorrentino, Jennifer	Available Online	Uploaded via CSS
Setback Form Final.pdf	01/21/2021 9:56	Sorrentino, Jennifer	Available Online	Uploaded via CSS
Variance Application Cover Letter 2021.pdf	01/21/2021 9:56	Sorrentino, Jennifer	Available Online	Uploaded via CSS
Signature_Jennifer_Sorrentino_1/21/2021.jpg	01/21/2021 9:56	Sorrentino, Jennifer	Available Online	Uploaded via CSS

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00006806	Residential Variance Application Fee	\$200.00	\$200.00
Total for Invoice INV-00006806		\$200.00	\$200.00
Grand Total for Plan		\$200.00	\$200.00

Submittal Name	Status	Received Date	Due Date	Complete Date	Resubmit	Completed
Board of Adjustments Review v.1	In Review	01/21/2021	01/25/2021		No	No

Item Review Name	Department	Assigned User	Status	Assigned Date	Due Date	Completed Date
Building Official Review	Building & Permitting Services	Wiggins, George	In Review	01/21/2021	01/25/2021	

Workflow Step / Action Name	Action Type	Start Date	End Date
Application Completeness Check v.1			01/21/2021 10:06
Confirm Application Complete v.1	Generic Action		01/21/2021 10:06
Review v.1			
Board of Adjustments Review v.1	Receive Submittal	01/21/2021 0:00	
Issue Invoice v.1	Generic Action		
Final Decision v.1			
Board of Adjustments Decision v.1	Generic Action		

Jennifer A. Sorrentino

651 Israel Simpson Court
Winter Park, FL 32789

407-782-3548
jeninorlando@aol.com

January 22, 2021

Board of Adjustments
City of Winter Park Building Department

Dear Board Members,

This request is for three variances involving the repurposing of a free-standing garage into a living space, which will include bathroom and storage accommodations. No addition is needed for the conversion; therefore, construction will be done on the existing structure and will not require any changes in coverage. However, my garage does not meet the setback requirements for a habitable accessory dwelling unit in a single family residence and I am seeking a 3 ft left (with an 8 ft requirement) and 15 ft rear (with a 25 ft. requirement) encroachment in the setback standard. In addition, there is a minimum side setback requirement of 22 ft. for parking cars as well as car easement and this structure has a setback of 25 ft. to the end of the property.

The purpose of the garage conversion is to create an independent living area for my 73-year-old mother, who suffers from fibromyalgia and accordingly, has physical limitations that restrict her ability to live alone. She recently sold her house and moved into my home but lacks certain accommodations due to her physical ailments. The modifications she can benefit off of that my main house does not currently have are a handicap accessible shower and an entrance that does not include steps. The main house, built in 2006, currently requires two to three steps from ground level to both the front and back entrances, which she has experienced difficulties with, even an incident involving a fall.

The detached garage has never been used to park a car and currently holds minimal storage items. The garage will be poured with concrete to meet the ground level surrounding the outside of the structure on the front side (side facing the main house). The garage door will be replaced with hardwood lap siding and two small windows, per my mother's request. The entrance door to the garage will also be replaced with a new door containing a small, oval window. Inside, the structure would be furnished with a roll-in shower and bathroom space that is walker accessible. In addition, cabinetry, closet, and counter tops will be provided for storage.

My driveway can hold up to three cars in the front before the gated fence and can hold up to two cars after the gated fence, as shown by photos provided in this presentation.

This application includes:

- Signed Authorization Letter from Hannibal Square Community Land Trust, Inc.
- Plat of Survey, May 2006
- Setback/Coverage Form
- Floor Plans for Proposed Accessory Dwelling Unit
- Photos of the Current Property
- Current Neighborhood and Retention Pond Survey
- Three signed letters of Non-Objection from bordering neighbors

Thank you for your time and my family appreciates the opportunity you are offering by allowing us to provide an independent living space for my mother.

Sincerely,



Letter of Authorization For Home Improvement Project

651 Israel Simpson Ct., Winter Park, FL 32789

Hannibal Square Community Land Trust, Inc.

The Hannibal Square Community Land Trust Inc. is notified of the remodeling project, which will involve a garage conversion into a living space, taking place at 651 Israel Simpson Court. This project includes plumbing, flooring, roofing (soffit only) and electrical installations. The purpose of this construction effort is to provide an independent space for the homeowner's mother, although cognitively alert, demonstrates some physical limitations that will require special assistance through out the remainder of her life.

I, Jennifer Sorrentino, homeowner at 651 Israel Simpson Ct., in accordance with the Hannibal Square Community Land Trust Inc., am authorized to represent the Land Trust's interests in regards to the home improvement project stated above.

This letter of authorization will be presented as a special case (by way of a Variance Application) to the Board of Adjustments for approval.

All construction will occur in accordance with the guidelines set forth by the City of Winter Park.



Homeowner's Signature

651 Isreal Simpson Court

Winter Park, FL 32789
Address

Jennifer Sorrentino
Print Name

407-782-3548 jeninorlando@aol.com
Contact Number & Email



Signature

P.O. Box 364

Winter Park FL 32790
Address

Camille Reynolds Lewis
Print Name (as Executive Director)

(407) 643-9111
Camille@HannibalSquareCLT.org
Contact Number & Email

PLAT OF SURVEY DESCRIPTION

PARCEL 7

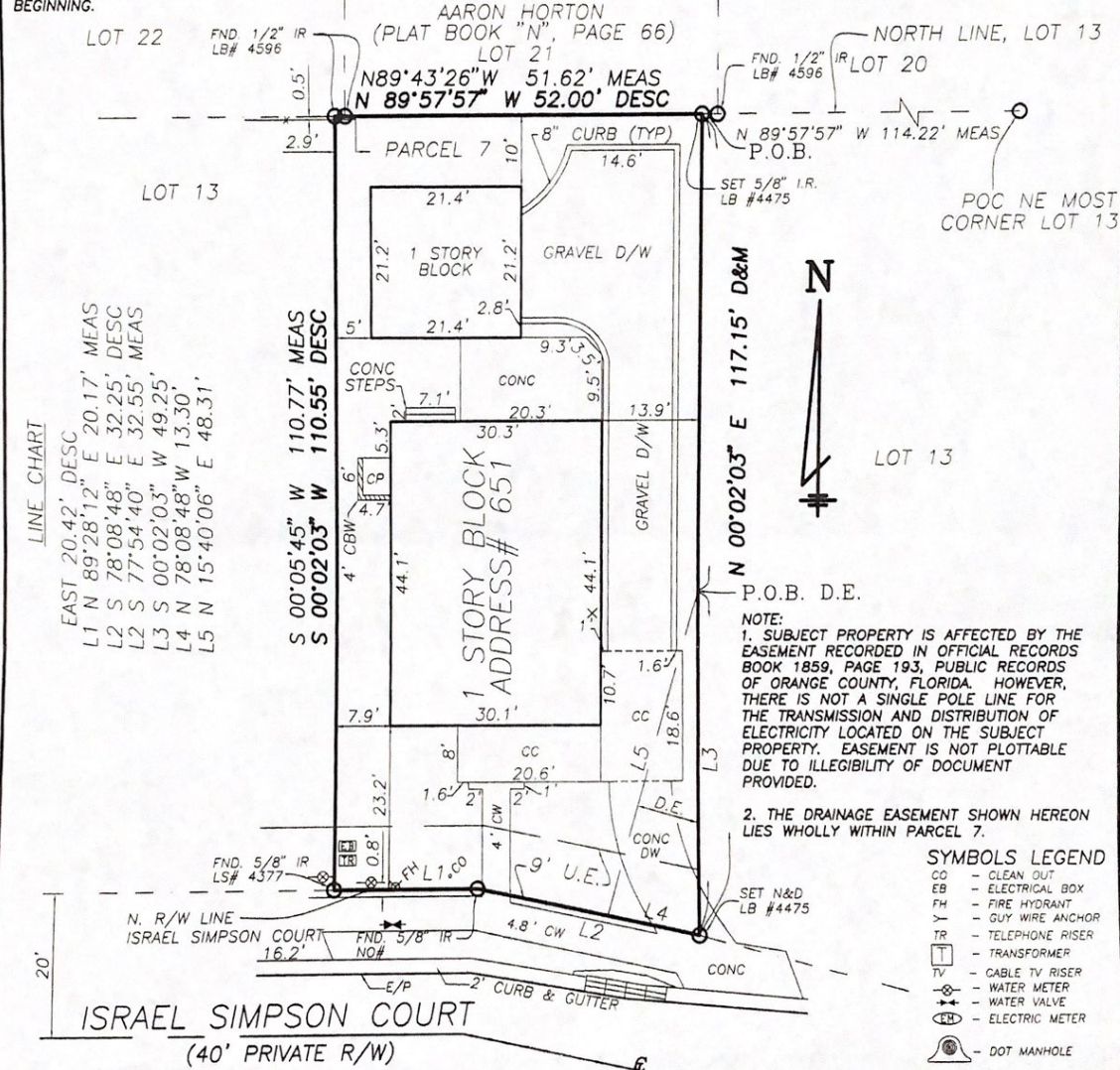
THAT PART OF LOT 13, AARON HORTON, AS RECORDED IN PLAT BOOK "N", PAGE 66, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEASTERLY MOST CORNER OF SAID LOT 13; THENCE RUN N 89°57'57" W, ALONG THE NORTH LINE OF SAID LOT 13, A DISTANCE OF 114.22 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE N 89°57'57" W, ALONG SAID NORTH LINE 52.00 FEET; THENCE DEPARTING SAID NORTH LINE RUN S 00°02'03" W, 110.55 FEET TO THE NORTH RIGHT-OF-WAY LINE OF ISRAEL SIMPSON COURT; THENCE RUN ALONG SAID NORTH RIGHT-OF-WAY LINE THE FOLLOWING COURSES AND DISTANCES: EAST 20.42 FEET; THENCE S 78°08'48" E, 32.26 FEET; THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE RUN N 00°02'03" E, 117.15 FEET TO THE POINT OF BEGINNING.

SUBJECT TO A 9.00 FOOT UTILITY EASEMENT ALONG THE SOUTH 9.00 FEET OF THE ABOVE DESCRIBED PROPERTY.

SUBJECT TO: A DRAINAGE EASEMENT IN THE SOUTHEASTERLY CORNER OF THE ABOVE DESCRIBED PROPERTY DESCRIBED AS:

COMMENCE AT THE NORTHEASTERLY MOST CORNER OF LOT 13, AARON HORTON, AS RECORDED IN PLAT BOOK "N", PAGE 66, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN N 89°57'57" W, ALONG THE NORTH LINE OF SAID LOT 13, A DISTANCE OF 114.22 FEET; THENCE DEPARTING SAID NORTH LINE RUN S 00°02'03" W, 67.90 FEET FOR A POINT OF BEGINNING, THENCE CONTINUE S 00°02'03" W, 49.25 FEET TO THE NORTH RIGHT-OF-WAY LINE OF ISRAEL SIMPSON COURT; THENCE N 78°08'48" W ALONG SAID NORTH RIGHT-OF-WAY LINE 13.30 FEET; THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE RUN N 15°40'06" E, 48.31 FEET TO THE POINT OF BEGINNING.



LINE CHART

- EAST 20.42' DESC
- L1 N 89°28'12" E 20.17' MEAS
- L2 S 78°08'48" E 32.25' DESC
- L2 S 77°54'40" E 32.55' MEAS
- L3 S 00°02'03" W 49.25'
- L4 N 78°08'48" W 13.30'
- L5 N 15°40'06" E 48.31'

NOTE:
1. SUBJECT PROPERTY IS AFFECTED BY THE EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 193, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. HOWEVER, THERE IS NOT A SINGLE POLE LINE FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY LOCATED ON THE SUBJECT PROPERTY. EASEMENT IS NOT PLOTTABLE DUE TO ILLEGIBILITY OF DOCUMENT PROVIDED.
2. THE DRAINAGE EASEMENT SHOWN HEREON LIES WHOLLY WITHIN PARCEL 7.

- SYMBOLS LEGEND**
- CC - CLEAN OUT
 - EB - ELECTRICAL BOX
 - FH - FIRE HYDRANT
 - Y - GUY WIRE ANCHOR
 - TR - TELEPHONE RISER
 - ☐ - TRANSFORMER
 - TV - CABLE TV RISER
 - ⊙ - WATER METER
 - ⊕ - WATER VALVE
 - ⊖ - ELECTRIC METER
 - ⊙ - DOT MANHOLE
 - ☆ - LIGHT POLE

CF#OCN-66PARCEL7 FIELD DATE: 12/16/05 SCALE: 1" = 20' DRAWN BY: MB/SAH	BOUNDARY SURVEY CERTIFIED TO: JENNIFER SORRENTINO; BANKFIRST; CITY OF WINTER PARK, FLORIDA; HANNIBAL SQUARE COMMUNITY LAND TRUST, INC.; WESTCOT LAND TITLE INSURANCE COMPANY; SWANN & HADLEY, P.A.;	REVISIONS CLIENT COMMENTS: 1/5/06 ADDED CERTIFICATIONS: 1/24/06 RESURVEY 5-23-06
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ACCURIGHT SURVEYS
of Orlando Inc., LE 4475
2012 E. Robinsbn St.
Orlando, Florida 32803
PHONE (407) 894-8314, FAX (407) 897-3777

James D. Bray
JAMES D. BRAY PSM 6507

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THIS FLORIDA LICENSED SURVEYOR AND MAPPER.

NOTES:

- BEARING STRUCTURE BASED ON: NORTH RIGHT OF WAY LINE OF ISRAEL SIMPSON COURT.
- THIS BUILDING/LOT IS NOT IN A FLOOD PRONE AREA, ZONE X, BASED ON FLOOD INSURANCE RATE MAP, NO. 120188 0255 E, CITY OF WINTER PARK, FLORIDA.
- THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY CLIENT.
- UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED.
- BUILDING TIES SHOWN ON THIS SURVEY SHOULD NOT BE USED TO RECONSTRUCT PROPERTY LINES.

LEGEND

- C - CENTERLINE
- GBW - CONCRETE BLOCK WALL
- CC - COVERED CONCRETE
- CLF - CHAIN LINK FENCE
- CM - CONCRETE MONUMENT
- CONC - CONCRETE
- COVD - COVERED
- CP - CONCRETE PAD
- CW - CONCRETE WALKWAY
- CA - CENTRAL ANGLE
- D&M - DESCRIBED & MEASURED
- DESC - DESCRIPTION
- DE - DRAINAGE EASEMENT
- POC - POINT OF COMMENCEMENT
- ROC - POINT OF BEGINNING
- DW - DRIVEWAY
- E/P - EDGE OF PAVEMENT
- ESMT - EASEMENT
- FPE - FINISHED FLOOR ELEVATION
- FIRM - FLOOD INSURANCE RATE MAP
- FND - FOUND
- IR - IRON ROD
- L - ARC LENGTH
- LSA - LANDSCAPE AREA
- MEAS - MEASURED
- MS - METAL SHED
- N&D - NAIL & DISK
- OW - OVERHEAD WIRE
- ORB - OFFICIAL RECORDS BOOK
- P&M - PLAT & MEASURED
- PB - PLAT BOOK
- PC - POINT OF CURVATURE
- PG - PAGE
- POB - POINT OF BEGINNING
- POC - POINT OF COMMENCEMENT
- ROC - POINT OF BEGINNING
- R - RADIUS
- R/W - RIGHT OF WAY
- TR - TYPICAL
- UE - UTILITY EASEMENT
- UP - UTILITY POLE
- WF - WOOD FENCE
- WS - WOOD SHED
- # - NUMBER



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address:

Submitted by:

Lot width²:

Lot area³:

	Maximum % Allowed⁴	Existing Area¹⁰	Additional Proposed Area¹⁰	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE <small>IMPERVIOUS LOT COVERAGE</small>	Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.				
	2 story - 50%				
	1 story - 60%				

FLOOR AREA RATIO (F.A.R.)^{5,6} <small>FLOOR AREA RATIO (F.A.R.)</small> <small>FLOOR AREA RATIO (F.A.R.)</small>	For one and two story bldgs (include 1st & 2nd floors, garages/carpools, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁷ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁸ .				
	Lots < 11,600 sf: Use 38% Base FAR or w/ increased side setbacks: 43% Max FAR				
	Lots 11,600 sf to 13,600 sf Use 4,500 sf Base area & 5,200 sf Maximum area				
	Lots > 13,600 sf Use 33% Base FAR or w/ increased side setbacks: 38% Max FAR				



SCREEN POOL ENCLOSURE	8%⁹				
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FRONT YARD LANDSCAPE COVERAGE	Count all landscaped green areas EXCLUDE - hard surfaces and all driveway surfaces (pervious & impervious).				
FRONT LOT AREA	50%				

NOTES:

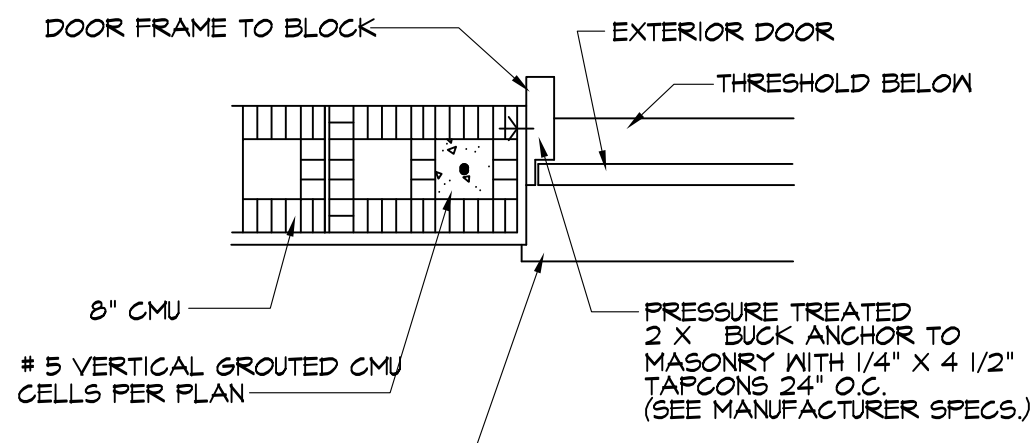
1. Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director.
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
6. See page 3 on how to achieve maximum F.A.R.
7. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
8. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area.
9. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
10. These columns only apply to existing homes.
11. Vertical walled in areas created above the 1st floor must be including in the gross floor area

SETBACKS (complete boxes A and B first)

	Minimum Allowable Dimensions			Existing		Proposed	
FRONT	Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.						
SIDES^{1,2} <small>(see other side setback options on pg 4) SIDES</small>	1st Floor	See pages 3&4 <small>SEE PAGES 3&4</small>		Left	Right	Left	Right
	2nd Floor						
REAR^{1,3,4} <small>REAR REAR</small>	1st Floor	25 ft.					
	2nd Floor	35 ft⁵					
	Lakefront	see note 6					
CORNER LOT <small>CORNER LOT CORNER LOT CORNER LOT</small>	1st Floor <small>1ST FLOOR</small>	Lot width ≤ 65 ft.	15 ft.				
		Lot width > 65 ft ⁷	20 ft.				
	2nd Floor <small>2ND FLOOR</small>	Lot width ≤ 65 ft.	15 ft.				
		Lot width > 65 ft ⁷	22.5 ft.				
BUILDING HEIGHT <small>8,9,10,11,12</small>	30 ft. - 35 ft. plus 2 ft. or 40 ft. (see notes 11 & 12)						

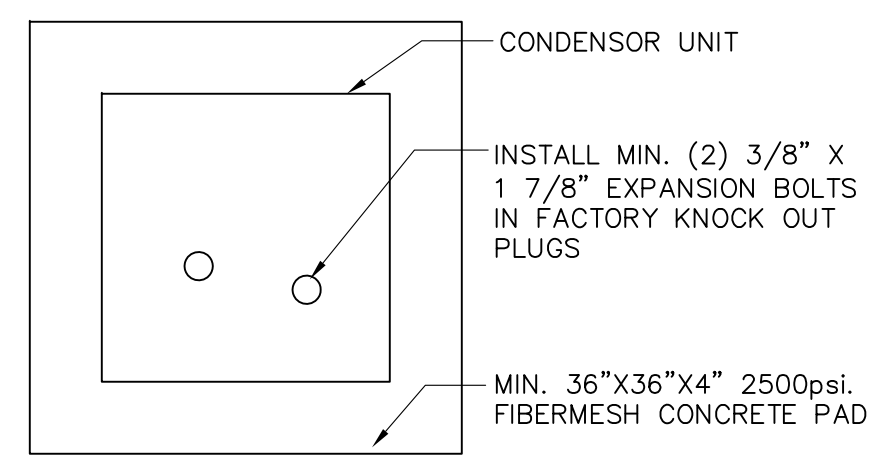
Notes:

1. Any building wall that exceeds 12 ft. in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
2. Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft. and interior side setback is 5 ft. minimum (no gable end allowed) for garages up to 600 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
3. Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. For lots that are 75ft deep or less a first floor setback of 10ft and a second floor setback of 25ft is allowed. For lots which are 105ft deep or less a first floor setback of 15ft and a second floor setback of 30ft is allowed.
4. Accessory buildings: garage/carport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. . Other accessory buildings used for habitation shall meet setbacks of the main residence.
5. The rear setback may be reduced to 25 ft. for two-story components when those consist of a second story loft or mezzanine that is within the normal scale and 18-ft max height of a typical one-story structure.
6. Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft. or 50 ft., whichever is greater, measured from ordinary high water line.
7. Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft. with 1st and 2nd floor setbacks of 25 ft. may reduce the rear setback by 5 ft. on each floor.
8. Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
9. No building or portion thereof shall exceed 30 ft. in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft. additional building height.
10. Accessory building that exceeds 18 ft. in height shall meet the same setbacks as the principal building on the property.
11. Properties or lots with at least 80 ft. of width at the building line are permitted to have a building height of 35 ft. if the side setbacks are increased to 20 ft. at 30 ft. above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft. of additional building height.
12. Properties or lots exceeding 50,000 sq.ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft. if side setbacks are increased to 35 ft. to the portion of the roof over 30 ft. in height.



JAMB AT EXTERIOR DOOR
N.T.S.

NOTE: WHEN BUCKS ARE LESS THAN 1/4" BELOW THICK TAPCONS MUST BE 1/4" x 3 1/2" LONG AND RAN THROUGH WINDOW MULLING AND BUCK STRIPS TO CMU TO SEE MFSS. SPECS.

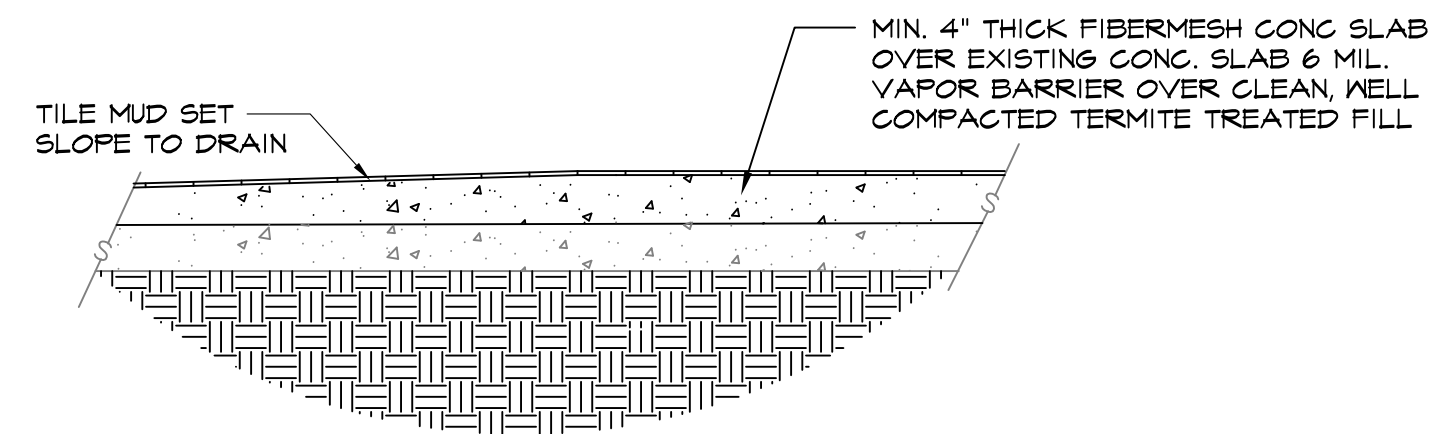


CONDENSOR ANCHORING DETAIL

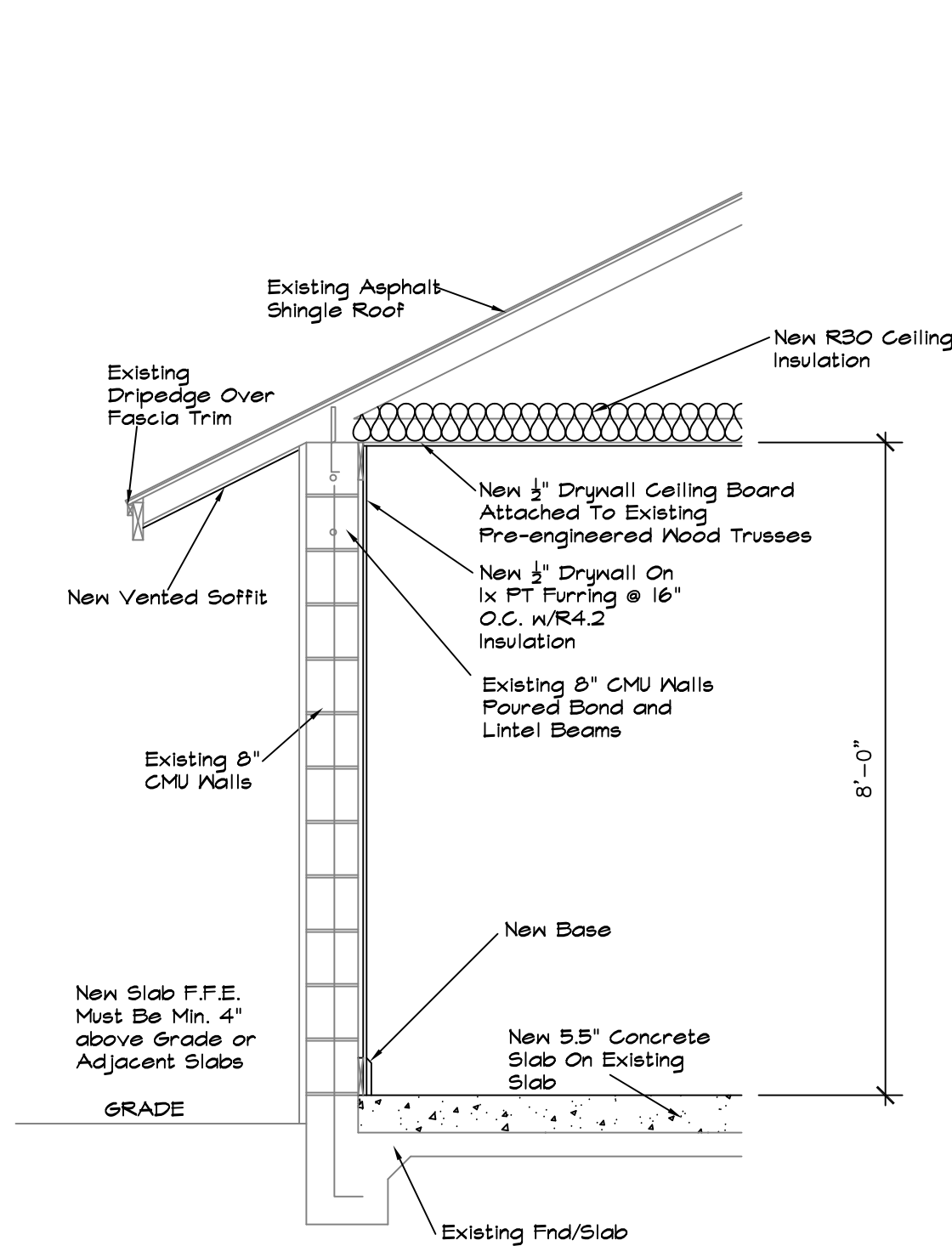
CONCRETE NOTES:

ALL CONCRETE SLABS SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 2500 PSI @ 28 DAYS.

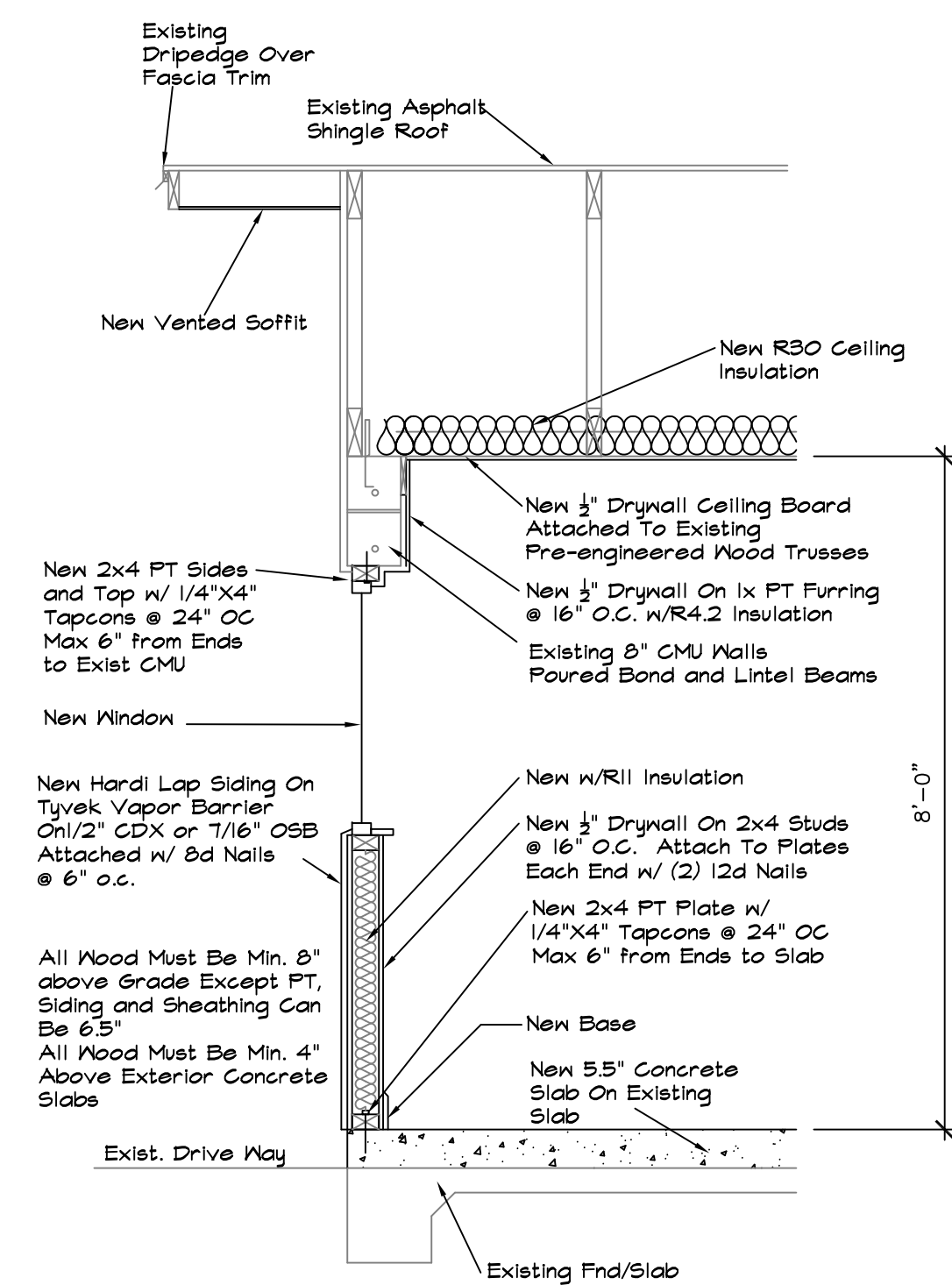
SLABS SHALL BE REINFORCED WITH FIBER MESH OVER EXISTING CONCRETE SLAB ON A 6 mil. VAPOR BARRIER OVER CLEAN, WELL COMPACTED, TERMITES TREATED FILL



SHOWER CONCRETE ROLL IN (NO STEP)

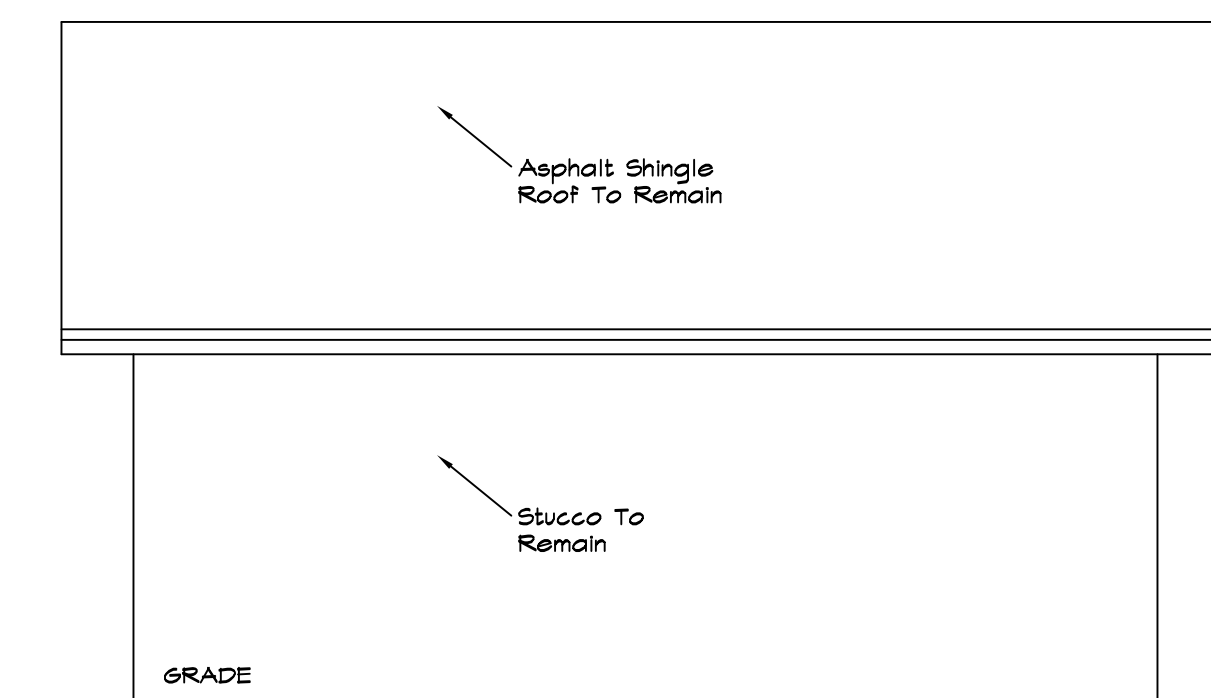


TYPICAL SECTION (Existing CMU Wall)
1/2" = 1'-0"

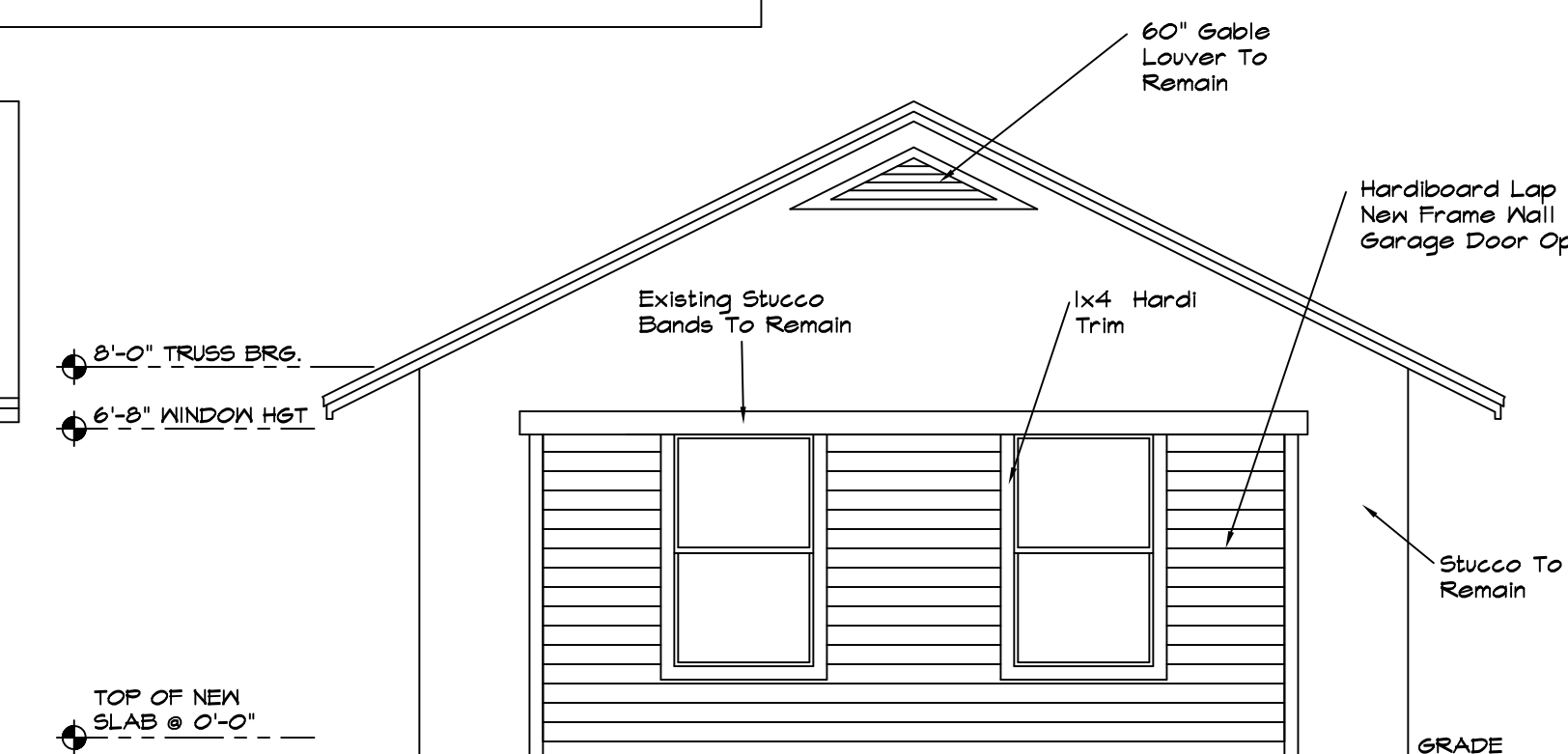


TYPICAL SECTION (INFILL GARAGE DOOR OPENING)
1/2" = 1'-0"

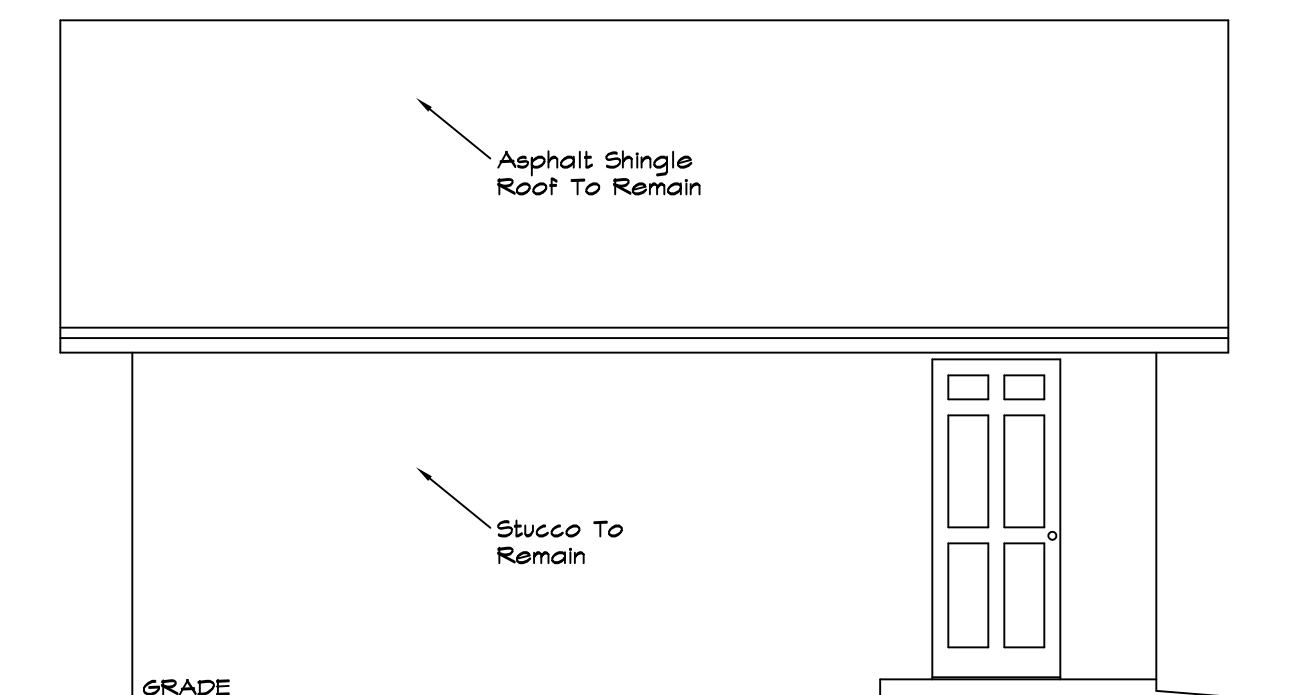
ROOF VENTILATION
 455 S.F. VENTILATED ROOF AREA
 VENTILATION AREA REQUIRED
 455/300 = 1.51 S.F.
VENTILATION AREA'S
 (1) 60" TRIANGLE GABLE VENT 20 S.F. EACH = 20 S.F.
 (1) 16"x24" RECTANGULAR GABLE VENT 5 S.F. EACH = 12 S.F.
 85 S.F. CONTINUOUS FULLY VENTED SOFFIT @ 6.4" P.S.F. = 3,771 S.F.
TOTAL VENTILATION AREA PROVIDED = 4,091 S.F.



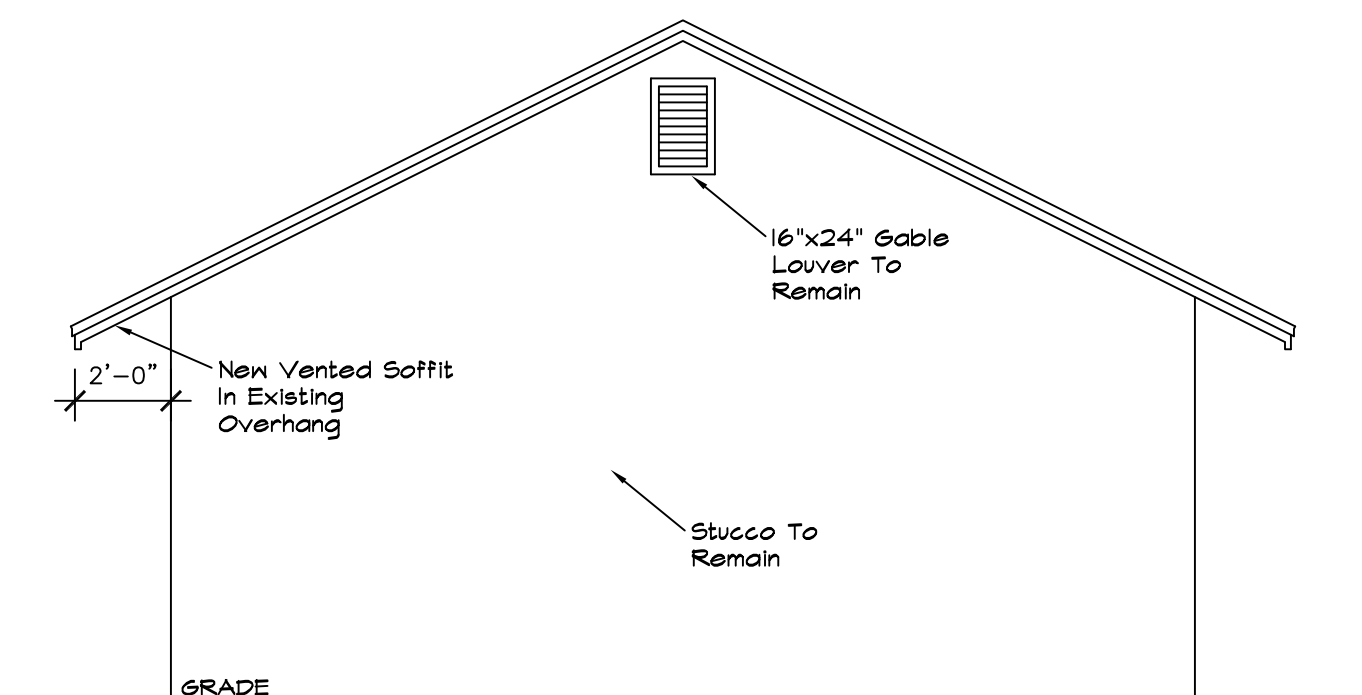
A NORTH ELEVATION
1/4" = 1'-0"



B EAST ELEVATION
1/4" = 1'-0"



C SOUTH ELEVATION
1/4" = 1'-0"

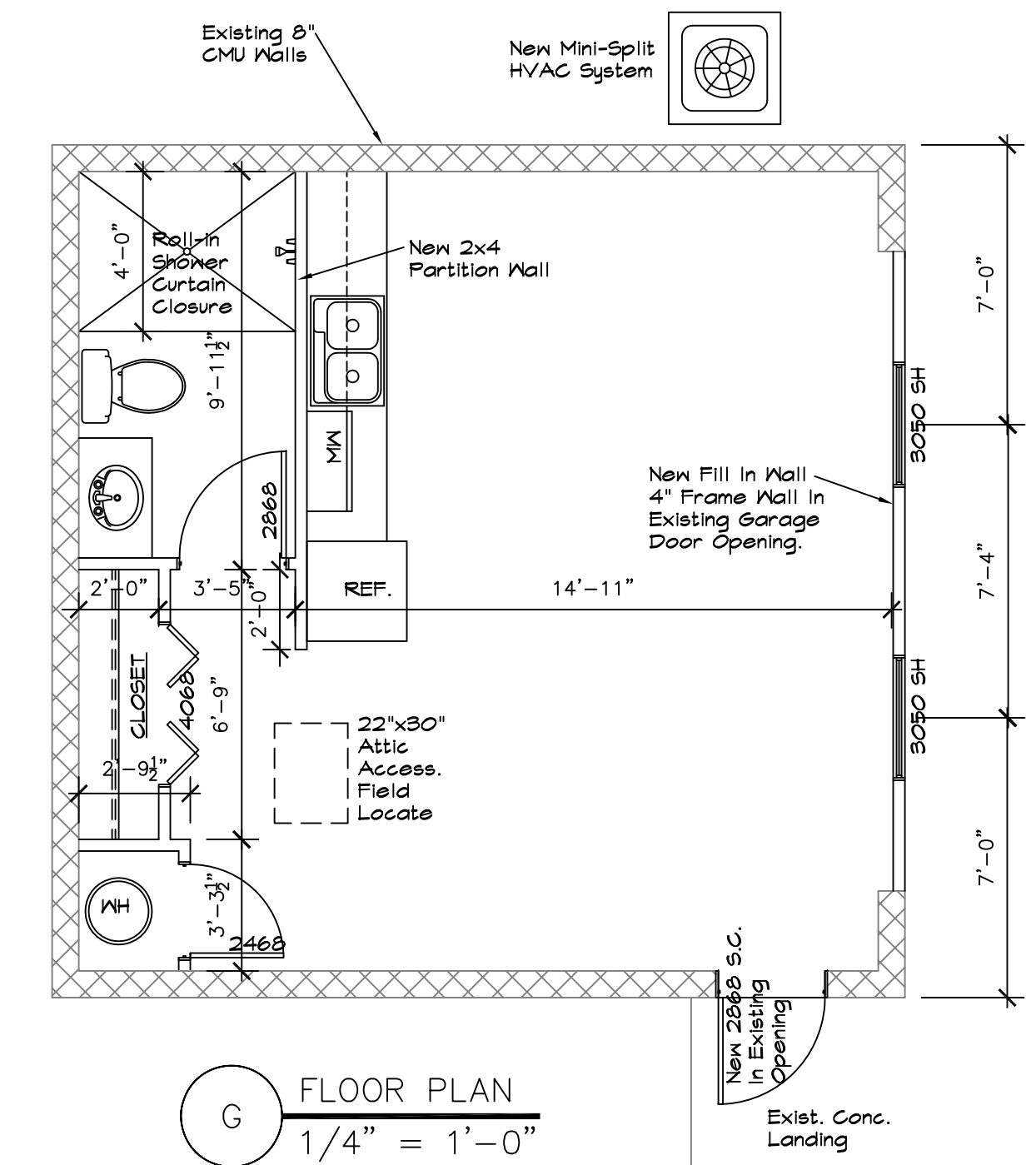


D WEST ELEVATION
1/4" = 1'-0"

FENESTRATION PRESSURE CRITERIA:

WINDOW and SGD DESIGN PRESSURE REQUIREMENTS:
 ALL SIZES & CONFIGURATIONS:
 POSITIVE PRESSURE OF +25.67 p.s.f.
 NEGATIVE PRESSURE OF -33.9 p.s.f.

DOOR DESIGN PRESSURE REQUIREMENTS:
 ENTRY DOORS:
 ALL SIZES & CONFIGURATIONS:
 POSITIVE PRESSURE OF +25.67 p.s.f.
 NEGATIVE PRESSURE OF -33.9 p.s.f.



G FLOOR PLAN
1/4" = 1'-0"

Contractor:
All-in Construction Services
761 Ciara Creek Cove
Longwood, FL 32750

Ken Ehlers
P.E. #18243
structuralplan@yahoo.com

FLOOR PLAN ELEVATIONS

651 Israel Simpson Ct
Winter Park, FL
Existing Garage Buildout

revisions:

date:	drawn by:

designed by:
 drawn by: mje
 checked by:
 date: 10/08/2020

sheet:
A2.0

PLAT OF SURVEY DESCRIPTION

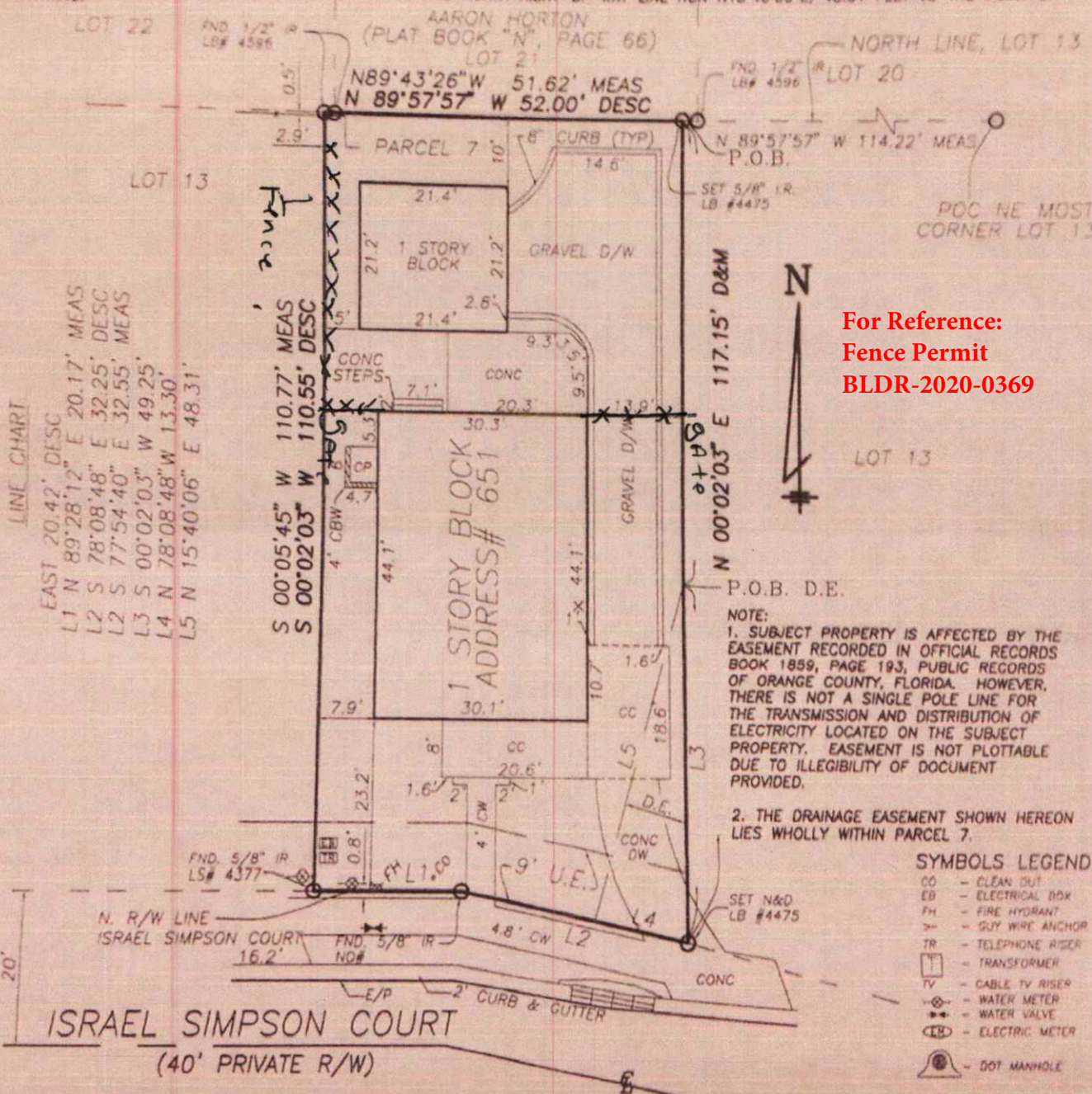
PARCEL 7
THAT PART OF LOT 13, AARON HORTON, AS RECORDED IN PLAT BOOK "N", PAGE 66, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEASTERLY MOST CORNER OF SAID LOT 13; THENCE RUN N 89°57'57" W, ALONG THE NORTH LINE OF SAID LOT 13, A DISTANCE OF 114.22 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE N 89°57'57" W, ALONG SAID NORTH LINE 52.00 FEET; THENCE DEPARTING SAID NORTH LINE RUN S 00°02'03" W, 110.55 FEET TO THE NORTH RIGHT-OF-WAY LINE OF ISRAEL SIMPSON COURT; THENCE RUN ALONG SAID NORTH RIGHT-OF-WAY LINE THE FOLLOWING COURSES AND DISTANCES: EAST 20.42 FEET; THENCE S 78°08'48" E, 32.25 FEET; THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE RUN N 00°02'03" E, 117.15 FEET TO THE POINT OF BEGINNING.

SUBJECT TO A 9.00 FOOT UTILITY EASEMENT ALONG THE SOUTH 9.00 FEET OF THE ABOVE DESCRIBED PROPERTY.

SUBJECT TO: A DRAINAGE EASEMENT IN THE SOUTHEASTERLY CORNER OF THE ABOVE DESCRIBED PROPERTY DESCRIBED AS:

COMMENCE AT THE NORTHEASTERLY MOST CORNER OF LOT 13, AARON HORTON, AS RECORDED IN PLAT BOOK "N", PAGE 66, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN N89°57'57"W, ALONG THE NORTH LINE OF SAID LOT 13, A DISTANCE OF 114.22 FEET; THENCE DEPARTING SAID NORTH LINE RUN S00°02'03"W, 67.90 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE S00°02'03"W, 49.25 FEET TO THE NORTH RIGHT-OF-WAY LINE OF ISRAEL SIMPSON COURT; THENCE N78°08'48"W ALONG SAID NORTH RIGHT-OF-WAY LINE 13.30 FEET; THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE RUN N15°40'06"E, 48.31 FEET TO THE POINT OF BEGINNING.



**For Reference:
Fence Permit
BLDR-2020-0369**

PLAT OF SURVEY DESCRIPTION

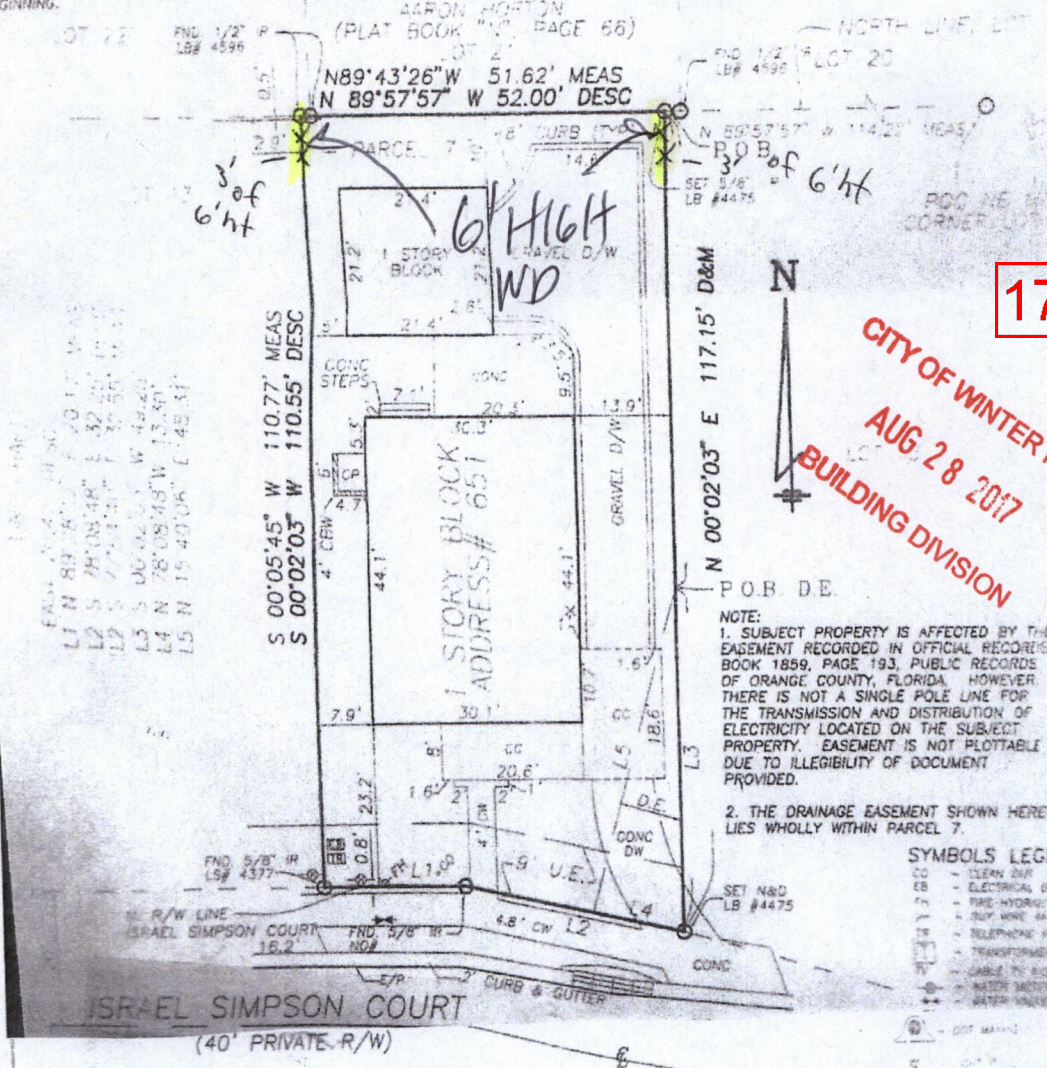
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17-3163

CITY OF WINTER PARK
AUG 28 2017
BUILDING DIVISION

NOTE:
1. SUBJECT PROPERTY IS AFFECTED BY THE EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 1859, PAGE 193, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. HOWEVER THERE IS NOT A SINGLE POLE LINE FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY LOCATED ON THE SUBJECT PROPERTY. EASEMENT IS NOT PLOTTABLE DUE TO ILLEGIBILITY OF DOCUMENT PROVIDED.
2. THE DRAINAGE EASEMENT SHOWN HEREON LIES WHOLLY WITHIN PARCEL 7.

SYMBOLS LEGEND
CO - CLEAR DRW
EB - ELECTRICAL BUI
FH - FIRE HYDRANT
FW - FIVE WIRE WAGON
TS - TELEPHONE WIRE
TR - TRANSFORMER
TV - TOWER TO EASE
WB - WATER METER
WM - WATER WIRE
GP - GOLF MARK

BOUNDARY SURVEY CERTIFIED TO BE A TRUE AND CORRECT COPY OF THE ORIGINAL SURVEY AND THE ORIGINAL PLAT IS FILED WITH THE ORIGINAL SURVEY RECORDS IN THE OFFICE OF THE CLERK OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

DATE: 12/16/20
BY: J.D. BRAY
FOR: J.D. BRAY

NOTES:
1. BEARING STRUCTURE BASED ON NORTH RIGHT-OF-WAY LINE OF ISRAEL SIMPSON COURT.
2. THIS BUILDING IS IN A FLOOD PRONE AREA, ZONE A, BASED ON FLOOD INSURANCE RATE MAP NO. 120199 0285 A OF WINTER PARK, FLORIDA.
3. THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY CLIENT.
4. UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED.
5. BUILDING TIES SHOWN ON THIS SURVEY SHOULD NOT BE USED TO RECONSTRUCT PROPERTY LINES.

LEGEND:
C - CENTERLINE
CBP - CONCRETE BLOCK PAV
CC - COVERED CONCRETE
CL - CHAIN LINK FENCE
CM - CONCRETE MONUMENT
CO - CONCRETE
LO - LOVERED
LW - CONCRETE WALKWAY
C - CENTRAL ANGLE
DE - DESCRIBED & MEASURED
DCE - DRAINAGE EASEMENT
DR - DRIVEWAY
E/P - EDGE OF PAVEMENT
E - EASEMENT
FF - FINISH FLOOR ELEVATION
FL - FLOOD INSURANCE
FUB - FIVE WIRE WAGON
FND - FOUNTAIN
GP - GOLF MARK
IB - IRON PIPE
IP - IRON PIPE
L - LINE

ACCURIGHT SURVEYS
of Orlando Inc., LB 4476
2012 E. Robinson St.
Orlando, Florida 32803
PHONE (407) 834-9314 FAX (407) 897-3777

JAMES D. BRAY PSM 6567

LEGEND:

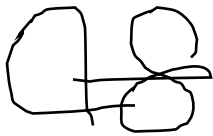
Agreement To Conditional Approval
651 Israel Simpson Ct., Winter Park, FL 32789

Dear Board of Adjustments,

I, Jennifer Sorrentino, homeowner at 651 Israel Simpson Ct., am notifying you that I will rearrange current fencing (Permit No. 17-3163) to meet the guidelines of the City of Winter Park. Therefore, the 10ft length gate will be repositioned onto the gravel driveway in order to maintain access to the rear of the property on property lines. This adjustment will be presented to the Board for a possible conditional approval for the Variance application presented on February 16th, 2021.

Sincerely,

Jennifer Sorrentino

A handwritten signature in black ink, appearing to be the name 'Jennifer Sorrentino' written in a cursive, stylized script.



January 2021: Current front view of the main house, including car port, gated fence (Permit 17-3163), and driveway to the back of the house. Detached garage is located behind fence, along the driveway.



January 2021: Current View of the carport and driveway, to the right of the main house. The driveway can accommodate up to three cars in this section before the fence.



January 2021: Current view of the main house (left) and the East side of the detached garage (right). Photo taken from behind gated fence. The main house and detached garage are separated by approximately 12 feet. Here, the driveway can accommodate up to two cars. Garage door would be replaced with hardboard lap siding and two windows.

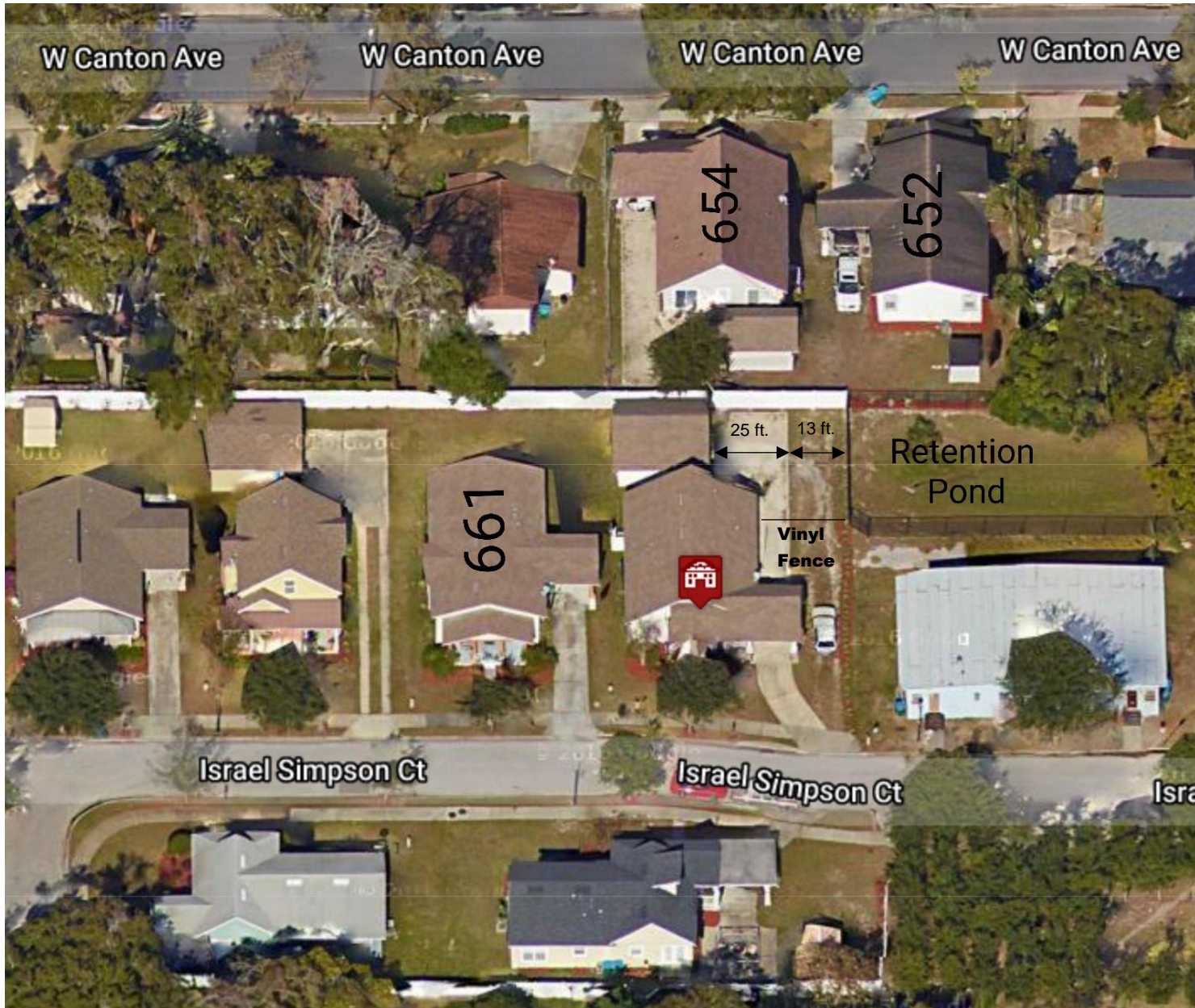


January 2021: Current view of main house (left) and detached garage (right). Photo taken at a different angle of driveway to demonstrate a two car accommodation.



January 2021: Current view of City of Winter Park, Canton Park Retention Pond. Gated fence (right) adjoining Retention Pond's chain link fence. It is 13.9 ft from the main dwelling to the interior of our property line (25 ft. from the detached garage to the interior property line) and approximately 13 ft from our property line to the chain link fence of the Retention Pond. Although meeting the setback requirement (22 ft) for the allotment of cars on the East side of the proposed accessory dwelling unit at 25 ft, our household would use the 13 ft of city property for parking exiting and turn around space.

Survey of Neighborhood 2021



Vinyl Fence Permit No. 17-6163

Non-Objection Letter For Remodeling Project
651 Israel Simpson Ct., Winter Park, FL 32789

Dear Neighbor,

I, Jennifer Sorrentino, homeowner at 651 Israel Simpson Ct., am notifying you of a remodeling project, which will involve a garage conversion into a living space. This project includes plumbing, flooring, roofing (soffit only) and electrical installations. The purpose of this construction effort is to provide an independent space for my 73 year-old mother, although cognitively alert, demonstrates some physical limitations that will require special assistance through out the remainder of her life.

This letter is requesting your non-objection to the stated above project and will be presented as a special case (by way of a Variance Application) to the Board of Adjustments for approval.

All construction will occur in accordance with the guidelines set forth by the City of Winter Park.

If you have any concerns, please feel free to contact me at phone number 407-782-3548 or through email at jeninorlando@aol.com.

Brandy Burton
Signature

Brandy Burton
Print Name

652 W Canton Ave
Winter Park, FL 32789
Address
(407) 879-4543
goddiditall4me@yahoo.com
Contact Number & Email

Non-Objection Letter For Remodeling Project
651 Israel Simpson Ct., Winter Park, FL 32789

Dear Neighbor,

I, Jennifer Sorrentino, homeowner at 651 Israel Simpson Ct., am notifying you of a remodeling project, which will involve a garage conversion into a living space. This project includes plumbing, flooring, roofing (soffit only) and electrical installations. The purpose of this construction effort is to provide an independent space for my 73 year-old mother, although cognitively alert, demonstrates some physical limitations that will require special assistance through out the remainder of her life.

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If you have any concerns, please feel free to contact me at phone number 407-782-3548 or through email at jeninorlando@aol.com.


Signature

661 ISRAEL SIMPSON CT.
WINTER PARK FL 32789
Address

ROMESSEA LEWIS
Print Name

(847) 560-1455 ROMESSEA@MSU.COM
Contact Number & Email

Non-Objection Letter For Remodeling Project
651 Israel Simpson Ct., Winter Park, FL 32789

Dear Neighbor,

I, Jennifer Sorrentino, homeowner at 651 Israel Simpson Ct., am notifying you of a remodeling project, which will involve a garage conversion into a living space. This project includes plumbing, flooring, roofing (soffit only) and electrical installations. The purpose of this construction effort is to provide an independent space for my 73 year-old mother, although cognitively alert, demonstrates some physical limitations that will require special assistance through out the remainder of her life.

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If you have any concerns, please feel free to contact me at phone number 407-782-3548 or through email at jeninorlando@aol.com.


Signature

654 W CHURCH AVE
WINTER PARK, FL
Address

KENT KERSTEN
Print Name

407-921-0864 kentkerstene@gmail.com
Contact Number & Email

Non-Objection Letter For Remodeling Project
651 Israel Simpson Ct., Winter Park, FL 32789

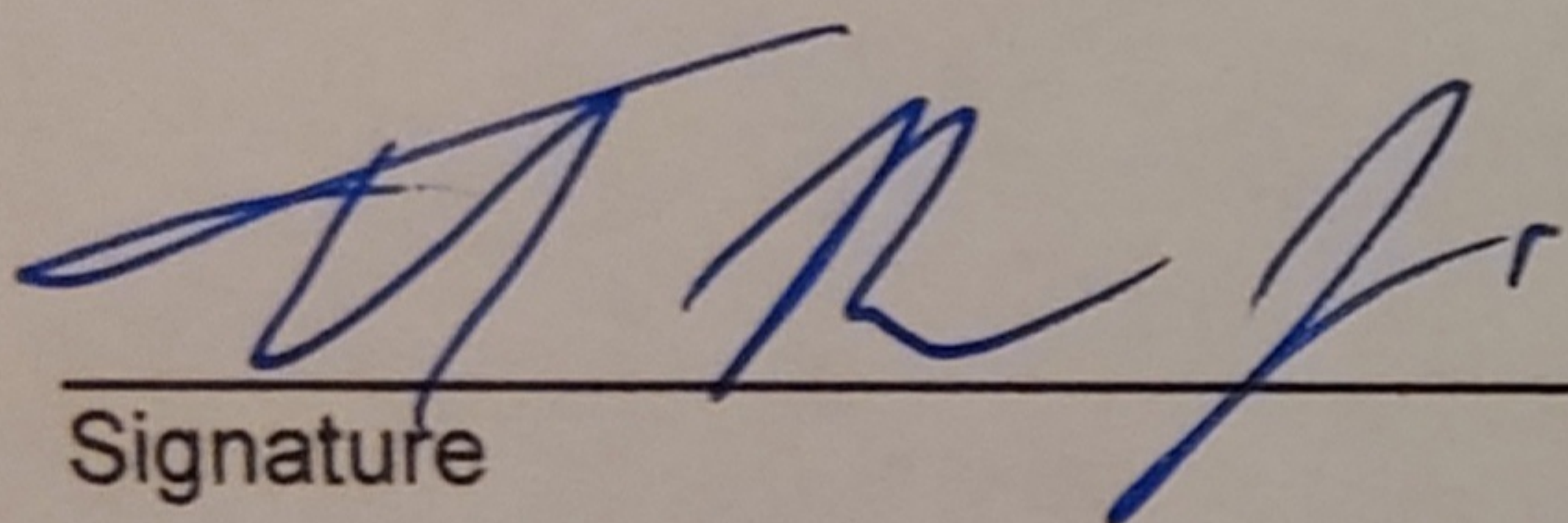
Dear Neighbor,

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All construction will occur in accordance with the guidelines set forth by the City of Winter Park.

If you have any concerns, please feel free to contact me at phone number 407-782-3548 or through email at jeninorlando@aol.com.


Signature

311 N. Pennsylvania Ave
Ste 1, Winter Park, FL 32789
Address

Frank Baker, Jr.
Print Name

407-733-7987 frankbakjr@aol.com
Contact Number & Email



Board of Adjustments regular meeting

February 16, 2021 at 5:00p.m.

Hybrid Meeting

Agenda Items

New business

8. Request of Jose Campuzano, on behalf of Patricia Neidlinger, for variances to allow construction of a room addition to be located 20.75 feet from the rear lot line and 9.5 feet from the side lot line, in lieu of the required setbacks of 25 and 10 feet respectively.

Located at: 683 Dunblane Drive

Zoned: R-1A



401 South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

**Building &
Permitting
Services**

TO: BOARD OF ADJUSTMENTS MEMBERS
FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS
DATE: February 16, 2021
SUBJECT: VARIANCE REQUEST by Jose Campuzano on behalf of Patricia Neidlinger, 683 Dunblane Drive

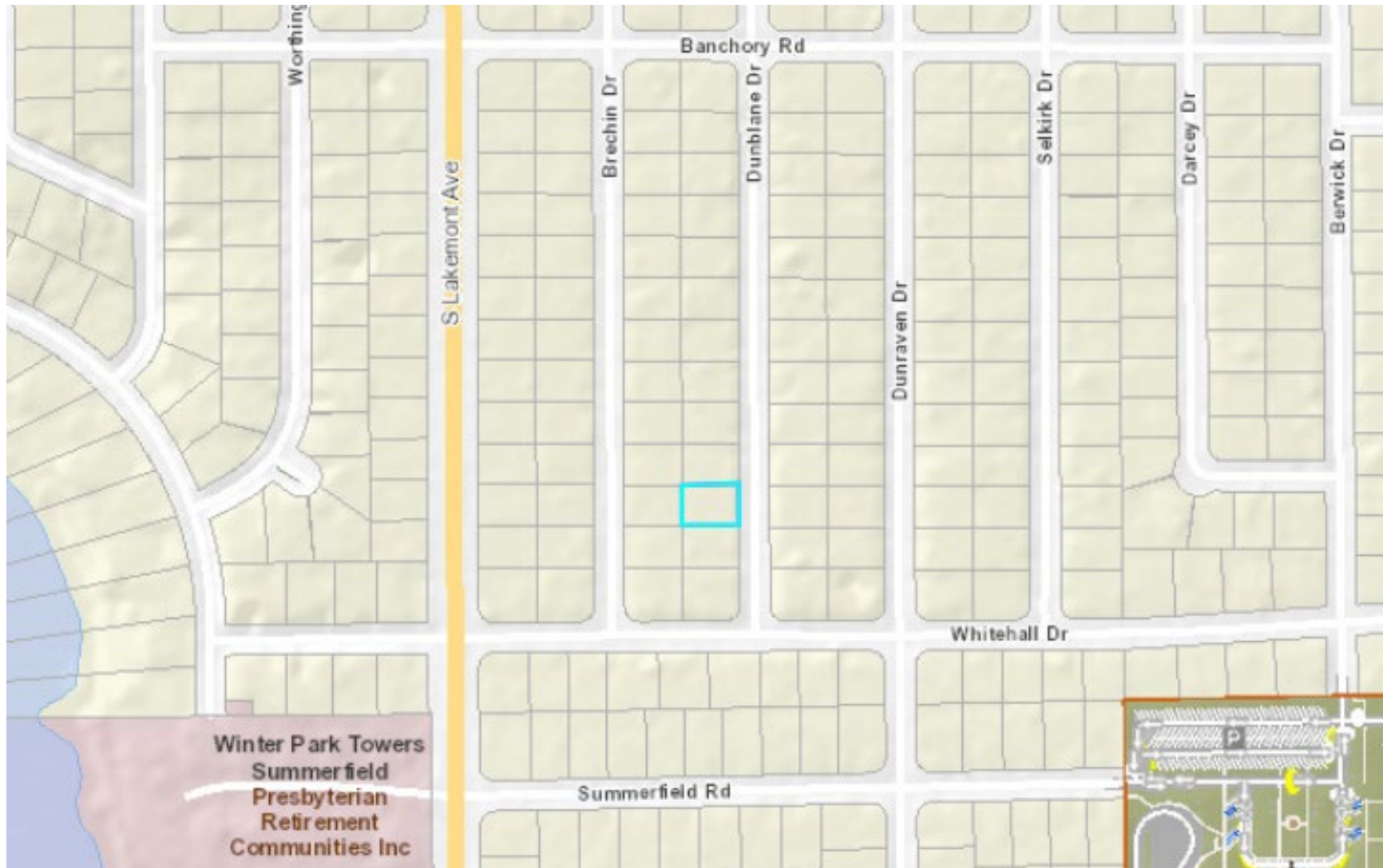
The applicant is requesting a variance to allow construction of a room addition to be located 20.75 feet from the rear lot line and 9.5 feet from the side lot line whereas the required setbacks are 25 and 10 feet respectively.

This room addition is for a master bedroom and walk in closet area that has a total gross area of 220 square feet and will be extended along the south side wall of the home. The existing side wall slightly encroaches the required 10 foot side setback by .5 feet and can be allowed with a letter of approval from the adjacent property owner for a distance of up to 24 (although this addition is only 12 feet). In addition, typically articulation would need to be provided since the new side wall length will be over 36 feet, however, the Code allows wall length extensions on existing homes to be 12 feet without articulation.

With this proposed addition the impervious coverage and floor area ratio is not exceeded for this property which allows a 60% coverage for this one story home and a floor area ratio of 38% (3,537 square feet). The existing home area has a gross area of 2,139 square feet and will be 2,359 square feet with the new addition.

No letters have been received regarding this request.

683 Dunblane Drive



**CITY OF WINTER PARK
VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT**

Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received _____
Assigned _____
Date of Hearing _____

Applicant: Jose Camputano P.E. Owner: Patricia Neidlinger Trust
1103 Aaron Drive 683 Dunblane Drive
(Address) (Address)
Deltona, FL 32725 Winter Park, FL 32792
(City, State) (Zip)
407-416-4481 330-603-4367
(Phone - Home) (Phone - Home)
407-456-5581
(Phone - Work or Cell) (Phone - Work or Cell)
josec@abramsdesignco.com
(Email Address) (Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section _____, Subsection _____, Zoning _____.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of property 683 Dunblane DR, Winter Park, FL 32792
Legal description of property lot 16, Block B, Kenilworth shores section four, according to the plat thereof, As recorded in plat book y, page 71, of the public records of Orange County, Florida.

Describe variance request Dear City of Winter Park Board of Zoning Adjustment. This letter is to request a variance and permission to let us keep the setbacks where they are on the above address.

This section may be left blank for completion by city staff

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.

Variance Application
Page 2 of 2

1. What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

The Concrete slab ~~is~~ already existed from the existing construction. We realized that there are properties around this house that has more or less the same measurements in its setbacks, they are less than 25 ft away.

- * How long have you owned the property? 4 year Oct. 2020
* How long have you occupied the property? CAN'T MOVE IN UNTIL the project is complete

2. What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

The applicant is 70 yrs old AND NEEDS TO ENLARGE LIVING AREA AS WELL AS THE BATHROOM WILL BE LARGE ENOUGH FOR AGE RELATED FACILITIES

3. Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

We are doing this petition since we are trying to add a room using the existing patio concrete slab which was there at the beginning of the construction (attached you can see the blue prints), which is 20ft away.

4. Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?

No


Signature of Applicant

01/26/2021
Date

Jose Campuzano P.E.
Name of Applicant (PRINT)



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address:

683 Dunblane Dr. Winter Park

Lot width²:

82'

Submitted by:

Jose Campuzano P.E./P

Lot area³:

9,307 sf

Parcel ID # 09-22-30-4131-DZ-160	Maximum % Allowed⁴	Existing Area¹⁰	Additional Proposed Area¹⁰	New Total Area	Maximum Allowed Area
	Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.				
IMPERVIOUS LOT COVERAGE <small>IMPERVIOUS LOT COVERAGE</small>	2 story - 50%				
	1 story - 60%	48.47 %	48.47 %	216 sf	5,607 sf
FLOOR AREA RATIO (F.A.R.)^{5,6} <small>FLOOR AREA RATIO (F.A.R.) FLOOR AREA RATIO (F.A.R.)</small>	<p>For one and two story bldgs (include 1st & 2nd floors, garages/carports, stair areas on both floors, areas on 2nd floors which are open to the 1st floor⁷, and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches 8.</p> <p>Lots < 11,600 sf: Use 38% Base FAR or w/ increased side setbacks: 43% Max FAR</p>				
	2,394 (OCPA)	2164	2,3554	3,551 (38%)	
	<p>Lots 11,600 sf to 13,600 sf Use 4,500 sf Base area & 5,200 sf Maximum area</p>				
	<p>Lots > 13,600 sf Use 33% Base FAR or w/ increased side setbacks: 38% Max FAR</p>				
SCREEN POOL ENCLOSURE	8% ⁹				
FRONT YARD LANDSCAPE COVERAGE	<p>Count all landscaped green areas EXCLUDE - hard surfaces and all driveway surfaces (pervious & impervious).</p>				
FRONT LOT AREA	50%				

NOTES:

1. Windsong & Waterbridge may use these standards, except lot types A, B, & C In Windsong. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director.
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
6. See page 3 on how to achieve maximum F.A.R.
7. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
8. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area.
9. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
10. These columns only apply to existing homes.
11. Vertical walled in areas created above the 1st floor must be including in the gross floor area

SETBACKS (complete boxes A and B first)

	Minimum Allowable Dimensions			Existing		Proposed	
FRONT	Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.			30'. 2"		30'. 2"	
SIDES^{1,2} <small>(see other side setback options on pg 4) SIDES</small>	1st Floor	See pages 3&4 <small>SEE PAGES 3&4</small>	A	10'. 4"	6'. 2"	10'. 4"	30'. 2"
	2nd Floor		B				
REAR^{1,3,4} <small>REAR REAR</small>	1st Floor	25 ft.		32'. 9"		20'. 9"	
	2nd Floor	35 ft ⁵					
	Lakefront	see note 6					
CORNER LOT <small>CORNER LOT CORNER LOT CORNER LOT</small>	1st Floor <small>1ST FLOOR</small>	Lot width ≤ 65 ft.	15 ft.				
		Lot width > 65 ft ⁷	20 ft.				
	2nd Floor <small>2ND FLOOR</small>	Lot width ≤ 65 ft.	15 ft.				
		Lot width > 65 ft ⁷	22.5 ft.				
BUILDING HEIGHT <small>8,9,10,11,12</small>	30 ft. - 35 ft. plus 2 ft. or 40 ft. (see notes 11 & 12)			12'. 4"		12'. 4"	

Notes:

1. Any building wall that exceeds 12 ft. in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
2. Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft. and interior side setback is 5 ft. minimum (no gable end allowed) for garages up to 600 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
3. Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. For lots that are 75ft deep or less a first floor setback of 10ft and a second floor setback of 25ft is allowed. For lots which are 105ft deep or less a first floor setback of 15ft and a second floor setback of 30ft is allowed.
4. Accessory buildings: garage/carport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. . Other accessory buildings used for habitation shall meet setbacks of the main residence.
5. The rear setback may be reduced to 25 ft. for two-story components when those consist of a second story loft or mezzanine that is within the normal scale and 18-ft max height of a typical one-story structure.
6. Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft. or 50 ft., whichever is greater, measured from ordinary high water line.
7. Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft. with 1st and 2nd floor setbacks of 25 ft. may reduce the rear setback by 5 ft. on each floor.
8. Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
9. No building or portion thereof shall exceed 30 ft. in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft. additional building height.
10. Accessory building that exceeds 18 ft. in height shall meet the same setbacks as the principal building on the property.
11. Properties or lots with at least 80 ft. of width at the building line are permitted to have a building height of 35 ft. if the side setbacks are increased to 20 ft. at 30 ft. above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft. of additional building height.
12. Properties or lots exceeding 50,000 sq.ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft. if side setbacks are increased to 35 ft. to the portion of the roof over 30 ft. in height.

January 26, 2021

AUTHORIZATION LETTER

To whom it may concern,

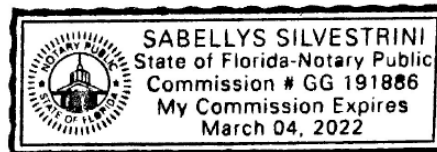
I, Patricia Neidlinger, am writing this letter to indicate that I authorize Jose Campuzano to act as an agent on my behalf in this Variance Meeting taking place on February and in its application as well.

I appreciate both yours and Mr. Campuzano assistance in this matter.

Sincerely,


Patricia Neidlinger





January 8th, 2021

683 DUNBLANE SETBACK VARIANCES

Dear City of Winter Park Board of Zoning Adjustment

This letter is to request a variance and permission to let us keep the setbacks where they are on **683 Dunblane Dr, Winter Park, FL. 32792** property, whose owner is **Patricia Neidlinger**, despite they are not meeting the City's requirement. We are doing this petition since we are trying to add a room using the existing patio concrete slab which was there at the beginning of the construction (attached you can see the blueprints), which is 20ft away. That is a difference of just 4ft. Also, we realized that there are properties around this house that has more or less the same measurements in its setbacks, they are less than 25ft away. The reason we want to do this is to save time and money.

We will appreciate so much if you can help us with this matter.

DocuSigned by:
Patricia Neidlinger
66B90541CDD140A...

Patricia Neidlinger

Owner

BOUNDARY SURVEY

LEGAL DESCRIPTION:

LOT 16, BLOCK B, KENILWORTH SHORES SECTION FOUR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK Y, PAGE 71, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

FLOOD INFORMATION:

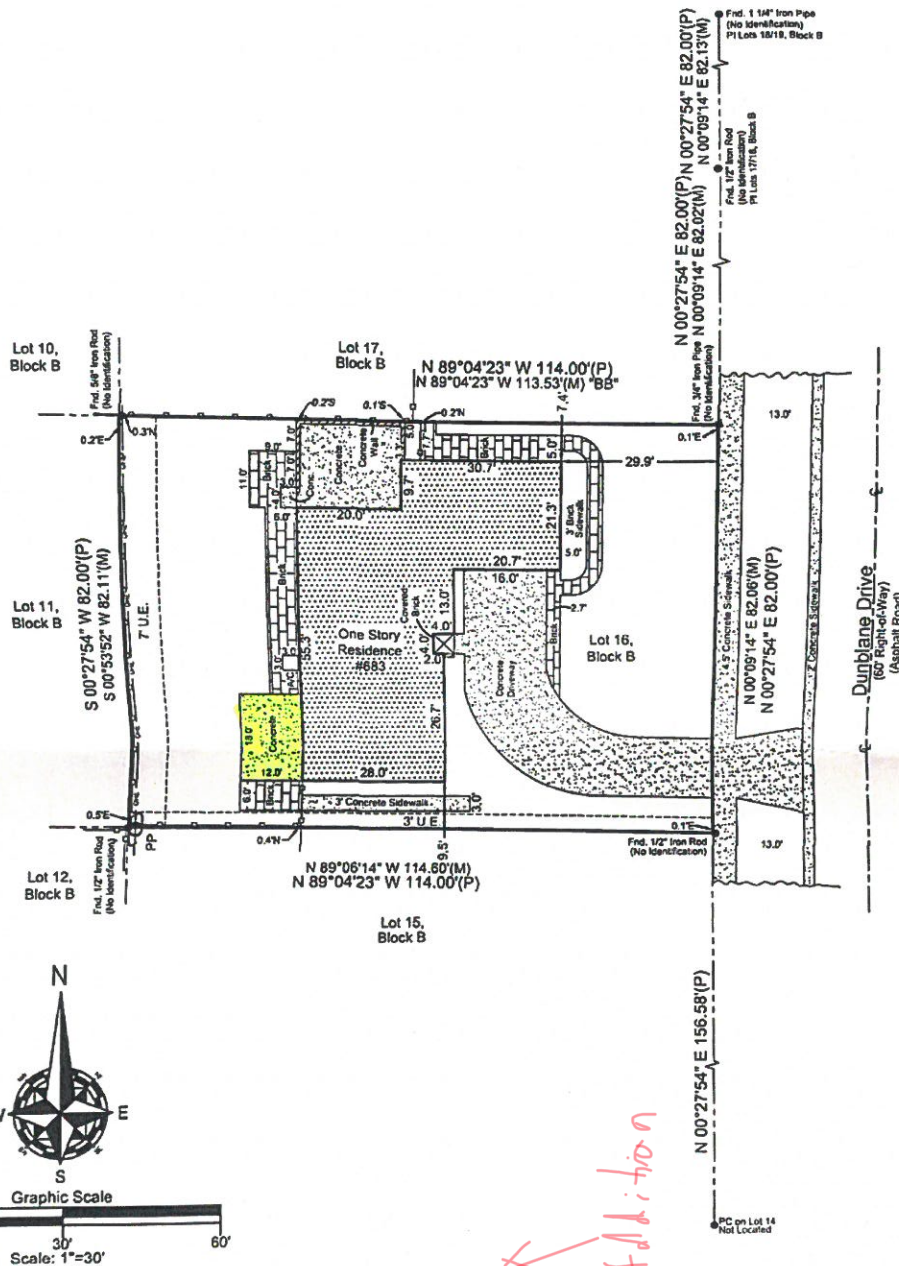
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN CITY OF WINTER PARK, COMMUNITY NUMBER 120188, DATED 9/25/2009.

CERTIFIED TO:

PATRICIA A. NEIDLINGER, AS TRUSTEE OF THE PATRICIA A. NEIDLINGER TRUST OF JUNE 1, 2007; KAPLAN LAW FIRM, P.L.; COMMONWEALTH LAND TITLE INSURANCE COMPANY; CALIBER HOME LOANS, INC.; ITS SUCCESSORS AND/OR ASSIGNS



683 DUNBLANE DRIVE, WINTER PARK, FLORIDA 32792



Field Date: 9/28/2020 Date Completed: 10/02/20
 Drawn By: S.S. File Number: JS-79275

Legend	
C	- Calculated
CB	- Concrete Block
CJA	- Concrete Monument
Conc	- Concrete
D	- Description
DC	- Drainage Easement
Esmt.	- Easement
F.E.M.A.	- Federal Emergency Management Agency
FFE	- Finished Floor Elevation
Fnd	- Found
IP	- Iron Pipe
L	- Length (Arc)
M	- Measured
N&D	- Nail & Disk
NH	- Non-Radial
OH	- Official Records Book
P	- Plat
PB	- Plat Book
W	- Wood Fence
PC	- Point of Curvature
Pg	- Page
PI	- Point of Intersection
P.O.B.	- Point of Beginning
P.O.L.	- Point on Line
PR	- Power Pole
PRM	- Permanent Reference Monument
PT	- Point of Tangency
R	- Radius
Rad	- Radial
R&C	- Rebar & Cap
Rec	- Recovered
Rfd	- Rodded
Set	- Set 1/2" Rebar & Cap "LB 7623"
Typ	- Typical
UL	- Utility Easement
WM	- Water Meter
Δ	- Delta (Central Angle)
○	- Chain Link Fence

NOTES:
 - Survey is based upon the Legal Description Supplied by Client.
 - Allowing Properties Deeds have NOT been researched for Gaps, Overlaps and/or Hiatus.
 - Subject to any Easements and/or Restrictions of Record.
 - Bearing basis shown hereon, is Assumed and Based upon the Line Denoted with a "BB".
 - Building Tags are NOT to be used to reconstruct Property Lines.
 - Where Ownership is NOT determined.
 - Block Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.
 - Septic Tanks and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies.
 - Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be construed to give ANY Rights or Benefits to Anyone Other than those Certified.

POINTS OF INTEREST:
 BRICK PAVERS OVER N. NORTH PROPERTY LINE

I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown, Based on information furnished to me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 5J-17.052 Florida Administrative Codes, Pursuant to Section 472.027 Florida Statutes.

Patrick K. Ireland
 Patrick K. Ireland, P.S. 6637 LB 7623
 This Survey is intended ONLY for the use of Said Certified Parties.
 This Survey NOT VALID UNLESS signed and Embossed with Surveyor's Seal.

Ireland & Associates Surveying, Inc.
 800 Currency Circle | Suite 1020
 Lake Mary, Florida 32746
 www.Irelandsurveying.com
 Office-407.678.3366 Fax-407.320.8165

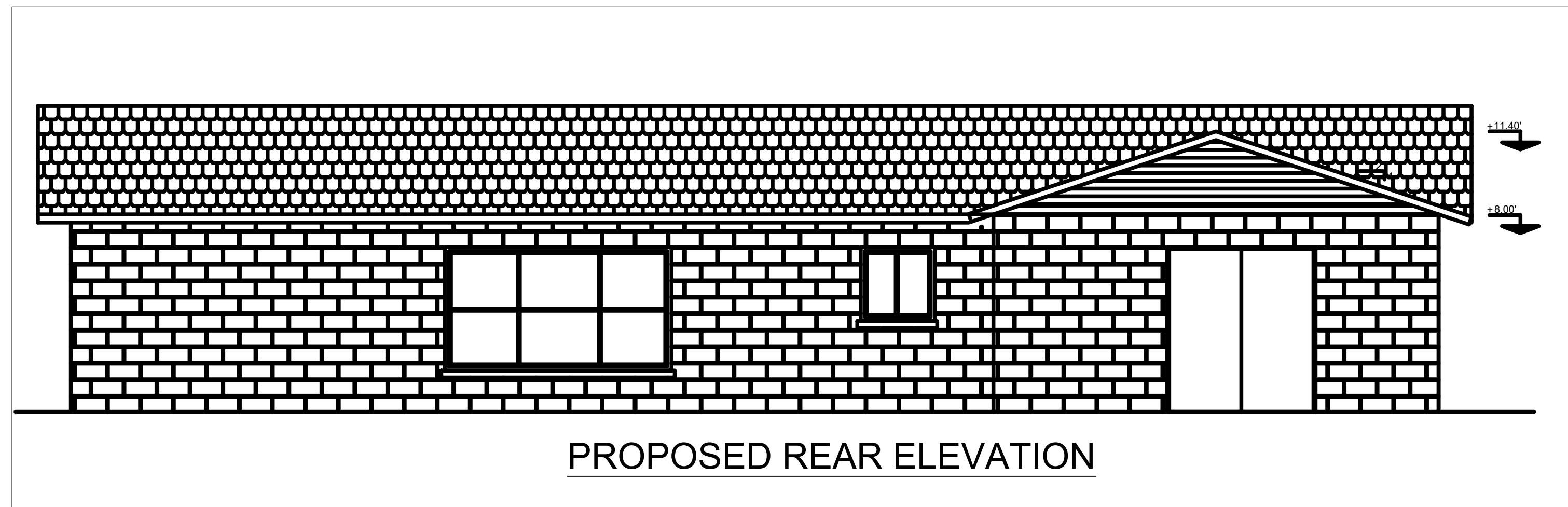
HOUSE ADDITION

683 Dunblane Dr Winter Park, FL 32792

SCOPE OF WORK

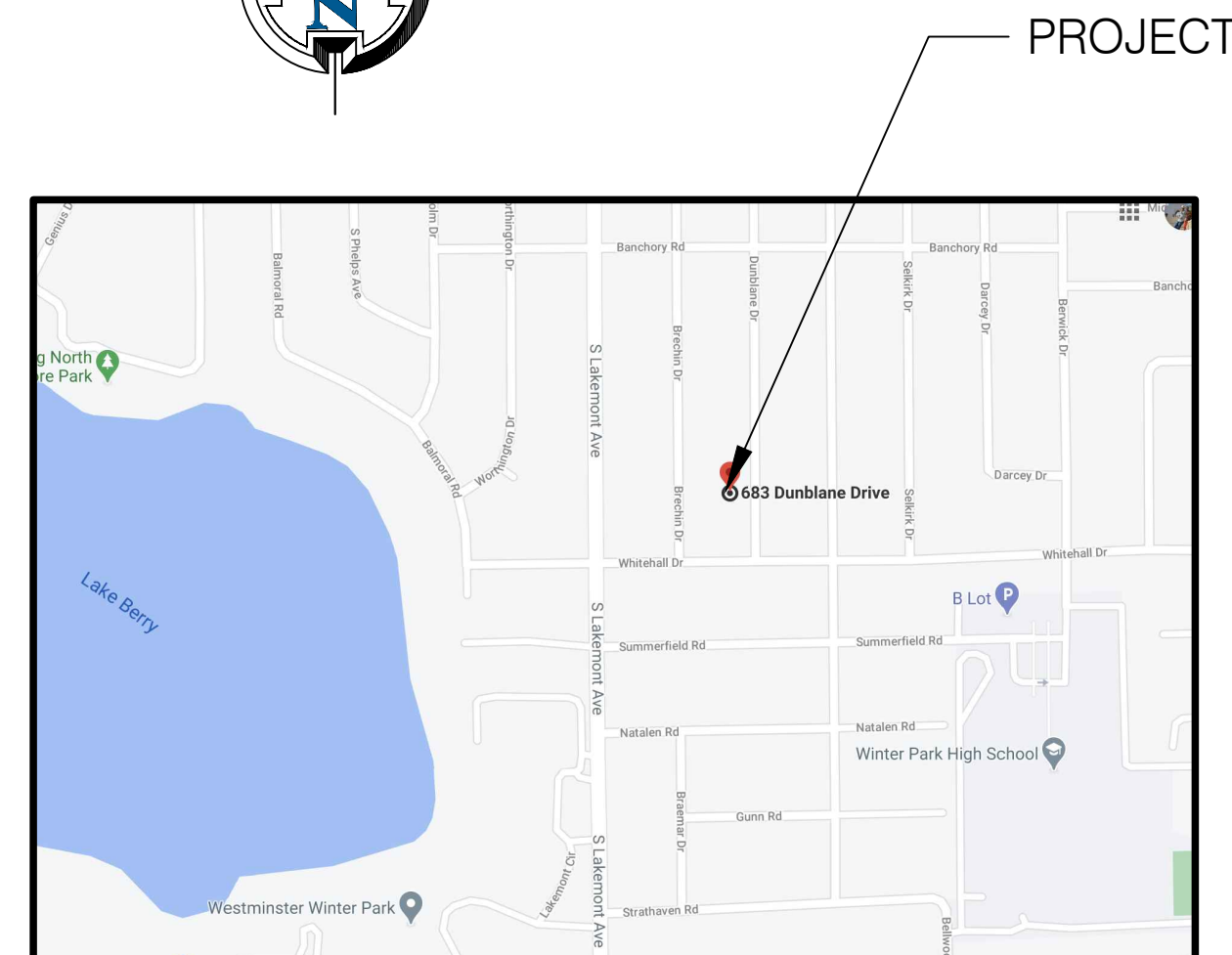
To obtain permits for Interior Alterations Level II in concordance to the provisions of the FBC Residential 2017 and relevant laws:
- House Addition as shown on plans

Parcel ID: 09-22-30-4131-02-160
Property Use: 0100 - Single Family



GENERAL NOTES:

1. DESIGN AND LOADING:
 - A. ALLOWABLE UNIT STRESS AND DESIGN CRITERIA.
 - a. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318
 - b. FLORIDA BUILDING CODE 2017 6th EDITION
2. SOIL:
 - A. NET ALLOWABLE SOIL BEARING PRESSURE USED IN DESIGN 2,000 PSF FOR FOOTINGS.
3. CONCRETE AND REINFORCING:
 - A. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318 AND WITH SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDING ACI 301.
 - B. ALL CONCRETE SHALL DEVELOP MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS.
 - C. REINFORCING BARS SHALL CONFORM TO ASIM A615, A616 OR A617-GRADE 40



PROJECT LOCATION
NOT TO SCALE

INDEX OF DRAWINGS		
PAGE#	DESCRIPTION	# OF PAGES
A-1	COVER SHEET	1
A-2	SITE PLAN	1
A-3	EXISTING FLOOR PLAN	1
A-4	PROPOSED FLOOR PLAN	1
A-5	EXISTING ELEVATIONS	1
A-6	PROPOSED ELEVATIONS	1
A-7	DETAILS	1
S-1	FOUNDATION PLAN	1
S-2	ROOF FRAMING PLAN	1
EM-1	ELECTRICAL & MECHANICAL PLAN	1
TOTAL		10

WIND LOADS

1. BASIC WIND SPEED - 140 MPH (@ 3 SEC GUST.)
2. RISK CATEGORY II
3. WIND EXPOSURE- CATEGORY C
4. INTERNAL PRESSURE COEFFICIENT +/- 0.18
5. COMPONENT/CLADDING DESIGN WIND PRESSURE +36.1 PSF / -41.4 PSF (FOR DOORS, WINDOWS, & TRANSOMS) U.N.O

(INTERNAL PRESSURE COEFFICIENT +/- 0.18 INCLUDED)

APPLICABLE CODES: INCLUDING ALL REVISIONS

- FLORIDA BUILDING CODE 2017, 6TH EDITION
- FLORIDA BUILDING CODE RESIDENTIAL 2017
- ELECTRICAL CODE, NEC 2017
- FLORIDA BUILDING CODE, PLUMBING 2017
- FIRE CODE, NFPA 70
- LIFE SAFETY CODE = NFPA 101
- ACCESSIBILITY CODE= FLORIDA BUILDING CODE, BUILDING 2017
- ENERGY CODE = FLORIDA BUILDING CODE, BUILDING 2017

METHOD OF DESIGN

THIS STRUCTURE HAS BEEN DESIGNED TO MEET ALL LOAD REQUIREMENTS OF THE 2017 FBC 6th EDITION- RESIDENTIAL

TOTAL SQ. FT. 216.00 SF

BUILDING OCCUPANCY CLASSIFICATION:

- | | |
|---|---|
| <input type="checkbox"/> GROUP A - ASSEMBLY | <input type="checkbox"/> GROUP H - HAZARDOUS |
| <input type="checkbox"/> GROUP B - BUSINESS | <input type="checkbox"/> GROUP I - INSTITUTIONAL |
| <input type="checkbox"/> GROUP D - DAY CARE CENTER | <input type="checkbox"/> GROUP M - MERCANTILE |
| <input type="checkbox"/> GROUP E - EDUCATIONAL | <input checked="" type="checkbox"/> GROUP R - RESIDENTIAL |
| <input type="checkbox"/> GROUP F - FACTORY INDUSTRIAL | <input type="checkbox"/> GROUP S - STORAGE |

BUILDING CONSTRUCTION TYPE:

- | | | | | |
|------------------------------------|---|-----------------------------------|----------------------------------|--|
| <input type="checkbox"/> TYPE I | <input type="checkbox"/> TYPE II | <input type="checkbox"/> TYPE III | <input type="checkbox"/> TYPE IV | <input checked="" type="checkbox"/> TYPE V:B |
| <input type="checkbox"/> SPRINKLED | <input checked="" type="checkbox"/> UNSPRINKLED | | | |

DESIGN LIVE LOADS (MINIMUM)

- | | |
|----------------|--------|
| A) FLOORS : | 40 PSF |
| B) BALCONIES : | 40 PSF |
| C) DECKS : | 40 PSF |
| D) STAIRS : | 40 PSF |
| E) ROOFS : | 30 PSF |

PRODUCT CONTROL APPROVAL

Product Control Approval for permits shall be required for the following items:

- Windows Doors Roof



Owner:
The Patricia A
Neidlinger Trust
683 Dunblane Dr Winter Park, FL 32792

Revisions:		
#	Date	Description

HOUSE ADDITION
 683 Dunblane Dr.
 Winter Park, FL 32792

Project:

Project No: **021220**

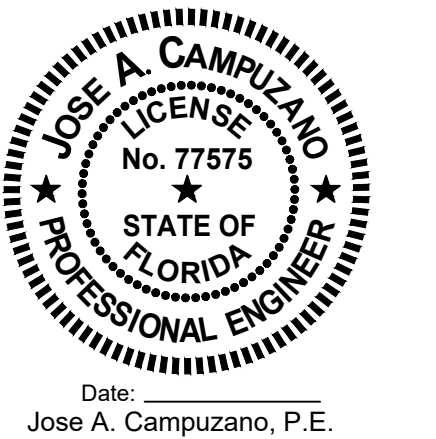
Designer: **JCC**

Drawn: **kc**

Checked: **JoseC**

Date: **12/02/2020**

Professional Seal:



Date: Jose A. Campuzano, P.E.

This item has been electronically signed and sealed by Jose Campuzano, P.E. on the Date and/or Time Stamp shown using e-sign software. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

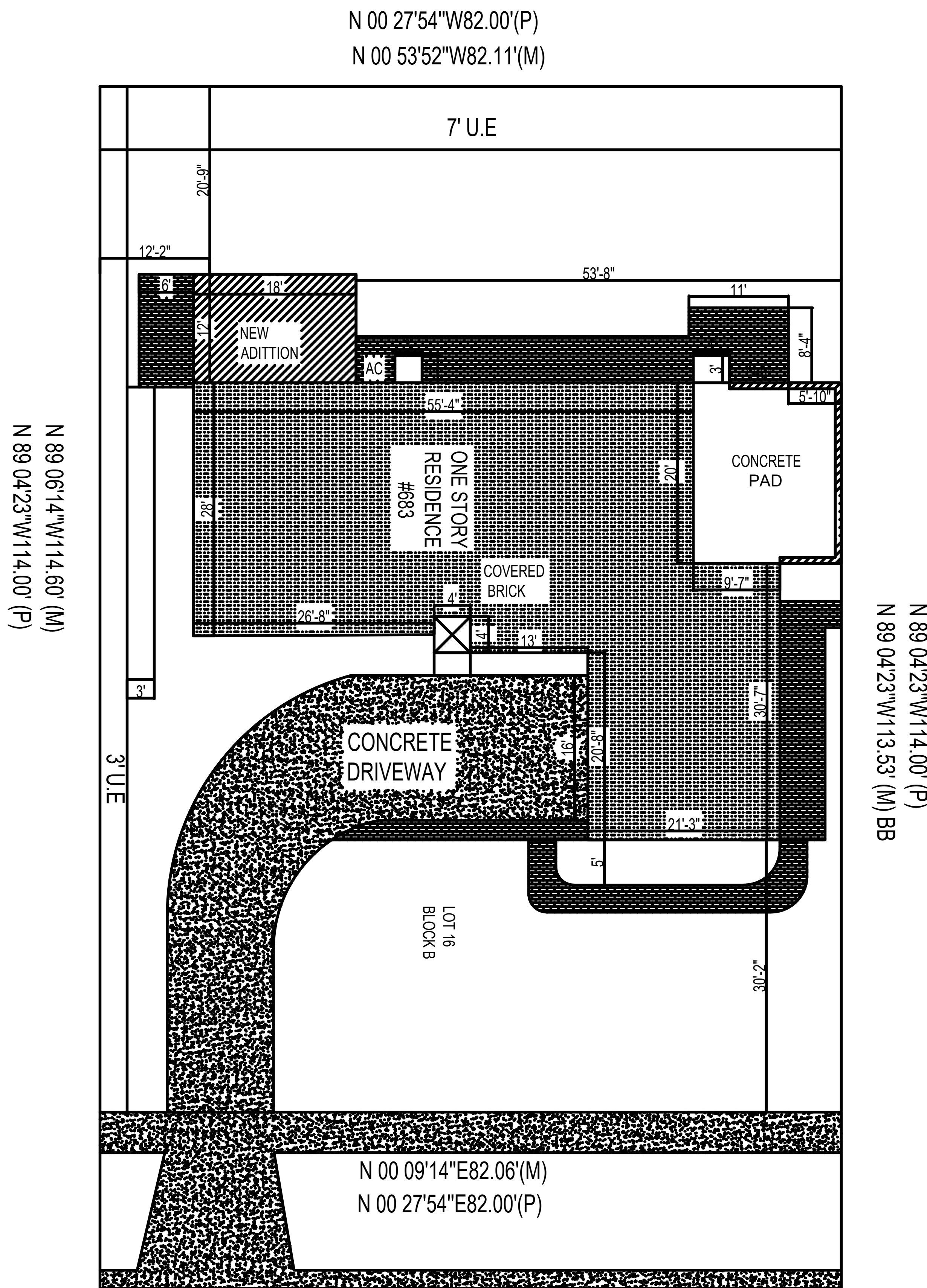
Drawing Title:

COVER SHEET

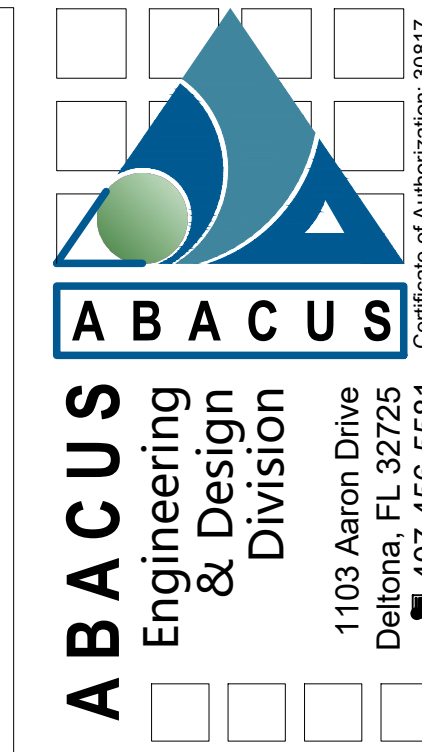
Sheet No:

A1

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions shown on these drawings. Field verify all conditions. Bring to the designer's attention any deviation from designed conditions and field conditions prior to ordering materials and installing work, and cooperate with designer to modify such conditions at no additional cost to the owner. Designer or architect's consultants. Shop details must be submitted to the designer's office and reviewed by the designer prior to ordering materials, fabrication and delivery to the job site, unless otherwise provided for under the specific contractual agreement between the designer and client. Abacus Construction Services, LLC expressly reserves its common law copyright and other property rights in these documents. These documents are not to be reproduced, changed or copied in any form or manner whatsoever. For site use only. All dimensions and bearings are in feet and inches unless otherwise noted. All dimensions and bearings are in feet and inches unless otherwise noted. All dimensions and bearings are in feet and inches unless otherwise noted. All dimensions and bearings are in feet and inches unless otherwise noted.



SITE PLAN
 SCALE: 1/8" = 1'-0"



Owner:
 The Patricia A
 Neidlinger Trust
 683 Dunblane Dr Winter Park, FL 32792

Revisions:

#	Date	Description

HOUSE ADDITION

683 Dunblane Dr.
 Winter Park, FL 32792

Project:
 Project No: **021220**
 Designer: **JC@tkc**
 Drawn: **kc**
 Checked: **JoseC**
 Date: **12/02/2020**

Professional Seal:

 Date:
 Jose A. Campuzano, P.E.

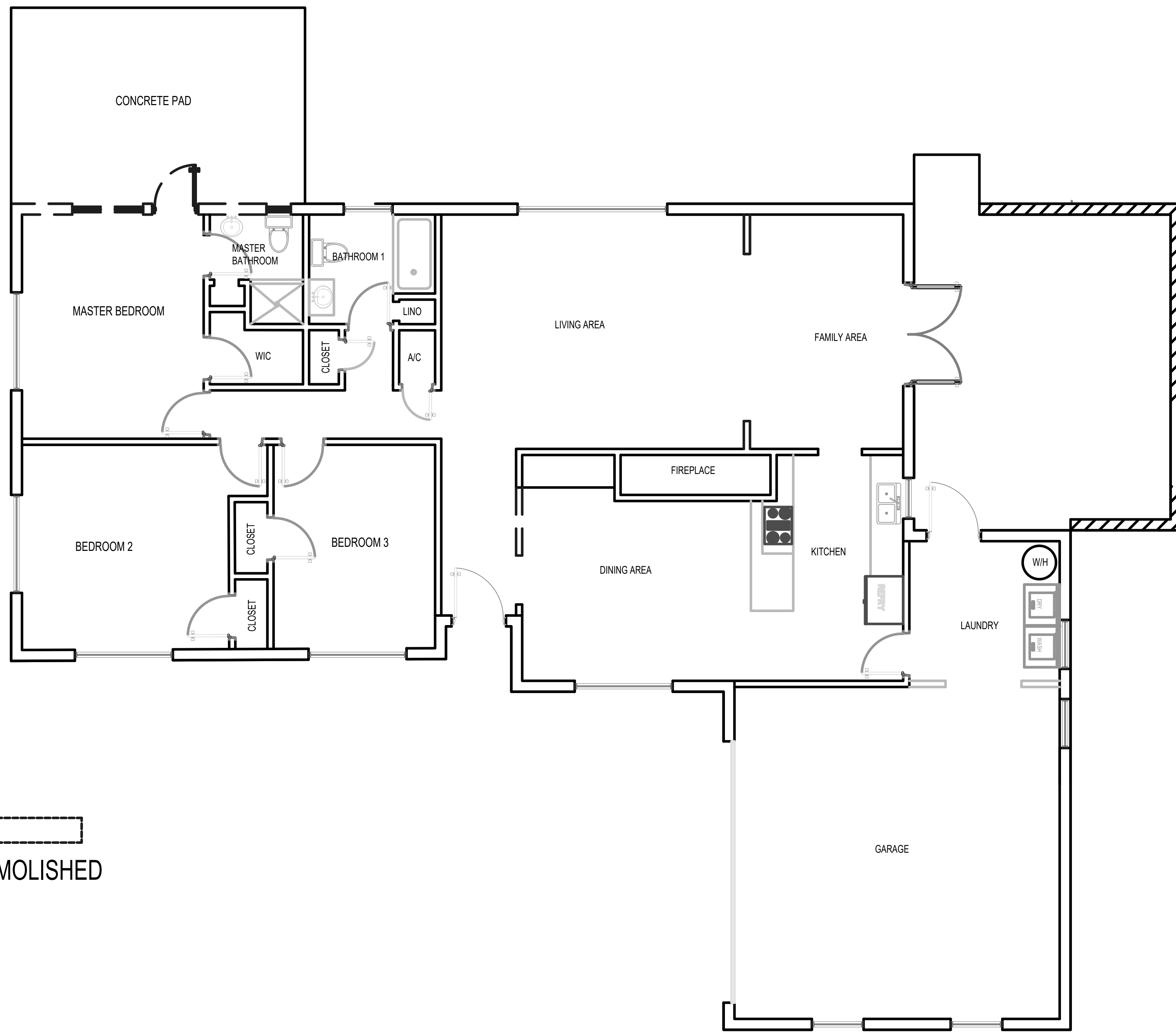
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Drawing Title:
 SITE
 PLAN

Sheet No:
A2

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job. Abacus Construction Services, LLC must be notified immediately in writing of any variation from the dimensions and conditions shown on these drawings. Field verify all conditions. Bring to the designer's attention any deviation from designed conditions and field conditions prior to ordering materials and installing work, and cooperate with designer to modify such conditions at no additional cost to the owner, designer or architect consultants. Shop details must be submitted to the designer's office and reviewed by the designer prior to ordering materials, fabrication and delivery to the job site, unless otherwise provided for under this specific contractual agreement between the designer and client. Abacus Construction Services, LLC expressly reserves its common law copyright and other property rights in these documents. These documents are not to be reproduced, changed or copied in any form or manner whatsoever. For use only by the party to whom they are assigned to by the party which has obtained the initial permission and written consent of Abacus Construction Services, LLC. In the event of a subcontracted use of these documents by a third party, the third party shall hold Abacus Construction Services, LLC harmless and agree to indemnify Abacus Construction Services, LLC for their use in all amounts equal to the original fee of the original documents, plus legal fees, court costs, collection fees and other costs.

TO BE DEMOLISHED



EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"



ABACUS
Engineering & Design Division
1103 Aaron Drive
DeLtona, FL 32725
407-456-5581

Owner:
The Patricia A Neidlinger Trust
683 Dunblane Dr Winter Park, FL 32792

Revisions:

#	Date	Description

Project:
HOUSE ADDITION
683 Dunblane Dr.
Winter Park, FL 32792

Project No: **021220**
Designer: **JCC/klc**
Drawn: **klc**
Checked: **JoseC**
Date: **12/02/2020**

Professional Seal:

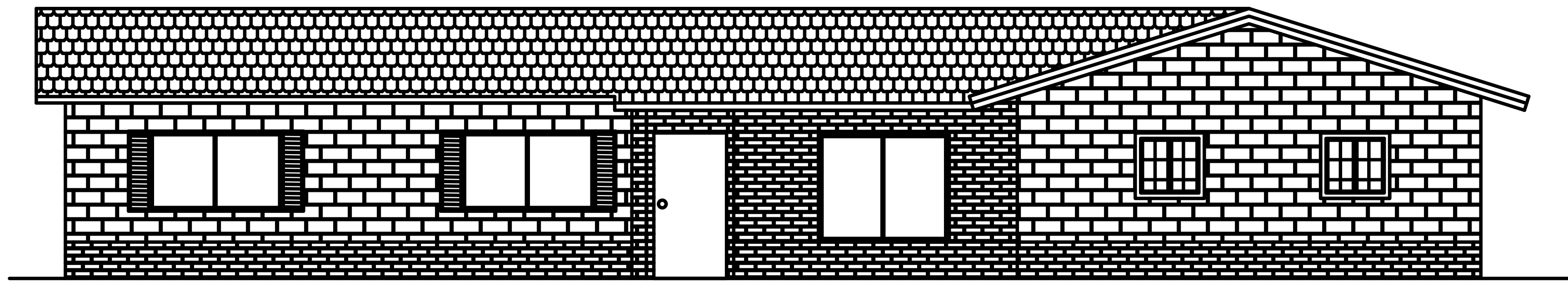
Date:
Jose A. Campuzano, P.E.

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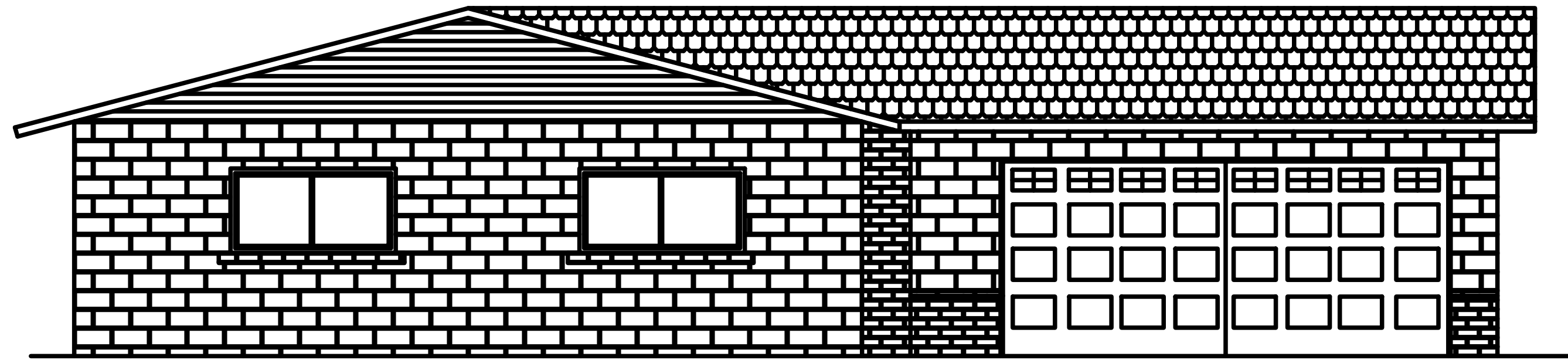
Drawing Title:
EXISTING FLOOR PLAN

Sheet No:
A3

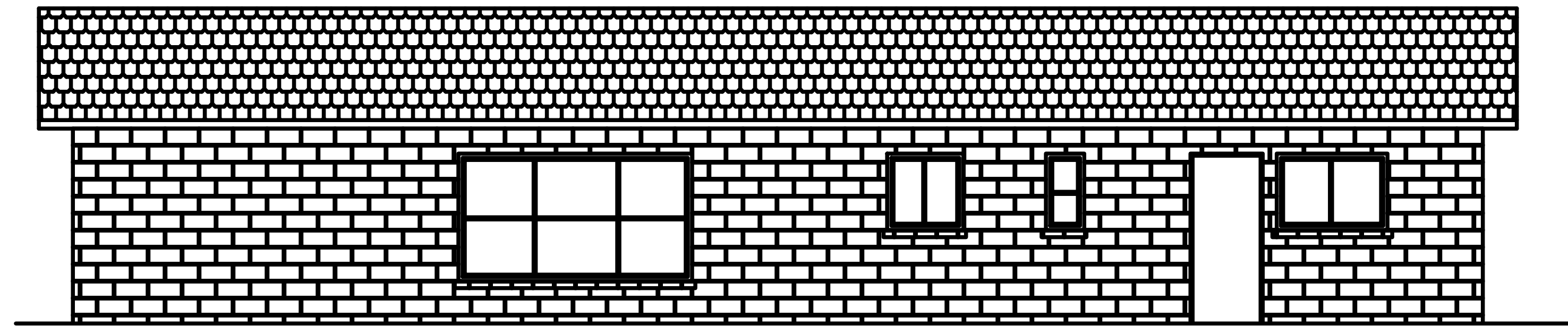
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EXISTING FRONT ELEVATION



EXISTING LEFT ELEVATION

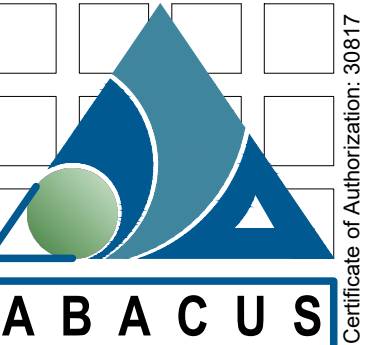


EXISTING REAR ELEVATION



EXISTING ELEVATIONS

SCALE: $\frac{1}{4}'' = 1'-0''$



ABACUS
Engineering & Design Division
1103 Aaron Drive
Deltona, FL 32725
407-456-5581

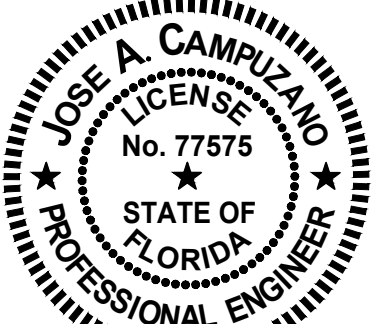
Owner:
The Patricia A
Neidlinger Trust
683 Dunblane Dr Winter Park, FL 32792

Revisions:

#	Date	Description

HOUSE ADDITION
683 Dunblane Dr.
Winter Park, FL 32792

Project:
Project No: **021220**
Designer: **JCC**
Drawn: **kc**
Checked: **JoseC**
Date: **12/02/2020**

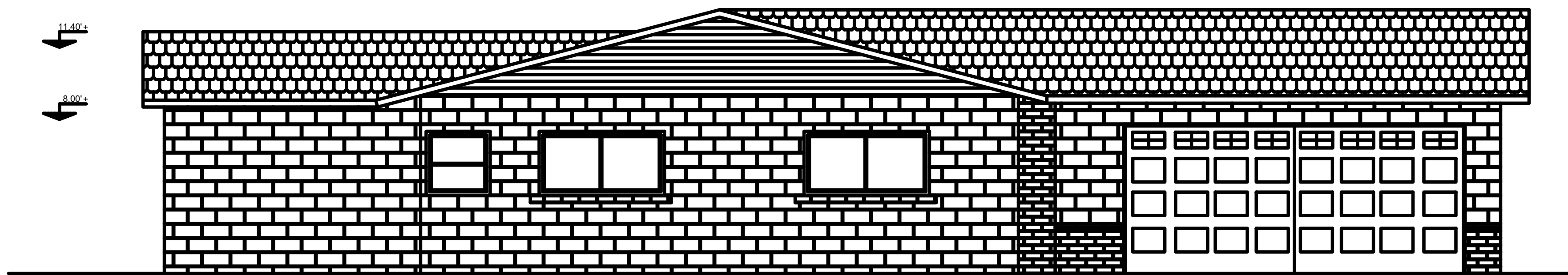
Professional Seal:

 Date:
Jose A. Campuzano, P.E.

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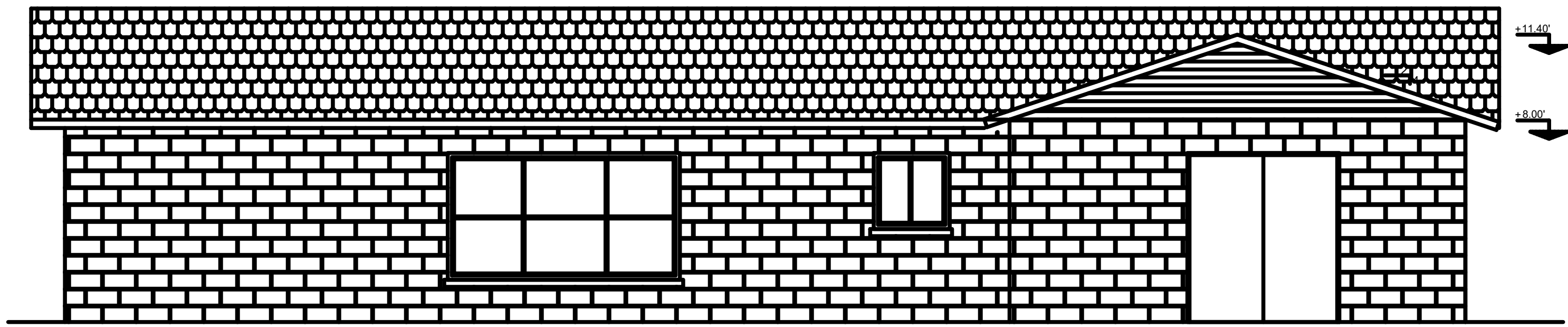
Drawing Title:
EXISTING ELEVATIONS

Sheet No:
A5

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions shown on these drawings. First verify all conditions. Bring to the designer's attention any deviation from designed conditions and field conditions prior to ordering materials and installing work, and cooperate with designer to modify such conditions at no additional cost to the owner, designer or architect consultants. Shop details must be submitted to the designer's office and reviewed by the designer prior to ordering materials, fabrication and delivery to the job site, unless otherwise provided for under the specific contractual agreement between the designer and client. Abacus Construction Services, LLC expressly reserves its common law copyright and other property rights in these documents. These documents are not to be reproduced, changed or copied in any form or manner whatsoever. For use only by the party assigned to it. All rights reserved. © 2020 Abacus Construction Services, LLC. All rights reserved.



PROPOSED LEFT ELEVATION

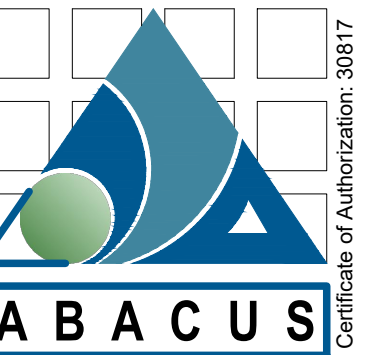


PROPOSED REAR ELEVATION



PROPOSED ELEVATIONS

SCALE: $\frac{1}{4}'' = 1'-0''$



ABACUS
 Engineering & Design Division
 1103 Aaron Drive
 Deltona, FL 32725
 407-456-5581

Owner:
 The Patricia A
 Neidlinger Trust
 683 Dunblane Dr Winter Park, FL 32792

Revisions:

#	Date	Description

HOUSE ADDITION
 683 Dunblane Dr.
 Winter Park, FL 32792

Project:
 Project No: **021220**
 Designer: **JCC/ko**
 Drawn: **ko**
 Checked: **JoseC**
 Date: **12/02/2020**

Professional Seal:

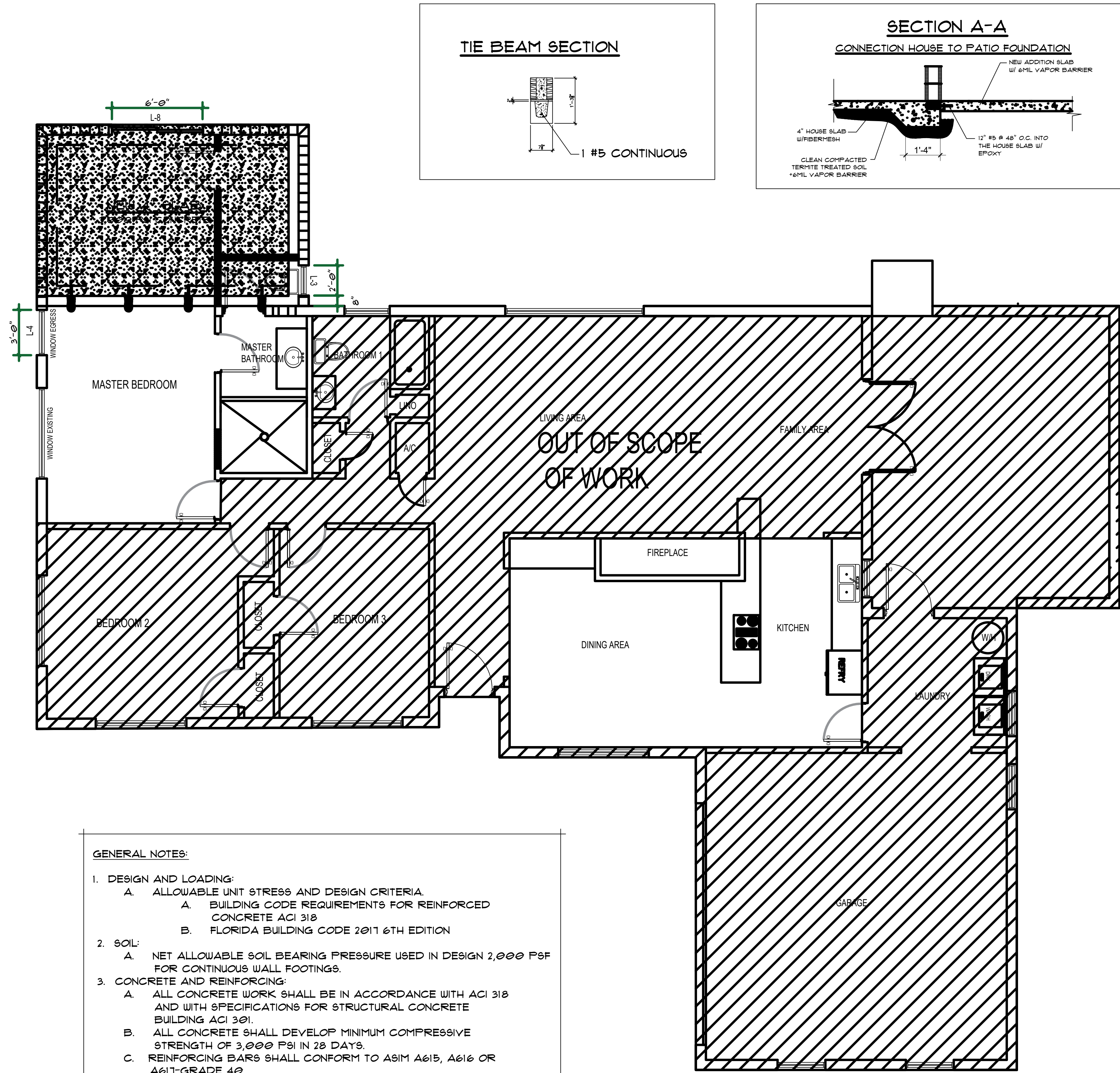
 Date:
 Jose A. Campuzano, P.E.

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Drawing Title:
PROPOSED ELEVATIONS

Sheet No:
A6

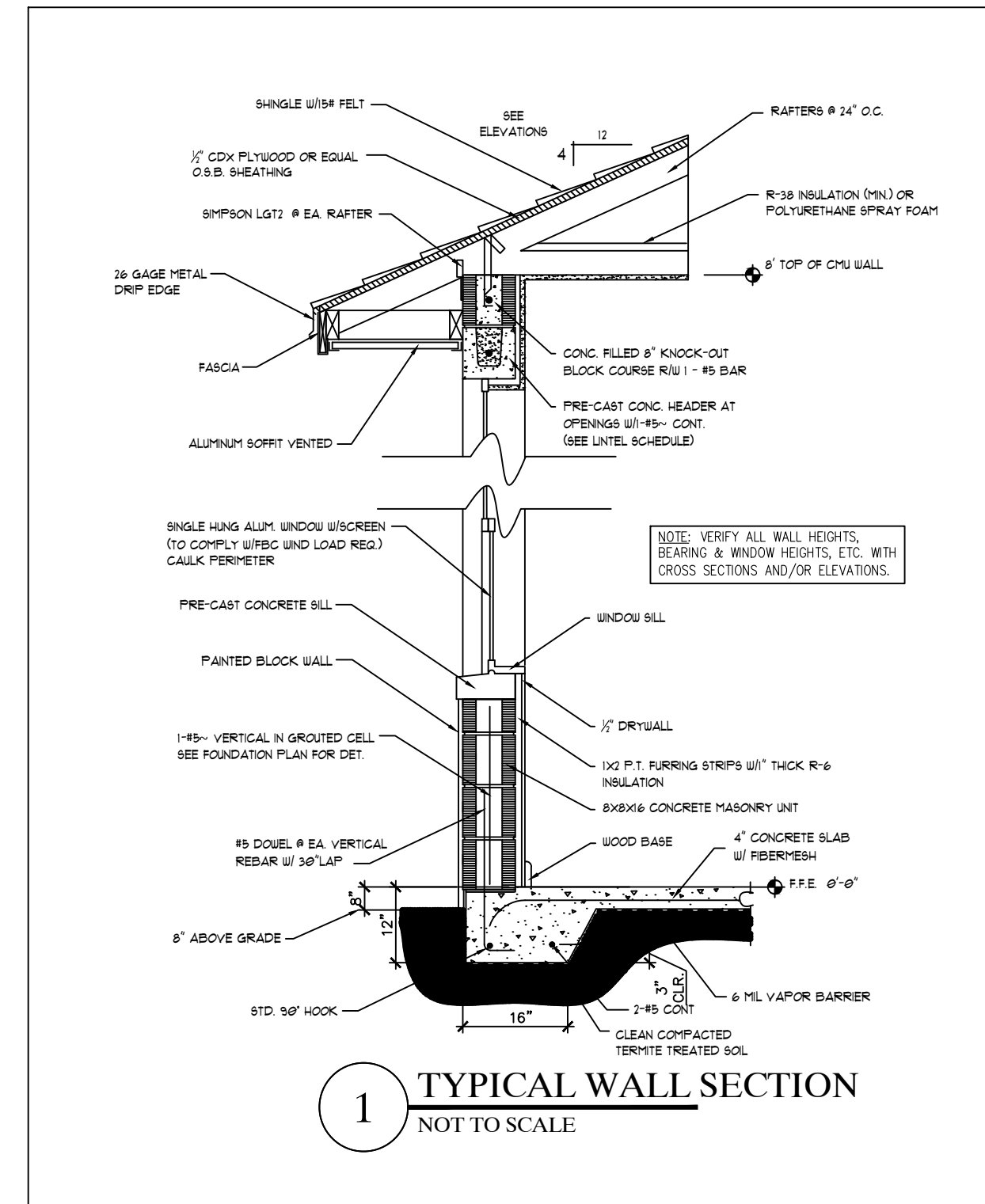
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GENERAL NOTES:

- DESIGN AND LOADING:
 - ALLOWABLE UNIT STRESS AND DESIGN CRITERIA.
 - BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318
 - FLORIDA BUILDING CODE 2011 6TH EDITION
- SOIL:
 - NET ALLOWABLE SOIL BEARING PRESSURE USED IN DESIGN 2,000 PSF FOR CONTINUOUS WALL FOOTINGS.
- CONCRETE AND REINFORCING:
 - ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318 AND WITH SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDING ACI 301.
 - ALL CONCRETE SHALL DEVELOP MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS.
 - REINFORCING BARS SHALL CONFORM TO ASTM A615, A616 OR A617-GRADE 40
- DESIGN LOADS:
 - ROOF LIVE LOADS 20 PSF
 - FLOOR LIVE LOAD 40 PSF
- ALL STRUCTURAL LUMBER SHALL BE #2 SYP. #2 GRADE OR BETTER SFP (ALL LUMBER EXPOSED TO WEATHER OR AGAINST SOIL, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED).

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



PRECAST LINTEL (8"x16" COMPOSITE)

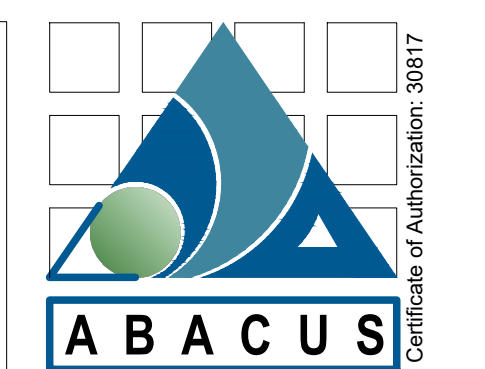
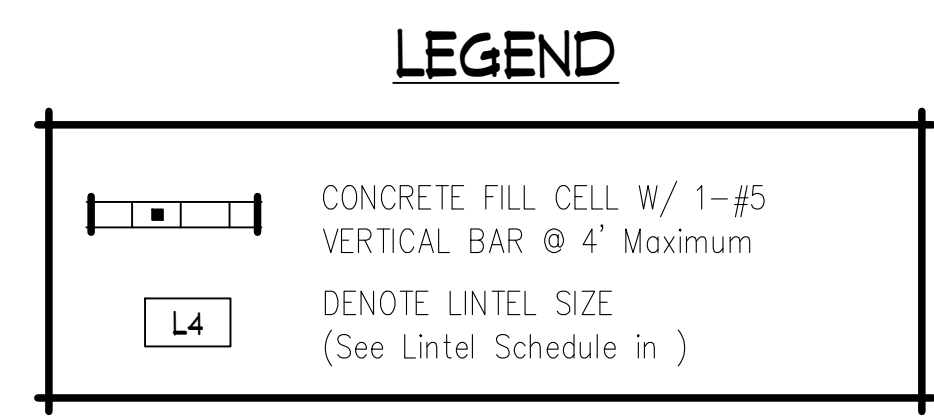
Mark No.	Nominal Clear Span	Total Lintel Span	Filled (1) #5 T&B C
L-1	16"	2'10"	12374
L-2	22"	3'6"	8488
L-3	28"	4'0"	6888
L-4	32"	4'6"	5772
L-5	40"	5'4"	4546
L-6	46"	5'10"	4028
L-7	52"	6'0"	3382
L-8	62"	7'6"	2908
L-9	70"	8'4"	2548
L-10	80"	9'4"	2215
L-11	92"	10'6"	1918
L-12	100"	11'4"	1749
L-13	112"	12'6"	1554
L-14	120"	13'4"	1438
L-15	128"	14'0"	1356
L-16 (P.S.)	13'4"	14'8"	1395
L-17 (P.S.)	14'0"	15'4"	1326
L-18 (P.S.)	16'0"	17'4"	1153
L-19 (P.S.)	18'0"	19'4"	1019
L-20 (P.S.)	18'8"	20'0"	980

Note: (P.S.) represent precast lintels prestressed using (2) 7/16" Diameter Prestressing Strands.

GENERAL NOTES FOR P.C. LINTELS

- CODES:
 - FLORIDA BUILDING CODE 2017
 - BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-07).
 - AMERICAN SOCIETY OF CIVIL ENGINEERS MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE 7-07).
- CONCRETE:
 - CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS:
 - PRE-CAST W/ STANDARD REINFORCEMENT - 3500 PSI
 - PRE-CAST W/ PRESTRESS REINFORCEMENT - 5000 PSI
 - CONCRETE FILL (PLACED IN FIELD) - 2500 PSI
 - REINFORCING BARS:
 - STEEL PLACED IN PRECAST LINTEL AT TIME OF FABRICATION ASTM A615 (GRADE 60).
 - STEEL IN LINTEL AND KNOCKOUT BLOCK (PLACED IN FIELD) ASTM A615 (GRADE 40).
 - PRESTRESS STRANDS ASTM A416 7-WIRE
 - DETAIL REINFORCEMENT IN ACCORDANCE WITH ACI 315.
 - CONCRETE OPERATIONS SHALL COMPLY WITH ACI STANDARDS.
- MASONRY:
 - DESIGN AND CONSTRUCTION SHALL CONFORM TO THE SPECIFICATION OF THE NATIONAL CONCRETE MASONRY ASSOCIATION AND ACI 530.
 - MINIMUM MASONRY UNIT STRENGTH: fm 1250 PSI.
 - MORTAR SHALL BE TYPE S.
- STRUCTURAL:
 - SAFE LOAD VALUES ARE BASED ON LINTELS HAVING A BEARING OF 8" (WITH A MINIMUM ACCEPTABLE BEARING OF 4" PER FLORIDA BUILDING CODE 2017 6TH EDITION).

NOTE: IT IS THE CONTRACTORS RESPONSIBILITY TO REVIEW ALL DRAWINGS BEFORE CONSTRUCTION BEGINS. ABACUS CONSTRUCTION SVCS IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THIS PROJECT ONLY. ANY DISCREPANCY BETWEEN FIELD CONDITIONS, OTHER DESIGN PROFESSIONALS' SHOP DRAWINGS, CONTRACTORS' BUILDING METHODS, AND THESE SIGNED AND SEALED DRAWING MUST BE BROUGHT ATTENTION OF ABACUS CONSTRUCTION SVCS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.



ABACUS
 Engineering & Design Division
 1103 Aaron Drive
 Deltona, FL 32725
 407-456-5581

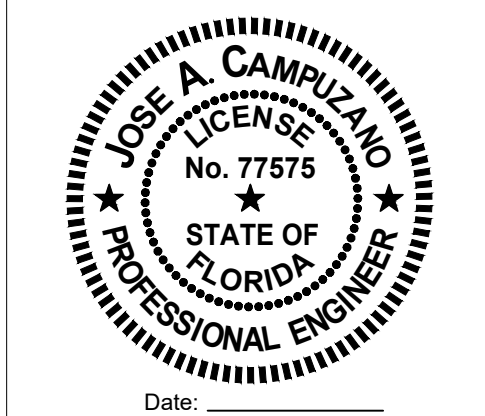
Owner:
 The Patricia A
 Neidlinger Trust
 683 Dunblane Dr Winter Park, FL 32792

Revisions:

#	Date	Description

HOUSE ADDITION
 683 Dunblane Dr.
 Winter Park, FL 32792

Project:
 Project No: **021220**
 Designer: **JC&C**
 Drawn: **kc**
 Checked: **JoseC**
 Date: **12/02/2020**



Date: Jose A. Campuzano, P.E.

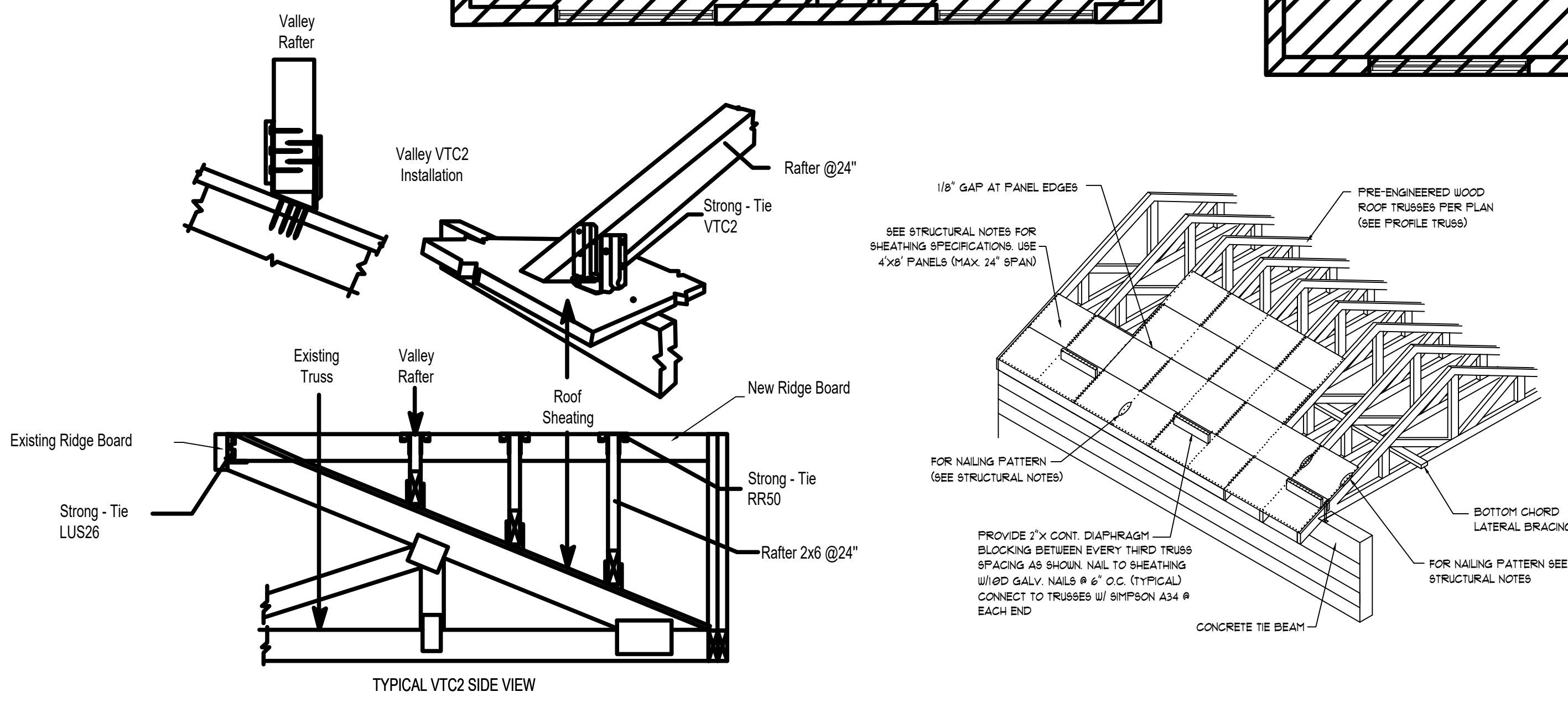
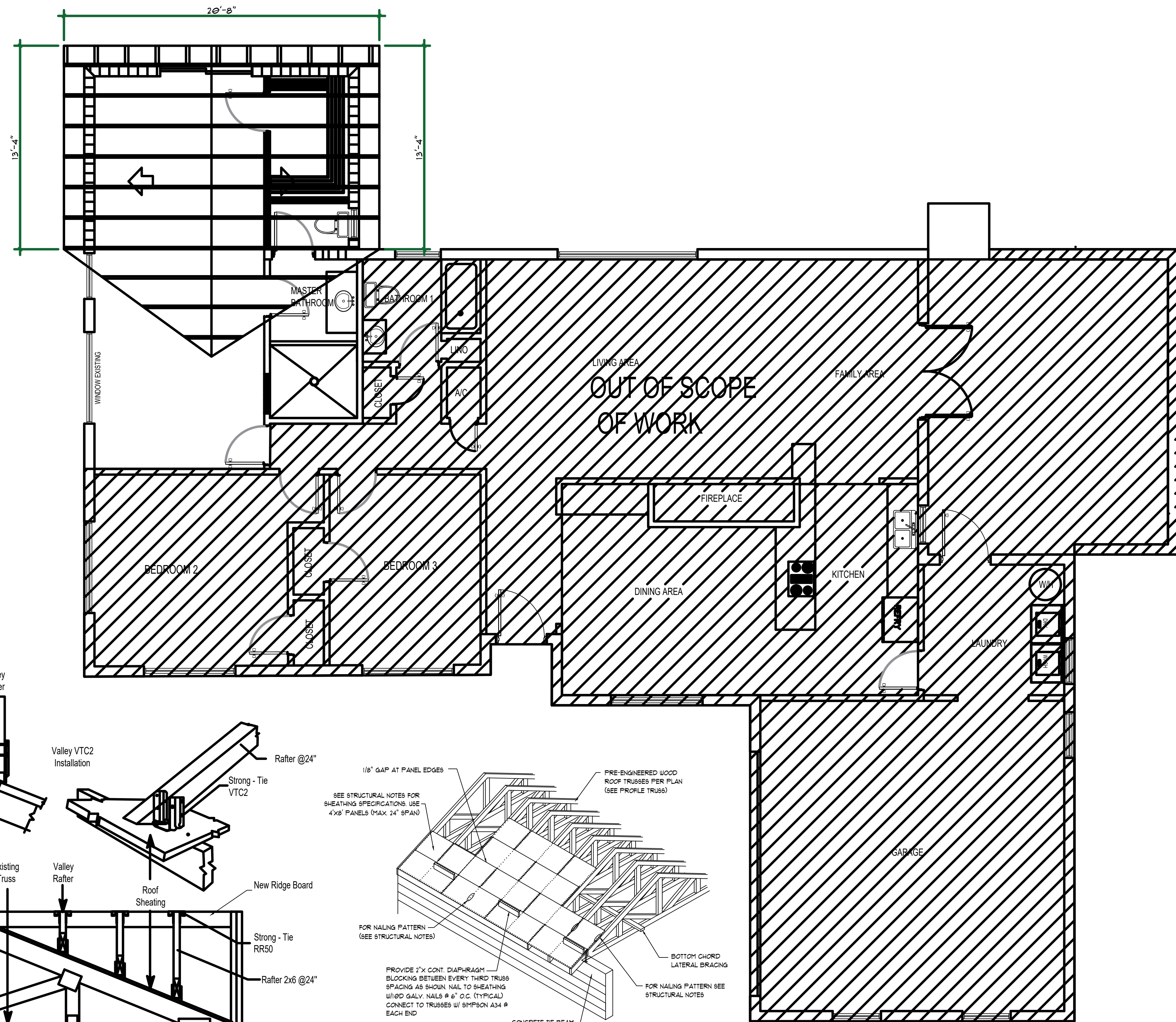
This item has been electronically signed and sealed by Jose Campuzano, P.E. on the Date and/or Time Stamp shown upon e-signing.

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Drawing Title:
FOUNDATION PLAN

Sheet No:
S1

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job. Abacus Construction Services, LLC must be notified immediately in writing of any variation from the dimensions and conditions shown on these drawings. Field conditions may require design changes to modify such conditions at the additional cost to the owner. Designer or architect's consent. Shop details must be submitted to the designer's office and reviewed by the designer prior to ordering materials. Fabrication and delivery to the job site, unless otherwise provided for under this specific contract agreement between the designer and client. Abacus Construction Services, LLC expressly reserves its common law copyright and other property rights in these documents. These documents are not to be reproduced, changed or copied in any form or manner without the written permission of the designer. Abacus Construction Services, LLC. In the event of a dispute, the final authority shall be the original documents. For any questions, contact the designer. Abacus Construction Services, LLC. For design services, contact the designer. Abacus Construction Services, LLC. For construction services, contact the contractor. Abacus Construction Services, LLC. For material supply, contact the supplier. Abacus Construction Services, LLC. For other services, contact the appropriate party. Abacus Construction Services, LLC.



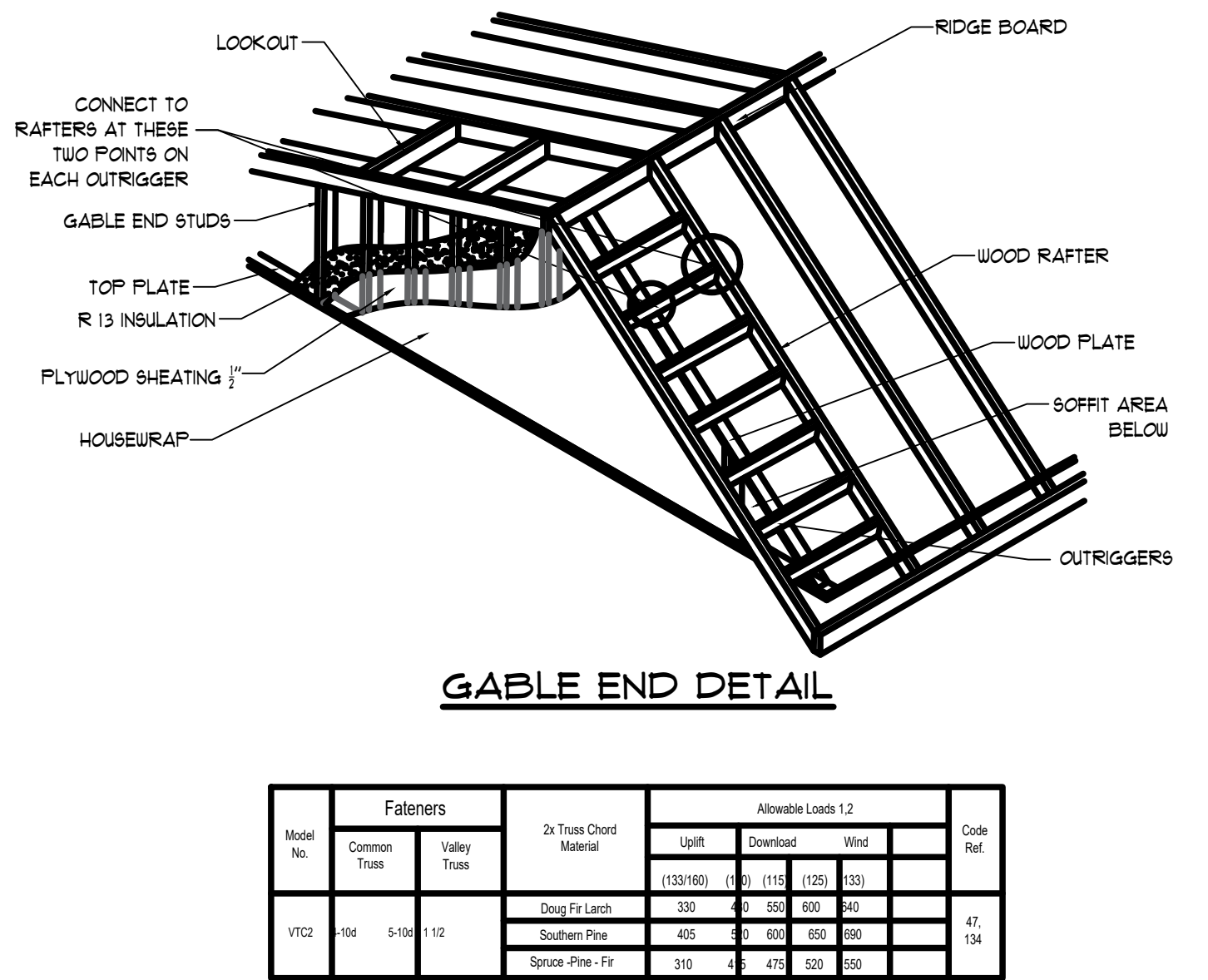
STRAP SCHEDULE

Model No.	Fasteners			
	To Joist	To Beam	To Joist	To Beam
H1Z	6-8d x 1 1/2"	4-8d x 1 1/2"	6-SD #9 x 1 1/2"	4-SD #9 x 1 1/2"
H2.5Z	5-8d x 1 1/2"	5-8d x 1 1/2"	5-SD #9 x 1 1/2"	5-SD #9 x 1 1/2"
H8Z	5-10d x 1 1/2"	5-10d x 1 1/2"	5-SD #9 x 1 1/2"	5-SD #9 x 1 1/2"

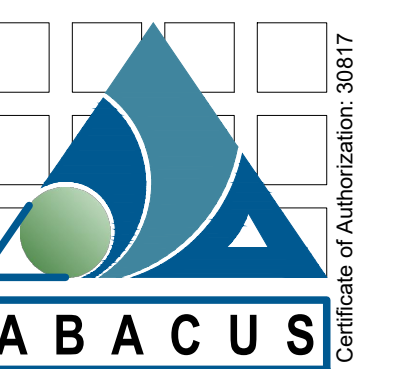
NOTE: TRUSS PROFILE SHOWN ARE CONCEPTUAL. VERIFY SIZE, SPACING, LOCATION & ENGINEERING W/ TRUSS MANUFACTURER.

Application	Product #	E1 (1600#)	E2 (1600#)	E3 (1600#)	Utility (1600#)
Girder Tiedown	USP LUGT2	1220	460	460	1850
	SIMPSON LUGT2	700	170	170	2150
Hurricane Connector	USP RT16M	630	480	115	1395
	SIMPSON HURPET	425	200	7	595

MASONRY STRAPS
NOT TO SCALE



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



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Revisions:

#	Date	Description

HOUSE ADDITION
683 Dunblane Dr.
Winter Park, FL 32792

Project:
Project No: **021220**
Designer: **JCA**
Drawn: **kc**
Checked: **Jose C**
Date: **12/02/2020**

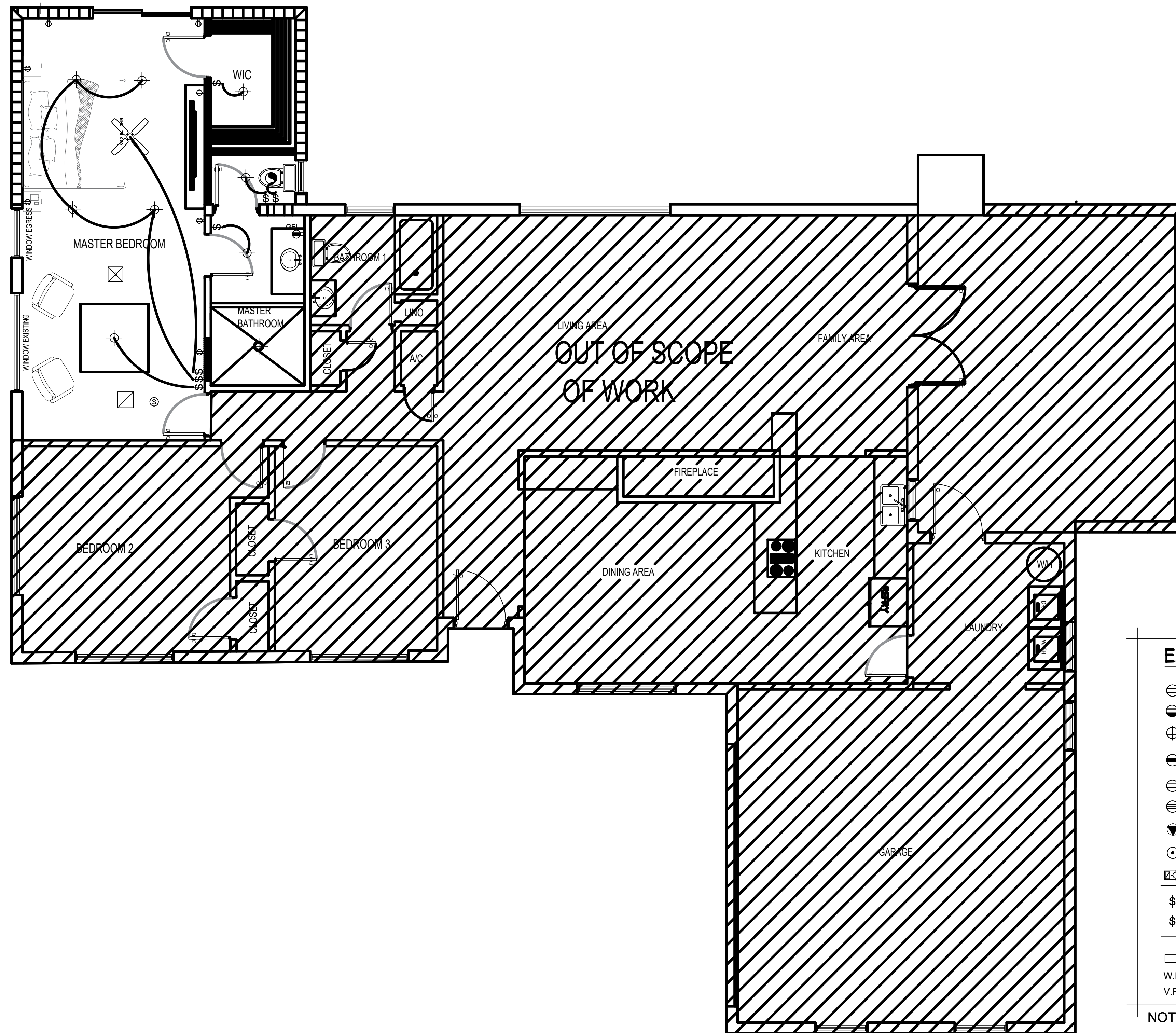
Professional Seal:
Date: _____
Jose A. Campuzano, P.E.

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Drawing Title:
ROOF FRAMING PLAN

Sheet No:
S2

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- SUPPLY DIFFUSER 10"x10"
- RETURN AIR GRILLE 16"x16"

- ELECTRICAL NOTES**
- INSTALLATION SHALL BE IN ACCORDANCE WITH N.E.C., ALL LOCAL AND STATE CODE REQUIREMENTS.
 - ALL MATERIALS SHALL BE UL APPROVED.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE FOR USE OF ALL TRADES AS REQUIRED FOR CONSTRUCTION.
 - ELECTRICAL CONTRACTOR SHALL VERIFY REQUIREMENTS, EXACT LOCATION AND TYPE OF OUTLET FOR ALL ELECTRICAL FIXTURES, APPLIANCES AND EQUIPMENT.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE ALL ELECTRICAL PERMITS.
 - ALL CONDUCTORS SHALL BE COPPER. THE MINIMUM SIZE SHALL BE #14 TW. CONDUCTORS, #6 AND LARGER SHALL BE THW.
 - ELECTRICAL CONTRACTOR TO COORDINATE TELEPHONE SERVICE.
 - PROVIDE A TYPED DIRECTORY FOR PANEL.
 - ALL OUTLETS, LIGHTS AND FANS SHALL BE CONNECTED TO 150 AMP PNL. ELECTRIC CONTRACTOR SHALL PULL SEPERATE ELECTRICAL PERMIT.
 - ALL CONDUIT SHALL BE GALVANIZED RIGID EXCEPT AS FOLLOWS:
 - EMT MAY BE USED INDOORS, OUT OF SOIL AND WHERE NOT SUBJECT TO PHYSICAL ABUSE. ROMEX MAY BE USED WHERE ALLOWED.
 - FLEXIBLE CONDUIT SHALL BE USED FOR EQUIPMENT CONNECTIONS NOT TO EXCEED 6 FEET.
 - PVC MAY BE USED OUTDOORS AS ALLOWED BY CODE.
 - ALL EQUIPMENT TO BE PROTECTED IN ACCORDANCE WITH N.E.C. 14

ELECTRICAL LEGEND

	DUPLEX CONVENIENCE OUTLET		CEILING MOUNTED LIGHT FIXTURE
	DUPLEX OUTLET - 1 SWITCHED		WALL MOUNTED LIGHT FIXTURE
	DUPLEX OUTLET @ 42" ABOVE FIN. FLR.		RECESSED LIGHT FIXTURE
	DUPLEX OUTLET W/ GROUND FAULT INTERRUPTER (GFI)		RECESSED LIGHT FIXTURE VAPOR PROOF
	DUPLEX OUTLET - WEATHER PROOF		FLUORESCENT LIGHT FIXTURE
	220 VOLT OUTLET		FLOOD LIGHT FIXTURE W/ PHOTOVOLTAIC CELLS
	DEDICATED 220 VOLT OUTLET		TELEPHONE
	CLG. OUTLET		THERMOSTAT
	GARAGE DOOR OPENER		CEILING FAN/LITE
	WALL SWITCH		150 AMP ELECTRICAL PANEL
	THREE WAY SWITCH		EXHAUST FAN
	DISCONNECT SWITCH		SMOKE DETECTOR
	WATERPROOF		CARBON MONOXIDE DETECTOR
	VAPOR BARRIER		

NOTE: May be NO all symbols could be used

ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

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Drawing Title:
ELECTRICAL PLAN

Sheet No:
E-1

