



Board of Adjustments regular meeting

July 28, 2020 at 4:30p.m.

Virtual Meeting

Register Online: cityofwinterpark.org/live-broadcasts

Agenda Items

Opening & public comments

Approval

Minutes for the February 18, 2020 Meeting

New business - *Rescheduled from March 17, 2020, due to pandemic*

1. Request of Ed Walker for a variance to allow the construction of 6-foot (opaque) vinyl fencing to the water's edge of a stream in lieu of the providing substantially open fencing within 50 feet of a stream.

Located at: 1430 Bonnie Burn Circle

Zoned: R-1AA

2. Request of Ian Duffy for a variance from to allow the construction of a two-story addition to be located 14.9 feet from the street side lot line on the first floor and 17.4 feet from the street side lot line on the second floor in lieu of the required setback of 20 feet to each floor.

Located at: 2463 Whitehall Circle

Zoned: R-1A

3. Request of Kyle Goone, on behalf of Paul & Amanda Smerge, for a variance to allow the construction of a new dock to extend approximately 50 feet into Lake Spier, in lieu of the maximum permitted distance of 30 feet.

Located at: 2050 St. George Avenue

Zoned: R-1A

New business

4. Request of Ruben Portalatin for a variance to allow the construction of a 6' high fence located 5' from the street side lot line, in lieu of the required setback of 15'.

Located at: 1671 Berkshire Ave

Zoned: R-1A

5. Request of Sheila Cichra, on behalf of John & Shelley Rife and Harry & Claudia Falk, for a variance to allow the construction of a boathouse located zero feet from the common lot line of 720 & 724 Via Bella, in lieu of the required side setback of 5' and allow 150 square feet of additional boathouse area at 720 Via Bella.

Located at: 720 & 724 Via Bella

Zoned: R-1AAA

6. Request of Sandi Swanson to reinstate a variance to allow the construction of a garage to be located in line with an existing nonconforming carport located 17 feet from the front lot line in lieu of the required front setback of 20 feet, which was approved by the Board of Adjustments on April 17, 2017.

Located at: 2600 Western Way

Zoned: R-1AA

7. Request of Jordan Strasberg, on behalf of Andreas Kunert & Brit Kelley, for a variance to allow the construction of a swimming pool, screen enclosure and cabana to be located 5' from the rear lot line, in lieu of the required setback of 10'.

Located at: 3032 Temple Trail

Zoned: R-1A

8. Request of Tommy Watkins, on behalf of Ken Cornell, for variance to allow the construction of a new home with a front setback of 15.5,' in lieu of the established setback of 22'.

Located at: 443 Carolina Ave

Zoned: R-1A

Adjourn

appeals & assistance

"If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based." (F.S. 286.0105).

"Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office (407-599-3277) at least 48 hours in advance of the meeting."



401 South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

Building & Permitting Services

TO: BOARD OF ADJUSTMENTS MEMBERS
FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS
DATE: *GW* March 17, 2020
SUBJECT: Walker VARIANCE REQUEST, 1430 Bonnie Burn Circle

The applicant is requesting a variance to allow the construction of 6-foot (opaque) vinyl fencing to the water's edge of a stream whereas Zoning Code requires that fencing within 50 feet of a stream be substantially open fencing.

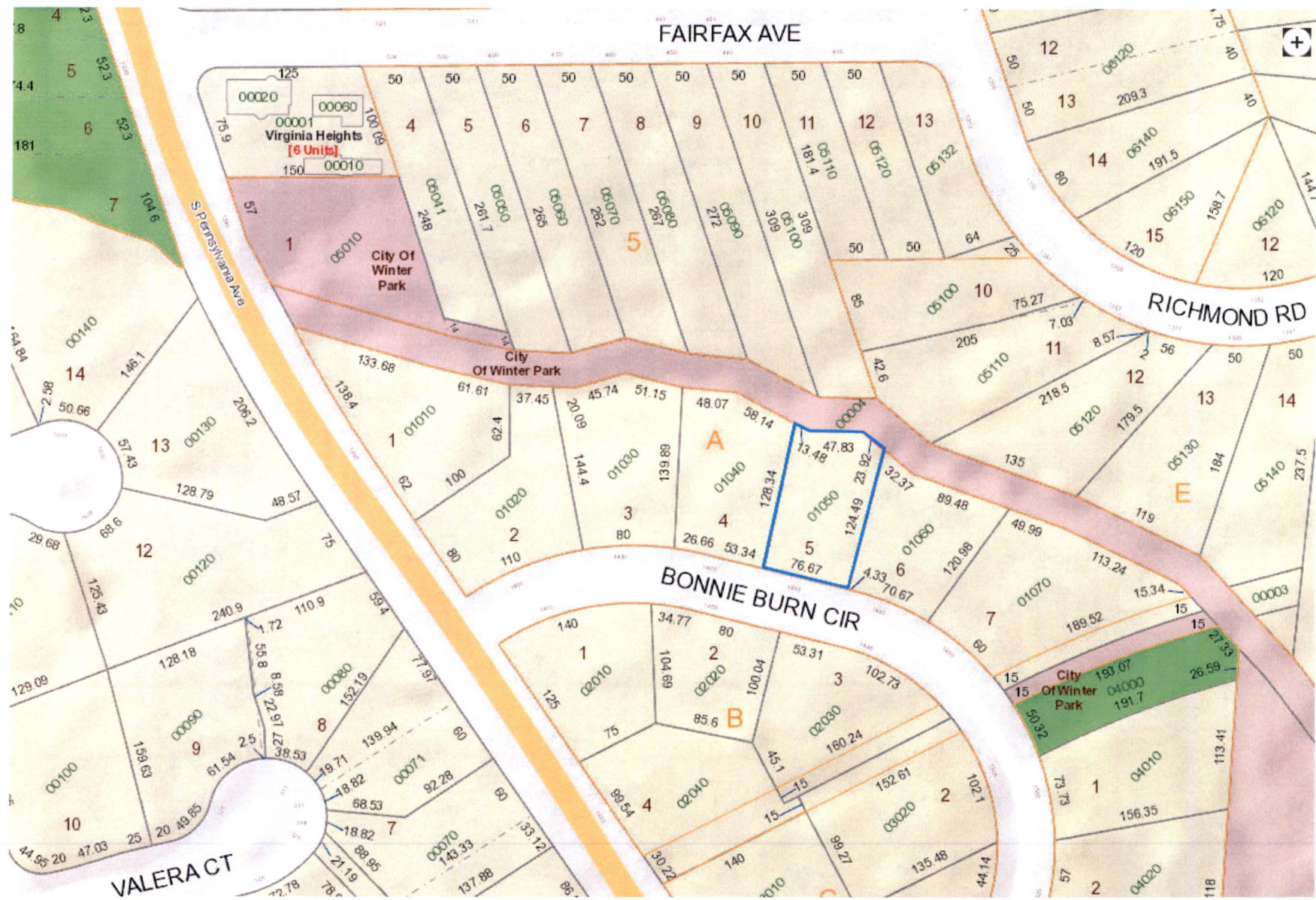
This residentially zoned property is located on the stream that runs from Lake Sue to Lake Virginia. This fence variance request is very similar to a variance requested last month to allow a 6' opaque vinyl fencing to extend to the shore line of Lake Killarney and replace open metal fencing. That request was denied due to the applicant's inability to provide a unique hardship that relates to the applicant's property. This applicant also wants to install 6' opaque vinyl down to a stream and within the 50 foot setback.

The purpose of this Zoning Code requirement which applies to both lakes and streams throughout the City, is to provide open views along shoreline for the last 50 feet of setback for these water bodies.

We have received two letters of non-objection from the abutting property owner at 1420 Bonnie Burn Circle who is on the west side of the applicant's property and from the owner at 1410 Bonnie Burn Circle which is one lot further west and not abutting the applicant's property.

Understanding that it may be difficult to prove a hardship as seen by last month's denial, the applicant has indicated agreement to accept a limited variance by placing the opaque fencing 10 feet back from the stream or perhaps there's another distance back that will serve the purpose of providing privacy as indicated in the application.

1430 Bonnie Burn Circle



VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT

RECEIVED

FEB 17 2020

Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received 2/17/2020
Assigned # 2
Date of Hearing MARCH 17

Applicant: ED WALKER

Owner: ED WALKER

1430 BONNIE BURN in
(Address)
WINTER PARK, FLA 32789
(City, State) (Zip)
407-325-0504
(Phone - Home)

1430 BONNIE BURN in
(Address)
WINTER PARK FL. 32789
(City, State) (Zip)
(Phone - Home)

(Phone - Work or Cell)
TEB WALKER 108 @ YAHOO.COM
(Email Address)

407-325-0504
(Phone - Work or Cell)
TEB WALKER 108 @ YAHOO.COM
(Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section 58-87, Subsection (d)(7), Zoning R-1AA.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of property 1430 BONNIE BURN in WINTER PARK, FLA
Legal description of property 32789

Describe variance request INSTALLATION of A 6 FOOT VINYL FENCE ON THE WEST SIDE of House ONLY TO THE CREEK

This section may be left blank for completion by city staff

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.

Variance Application
Page 2 of 2

What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

THE CREEK IS NOT USED FOR THE BOAT TOUR !!
IT IS ABOUT 5 FT WIDE + 2 1/2 FT DEEP

How long have you owned the property? 25 yr

How long have you occupied the property? 25 yr

What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?


THE PRIVACY IN OUR BACK PORCH + BREAKFAST AREA.

Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

IF THE FENCE ISN'T ALLOWED WE LOSE OUR PRIVACY COMPLETELY.

Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?

YES 10 FT FROM THE CREEK

 2-17-2020 ED WALKER
Signature of Applicant Date Name of Applicant (PRINT)

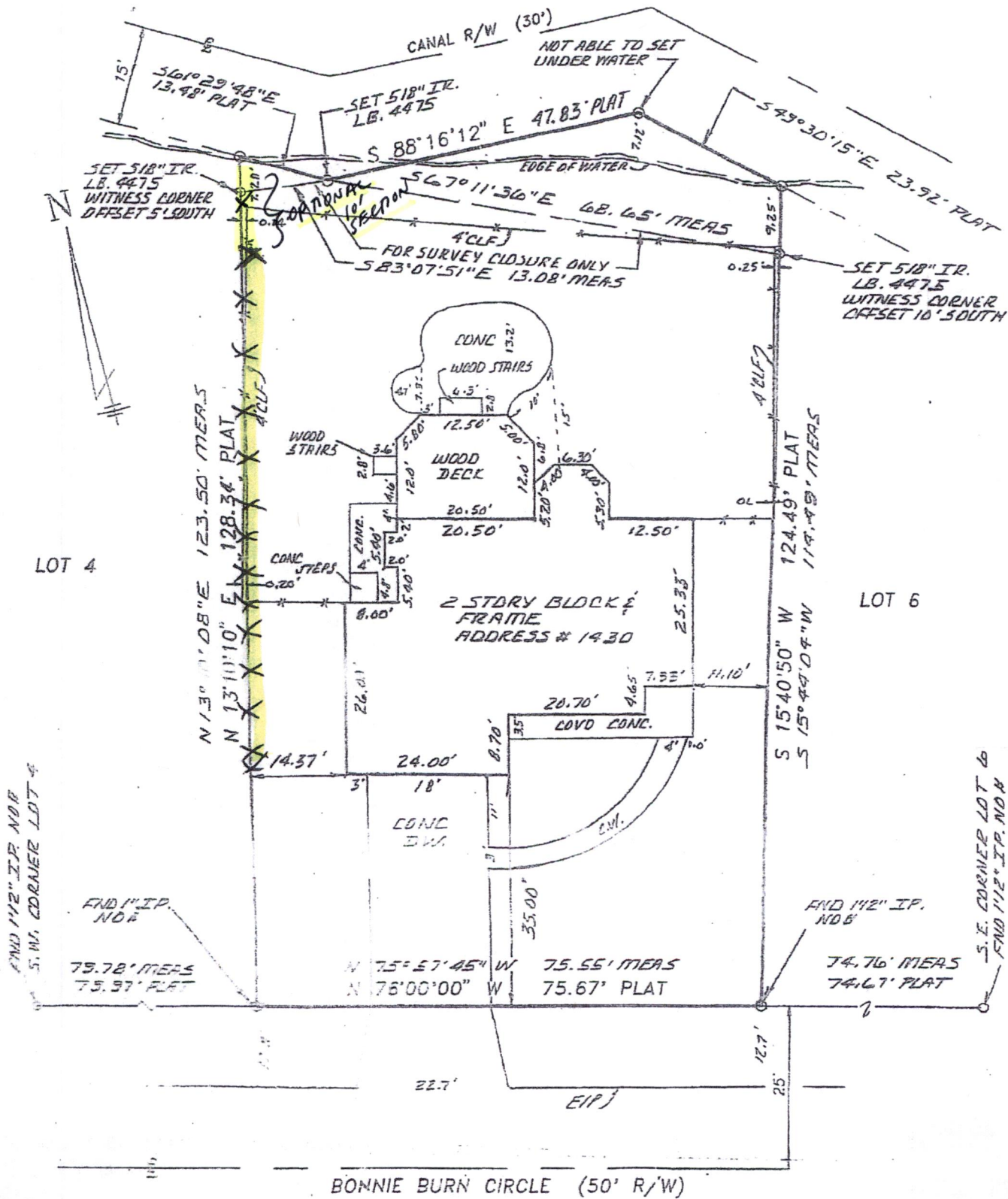
PLAT OF SURVEY DESCRIPTION

LOT 5, BLOCK "A", BANKS COLONIAL ESTATES,
AS RECORDED IN PLAT BOOK V, PAGE(S) 81, PUBL

81 , PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

1430 Bonnie Burn Circle
Winter Park, FL 32789

* Install 87' of 6' high
viny fence.



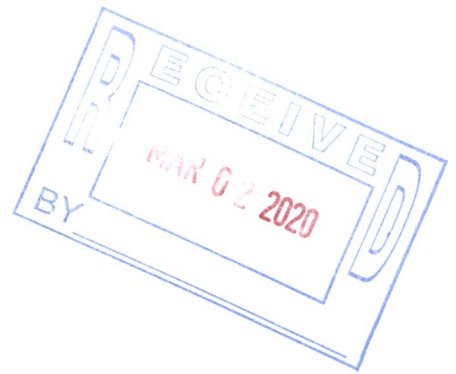
From: Michael Samuel <Michael.Samuel@seacoastbank.com>

Sent: Monday, March 2, 2020 11:30 AM

To: George Wiggins <Gwiggins@cityofwinterpark.org>

Cc: 'Courtney Samuel' <csamuel@lhps.org>

Subject: [External] 1430 Bonnie Burn Circle



George,

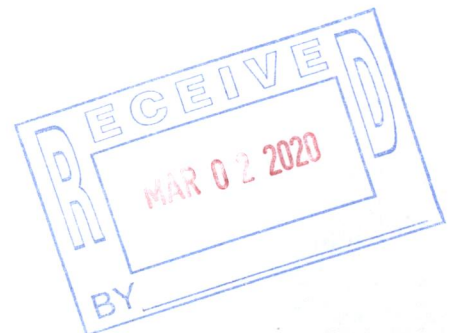
Hope all is well; My neighbor, Ed Walker at 1430 Bonnie Burn Circle, asked if I would concur with his request to put up a 6ft. vinyl fence, of which I did. I mentioned to him **the existing chain-link fence which is on and over the property line will have to be removed as a condition of my concurrence.** Please let me know if this email will suffice as my approval with condition of the existing chain-link fence being removed.

Thanks

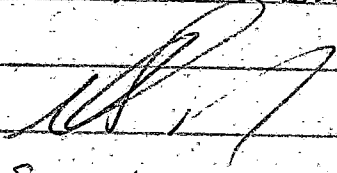
Michael Samuel

1420 Bonnie Burn Circle

Winter Park, Florida 32789



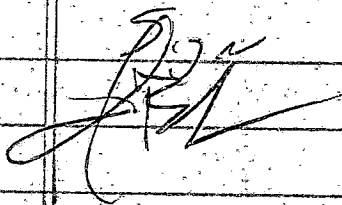
I don't have any objection to Ed Walker
having a 6 ft tall privacy fence installed
between our properties along the rear yards
to the creek. It would be between 1430
and 1430 Bonnie Burn Cir on the ~~left~~ ^{WEST} side.


Signature

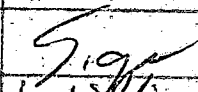
Michael Banner
Printed Name

1420 Bonnie Burn Cir
Winko Park, FL 32789

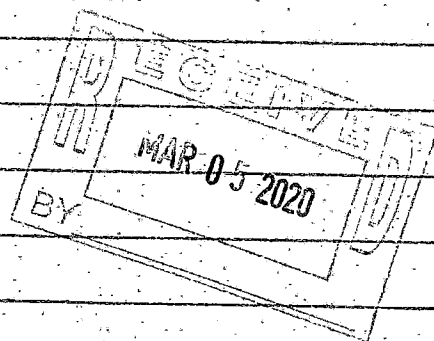
2-15-2020

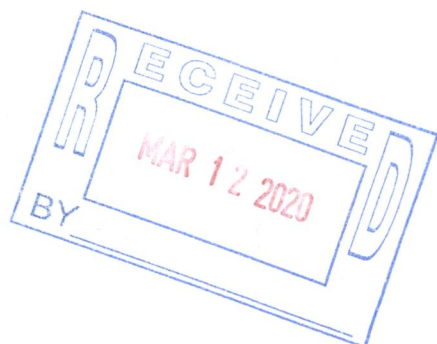


PRINT + ADDRESS
SUSAN KITCHER
1440 Bonnie Burn Cir


William C. Wilder

PRINT + ADDRESS
William C. Wilder
1410 Bonnie Burn Cir







1



2



3



4



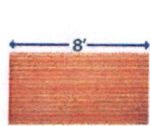
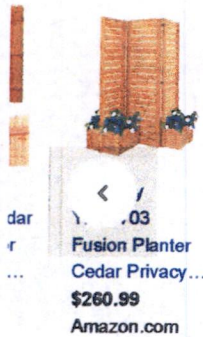
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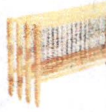
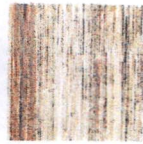
OPTIONAL FENCE TYPES

See 6 foot wood privacy fence

Sponsored



Slatwall Panels
- 4' x 8' -
Horizontal -
Knotty Pine
\$56.00
Store Supply W..



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Winter Park Privacy Fence | Superior Fence & Rail

Best Privacy Fence Style Selection, Great Prices, First-Class Service. Free Estimates. Create



6 foot wood privacy fence



Call Today, Save Huge on Fencing

Best Quality, Low Prices

Images for 6 foot wood privacy fence

pressure treated gate horizontal basic 2 rail backyard wood



→ More images for 6 foot wood privacy fence

People also ask

How much does a 6 foot privacy fence cost?



How much does a 6 foot wood fence cost?



[Home](#)

[Lumber & Composites](#)

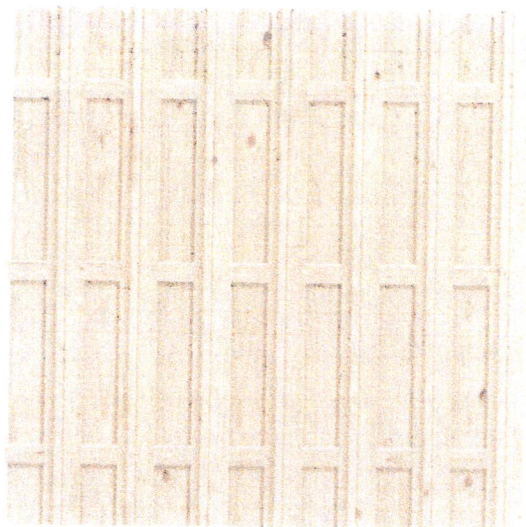
[Fencing](#)

[Wood Fencing](#)

[Wood Fence Panels](#)

Internet #205807713

Model # 204977



[Share](#)

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Outdoor Essentials

6 ft. x 6 ft. Pressure-Treated Cedar-Tone Wood Moulded Multi

St

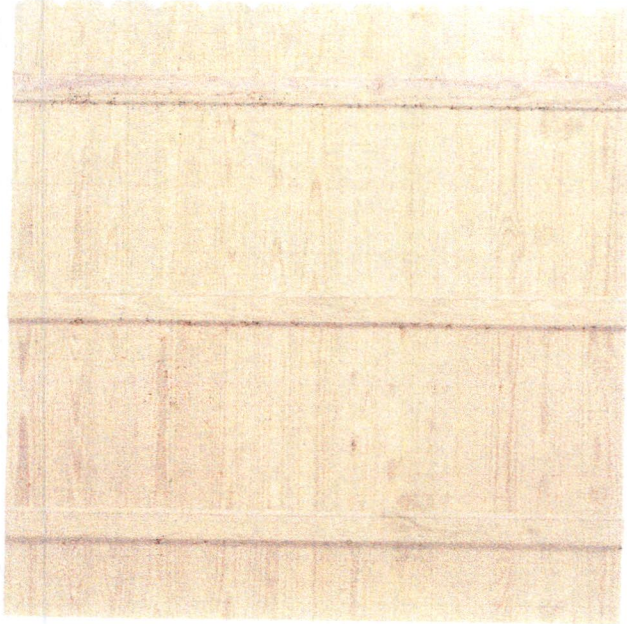
Outdoor Essentials

6 ft. x 6 ft. Pressure-Treated Cedar-Tone Wood Moulded Multi Style Fence Panel



[Home](#) / [Lumber & Composites](#) / [Fencing](#) / [Wood Fencing](#) / [Wood Fence Panels](#)

Internet #204146019 Model # 162523



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Outdoor Essentials


6 ft. x 6 ft. Pressure-Treated Cedar-Tone Moulded Wood Fence Panel Kit



Outdoor Essentials

6 ft. x 6 ft. Pressure-Treated Cedar-Tone Moulded Wood Fence Panel Kit



A photograph of a white vinyl fence with vertical slats and square posts. The fence runs across the middle of the frame. Behind the fence are various green plants, including palm-like trees. In the foreground, there is a dark, reflective surface, possibly a pool or a wet driveway, showing a reflection of the fence. A bright yellow rectangular sign is placed in the lower right foreground, partially obscuring the fence and the reflection. The sign has handwritten text in black ink.

PROPOSED
FENCE
TYPE











Theresa Dunkle

From: John & Jeana Dragash <jjdragash@embarqmail.com>
Sent: Monday, March 16, 2020 9:23 PM
To: George Wiggins
Cc: Theresa Dunkle
Subject: [External] 1430 Bonnie Burn Circle

[Caution: This email originated from outside the City of Winter Park email system. Before clicking any hyperlinks contained in the email, verify the real address by hovering over the link with your mouse. Do not open attachments from unknown or unverified sources.]

Dear Mr. Wiggins,

We have lived at 1357 Richmond Road since 1968. We are located directly across Howell Creek from 1430 Bonnie Burn Circle making us backyard neighbors with the creek in between.

We request that the Board of Adjustments DENY any type of fencing that does not comply with current regulations.

In our opinion, we do not see any hardship on any homeowner located on stream front lots or lakefront lots that would warrant any fencing that would not comply with current regulations.

We urge the Board of Adjustments to continue to protect the natural beauty of our lakefront and stream front lots within our still beautiful city.

Thank you for your consideration.

Respectfully,

John and Jeana Dragash



South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

Building & Permitting Services

TO: BOARD OF ADJUSTMENTS MEMBERS

FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS

DATE: *GW* March 17, 2020

SUBJECT: Duffy VARIANCE REQUEST, 2463 Whitehall Circle

The applicant is requesting a variance to allow the construction of a two-story addition to be located 14.9 feet from the street side lot line on the first floor and 17.4 feet from the street side lot line on the second floor whereas the required setback is 20 feet to each floor.

In order to provide additional living area and storage space onto an existing two story home, the owner proposes to enclose both floors of a balcony to increase the usable floor area. However, the end wall of this home is on a street side setback which today requires a setback of 20 feet and when the home was built in 1962 the street side setback was 10 feet for all homes on a corner which back up to rear yard another home on a corner which is the case here. Different rules applied when the rear yard of a corner lot backed up against a front yard of another corner lot.

The balcony and first floor enclosure result in an additional gross area of 188 square feet, which results in a total area of 2,502 square feet which is well below the permitted area of 3,910 square feet (43% FAR). A very minimal additional area of impervious coverage (27 sf) is needed for this project. In addition, no side wall articulation is required on a street side yard. In addition, for this additional side wall area no articulation is required on the interior side yard if the addition is less than 12 feet or does not result over 36 feet of wall.

We have received five letters of non-objection from nearby residents of Whitehall Circle.

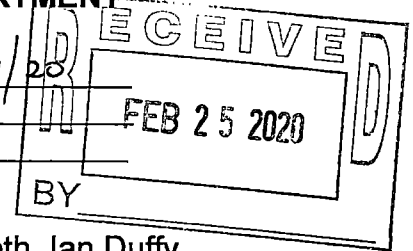
2463 Whitehall Circle



**CITY OF WINTER PARK
VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT**

Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received 3/17/20
Assigned _____
Date of Hearing _____



Applicant: Ian Duffy

Owner: Pooja Sheth, Ian Duffy

2463 Whitehall Cir.

Same as applicant

(Address)

(Address)

Winter Park, Florida 32792

(City, State) (Zip)

(City, State) (Zip)

(Phone – Home)

(Phone – Home)

305-915-8825

(Phone – Work or Cell)

(Phone – Work or Cell)

hello@ianduffy.com

(Email Address)

(Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section 58-71, Subsection (h)(2), Zoning R-1A.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of

property 2463 Whitehall Cir. Winter Park, FL 32792

Legal description of

property Lot 10, Block B, Brookshire Heights 3rd addition, as recorded in plat book Y, page 103, of the

public records of Orange County, Florida.

Describe variance

request Alter setback allowances to 14.9 ft for 1st floor and 17.4 ft for 2nd floor from current 20 ft and 22.5 ft

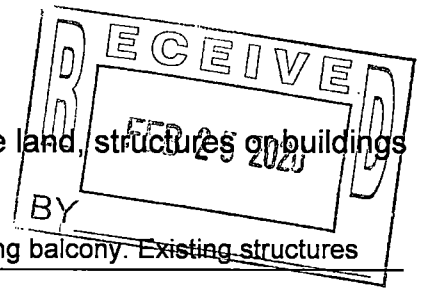
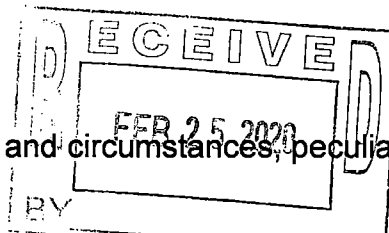
street-side setbacks for corner lot homes. Proposed design would enclose the existing balcony and porch under

existing roof overhang, extending the living and storage space for both floors.

This section may be left blank for completion by city staff

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.

Variance Application
Page 2 of 2



1. What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

Only viable option to increase living and storage space by enclosing the existing balcony. Existing structures

street-side (eastern) wall sits at 14.9 ft with an open balcony existing within the area of the variance request.

Proposed design extends the 1st floor eastern wall and offsets the additions 2nd floor eastern wall by 2.5 ft,

with setbacks of 14.9 ft and 17.4 ft respectively; 5.1 ft less than current setback requirements.

How long have you owned the property? 2.5 Years

How long have you occupied the property? 2.5 Years

2. What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

Total structure with addition will not alter existing footprint by more than 1ft and is under overall width and FAR

requirements for corner lots; additionally, side setbacks are more restrictive for corner lots.

3. Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

Existing eastern wall is already inside the current side setback at 14.9 ft. Bedrooms adjoin the balcony with

inswing doors and serve as egress exits, creating safety concerns in case of fire or storm. No current sidewall

articulation or contrasting materials, addition will increase insulation of thermal envelope for southern exposure,

update aesthetics and space/storage standards for modern homes. Additionally, the street right of way is 60 ft

rather than the typical Winter Park street right of way of 50 ft.

4. Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?

Unfortunately no, it would not be worth enclosing at another setback, existing openings prohibit other options.


Signature of Applicant

2.25.2020 Ian Duffy
Date

Name of Applicant (PRINT)

Comparable home variance



Front View - 2572 Fifeshire Dr

Similar property in the neighborhood which was approved on September 17, 2019 for a request to build an addition within existing footprint, encroaching on the current setbacks by 7' 8".

Hardship was the existing footprint of the home and the minimal visual minimal visual impact due to the additional 10' of right of way width.

Courtesy Rick Singh, CFA, Orange County Property Appraiser



- Florida Turnpike
- Interstate 4
- Toll Road
- Major Roads
- Public Roads
- Gated Roads
- Road Under Construction
- Proposed Road
- US Road
- State Road
- County Road
- Toll Ramp
- Interstate Ramp
- One Way
- Brick Road
- Rail Road
- Proposed SunRail
- Block Line
- Lot Line
- Residential
- Agriculture
- Commercial/Institutional
- Governmental/Institutional/Misc
- Commercial/Industrial/Vacant Land
- Hydro
- Waste Land
- Agricultural Curbage
- County Boundary
- Parks
- Golf Course
- Lakes and Rivers
- Building
- Power Plant

Banchory Rd

Banchory Rd

Fitzshire Dr

Little John Rd

Fortwshire Dr

Fitzwalter Dr

Cornwall Rd

St Dunstan Way

Whitehall Cir

Greene Dr

Sandwell Dr

APPROVED 9.17.19

PROPERTY IN QUESTION

2463

2572

Aloma



Board of Adjustments Minutes

September 17, 2019 at 5:00 p.m.

City Hall | Commission Chambers
401 S. Park Ave. | Winter Park, Florida

Present

Patrice Wenz (Chair), Phil Kean (Vice Chair), Michael Clary, Charles Steinberg, Aimee Hitchner, Ann Higbie and Tom Sacha. Director of Building, George Wiggins and Recording Clerk, Theresa Dunkle.

Meeting called to order

Approval of minutes

Motion made by Michael Clary to approve the August 20, 2019 minutes. Ann Higbie seconded the motion. The minutes were approved by a vote of 6-0. Aimee Hitchner arrived after approval of the minutes.

Opening statement and public comments

Patrice Wenz explained the rules of procedure for variance cases and opened the floor for any disclosures, public comments or questions. Ann Higbie disclosed she was approached by a neighbor regarding 2369 Forrest Road but did not get their name.

New business

1. Request of Z Properties, on behalf of Juan & Annette Diaz, for a variance to allow the construction of a detached garage, with an area of 820 square feet, located 5 feet from the NW side property line, in lieu of the required setback of 10 feet.

Located at 2369 Forrest Road, Zoned: R-1AA

George Wiggins Director of Building, gave the following summary:

Under the Zoning Code, a detached garage can be located 5 feet from the side property line if the maximum area of the garage is 600 square feet. Also, in order to qualify for the 5 foot side setback the garage must be located in the rear third of the lot depth.

In this case, the subject lot has a somewhat trapezoidal shape with the southwest corner of the lot narrowing substantially toward the rear. In order to orient the garage in line with the proposed home and still accommodate backing out of the garage, the front right side corner of the garage projects into the required 10 foot side setback. This results in having this corner at the five foot setback while the remainder of the garage side wall angles further into the lot and has the required 10 foot side setback at the rear of the garage.

In addition, the design of the garage has a limited height profile, by keeping the side walls at a height of 10 feet which is another requirement for garages and accessory buildings to meet in order to have a 5 foot side setback and 10 foot rear setback. Taller structures must meet the required setbacks of the home.

This property also abuts unincorporated Orange County and Orange County's Beeman Park, a large park on Lake Sue.

An email from the most affected adjacent property owner, expressing no objection to this request, was provided.

Mr. Wiggins presented a photograph of the previous home, which has since been demolished. It illustrated how far below the crown of the road the home will sit. He noted there will be a retaining wall in front of the new home due to this substantial drop in elevation.

Mr. Wiggins noted the reason this item is before the board is that it is 220 square feet over the 600 square foot allowed for a 5 foot side setback. However, the extra 220 square feet is not viewable from the street or from the most affected neighbor. He further reiterated that only one corner of the garage is within the minimum side setback. He highlighted the rear 10 foot setback, sidewall height and FAR is in compliance. The Board had no questions for the Building Official.

The applicant, Mr. Zane Williams with Z Properties at 271 N Pennsylvania Ave, stated his hardship is the difficulty positioning a front loading garage on such a steeply sloped lot.

In response to Board questions, Mr. Williams stated the homeowner desires a three car garage because the applicant's family has three cars. Mr. Williams stressed he has received approval from the most affected neighbor and the design poses no adverse effects to the other neighbors. He also clarified there is a creek behind the property which leads to the lake.

No one from the public wished to speak.

In closed session, the Board discussed options. Some felt that new construction should be designed within the established parameters. Others felt the design is commendable and the oddity of the lot deserves concessions.

Findings

The majority of the Board members felt the hardship is the steep slope and irregular shape of the lot, which substantially narrows at the rear. They determined these constraints limit the available locations for the proposed detached garage. However, some Board members expressed that no variance should be granted for a vacant lot.

Actions

Based on these findings, Phil Kean made a motion, seconded by Charles Steinberg, to approve the request. The requested variance was approved by a vote of 4-3, with Michael Clary, Patrice Wenz and Ann Higbie voting in opposition.

2. Request of Coreen Naugle for a variance to allow the construction of a second floor addition located 14.7 feet from the Fitzwalter street side property line, in lieu of the required setback of 20 feet.

Located at 2572 Fifeshire Drive, Zoned: R-1A

George Wiggins Director of Building, gave the following summary:

This corner lot property has a lot width of 84.5 feet and length of 110 feet along the side street, Fitzwalter Drive. Under the current Zoning Code the required street side setback is 20 feet, whereas previously (approximately 20 years ago) the required setback was 15 feet. The home was built in 1962.

The owner wishes to expand the second floor master bedroom for additional living area along with a walk-in closet and an open covered balcony area. This expanded area will occur directly over the existing garage and utility room. The roof covered addition projects 9 feet from the existing second floor east side wall and extends 26 feet in length.

One unique feature for this lot and other properties in this area is that both Fitzwalter and Fifeshire Drives have right of way widths of 60 feet versus the normal residential right of way width of 50 feet. This has the visual and actual impact of having 5 feet of additional yard area on each street front. Adding this extra distance (5 feet) to the Fitzwalter Drive side of the home gives the appearance of having a 19.7 foot setback instead of 14.7 feet.

The proposed addition is well under the allowable maximum floor area and well under the maximum allowable impervious coverage for this lot which has an area of 9,288 square feet.

The applicant provided six letters of non-objection for this request.

Mr. Wiggins noted the lot size is similar to other homes in the area and that a portion of the existing balcony will be retained with a 2nd floor covered porch area.

In response to Board questions, Mr. Wiggins responded that the uniqueness to this lot is the sixty foot right of way. He confirmed typically street side 2nd floor setbacks for lots over 65 feet are 22.5 feet for new construction.

No one from the public wished to speak and the applicant elected not to speak. The Board felt they could render a decision without further discussion.

Findings

The Board noted the addition is within the existing footprint of the home and determined it is of minimal visual impact due to the additional 10ft of right of way width. They determined the hardship is the existing location of the home.

Actions

Based on these findings, Michael Clary made a motion, seconded by Tom Sacha to approve the request as presented. The requested variance was approved by a vote of 7-0.

The meeting was adjourned at 5:33 pm.

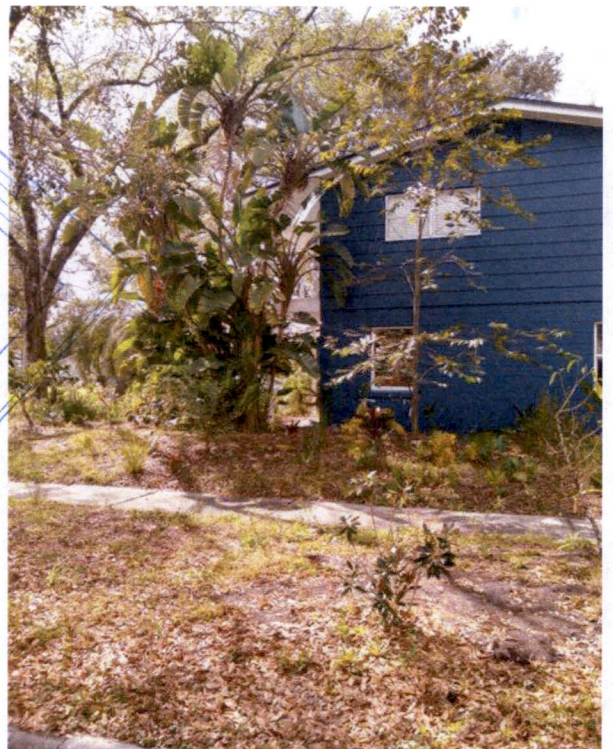
Theresa Dunkle, Recording Clerk



Current front (southern) elevation 2463 Whitehall Cir.



Entry as seen from
driveway



Eastern side view
from street



Crack through
concrete pad should
be replaced



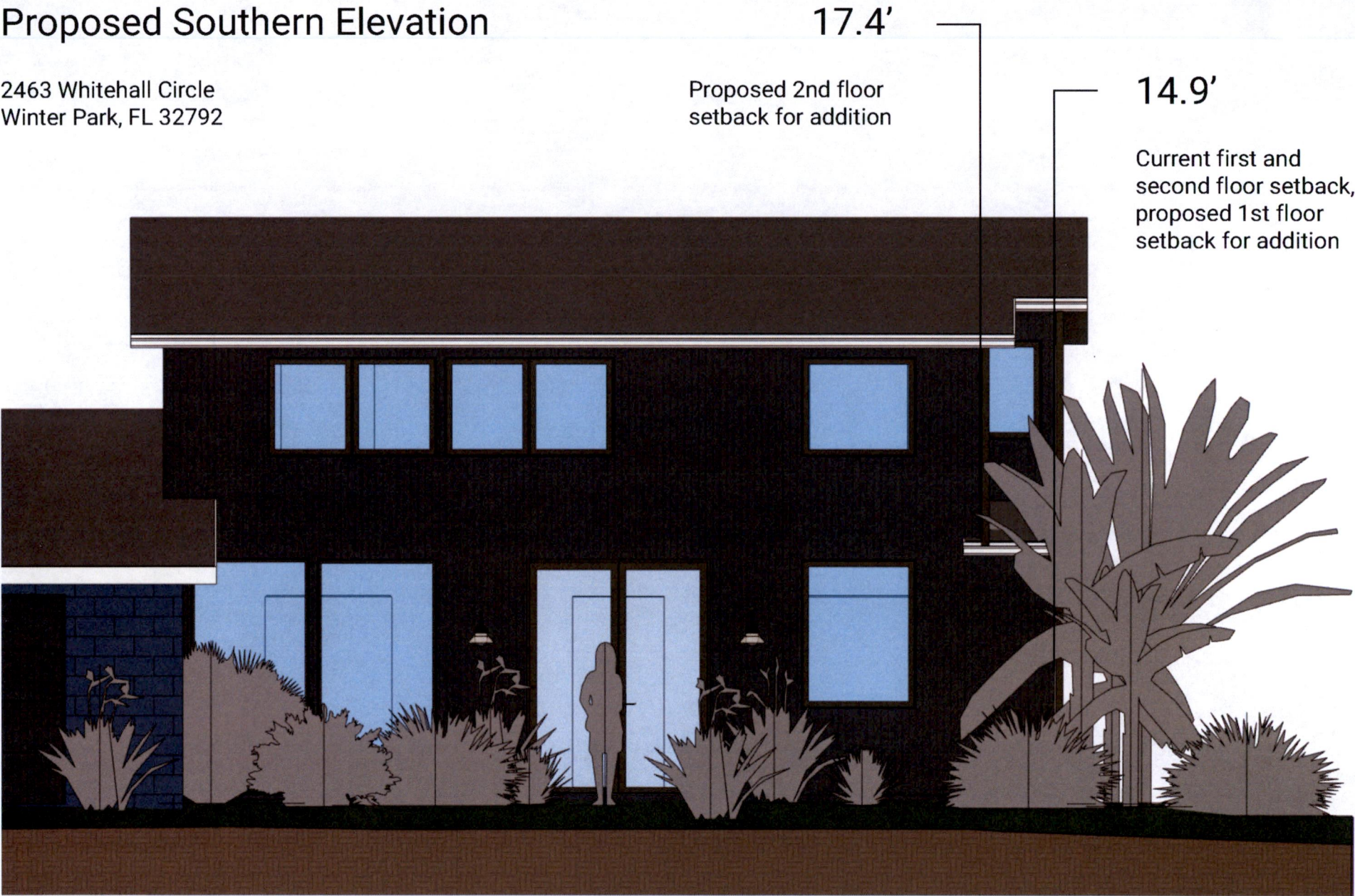
Lower column is
completely
disconnected, not
supporting upper floor

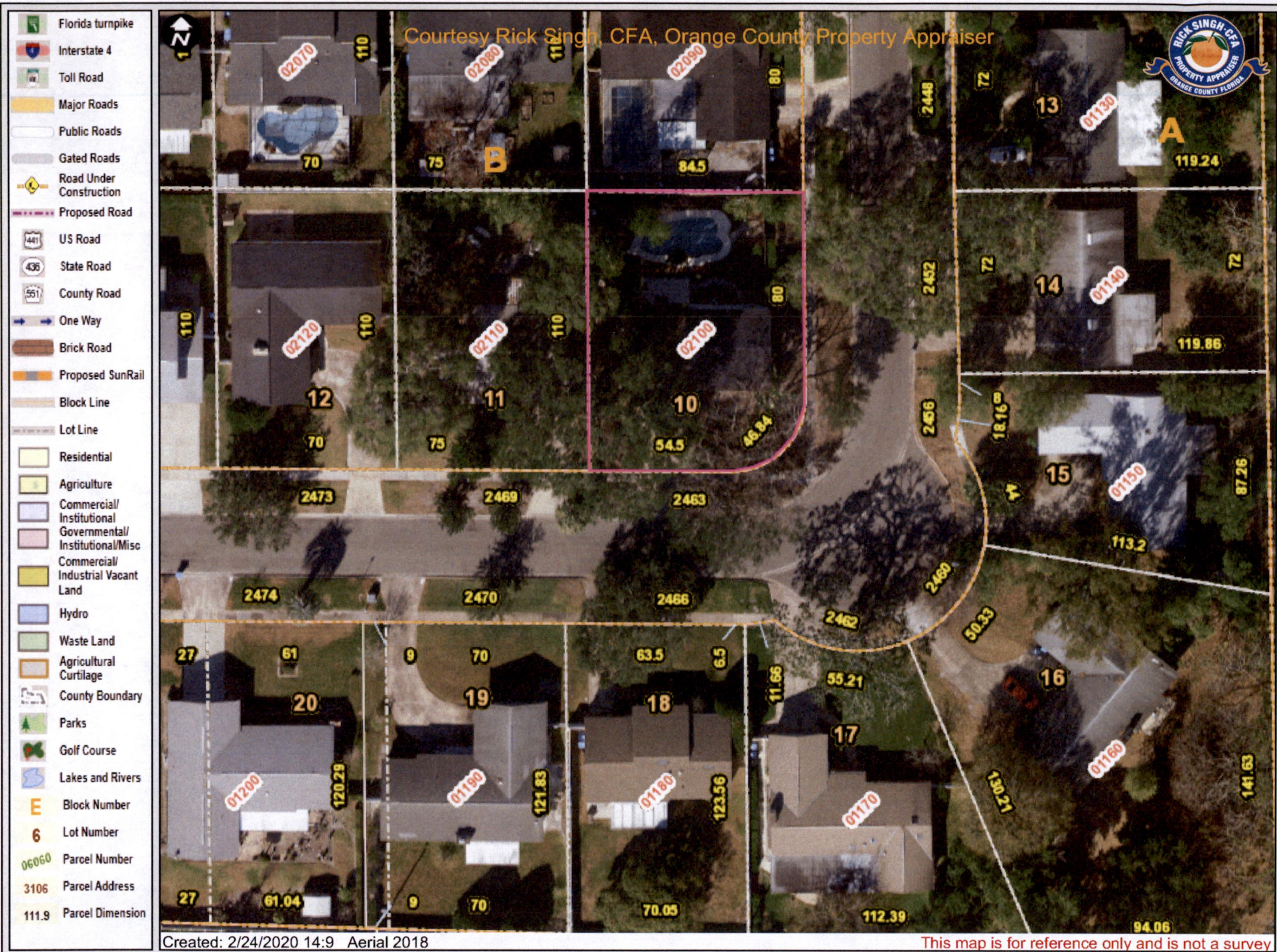


Sheathing and
probably framework
is rotten and should
be replaced

Proposed Southern Elevation

2463 Whitehall Circle
Winter Park, FL 32792





Board of Directors,

I James Beers a neighbor of Pooja Sheth and Ian Duffy, have reviewed the renovation plans to enclose the existing balcony of 2463 Whitehall Circle, which proposes an encroachment of 5.1' on the designated setbacks for both the 1st and 2nd floors.

I understand that the current allowance for corner lot street-side setbacks is 20' for the 1st floor and 22.5' for the 2nd floor, and the proposed design would require a variance for a 14.9' and 17.4' setback respectively.

I have no objection for a variance on the current setbacks and grant permission to enclose the existing balcony at 2463 Whitehall Cir. Winter Park, Florida 32792.

Thank you.

James Beers

(Signature)

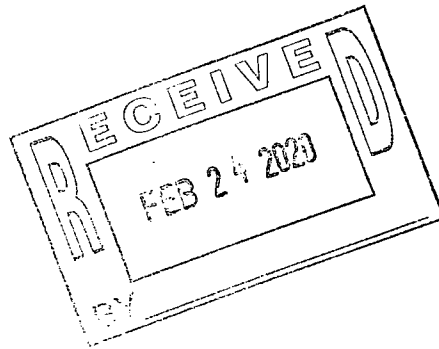
2/23/2020

(Date)

2452 Whitehall Circle

Winter Park, FL 32792

(Property Address)



Board of Directors,

I Lynne Tilleman a neighbor of Pooja Sheth and Ian Duffy, have reviewed the renovation plans to enclose the existing balcony of 2463 Whitehall Circle, which proposes an encroachment of 5.1' on the designated setbacks for both the 1st and 2nd floors.

I understand that the current allowance for corner lot street-side setbacks is 20' for the 1st floor and 22.5' for the 2nd floor, and the proposed design would require a variance for a 14.9' and 17.4' setback respectively.

I have no objection for a variance on the current setbacks and grant permission to enclose the existing balcony at 2463 Whitehall Cir. Winter Park, Florida 32792.

Thank you.

Lynne M. Tilleman
(Signature)

2/24/20
(Date)

2456 Whitehall Circle
Winter Park, FL 32792
(Property Address)

Board of Directors,

I, Rebecca Willis a neighbor of Pooja Sheth and Ian Duffy, have reviewed the renovation plans to enclose the existing balcony of 2463 Whitehall Circle, which proposes an encroachment of 5.1' on the designated setbacks for both the 1st and 2nd floors.

I understand that the current allowance for corner lot street-side setbacks is 20' for the 1st floor and 22.5' for the 2nd floor, and the proposed design would require a variance for a 14.9' and 17.4' setback respectively.

I have no objection for a variance on the current setbacks and grant permission to enclose the existing balcony at 2463 Whitehall Cir. Winter Park, Florida 32792.

Thank you.

Rebecca Willis

(Signature)

2/23/2020

(Date)

2434 Whitehall Cir.
Winter Park, FL 32792

(Property Address)

Board of Directors,

I Norma Willis a neighbor of Pooja Sheth and Ian Duffy, have reviewed the renovation plans to enclose the existing balcony of 2463 Whitehall Circle, which proposes an encroachment of 5.1' on the designated setbacks for both the 1st and 2nd floors.

I understand that the current allowance for corner lot street-side setbacks is 20' for the 1st floor and 22.5' for the 2nd floor, and the proposed design would require a variance for a 14.9' and 17.4' setback respectively.

I have no objection for a variance on the current setbacks and grant permission to enclose the existing balcony at 2463 Whitehall Cir. Winter Park, Florida 32792.

Thank you.

Norma J. Willis

(Signature)

2/23/2020

(Date)

2466 Whitehall Cir.
Winter Park, FL 32792

(Property Address)

Board of Directors,

I, Michael E. Morrow a neighbor of Pooja Sheth and Ian Duffy, have reviewed the renovation plans to enclose the existing balcony of 2463 Whitehall Circle, which proposes an encroachment of 5.1' on the designated setbacks for both the 1st and 2nd floors.

I understand that the current allowance for corner lot street-side setbacks is 20' for the 1st floor and 22.5' for the 2nd floor, and the proposed design would require a variance for a 14.9' and 17.4' setback respectively.

I have no objection for a variance on the current setbacks and grant permission to enclose the existing balcony at 2463 Whitehall Cir. Winter Park, Florida 32792.

Thank you.


(Signature)

2/23/20
(Date)

2448 WHITEHALL CIR
W.P. FL 32792
(Property Address)

Board of Directors,

I MARY ANNE HOLIHAN a neighbor of Pooja Sheth and Ian Duffy, have reviewed the renovation plans to enclose the existing balcony of 2463 Whitehall Circle, which proposes an encroachment of 5.1' on the designated setbacks for both the 1st and 2nd floors.

I understand that the current allowance for corner lot street-side setbacks is 20' for the 1st floor and 22.5' for the 2nd floor, and the proposed design would require a variance for a 14.9' and 17.4' setback respectively.

I have no objection for a variance on the current setbacks and grant permission to enclose the existing balcony at 2463 Whitehall Cir. Winter Park, Florida 32792.

Thank you.

Mary Anne Holihan
(Signature)

2/22/2020
(Date)

2470 WHITEHALL CIR.
W.P. FL. 32792

(Property Address)



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

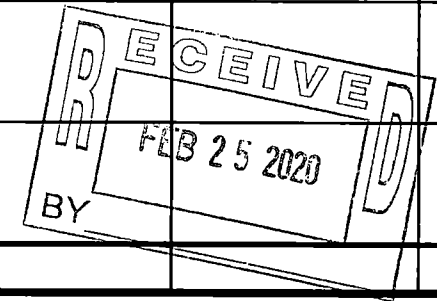
Address: 2463 Whitehall Cir. Winter Park, FL 32792

Lot width²: 84.5

Submitted by: Ian Duffy

Lot area³: 9092

	Maximum % Allowed ⁴	Existing Area ¹¹	Additional Proposed Area ¹¹	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.	2 story - 50%	3,104	27	3,131	4,546
	1 story - 60%				
FLOOR AREA RATIO (F.A.R.)^{5,6,7} For one and two story bldgs (include 1st & 2nd floors, garages/carports, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁸ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁹ .	Lots < 11,600 sf: Use <u>38%</u> Base FAR or w/ increased side setbacks: <u>43%</u> Max FAR	2,214	288	2,502	3,455
	Lots 11,600 sf to 13,600 sf Use <u>4,500 sf</u> Base area & <u>5,200 sf</u> Maximum area				
	Lots > 13,600 sf Use <u>33%</u> Base FAR or w/ increased side setbacks: <u>38%</u> Max FAR				
SCREEN POOL ENCLOSURE	8% ¹⁰				

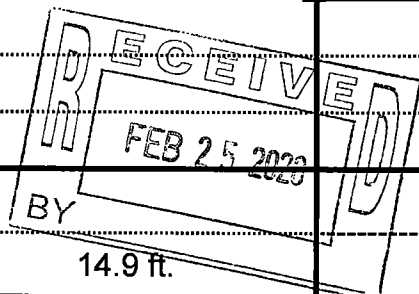


	Minimum % Required	Existing Area ¹¹	Landscape Area Reduced ¹¹	New Total Area	Minimum Required Area
FRONT YARD LANDSCAPE COVERAGE Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious). Front Lot Area:	50%	3,013	27	2,986	1,506

NOTES:

1. Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director. For a proposed home, determine the front setback as described on page 2.
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
6. Area forming a room behind 2nd floor walls shall be included in the gross floor area.
7. See page 3 on how to achieve maximum F.A.R.
8. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
9. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area.
10. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
11. These columns only apply to existing homes.

SETBACKS (complete boxes A and B first)

	Minimum Allowable Dimensions			Existing ¹³	Proposed
FRONT	Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.			29.4 ft.	No Change
SIDES ^{1,2} (see other side setback options on pg 4)	1st Floor	See pages 3&4	A	Left	Right
	2nd Floor		B		
REAR ^{1,3,4}	1st Floor	25 ft.			
	2nd Floor	35 ft ⁵			
	Lakefront	see note 6			
CORNER LOT	1st Floor	Lot width ≤ 65 ft.	15 ft.	14.9 ft.	No Change
		Lot width > 65 ft ⁷	20 ft.		
	2nd Floor	Lot width ≤ 65 ft.	15 ft.	14.9 ft.	17.4 ft.
		Lot width > 65 ft ⁷	22.5 ft.		
BUILDING HEIGHT ^{8,9,10,11,12}	30 ft. - 35 ft. plus 2 ft. or 40 ft. (see notes 11 & 12)				

Notes:

- Any building wall that exceeds 12 ft. in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
- Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft. and interior side setback is 5 ft. minimum (no gable end allowed) for garages up to 600 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
- Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. For lots that are 75ft deep or less a first floor setback of 10ft and a second floor setback of 25ft is allowed. For lots which are 105ft deep or less a first floor setback of 15ft and a second floor setback of 30ft is allowed.
- Accessory buildings: garage/carport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. . Other accessory buildings used for habitation shall meet setbacks of the main residence.
- The rear setback may be reduced to 25 ft. for two-story components when those consist of a second story loft or mezzanine that is within the normal scale and 18-ft max height of a typical one-story structure.
- Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft. or 50 ft., whichever is greater, measured from ordinary high water line.
- Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft. with 1st and 2nd floor setbacks of 25 ft. may reduce the rear setback by 5 ft. on each floor.
- Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
- No building or portion thereof shall exceed 30 ft. in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft. additional building height.
- Accessory building that exceeds 18 ft. in height shall meet the same setbacks as the principal building on the property.
- Properties or lots with at least 80 ft. of width at the building line are permitted to have a building height of 35 ft. if the side setbacks are increased to 20 ft. at 30 ft. above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft. of additional building height.
- Properties or lots exceeding 50,000 sq.ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft. if side setbacks are increased to 35 ft. to the portion of the roof over 30 ft. in height.
- This column only applies to existing homes.

COVER PAGE

SET OF DRAWINGS

FOR:



DUFFY RESIDENCE BALCONY RENOVATION

2463 WHITEHALL CIR WINTER PARK, FL 32792

COVER
PAGE

ARCHITECTURE & PLANNING

• STATE OF FLORIDA
PROFESSIONAL ENGINEER
MINSHENG XIE, Ph.D., P.E.
FLORIDA, P.E. # 51161

ASE ENGINEERING SERVICES
10244 E. COLONIAL DR. SUITE 202
ORLANDO, FL 32817
(407) 677-5565

SQ.FT. CALC.'S

TOTAL AREA OF BALCONY RENOVATION 280 SQ. FT.

INDEX OF DRAWINGS

SHEET # DESCRIPTION

CP -COVER PAGE
SP -SITE PLAN
A1.01 -EXISTING BALCONY FLOOR PLANS
-NEW FLOOR PLANS FOR BALCONY RENOVATION
-NEW ELECTRICAL PLANS FOR BALCONY RENOVATION
A1.02-A1.03 -NEW ELEVATIONS FOR BALCONY RENOVATION
A1.04 -NEW SECTIONS FOR BALCONY RENOVATION
S1.00 -GENERAL NOTES
S1.01 -NEW FOUNDATION PLAN FOR BALCONY RENOVATION
-NEW FLOOR PLAN FOR BALCONY RENOVATION
-NEW ROOF PLAN FOR BALCONY RENOVATION
-NEW DETAILS FOR BALCONY RENOVATION

DESIGN CRITERIA:

- FLORIDA BUILDING CODE (FBC) 2010 RESIDENTIAL
- 2010 FLORIDA FIRE PREVENTION CODE
- NATIONAL ELECTRICAL CODE (NEC) - 2008 EDITION
- ALL LOCAL AND STATE CODES
- OCCUPANCY - RESIDENTIAL, GROUP R3
- CONSTRUCTION TYPE - VB
- MIN. INTERIOR FINISH - CLASS B
- BASIC WIND SPEED(VULT)- 140 MPH EXPOSURE B
- 1-STORY RESIDENCE - MAX. HEIGHT AS PER LOCAL AND STATE CODES
- 2-STORY RESIDENCE - MAX. HEIGHT AS PER LOCAL AND STATE CODES
- SEE STRUCTURAL DRAWINGS FOR MORE INFO
- SPECIFIC PARAMETERS FROM FBC 6TH EDITION (2017) USED FOR DESIGN INCLUDE:
 - CONCRETE MASONRY RESIDENTIAL
 - CONSTRUCTION WOOD FRAME CONSTRUCTION
 - AMERICAN SOCIETY OF CIVIL ENGINEERS 7-10

REVISIONS

DATE DESCRIPTION



This item has been electronically signed and sealed by
Minsheng Xie, P.E. on the date shown on the time stamp
using a digital signature.
Printed copies of this document are not considered
signed and sealed and the signature must be verified
on any electronic copies.

Digitally signed by Minsheng
Xie
DN: c=US, st=Florida,
l=Orlando, o=ASE
ENGINEERING SERVICES, INC.,
cn=Minsheng Xie,
email=mason@aseiicorp.com
Date: 2020.01.30 14:27:45
-05'00'

ASE ENGINEERING SERVICES, INC.
10244 E. COLONIAL DRIVE, SUITE 202
ORLANDO, FLORIDA 32817
TEL: 407-677-5565 FAX: 407-730-2999
CERTIFICATE OF AUTHORIZATION NO. 25875

REVISIONS

DATE
REVISION

DUFFY RESIDENCE
BALCONY RENOVATION
2463 WHITEHALL CIR
WINTER PARK, FL 32792

PROJECT #:

DRAWN: EV

APPROVED:

DATE: 01/31/20

SHEET

CP

BOUNDARY SURVEY

LEGAL DESCRIPTION:

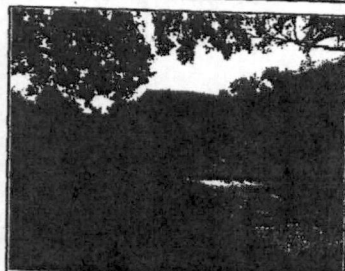
LOT 10, BLOCK B, BROOKSHIRE HEIGHTS 3RD ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK V, PAGE 103, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

FLOOD INFORMATION:

BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN CITY OF WINTER PARK, COMMUNITY NUMBER 120188, DATED 09/25/2009.

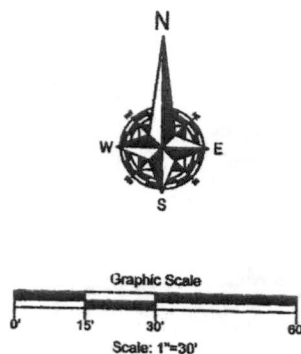
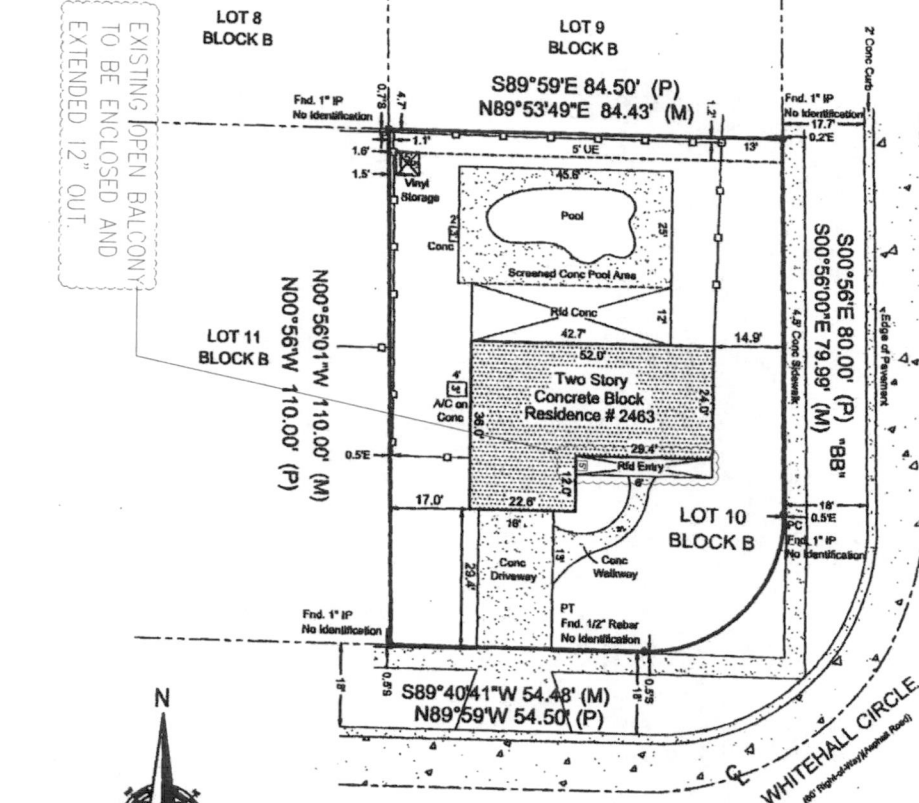
CERTIFIED TO:

POOJA SHETH ; GRAYROBINSON, P.A.; FIDELITY NATIONAL TITLE INSURANCE COMPANY; LAKE MICHIGAN CREDIT UNION



2463 WHITEHALL CIRCLE WINTER PARK, FLORIDA 32789

EXISTING OPEN BALCONY
TO BE ENCLOSED AND
EXTENDED 12" OUT.



DELTA = 90°57' (P)
R = 29.51' (P)
L = 46.84' (P)
CHORD
S44°32'30"W 42.07' (C)
S44°37'47"W 41.94' (M)

Field Date: 9/18/2017 Date Completed: 9/21/2017
Drawn By: D.C. File Number: JS-40960

Legend	
C	Calculated
CB	Concrete Block
CM	Concrete Monument
Conc.	Concrete
D	Description
DE	Drainage Easement
Easmt.	Easement
F.E.M.A.	Federal Emergency Management Agency
FFE	Finished Floor Elevation
Fnd.	Found
S'	Iron Pipe
L	Length (Arc)
M	Measured
N&D	Non-Radial
N.R.	Official Records Book
ORB	Plat
P	Plat Book
P.B.	Wood Fence
-C-	
PC	Point of Curvature
Pg	Page
PI	Point of Intersection
P.O.B.	Point of Beginning
P.O.L.	Point on Line
PP	Power Pole
PRM	Permanent Reference Monument
PT	Point of Tangency
R	Radius
R&C	Radial
R&C	Radial & Cap
Res.	Recovered
RSL	Roofed
Set	Set 1/2" Rebar & Cap 1/2" Rebar
Typ.	Typical
UE	Utility Easement
Well	Water Well
Δ	Delta (Central Angle)
-O-	Chain Link Fence

NOTES:
> Survey is Based upon the Legal Description Supplied by Client.
> Abutting Properties Deeds have NOT been Researched for Gaps, Overlaps and/or Hints.
> Subject to any Easements and/or Restrictions of Record.
> Bearing data shown hereon, is Assumed and Based upon the Line Denoted with a "B".
> Building that are NOT to be used to reconstruct Property Lines.
> Fence Ownership is NOT determined.
> Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.
> Sample Ties and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies.
> Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be Continued to give ANY Rights or Benefits to Anyone Other than those Certified.

POINTS OF INTEREST:
VINYL STORAGE OVERLAPS REAR UTILITY EASEMENT.

I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as honestly Surveyed under my Direction on the Date Shown, Based on Information furnished to Me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 53-17.052 Florida Administrative Codes, Pursuant to Section 472.027 Florida Statutes.
Patrick K. Ireland, Surveyor, License No. 6637, LB 7623
This Survey is Intended for the Use of Said Certified Parties.
This Survey NOT VALID UNLESS signed and Enclosed with Surveyor's Seal.
Ireland & Associates Surveying, Inc.
1301 S. International Parkway Suite 2001
Lake Mary, Florida 32746
www.Irelandsurveying.com
Office-407.678.3366 Fax-407.320.8165

SP

SHEET

PROJECT #:
DRAWN: EV
APPROVED:
DATE: 01/21/20

DUFFY RESIDENCE
BALCONY RENOVATION
2463 WHITEHALL CIR
WINTER PARK, FL 32792

REVISIONS	
Δ	DATE OWNER REVISION

ARCHITECTURE & PLANNING

SITE
PLAN

FLOOR PLANS

ARCHITECTURE & PLANNING

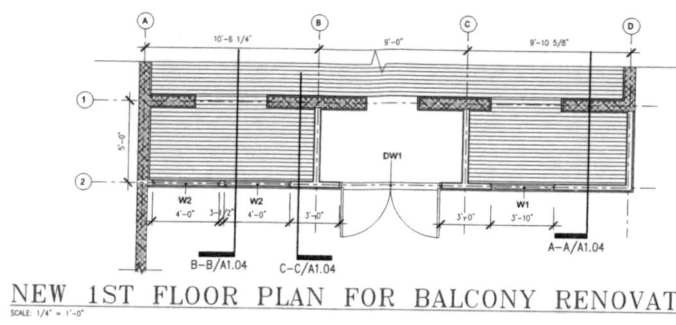
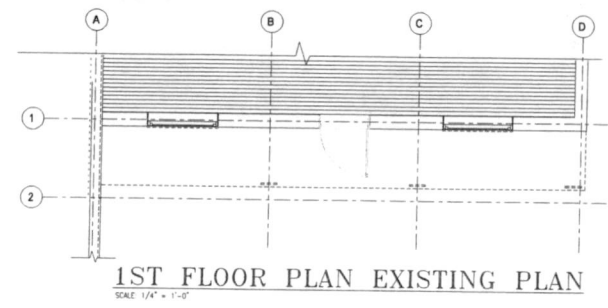
REVISIONS

NO.	DATE	OWNER	REVISION
1			

DUFFY RESIDENCE
BALCONY RENOVATION
2463 WHITEHALL CIR
WINTER PARK, FL 32792

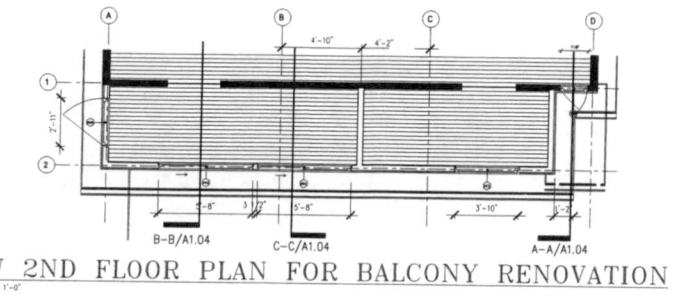
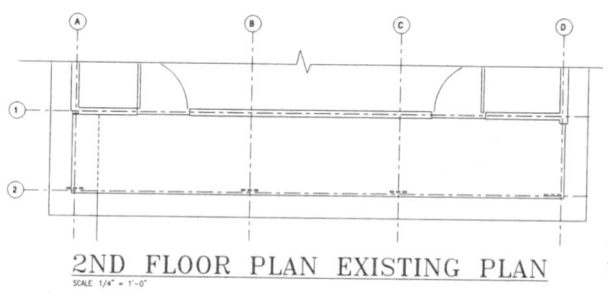
PROJECT #:
DRAWN: EV
APPROVED:
DATE: 01/11/20

SHEET
A1.01



WALL LEGEND FOR NEW 1ST FLOOR AND NEW 2ND FLOOR

[Pattern]	EXISTING 8" CMU WALL
[Pattern]	EXISTING 2X4 WOOD WALL
[Pattern]	NEW 2X4 WOOD WALL

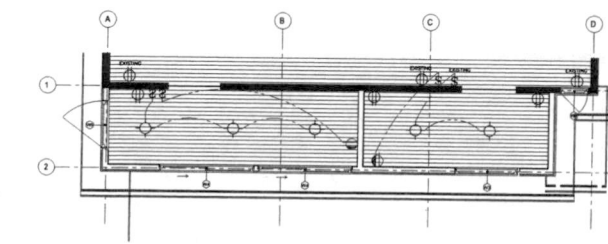
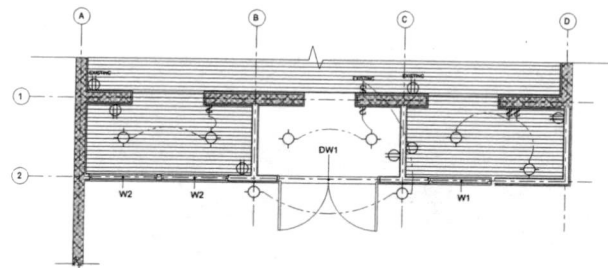
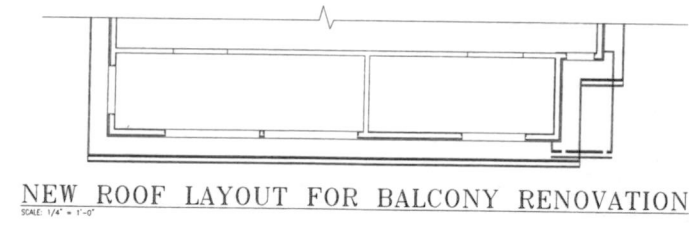


Window Schedule For New 1st and 2nd Floor Plan

Call	Width x Height	Type	Level	Material
W1	3'-10" x 5'-2"	Awning	First Floor	Polyvinyl Chloride, Rigid
W2	4'-0" x 7'-11"	Fixed	First Floor	Polyvinyl Chloride, Rigid
W3	3'-10" x 3'-4"	Awning	Second Floor	Polyvinyl Chloride, Rigid
W4	5'-8" x 3'-4"	Sliding XO	Second Floor	Polyvinyl Chloride, Rigid
W5	2'-11" x 3'-4"	Swing FCL	Second Floor	Polyvinyl Chloride, Rigid
W6	1'-8" x 3'-4"	Swing FCR	Second Floor	Polyvinyl Chloride, Rigid

Door Schedule For New 1st and 2nd Floor Plan

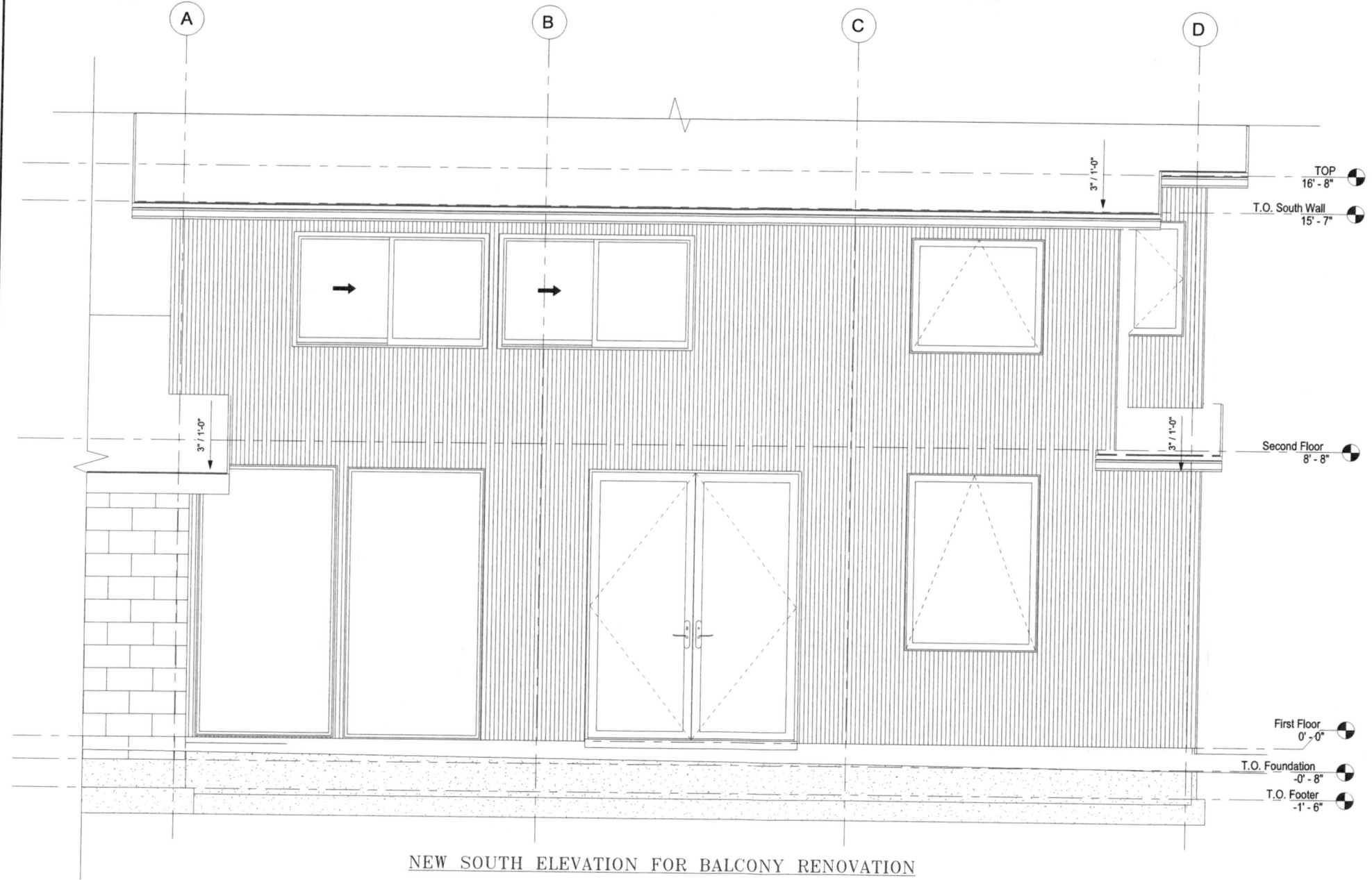
Call	Width x Height	Type	Level	Material
DW1	6'-0" x 7'-11"	Exterior Double	First Floor	Polyvinyl Chloride, Rigid



ELECTRICAL SYMBOL LEGEND

CARBON MONOXIDE DETECTOR	SMOKE DETECTOR
SWITCH	EXHAUST FAN
3-WAY SWITCH	WALL MOUNTED LIGHT FIXTURE
4-WAY SWITCH	CEILING MOUNTED LIGHT FIXTURE
DIMMER SWITCH	RECESSED CAN LIGHT FIXTURE
FLOOR OUTLET	RECESSED VAPOR PROOF FIXTURE
110 V OUTLET	FLUSH MOUNTED LIGHT FIXTURE
SWITCHED OUTLET	PENDANT LIGHT
220 V OUTLET	FLOODLIGHT
DIRECT WIRE	FLUORESCENT LIGHT
TV JACK	UNDER CABINET LIGHTING
PHONE JACK	
SPEAKER PREWIRE	
CEILING FAN PREWIRE ONLY	

ASE ENGINEERING SERVICES, INC.
10244 East Colonial Drive, Suite 202
Orlando, Florida 32817 • 407-679-5565 Fax 407-750-2999
Certificate of Authorization No. 25873



NEW SOUTH ELEVATION FOR BALCONY RENOVATION

ELEVATIONS

ARCHITECTURE & PLANNING

REVISIONS
DATE REVISION

DUFFY RESIDENCE
BALCONY RENOVATION
2463 WHITEHALL CIR
WINTER PARK, FL 32792

PROJECT #
DRAWN BY
APPROVED
DATE: 01/21/20

SHEET

A1.02

ASE ENGINEERING SERVICES, INC.
10244 East Colonial Drive, Suite 202
Orlando, Florida 32817 - 407-677-5555 Fax 407-730-2999
Certificate of Authorization No. 23873

ELEVATIONS

ARCHITECTURE & PLANNING

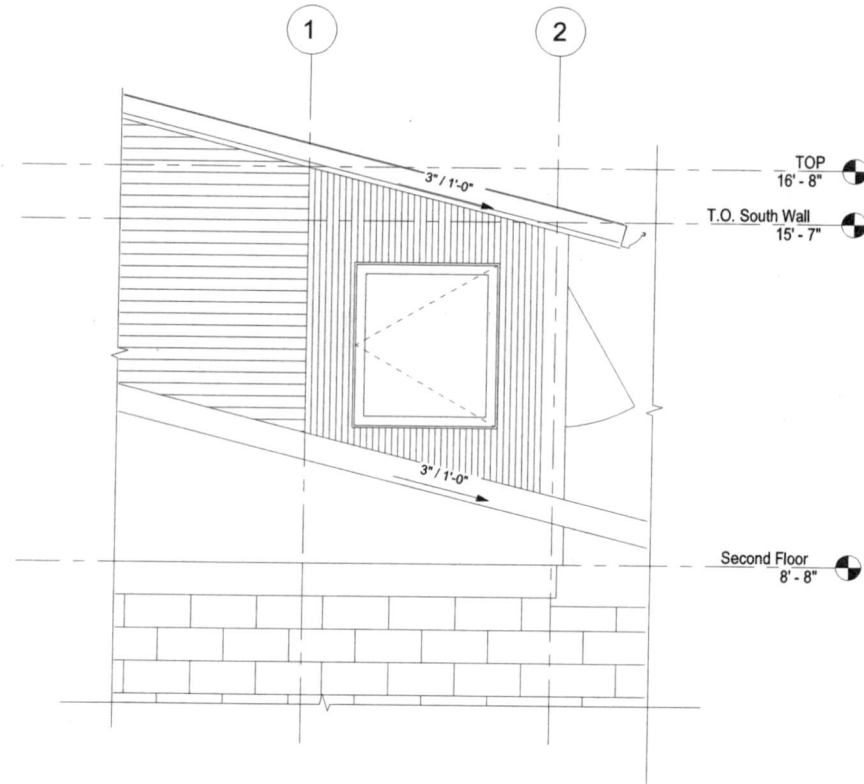
REVISIONS
DATE
REVISION

DUFFY RESIDENCE
BALCONY RENOVATION
2463 WHITEHALL CIR
WINTER PARK, FL 32792

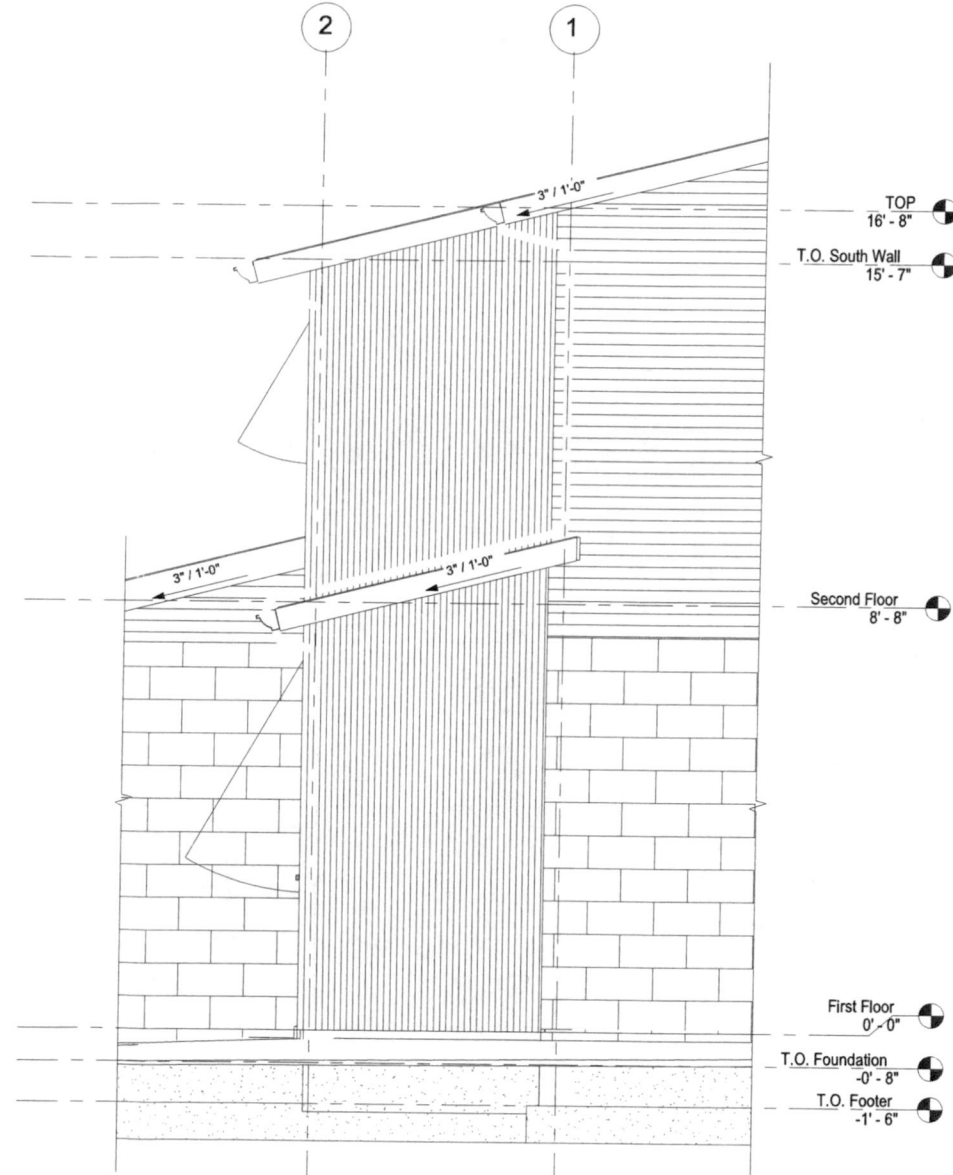
PROJECT #:
DRAWN BY
APPROVED
DATE: 01/21/20

SHEET

A1.03



NEW WEST ELEVATION FOR BALCONY RENOVATION
SCALE: 3/4" = 1'-0"

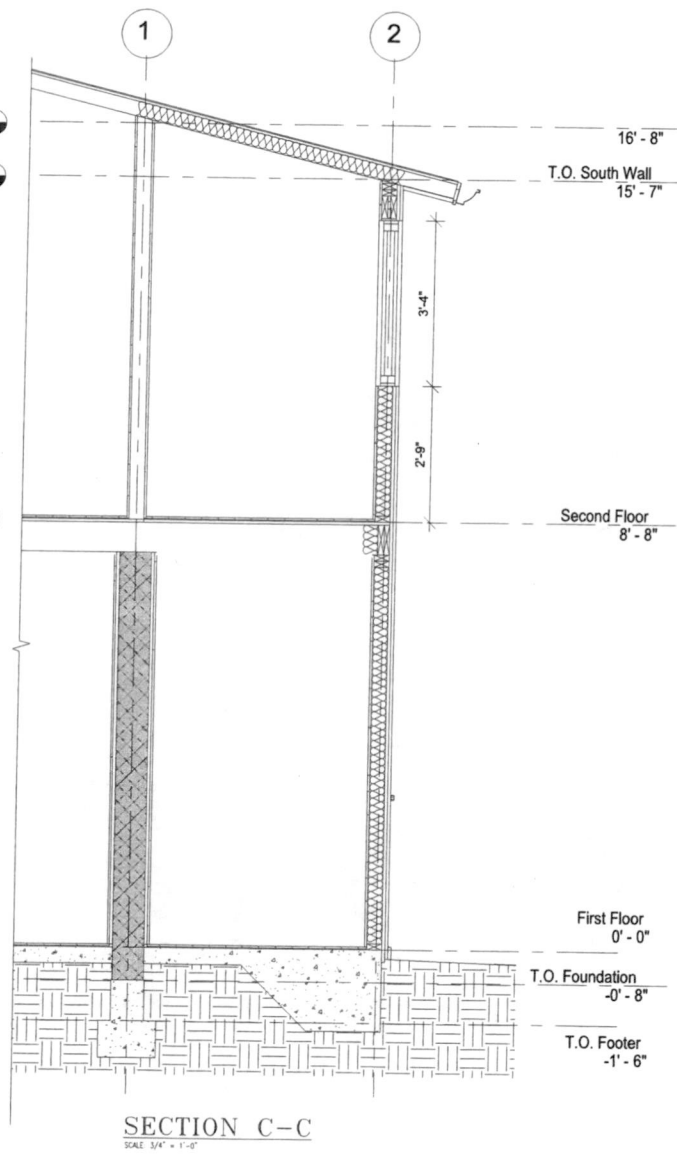
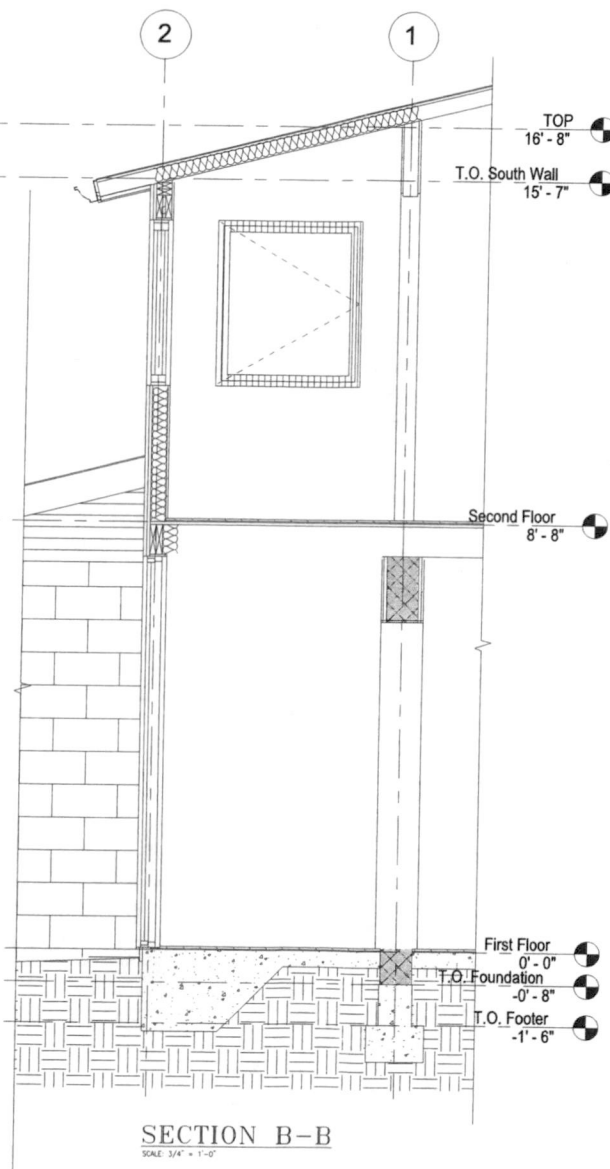
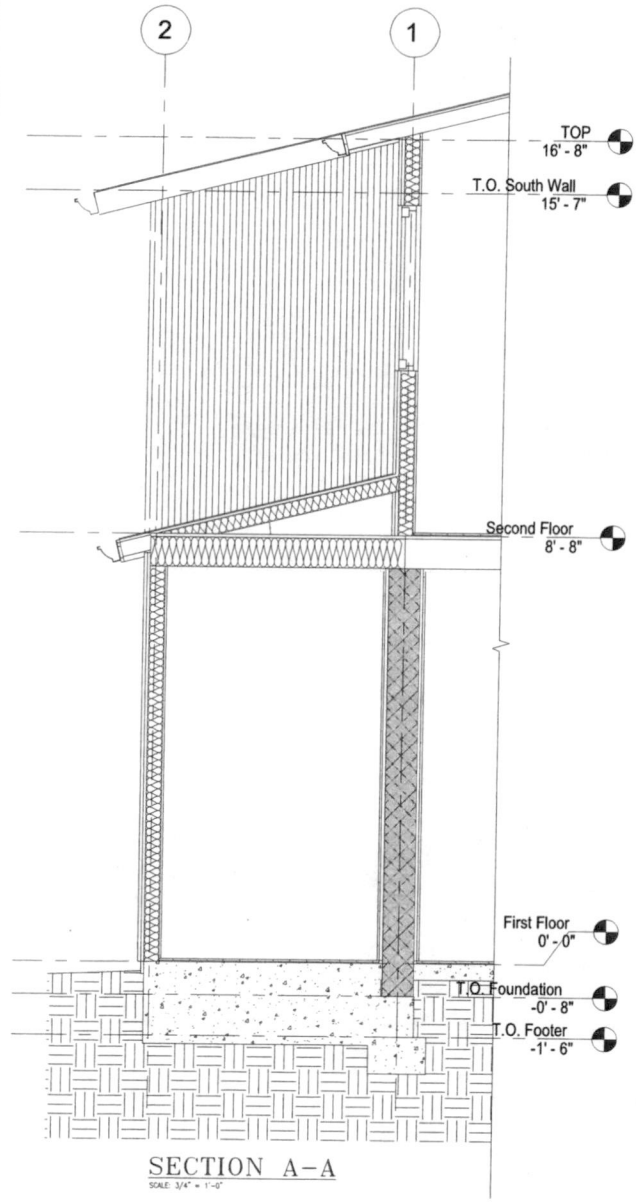


NEW EAST ELEVATION FOR BALCONY RENOVATION
SCALE: 3/4" = 1'-0"

ASE ENGINEERING SERVICES, INC.
STRUCTURAL DESIGN GROUP
10244 East Colonial Drive, Suite 200
Orlando, Florida 32817 • 407-671-5565 • Fax 407-730-2999
Certificate of Authorization No. 25873

01-21-20

Issued by P.E.
Florida No. 01181



SECTIONS

ARCHITECTURE & PLANNING

REVISIONS

DATE	REVISION

DUFFY RESIDENCE
BALCONY RENOVATION
2463 WHITEHALL CIR
WINTER PARK, FL 32792

PROJECT #:

DESIGN: EV

APPROVED:

DATE: 01/21/20

SHEET

A1.04

ASE ENGINEERING SERVICES, INC.
15544 East Colonial Drive, Suite 202
Orlando, Florida 32817 • 407-677-5565 Fax 407-730-2999
Certificate of Authorization No. 25873

01-21-20

Modelling: Nae P.E.
Florida No. 12187

GENERAL NOTES

- IT IS THE SUBCONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS OR TIE-DOWNS MAY BE NECESSARY.
- DESIGN LIVE LOADS

ROOF	20 PSF
ELEVATED FLOORS	40 PSF
- DESIGN WIND LOAD SHALL BE BASED ON THE FLORIDA BUILDING CODE 2017 (6TH EDITION)
 - BASIC WIND SPEED = 140 MPH
 - BUILDING CATEGORY II
 - EXPOSURE "B"
 - INTERNAL PRESSURE COEFFICIENT = 0.18; FULLY ENCLOSED STRUCTURE
 - COMPONENTS & CLADDING PRESSURES (ASD): +21.06 & -27.50 PSF

FOUNDATIONS

- FOUNDATION DESIGN IS BASED ON AN ALLOWABLE SOIL BEARING PRESSURE OF 2500 PSF WHICH SHALL BE VERIFIED BY A FLORIDA REGISTERED GEOTECHNICAL ENGINEER PRIOR TO THE START OF WORK.
- PLACE FOOTINGS/SLAB ON COMPACTED SOIL. FOLLOW RECOMMENDATIONS OF SOILS REPORT.

CAST-IN-PLACE CONCRETE

- ALL CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS:

SLAB ON GRADE, FOOTINGS	3000 PSI
REMAINING CONCRETE	3000 PSI
- ALL CONCRETE SHALL HAVE A SLUMP OF 4" PLUS OR MINUS 1", AND HAVE 2 TO 4% AIR ENTRAINMENT, AND A MAXIMUM WATER/CEMENT RATIO OF 0.58.
- CONCRETE MIX DESIGN SHALL BE IN ACCORDANCE WITH THE APPLICABLE EDITION OF ACI 301 CHAPTER 3, METHOD 1 OR METHOD 2. SUBMIT BACKUP DATA AS REQUIRED BY CHAPTER 5 SECTION 5.3 OF THE LATEST EDITION OF ACI 318.
- ALL REINFORCING STEEL SHALL BE NEW DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. WWF SHALL BE LAPPED AT LEAST 8" AND CONTAIN AT LEAST ONE CROSS WIRE WITHIN THE 8".
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH "THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" ACI 318 LATEST EDITION, AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS," ACI 301.
- ALL REINFORCING DETAILS SHALL CONFORM TO "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" ACI 315 LATEST EDITION, UNLESS DETAILED OTHERWISE ON THE STRUCTURAL DRAWINGS.
- SUBCONTRACTOR SHALL REVIEW ARCHITECTURAL AND MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF EMBEDDED ITEMS, SLEEVES, SLAB DEPRESSIONS, SLOPES, ETC. REQUIRED BY OTHER TRADES. THESE ITEMS SHALL BE FURNISHED AND INSTALLED PRIOR TO PLACEMENT OF CONCRETE.
- SUBCONTRACTOR SHALL VERIFY LOCATIONS OF ALL OPENINGS, SLEEVES, ANCHOR BOLTS, INSERTS, ETC., AS REQUIRED BY OTHER TRADES BEFORE CONCRETE IS PLACED.
- WHERE BAR LENGTHS ARE GIVEN ON THE DRAWINGS, THE LENGTH OF ANY HOOK, IF REQUIRED, IS NOT INCLUDED. HOOKS SHALL BE PROVIDED AT DISCONTINUOUS ENDS OF ALL TOP BARS OF BEAMS AND AT SLAB EDGES.
- SUBCONTRACTOR SHALL PROVIDE SPACERS, CHAIRS, BOLSTERS, ETC. NECESSARY TO SUPPORT REINFORCING STEEL. SUPPORT ITEMS WHICH BEAR ON EXPOSED CONCRETE SURFACES SHALL HAVE ENDS WHICH ARE PLASTIC TIPPED OR STAINLESS STEEL.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:

OPENING SIZE	INTERIOR ZONE	EXTERIOR ZONE**
8" GARAGE DOOR	+19.10 / -21.60	+19.10 / -21.60
16" GARAGE DOOR	+18.30 / -20.40	+18.30 / -20.40
18" GARAGE DOOR	+18.30 / -20.40	+18.30 / -20.40
10 SOFT	+21.18 / -22.92	+21.18 / -28.32
20 SOFT	+20.22 / -22.02	+20.22 / -26.40
50 SOFT	+18.96 / -20.76	+18.96 / -23.88
100 SOFT	+18.00 / -19.80	+18.00 / -22.02

**END ZONE IS DEFINED AS AN AREA WITHIN 5' FROM THE EDGE OF THE BUILDING.
- STANDARD WINDOWS AND DOORS WILL GENERALLY FALL INTO THE 10 TO 20 SQ. FT. CATEGORY. STANDARD DOUBLE SLIDING GLASS DOORS WILL GENERALLY FALL INTO THE 20 TO 50 SQ. FT. CATEGORY. STANDARD DOUBLE GARAGE DOORS WILL GENERALLY FALL INTO THE 50 TO 100 SQ. FT. CATEGORY.

WOOD CONSTRUCTION

- WOOD CONSTRUCTION SHALL CONFORM TO THE NFPA "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", APPLICABLE EDITION.
- ALL EXTERIOR AND LOAD BEARING WALL STUDS, TOP PLATES AND SILL PLATES SHALL BE NO. 2 SOUTHERN YELLOW PINE.

- PLACE A SINGLE PLATE AT THE BOTTOM AND A DOUBLE PLATE AT THE TOP OF ALL INTERIOR LOAD BEARING STUD WALLS. 2x SOLE PLATES AT THE EDGES OF SLABS SHALL BE ATTACHED TO THE SLAB WITH 1/2" DIA. WEDGE ANCHORS, WITH 7" EMBEDMENT, WITH 1 1/2" DIA. WASHER, AT 32" ON CENTER. ALL OTHER SUBSTITUTIONS MUST BE APPROVED BY STRUCTURAL ENGINEERING PRIOR TO INSTALLATION.
- ALL WOOD IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED BORATE SBX. PROVIDE USE GALVANIZED NAILS AND FASTENERS IN PRESSURE TREATED LUMBER.
- STUDS SHALL BE TRIPLED AT ALL ANGLES, CORNERS AND AROUND ALL OPENINGS.
- WALL SHEATHING SHALL BE:

AT EXTERIOR WALLS SHEATH THE INTERIOR FACE OF WALLS WITH GYPSUM WALLBOARD SHEATH THE EXTERIOR FACE OF WALLS WITH 1/2" C-DX PLYWOOD NAILED WITH 8d NAILS AT 6" O.C. AT ALL EDGE SUPPORTS, AND 8d NAILS AT 12" O.C. AT ALL INTERMEDIATE SUPPORTS. PROVIDE SOLID 2x BLOCKING AT ALL SHEET EDGES.

- FLOOR AND LOW ROOF SHEATHING IS 3/4" TONGUE AND GROOVE C-D PLYWOOD (48/24 RATING), GLUED AND NAILED WITH 10d RING SHANK NAILS OR SCREWS AT 6" O.C. AT SUPPORTED EDGES, AND 10d NAILS AT 10" O.C. AT INTERMEDIATE SUPPORTS. PLYWOOD SHEATHING SHALL BE CONTINUOUS OVER TWO SPANS WITH GRAIN PERPENDICULAR TO THE SUPPORTS. ALL FLOOR SHEATHING SHALL MAINTAIN 1/2" SPACE BETWEEN SHEATHING AND MASONRY WALLS.

- ALL LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED GRADING AGENCY.
- NAILING SCHEDULE:

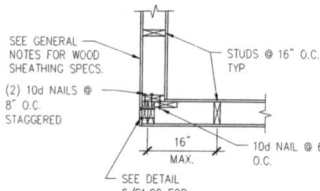
CONNECTION	COMMON NAIL	NUMBER OR SPACING
SOLE PLATE TO TRUSS OR BLOCKING	12d	8" O.C.
STUD TO SOLE PLATE, TOE NAIL	12d	4
DOUBLE STUDS, FACE NAIL	12d	8" O.C.
DOUBLE TOP PLATES, FACE NAIL	12d	12" O.C.
TOP PLATES LAPS AND INTERSECTIONS	12d	4
TRUSSES, LAPS OVER WALLS, FACE NAIL	12d	4
BUILT-UP CORNER STUDS	12d	12" O.C.
STUDS TO SOLE PLATE, END NAIL	12d	2

WATERPROOFING FOR THIS BUILDING IS THE SOLE RESPONSIBILITY OF THE BUILDER/CONTRACTOR. BUILDER/CONTRACTOR SHALL PROVIDE WATERPROOFING FOR THE BUILDING IN ACCORDING WITH BUILDING CODE AND/OR MANUFACTURER SPECIFICATIONS.

WINDOW & DOOR WINDOW PRESSURES 140 MPH WIND ZONE EXPOSURE B BUILDING CATEGORY II. BELOW VALUES BASED ON ALLOWABLE STRESS DESIGN (ASD)

OPENING SIZE	INTERIOR ZONE	EXTERIOR ZONE**
8" GARAGE DOOR	+19.10 / -21.60	+19.10 / -21.60
16" GARAGE DOOR	+18.30 / -20.40	+18.30 / -20.40
18" GARAGE DOOR	+18.30 / -20.40	+18.30 / -20.40
10 SOFT	+21.18 / -22.92	+21.18 / -28.32
20 SOFT	+20.22 / -22.02	+20.22 / -26.40
50 SOFT	+18.96 / -20.76	+18.96 / -23.88
100 SOFT	+18.00 / -19.80	+18.00 / -22.02

**END ZONE IS DEFINED AS AN AREA WITHIN 5' FROM THE EDGE OF THE BUILDING.

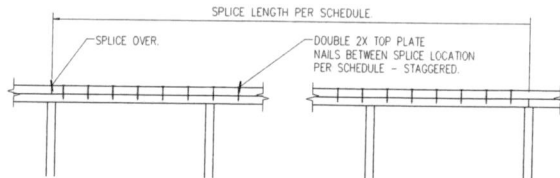


CORNER FRAMING AT EXTERIOR WOOD WALLS

5 SCALE NTS.

NOTES:

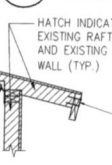
- DO NOT SPLICE TOP PLATES WITHIN 6'-0" OF ENDS OF WOOD STRUCTURAL PANEL SHEAR WALLS.
- THIS DETAIL APPLIES AT ALL EXTERIOR WALLS AND INTERIOR SHEARWALLS.



LENGTH OF WALL (BETWEEN CORNERS)	SPLICE LENGTH (MINIMUM)	NAILS ALONG SPLICE LENGTH
OVER 30'	4'-0"	18-12d
OVER 20'	2'-8"	10-12d
OVER 10'	1'-4"	6-12d
LESS THAN 10'	1'-4"	4-12d

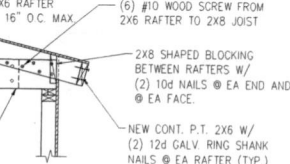
1 TYPICAL TOP PLATE SPLICE

SCALE NTS.



2 SECTION

SCALE NTS.



3 SECTION

SCALE NTS.



4 NEW OPENING IN EXISTING WOOD BRNG WALL

SCALE NTS.



6 2x BUILT-UP STUD COLUMN DETAILS

SCALE NTS.

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STRUCTURAL DESIGN GROUP
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Orlando, Florida 32817 • 407-677-5545 Fax 407-730-2999
Certificate of Authorization No. 25873
Florida No. 51161

GENERAL NOTES

ARCHITECTURE & PLANNING

REVISIONS
DATE
BY
REVISION

DUFFY RESIDENCE
BALCONY RENOVATION
2463 WHITEHALL CIR
WINTER PARK, FL 32792

PROJECT #
DRAWN BY
APPROVED
DATE 01/21/20

SHEET

\$1.00

- SEE GENERAL NOTES ON SHEET S1.00
- DO NOT SCALE DRAWINGS. THE CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO WORK PERFORMED AND SHALL NOTIFY THE ARCHITECT IN WRITING IF ANY DISCREPANCIES ARE FOUND
- SEE ARCH'L DRAWINGS FOR LOCATIONS/LIMITS AND CONSTRUCTION INFORMATION OF INTERIOR NON-BEARING PARTITION WALLS NOT SHOWN ON PLAN. SEE GENERAL NOTES (SHEET S1.00) FOR ADDITIONAL WALL FRAMING INFORMATION.
- PRIOR TO CONCRETE PLACEMENT PROVIDE TERMITE SOIL TREATMENT PER MFG SPECS. (SOIL TREATMENT PER FBC R-318)
- NEW SLAB ON GRADE 4" (TOTAL - U.N.O.) CONCRETE REINFORCED WITH 6x6-W14xW14 W.W.F. PLACED 1" FROM TOP OVER VAPOR BARRIER (SEE ARCH'L DRWG'S) ON COMPACTED SUBGRADE. TOP OF SLAB ELEV. = 0'-0" (REFERENCE) UNLESS NOTED OTHERWISE. COORDINATE ALL SLAB DEPRESSIONS, SLOPES AND LIMITS THERE OF WITH ARCH'L DRWG'S
- SEE ARCH'L DRAWINGS FOR LOCATIONS/LIMITS AND CONSTRUCTION INFORMATION OF INTERIOR NON-BEARING PARTITION WALLS NOT SHOWN ON PLAN. SEE GENERAL NOTES FOR ADDITIONAL WALL FRAMING INFORMATION.
- COORDINATE SLAB RECESSES, SLOPES AND ELEVATIONS W/ ARCHITECTURAL DRAWINGS
- THE REQUIRED NUMBER OF FASTENERS FOR CONNECTORS SUCH AS NAILS TO WOOD MEMBERS, SEE USP OR SIMPSON CATALOG AS APPLICABLE.

- ALL WINDOWS AND DOORS LOCATIONS TO BE VERIFIED WITH ARCHS.
- ALL WINDOWS AND DOORS LOCATIONS TO BE VERIFIED WITH ARCHS.

CONSTRUCTION PROCEDURE

- 1- PROVIDE SHORING FOR FLOOR JOISTS AND ROOF RAFTERS
- 2- REMOVE EXISTING STEEL COLUMNS AND SLAB
- 3- POUR NEW SLAB AND NEW FOOTING.
- 4- INSTALL NEW WOOD WALLS AND NEW FLOOR JOISTS

NOTES:

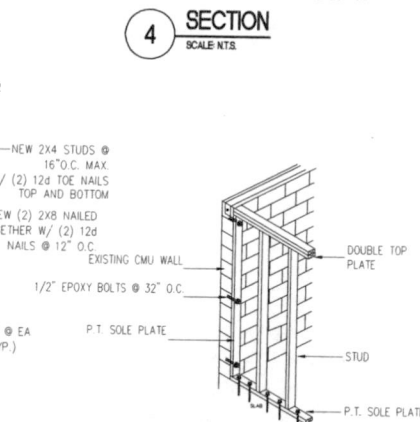
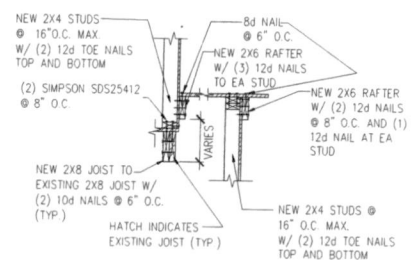
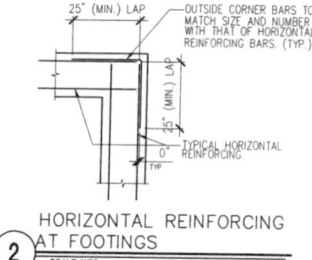
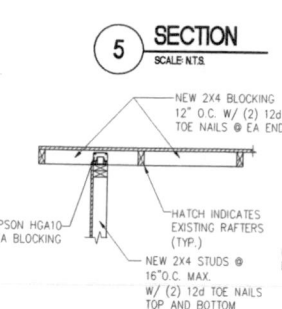
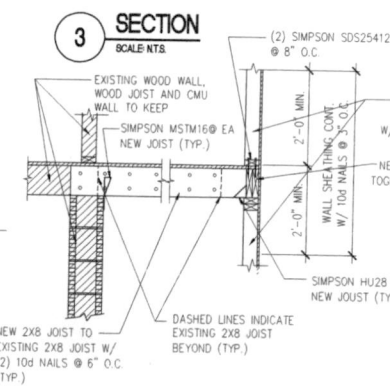
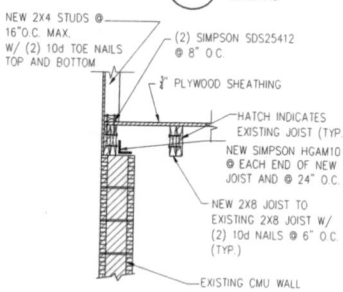
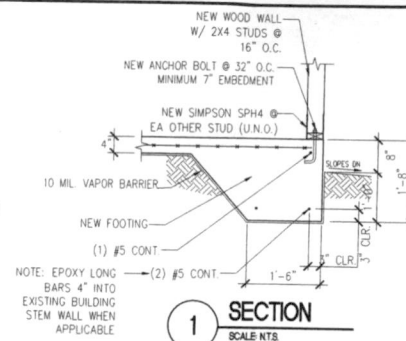
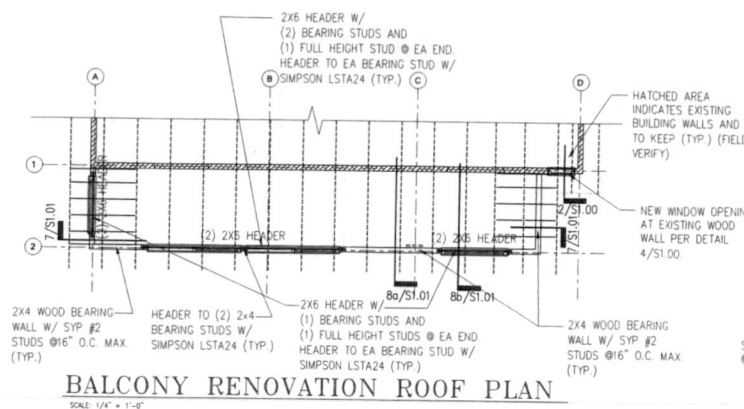
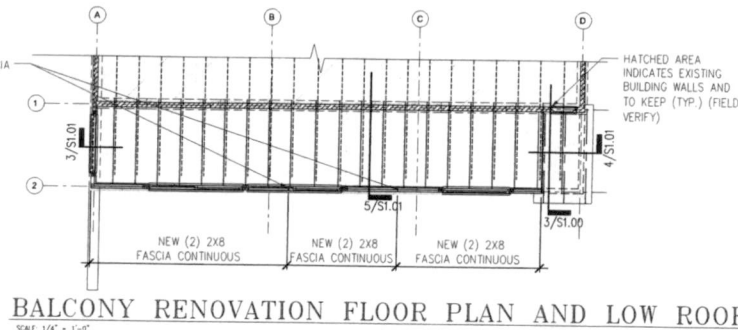
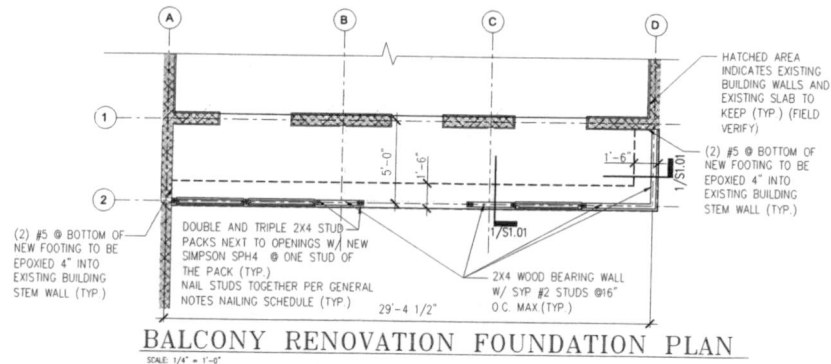
- 2- SHORING MUST BE PROVIDED BEFORE REMOVING ANY BEARING WALL (TYP.)

- 1- ALL EXISTING STRUCTURAL MEMBERS SHOWN ON THESE DETAILS MUST BE VERIFIED ON THE FIELD PRIOR TO CONSTRUCTION (TYP.)

WALL LEGEND	
	EXISTING 8" CMU WALL
	EXISTING 2x4 WOOD WALL
	NEW 2x4 WOOD WALL

FLOOR PLAN AND LOW ROOF LEGEND	
	EXISTING 2x8 JOISTS @ 16" O.C. TO KEEP (FIELD VERIFY)
	NEW 2x8 JOIST @ 16" O.C. MAX.
	NEW 2x6 RAFTER @ 16" O.C. MAX.

ROOF PLAN LEGEND	
	EXISTING 2x4 RAFTER @ 24" O.C. TO KEEP (FIELD VERIFY)
	NEW 2x4 BLOCKING O.C. (SEE PLAN FOR LOCATION)



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 15244 East Colonial Drive, Suite 202
 Orlando, Florida 32817 • 407-677-5563 Fax 407-730-2999
 Certificate of Authorization No. 25873

PLANS
AND
DETAILS

ARCHITECTURE & PLANNING

REVISIONS	DATE	REVISION
1		

**DUFFY RESIDENCE
BALCONY RENOVATION
2463 WHITEHALL CIR
WINTER PARK, FL 32792**

PROJECT #:	DRAWN BY:	APPROVED:	DATE: 01/21/20
------------	-----------	-----------	----------------

SHEET
S1.01

BOUNDARY SURVEY

LEGAL DESCRIPTION:

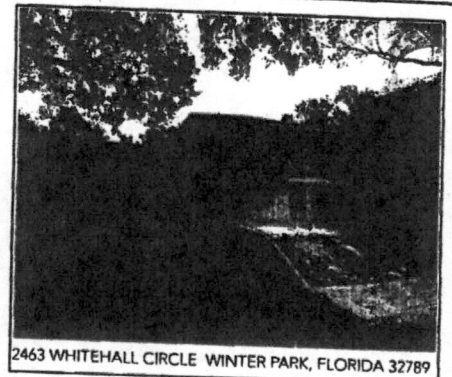
LOT 10, BLOCK B, BROOKSHIRE HEIGHTS 3RD ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK Y, PAGE 103, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

FLOOD INFORMATION:

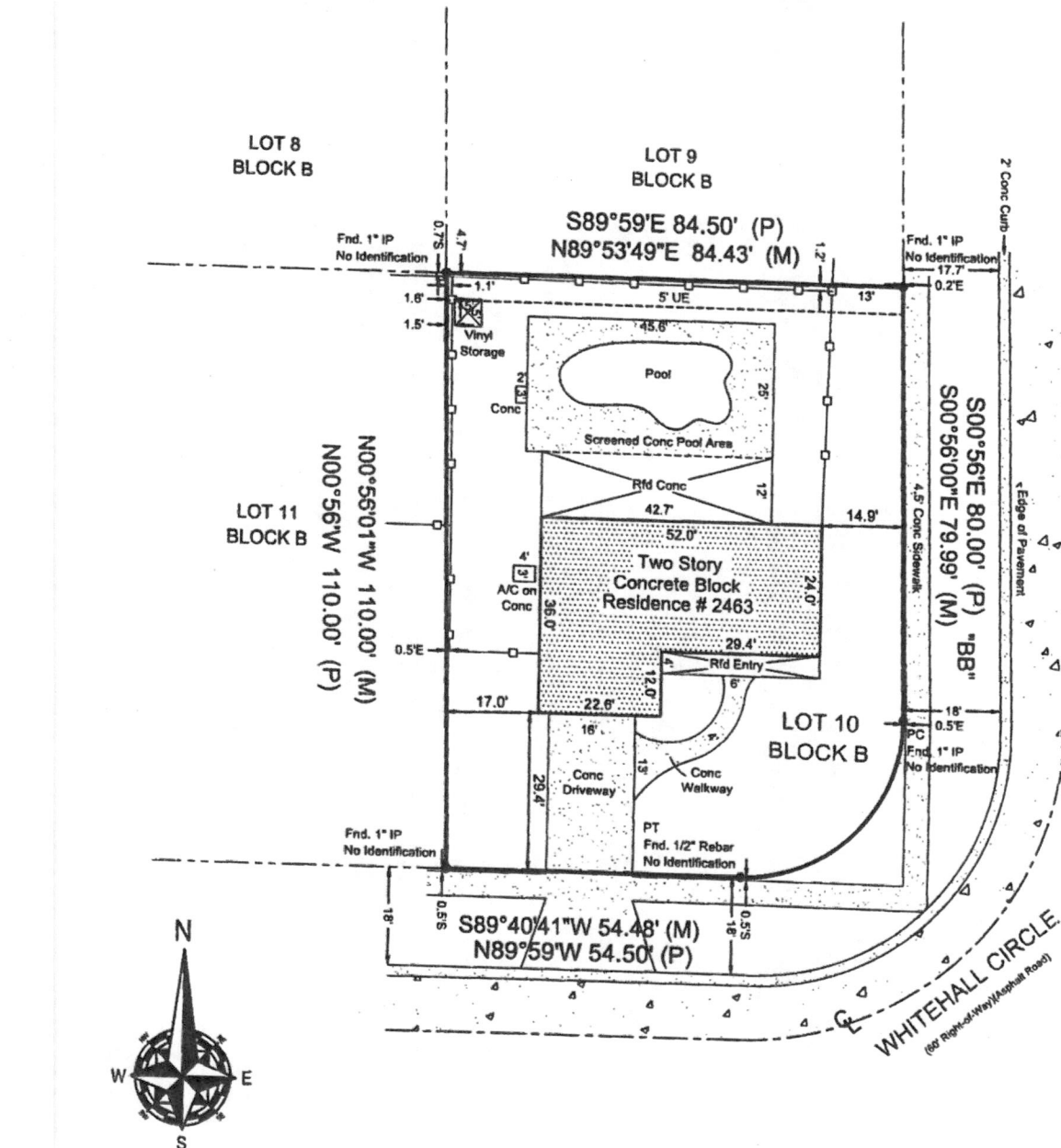
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN CITY OF WINTER PARK, COMMUNITY NUMBER 120188, DATED 09/25/2009.

CERTIFIED TO:

POOJA SHETH ; GRAYROBINSON, P.A.; FIDELITY NATIONAL TITLE INSURANCE COMPANY; LAKE MICHIGAN CREDIT UNION



2463 WHITEHALL CIRCLE WINTER PARK, FLORIDA 32789



DELTA = 90°57' (P)

R = 29.51' (P)

L = 46.84' (P)

CHORD

S44°32'30"W 42.07' (C)

S44°37'47"W 41.94' (M)

Field Date: 9/18/2017

Date Completed: 9/21/2017

Drawn By: D.C.

File Number: JS-40960

-Legend-

C	- Calculated	Pg	- Point of Curvature
CB	- Centerline	Pi	- Page
CM	- Concrete Block	PI	- Point of Intersection
Conc.	- Concrete Monument	P.O.B.	- Point of Beginning
D	- Description	P.O.L.	- Point on Line
DE	- Drainage Easement	PP	- Power Pole
Esmt.	- Easement	PRM	- Permanent Reference Monument
F.E.M.A.	- Federal Emergency Management Agency	PT	- Point of Tangency
FFE	- Finished Floor Elevation	R	- Radius
Fnd.	- Found	Rad.	- Radial
IP	- Iron Pipe	R&C	- Rebar & Cap
L	- Length (Arc)	Rec.	- Recovered
M	- Measured	Rfd.	- Roofed
N&D	- Nail & Disk	Set	- Set 1/2" Rebar & Cap "LB 7823"
N.R.	- Non-Radial	Typ.	- Typical
ORR	- Official Records Book	UE	- Utility Easement
P	- Plat	Wld	- Water Meter
P.B.	- Plat Book	Δ	- Delta (Central Angle)
□	- Wood Fence	○	- Chain Link Fence

-NOTES-

>Survey is Based upon the Legal Description Supplied by Client.
>Abutting Properties Deeds have NOT been Researched for Gaps, Overlaps and/or Hiatus.
>Subject to any Easements and/or Restrictions of Record.
>Bearing basis shown hereon, is Assumed and Based upon the Line Denoted with a "BB".
>Building Ties are NOT to be used to reconstruct Property Lines.
>Fence Ownership is NOT determined.
>Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.
>Septic Tanks and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies.
>Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be construed to give ANY RIGHTS or Benefits to Anyone Other than those Certified.

-POINTS OF INTEREST-

VINYL STORAGE OVERLAPS REAR UTILITY EASEMENT.

I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown, Based on Information furnished to Me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 55-17.052 Florida Administrative Codes, Pursuant to Section 472.027 Florida Statutes.

Patrick K. Ireland, Surveyor
PS 6837
LB 7823
This Survey is intended ONLY for the use of Said Certified Parties.
This Survey NOT VALID UNLESS signed and Embossed with Surveyor's Seal.

Ireland & Associates Surveying, Inc.

1301 S. International Parkway Suite 2001
Lake Mary, Florida 32746

www.Irelandsurveying.com
Office-407.678.3366 Fax-407.320.8165

NOTICE TO ALL APPLICANTS FOR VARIANCES

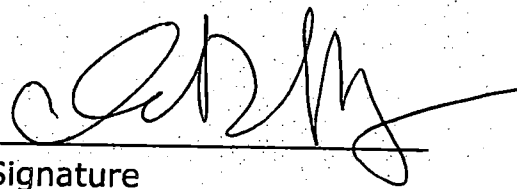
To all variance applicants at: 2463 WHITEHALL CIRCLE

The City Zoning Code requires that your property be posted 15 days prior to the Board of Adjustment variance hearing. The posting should be visible from the street on each street frontage and must **REMAIN POSTED** until the variance hearing is held. On any day prior to and including the day of the variance hearing, if the subject property is inspected by City staff and **NO** Public Notice Variance posting notice is present, then the subject variance must either be withdrawn or tabled by the Board to the following month's hearing.

Our posters are recycled for future hearings.

Please check one:

- ☐ I will return the poster within a week after the Board Meeting.
- ☒ I will remove the poster directly before the hearing and return it at the Meeting.


Signature

IAN DWYER
Print Name

2.25.2020
Date

CITY OF WINTER PARK
*** CUSTOMER RECEIPT ***

Oper: SEROWN Type: OC Drawer: 1
Date: 2/18/20 01 Receipt no: 132405

Description	Quantity	Amount
RT	MISC RECEIPTS	
	1.00	\$200.00
VARI 2463 WHITEHALL CR		

Tender detail

OP ONEPOINT LIV	\$200.00
Total tendered	\$200.00
Total payment	\$200.00

Trans date: 2/20/20 Time: 9:35:01

Theresa Dunkle

From: Ian Duffy <hello@ianduffy.com>
Sent: Thursday, March 12, 2020 6:26 PM
To: George Wiggins
Cc: Theresa Dunkle
Subject: [External] Re: March Board of Adjustment Hearing Postponed Until April 21st

[Caution: This email originated from outside the City of Winter Park email system. Before clicking any hyperlinks contained in the email, verify the real address by hovering over the link with your mouse. Do not open attachments from unknown or unverified sources.]

Hi Mr. Wiggins,

I am the 2nd applicant on the agenda for the March 17th hearing, but the new date really puts a dent in our plans for the project we are proposing. It would be very difficult for me to be at the next meeting on April 21st, it'll be my birthday actually and my wife and I have plans to be out of town, I also won't be in town on the 19th of May either, so I am unsure how to go forward.

Is there any special condition that could be made for this case to be approved without a hearing considering the circumstances? The project is under the existing permit number 20-261. I have a few sub contractors lined up for the project and may lose their availability for the project if I am unable to meet approval in a reasonable time frame.

Thank you for your time.

Ian Duffy

On Thu, Mar 12, 2020 at 4:51 PM Theresa Dunkle <tdunkle@cityofwinterpark.org> wrote:

The City Managers have decided to postpone the March Board of Adjustment Hearing Until April 21st.

I apologize for the inconvenience and will email you tomorrow regarding revising the sign date.



City of Winter Park
401 Park Ave. South

Winter Park, FL. 32789
cityofwinterpark.org

Theresa Dunkle
Code Analyst/Inspector

Building & Permitting Services

407.643.1646



401 South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

Building & Permitting Services

TO: BOARD OF ADJUSTMENTS MEMBERS

FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS
GW

DATE: March 17, 2020

SUBJECT: Goone VARIANCE REQUEST, 2050 St. George Ave

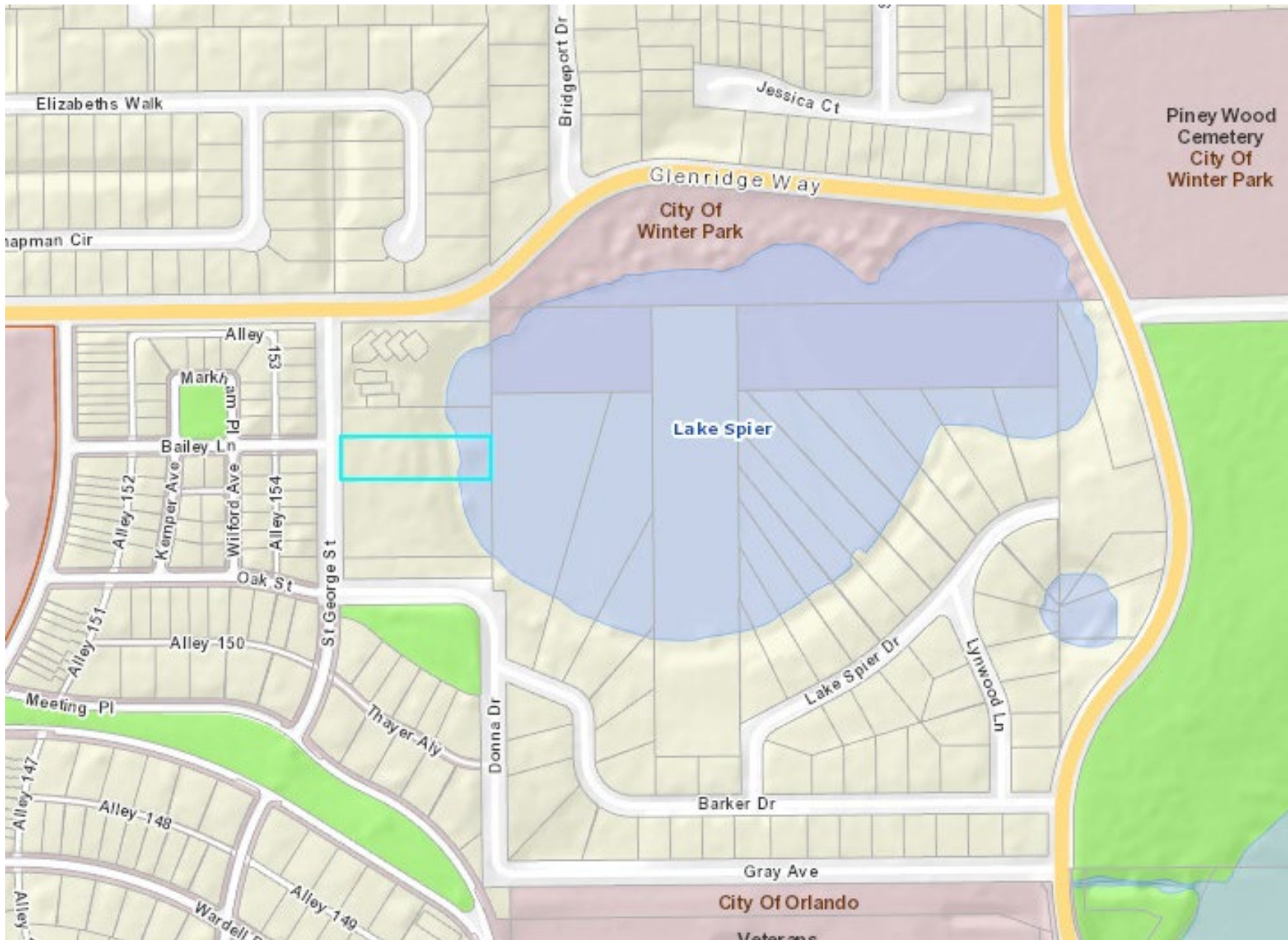
The applicant is requesting a variance, on behalf of Paul & Amanda Smerge, to allow the construction of a new dock to extend approximately 50 feet into Lake Spier, whereas the maximum permitted distance is 30 feet.

The marine contractor handling this request has sent some photos showing that the existing dock has deteriorated and gives two examples of water depth. The water depth at the end of the dock is 4 feet and at some point perhaps closer to shore, the depth is 22.5 inches. In addition, in looking at aerials of other docks on Lake Spier from the Orange County Property Appraiser site, I see that the adjacent property to the south also has a dock that extends out more than 30 feet and appears to be 40 feet out into the lake.

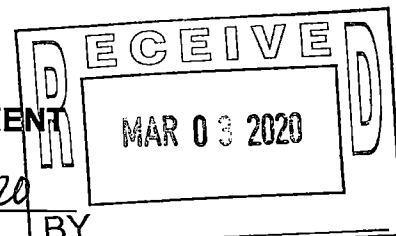
The reason that this boat dock variance is coming to this Board without having gone first to the Lakes Board is that their plan reviewer looked at this request and approved the dock thinking that this is a conforming boat dock replacement which, by ordinance, does not require a Lakes Board review. In discussing this request with Don Marcotte, Assistant Public Works Director, he is fine with letting this proceed to the Board of Adjustments and recommends that if a variance is granted then the applicant can be placed on the agenda for the April Lakes Board meeting where there will be another matter discussed involving Lake Spier concerning a petition from lakefront homeowners asking the Board to restrict boats on this lake to non-motorized watercraft.

We have received one email inquiry regarding this proposed request asking for clarification on the request and stating that they will attend the meeting. The inquiring person does not state whether they object to this request or not and lives in the townhomes on Lake Spier which are two properties to the north of this applicant's property.

2050 St. George Ave.



**CITY OF WINTER PARK
VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT**



Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received 3/3/2020
Assigned #3 BY _____
Date of Hearing MARCH 17, 2020

Applicant: Kyle Goonen

P.O. Box 3405
(Address)

Windermere, FL 34786
(City, State) (Zip)

407-618-6031
(Phone - Home)

407-608-8334
(Phone - Work or Cell)

Kyle@prestigedevelopmentfl.com
(Email Address)

Owner: Paul + Amanda Smerge

2050 St George Avenue
(Address)

Winter Park, FL 32789
(City, State) (Zip)

(Phone - Home)
407-446-7233

(Phone - Work or Cell)
psmerge@me.com

(Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section _____, Subsection _____, Zoning _____.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

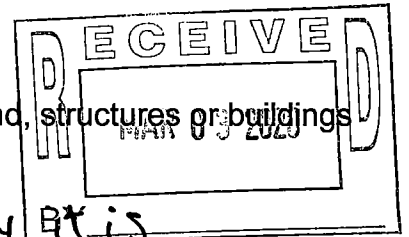
Street address of property 2050 St. George Avenue

Legal description of property Orlando Park REP K/107 LOT 6 + S 30FT of LOT 7
+ N 20 Ft of LOT 5 BLK M

Describe variance request Replacing existing dock - same length of
walkway, just a wider platform than the previous.
Due to a safety concern of the existing structure.

This section may be left blank for completion by city staff

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.



1. What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

water is super shallow which is why it is requested that the existing walkway length be maintained for the new dock.

How long have you owned the property? 10 years

How long have you occupied the property? 10 years

2. What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

None

3. Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

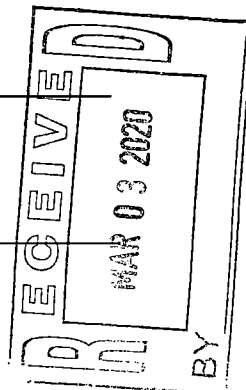
Due to a safety concern of the existing structure and the homeowner having young kids, the owner wants to replace the existing dock with the same length walkway into the lake as well as the same length of a platform, just a wider platform will be a change from existing layout

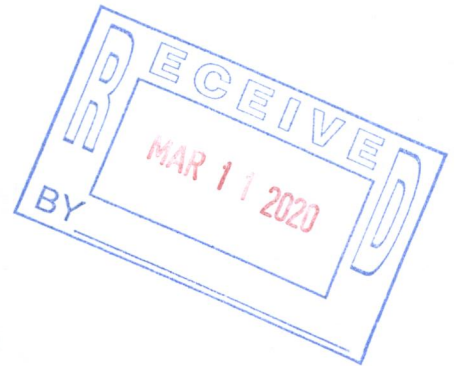
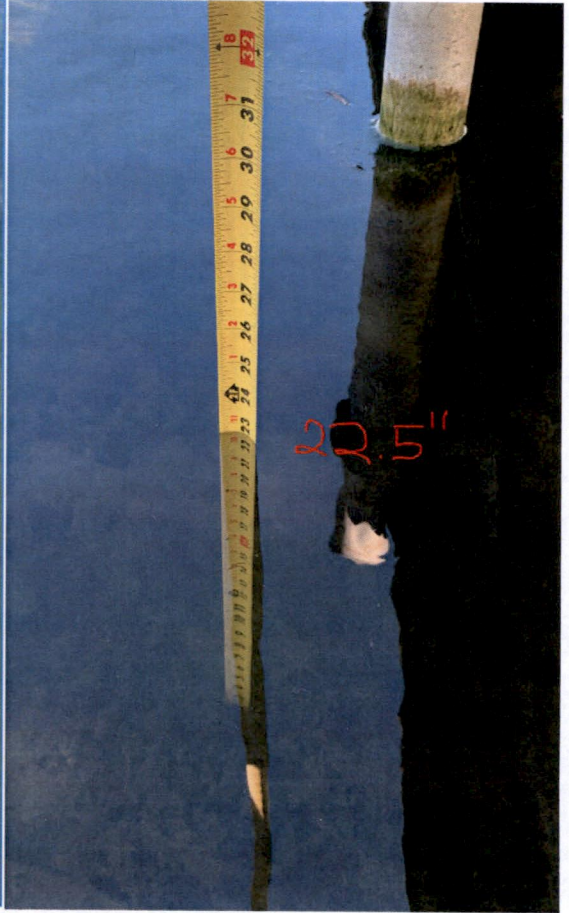
4. Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?


Signature of Applicant

03/02/2020
Date

Kyle Goonen
Name of Applicant (PRINT)







Theresa Dunkle

From: Kyle Goonen <kyle@prestigedevelopmentfl.com>
Sent: Wednesday, March 11, 2020 3:17 PM
To: Theresa Dunkle; 'psmerge@me.com'
Cc: George Wiggins
Subject: [External] Re: Tuesday, March 17, 2020, Board of Adjustments Hearing: 2050 St. George
Attachments: IMG_9739.JPG; IMG_5099.JPG; IMG_4552.JPG; IMG_0365.jpg; PrestigeDD-SmergeDockDepth.pdf; IMG_7123.JPG

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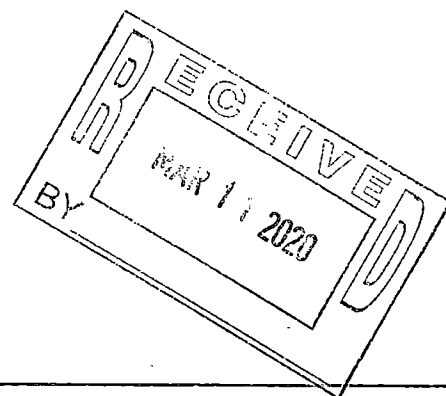
Hi Theresa & George,

Please see attached drawing of dock with depth measurements listed at specific locations. Also I have included a picture of the dock to show that it does not impede into navigable waters and remains in line compared to the abutting property as well as a few photos or measurements being taken.

Please let me know if you have any questions or concerns.

Kindly,

Kyle Goonen
Prestige Deck & Dock
(407)618-6031



From: Theresa Dunkle <tdunkle@cityofwinterpark.org>
Sent: Wednesday, March 11, 2020 10:32 AM
To: Kyle Goonen <kyle@prestigedevelopmentfl.com>; 'psmerge@me.com' <psmerge@me.com>
Cc: George Wiggins <Gwiggins@cityofwinterpark.org>
Subject: Re: Tuesday, March 17, 2020, Board of Adjustments Hearing: 2050 St. George

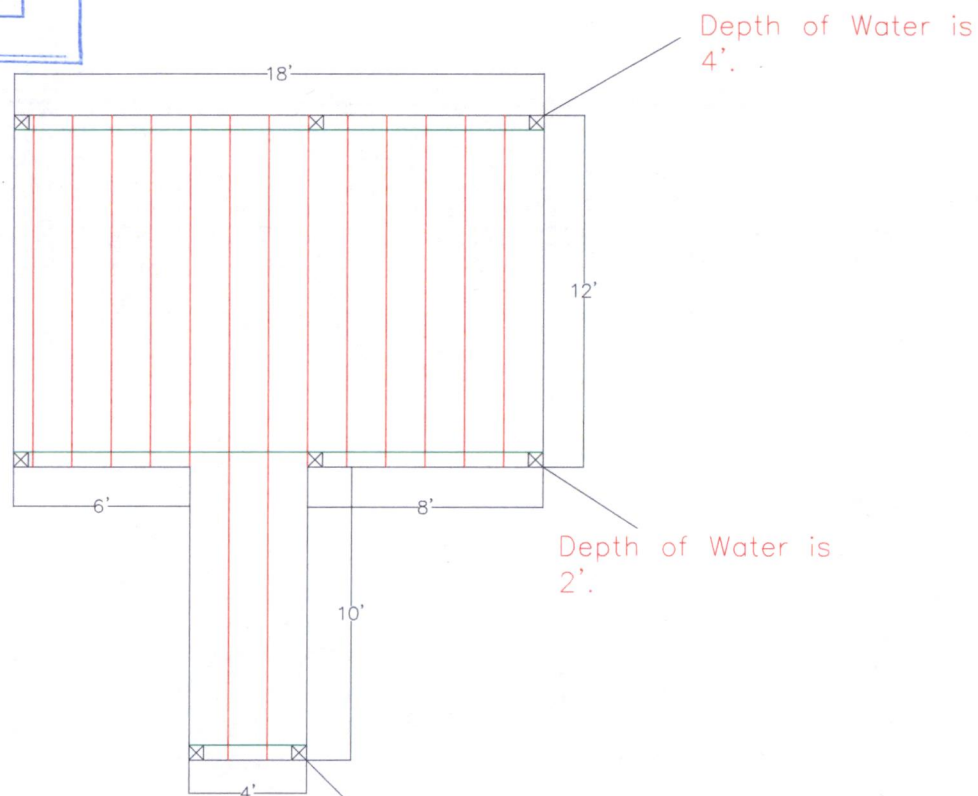
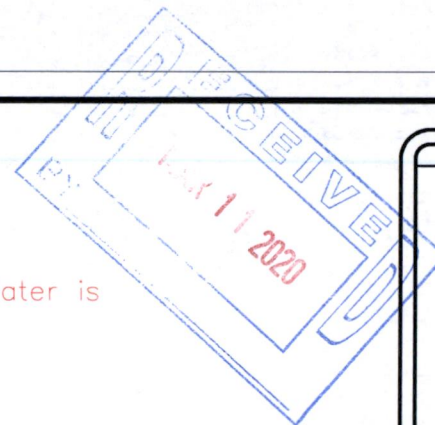
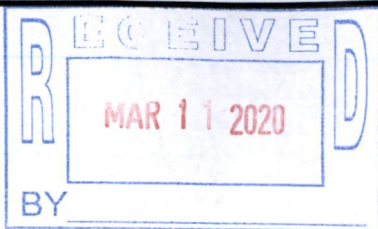
Kyle and Paul,

Re: Tuesday, March 17, 2020, Board of Adjustments Hearing: 2050 St. George Ave

Please provide detailed water depth information along the depth of your dock.
Ideally, we could use this information by the end of the day.

Thank you,

	Theresa Dunkle Code Analyst/Inspector Building & Permitting Services
--	-----------------------------------------------------------------------------------

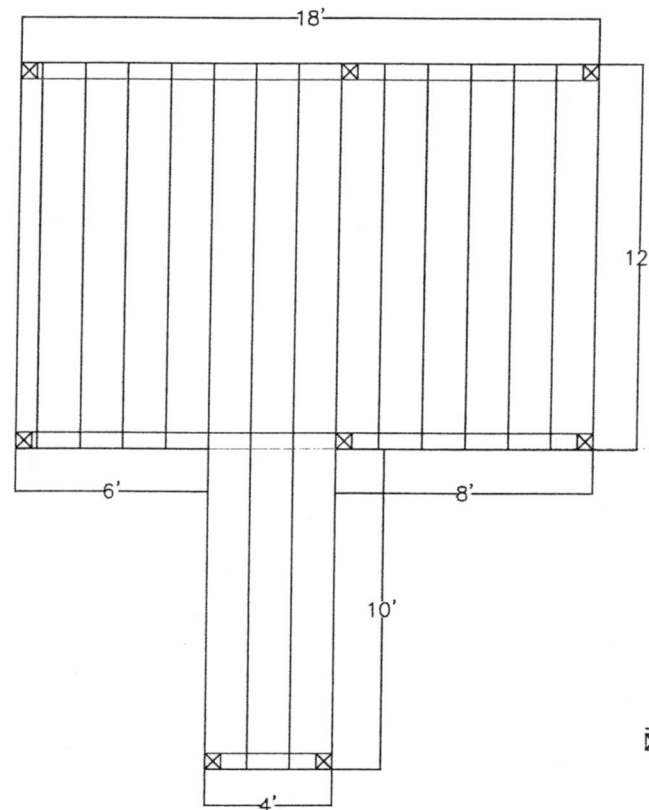


General Notes		
PRESTIGE DECK AND DOCK		
2050 St. George Avenue		
Winter Park, FL 32789		
No.	Revision/Issue	Date

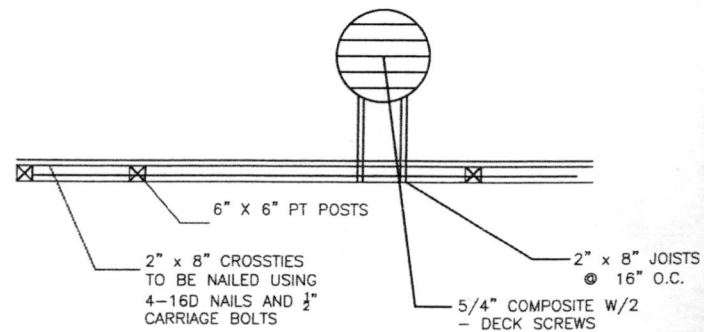
For Name and Address:
Engineer: Michael Thompson,
M.Sc., P.E. (#47509)
4401 Vineland Road, Suite A6
Orlando, Florida 32811
Ph: 407-734-1450
Fax: 407-734-1790
Certificate of Authorization No.
30060
www.thompsoneng.com

Project Name and Address

Project	Sheet
Date 02/05/2020	2
Scale As Noted	



DETAIL FOR DOCK PLATFORM



Walkway

General Notes

PRESTIGE DECK AND DOCK
2050 St. George Avenue
Winter Park, FL 32789

No.	Revision/Issue	Date

Drawn By: Michael Thompson,
Engineer: Michael Thompson,
MSc, P.E. (#47508)
4401 Vineland Road, Suite A6
Orlando, Florida 32811
Ph: 407-734-1450
Fax: 407-734-1790
Certificate of Authorization No.
30060
www.thompsoneng.com

Project Name and Address

Michael Thompson

Date
02/05/2020

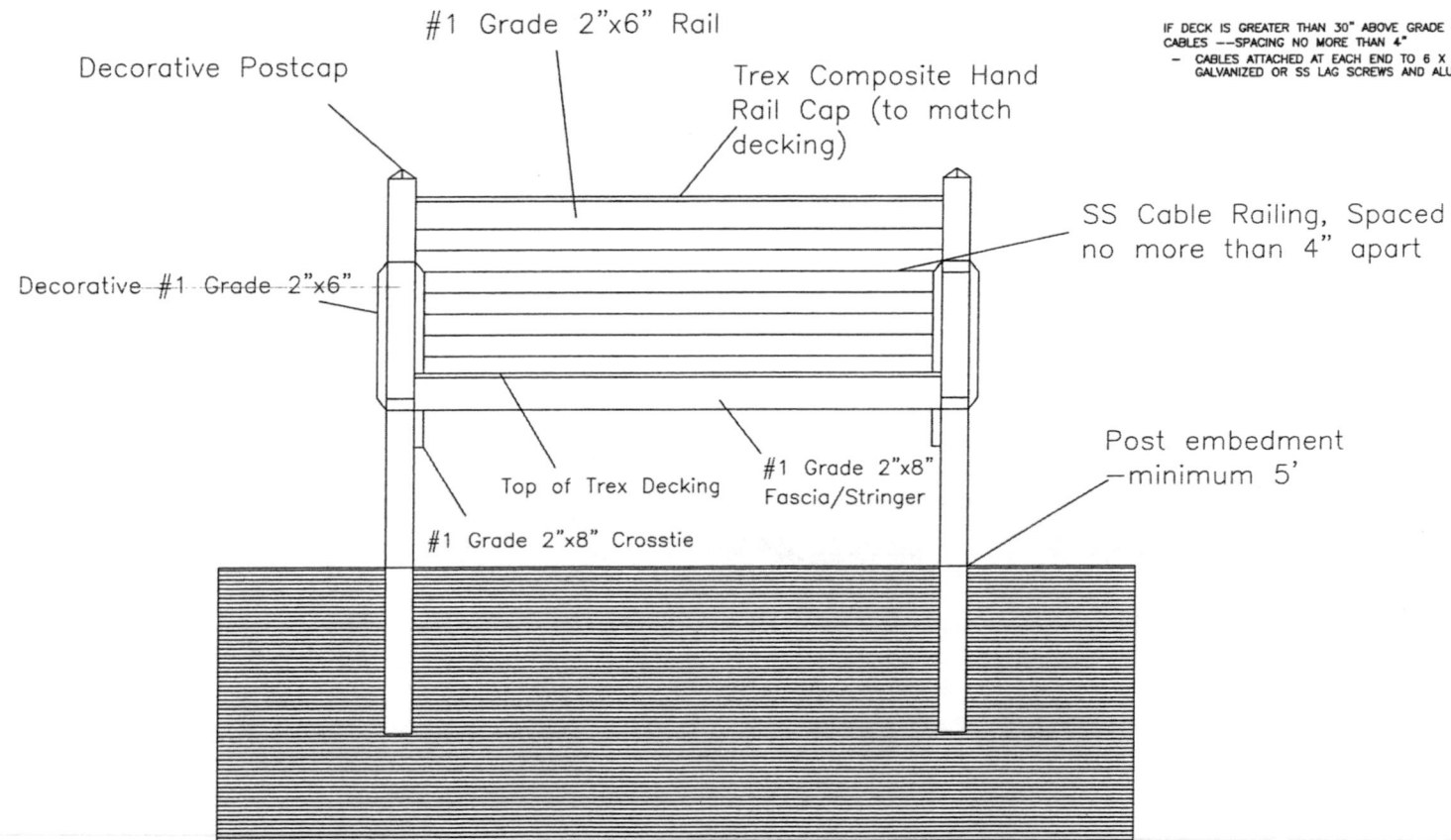
As Noted

2

THIS DOCK IS NOT 30" OR MORE ABOVE GRADE OR OVER
CONSERVATION EASEMENT

— IF WALKWAY IS 30" OR MORE ABOVE GRADE THEN RAILING IS REQUIRED OR OVER CONSERVATION
EASEMENT

RAILING & SECTION DETAIL



IF DECK IS GREATER THAN 30" ABOVE GRADE - STAINLESS STEEL
CABLES --SPACING NO MORE THAN 4"
- CABLES ATTACHED AT EACH END TO 6 X 6 POST USING 3" X 4"
GALVANIZED OR SS LAG SCREWS AND ALUMINUM CABLE SLEEVES

PRESTIGE DECK AND DOCK
2050 St. George Avenue
Winter Park, FL 32789

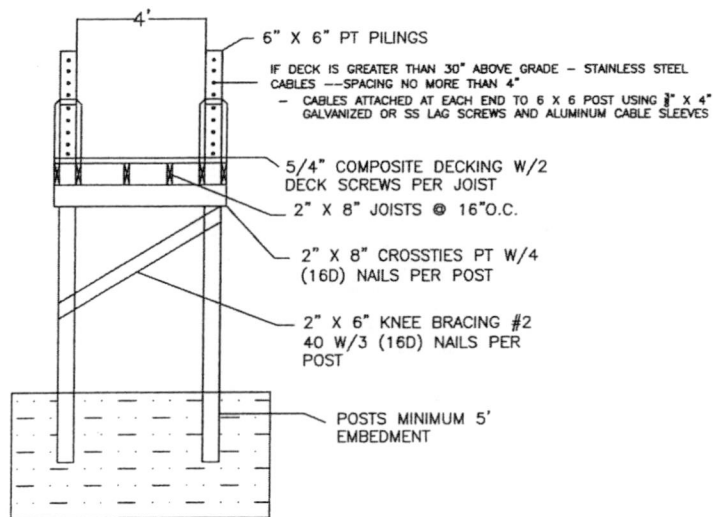
No.	Revision/Issue	Date

Drawn by: Michael Thompson,
Engineer: Michael Thompson,
M.Sc., P.E. (#47509)
4401 Vineland Road, Suite A6
Orlando, Florida 32811
Ph: 407-734-1450
Fax: 407-734-1790
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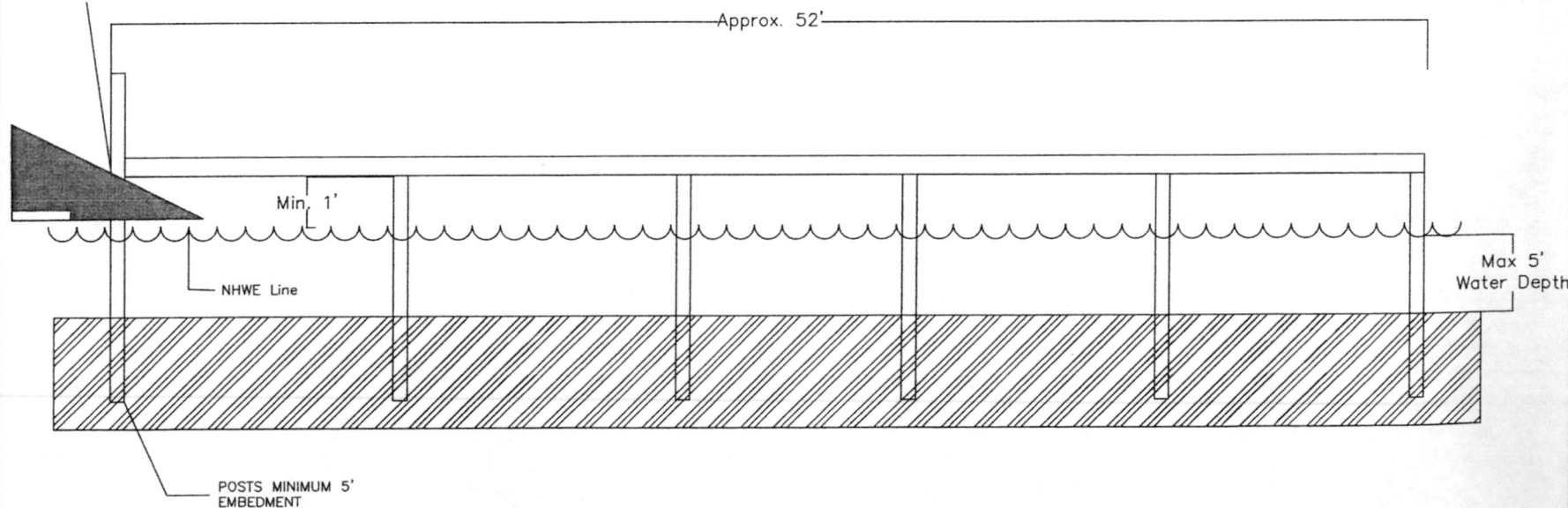
Project Name and Address

Date
02/05/2020
Sheet
As Noted
3

WALKWAY DESCRIPTION



Walkway starts on grade level.



General Notes

PRESTIGE DECK AND DOCK
2050 St. George Avenue
Winter Park, FL 32789

No.	Revision/Issue	Date

Drawn, Written and Sealed
Engineer: Michael Thompson,
M.Sc., P.E. (#47509)
4401 Vineland Road, Suite A6
Orlando, Florida 32811
Ph: 407-734-1450
Fax: 407-734-1790
Certificate of Authorization No.
30060
www.thompsoneng.com

Project Name and Address

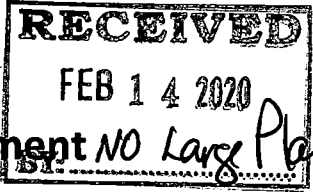
[Signature]

Project Sheet
Date: 02/05/2020
As Noted 4



Lakes
BLDG
UTC

City of Winter Park
Building & Permitting Services Department
 401 S. Park Ave., Winter Park FL 32789 cityofwinterpark.org/bps
 Phone: 407-599-3237 Fax: 407-599-3499 Email: permits@cityofwinterpark.org



NOTICE! RESIDENTIAL PLANS WILL NOT BE ROUTED WITHOUT WP SETBACK/COVERAGE WORKSHEET COMPLETED & A RECENT SURVEY!

BUILDING PERMIT APPLICATION

FBC EDITION 2017

DATE REC'D: 2/14/2020

PERMIT # 20-560

☐ New Construction ☐ Addition/Alteration ☐ Site Work ☐ Interior Demolition

PLEASE PRINT APPLICATION INFORMATION:

CONSTRUCTION VALUATION \$ 8,000

PROJECT NAME Smerge Dock

PROJECT ADDRESS 2050 St. George Avenue

SUITE/UNIT # _____

TAX / PARCEL I.D. NUMBER 17-22-30-6384-13-060

CITY LOCATION ID # 13537

OCCUPANT NAME _____

PROPERTY OWNER Paul and Amanda Smerge

PHONE 407 446 7233

PROPERTY OWNER'S ADDRESS 2050 St. George Avenue

psmerge@mc.com

CONTRACTOR NAME Kyle Goonen

PHONE 407 618 6031

CONTRACTOR'S ADDRESS PO Box ~~8090~~ 3405 Windermere, FL 34786

CONTRACTOR ST.REG./CERT.# CBC 1263420

EXPIRATION DATE 08/31/2020

CONTACT PERSON Kyle Goonen

PHONE/FAX _____

EMAIL Kyle@prestige-development-fl.com

BONDING COMPANY NAME & ADDRESS _____

ARCHITECT/ENGINEER'S NAME Michael Thompson

LICENSE # _____

PHONE _____

ARCHITECT/ENGINEER'S ADDRESS _____

MORTGAGE LENDER'S NAME _____

MORTGAGE LENDER'S ADDRESS _____

DESCRIPTION OF PROPOSED IMPROVEMENTS New dock platform to replace existing.

BUSINESS TYPE _____

DEMOLITION PERMIT # _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL, PLUMBING, MECHANICAL, FUEL GAS and ROOFING.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature _____

Owner or Agent (including contractor)

Signature _____

Contractor

The foregoing instrument was acknowledged before me the
2 10/20/20 PAUL SMERGE who is personally known
 to me and who produced _____
 _____ as identification and who did not
 take an oath.

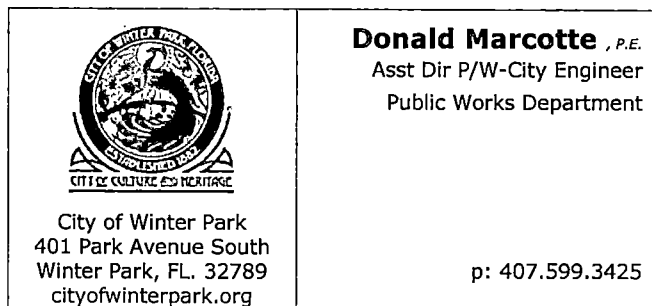
The foregoing instrument was acknowledged before me the
2/14/2020 by Kyle Goonen who is personally known,
 to me and who produced Florida Drivers License
 _____ as identification and who did not
 take an oath.

Theresa Dunkle

From: Donald Marcotte
Sent: Wednesday, March 11, 2020 2:57 PM
To: George Wiggins
Cc: Matthew Noonon; Debbie Wilkerson; Theresa Dunkle; Troy R Attaway
Subject: RE: Message from Building Permitting Copier
Attachments: SBuilding P20031114590.pdf

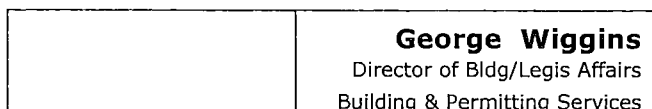
George.

This application has not gone before the Lakes and Waterways Advisory Board. This is a very interesting subject at this time. Yesterday during the LWAB public comment period there were three residents on Lake Speir that presented a petition to prohibit motorized vessels on the lake. The Board agreed to place the topic on the agenda for their next meeting in April.



From: George Wiggins <Gwiggins@cityofwinterpark.org>
Sent: Wednesday, March 11, 2020 2:27 PM
To: Donald Marcotte <DMarcotte@cityofwinterpark.org>
Cc: Matthew Noonon <mnoonon@cityofwinterpark.org>; Debbie Wilkerson <DebbieW@cityofwinterpark.org>; Theresa Dunkle <tdunkle@cityofwinterpark.org>
Subject: FW: Message from Building Permitting Copier

Don
Here is boat dock requesting a variance at next Tuesday's BOA mtg for being 50' out in Lk Spier. It is a complete re-build with larger deck.
Did this go to the Lakes Bd or will it need to? I'm sure my Board will be inquiring about this.
I understand that this area of the lake is extremely shallow, & needs to be out further to be a useful dock.





401 South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

Building & Permitting Services

TO: BOARD OF ADJUSTMENTS MEMBERS
FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS
DATE: July 28, 2020
SUBJECT: Portalatin VARIANCE REQUEST, 1671 Berkshire Avenue

The applicant is requesting a variance to allow the construction of a 6' high fence located 5' from the street side lot line along Clay Street, whereas the required setback is 15'.

This request includes removing a non-permitted and nonconforming fence that was built by a prior owner and is only 22 inches from the Clay Street sidewalk and lot line. The adjacent home along Clay Street on the north side at 1750 Westchester Avenue obtained a variance to allow a 6' fence placed 5 feet back from the street side lot line with a condition requiring a substantial hedge to buffer view of the fence.

This applicant states that when he purchased the home in May, 2019 this fence was existing, having been replaced by a previous owner apparently without a permit. In addition, survey provided does show a wood fence along the west street side lot line.

Minutes from 1/18/2005 Variance Hearing:

#1 Request of Frederico Bowen for a variance to allow the construction of a six foot wood fence to be placed 5 feet from the Clay Street lot line extending from near the front of the home under construction to the rear lot line in lieu of the required setback of 20 feet.

Located at 1750 Westchester Avenue. Zoned: R-2.

FINDINGS:

Lee Pecci, Assistant Building Official, stated the applicant is seeking a variance to allow the construction of a new six foot wood fence to be located 5 feet from the Clay Street lot line along the sidewalk and extending from the rear lot line to a point approximately 49 feet from the front lot line on Westchester Avenue.

Applicant stated multiple homes in the neighboring area also have block walls up to the side walk and the surrounding area is mostly commercial property and the wall would protect his property from the environment of the surrounding businesses. The applicant has letters from surrounding neighbors supporting the block wall up to the property line.

The Board stated the hardship is the location of the home and the surrounding semi-commercial environment

ACTION:

Based on these findings, Ms. Morse made a motion, seconded by Mr. Larsen, to approve the request with the requirements that the fence will be painted or stained, appropriate landscaping is added and an irrigation system be installed. The request was approved 5-1 with Ms. Shirer voting in opposition.

Some of the potential findings the Board could make with this request include the following:

In favor of granting a variance:

- 1) A pre-existing 6' fence had existed at or near this location for many years.
- 2) This property is directly across the street from commercially zoned properties and having a privacy buffer from commercial activities is a customary requirement in the City Zoning Code.
- 3) The applicant is willing to re-locate this fence back to 5' from the lot line and provide an irrigated landscape hedge to buffer the view of the fence from the street in a similar manner as the abutting property on the north side of this applicant's property.

In opposition to granting a variance:

- 1) Having nonconforming 6' fencing lining a street entering the City as close as 5' is not a pattern that should be set for other residential properties along commercial corridors.

Alternate request consideration:

Locate the 6' fencing back 8-10' from lot line so as to not line up with adjacent property and provide landscaping buffer as proposed.

At this point, the applicant has provided no letters in support or opposition.

**CITY OF WINTER PARK
VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT**

Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received _____
Assigned _____
Date of Hearing _____

Applicant: Ruben L. Portolatin Serrano Owner: Ruben L. Portolatin Serrano

1671 Berkshire Ave.
(Address)
Winter Park, FL 32789
(City, State) (Zip)

(Phone - Home)
(321) 210-8269
(Phone - Work or Cell)
ruben.portolatin@hotmail.com
(Email Address)

1671 Berkshire Ave
(Address)
Winter Park, FL 32789
(City, State) (Zip)

(Phone - Home)
(321) 210-8269
(Phone - Work or Cell)
ruben.portolatin@hotmail.com
(Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section _____, Subsection _____, Zoning _____.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of
property 1671 Berkshire Ave. Winter Park, Florida
Legal description of
property _____

Describe variance
request To match my fence height and position on the west side to that of my neighbor adjacent to the north. This would result in a 6'0" fence at 5'0" from sidewalk.

This section may be left blank for completion by city staff

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.

1671 Berkshire Ave

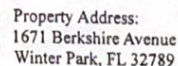
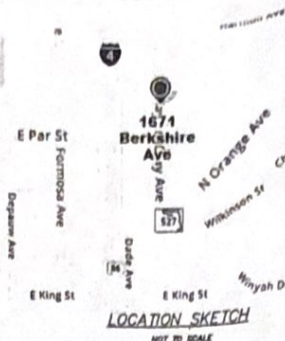


370 Waymont Court • Lake Mary, FL 32746 • VOICE: 407.688.9727 • FAX: 407.688.7691 • frontdesk@perrysurveying.com

Lot 11, Block 11, **ORWIN MANOR WESTMINSTER SECTION**,
according to the plat thereof, as recorded in Plat Book J, Page(s) 118,
of the Public Records of Orange County, FL.

Community number: 120188 Panel: 0255
 Suffix: F F.I.R.M. Date: 9/25/2009 Flood Zone: X
 Date of field work: 5/17/2019 Completion Date: 5/17/2019

Certified to:
Ruben Lelf Portalatin; Veronica Padilla; First American Title
Insurance Company; Supreme Lending, its successors and/or assigns.



Survey number: PS 11551

LEGEND						
	—	Wire Fence	D	Description or Deed	P.B	Plat Book
	—	Wood Fence	D.E	Drainage Easement	P.E	Pool Equipment
	—	Overhead Utilities	D.U.E	Drainage & Utility Easement	P.O.B	Point of Beginning
	—	Water Meter	D.W	Driveway	P.O.C	Point of Commence
	—	Electrical Facility	DSM	Easement	P.C.C	Point of Compound
	—	Asphalt	E.O.P	Edge Of Pavement	P.C	Point of Curvature
	—	Brick Wall	E.O.W	Edge of Water	P.I	Point of Intersection
	—	Block/Pavers	ENCR	Encroachment	P.R.C	Point of Reverse Curve
	—	Concrete/Hard Surface	F	Field	P.T	Point of Tangency
	—	Covered Area	FD	Fund	P.O.L	Point on Line
	—	Centerline	F.N.D	Found Nail & Disc	P.L	Property Line
	—	Central Angle/Delta	F.C.M	Found Concrete Monument	R	Record
	—	Air Conditioner	F.I.P	Found Iron Pipe	R.W	Right of Way
	—	Bar/Range References	F.L	Found Iron Rod	S	Set Iron Rod & Cap
	—	Boundary Mark	L	LENGTH	S.W.K	Survey
	—	Cable Riser	L.B	Leased Business	TEL	Telephone Facilities
	—	Calculated	M	MEASURED	T.O.B	Top of Bank
	—	Chain Link Fence	M.H	Manhole	U.Y	Utility
	—	Chord	M.O.R	Official Records Book	U.E	Utility Easement
	—	Chord Bearing	ONPL	On Property Line	W.F	Wood Fence
	—	Curb	P	Page	W.C	Willow Corner
	—	Curb Block & Stucco	P.V.C	Vinyl Fence		
	—	Concrete	P.V.M	Pavement		
	—	Concrete Monument	P.C.P	Permanent Control Point		
	—	Covered	P.R.M	Permanent Reference Monument		
			P	Plat		

1. Legal description provides others.	Unless otherwise noted, based on information provided by others.
2. There may be additional easements and/or easements either recorded or unrecorded not shown hereon that may affect this property.	8. Easements and drilled location shown hereon is APPROXIMATE and based upon visual information.
3. Only visible encroachments located.	9. Easement locations along property line may be exaggerated for clarity.
4. This is a BOUNDARY survey unless otherwise noted.	10. If survey meets or exceeds the Standards of Practice promulgated by the Florida Board of Professional Land Surveyors, §17-17, of the Florida Administrative Code, Section 177-04, Florida Statutes.
5. This survey or the copies thereof are not valid without the original signed and sealed map of a Florida licensed surveyor and mapmaker, of any kind.	
6. This survey is not to be used for construction of any kind.	

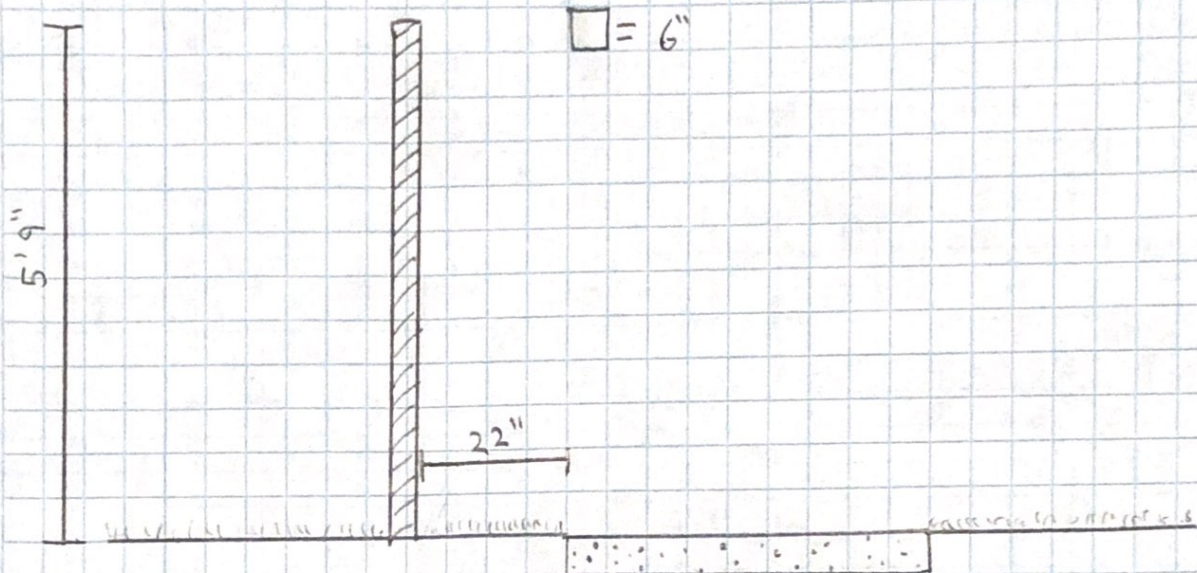
Jeffrey S. Hutton
PROFESSIONAL SURVEYOR No. 6183 L.B. 8222

I hereby certify that this survey is a true and correct representation of a survey prepared under my direction.

1671 Berkshire Ave

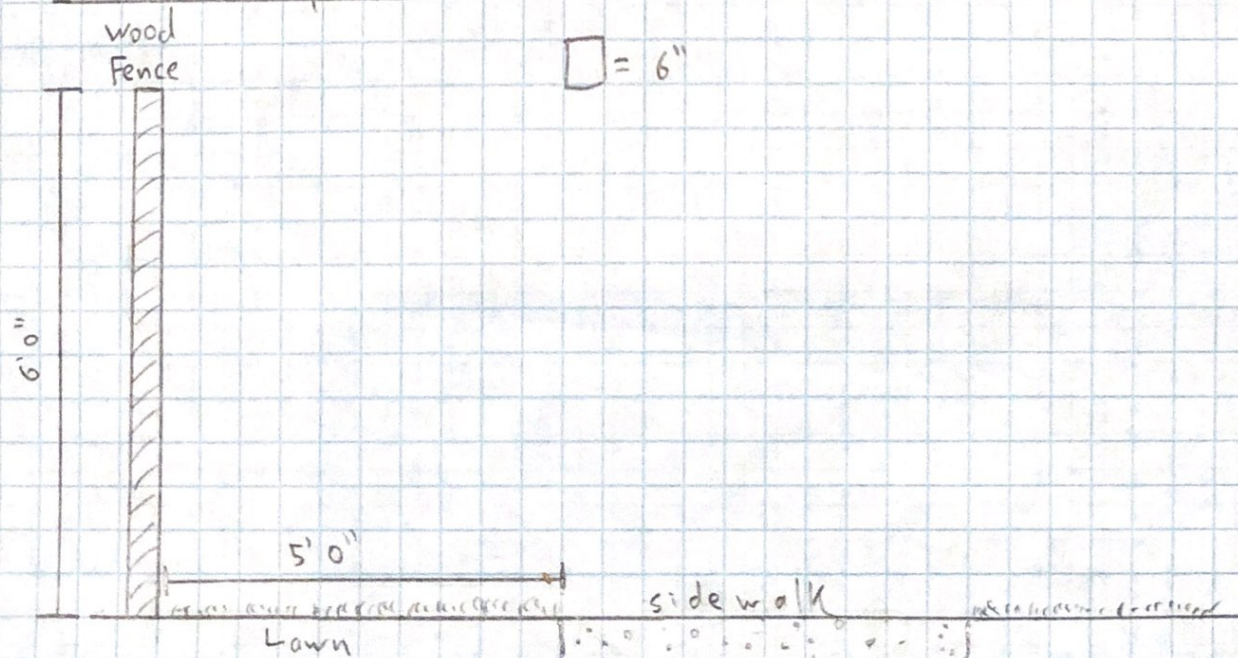
31 / May / 2020

Current Fence



52.5' = length of fence

Variance Request





END
ROAD WORK



24 hour gas station & food mart.



Medical office building across fence.



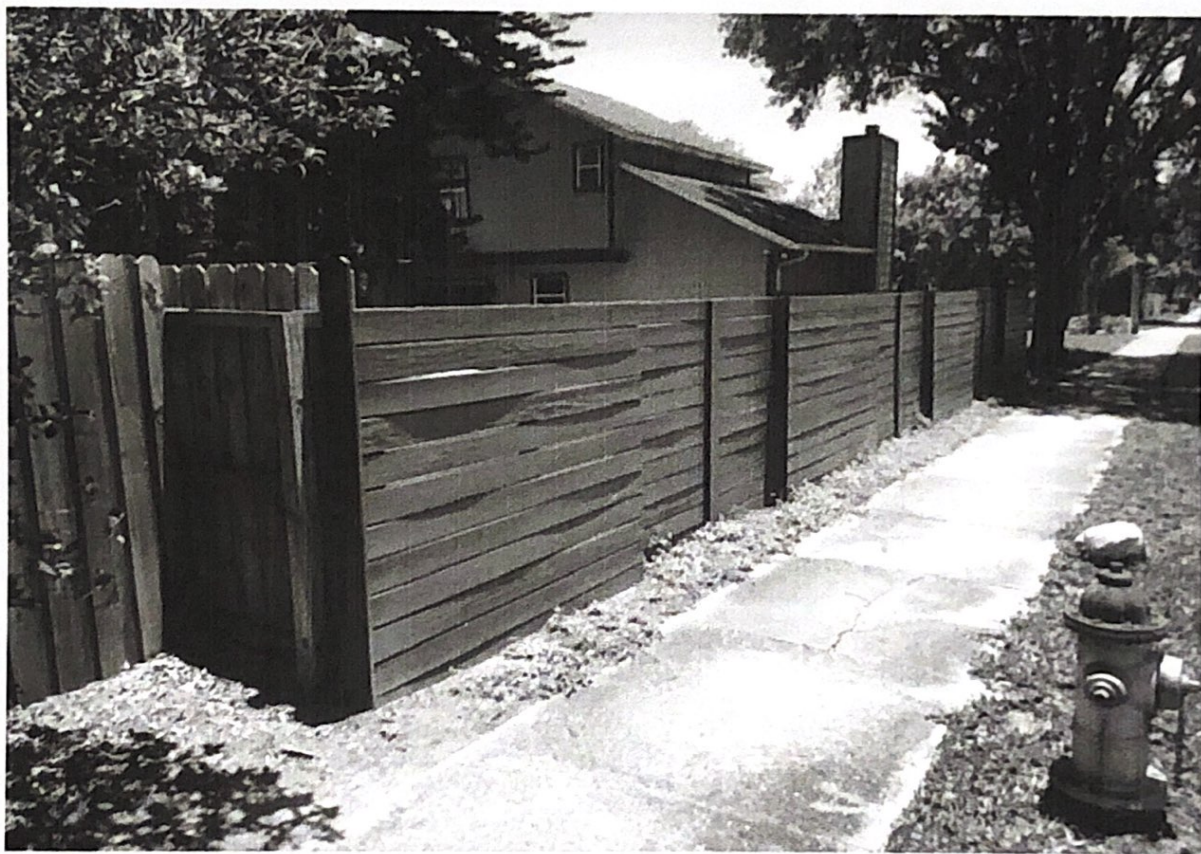
Example of littering



Example of littering



Current fence layout. Looking North



Current fence layout. looking south



Union between fence to the north neighbor.
Note height difference and distance from
sidewalk.



401 South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

**Building &
Permitting
Services**

TO: BOARD OF ADJUSTMENTS MEMBERS
FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS
DATE: July 28, 2020
SUBJECT: Rife-Falk VARIANCE REQUESTS, 720 & 724 Via Bella

The applicants are requesting joint variances to allow the re-construction of a boathouse located zero feet from the common lot line of 720 & 724 Via Bella, whereas the required side setback is 5' and allow approximately 70 square feet of additional boathouse area at the 720 Via Bella property.

Prior to 2001 a boathouse was built at 724 Via Bella with an encroachment across the extended side lot line of 720 Via Bella a distance of 3.4' to 9.5'. We can find no record of a permit, however, from viewing property appraiser arials apparently it was built before 2001.

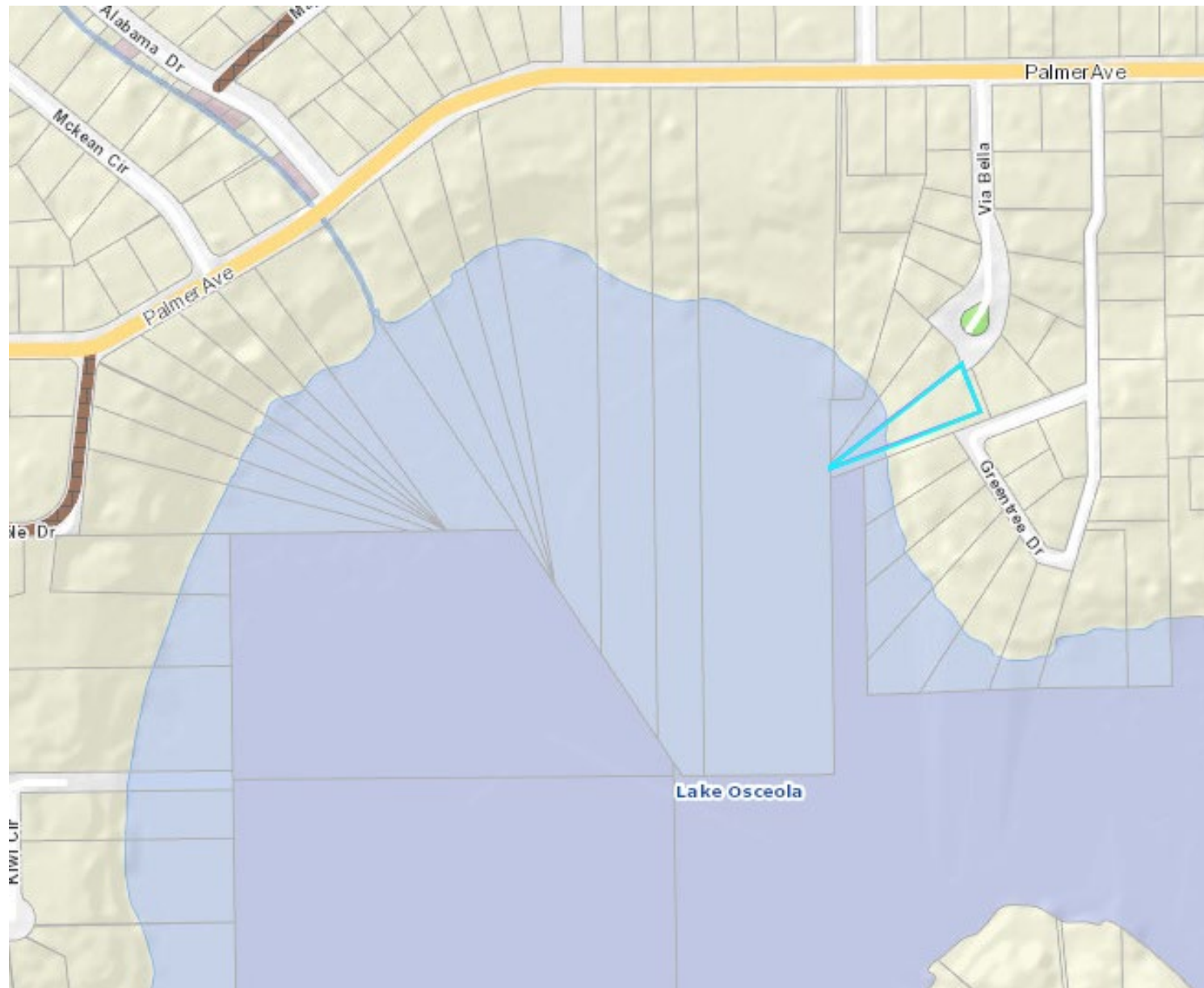
The proposed boathouse will be constructed within the allowable area, height and distance into the lake and was approved by the Lakes Board on June 9, 2020.

The owners of each property are having their attorneys prepare an agreement to be executed to protect each other's interests with regard to the encroachment, addressing use and maintenance of the new boathouse.

One of the main reasons for rebuilding the boathouse at this location is to maintain views of the lake. In late 2010 a boathouse was built on the property at 720 Via Bella in conformity with the Code and directly abutting the existing encroaching boathouse. If the encroaching boathouse is moved further to the south along the shoreline of 724 Via Bella, the resulting lake views of both properties will be further reduced, particularly due to the pie shaped lots that are much wider at the street frontage than at the lake.

No letters have been received concerning this request and notices were mailed to property owners within 200 feet.

724 Via Bella



VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT

Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received _____
Assigned _____
Date of Hearing 06/16/2020

Applicant: Sheila Cichra

2154 Oak Beach Blvd
(Address)
Sebring, FL 33875
(City, State) (Zip)
(863) 314-6711
(Phone – Home)
(407) 450-4241
(Phone – Work or Cell)
sheilacichra@gmail.com
(Email Address)

Owner: John and Shelley Rife

724 Via Bella
(Address)
Winter Park, FL 32789
(City, State) (Zip)
(Phone – Home)
(407) 925-8407
(Phone – Work or Cell)
RifeMiller@gmail.com
(Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section 58-87, Paragraph (c) (3), Zoning R-1AAA.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of
property 724 Via Bella
Legal description of
property PALMER AVE LAKESIDE PROPERTIES S/113 LOT 8 & 1/16 INT IN PEDESTRIAN EASEMENT
AS SHOWN IN PB S/113 & DB960/309 - (SEE 05-22-30-6580-00-000)

Describe variance
request Requesting a variance to the minimum setback in order to rebuild a boathouse in
the same location as the existing.

This section may be left blank for completion by city staff

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.

Variance Application
Page 2 of 2

What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

The parcel ples dramatically, so there isn't much room for a boat dock without blocking the
view of the lake. There is an existing boathouse, which has been there for over 20 years,
built over the property line and directly adjacent to the boathouse of the neighbor to the North.

How long have you owned the property? 1 year

How long have you occupied the property? 1 year

What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

If the boathouse was rebuilt at the required setback, the view of the lake would be almost
completely obstructed.

Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

There is currently a nice view of the lake from the house. If the boathouse were built at the
required setback, that view would be greatly negatively impacted.

Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?

We believe that we are asking for the minimum variance, as is.


Signature of Applicant

06/14/20
Date

Sheila Cichra
Name of Applicant (PRINT)

I, John Rife, owner of 724 Via Bella, in the City of Winter Park, hereby grant permission to Sheila Cichra, of Streamline Permitting, Inc., to act as my agent in obtaining all permits associated with the construction of our dock and boathouse.


(Signature)

3-6-2020
(Date)

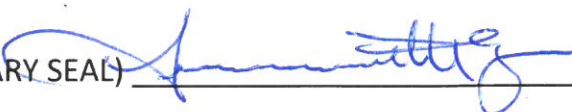

John M Rife
(Print Name)

ACKNOWLEDGEMENT:

STATE OF FLORIDA

COUNTY OF Orange

The foregoing instrument was acknowledged before me this 6th day of March 2020, by John M Rife.

(NOTARY SEAL)   ANNETTE GANGALE
Commission # GG 158567
Expires February 7, 2022
Bonded Thru Budget Notary Services

(Signature of Notary Public – State of Florida)

Personally Known X OR Produced Identification _____

Type of Identification Produced

I, Shelley Rife, owner of 724 Via Bella, in the City of Winter Park, hereby grant permission to Sheila Cichra, of Streamline Permitting, Inc., to act as my agent in obtaining all permits associated with the construction of our dock and boathouse.

Shelley J. Rife

(Signature)

3-6-2020

(Date)

Shelley Rife

(Print Name)

ACKNOWLEDGEMENT:

STATE OF FLORIDA

COUNTY OF Orange

The foregoing instrument was acknowledged before me this 6th day of March 2020, by Shelley Rife.

(NOTARY SEAL) [Signature]



ANNETTE GANGALE
Commission # GG 158567
Expires February 7, 2022
Bonded Thru Budget Notary Services

(Signature of Notary Public – State of Florida)

Personally Known X OR Produced Identification _____

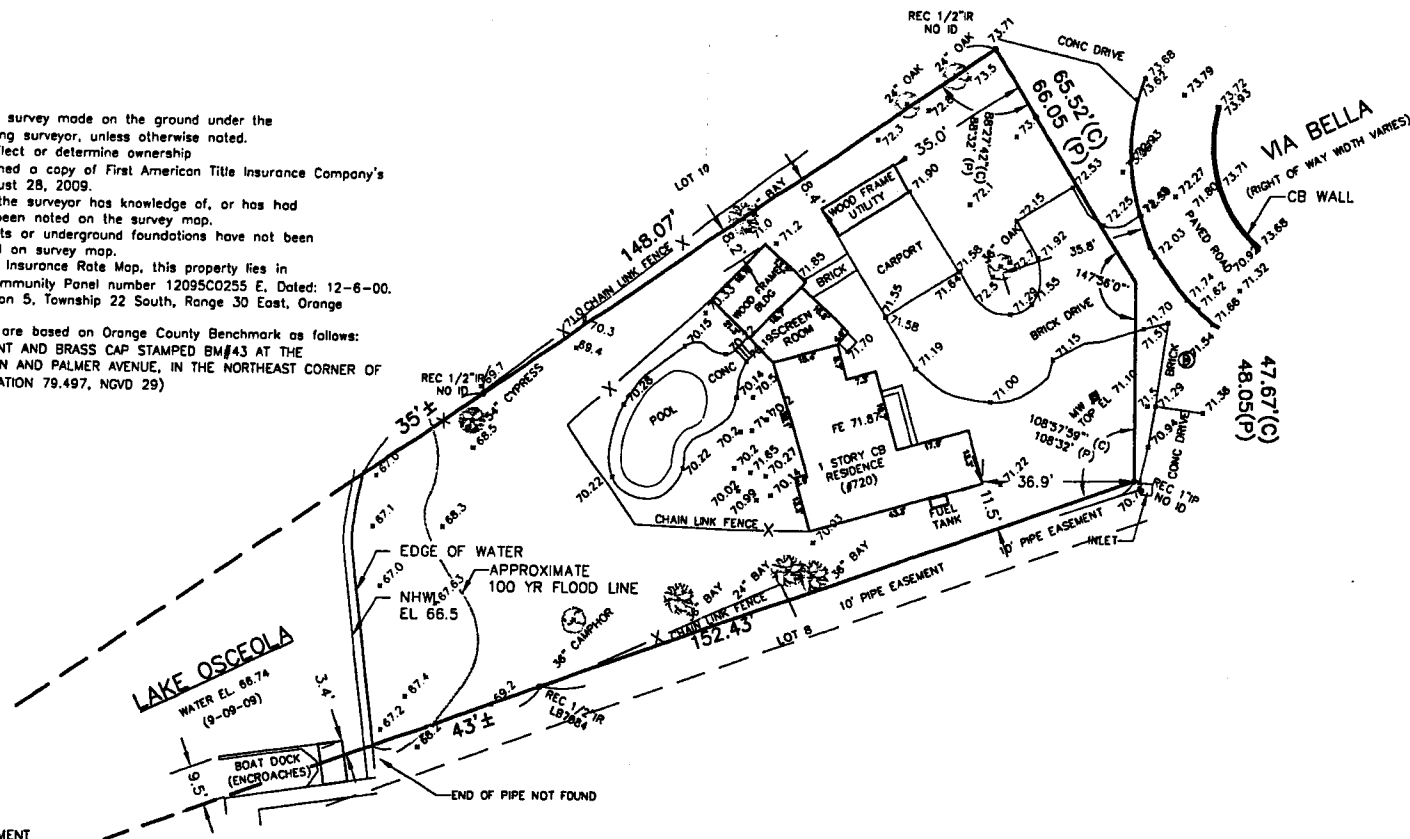
Type of Identification Produced

SURVEY REPORT:

1. This survey represents a survey made on the ground under the supervision of the signing surveyor, unless otherwise noted.
2. This survey does not reflect or determine ownership.
3. This survey was furnished a copy of First American Title Insurance Company's Commitment Dated August 28, 2009.
4. All easements of which the surveyor has knowledge of, or has had furnished to him, has been noted on the survey map.
5. Underground improvements or underground foundations have not been located except as noted on survey map.
6. According to the Federal Insurance Rate Map, this property lies in Zones "X" and "AE", Community Panel number 12095C0255 E, Dated: 12-6-00.
7. This property lies in Section 5, Township 22 South, Range 30 East, Orange County, Florida.
8. Elevations shown hereon are based on Orange County Benchmark as follows:
THE CONCRETE MONUMENT AND BRASS CAP STAMPED BM#43 AT THE INTERSECTION OF MCKEAN AND PALMER AVENUE, IN THE NORTHEAST CORNER OF THE INTERSECTION. ELEVATION 79.497, NGVD 29)

LEGEND:

C	CENTERLINE
CM	CONCRETE MONUMENT
CONC	CONCRETE
(O)	DESCRIPTION
EL	ELEVATION
FE	FLOOR ELEVATION
HYD	FIRE HYDRANT
IP	IRON PIPE
IR	IRON ROD
(M)	MEASURED
(P)	PLAT
PH	TELEPHONE BOX
WM	WATER METER
WPP	WOOD POWER POLE
WV	WATER VALVE
REC	RECOVERED
R/W	RIGHT OF WAY



DESCRIPTION:

LOT 9, PALMER AVENUE LAKESIDE PROPERTIES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK "S", PAGE 113, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

HENRICH-LUKE & SWAGGERTY, LLC
surveyors & mappers



1490 Sunshadow drive
Suite 1000
Casselberry, FL 32707
(407) 647-7346
FAX (407) 647-8097
Licensed Business No. 7276

Mark I. Luke
Professional Surveyor and Mapper
Florida Registration No. 5006

"Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper"

CERTIFIED TO:

Godbold Downing & Bill, P.A.
First American Title Insurance Company
James Blumenfeld & Chris Cooney

That this survey was performed in the field on the date(s) shown hereon.

BOUNDARY & TOPOGRAPHIC SURVEY

FOR **PHIL KEAN DESIGNS**

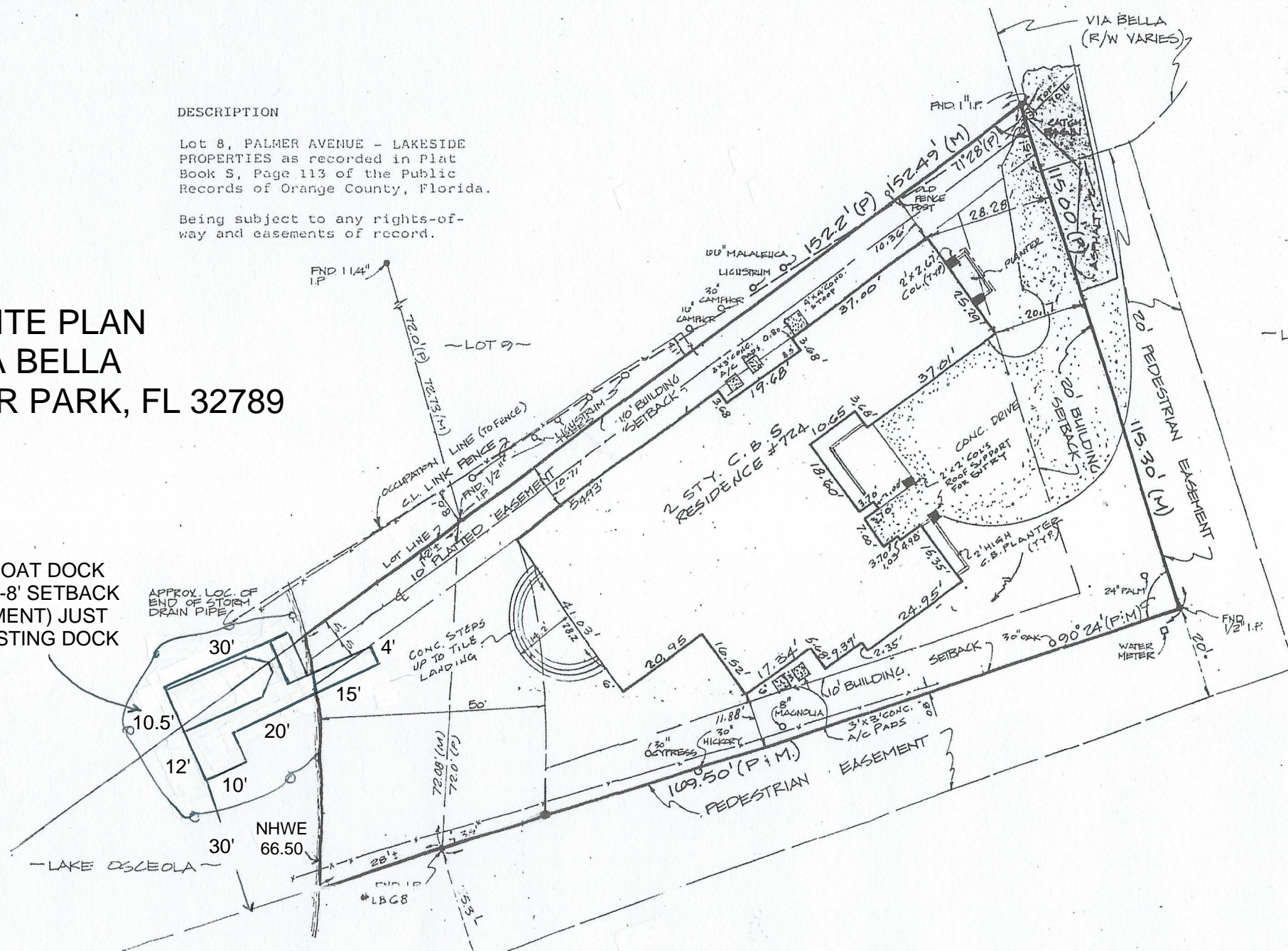
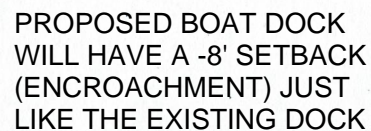
DATE OF SURVEY: 9/9/09	JOB NO: E-7064	FIELD BY: JL	REVIEWED:
SCALE: 1"=30'	DRAWN BY: ML	CHECKED BY: MIL	

FILE 31-09 M

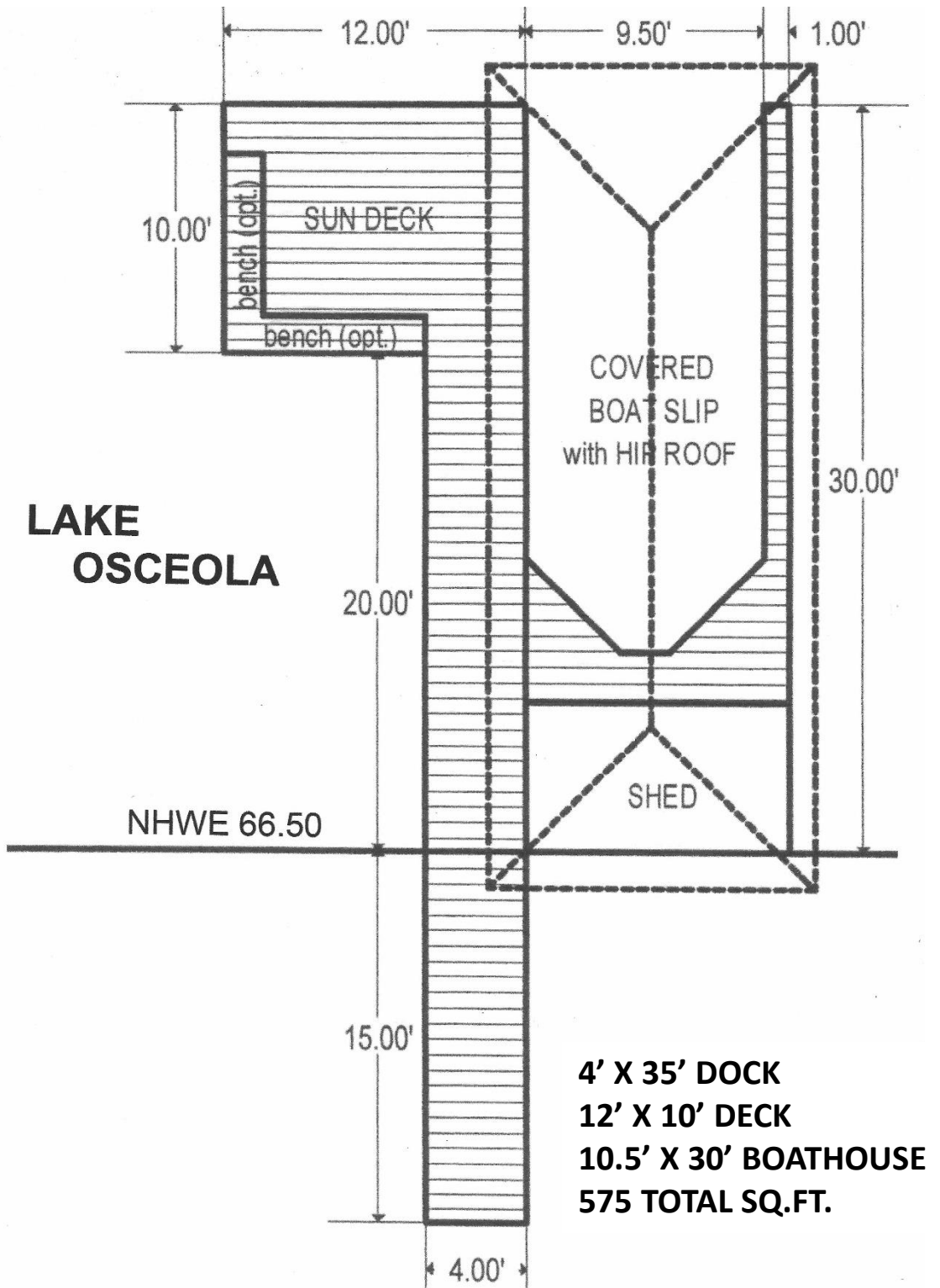


Lot 8, PALMER AVENUE - LAKESIDE
PROPERTIES as recorded in Plat
Book S, Page 113 of the Public
Records of Orange County, Florida.

Being subject to any rights-of-way and easements of record.



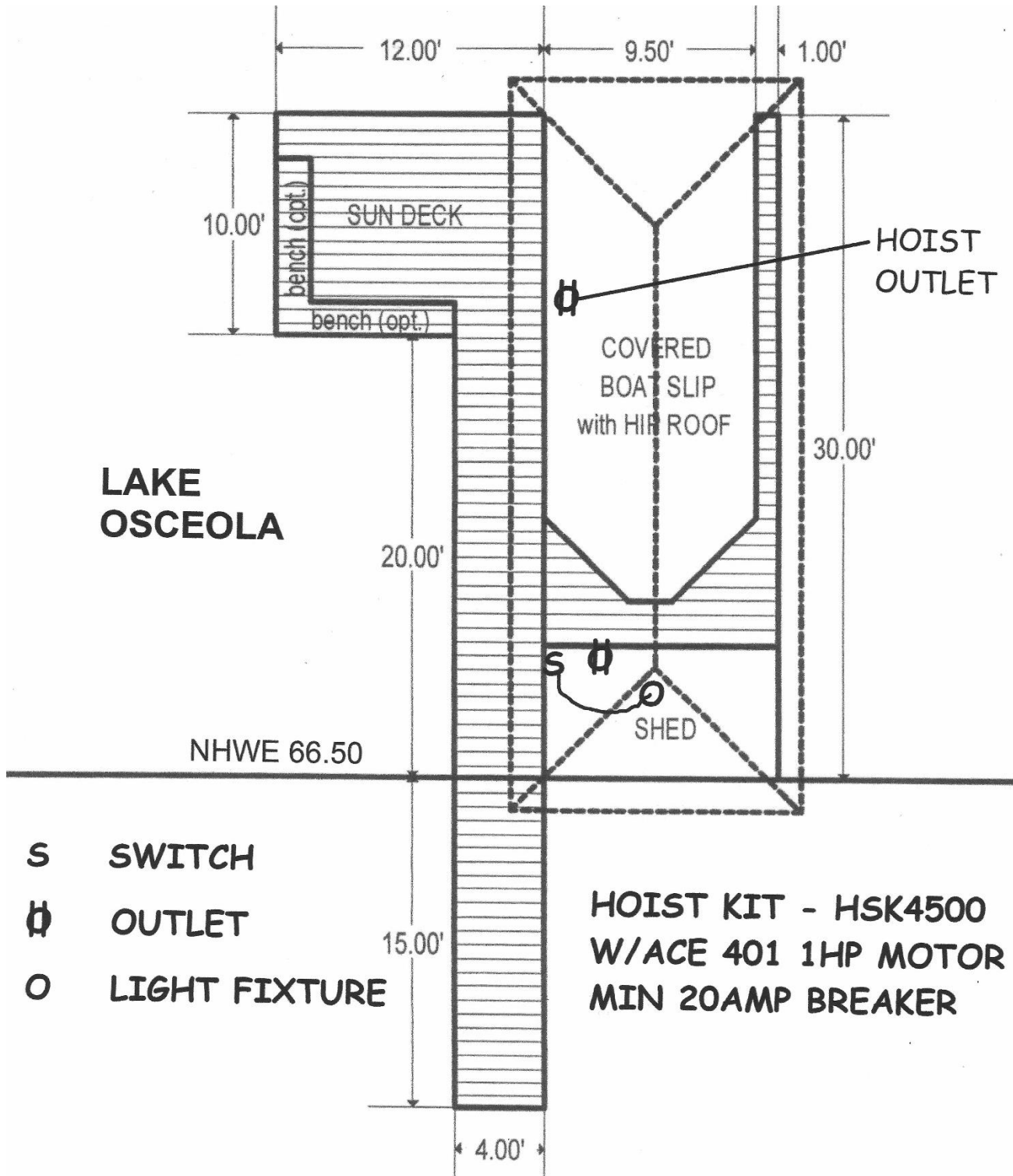
Plan View



Rife

724 Via Bella, Winter Park

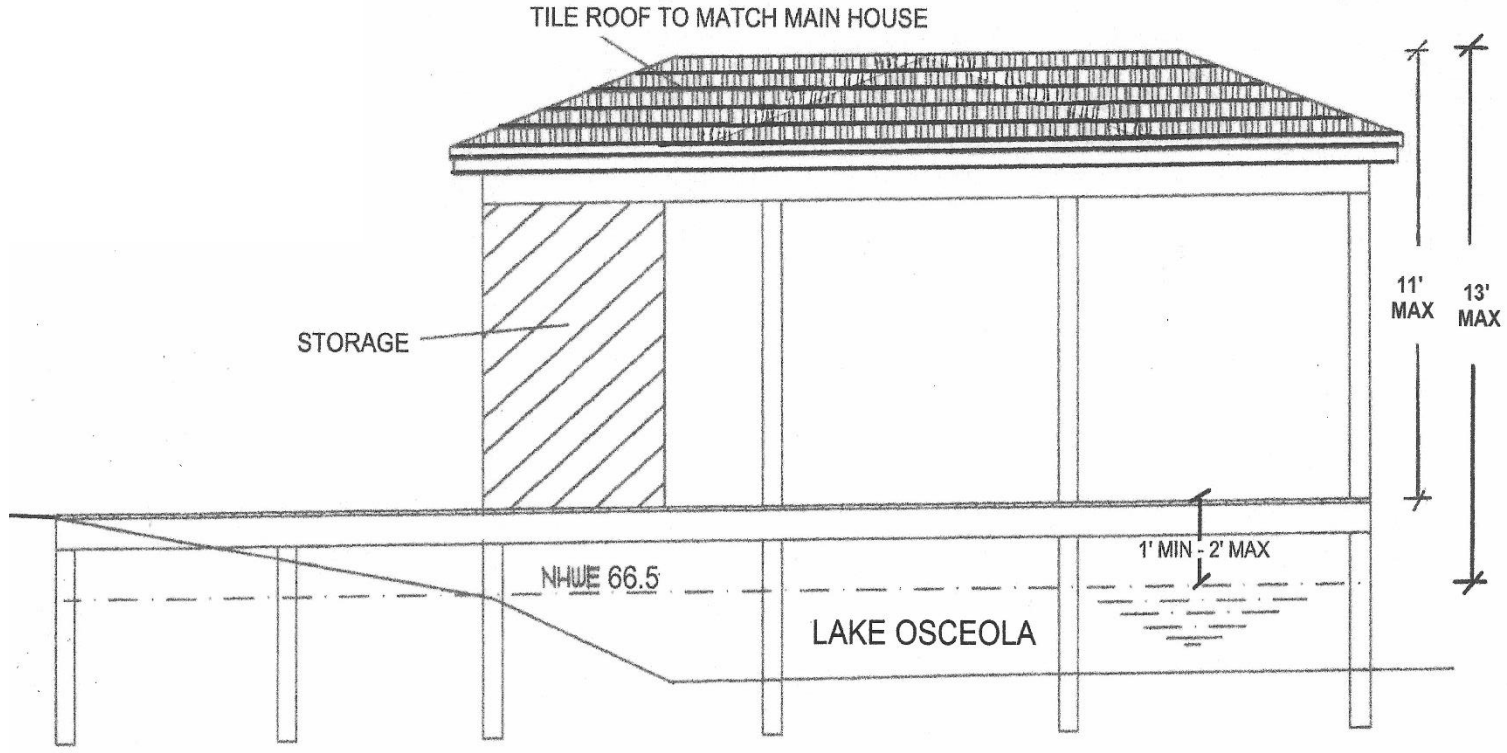
Electrical Plan



Rife

724 Via Bella, Winter Park

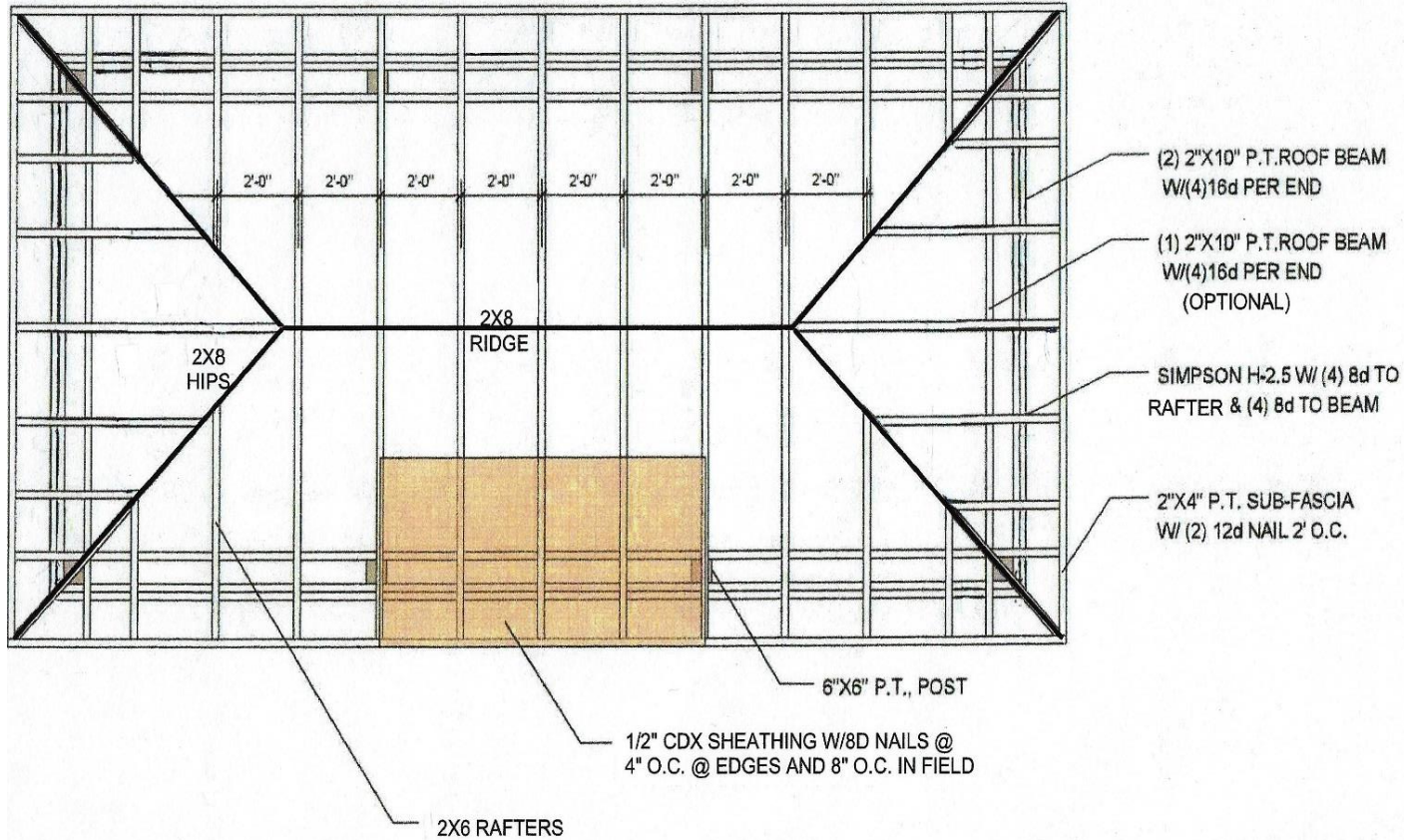
Elevation



Rife

724 Via Bella, Winter Park

Roof Framing

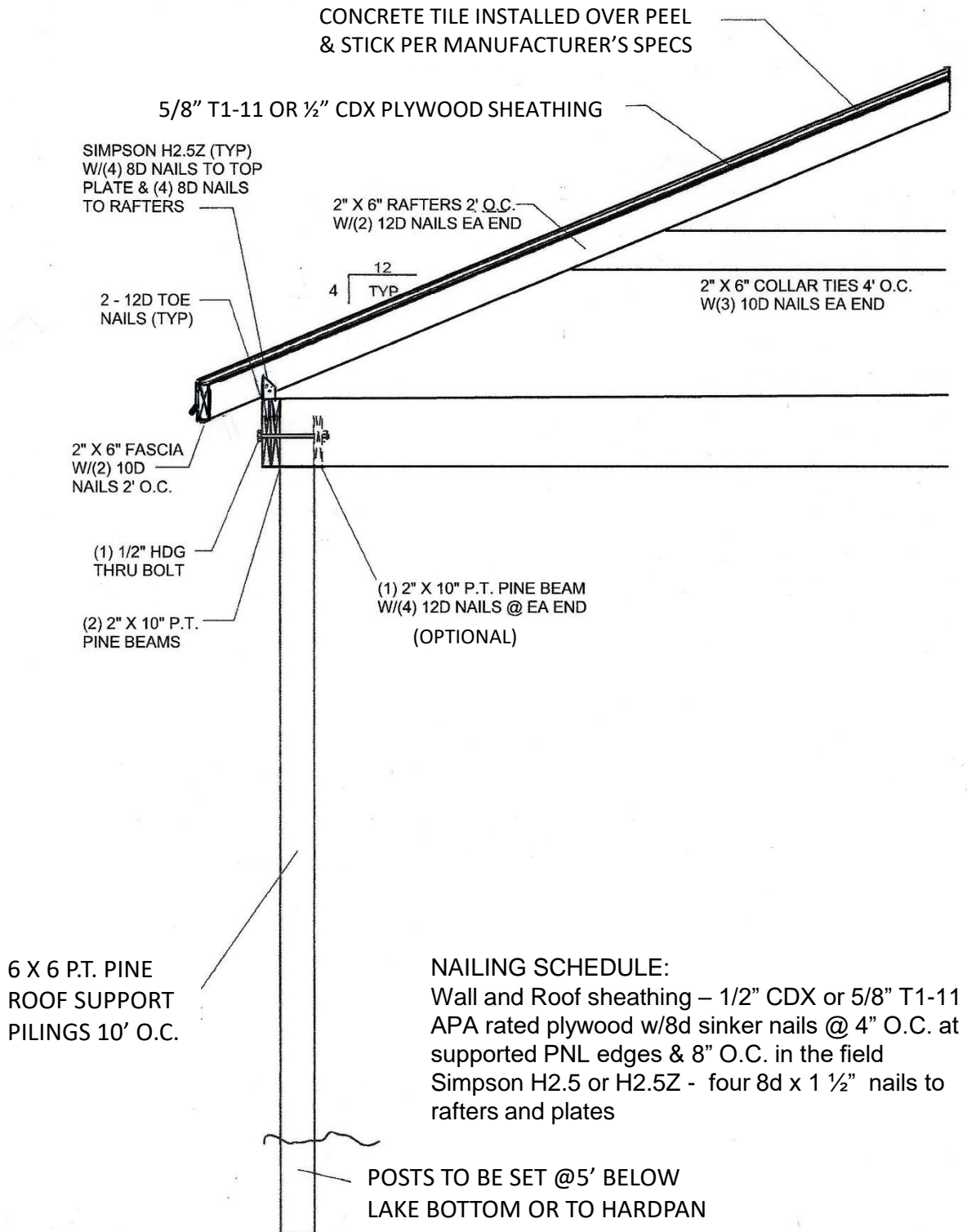


2 X 6 RAFTERS 2' O.C. W/(3) 10d TOE NAILS TO HIPS AND RIDGE
 2 X 6 COLLAR TIES 4' O.C. W/(4) 10d NAILS EACH END
 2 X 8 HIPS & VALLEYS W/(4) 10d TOE NAILS EA END
 2 X 6 FASCIA W/(2) 10d NAILS TO RAFTERS
 (2) 2 X 10 PERIMETER BEAM W/(2) 1/2" HDG THRU BOLT
 6 X 6 ROOF SUPPORT PILINGS 10' O.C. MAX

Rife

724 Via Bella, Winter Park

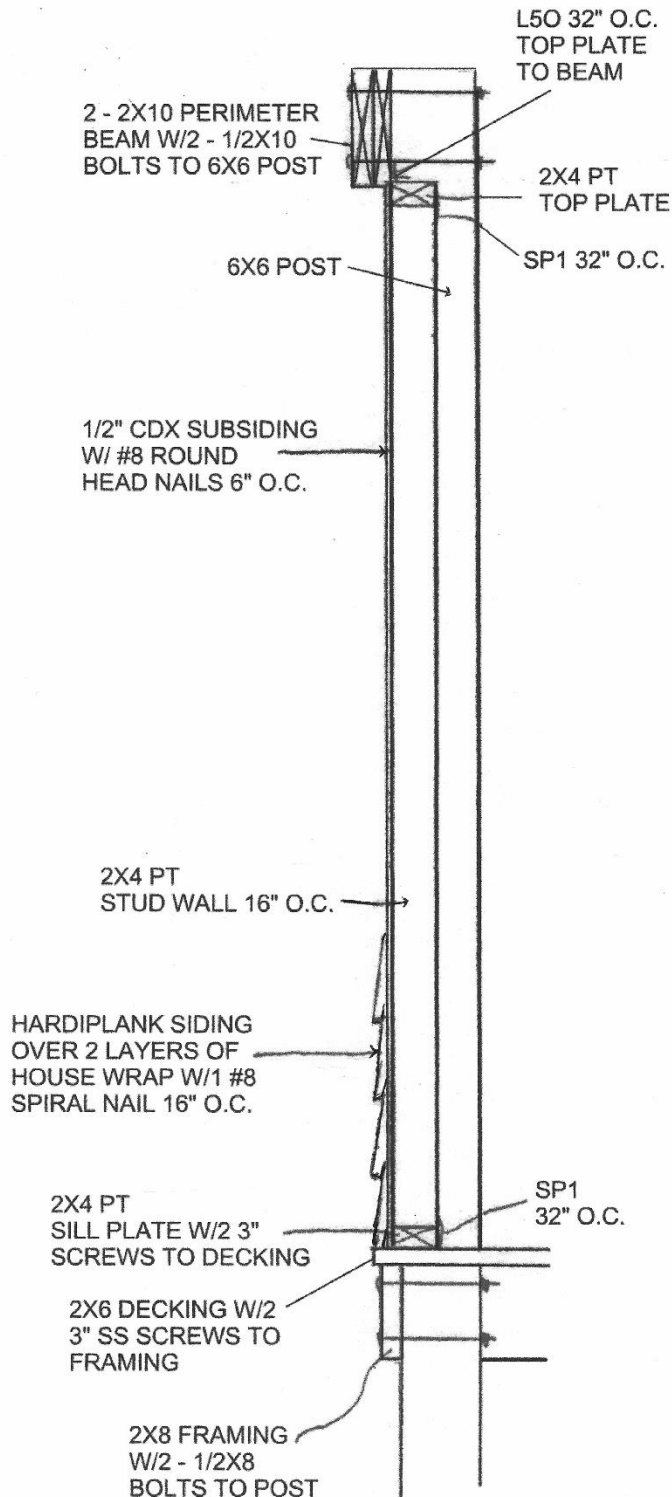
Roof Cross Section



Rife

724 Via Bella, Winter Park

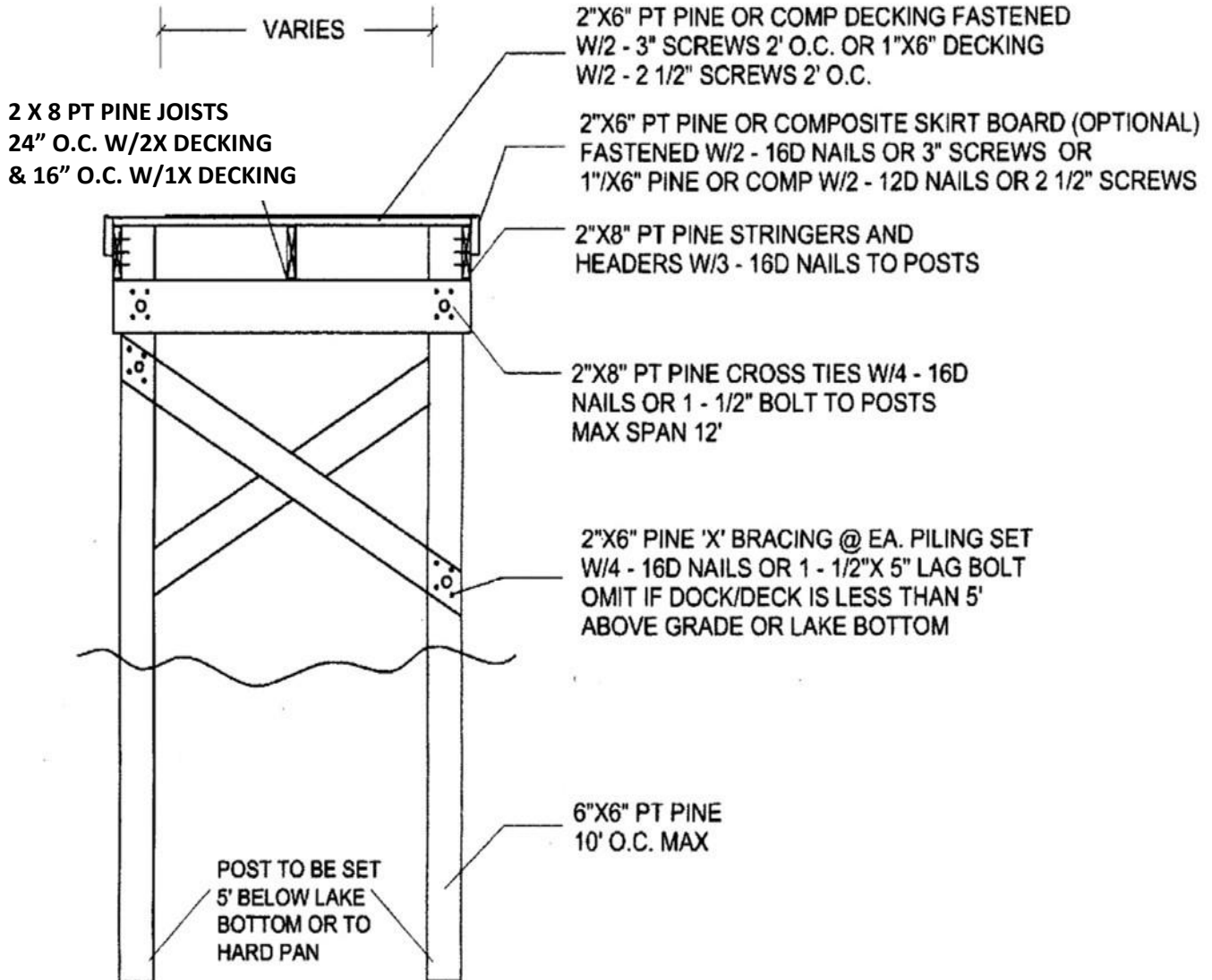
Storage Room Wall Detail



Rife

724 Via Bella, Winter Park

Dock/Deck Framing Detail and Specifications



THIS STRUCTURE HAS BEEN DESIGNED TO MEET THE 2017 FLORIDA BUILDING CODE, 6TH EDITION AND ASCE 7- 10 AND 2014 NATIONAL ELECTRIC CODE.

- 1. BASIC WIND SPEED (V_{asd}) = 108 MPH, ULTIMATE WIND SPEED (V_{ult}) = 140 MPH**
- 2. CONSTRUCTION TYPE = R-3**
- 3. WIND EXPOSURE = CATEGORY D**
- 4. OPEN STRUCTURE WITH A ZERO PRESSURE COEFFICIENT**

Rife

724 Via Bella, Winter Park

Design Standards

The following are general design standards. More stringent design standards may be noted on the plans.

General Requirements:

Reproductions of contract drawings by contractor in lieu of preparation of shop drawings signifies acceptance of information shown as correct and obligates himself to any expense, real or implied, arising from their use. A change to the structural drawings due to the acceptance of alternates and/or substitutes is the responsibility of the contractor and must be submitted to the engineer for approval. The general contractor and each subcontractor shall verify all existing conditions prior to the start of any work. All inconsistencies shall be reported to the designer and/or structural engineer, if needed. Should contractor construct the premises in a fashion not consistent with the plans prepared by the designer and/or structural engineer, or in any fashion, change the plans and drawing without the review and approval from the designer and/or structural engineer. Then designer and/or structural engineer shall bear no responsibility or liability for the construction of premises and accuracy of the drawings.

Structural Aluminum:

Conform to latest edition of Aluminum Association of Florida standard practice for aluminum design.

All aluminum shall be 6061-T6 (E= 10,000 ksi; Fy = 35 ksi)

Timber :

Design in accordance with the National Design specification for wood construction, with loading in accordance with the 2017 FBC. All graded structural lumber shall be pressure treated and meet the following minimum requirements:

Minimum bending stress = 1250 psi

Young Modulus = 1,600 ksi

Maximum of 15% moisture content

Contractor to use - Southern Yellow Pine No. 2, U.N.O.

Lumber sizes shown are nominal sizes. Lumber shall be furnished in finished sizes meeting the requirement of the American Softwood Lumber Standard.

Galvanized Bolts:

All bolts shall be galvanized be ASTM A36, threaded round stock with a minimum yield stress of 36,000 psi.

Design Loads:

Pursuant to Chapter 16 –Table 1607.1

Deck Live Load: 60 psf

Deck Dead Load: 10 psf

Roof Live Load: 20 psf

Handrail / Guardrails Post: 200 lbs acting horizontally on top of the Post, 42" A.F.F.

Guardrails and handrails : 50 plf at top rail

Guardrail in fill components: 50 psf

Stair L.L. : 100 psf

Components and cladding, design wind pressures + 38psf / -38psf

Rife

724 Via Bella, Winter Park

I, Claudia Falk, owner of 720 Via Bella, on Lake Osceola, have reviewed my adjacent property owner's proposed boat dock construction plan and have no objection to the project, which will be constructed in the same location as the existing boat dock and will have a negative (encroaching) 8' side setback from our shared projected property boundary.

Claudia Falk

(Signature)

3/18/20

(Date)

Claudia Falk

(Print Name)


ACKNOWLEDGEMENT:

STATE OF FLORIDA

COUNTY OF Orange

The foregoing instrument was acknowledged before me this 18th day of March 2020, by

Claudia Falk

(NOTARY SEAL) 

ANNETTE GANGALE
Commission # GG-158567
Expires February 7, 2022
Bonded Thru Budget Notary Services

Personally Known X OR Produced Identification _____

Type of Identification Produced



SHORELINE ALTERATION PERMIT
Permit No. SAP 20-04

Applicant: John and Shelly Rife
Subject Property: 724 Via Bella

On June 9, 2020, the Lakes & Waterways Board approved Shoreline Permit Application SAP: 20-04 for a Boathouse/Dock at 724 Via Bella on Lake Osceola. The permit is also subject to the following conditions:

1. A separate building permit is required for this structure. The permittee is responsible for obtaining this permit from the City Building Division.
2. Turbidity barriers must be in place before any work commences and must be left in place until all work is completed and the turbidity within the work area returns to background levels; and
3. Shoreline Vegetation compliance required. All existing vegetation must remain throughout all phases of the project. If any vegetation is to be disturbed, a Shoreline Alteration Permit for vegetation removal must be obtained from the Lakes Division (407-691-7829) prior to the work commencing.

This permit satisfies the requirements of the City of Winter Park Shoreline Protection Ordinance only. Additional permits may be required by the Florida Department of Environmental Protection. It is the responsibility of the permittee and their contractor to ensure that all necessary permits are obtained.

The City assumes no responsibility for fines or other actions resulting from the permittee's failure to obtain all required permits or approvals.

Lakes Division

c: Dept. of Environmental Protection
Ron Tegeler – Creative Deck & Dock

Following Species Are Recommended Shoreline Re-vegetation:

Maidencane: This native grass grows to a height of approximately three feet. It will grow in a wide range of hydrologic conditions, from three feet or more above the ordinary water elevation to five feet below the ordinary water elevation (plants in deep water will grow longer stems than those on shore). Maidencane grows in very dense stands, but does not form floating mats like the exotic torpedo grass. This dense growth will help to minimize maintenance by preventing other plants from becoming established.

Pickerel weed (*Pontederia cordata*): This plant grows from the normal high water line out to a depth of about three feet. The leaves are dark green stalks that widen into blades two to four inches wide. Pickerel weed produces purple flower stalks throughout much of the year.

Blue flag iris (*Iris virginica*): This plant has a grass like appearance. The leaves are light green blades that grow to a height of two to three feet. Iris will grow from just below the ordinary high water line to an elevation of two feet above that line. Showy blue flowers are produced in the spring.

Golden Canna (*Canna flaccida*): Canna is a low growing (two to three feet) plant, similar in shape to pickerelweed. Leaf stalks originate from the base of the plant and widen near the upper end (three to four inches wide). The plant will grow from the ordinary high water line to about two feet above that line, Canna produces showy yellow or orange flower in the spring and summer produces showy yellow or orange flowers in the spring and summer.

Duck Potato (*Sagittaria spp.*): this plant grows from the normal high water line out to a depth of about two feet. The leaves are light green stalks that widen into blades two to four inches wide. Duck Potato produces white flowers throughout much of the spring and summer.

Giant Bulrush (*Scirpus californicus*): This plant grows to a height of 8 feet, and forms dense clusters of tall, erect stems. Leaf blades are absent. The flowers form golden brown spikelets at the tops of the stems. Blooms spring and summer. Bulrush adds height and variety accents to aquascape plans and will grow in 0-5 feet of water



**CITY OF WINTER PARK
LAKES DIVISION
SHORELINE ALTERATION PERMIT APPLICATION**

Amt: \$ _____
Check#: _____
Date: _____
SAP#: _____

General Instructions: To request approval of a Shoreline Alteration Permit Application complete this application and submit to Public Works Department (500 N. Virginia Ave., Winter Park, FL 32789) along with the applicable fee and all additional information necessary for public hearing before the Lakes & Waterways Advisory Board. All required must be submitted with application. **Two complete sets of the application and plans are required.** (Signed and sealed plans are NOT required for the Shoreline Alteration Permit)

DEADLINE IS THE SECOND TUESDAY OF EACH MONTH FOR HEARING IN THE FOLLOWING MONTH.

☐ DOCK ONLY (\$50) ☒ BOATHOUSE & DOCK (\$75) ☐ SEAWALL/REVTMENT (\$100)

OWNER (name & address)

John and Shelly Rife

724 Via Bella

Winter Park, FL 32789

Phone: _____

Email: JohnRife@gmail.com

CONTRACTOR (name & address)

Ron Tegeler - Creative Deck & Dock

636 Butler Street

Windermere, FL 34786

Phone: (407) 450-4241

Email: sheilacichra@gmail.com

PROPERTY

Street Address :(if different):

724 Via Bella

Winter Park, FL 32789

Name of lake, canal or stream:

Lake Osceola

Is the property under contract for purchase or lease?

☐ Yes ☒ No

Is the contract for purchase or lease contingent upon approval of this application?

☐ Yes ☒ No

If the applicant is NOT the owner, attach a copy of the purchase or lease contract or option on the property, or a letter signed by the owner of record authorizing the applicant to act as agent for the owner. This information is requested to establish the legal status of the applicant and will be held in confidence, except as the information pertains to the zoning application

PARCEL NO: 05-22-30-6580-00-080 (same as tax ID number of Orange Co. property tax records)

Legal Description: Provide complete and accurate legal description below including Plat Book and Page Number OR attach a copy of the legal description to this application.

PALMER AVE LAKESIDE PROPERTIES S/113 LOT 8 & 1/16 INT IN PEDESTRIAN

EASEMENT AS SHOWN IN PB S/113 & DB960/309 - (SEE 05-22-30-6580-00-000)

Applications must include sketches showing the plan view (top) and profile (side) of the proposed structure and all relevant dimensions that demonstrate compliance with applicable codes (see rules summary on permitting web page). For revetments or seawalls the proposed, finished slope must be clearly shown and may not be steeper than 3:1 (horizontal: vertical)

Please note that any properties that do not meet the current shoreline vegetation standards (50 feet or 50% rule), must be revegetated before a shoreline alteration permit will be issued.

It is important for the waterfront property owner to understand that there may be a substantial amount of maintenance and expense required to maintain the new re-vegetated site and to keep it free of unwanted exotic vegetation.

This permit satisfies the requirements of the City of Winter Park Shoreline Protection Ordinance only. Additional permits may be required by the Florida Department of Environmental Protection or Florida Fish & Wildlife Conservation Commission. It is the responsibility of the permittee and their contractor to ensure that all necessary permits are obtained. The City assumes no responsibility for fines or other actions resulting from the permittee's failure to obtain all required permits or approvals.

SEAWALL/REVELMENTS (only)

Project Description: _____

Reason for Request: _____

Explain Hardship if Permit Not Granted: _____

Dock Parameter	Proposed	Allowed	Variance yes/no/n.a.
Total Area (sq. feet)	515 sq.ft.	600 max.	no
Length from OHW (feet)	30'	30'*	no
Height of Roof (feet above deck)	11'	11 max.	no
Height of Deck (feet above OHW)	1.5'	2 max.	no
Enclosures?	66 sq ft	80 ft ² max. (no plumbing/water allowed)	no
Side Yard Setback(s) (feet)	- 8' (existing)	10 min.**	??
Meets Vegetation Criteria?	yes (I think)	Only 50% can be cleared	

Applicant is required to complete the table above.

*Lake Killarney has a 50' maximum allowed length from NHWE.

**Side yard setback may be reduced to 5 feet without a variance if a signed letter of no objection is obtained from the affected adjacent property owner.

I certify that, to the best of my knowledge and belief, all information supplied with this application is true and accurate, and that I am:

- ☐ the owner of the property described herein
- ☐ a party to an agreement for purchase or lease of this property
- ☒ an agent for the owner or purchaser/lessee of this property

Neil Cui
Signature

03/09/2020
Date

SHORELINE ALTERANTION APPROAVAL IS REQUIRED PRIOR TO SUBMITTING FOR A BUILDING PERMIT

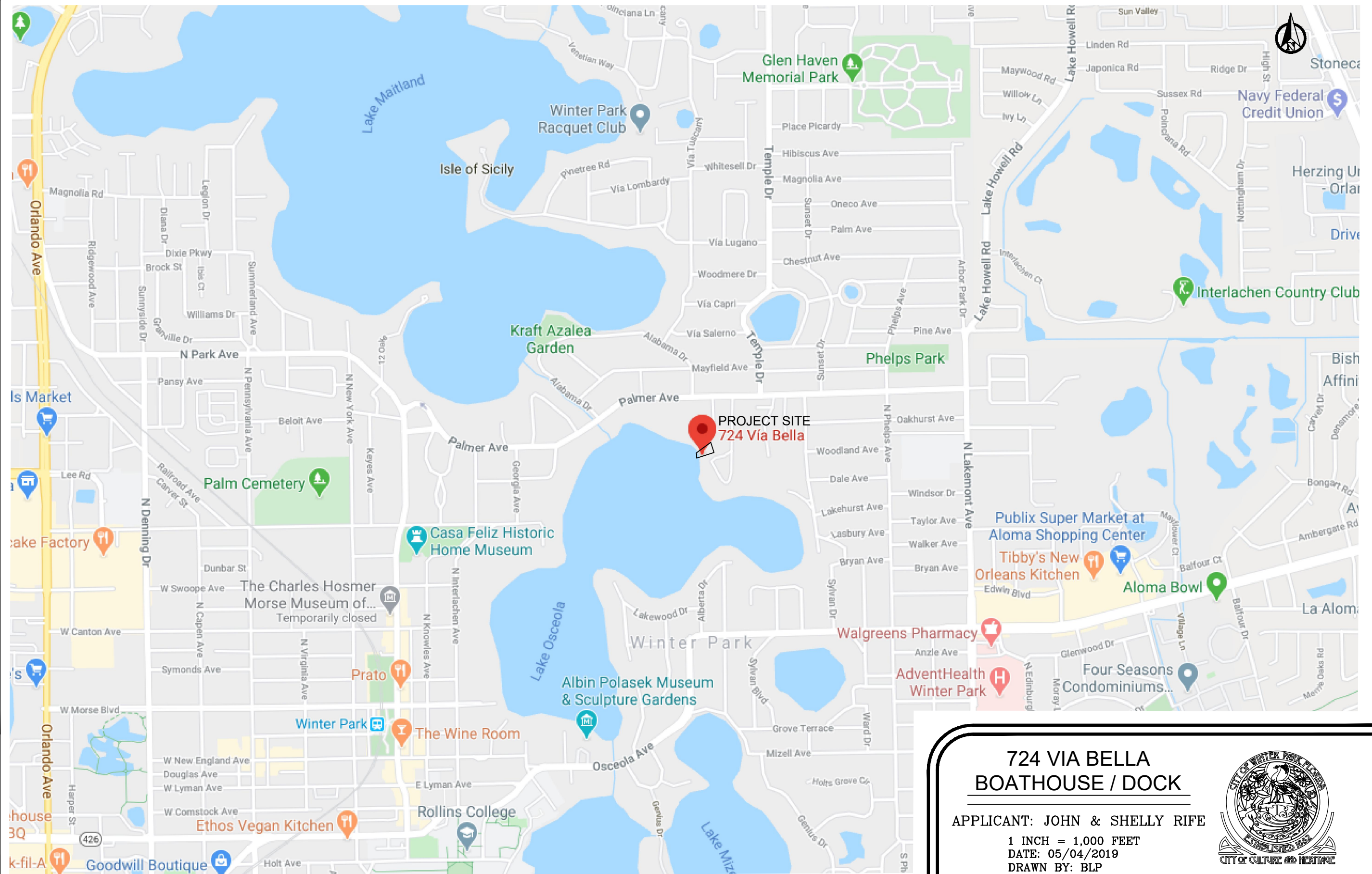
DO NOT WRITE BELOW LINE

☐ APPROVED

☐ DISAPPROVED

LAKE AND WATERWAYS ADVISORY BOARD MEETING: _____ VOTE: _____

VICINITY MAP



NEIGHBORHOOD MAP



LAKE OSCEOLA

VIA BELLA

724 VIA BELLA

REMOVE EXISTING DOCK AND
BOATHOUSE, CONSTRUCT
NEW DOCK AND BOATHOUSE
WITHIN EXISTING FOOTPRINT.
(SEE DETAIL)

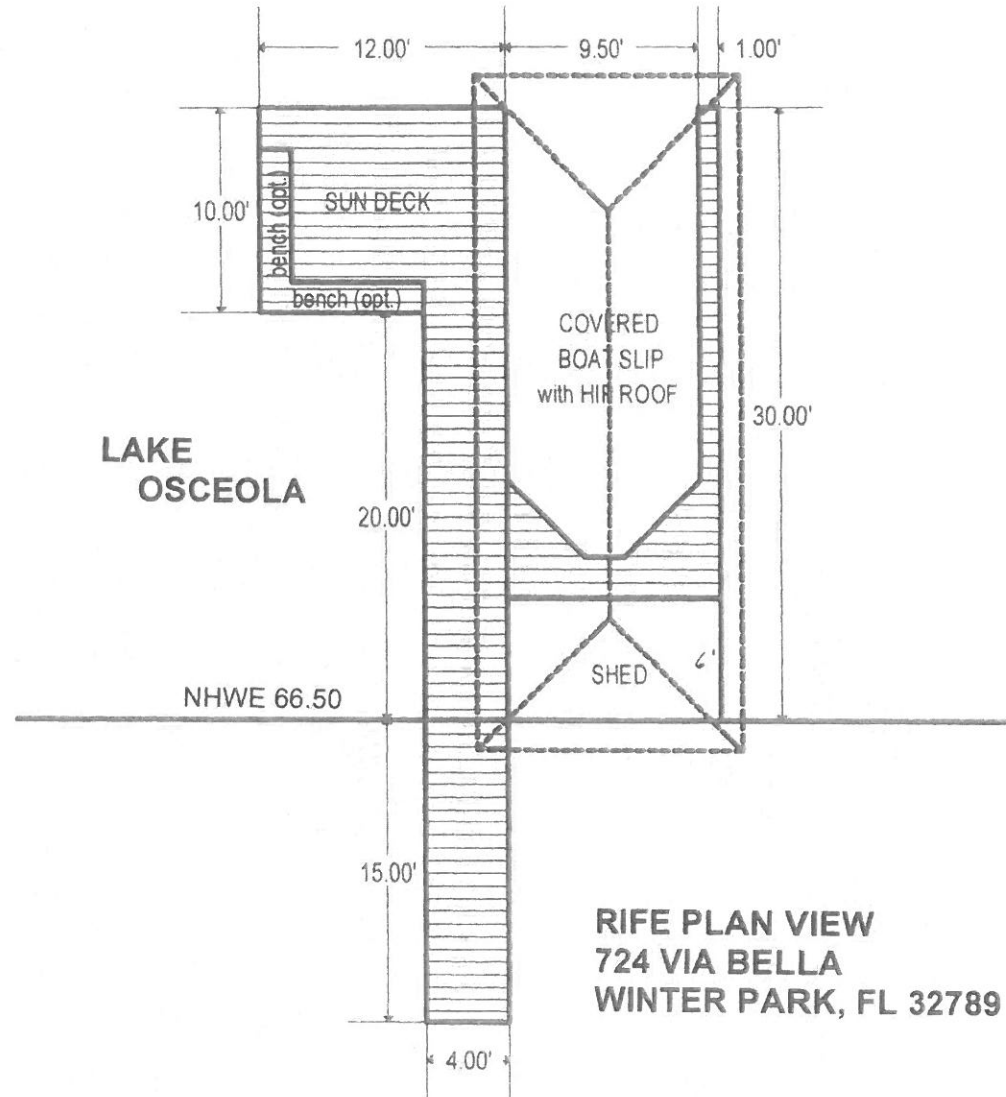
724 VIA BELLA
BOATHOUSE / DOCK

APPLICANT: JOHN & SHELLY RIFE

1 INCH = 40 FEET
DATE: 05/04/2019
DRAWN BY: BLP



DOCK / BOAT HOUSE DETAILS



RIFE ELEVATION
724 VIA BELLA
WINTER PARK, FL 32789

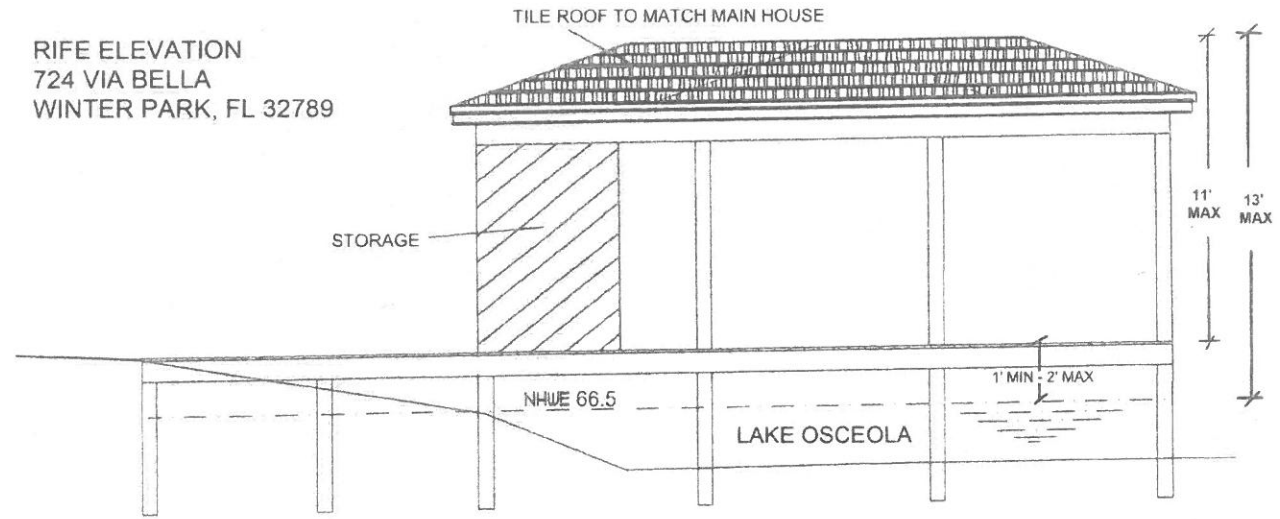


TABLE OF ORDINANCE CRITERIA

Dock Parameter	Proposed	Allowed	Variance yes/no/n.a.
Total Area (sq. feet)	515 sq.ft.	600 max.	no
Length from OHW (feet)	30'	50' max.	no
Height of Roof (feet above deck)	11'	11 max.	no
Height of Deck (feet above OHW)	1.5'	2 max.	no
Enclosures?	66 sq ft	80 ft² max. (no plumbing/water allowed)	no
Side Yard Setback(s) (feet)	- 8' (existing)	10 min.**	??
Meets Vegetation Criteria?	yes (I think)	Only 50% can be cleared	

Revised 8/10/17

724 VIA BELLA
BOATHOUSE / DOCK

APPLICANT: JOHN & SHELLY RIFE

1 INCH = N.T.S.
DATE: 05/04/2019
DRAWN BY: BLP



SHORELINE PHOTOGRAPHS



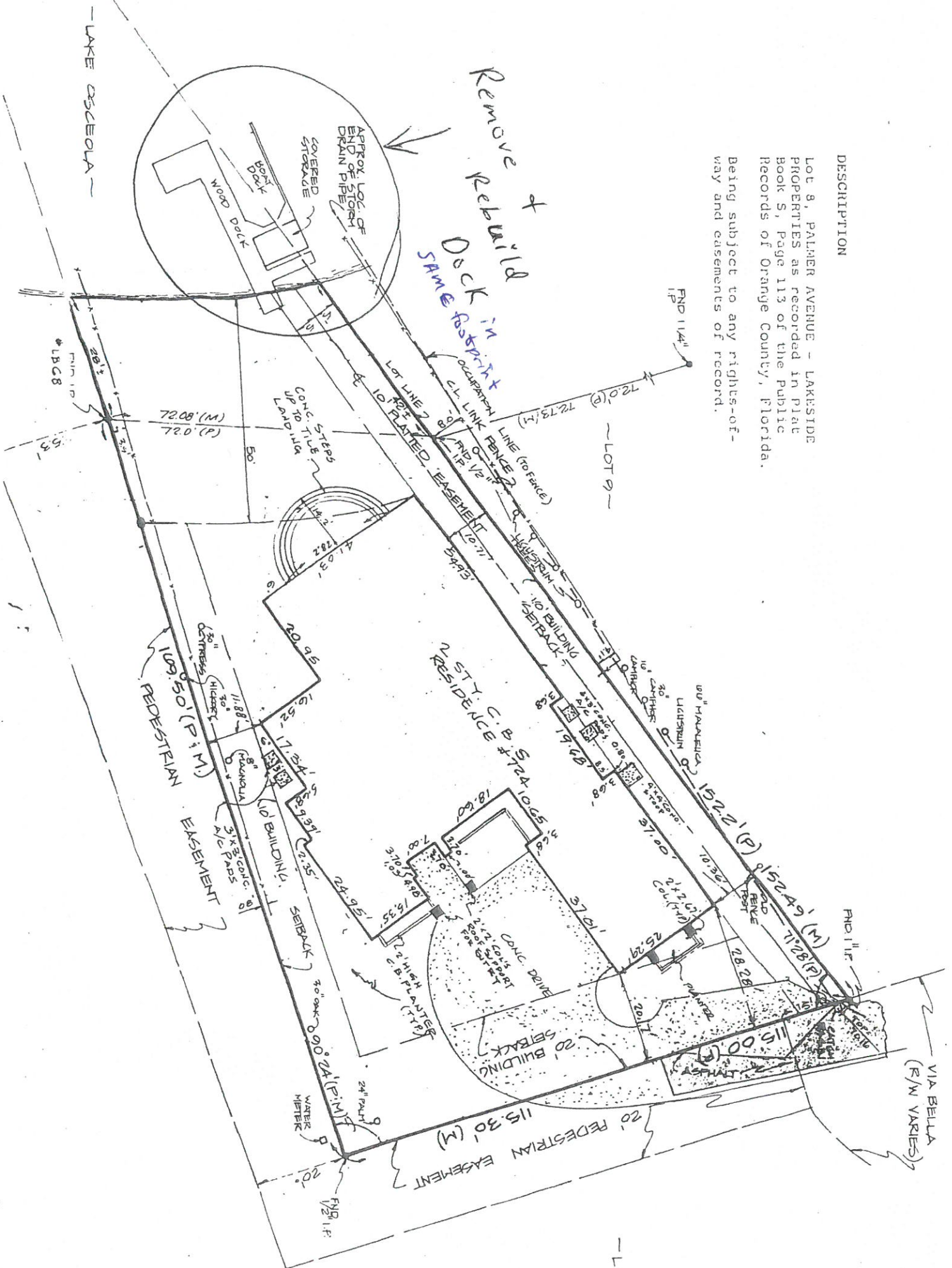
724 VIA BELLA
BOATHOUSE / DOCK

APPLICANT: JOHN & SHELLY RIFE

1 INCH = N.T.S.
DATE: 05/04/2019
DRAWN BY: BLP



Lot 8, PALMER AVENUE - LAKESIDE
PROPERTIES as recorded in Plat
Book 5, Page 113 of the Public
Records of Orange County, Florida.
Being subject to any rights-of-
way and easements of record.



$1'' = 30'$

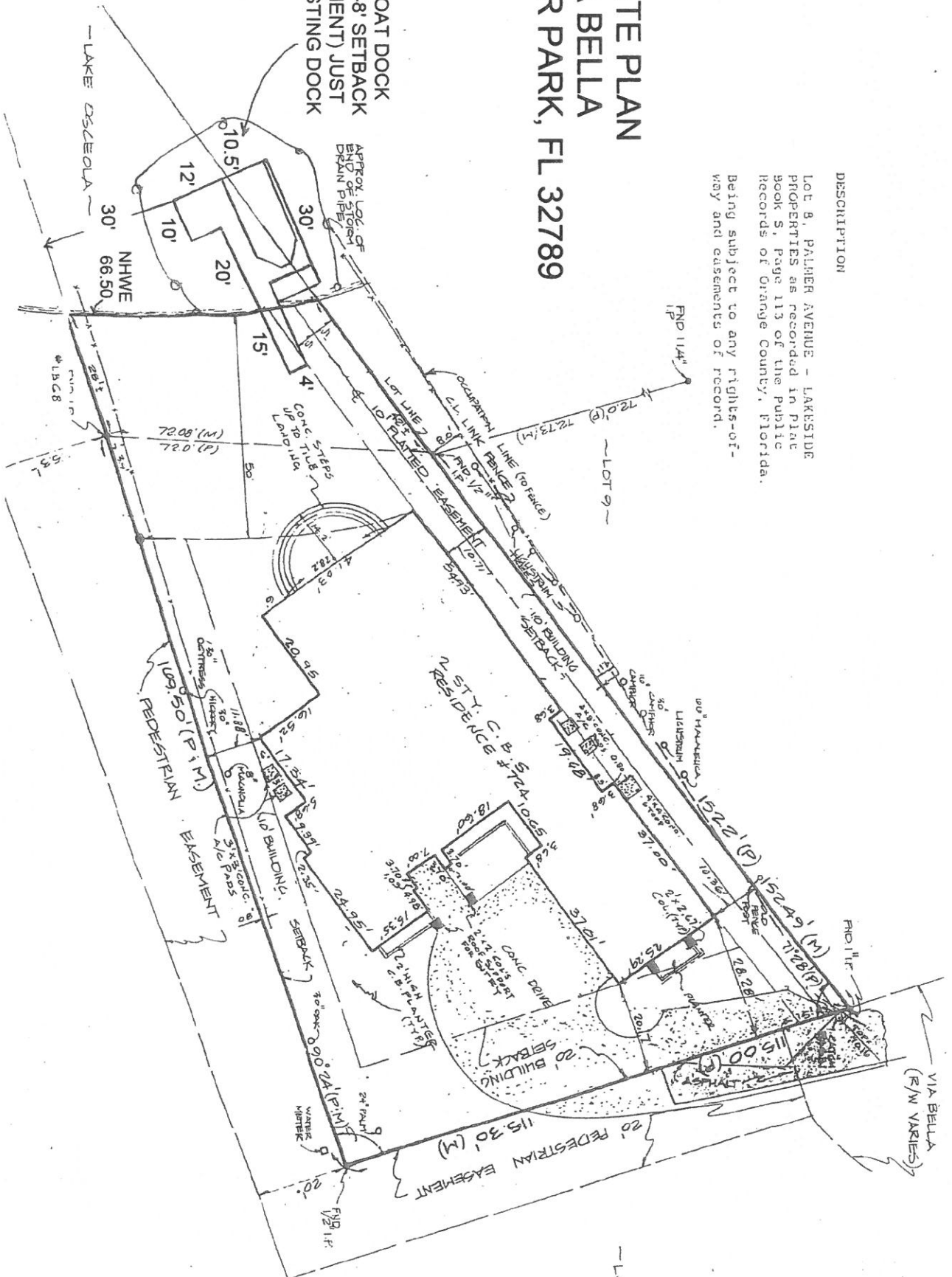
RIFE SITE PLAN
724 VIA BELLA
WINTER PARK, FL 32789

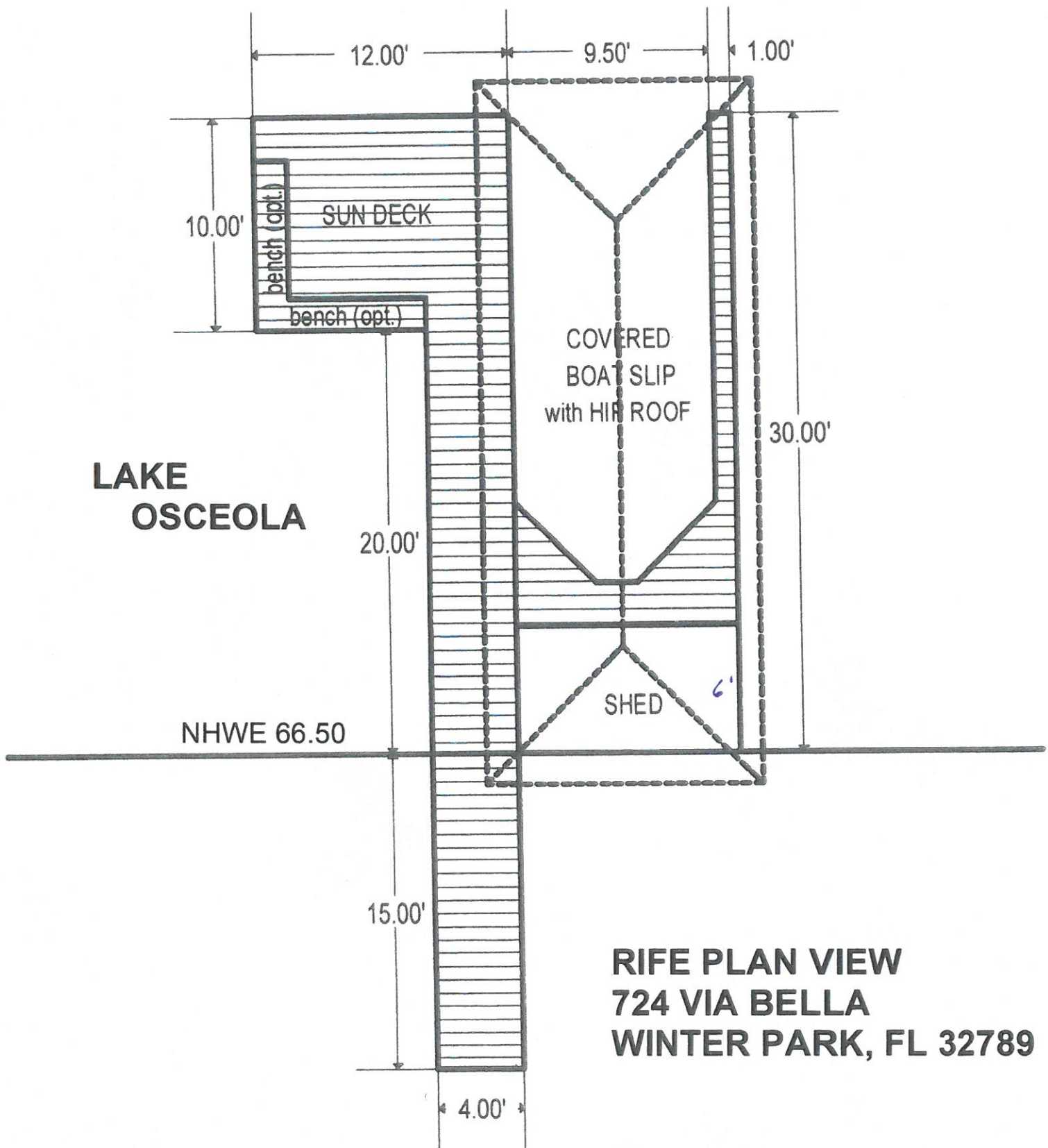
DESCRIPTION

Lot 8, PALMER AVENUE - LAKE SIDE
PROPERTIES as recorded in Plat
Book 5, Page 113 of the Public
Records of Orange County, Florida.

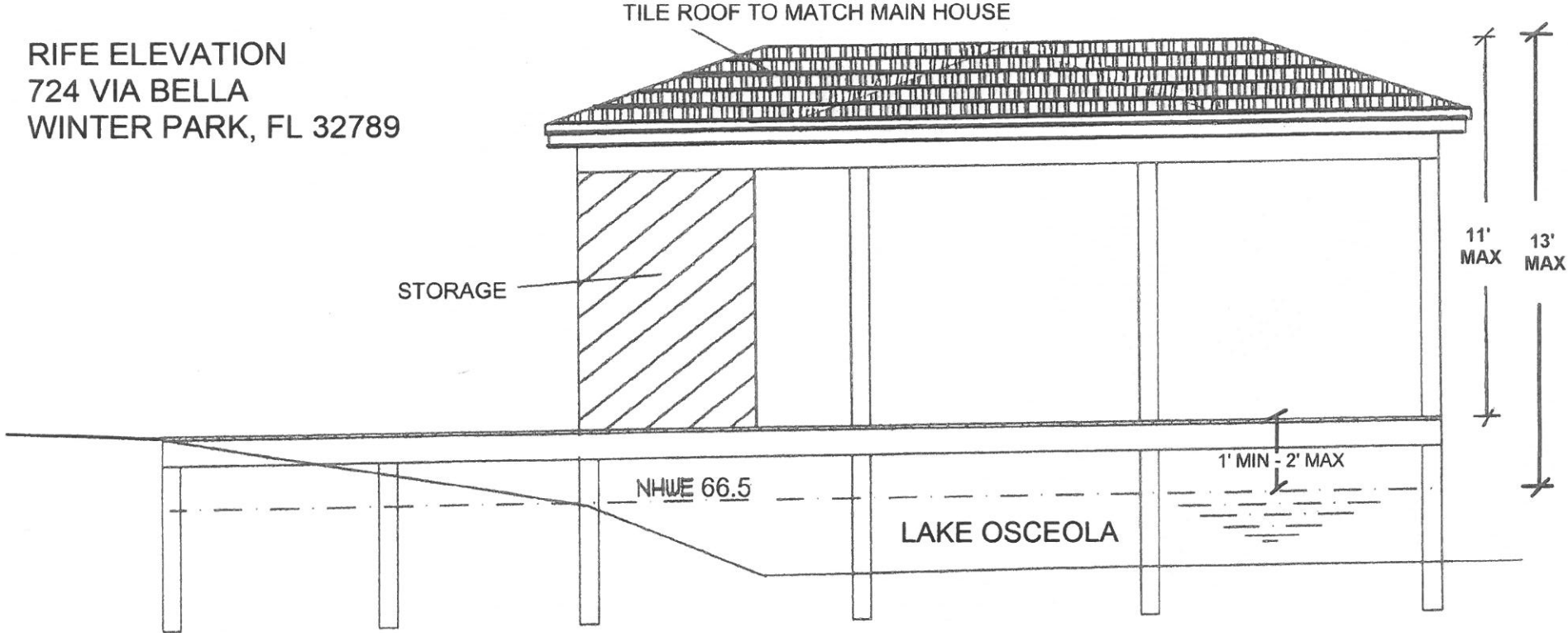
Being subject to any rights-way and easements of record.

PROPOSED BOAT DOCK WILL HAVE A -8' SETBACK (ENCROACHMENT) JUST LIKE THE EXISTING DOCK





RIFE ELEVATION
724 VIA BELLA
WINTER PARK, FL 32789



I, Claudia Falk, owner of 720 Via Bella, on Lake Osceola, have reviewed my adjacent property owner's proposed boat dock construction plan and have no objection to the project, which will be constructed in the same location as the existing boat dock and will have a negative (encroaching) 8' side setback from our shared projected property boundary.

Claudia Falk

(Signature)

3/18/20

(Date)

Claudia Falk

(Print Name)

ACKNOWLEDGEMENT:

STATE OF FLORIDA

COUNTY OF Orange

The foregoing instrument was acknowledged before me this 18th day of March 2020, by

Claudia Falk

(NOTARY SEAL)

[Signature]

(Signature of Notary Public – State of Florida)

ANNETTE GANGALE

Commission # GG-158567

Expires February 7, 2022

Bonded Thru Budget Notary Services

Personally Known X OR Produced Identification _____

Type of Identification Produced



401 South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

Building & Permitting Services

TO: BOARD OF ADJUSTMENTS MEMBERS

FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS

DATE: July 28, 2020

SUBJECT: Swanson Reinstatement VARIANCE REQUESTS, 2600 Western Way

The applicant is requesting reinstatement of a variance to allow the construction of a garage to be located in line with an existing nonconforming carport located 17 feet from the front lot line in lieu of the required front setback of 20 feet, which was approved by the Board of Adjustments on April 17, 2017. No letters have been received concerning this request and notices were mailed to property owners within 200 feet.

If a variance is not implemented within one year, then it expires and is no longer valid unless an extension has been granted by the Board. In this case, no action was taken to utilize this variance by obtaining a building permit and constructing the garage proposed in the variance. Typically, the criteria to consider in granting a reinstatement is whether there have been any changes in the Zoning Code that would impact the reinstatement of this variance. The answer in this case is that no change have been made that would require any different consideration by the Board.



CITY OF WINTER PARK

401 Park Avenue South

Winter Park, Florida

32789-4386

www.cityofwinterpark.org

TO: BOARD OF ADJUSTMENTS MEMBERS

FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS

DATE: MARCH 22, 2017, UPDATE APRIL 11, 2014

SUBJ: SWANSON VARIANCE REQUEST, 2600 WESTERN PARKWAY

Staff Report from March 28 Meeting:

The applicant is requesting a variance to allow the construction of a garage to be located in line with an existing nonconforming carport located 17 feet from the front lot line whereas the required front setback is 20 feet. *same as exty stbk of carport*

The property is a corner lot zoned R-1AA in an area that was annexed into the city approximately 15 years ago, and many homes in the area have nonconforming setbacks under Winter Park's Zoning Code. In addition, Janice Avenue is a dead end street which terminates one lot south of the applicant's property. This only leaves one other lot to compare with when trying to determine a front setback requirement for this request.

This home currently has two carports and the applicant desires to convert one of the carports into an enclosed two car garage in the same general location as the existing carport that is directly connected to the home and, then, relocate the covered entry of the home adjacent to and on the east side of the new garage. The other carport is located in the Zoning Code front yard at the front lot line on Janice Avenue and will remain.

The new garage will comply with the required street side setback along Janice Avenue and will be located no closer to the street than the existing carport, which is approximately 3 feet closer to the street than the carport of the adjacent home on the south side.

The proposed dimensions of the garage are 20' by 20' and will add a net area of 400 square feet to the home, which has an existing area of 2,175 square feet. The resultant gross floor area is well under the allowable gross floor area 3,272. In addition, the allowable impervious coverage of 5,166 square feet is not exceeded with this addition.

With this proposed addition, no protected trees will be disturbed or removed.

The applicant has provided 5 letters of non-objection from property owners directly across the street, adjacent or near the subject property.

Update for April 17 Meeting:

The applicant has obtained a letter from the adjacent neighbor next door on the south side expressing no objection to the proposed plan to build the garage.

With regard to the existing nonconforming open carport on the Janice Road side of the lot, the applicant states that they use this carport daily to protect one of their vehicles, and that building the new garage will allow them to park their other vehicles inside. Janice Road is a dead end street that terminates just 55 feet beyond the applicant's property.

2600 Western Parkway



VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT

Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received 2/23/2017
Assigned #2
Date of Hearing MARCH 28, 2017

Applicant: _____

Owner: Sandi Swanson

(Address)

2600 Western Pkwy
(Address)

(City, State) (Zip)

Winter Park, FL 32789
(City, State) (Zip)

(Phone - Home)

407 870 9530
(Phone - Home)

(Phone - Work or Cell)

407 947-7177
(Phone - Work or Cell)

(Email Address)

SweepKwy@yahoo.com
(Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section 58-66, Paragraph (f), Zoning R-1A.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of property 2600 WESTERN PARKWAY, WINTER PARK, FL. 32789

Legal description of property LOT 8 & 9, BLOCK J PARKLAND NO. 3 ACCORDING TO THE
PLAT THEREOF, AS RECORDED IN PLAT BOOK N, PAGE 69 OF THE PUBLIC
RECORDS OF ORANGE COUNTY, FLORIDA.

Describe variance request FRONT YARD SETBACK VARIANCE OF 10.6' TO ADD
A TWO-CAR GARAGE.

This section may be left blank for completion by city staff

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.

What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

THIS IS A CORNER LOT, WHICH WAS ORIGINALLY IN UN-INCORPORATED
ORANGE COUNTY; AND WAS RECENTLY ANNEXED INTO THE CITY
OF WINTER PARK.

How long have you owned the property? 1997

How long have you occupied the property? 1997

What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

DUE TO THE CORNER LOT SETBACK REQUIREMENTS, AND THE PLACEMENT
OF THE EXISTING HOUSE; ADDING A 2-CAR GARAGE ATTACHED TO THE
HOUSE IS LIMITED IN LOCATIONS.

Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

THE WINTER PARK 'CORNER LOT' SETBACK REQUIREMENTS IMPOSED ON THIS
FORMERLY DEVELOPED ORANGE COUNTY LOT HAS CREATED A HARDSHIP TO
MEET THE SETBACKS. THE PROPOSED SOLUTION OFFERS A DESIGN THAT IS
IN KEEP WITH EXISTING HOUSE CONTEXT AND IS COMPATIBLE WITH
THE SURROUNDING NEIGHBORHOOD.

Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?

Yes.

Sanchi Swanson
Signature of Applicant

22 Feb. 2017
Date

Sanchi Swanson
Name of Applicant (PRINT)

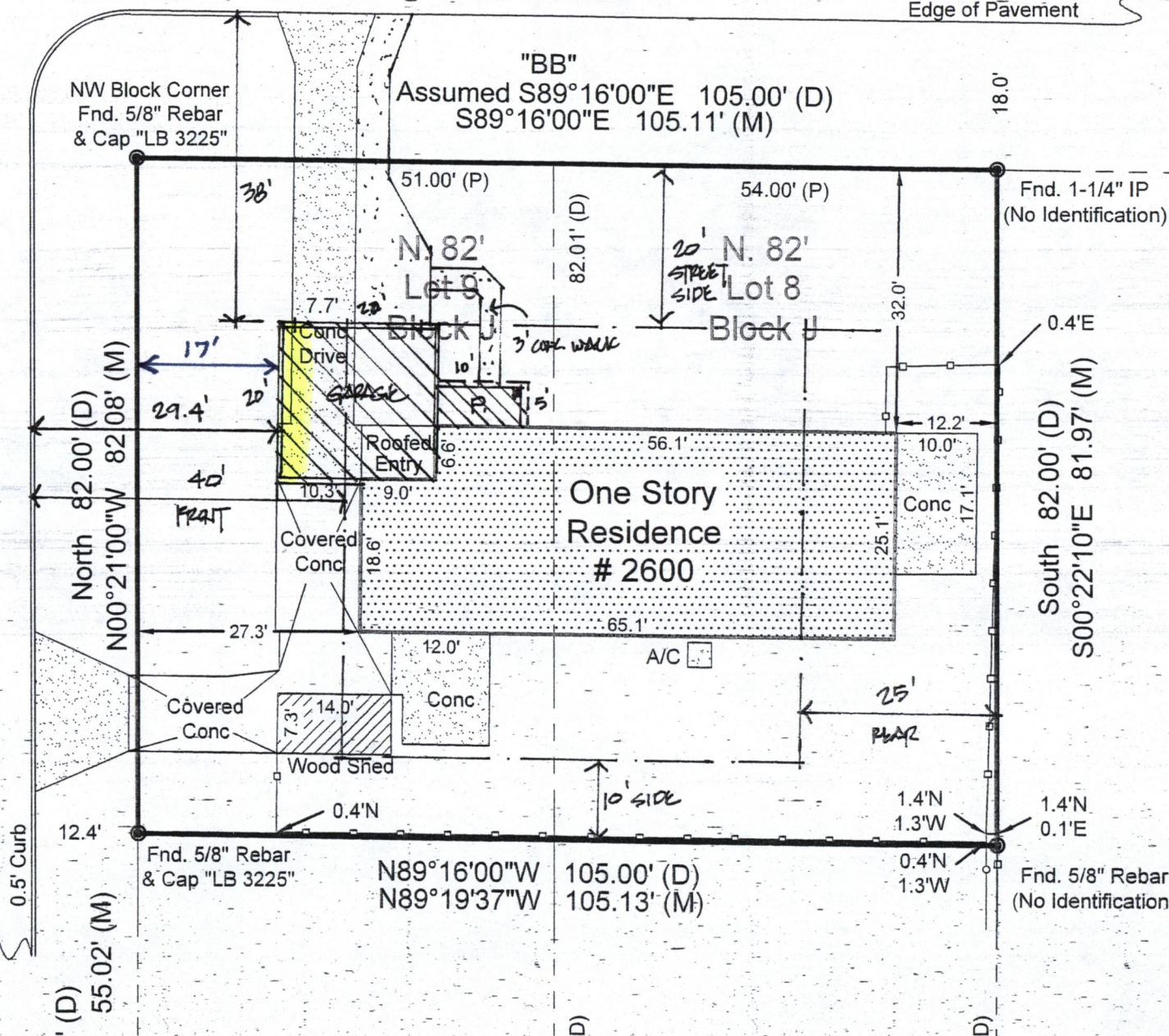
(Platted As: Penn Avenue)
(50' Platted Public Right-of-Way)

Janice Avenue
(Asphalt Road)

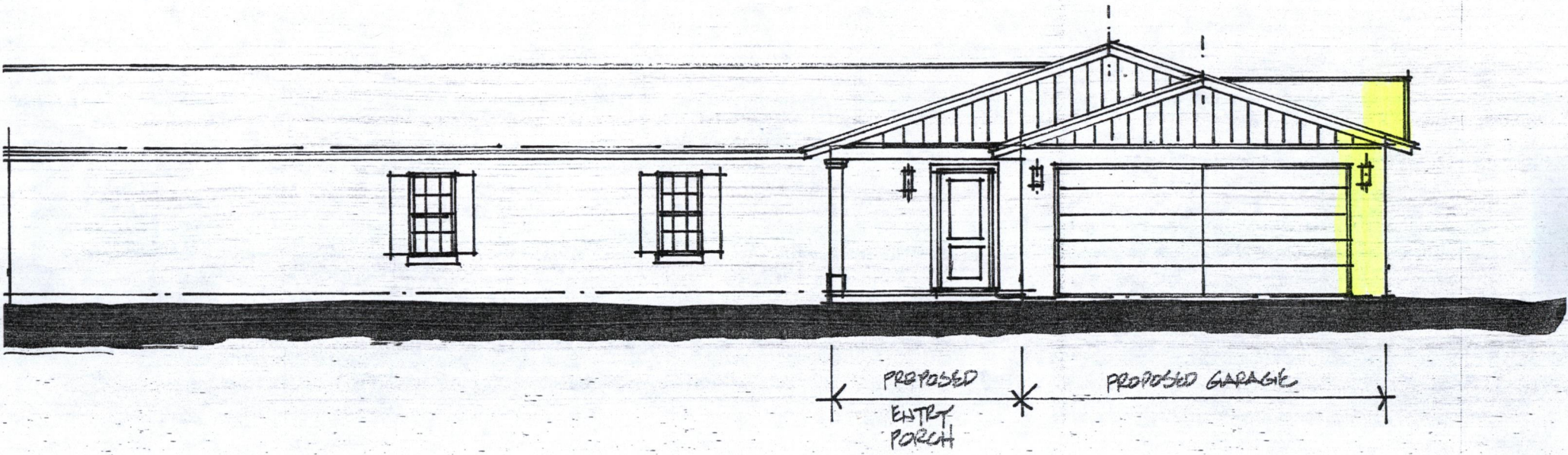
Western Parkway

(Asphalt Road)

Edge of Pavement



**Lot 7
Block J**



SCHEMATIC/NORTH ELEVATION
1/8"=1'-0"



2187 Janice Ave

2600 Western Way - Janice Ave Side of lot showing existing carport



Image capture: Apr 2015 © 2017 Google

Winter Park, Florida

Street View - Apr 2015



2600 Western Pkwy

View from Western Pkwy on North Side



Image capture: Apr 2015 © 2017 Google

Winter Park, Florida

Street View - Apr 2015

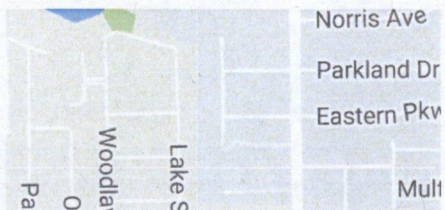
Google Maps 2600 Western Pkwy



Image capture: Apr 2015 © 2017 Google

Winter Park, Florida

Street View - Apr 2015





2600 Western Pkwy

View from Western Pkwy North Side



Image capture: Apr 2015 © 2017 Google

Winter Park, Florida

Street View - Apr 2015



CITY OF WINTER PARK BOARD OF ADJUSTMENTS
**PUBLIC HEARING
ZONING VARIANCE**

The applicant, DANIEL SWANSON, has requested the Board of Adjustments to consider application for a Variance FROM SECTION 58-66, "R-1A & R-1A DISTRICTS" SUBSECTION (F) TO ALLOW THE CONSTRUCTION OF A GARAGE TO BE LOCATED IN LOTS WITH AN EXISTING NON-CONFORMING CARPORT LOCATED 17 FEET FROM THE FRONT LOT LINE IN LISH OF THE REQUIRED FRONT SETBACK OF 20-25 FEET.

on the property described below: PARCEL ID # 18-02-30-1704-10-061 AS RECORDED IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. Further described as: 7600 WESTERN PARKWAY, ZONED R-1A.

PUBLIC HEARING TO BE HELD IN CITY COMMISSION CHAMBER
DATE: MONDAY, APRIL 7, 2014 TIME: 5:00 P.M.



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address: 2600 WESTERN PARKWAY

Lot width²: 82'

Submitted by: _____

Lot area³: 8,610 S.F.

	Maximum % Allowed ⁴	Existing Area	Additional Proposed Area	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, etc.	2 story - 50%				
	1 story - 60% ✓	2,734	650	3,384	5,166
FLOOR AREA RATIO (F.A.R.)^{5,6} For one and two story bldgs (include 1st & 2nd floors, garages/carports, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁷ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁸ .	Lot area < 11,600 sf: ✓ 38% Base FAR or w/ increased side setbacks: 43% Max FAR	2097 6 2,175	400	2497 2,575	3,272
	Lot area 11,600 sf to 13,600 sf 4,500 sf Base area & 5,200 sf Maximum area				
	Lot area > 13,600 sf 33% Base FAR or w/ increased side setbacks: 38% Max FAR				
SCREEN POOL ENCLOSURE	8% ⁹				

	Minimum % Required	Existing Area	Landscape Area Reduced	New Total Area	Minimum Required Area
FRONT YARD LANDSCAPE COVERAGE Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious). Front Lot Area: _____	50%				


NOTES:

1. Windsong & Waterbridge may use these standards, except where those subdivisions have stricter provisions. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at bldg line across lot at front wall of existing or proposed home. For a proposed home determine the front setback (see page 2).
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft maximum width and 2.5 ft back from the required setback, occupying 45% of roof area within the same roof plane.
6. See page 3 on how to achieve maximum F.A.R.
7. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
8. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area. Utilizing this exemption requires a deed covenant to be recorded, outlining the restrictions precluding the enclosing of side and/or rear porches; and enclosing and screening of front porches.
9. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.

LEGAL DESCRIPTION:

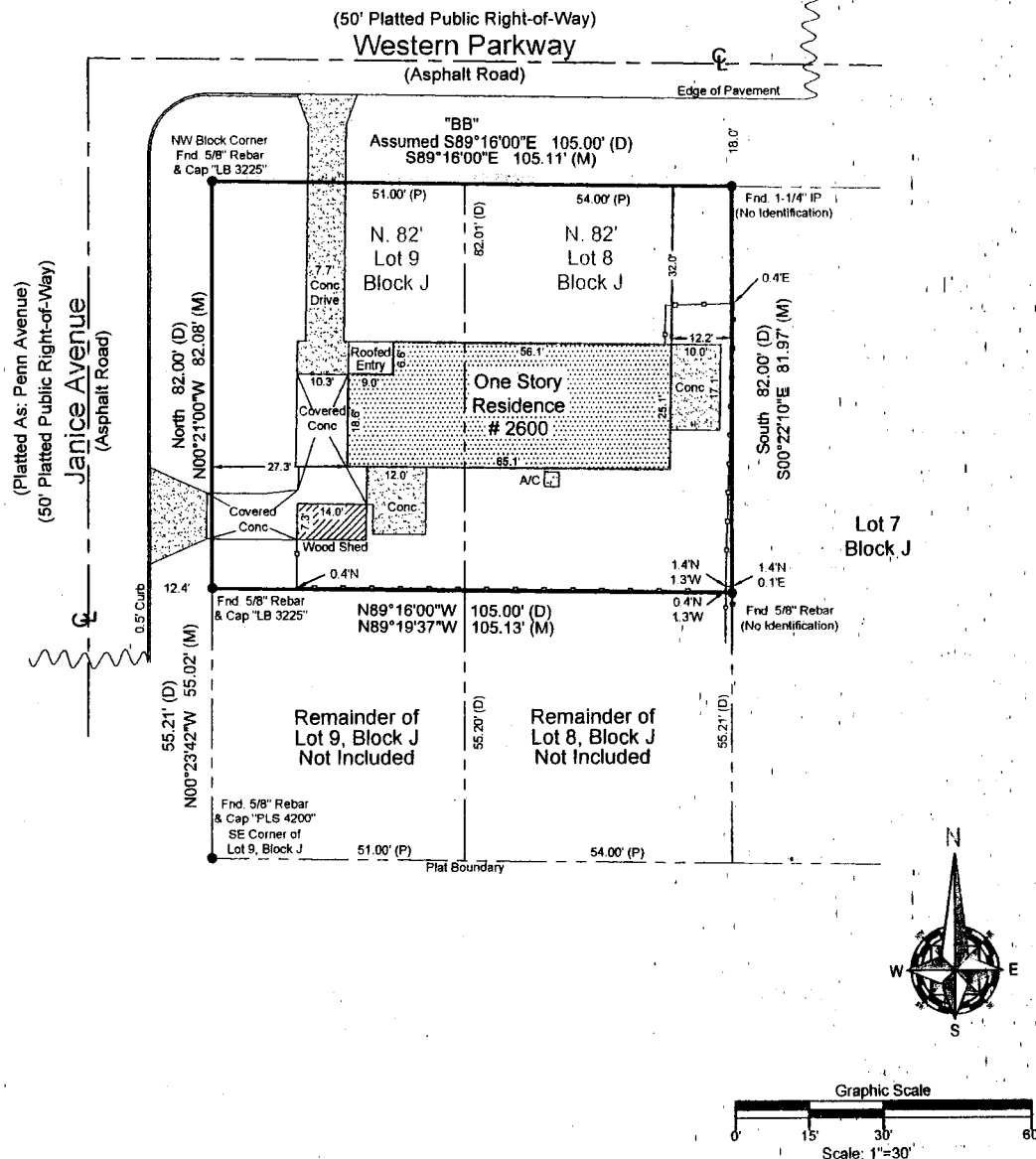
FLOOD INFORMATION:

CERTIFIED TO:



2400 WESTERN PARKWAY, WINTER PARK, FLORIDA 32789

2600 WESTERN PARKWAY WINTER PARK, FLORIDA 32789



Field Date: 1/4/2017	Date Completed: 1/6/2017
Drawn By: K.C.	File Number: JS-33892

-Legend-			
C	- Calculated	PC	- Point of Curvature
C.R.	- Cantilever	P	- Page
CB	- Concrete Block	P.B.	- Point of Beginning
CM	- Concrete Monument	P.O.B.	- Point of Intersection
Conc.	- Concrete	P.O.L.	- Point on Line
D	- Description	PR	- Power Pole
DE	- Degree Easement	PRM	- Permanent Reference Monument
Emit.	- Easement		
F.E.M.A.	- Federal Emergency Management Agency	PT	- Point of Tangency
F.FE	- Finished Floor Elevation	R	- Radius
F	- Filled	R&C	- Rebar & Cap
IP	- Iron Pipe	Rec	- Recovered
M	- Mass (Arc)	Rd	- Rooted
M	- Massland	Set	- Set 'X' Rebar & Cap "LB 7823"
N&D	- Nail & Disk	Rebar	- Rebar
N.R.	- Non-Road	U	- Utility
ORB	- Official Record Book	WM	- Water Meter
P	- Plat	WM	- Water (Cont. Angle)
P.B.	- Point of Beginning	W	- Chain Link Fence
W	- Wood Fence		

-NOTES-

- Survey is Based upon the Legal Description Supplied by Client.
- Abutting Properties Deeds have NOT been Researched for Gaps, Overlaps and/or Hiatus.
- Subject to Any Easements and/or Restrictions of Record.
- Bearing basis shown hereon is, Assumed and Based upon the Line Denoted with a "BB".
- Building Ties are NOT to be used to reconstruct Property Lines.
- Fence Ownership is NOT determined.
- Roof Overhangs, Underdrain Utilities and/or Footers have NOT been located UNLESS otherwise noted.
- Septic Tanks and/or Drained/locations are approximate and MUST be verified by appropriate Utility Location Companies.
- No Warranty is made, for or on behalf of, as Intended, Without Written Verification, Will be made by the Surveyor, as to the Accuracy of the Survey, as to the Title, as to the User's Sole Risk and Without Liability to the Surveyor. Nothing Herein shall be construed to give ANY RIGHTS or Benefits to Anyone other than those Certified.

POINTS OF INTEREST:

ROOFED CARPORT OVERLAPS PROPERTY LINE ON THE WEST

POINTS OF INTEREST:
ROOFED CARPORT OVERLAPS PROPERTY LINE ON THE WEST

I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Data Shown, Based on Information furnished to Me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 5J-17.052 Florida Administrative Code, Pursuant to Section 472.022 Florida Statutes.

Administrative Codes, for support, visit www.firm.com. For more information, visit www.firm.com.

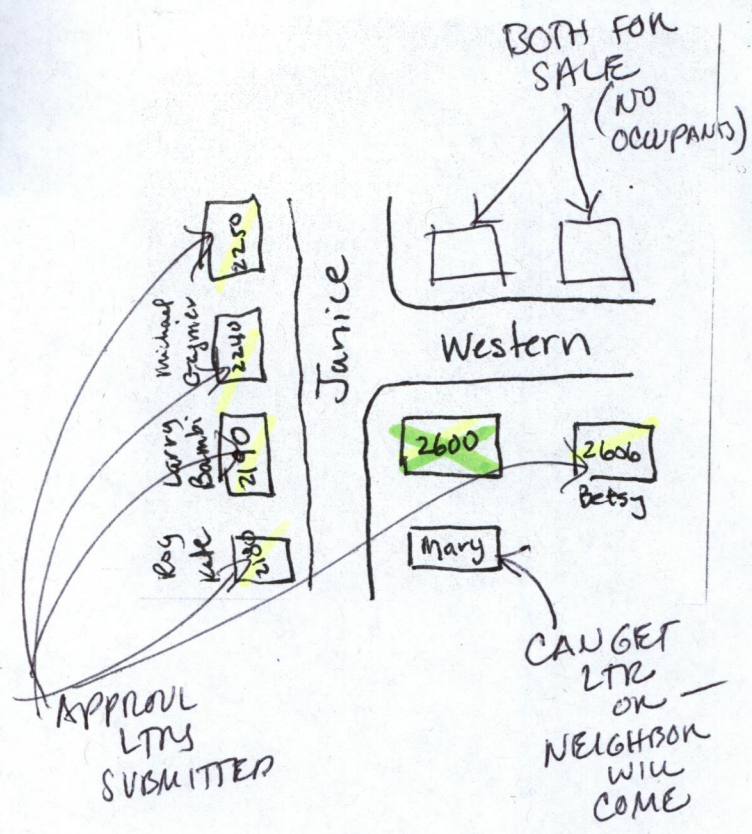
Patrick K. Ireland

PATRICK K. IRELAND
CERTIFIED
FINANCIAL
STATEMENTS
FOR THE
FIRM

PSL 6637 LB 7623

This Survey is Intended Only for the use of Said Certified Parties.
This Survey NOT VALID UNLESS SIGNED AND EMBOSSED WITH SURVEYOR'S SEAL

Ireland & Associates Surveying, Inc.
1301 S. International Parkway Suite 2001
Lake Mary, Florida 32746
www.Irelandsurveying.com
Office-407.678.3366 Fax-407.320.8165



February 17, 2017

City of Winter Park/Variance Board
401 Park Avenue South
Winter Park, Florida 32789

RE: Proposed Addition
2600 Western Parkway

To The Board;

I have reviewed the proposed drawings of the above addressed project and I have no objection to the approval of this proposed addition.

Sincerely,

(Kimberly Anne Nordstrom)

Betsy A. Ward

Property Owner

Date Feb. 20, 2017

2606 Western Parkway
Address *Winter Park, FL 32789*

Not to code?

February 17, 2017

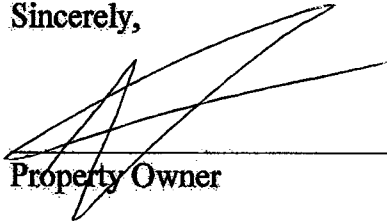
City of Winter Park/Variance Board
401 Park Avenue South
Winter Park, Florida 32789

RE: Proposed Addition
2600 Western Parkway

To The Board;

I have reviewed the proposed drawings of the above addressed project and I have no objection to the approval of this proposed addition.

Sincerely,



Property Owner

2/19/17

Date

2200 Janice AL

Address

?

February 17, 2017

City of Winter Park/Variance Board
401 Park Avenue South
Winter Park, Florida 32789

RE: Proposed Addition
2600 Western Parkway

To The Board;

I have reviewed the proposed drawings of the above addressed project and I have no objection to the approval of this proposed addition.

Sincerely,



Property Owner Date



Address

February 17, 2017

City of Winter Park/Variance Board
401 Park Avenue South
Winter Park, Florida 32789

RE: Proposed Addition
2600 Western Parkway

To The Board;

I have reviewed the proposed drawings of the above addressed project and I have no objection to the approval of this proposed addition.

Sincerely,

Kay A. Chisholm 2-19-17
Property Owner Date

2180 Janice Ave
Address

February 17, 2017


City of Winter Park/Variance Board
401 Park Avenue South
Winter Park, Florida 32789

RE: Proposed Addition
2600 Western Parkway

To The Board;

I have reviewed the proposed drawings of the above addressed project and I have no objection to the approval of this proposed addition.

Sincerely,

 2-19-2017

Property Owner MICHAEL GAGNIER ^{Date}

2240 JANICE AVE
Address

8 April, 2017

City of Winter Park/Variance Board

401 Park Ave. South

Winter Park, FL 32789

RE: Proposed Addition

2600 Western Parkway

To The Board,

I have reviewed the proposed drawings of the above
addressed project and I have no objection to the
approval of this proposed addition.

Sincerely,

x Mary J. Seaton 4/8/17

Property Owner

~~Date~~

x 2185 Janice Lane.

x Winter Park, FL 32789

Address



CITY OF WINTER PARK

401 South Park Avenue

Winter Park, Florida

32789-4386

BOARD OF ADJUSTMENTS

April 18, 2017

Sandi Swanson
2600 Western Parkway
Winter Park, FL 32789

Dear Ms. Swanson,

Your request for a variance to allow the construction of a garage to be located in line with an existing nonconforming carport located 17 feet from the front lot line in lieu of the required front setback of 20 feet, was approved by the Board of Adjustments on April 17, 2017.

The subject property described as Parcel ID # 18-22-30-6704-10-081 as recorded in the Public Records of Orange County, Florida.

Located at 2600 Western Parkway Zoned R-1AA

Please have your contractor bring a copy of this approval notice when applying for the construction permit for this variance.

If I can be of further assistance please feel free to contact me.

Respectfully,

George J. Wiggins, CBO
Director of Building/Legislative Affairs
407-599-3426



South Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

Building & Permitting Services

TO: BOARD OF ADJUSTMENTS MEMBERS

FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGIS AFFAIRS

DATE: July 28, 2020

SUBJECT: Strasberg VARIANCE REQUEST, 3032 Temple Trail

The applicant is requesting variances to allow the construction of a pool screen enclosure and cabana (patio) to be located 5' from the rear lot line, and a swimming pool located 8' from the rear lot line whereas the required setback is 10' for each of these accessory structures.

The property backs up to a nature preserve owned by the City and will not be developed with any structures impacted by this request. Under the Zoning Code, when residential properties have their rear yard adjacent to a non-residential or multi-family zoned districts, dwellings may utilize a rear setback of 10 feet to both floors of the dwelling. In this case, one of these structures (roofed patio) is part of the dwelling and the other accessory structures are typically required to have 10 foot rear setbacks. Therefore they all require a variance in order to be 5 feet from the rear lot line.

The pool screen enclosure will have a maximum height of 13 feet with a 10 foot height across the rear. The cabana or ("elite roof") structure apparently is proposed to be screened and has an area of 536 square feet. The cabana in this case can be referred to as a screened or open porch and with up to 500 square feet not included in the floor area ratio calculation for this property.

Two letters expressing non-objection were received from the abutting property owners.

3032 Temple Trail



**CITY OF WINTER PARK
VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT**

Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received _____
Assigned _____
Date of Hearing _____

Applicant: Jordan Strasberg

Owner: Britt Kelley

55 W Church St #3019

(Address)

Orlando FL 32801

(City, State) (Zip)

321-287-7111

(Phone – Home)

321-287-7111

(Phone – Work or Cell)

jordan@paradisepoolsbydesign.com

(Email Address)

3032 Temple Trail

(Address)

Winter Park FL 32789

(City, State) (Zip)

407-416-9556

(Phone – Home)

407-416-9556

(Phone – Work or Cell)

brittekelly@gmail.com

(Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section_____, Subsection_____, Zoning_____.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of

property 3032 Temple Trail Winter Park FL 32789

Legal description of

property TEMPLE COLONY 13/132 LOT 12

Describe variance
request _____

Requesting to bring proposed pool, decking and screen enclosure with elite roof and summer kitchen to 5FT of rear property line.

Also, requesting to encroach screen enclosure height requirements due to their relation to setbacks.

Also, screen % ratio percentage over max allowed amount .

This section may be left blank for completion by city staff

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.

Variance Application
Page 2 of 2

1. What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

Property backs up to a 70 acre empty conservation area with no easements

How long have you owned the property? 5 years

How long have you occupied the property? 5 years

2. What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

Lack of land use

3. Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

Not enough area to put an adequate size pool/deck/screen enclosure.

Need to vary from the zoning code requirements in order to encroach the required rear setbacks including screen height.
& screen coverage %

There is approximately 70 acres of conservation area (with no easements) directly behind the property

Approval letters from neighbors on each side have been provided.

4. Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?

Yes and would need to discuss options given the characteristics of the land mentioned above.



Signature of Applicant

6-22-20

Date

Jordan Strasberg

Name of Applicant (PRINT)

OWNER AUTHORIZATION LETTER

Date: **6-22-2020**

Hereby name and appoint: **Jordan Strasberg**

For a variance application to be performed at:

Address: 3032 Temple Trail Winter Park, FL 32789

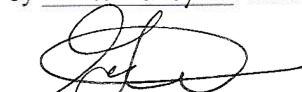
And to sign my name and do all things that are necessary to this appointment until further notice.



Homeowner: **Britt Kelley**

STATE OF FLORIDA
COUNTY OF ORANGE

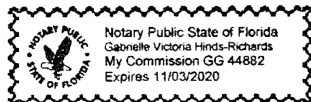
Sworn to and subscribed before me this 22 day of June, 2020,
by Britt Kelley. He/She is personally known to me and did not take an oath.



Notary Public

Gabby Hinds-Richards

Notary Print Name





SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address: _____

Lot width²: _____

Submitted by: _____

Lot area³: _____

	Maximum % Allowed ⁴	Existing Area ¹¹	Additional Proposed Area ¹¹	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.	2 story - 50%				
	1 story - 60%				
FLOOR AREA RATIO (F.A.R.)^{5,6,7} For one and two story bldgs (include 1st & 2nd floors, garages/carports, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁸ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁹ .	Lots < 11,600 sf: Use <u>38%</u> Base FAR or w/ increased side setbacks: <u>43%</u> Max FAR				
	Lots 11,600 sf to 13,600 sf Use <u>4,500 sf</u> Base area & <u>5,200 sf</u> Maximum area				
	Lots > 13,600 sf Use <u>33%</u> Base FAR or w/ increased side setbacks: <u>38%</u> Max FAR				
SCREEN POOL ENCLOSURE	8% ¹⁰				

	Minimum % Required	Existing Area ¹¹	Landscape Area Reduced ¹¹	New Total Area	Minimum Required Area
FRONT YARD LANDSCAPE COVERAGE Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious). Front Lot Area:	50%				

NOTES:

- Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
- Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director. For a proposed home, determine the front setback as described on page 2.
- Submerged lands or land across the street shall not be included.
- Percentage based on the lot area.
- One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers. 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
- Area forming a room behind 2nd floor walls shall be included in the gross floor area.
- See page 3 on how to achieve maximum F.A.R.
- Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
- The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area.
- Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
- These columns only apply to existing homes.

The total existing house is 3,130.
I subtracted the front and rear porches at 50 SF and 327 SF from the "Existing Area". And
I added the Elite roof (536 SF - accessory structure) as the "Proposed Area".



PARADISE POOLS BY DESIGN
640 Douglas Avenue
Altamonte Springs, Florida
(407) 777-POOL (7665)

REVISION DATE

KELLEY RESIDENCE

3032 Temple Trail
Winter Park, Florida 32789

ISR SITE CALCULATIONS

Job Number: #####

Date: 06/26/20

Builder Name:

Builder Contact:

Pool Designer Name:

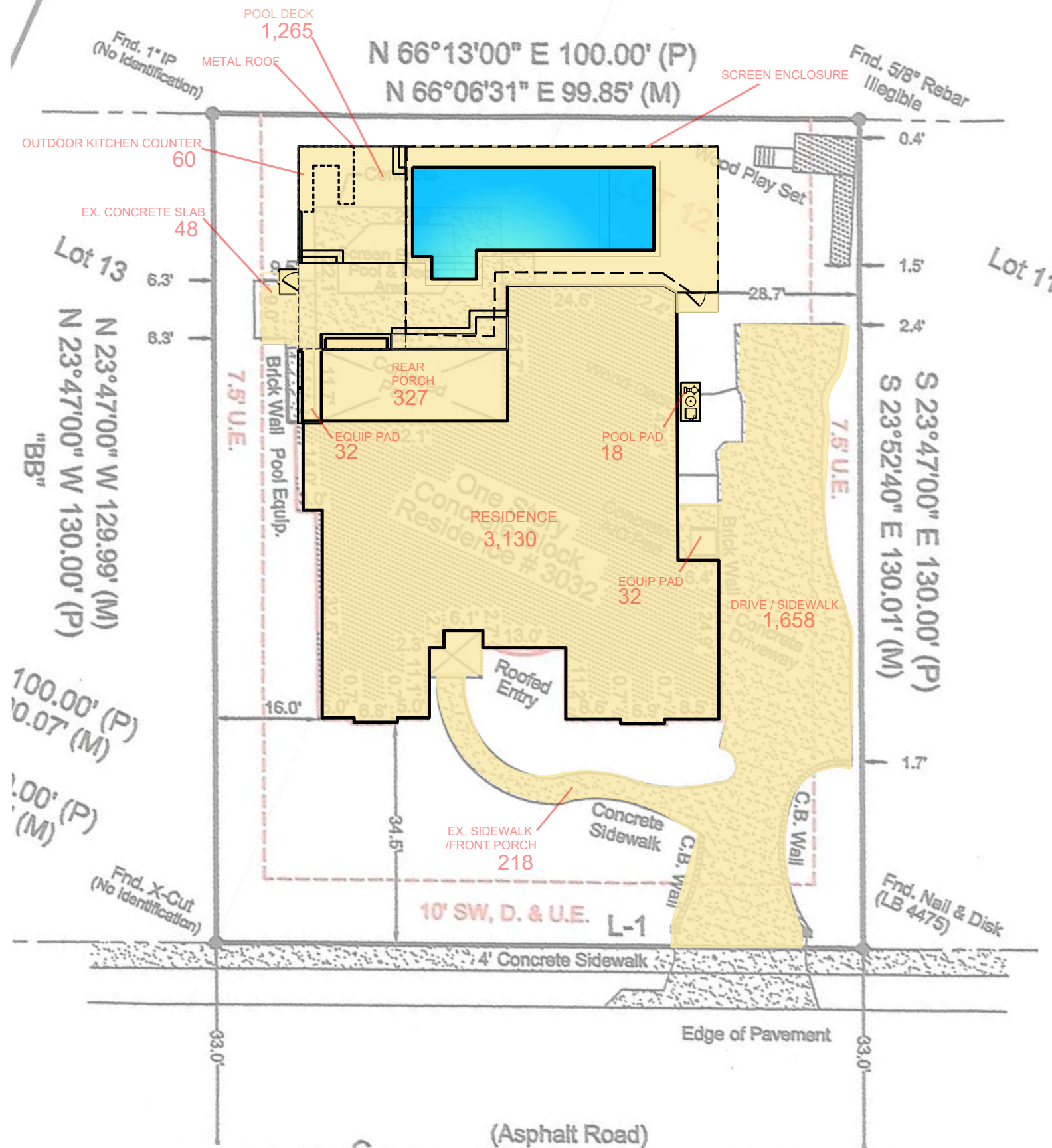
RYAN COLTON

SCALE: 1"=20'-0"

Sheet Number:

ISR-01

1 OF 1



ISR AREA SUMMARY

LOT AREA	13,000 SQ. FT.	100%
EXISTING HOUSE / GARAGE 1st. FLOOR	3,130 SQ. FT.	
EXISTING DRIVEWAY	1,658 SQ. FT.	
EXISTING FRONT SIDEWALK / FRONT PORCH	218 SQ. FT.	
EXISTING REAR PORCH	327 SQ. FT.	
EXISTING CONCRETE SLAB	48 SQ. FT.	
AC / POOL EQUIP PADS	82 SQ. FT.	
POOL DECK, COPING	1,265 SQ. FT.	
OUTDOOR KITCHEN COUNTER	60 SQ. FT.	

TOTAL IMPERVIOUS	6,788 SQ. FT. / 52.2%
TOTAL PERVIOUS	6,212 SQ. FT. / 47.8%



CITY OF WINTER PARK - COVERAGE/SETBACK WORKSHEET

SWIMMING POOLS, SPAS AND DECKS

Land Development Code Sec . 58-71(j). General Provisions for Residential Zoning Districts

Address: _____ Lot area¹: _____

	Maximum % Allowed ³	Existing Area	Additional Proposed Area	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, pools, A/C pads, artificial turf, etc. (show area tabulations)	2 story home 50%				
	1 story home 60%				

	MINIMUM ALLOWABLE SETBACK			PROPOSED
SWIMMING POOL/SPA ²	Interior Side	Lot width ≤ 60 ft.	7.5 ft.	
		Lot width > 60 ft.	10 ft.	
	Rear	All lots	10 ft.	
	Street Side ³	Lot width ≤ 65 ft.	15 ft.	
		Lot width > 65 ft. to 75 ft.	20 ft.	
		Lot width > 75 ft.	25 ft.	
	Lakefront ^{3,4,5}	same as the main building		
DECK	Interior Side	50% of the swimming pool/spa setback		
	Rear			
	Street Side ³			
	Lakefront ^{3,4,5}	50 ft. from ordinary high water elev.		

Note:

1. Submerged lands or lakefront land across streets shall not be included.
2. Setback measured from the property line to the ordinary high water line.
3. See LCD Section 58-71(n) for walls and fences regulations.
4. Retaining walls and the edge of pool decks on the lake side are limited to 3ft.
5. Streamfront or canalfront may be 20 ft. from the bulkhead if approved by the Planning and Zoning Board.

June 3, 2020

Mr. George Wiggins
Director of Building & Permitting Services
401 South Park Avenue
Winter Park, FL 32789

RE: Variance request for property at 3032 Temple Trail, Winter Park

Dear Mr. Wiggins,

We reside at 3040 Temple Trail, next door neighbors to Andreas & Britte Kelley Kunert. We are aware of their request for a variance to extend their screened area to their property line at the rear of their home. We have no issue with this request & support their endeavor to beautify their property.

Sincerely,


Wayne & Frances Leland

KEVIN & JAIME ROBINSON
3024 TEMPLE TRL.
WINTER PARK, FL 32789

June 11, 2020

City of Winter Park
401 S Park Ave.
Winter Park, FL 32789

Re: Application for Variance, 3032 Temple Trl.

Dear Sir/Madam:

We own and reside at the property located at 3024 Temple Trl., Winter Park. We are aware that our neighbors at 3032 Temple Trl. are applying for a variance from the minimum rear setback so that they may construct a covered pool and patio behind their home. We write this letter to express our unqualified support for the requested variance.

It is important to note that the Applicants have discussed their proposed plans with us in detail, and they have sought our input throughout the design and planning process to ensure that their intended improvements would not adversely affect our property rights. Not only do we approve of the Applicants' proposed improvements, we believe that the construction of those improvements will increase neighborhood property values, including our own.

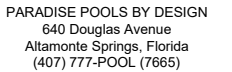
While the City may often deny requested variances to allow construction within the minimum rear setback, the unique nature of the properties along Temple Trl. is such that a different analysis is appropriate. Rear setback requirements are important zoning regulations to: (a) regulate the density of construction within a neighborhood and (b) protect the property rights of adjacent landowners from unwelcome encroachment along a shared boundary line. Neither of those concerns is relevant to the Applicants' property, the rear boundary of which abuts the Howell Branch wetland area. Construction of the proposed improvements up to the rear boundary of the Applicants' property will have no impact on density of construction, as there are more than 70 acres of undeveloped land behind the property. Likewise, since wetlands are densely wooded behind the homes in this area, construction of the proposed improvements within the rear setback required by Code will have absolutely no impact on anyone's use or enjoyment of the adjacent rear parcel.

If there is any additional information that we can provide to assist with your consideration of the Applicants' requested variance, please do not hesitate to contact us. Otherwise, we hope that you will provide speedy approval of the variance.

Sincerely,



Kevin & Jaime Robinson

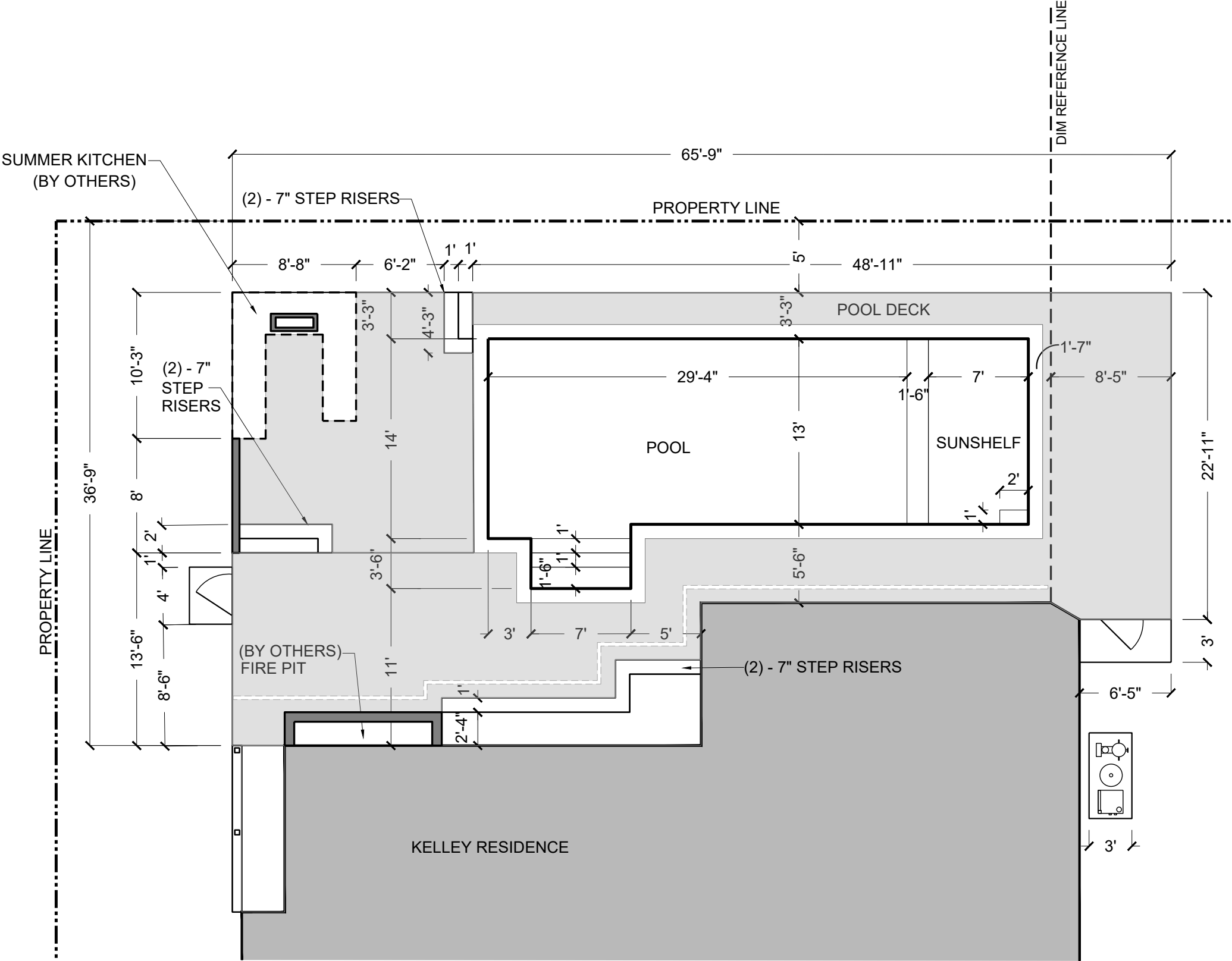


Swimming Pool Plan

1 OF 4



1- SAFETY BOUY



PARADISE POOLS BY DESIGN
640 Douglas Avenue
Altamonte Springs, Florida
(407) 777-POOL (7665)

REVISION DATE

KELLEY RESIDENCE 3032 Temple Trail Winter Park, Florida 32789	Dimensioning Plans
----------------------------------------------------------------------------	---------------------------

Job Number: #####
Date: 06/26/20
Builder Name:
Builder Contact:
Pool Designer Name:
RYAN COLTON

SCALE: 1/8"=1'-0"

Sheet Number:
P-02
2 OF 4

CUSTOMER APPROVAL X _____



NOTE: MATERIALS AND DESIGN MAY VARY FROM 3D RENDERINGS

CUSTOMER APPROVAL X _____



PARADISE POOLS BY DESIGN
640 Douglas Avenue
Altamonte Springs, Florida
(407) 777-POOL (7665)

REVISION DATE

KELLEY RESIDENCE
3032 Temple Trail
Winter Park, Florida 32789

Renderings / Specifications

Job Number: #####

Date: 06/26/20

Builder Name:

Builder Contact:

Pool Designer Name:

RYAN COLTON

SCALE: 1/8"=1'-0"

Sheet Number:

P-03

3 OF 4

POOL SPECS

SQ FT: 495 PER: 112 DEPTH: 3' TO 6' BEAM SIZE: 10"
EST. TOTAL GAL: 10900 CUT & CAP: BY OTHERS SOD STRIP: YES
FENCE REMOVAL: N/A ELECTRIC RUN: N/A INTERIOR FITTING COLOR: WHITE
RAISED BEAMS: N/A STEP TILE: N/A
DIG TYPE / ACCESS: STANDARD MACHINE - ACCESS RIGHT SIDE (DIG AND DROP)
INTERIOR FINISH: QUARTZ - BLUE QUARTZ
EXACT TILE LN FOOTAGES: 112LF OF MOSAIC TILE
POOL TILE: MOSAIC TILE - \$10 ALLOWANCE - COLOR TBD
GROUT: TEC - COLOR TBD
NOTES: CLIENT IS RESPONSIBLE FOR DEMOING OF EXISTING POOL, SCREEN, DECKING, STEPS AND ANYTHING IN NEW POOL ARE

SPA SPECS

SIZE: N/A SQ FT: N/A PER: N/A DEPTH: N/A BLOWER: N/A
SPA BEAM & DAM WALL SIZE: N/A
PARASCOPE: N/A RAISED HEIGHT: N/A THERAPY JETS: N/A
SPA SPILLWAY: N/A
INTERIOR FINISH: N/A
SPA TILE: N/A
GROUT: N/A
NOTES: N/A

PLUMBING/ELECTRICAL EQUIPMENT

RETURNS: PER PLAN SKIMMER: 1/ VENTURI CLEANING SYSTEM: PRESSURE CLEANER LINE
MAIN DRAINS: DUAL 3" CMP W/ 10" PEBBLE TOPS
POOL LIGHTS: 4 / LED NICHELESS GLOBRITES
SPA LIGHTS: N/A
PUMPS: 1 / INTELLIFLO VSF
FILTERS: 1 / 200CCRP CARTRIDGE
HEATERS: N/A
CHLORINATION: INTELLICHLOR IC-40 SALT CHLORINE GENERATOR
AUTOMATION: TIMER ONLY
WATER FEATURES: N/A
NOTES: N/A

SCREEN

COLOR: BRONZE / BLACK WALL HEIGHT: 10' WALLS DOORS: 2
ROOF TYPE: DOME GUTTER SIZE/TYPE: 7" SUPER
SCREEN COMPANY: DESIGN PRO SCREENS
NOTES: CLIENT IS RESPONSIBLE FOR DEMOING EXISTING SCREEN

DECK & COPING

DECK TYPE: FLAGSTONE BRICK PAVERS - COLOR AND PATTERN TBD
COPING: TRAVERTINE - 12"X24" COLOR TBD
TOTAL SQ FT: 1107 LANAI SQ FT: N/A STEP RISERS: PER PLAN
DRAINAGE: DECO DRAIN OR AREA DRAINS AS NEEDED - SHOWER DRAIN TBD
FOOTERS: ALL STRUCTURAL SCREEN FOOTERS AS NEEDED
TURNDOWNS OR WALLS: ALL TURNDOWN FOOTERS AS NEEDED UP TO 36"
NOTES: N/A

SAFETY

SAFETY FEATURES: 1 / SAFETY BUOY
BUILDING DEPARTMENT: CITY OF WINTER PARK



PARADISE POOLS BY DESIGN
640 Douglas Avenue
Altamonte Springs, Florida
(407) 777-POOL (7665)

REVISION	DATE

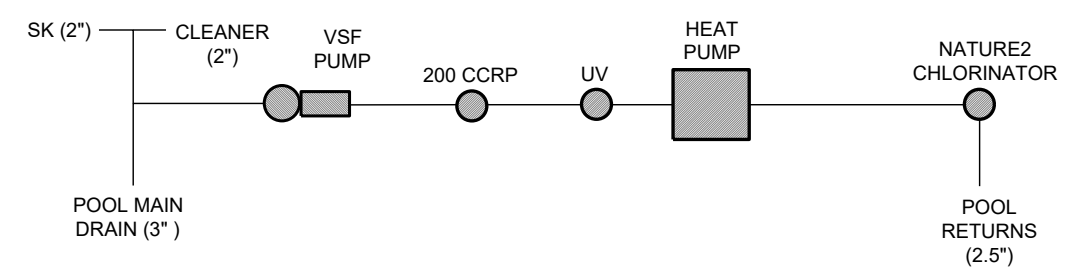
KELLEY RESIDENCE
3032 Temple Trail
Winter Park, Florida 32789

Pool Details / Plumbing Schematics

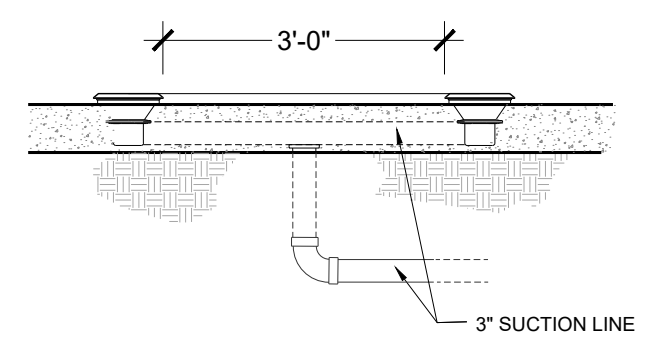
Job Number: #####
Date: 06/26/20
Builder Name:
Builder Contact:
Pool Designer Name:
RYAN COLTON
SCALE: 1/8"=1'-0"

Sheet Number:
P-04
4 OF 4

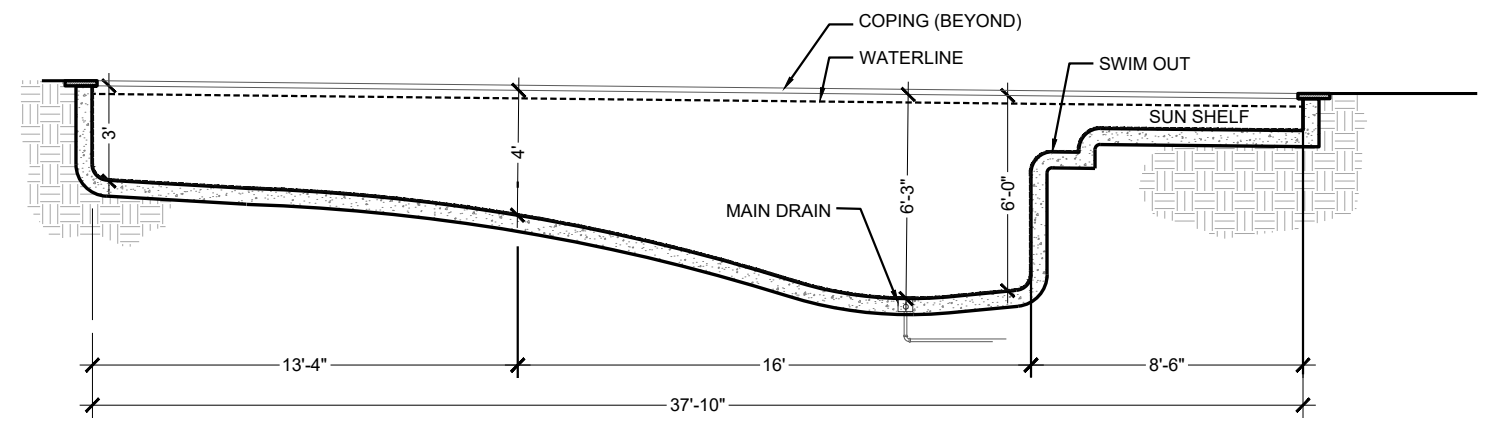
POOL / SPA FILTRATION



PLUMBING SCHEMATICS



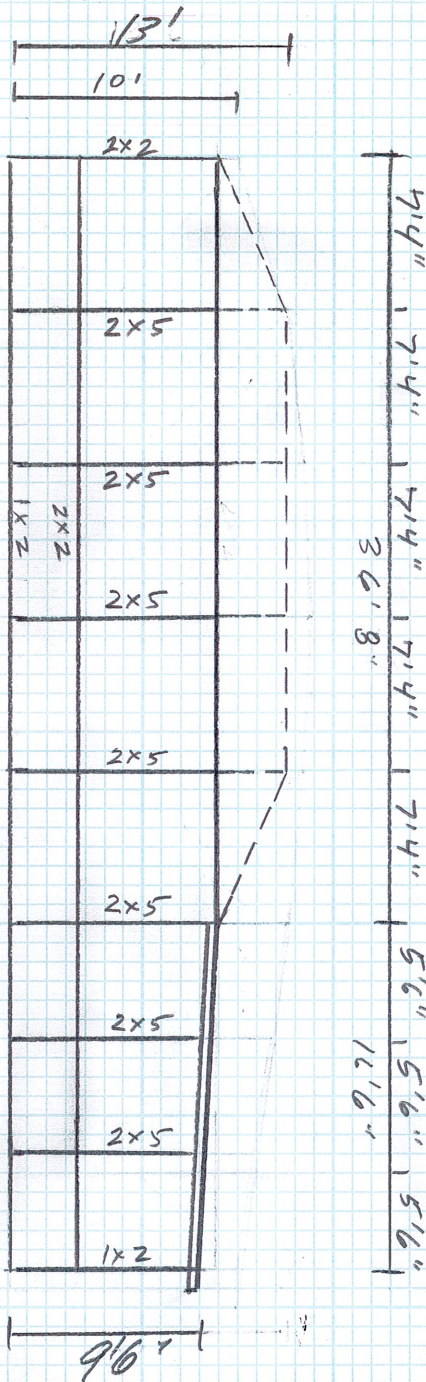
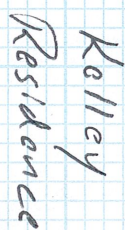
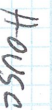
MAIN DRAIN DETAIL
N.T.S.

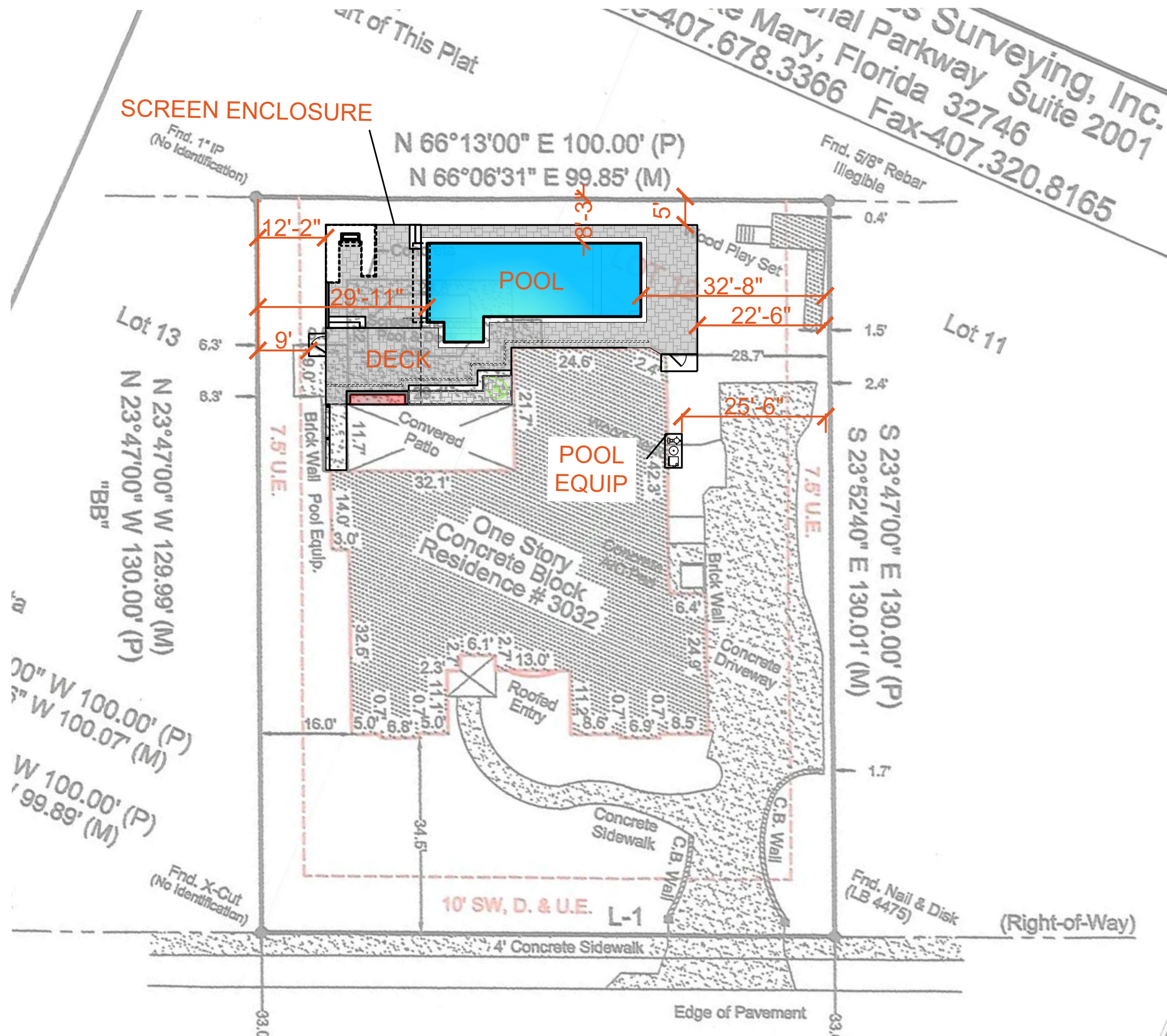


POOL DEPTH SECTION
N.T.S.

CUSTOMER APPROVAL X _____

Paradise Pools
Typical Dome w/ insulated
roof portion





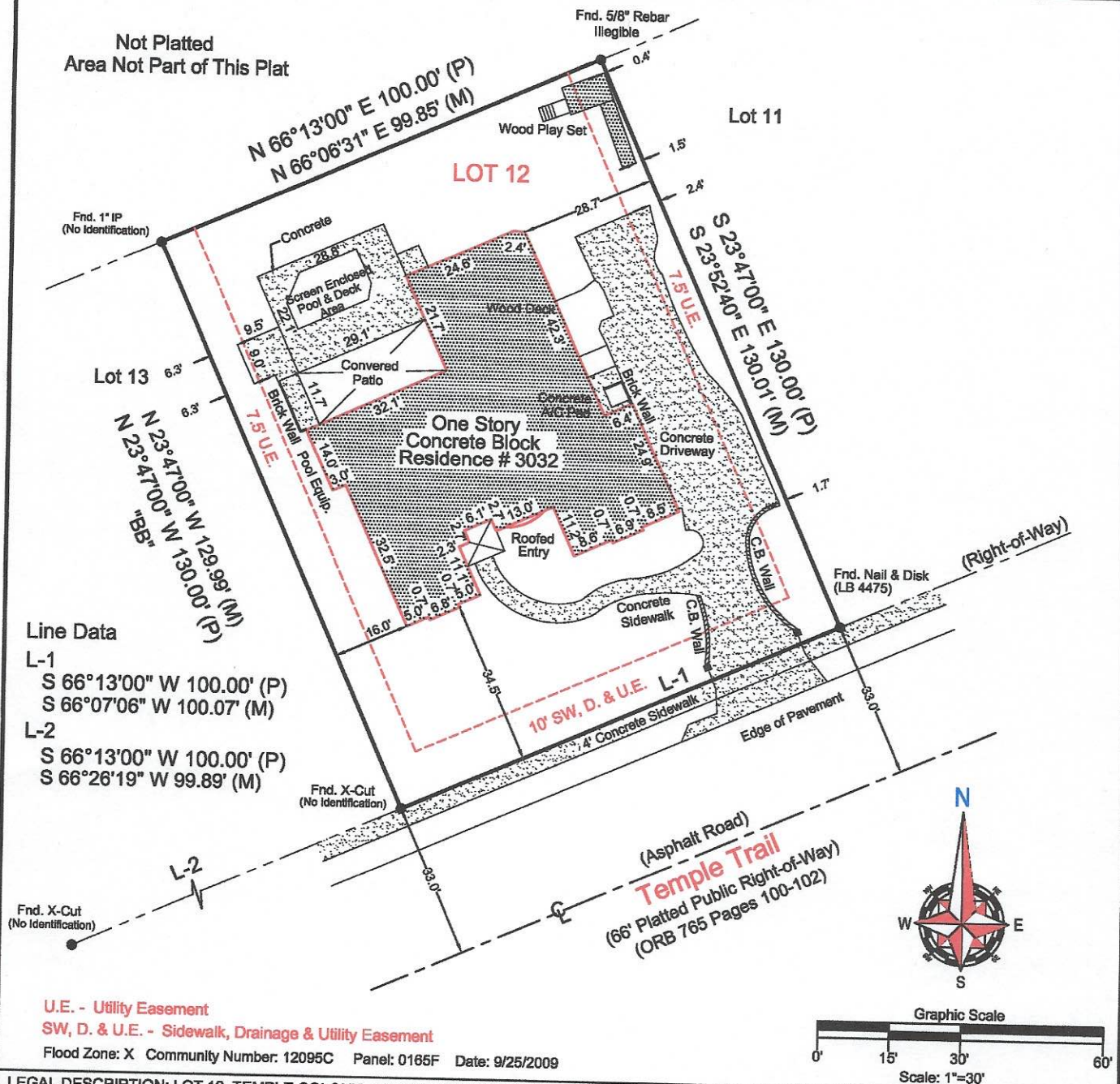
PARADISE POOLS BY DESIGN
640 Douglas Avenue
Altamonte Springs, Florida
(407) 777-POOL (7665)

REVISION	DATE
KELLEY RESIDENCE 3032 Temple Trail Winter Park, Florida 32789	
POOL ON SURVEY	
Job Number: #####	
Date:06/26/20	
Builder Name:	
Builder Contact:	
Pool Designer Name:	
RYAN COLTON	
SCALE: 1"=20'-0"	
Sheet Number:	
S-01	
1 OF 1	

Boundary Survey

Ireland & Associates Surveying, Inc.
1301 S. International Parkway Suite 2001
Lake Mary, Florida 32746
Office-407.678.3366 Fax-407.320.8165

Page 2 of 2



LEGAL DESCRIPTION: LOT 12, TEMPLE COLONY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 13, PAGE(S) 132, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

Field Date: 7/10/15

Legend	
C	- Calculated
CB	- Centerline
CM	- Concrete Block
Conc.	- Concrete Monument
D	- Description
DE	- Drainage Easement
Easmt.	- Easement
F.E.M.A.	- Federal Emergency Management Agency
FFE	- Finished Floor Elevation
Fnd.	- Found
IP	- Iron Pipe
L	- Length (Arc)
M	- Measured
N&D	- Nail & Disk
N.R.	- Non-Radial
ORB	- Official Records Book
P	- Plat
P.B.	- Plat Book
-B-	- Wood Fence
PC	- Point of Curvature
Pg.	- Page
PI	- Point of Intersection
P.O.B.	- Point of Beginning
P.O.L.	- Point on Line
PP	- Power Pole
PRM	- Permanent Reference Monument
PT	- Point of Tangency
R	- Radius
Rad.	- Radial
R&C	- Rebar & Cap
Rec.	- Recovered
Rfd.	- Roofed
Set	- Set 1/2" Rebar & Cap "LB 7623"
Rebar	- Rebar
Typ.	- Typical
UE	- Utility Easement
WM	- Water Meter
Δ	- Delta (Central Angle)
-X-	- Chain Link Fence

-Survey Notes-

>Survey is Based upon the Legal Description Supplied by Client.

>Abutting Properties Deeds have NOT been Researched for Gaps, Overlaps, and/or Hiatus.

>Subject to any Easements and/or Restrictions of Record.

>Bearing Basis shown hereon, is Assumed and Based upon the Line denoted with "BB".

>Building Ties are NOT to be used to reconstruct Property Lines.

>Fence Ownership is NOT determined.

>Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.

>Septic Tanks and/or Drainfield locations are approximate and MUST be verified by appropriate Utility Location Companies.

>Use of This Survey for Purposes other than Intended, Without Written Verification, will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing hereon shall be Construed to Give ANY Rights or Benefits to Anyone Other than those Certified.

>This Survey is NOT Full and Complete without the attached Survey Report - Page 1 of 2

I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown, Based on Information Furnished to Me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 5J-17.062 Florida Administrative Codes, Pursuant to Section 472.027 Florida Statutes.

PATRICK K. IRELAND
NO. 6637
STATE OF FLORIDA
LAND SURVEYOR
FOR THE FIRM
Patrick K. Ireland
PSN 6637 LB 7623
Date Signed: 7/14/15
This Survey is intended ONLY for the use of Said Certified Parties.
This Survey NOT VALID UNLESS Signed and Embossed with Surveyor's Seal.
File No. IS-22707



Park Avenue • Winter Park, Florida 32789

407-599-3237 • 407-599-3499 fax
cityofwinterpark.org

Building & Permitting Services

TO: BOARD OF ADJUSTMENTS MEMBERS

FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS

DATE: July 28, 2020

SUBJECT: Watkins VARIANCE REQUEST, 3032 443 Carolina Avenue

The applicant is requesting a variance to allow the construction of a new home with a front setback of 15.5 feet whereas the established setback on Carolina Avenue is 22 feet.

For new homes in the single family zoning districts of the City, the required front setback for a new infill home in an established neighborhood is based on the average setback of 2 abutting homes on each side of the property where a new home is to be built. In this case, the front setback was determined to be 22 feet.

This contemporary designed home has a second floor 4.5 foot bump out with a partially enclosed balcony on the front of the home. Open first floor front porches can project up to 5 feet into the required front setback. Excluding this second floor cantilevered area would result in a front setback of 20 feet which is still encroaching into the front setback.

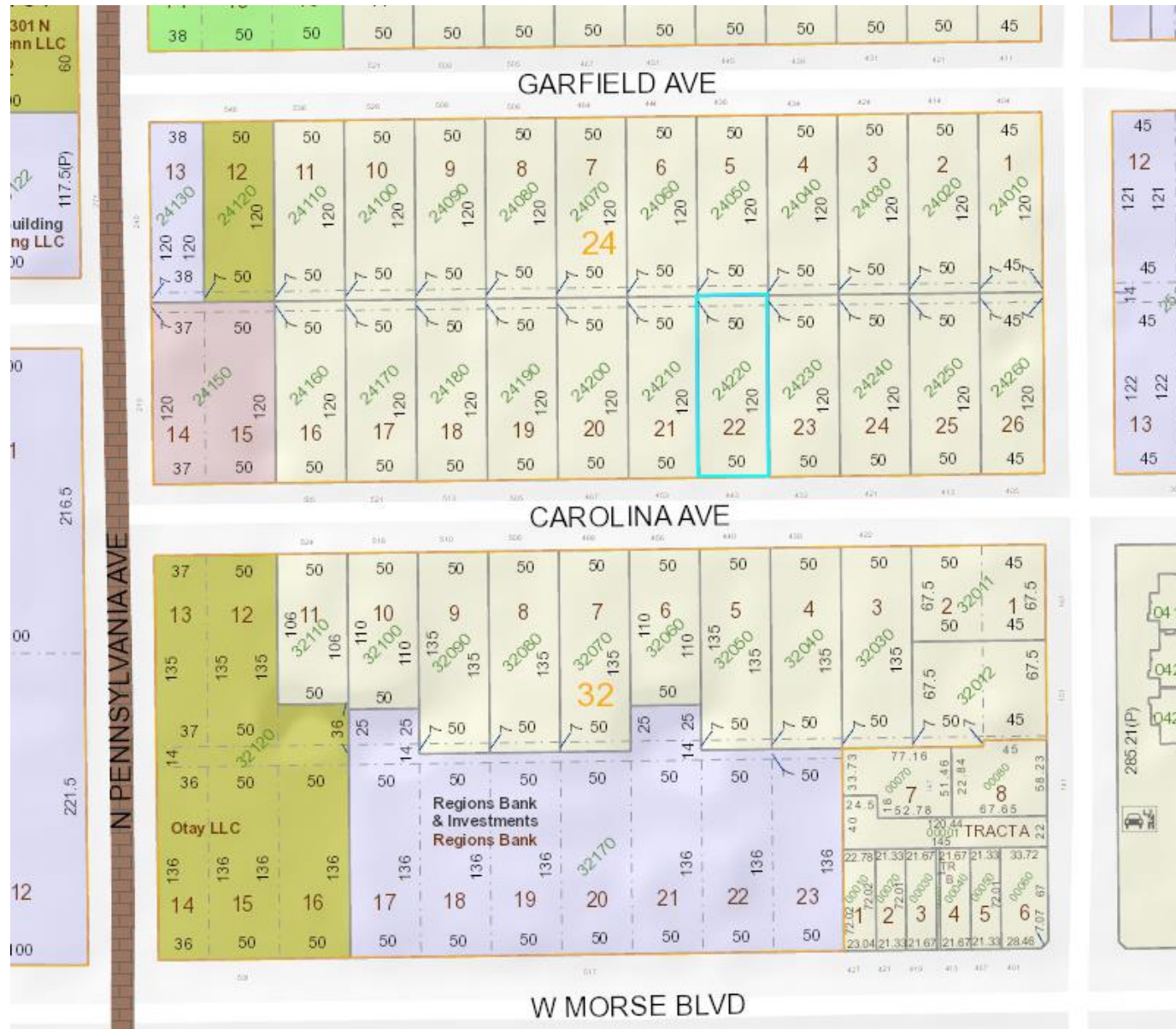
Typically, the Board has very rarely granted variances to a proposed new home on a vacant lot or a lot in which a demolition of a previous home has taken place since the designer has all options available to provide creating a home conforming to all of our setback criteria.

The few times that variances have been granted on a vacant lot include unusual circumstances such as a steeply sloping or oddly shaped lot.

Preliminary plans for this newly designed home were reviewed and not approved due to the requested front setback of 15.5 feet earlier this year.

No letters were received regarding this variance request.

443 Carolina Ave



**CITY OF WINTER PARK
VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT**

Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received _____
Assigned _____
Date of Hearing _____

Applicant: Tommy Watkins

Owner: Ken Cornell

912 W. Fairbanks Ave.
(Address)
Winter Park, FL. 32789
(City, State) (Zip)

(Phone – Home)
407-599-3922
(Phone – Work or Cell)
tommy@philkeandesigns.com
(Email Address)

443 Carolina Ave
(Address)
Winter Park, FL 32789
(City, State) (Zip)

(Phone – Home)
407-467-9547
(Phone – Work or Cell)
ken@cornellhomesllc.com
(Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section 58, Subsection 66, Zoning R-1A.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of
property 443 Carolina Ave. Winter Park, FL. 32789

Legal description of
property Lot 22, Block 24, Revised Map of Town of Winter Park,

According to plat thereof, as record in plat book A, page 67, of the public
Records of Orange County, Florida

Describe variance
request Reduce the front setback from 21'-4" to 15'-6". The 21'-4"

front setback was provided to Phil Kean Design Group by Kris Stenger

on May 28, 2020 after averaging the front setbacks of the two properties
on either side of the subject property.

This section may be left blank for completion by city staff

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.

Variance Application
Page 2 of 2

1. What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

Narrow 50'-0" lot

How long have you owned the property? November 2019

How long have you occupied the property? Unoccupied

2. What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

Several houses along the same street have a lesser setback (front).

The existing house on the property is right up against the property line / existing sidewalk. The proposed residence is 15'-6" from the property line.

3. Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

The narrow 50'-0" lot and setback requirements restrict the amount of outdoor livable space while trying to maximize the FAR. We feel positioning the garage towards the rear is more desirable and out of view from the street but in doing so it eliminates the "backyard". The design is centered around a u-shaped courtyard which becomes the outdoor livable space for the residence. Reducing the front setback would allow the courtyard to expand and effectively enlarge the outdoor

4. Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, livable fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what space extent?

Tommy Watkins
Signature of Applicant

6/25/2020
Date

Tommy Watkins
Name of Applicant (PRINT)

From: ken.cornellhomesllc.com
To: [Tommy Watkins](#)
Subject: Permission to file on my behalf
Date: Thursday, June 25, 2020 2:12:25 PM

I Kenneth Cornell am authorizing Phil Kean Design Group to submit the variance application on my behalf. For my personal home located at 443 Carolina Ave Winter Park Fl 32789

Thank you!

Please email me or call me at 4074679547 if you have any questions



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address: 443 Carolina Ave. Winter Park, FL 32789

Submitted by: Tommy Watkins

Lot width²: 50'-0"

Lot area³: 6,457 SF

	Maximum % Allowed ⁴	Existing Area ¹¹	Additional Proposed Area ¹¹	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.	2 story - 50%			3040 SF	3,229 SF
	1 story - 60%				N/A
FLOOR AREA RATIO (F.A.R.)^{5,6,7} For one and two story bldgs (include 1st & 2nd floors, garages/carports, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁸ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁹ .	Lots < 11,600 sf: Use <u>38%</u> Base FAR or w/ increased side setbacks: <u>43%</u> Max FAR			2,748 SF	2,777 SF 43% Max FAR
	Lots 11,600 sf to 13,600 sf Use <u>4,500 sf</u> Base area & <u>5,200 sf</u> Maximum area				N/A
	Lots > 13,600 sf Use <u>33%</u> Base FAR or w/ increased side setbacks: <u>38%</u> Max FAR				N/A
SCREEN POOL ENCLOSURE	8% ¹⁰				
	Minimum % Required	Existing Area ¹¹	Landscape Area Reduced ¹¹	New Total Area	Minimum Required Area
FRONT YARD LANDSCAPE COVERAGE Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious). Front Lot Area:	50%	959 SF	286 SF	672 SF	479 SF

NOTES:

1. Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director. For a proposed home, determine the front setback as described on page 2.
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
6. Area forming a room behind 2nd floor walls shall be included in the gross floor area.
7. See page 3 on how to achieve maximum F.A.R.
8. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
9. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area.
10. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
11. These columns only apply to existing homes.

SETBACKS (complete boxes A and B first)

	Minimum Allowable Dimensions			Existing ¹³	Proposed
FRONT	Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.				15'-6"
SIDES ^{1,2} (see other side setback options on pg 4)	1st Floor	See pages 3&4	A	Right	10'-0" 8'-0"
	2nd Floor		B		10'-0" 8'-0"
REAR ^{1,3,4}	1st Floor	25 ft.			25'-0"
	2nd Floor	35 ft ⁵			35'-0"
	Lakefront	see note 6			N/A
CORNER LOT	1st Floor	Lot width ≤ 65 ft.	15 ft.		N/A
		Lot width > 65 ft ⁷	20 ft.		N/A
	2nd Floor	Lot width ≤ 65 ft.	15 ft.		N/A
		Lot width > 65 ft ⁷	22.5 ft.		N/A
BUILDING HEIGHT ^{8,9,10,11,12}	30 ft. - 35 ft. plus 2 ft. or 40 ft. (see notes 11 & 12)				30 ft. max 26'-0"

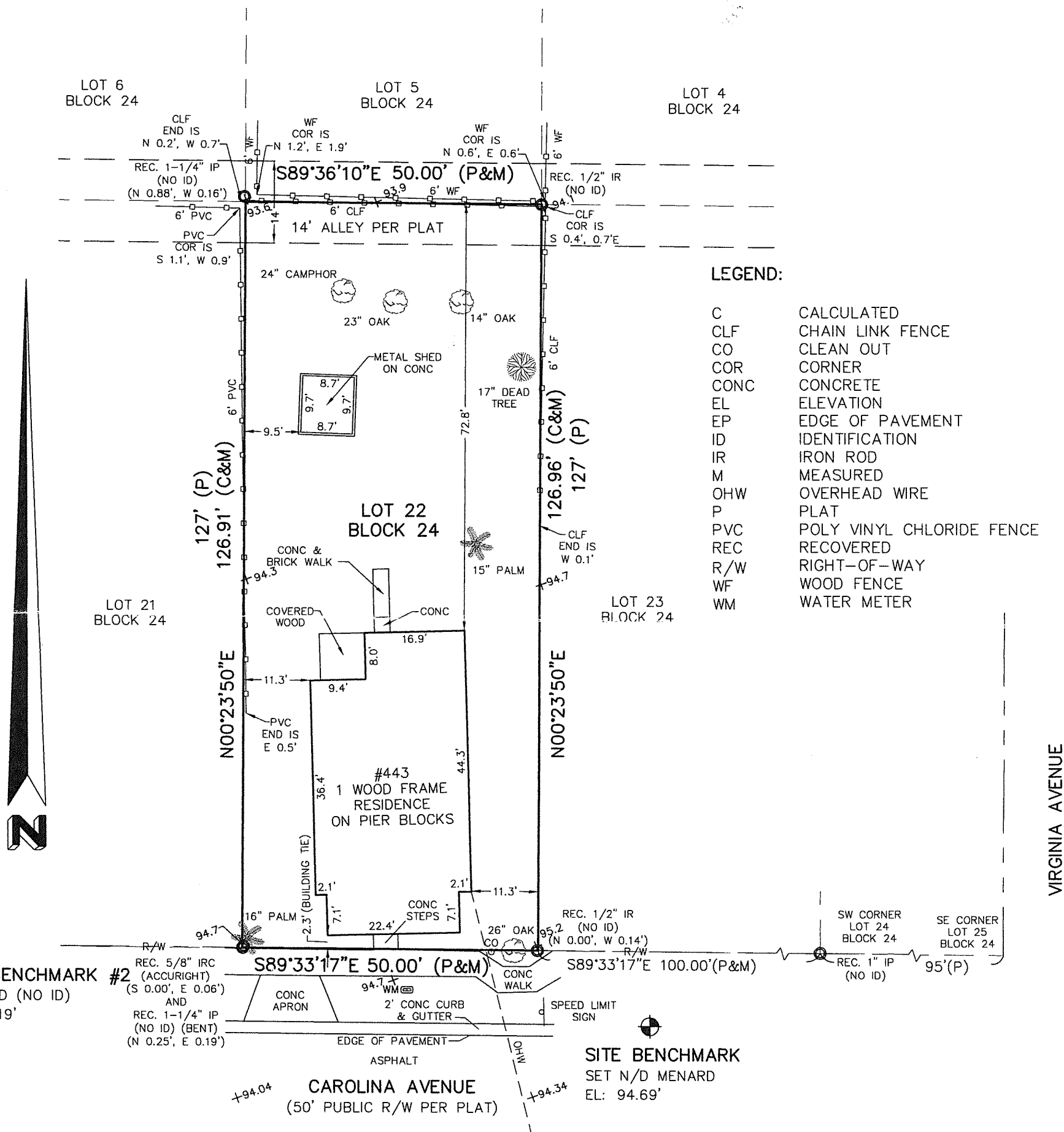
Notes:

- Any building wall that exceeds 12 ft. in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
- Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft. and interior side setback is 5 ft. minimum (no gable end allowed) for garages up to 600 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
- Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. For lots that are 75 ft deep or less a first floor setback of 10 ft and a second floor setback of 25 ft is allowed. For lots which are 105 ft deep or less a first floor setback of 15 ft and a second floor setback of 30 ft is allowed.
- Accessory buildings: garage/carport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. . Other accessory buildings used for habitation shall meet setbacks of the main residence.
- The rear setback may be reduced to 25 ft. for two-story components when those consist of a second story loft or mezzanine that is within the normal scale and 18-ft max height of a typical one-story structure.
- Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft. or 50 ft., whichever is greater, measured from ordinary high water line.
- Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft. with 1st and 2nd floor setbacks of 25 ft. may reduce the rear setback by 5 ft. on each floor.
- Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
- No building or portion thereof shall exceed 30 ft. in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft. additional building height.
- Accessory building that exceeds 18 ft. in height shall meet the same setbacks as the principal building on the property.
- Properties or lots with at least 80 ft. of width at the building line are permitted to have a building height of 35 ft. if the side setbacks are increased to 20 ft. at 30 ft. above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft. of additional building height.
- Properties or lots exceeding 50,000 sq.ft. in size with at least 100 ft width at the building line may be permitted building heights of 40 ft. if side setbacks are increased to 35 ft. to the portion of the roof over 30 ft. in height.
- This column only applies to existing homes.

BOUNDARY SURVEY
FOR
CORNELL HOMES, LLC

DESCRIPTION:

LOT 22, BLOCK 24, REVISED MAP OF THE TOWN OF WINTER PARK,, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK A, PAGE 67, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.



SURVEYOR'S NOTES:

1. The lands as shown hereon lie within Section 05, Township 22 S., Range 30 E., Orange County, Florida.
2. This survey represents a survey made on the ground under the supervision of the signing surveyor, unless otherwise noted.
3. Underground improvements or underground foundations have not been located except as noted.
4. This survey does not reflect or determine ownership.
5. All easements of which the surveyor has knowledge of, or has been furnished, have been noted on this map.
6. No title data has been provided to this surveyor unless otherwise noted.
7. Bearings shown hereon are assumed relative to the north right-of-way line of Carolina Avenue; Said bearing being S89°33'17"E per plat.
8. According to the Federal Insurance Rate Map, this property lies in Zone "X", Community Panel number 12095C0255 F, Dated: 9/25/2009.
9. There are no bearings shown on the plat.
10. The specific purpose of this survey is to locate all trees 8 inches in size or greater on the property. Also, show elevations for drainage.
11. Elevations shown hereon are for informational purposes only.
12. This is not a topographic survey.

REVISIONS

Rev. _____	Date: _____
Rev. _____	Date: _____
Rev. _____	Date: _____
Rev. ADD TREES/SPOT EL	Date: 11/11/19

HLSM, LLC
Henrich-Luke-Swaggerty-Menard
Professional Surveyors & Mappers
Licensed Business No. 7276
302 Live Oaks Boulevard
Casselberry, Florida 32707
P. (407) 647-7346
F. (407) 982-7166
Survey@HLSM.US

Job No:	J-732
Field Date:	10/23/19
Drawn By:	RM
Field By:	ME/RW
Scale:	1"=20'

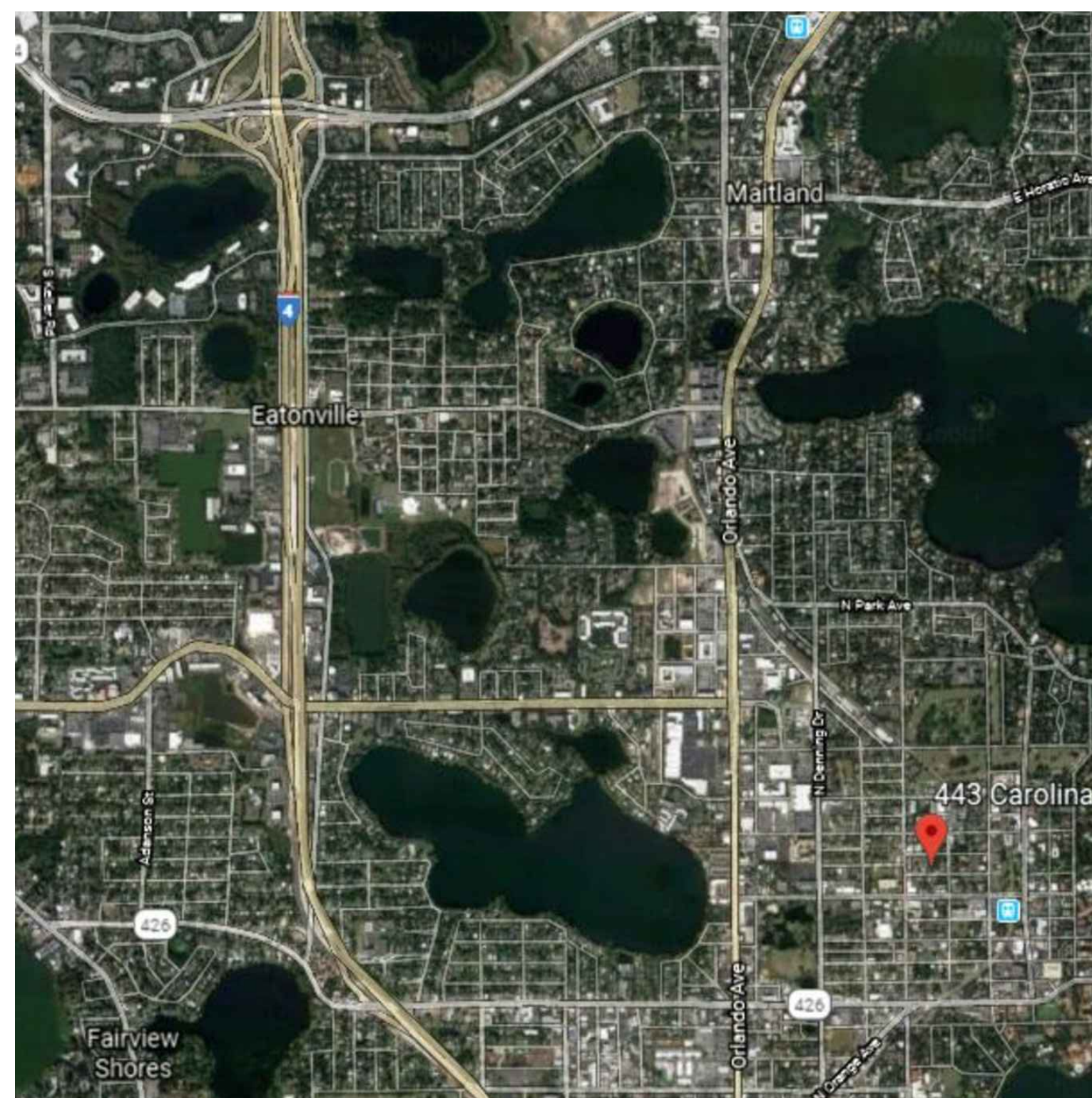
THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

William F. Menard
William F. Menard
Professional Surveyor & Mapper
Florida Registration #5625

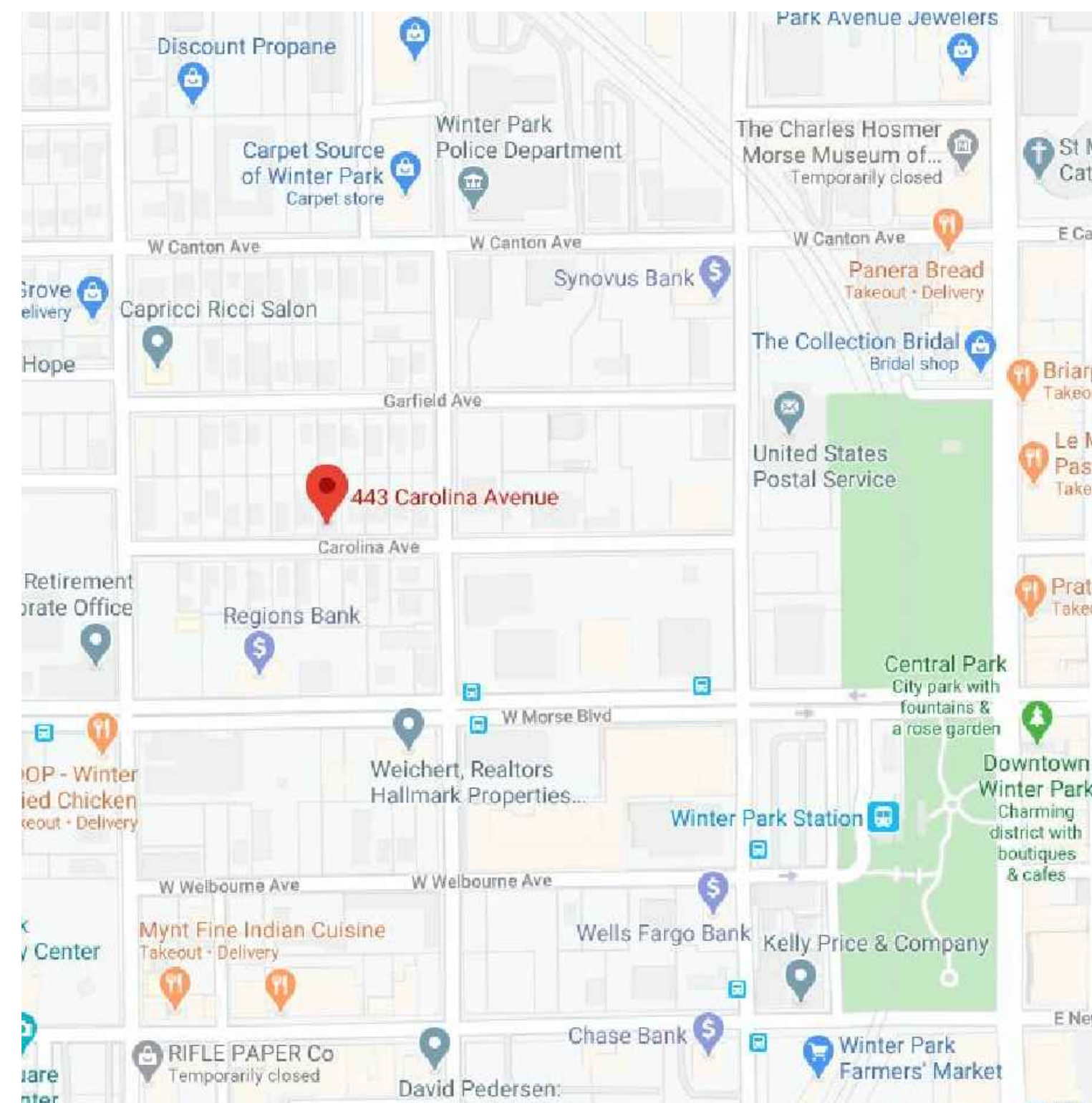
SINGLE FAMILY RESIDENCE



443 CAROLINA AVENUE
WINTER PARK, FLORIDA



VICINITY MAP



LOCATION MAP

ISSUE DATE: _____

ARCHITECT:



ARCHITECTURE
CONSTRUCTION
INTERIORS

912 W. Fairbanks Avenue
Winter Park, Florida 32789
PH 407-599-3922
FAX 407-599-3923
WWW.PHILKEANDDESIGNS.COM

PROJECT:

NOT FOR CONSTRUCTION

CORNELL RESIDENCE

443 CAROLINA AVE.
WINTER PARK, FLORIDA 32789

[illegible]



BUILDING INFORMATION			
BUILDING CODE:	FLORIDA BUILDING CODE 2017 - RESIDENTIAL, SIXTH EDITION		
DISTRICT: (ZONING)	R-1A		
	REQUIRED	THIS PROJECT	NOTES
MIN. LOT AREA		6457 SF	50'-0" WIDE LOT
MIN. LIVING AREA			
FRONT YARD SETBACK	21'-4"	15'-6"	
REAR YARD SETBACK	25'-0" ONE STORY 35'-0" TWO STORY	25'-0" ONE STORY 35'-0" TWO STORY	
SIDE YARD SETBACK	10'-0" LEFT SIDE 8'-0" RIGHT SIDE	10'-0" LEFT SIDE 8'-0" RIGHT SIDE	SEC 56-66 R-1AA AND R-1A - SECTION 6G
BUILDING HEIGHT	30'-0"	26'-0"	

AS1.0

DWELLING / GARAGE SEPARATION (TABLE R302.6)	
SEPARATION	MATERIAL
FROM RESIDENCE AND ATTICS	NOT LESS THAN ½ INCH GYPSUM BOARD OR EQUIVALENT TO THE GARAGE SIDE
FROM HABITABLE ROOMS ABOVE GARAGE	NOT LESS THAN ¾ INCH TYPE X GYPSUM BOARD OR EQUIVALENT
STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN ½ INCH GYPSUM BOARD OR EQUIVALENT
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT	NOT LESS THAN ½ INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.
PER R702.3.5, SUPPORTS AND FASTENERS USED TO ATTACH GYPSUM BOARD AND GYPSUM PANEL PRODUCTS SHALL COMPLY WITH TABLE R702.3.5. GYPSUM SHEATHING SHALL BE ATTACHED TO EXTERIOR WALLS IN ACCORDANCE WITH TABLE R602.3(1). GYPSUM BOARD AND GYPSUM PANEL PRODUCTS SHALL BE APPLIED AT RIGHT ANGLES OR PARALLEL TO FRAMING MEMBERS. ALL EDGES AND ENDS OF GYPSUM BOARD AND GYPSUM PANEL PRODUCTS SHALL OCCUR ON THE FRAMING MEMBERS, EXCEPT THOSE EDGES AND ENDS THAT ARE PERPENDICULAR TO THE FRAMING MEMBERS. INTERIOR GYPSUM BOARD SHALL NOT BE INSTALLED WHERE IT IS DIRECTLY EXPOSED TO THE WEATHER OR TO WATER	

PLAN NOTES:	
1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL HAVE A 20 MIN. FIRE RATED DOOR OR SOLID WOOD DOOR NOT LESS THAN 1 AND ¾ INCHES IN THICKNESS OR SOLID OR HONEYCOMB DOOR. DOOR SHALL BE EQUIPPED WITH AUTOMATIC CLOSER.	
2. PROVIDE 2X BLOCKING AT MIDPOINT ON ALL INTERIOR STUD WALLS.	

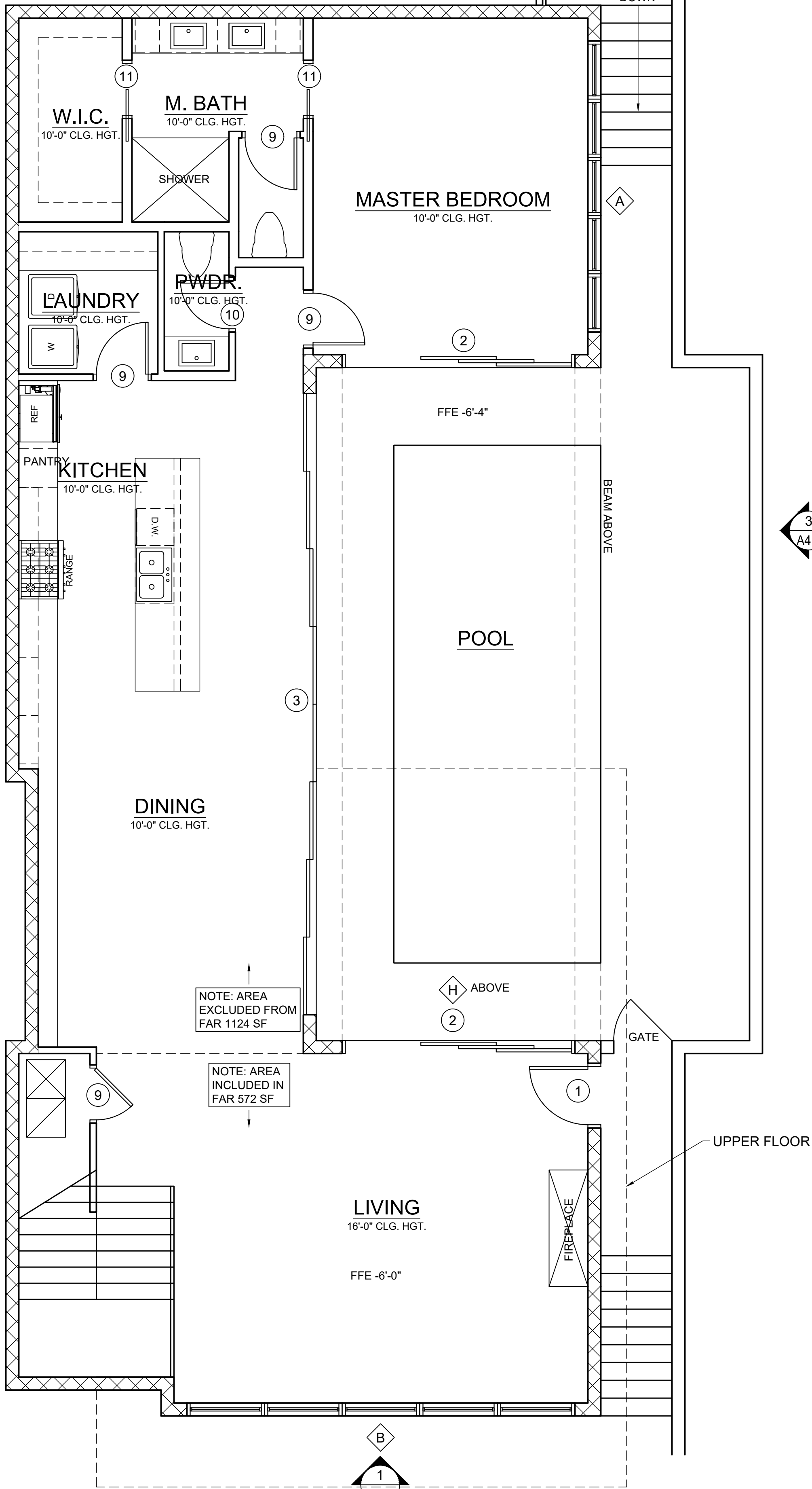
WINDOW SCHEDULE				
TAG	WIDTH	HGT.	QTY.	NOTES
A	15'-0"	2'-0"	1	(5) WINDOWS, FIXED
B	20'-0"	10'-0"	1	(5) WINDOWS, FIXED
C	12'-0"	2'-0"	2	(4) WINDOWS, FIXED
D	12'-0"	10'-0"	2	(3) WINDOWS, FIXED
E	16'-0"	7'-0"	1	(4) WINDOWS, FIXED
F	8'-0"	7'-0"	1	(2) WINDOWS, FIXED
G	8'-0"	8'-0"	1	(2) WINDOWS, FX-CSM
H	12'-0"	2'-8"	1	(3) WINDOWS, FIXED

DOOR SCHEDULE				
EXTERIOR				
TAG	WIDTH	HGT.	QTY.	NOTES
1	3'-0"	8'-0"	1	GLASS ENTRY DOOR
2	12'-0"	10'-0"	2	(3) PANEL, S.G.D.
3	32'-0"	10'-0"	1	(8) PANEL, S.G.D.
4	16'-0"	7'-0"	1	OVERHEAD GARAGE DOOR
5	16'-0"	10'-0"	1	(4) PANEL, S.G.D.
6	3'-0"	8'-0"	1	FRENCH, SWING DOOR
7	8'-0"	10'-0"	1	(2) PANEL, S.G.D.
8	3'-0"	8'-0"	1	SWING DOOR

INTERIOR				
TAG	WIDTH	HGT.	QTY.	NOTES
9	2'-8"	8'-0"	12	SWING DOOR
10	2'-6"	8'-0"	1	SWING DOOR
11	2'-8"	8'-0"	2	POCKET DOOR
12	4'-0"	8'-0"	2	DBL. SWING DOOR
13	2'-6"	8'-0"	1	POCKET DOOR

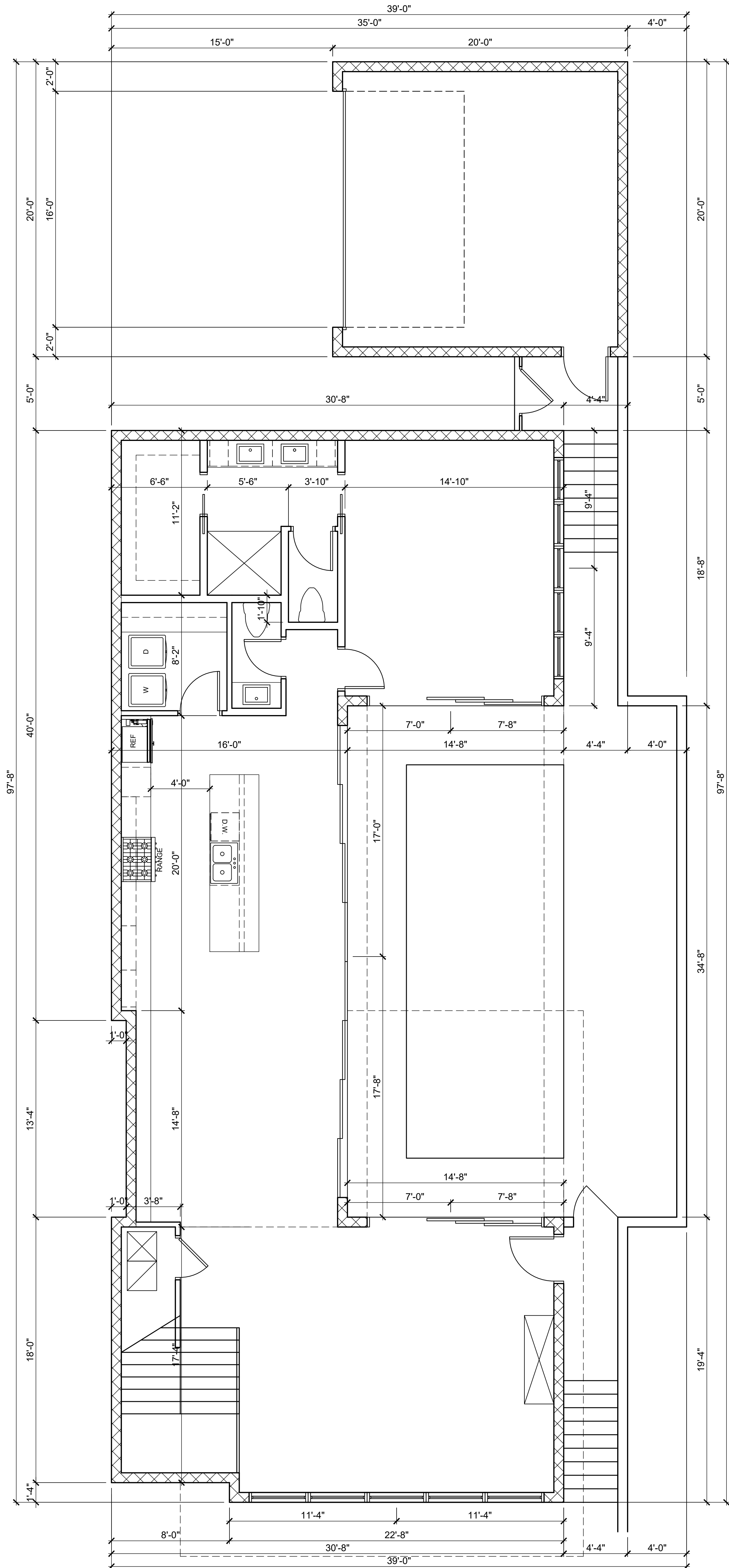
CONTRACTOR TO VERIFY ALL WINDOW SIZES AND STYLES

AREA TABULATION	
MAIN LEVEL	
A/C (SEE NOTE 1):	*1696
GARAGE:	*400
COVERED AREA OVER POOL:	225
UPPER LEVEL	
A/C:	*1560
STAIR OPENING:	*116
OPEN REAR BALCONY:	273
COVERED FRONT BALCONY:	*100
TOTALS	
A/C (SEE NOTE 1):	*3256
GARAGE:	*400
COVERED AREA OVER POOL:	225
COVERED FRONT BALCONY	*100
STAIR OPENING:	*116
TOTAL UNDER ROOF:	4097
SITE AREA:	6457
MAX FLOOR AREA RATIO (FAR) 43%:	2777
TOTAL FLOOR AREA:	2748
* DENOTES INCLUDED IN FAR CALCULATIONS	
NOTES:	
1. 1124 A/C SF ON MAIN LEVEL IS EXCLUDED FROM FLOOR AREA RATIO CALCULATIONS. SEE NOTE ON PLANS AND ELEVATIONS. MORE THAN ONE-HALF OF FLOOR HEIGHT IS BELOW THE ESTABLISHED EXISTING GRADE.	



MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

ISSUE DATE:

ARCHITECT:



PHIL KEAN

ARCHITECTURE
CONSTRUCTION
INTERIORS

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PROJECT:

CORNELL RESIDENCE

443 CAROLINA AVE.

WINTER PARK, FLORIDA 32789

PLAN REVISIONS

DATE DESCRIPT.

06.24.20 VARIANCE SUBMITTAL

DATA:

DESIGNER:

TOMMY WATKINS

DRAWN BY:

MITCH BURDEN

SHEET

DESCRIPTION:

MAIN LEVEL

FLOOR PLAN

SHEET NUMBER

A2.0

DWELLING / GARAGE SEPARATION (TABLE R302.6)	
SEPARATION	MATERIAL
FROM RESIDENCE AND ATTICS	NOT LESS THAN ½ INCH GYPSUM BOARD OR EQUIVALENT TO THE GARAGE SIDE
FROM HABITABLE ROOMS ABOVE GARAGE	NOT LESS THAN ¾ INCH TYPE X GYPSUM BOARD OR EQUIVALENT
STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN ½ INCH GYPSUM BOARD OR EQUIVALENT
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PER R702.3.5, SUPPORTS AND FASTENERS USED TO ATTACH GYPSUM BOARD AND GYPSUM PANEL PRODUCTS SHALL COMPLY WITH TABLE R702.3.5. GYPSUM SHEATHING SHALL BE ATTACHED TO EXTERIOR WALLS IN ACCORDANCE WITH TABLE R802.3(1). GYPSUM BOARD AND GYPSUM PANEL PRODUCTS SHALL BE APPLIED AT RIGHT ANGLES OR PARALLEL TO FRAMING MEMBERS. ALL EDGES AND ENDS OF GYPSUM BOARD AND GYPSUM PANEL PRODUCTS SHALL OCCUR ON THE FRAMING MEMBERS, EXCEPT THOSE EDGES AND ENDS THAT ARE PERPENDICULAR TO THE FRAMING MEMBERS. INTERIOR GYPSUM BOARD SHALL NOT BE INSTALLED WHERE IT IS DIRECTLY EXPOSED TO THE WEATHER OR TO WATER	

PLAN NOTES:	
1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL HAVE A 20 MIN. FIRE RATED DOOR OR SOLID WOOD DOOR NOT LESS THAN 1 AND ¾ INCHES IN THICKNESS OR SOLID OR HONEYCOMB DOOR. DOOR SHALL BE EQUIPPED WITH AUTOMATIC CLOSER.	
2. PROVIDE 2X BLOCKING AT MIDPOINT ON ALL INTERIOR STUD WALLS.	

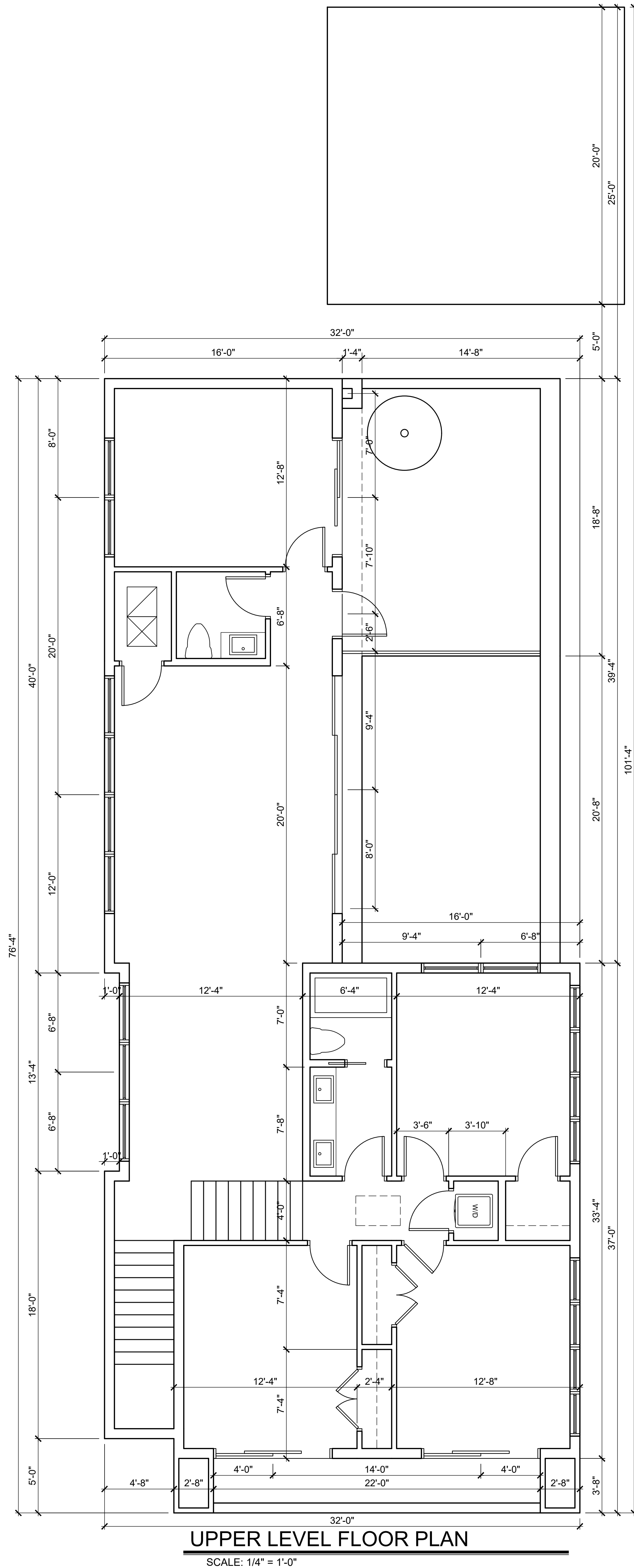
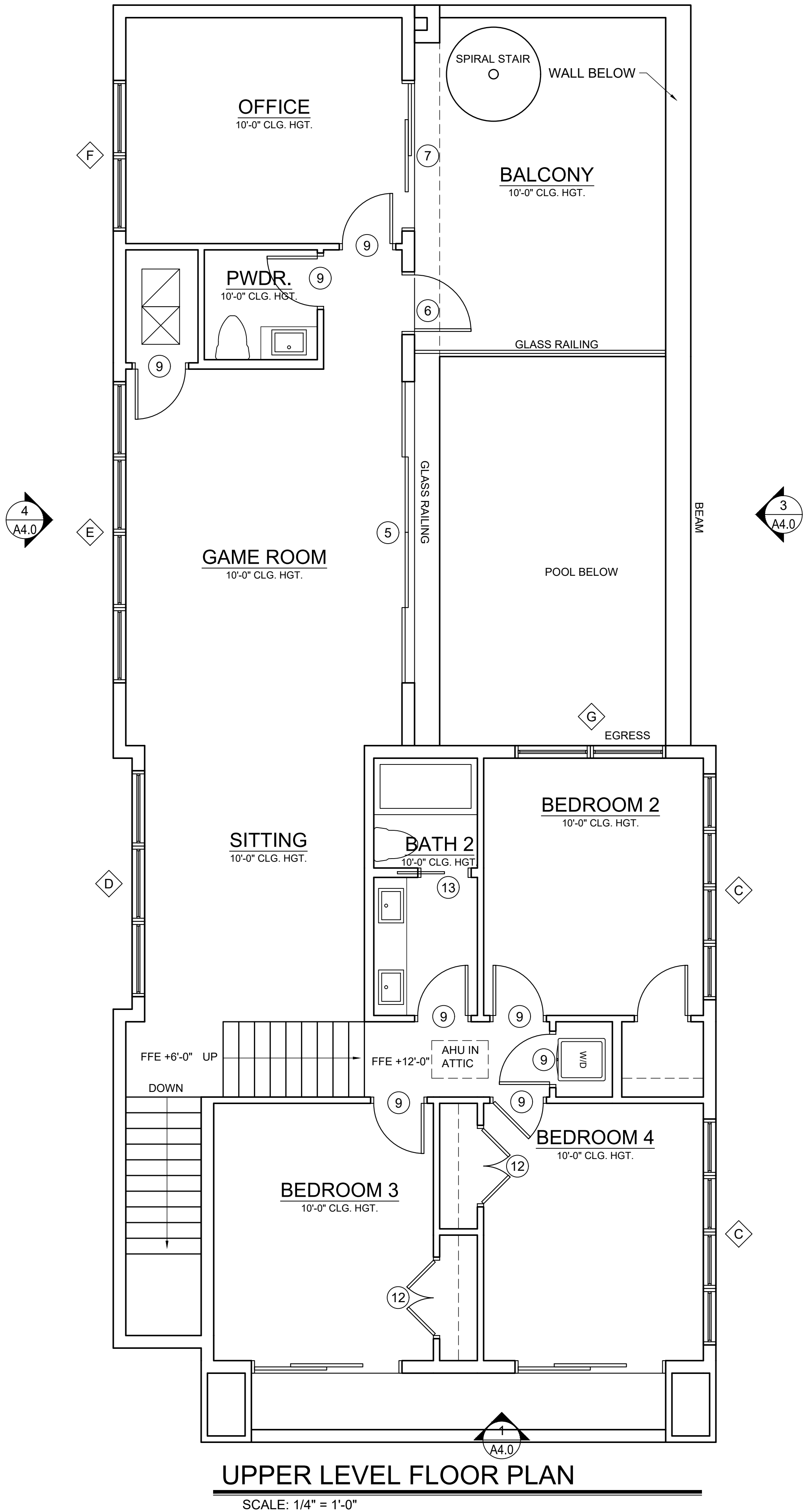
WINDOW SCHEDULE				
TAG	WIDTH	HGT.	QTY.	NOTES
A	15'-0"	2'-0"	1	(5) WINDOWS, FIXED
B	20'-0"	10'-0"	1	(5) WINDOWS, FIXED
C	12'-0"	2'-0"	2	(4) WINDOWS, FIXED
D	12'-0"	10'-0"	2	(3) WINDOWS, FIXED
E	16'-0"	7'-0"	1	(4) WINDOWS, FIXED
F	8'-0"	7'-0"	1	(2) WINDOWS, FIXED
G	8'-0"	8'-0"	1	(2) WINDOWS, FX-CSM
H	12'-0"	2'-8"	1	(3) WINDOWS, FIXED

DOOR SCHEDULE				
EXTERIOR				
TAG	WIDTH	HGT.	QTY.	NOTES
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2	12'-0"	10'-0"	2	(3) PANEL, S.G.D.
3	32'-0"	10'-0"	1	(8) PANEL, S.G.D.
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5	16'-0"	10'-0"	1	(4) PANEL, S.G.D.
6	3'-0"	8'-0"	1	FRENCH, SWING DOOR
7	8'-0"	10'-0"	1	(2) PANEL, S.G.D.
8	3'-0"	8'-0"	1	SWING DOOR

INTERIOR				
TAG	WIDTH	HGT.	QTY.	NOTES
9	2'-8"	8'-0"	12	SWING DOOR
10	2'-6"	8'-0"	1	SWING DOOR
11	2'-8"	8'-0"	2	POCKET DOOR
12	4'-0"	8'-0"	2	DBL. SWING DOOR
13	2'-6"	8'-0"	1	POCKET DOOR

CONTRACTOR TO VERIFY ALL WINDOW SIZES AND STYLES

AREA TABULATION	
MAIN LEVEL	
A/C (SEE NOTE 1):	*1696
GARAGE:	*400
COVERED AREA OVER POOL:	225
UPPER LEVEL	
A/C:	*1560
STAIR OPENING:	*116
OPEN REAR BALCONY:	273
COVERED FRONT BALCONY:	*100
TOTALS	
A/C (SEE NOTE 1):	*3256
GARAGE:	*400
COVERED AREA OVER POOL:	225
COVERED FRONT BALCONY	*100
STAIR OPENING:	*116
TOTAL UNDER ROOF:	4097
SITE AREA:	6457
MAX FLOOR AREA RATIO (FAR) 43%:	2777
TOTAL FLOOR AREA:	2748
* DENOTES INCLUDED IN FAR CALCULATIONS	
NOTES:	
1. 1124 A/C SF ON MAIN LEVEL IS EXCLUDED FROM FLOOR AREA RATIO CALCULATIONS. SEE NOTE ON PLANS AND ELEVATIONS. MORE THAN ONE-HALF OF FLOOR HEIGHT IS BELOW THE ESTABLISHED EXISTING GRADE.	



NOT FOR CONSTRUCTION

ARCHITECT:
PHIL KEAN
ARCHITECTURE
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PROJECT:
CORNELL RESIDENCE
443 CAROLINA AVE.
WINTER PARK, FLORIDA 32789

PLAN REVISIONS	
DATE	DESCRPT.
06.24.20	VARIANCE SUBMITTAL

DATA:
DESIGNER:
TOMMY WATKINS

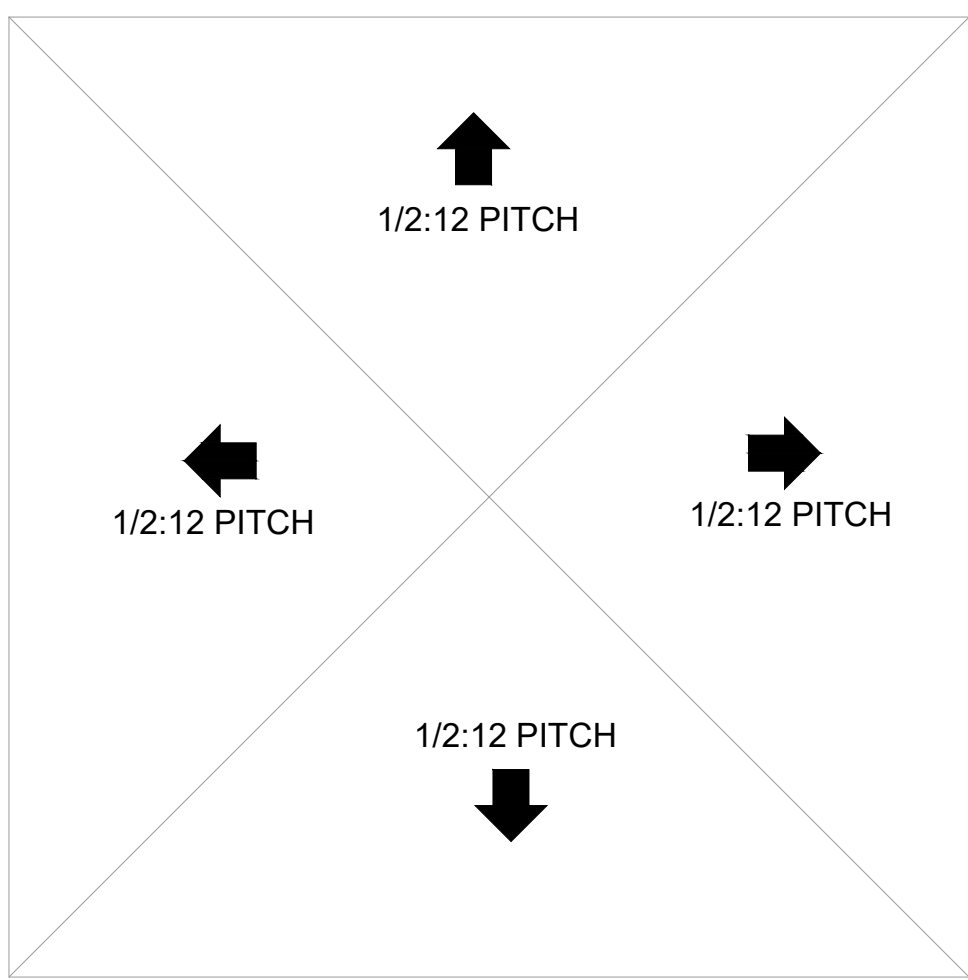
DRAWN BY:
MITCH BURDEN

SHEET
DESCRIPTION:

UPPER LEVEL
FLOOR PLAN

SHEET NUMBER

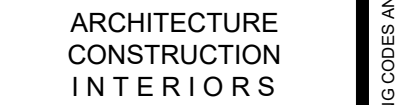
A2.1



SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

ARCHITECT:



PROJECT:

IN THE AP

443 CAROLINA AVE.

WINTER PARK, FLORIDA 32789

DATA:	PHIL KEAN
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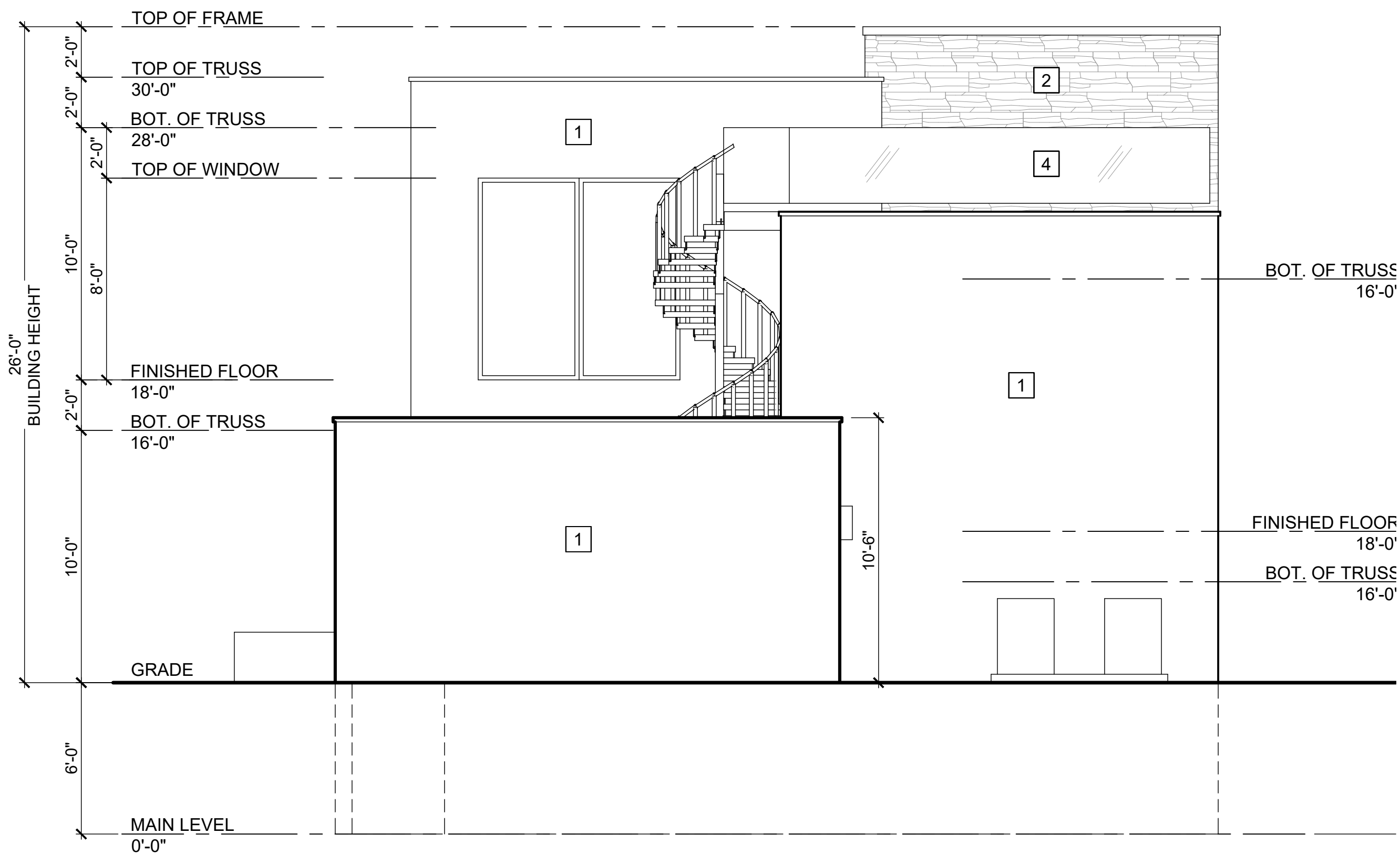
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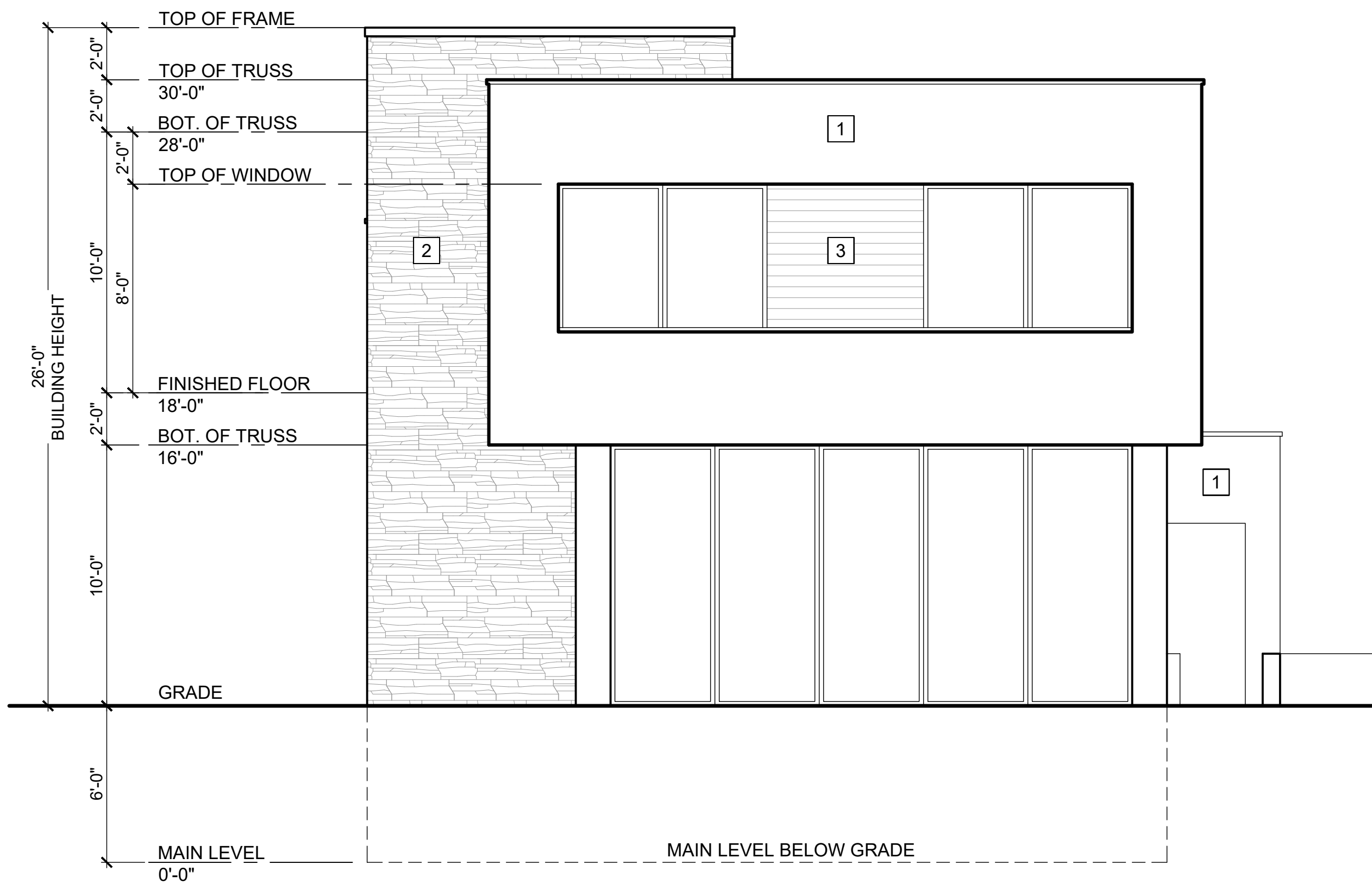
ROOF PLAN

SHEET NUMBER

A3.0



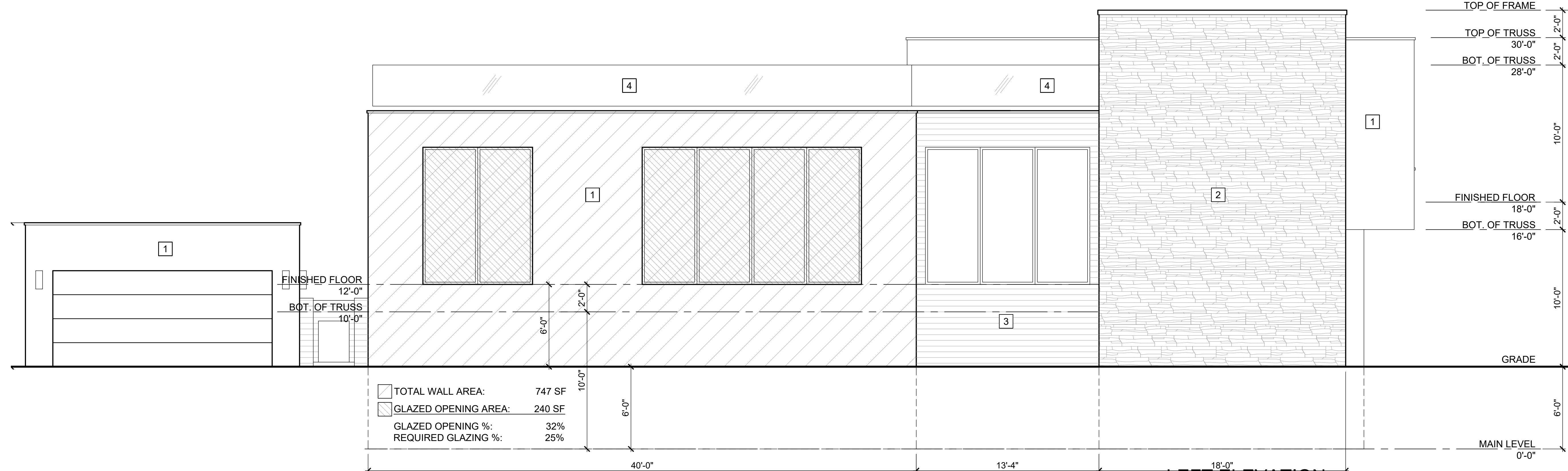
1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



3 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

TOTAL WALL AREA: 747 SF
GLAZED OPENING AREA: 240 SF
GLAZED OPENING %: 32%
REQUIRED GLAZING %: 25%

ELEVATION NOTES:

- | # | DESCRIPTION |
|----|----------------------|
| 1. | SMOOTH STUCCO FINISH |
| 2. | STONE VENEER FINISH |
| 3. | FIBER CEMENT PANEL |
| 4. | GLASS RAILING |

NOT FOR CONSTRUCTION

ISSUE DATE:

ARCHITECT:



ARCHITECTURE
CONSTRUCTION
INTERIORS
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Winter Park, Florida 32789
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PROJECT:

CORNELL RESIDENCE
443 CAROLINA AVE.
WINTER PARK, FLORIDA 32789

PLAN REVISIONS

DATE	DESCRPT.
06.24.20	VARIANCE SUBMITTAL

DATA:

DESIGNER:
TOMMY WATKINS

DRAWN BY:
MITCH BURDEN

SHEET
DESCRIPTION:

FRONT & REAR
ELEVATIONS

SHEET NUMBER

A4.0

schematic design

CORNELL

Residence

schematic design

CORNELL

Residence

schematic design

CORNELL

Residence



schematic design

CORNELL

Residence

schematic design

CORNELL

Residence

schematic design

CORNELL

Residence

schematic design

CORNELL

Residence

schematic design

CORNELL

Residence

schematic design

CORNELL

Residence

Mortgage Loans
- Winter Park

Existing
house

1

2

3

4

Carolina Ave

Carolina Ave

Carolina Ave

Carolina Ave

Carolina Ave

Ca



house 1



Distance ?

19 ft ▾



[↻ Start new](#)

House 1: 19'-0" from front of house to edge of curb. The easement where the sidewalk is located according to the subject property survey is approximately 12'-4" from the property line to edge of curb. $19'-0" - 12'-4" = 6'-8"$ front building setback



house 2



Distance ?

30 ft ▾



↻ Start new

30'-0" + 5'-0" past front porch column = 35'-0".
Garage is closer to street

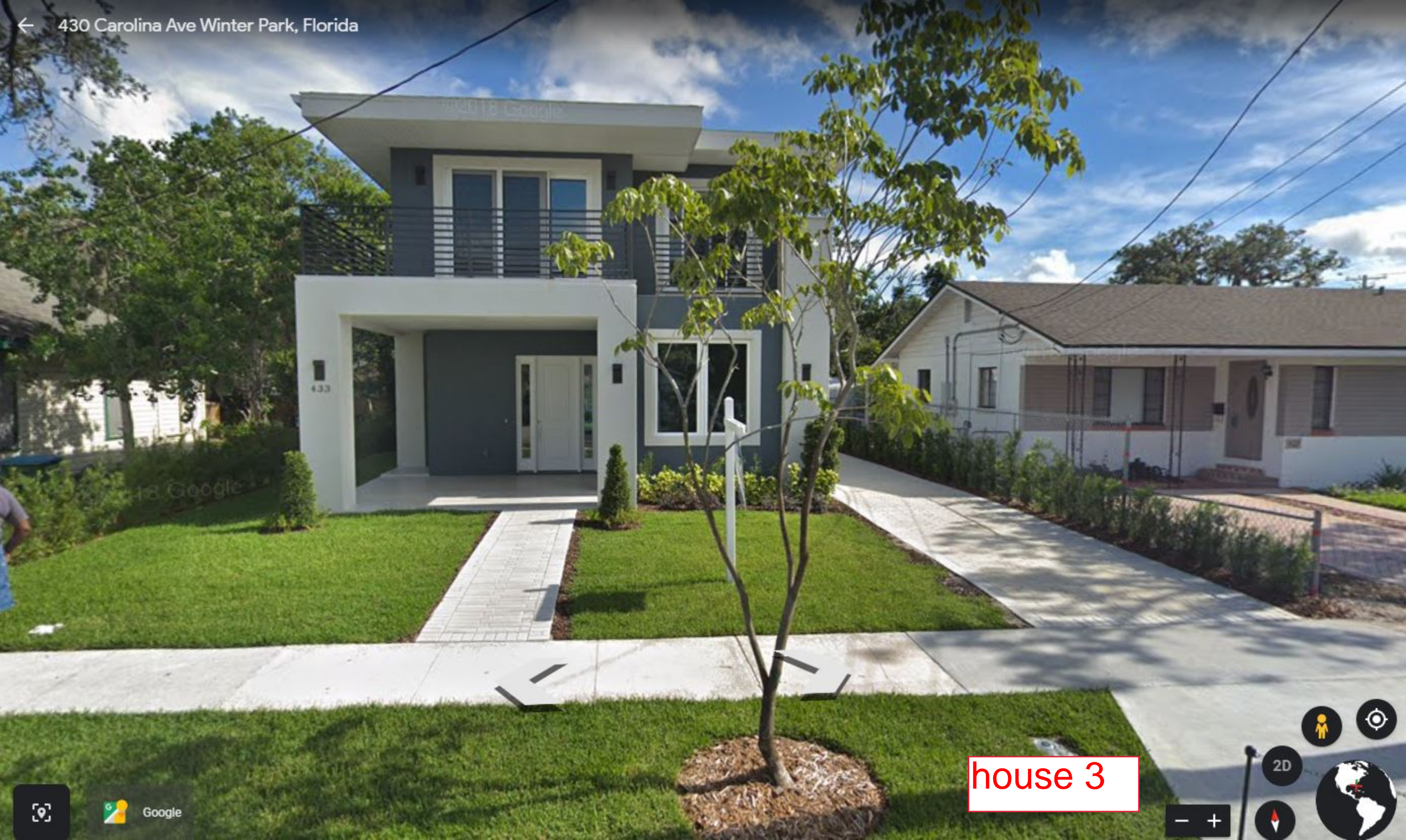
House 2: 30'-0" from front of house to edge of curb. The easement where the sidewalk is located according to the subject property survey is approximately 12'-4" from the property line to edge of curb. $30'-0" - 12'-4" = 17'-8"$ front building setback



← 430 Carolina Ave Winter Park, Florida

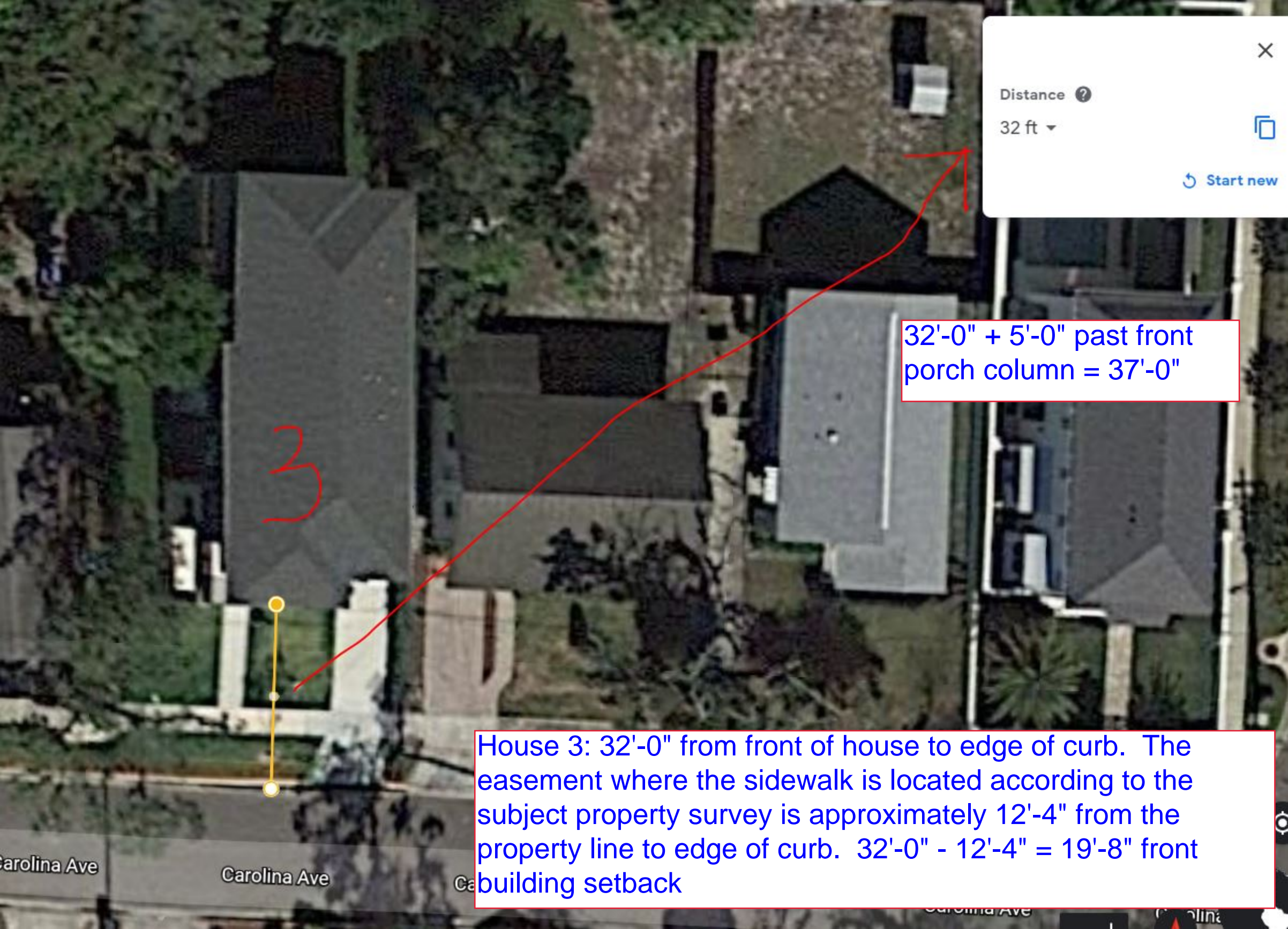
Existing house: The existing house has 2'-3" front setback

existing house



house 3





Distance ?

32 ft ▾

Start new

32'-0" + 5'-0" past front porch column = 37'-0"

House 3: 32'-0" from front of house to edge of curb. The easement where the sidewalk is located according to the subject property survey is approximately 12'-4" from the property line to edge of curb. $32'-0" - 12'-4" = 19'-8"$ front building setback

Carolina Ave

Carolina Ave

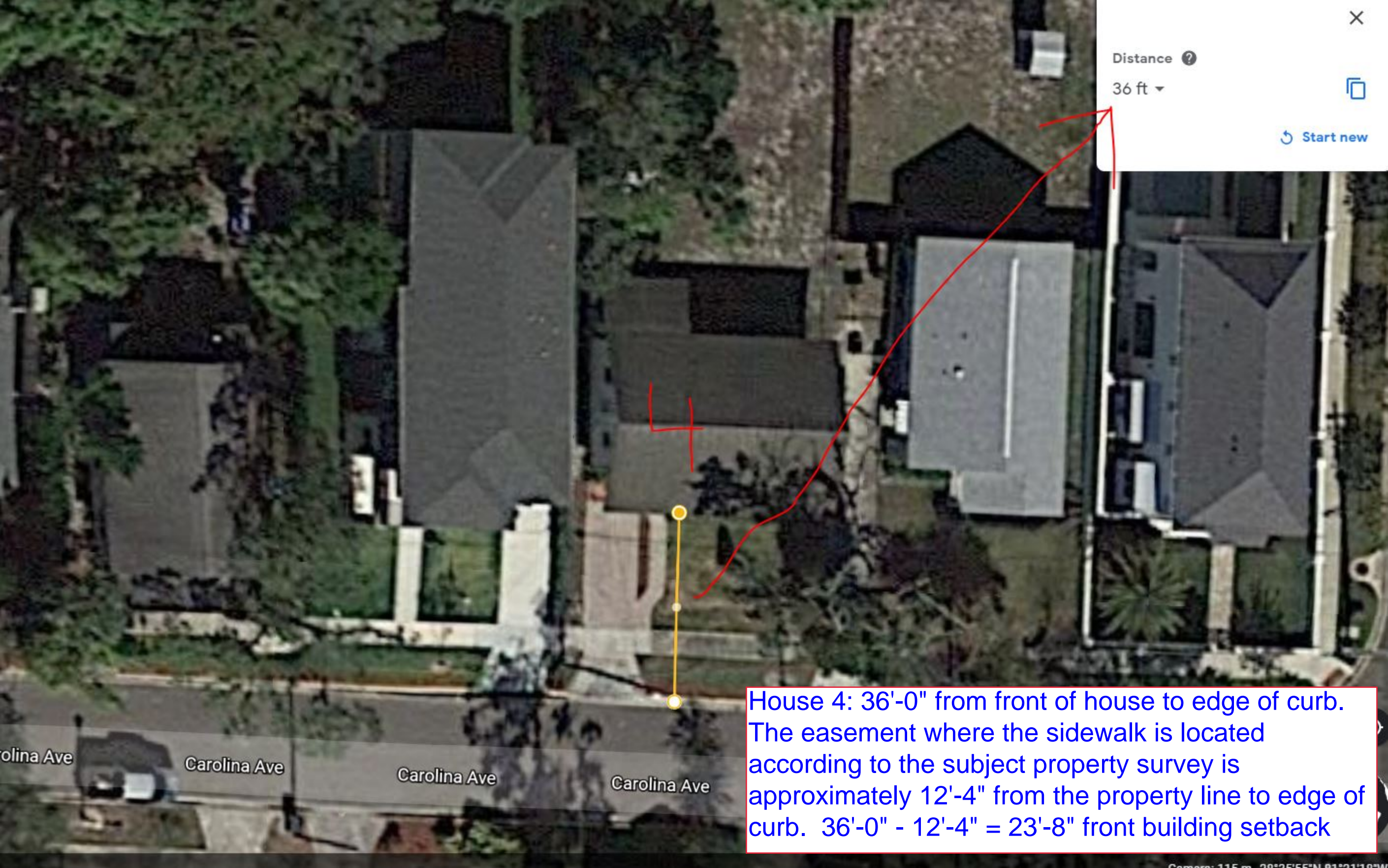
Ca

Carolina Ave

Carolina Ave



house 4



Distance ?

36 ft ▾



↻ Start new

Carolina Ave

Carolina Ave

Carolina Ave

Carolina Ave

House 4: 36'-0" from front of house to edge of curb. The easement where the sidewalk is located according to the subject property survey is approximately 12'-4" from the property line to edge of curb. $36'-0" - 12'-4" = 23'-8"$ front building setback