



Board of Adjustments

June 18, 2019 at 5:00p.m.

City Hall | Commission Chambers
401 S. Park Ave. | Winter Park, Florida

Agenda Items

1. Opening comments & Election of chair

2. Approval

- A. Minutes for May 21, 2019

3. New business

- A. Request of Matt Langbehn in behalf of William Moss for variances to allow rebuilding an existing boathouse located .5 feet from the side lot line in lieu of the required side setback of 10 feet and to allow 672 square feet of area in lieu of the maximum allowed area of 600 square feet.

Located at: 2158 Lake Drive

Zoned: R-1A

- B. Request of Nestor Luzardo for variances to allow the construction of a building addition with a side setback of 8.4 feet and a rear setback of 13.7 feet in lieu of the required setback of 10 feet and 25 feet respectively.

Located at: 622 Blairshire Circle

Zoned: R-1A

- C. Request of Luz Marina Munoz for a variance to allow the demolition of over 50% of the existing dwelling and build a new pitched roof structure over the existing side walls at the existing side setbacks which vary from 5.6 feet to 8.1 feet on the west side and 4.5 feet to 6.6 feet on the east side in lieu of the required side setbacks of 7.5 feet.

Located at 1572 Sunset Drive

Zoned: R-1A

appeals & assistance

“If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.” (F.S. 286.0105).

“Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk’s Office (407-599-3277) at least 48 hours in advance of the meeting.”



Board of Adjustments

To: Board of Adjustment Members
From: George Wiggins, Director of Bldg/Legislative Affairs
Date: June 18, 2019
Subj: Moss Variance Request, 2158 Lake Drive

The applicant is requesting variances to allow rebuilding an existing boathouse located .5 feet from the side lot line in lieu of the required side setback of 10 feet and to allow 672 square feet of area in lieu of the maximum allowed area of 600 square feet.

On January 8, 2019, the Lakes Board reviewed and conditionally approved this proposed boathouse subject to obtaining a letter of non-objection from the abutting property owner due to its proposed close proximity to the adjacent property. Public Works Department staff had made a recommendation of denial for this application due the size of the boathouse exceeding 600 square feet in area.

The applicant has explained to us that the proposal to maintain the existing nonconforming side setback is requested due to shallow water depth and the ability to bring a boat into the lift. The marine contractor is providing water depth information to help justify the need for the smaller side setback.

A letter of non-objection has been provided by the adjacent property owner most impacted by the boathouse construction. If the Board does not grant the requested setback variance, then the owner still has the option to locate the boathouse 5 feet from the side lot line.

**CITY OF WINTER PARK
VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT**

Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received 5/24/19
Assigned #1
Date of Hearing 6/18/19

Applicant: Matt Langbehn

Owner: William E. Moss Jr.

5968 Lakehurst Dr.

(Address)

Orlando, FL 32819

(City, State)

(Zip)

(Phone – Home)

407.583.6251

(Phone – Work or Cell)

matt@summertimedocks.com

(Email Address)

2158 Lake Dr.

(Address)

Winter Park, FL 32789

(City, State)

(Zip)

407.376.4517

(Phone – Home)

(Phone – Work or Cell)

moss@mosskrusick.com

(Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section 58-87, Paragraph (c) (3), Zoning R-1A.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of

property 2158 Lake Dr.

Legal description of

property KILLARNEY POINT DB 905/93 LOT 46

Describe variance

request Applicant is requesting to rebuild more than 50% of an existing boathouse that is

within the 10' side setback distance. Applicant is requesting to keep dock in its current location,

which is approximately 6"-12" from abutting property line.

This section may be left blank for completion by city staff

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.

Variance Application
Page 2 of 2

What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

The existing boat dock is dilapidated and unsafe for normal use. The majority of it will need to be rebuilt. The current dock location and water depths are ideal for the dock to be rebuilt in the same area.

How long have you owned the property? 10 Years

How long have you occupied the property? 10 Years

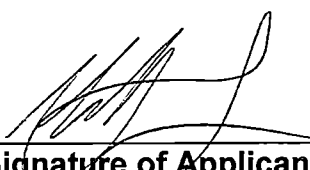
What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

Relocating the dock may position it in an area with inadequate water depth for proper boat mooring and usage of a boat hoist system. The majority of homeowners on Lake Killarney have docks which are used in this same manner.

Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

The existing dock location had been determined by the various shoreline vegetation and depth contours of Lake Killarney. Relocating the dock would negatively impact the natural shoreline and lake bottom. With that, relocating the dock will place it in an area where inadequate water depth would be available for proper boat mooring.

Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?

 5-22-19 Matt Langbehn
Signature of Applicant **Date** **Name of Applicant (PRINT)**



5968 Lakehurst Dr., Orlando, FL 32819 | 407.583.6251 | www.SummertimeDocks.com

To whom it may concern:

I/We, William E. Moss, as the owner(s) of the real property described as follows 2158 Lake Dr. Winter Park, FL 32789, do hereby authorize to act as my/our agent Matt Langbehn of Summertime Deck and Dock to execute any petitions or other documents necessary to affect the application approval requested and more specifically described as follows, secure necessary permits, and to appear on my/our behalf before any administrative or legislative body in the county considering this application and to act in all respects as our agent in matters pertaining to the application.

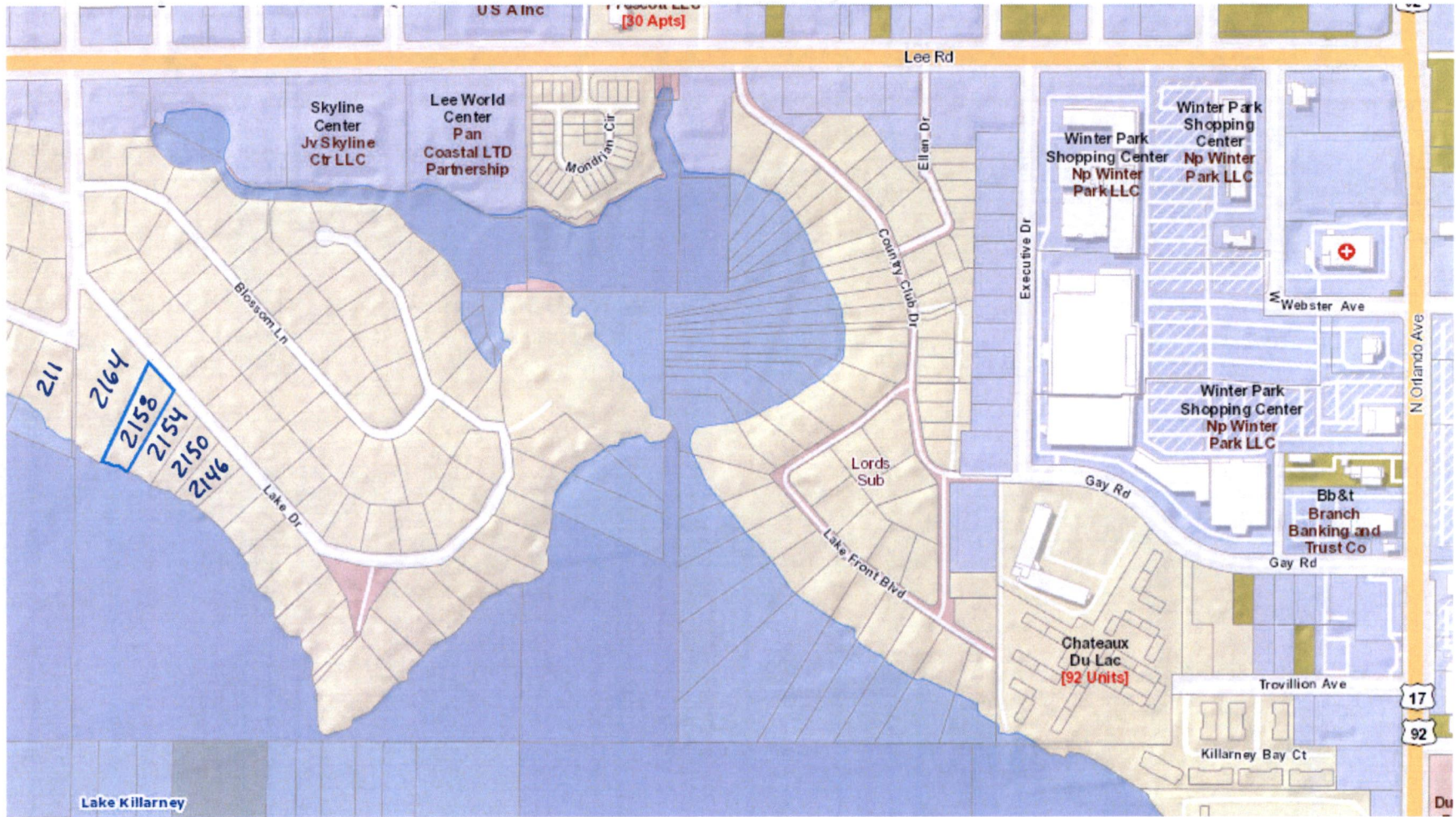
DATE: 5/23/19

Signature of Property Owner

W. Ed Moss Jr.

Printed Name

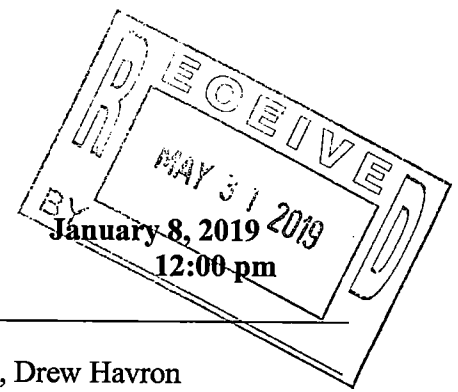
2158 Lake Drive



CITY OF WINTER PARK
LAKES AND WATERWAYS ADVISORY BOARD

Regular Meeting
500 N. Virginia Ave
Beary Community Room

MINUTES



Present: Amy Byrd, Steve DiClemente, Jack Goggin, Doug Marks, Tom Smith, Drew Havron

Absent: David Moorhead, John Minton,

City of Winter Park Staff: Troy Attaway, Public Works Dir., Don Marcotte, Asst. Public Works Dir/Stormwater Engineer; Amy Giannotti, Lakes and the Lakes Division staff; Sgt Jeff Hershone, Police Dept.; Vanessa Balta-Cook, Sustainability, Wayland Paxman, Building Dept., Debbie Wilkerson, Recording Secretary

City of Maitland Staff: John Bryant

Guests:

CALL TO ORDER. Chm. Steve DiClemente called the Lakes and Waterways Advisory Board to order at 12:02 pm.

administration

Approval of Minutes

Mr. Marks moved to approve the November 13, 2018, meeting minutes as presented, seconded by Mr. Smith motion carried unanimously with a 6-0 vote.

Ms. Giannotti introduced the Lakes Division staff. Providing a brief introduction of each one. After the introductions, she encouraged lakes staff to stay and observe the workings of the Lakes and Waterways Advisory Board. Chm. DiClemente thanked them for their protection of the environment and their service to the community.

action items

Shoreline Application:

SAP 19-02

~~Request of William Moss for approval to construct a boathouse/dock 2158 Lake Dr. on Lake Killarney.~~

Mr. Paxman provided details of this request stating that structure does not meet code. Staff is recommending denial. Matt Langston, Summertime Deck and Dock, spoke in favor of the application and provided additional details. After discussion, Mr. Marks moved to approve application, pending letter of no objection and bringing vegetation into compliance, seconded by Mr. Smith, motion carried unanimously by a vote of 6-0.

SAP 19-01

Request of Dean and Carrie Curtis for approval to construct a boathouse/dock at 975 Greentree Dr. on Lake Osceola. Mr. Paxman provided details of this request stating that structure does not meet code. Staff is recommending denial. After discussion, Mr. Goggin moved to a

approve application, pending bringing vegetation into compliance, seconded by Mr. Havron, motion carried unanimously by a vote of 6-0.

reports

Sustainability

Ms. Balta-Cook provided update of Watershed Cleanups. She announced that the City's Household Hazardous Waste Collection event is March 30, 2019, 8 – 12 noon. She also invited the Lakes to Earth Day on Saturday, April 13, 11-3 pm, Shady Park.

Stormwater Management - Don Marcotte

Mr. Marcotte provided details on current stormwater projects that included details of the St. Andrews Ditch Piping, Winter Park Library, Morse Blvd, Improvements. A stormwater facilities and lakes tour will be schedule at a future date. He responded to questions.

Lake Management – Amy Giannotti

- Exotic aquatic plant treatment is ongoing
- HUGE die-off of lily pads on Lake Osceola off of Alberta has resulted in giant tussock at the surface.
- Several school presentations for local teach-Ins and assistance with middle/high schools science fair projects
- Partnered with Maitland and Casselberry for an AP Environmental Science field trip
- Cleaned North Park Ave. exfiltration system and removed 5.4 cu yds. of debris.
- Lakes Division assisted with WP Christmas Boat Parade on Lakes Virginia and Osceola.
- Lake Knowles Exotic Apple Snail Round up
 - November 17 – 410 lbs. and 57 volunteers
 - December 8 – 275 lbs. and 44 volunteers
 - January 26, planned
- Dates for 2019 Cleanups
 - Lakes Berry/Spier January 19 – 395 lbs. and 57 volunteers
 - Lakes Mizell/Sylvan/Osceola – April 6
 - Lakes Bell/Wildness – September 7
 - Lakes Sue/Chelton – November 9
- Megan Johansson has joined Lakes Division staff full time.
- Reports of aggressive otter on Lake Maitland and Lake Lily, trapper has been called.
- She also provided information on other Community Announcement and Events.

Lakes Patrol – WP Police- September

Sgt. Hershone reported that the Lakes Patrol was on site for the Winter Park Christmas Parade.

City of Maitland – John Bryant

Mr. Bryant reported that Maitland will be performing their first alum treatment on Park Lake and Lake Gem.

new business

Citizen Comments

None

New Ideas

Meeting adjourned at 12:48 p.m. Next meeting February 12, 2019.

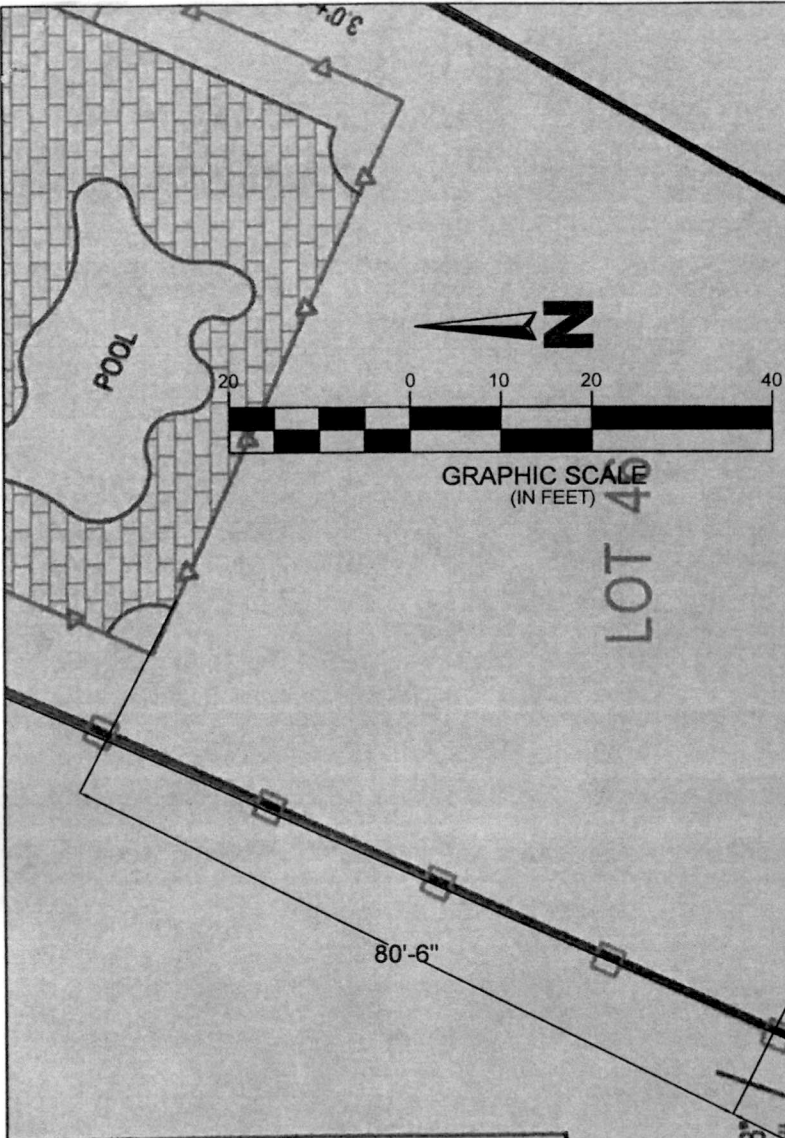
Respectfully submitted,

Debbie Wilkerson

Debbie Wilkerson, Recording Secretary

Approved 2/12/19

93, according to the plat thereof,
of the Southwest 1/4 of Section 1,
hence South 41°57' East 115 feet;
South 24°28' West from beginning;
ther with a perpetual easement
77, Page 254, of the Public Records



P.O.L.
REC 518"
RB NO #

(Lake Per Description)

EDGE OF WATER

N 73°31'26" W 80.17'(M)
81.00'(D)

WOOD DECK

Existing Deck to be re-decked

COVERED WATER

Existing dock approximately 6"-12" off of abutting property line

Proposed dock to be built in same location as existing --

CERTIFIED
WILLIAM
MIDTOW
SEACOAST
CHICAGO

NHWE
83.0 NGVD

Existing Deck to be re-decked

PAVERS / BRICK

CONCRETE

LEGEND

REC. - RECOVERED

I.P. - IRON PIPE

I.C. - ILLIGIBLE CAP #

C.M. - CONCRETE MONUMENT

RB - REBAR

RAD. - RADIAL

N.R. - NOT RADIAL

N&D - NAIL & DISC

PRC - POINT OF REVERSE CURVE

R.P. - RADIUS POINT

R - RADIUS

L - LENGTH OF ARC

S.E. - SIDEWALK EASEMENT

U.E. - UTILITY EASEMENT

D.E. - DRAINAGE EASEMENT

LEG. - LARGEST EASEMENT

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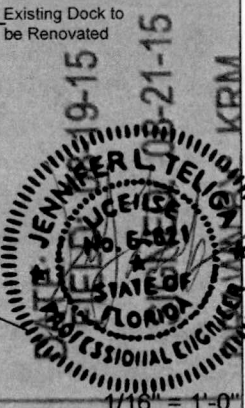
S.E. - SIDEWALK EASEMENT

U.E. - UTILITY EASEMENT

D.E. - DRAINAGE EASEMENT

LEG. - LARGEST EASEMENT

JOB NO.: 15-1740



1/16" = 1'-0"

101. GENERAL NOTES
- 101.1 DETAILS SHOWN ON PLANS MAY BE FOR TYPICAL CONDITIONS. FOR CONDITIONS NOT SHOWN, PROVIDE DETAILS OF A SIMILAR NATURE, OR IF NOT CERTAIN HOW TO PROCEED, CONTACT JENNIFER TELIGA AT (321) 662-7503.
- 101.2 DIMENSIONS SHOWN ON THESE PLANS SHALL BE VERIFIED BY THE CONTRACTOR OR BUILDER PRIOR TO CONSTRUCTION. THESE PLANS MAY NOT BE DRAWN TO SCALE. SCALING OF DRAWINGS IS STRONGLY DISCOURAGED.
- 101.3 THE CONTRACTOR SHALL COORDINATE ALL NEW WORK WITH EXISTING CONDITIONS AND SHALL REPORT ANY DISCREPANCIES TO JENNIFER TELIGA IMMEDIATELY AND BEFORE PROCEEDING WITH WORK.
- 101.4 OBTAIN APPROVAL OF JENNIFER TELIGA FOR ALL STRUCTURAL MODIFICATIONS OR SUBSTITUTIONS.
- 101.5 CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION PRACTICES, INCLUDING TECHNIQUES, PROCEDURES, SHORING, AND THE SEQUENCE OF CONSTRUCTION. CONTRACTOR SHOULD NOTIFY JENNIFER TELIGA IF A CONFLICT ARISES DUE TO VARIATIONS OR OTHER PROBLEMS WITH THE CONSTRUCTION DOCUMENTS.
102. APPLICABLE CODES AND STANDARDS
- CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THESE STRUCTURAL SPECIFICATIONS AND THE REQUIREMENTS CONTAINED IN THE FOLLOWING CODES AND STANDARDS. WHEN A DIFFERENCE EXISTS BETWEEN THESE SPECIFICATIONS AND ANY OTHER GOVERNING CODE, THE MORE STRINGENT SHALL CONTROL. ANY OTHER ITEMS NOT COVERED THEREIN SHALL BE COMMENSURATE WITH SOUND ENGINEERING AND STANDARD CONSTRUCTION PRACTICE.
- 102.1 2017 FLORIDA BUILDING CODE - RESIDENTIAL
- 102.2 AISC MANUAL OF STEEL CONSTRUCTION - 13TH EDITION
- 102.3 ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE - ACI 318-08
- 102.4 AMERICAN WOOD COUNCIL - NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION - 2009 EDITION
- 102.5 ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
103. DESIGN LOADS
- THIS STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING LOADS. DESIGN LOADS INDICATED ARE IN POUNDS PER SQUARE INCH UNLESS NOTED OTHERWISE. IF ANY PERMANENT MATERIALS EXCEED THESE LOADS, JENNIFER TELIGA SHALL BE CONTACTED TO REVISE THE STRUCTURAL DESIGN AND CONSTRUCTION DOCUMENTS.
- 103.1 DEAD LOADS: WEIGHT OF STRUCTURE AND ALL THINGS PERMANENTLY ATTACHED.
DECK - 10 PSF ROOF - 10 PSF - BOTTOM CHORD
- 103.2 LIVE LOADS:
DECK - 40 PSF
WIND SPEED - 140 MPH
EXPOSURE - D
INTERNAL PRESSURE COEFFICIENT - 0.0 (COMPLETELY OPEN)
BUILDING TYPE: I - RISK FACTOR 1.0
GUARDRAILS AND HANDRAILS - 200 PSF
GUARDRAILS IN-FILL COMPONENTS - 50 PSF
STAIRS - 40 PSF
104. STRUCTURAL LUMBER FRAMING (DIMENSIONAL LUMBER)
- 104.1 UNLESS NOTED OTHERWISE, ALL STRUCTURAL LUMBER SHALL BE SOUTHERN YELLOW PINE (SYP) #2 OR BETTER
- 104.2 STRUCTURAL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED OR MANUALLY SEALED AT TIME OF CONSTRUCTION.
- 104.3 ALL FASTENERS TO BE HOT DIPPED GALVANIZED (#3) OR STAINLESS STEEL
- 104.4 ALL DECKING SHALL BE SOUTHERN YELLOW PINE (#2) OR BETTER OR WOOD/PLASTIC COMPOSITE INFORMING WITH ASTM D7032.
- 104.5 HANDRAILS
HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE ON EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS
- 104.6 ILLUMINATION
ALL STAIRS SHALL BE PROVIDED WITH ILLUMINATION IN ACCORDANCE WITH SECTION R303.7

Prepared for:

Summit Deck and Dock, LLC
8584 Lakeside Dr.
Orlando, FL 32819
(407) 585-6251
www.summitdecks.com

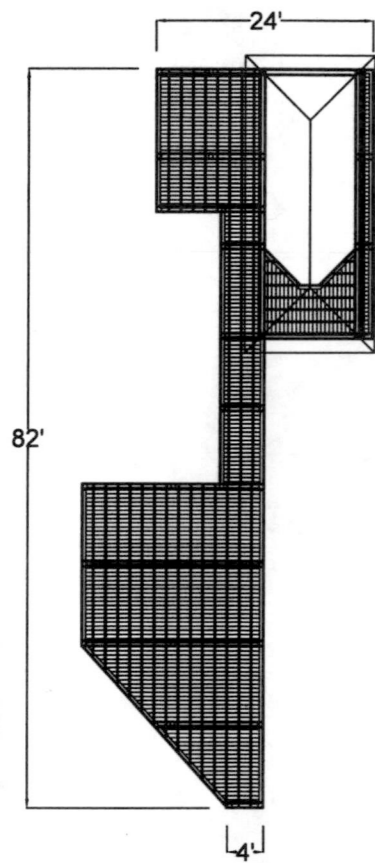
Jennifer Teliga, P.E.
16162 St Clair St.
Clermont, FL 34711
P.E. #64621
(321) 662-7503

Moss Dock
2158 Lake Dr.
Winter Park, FL 32789

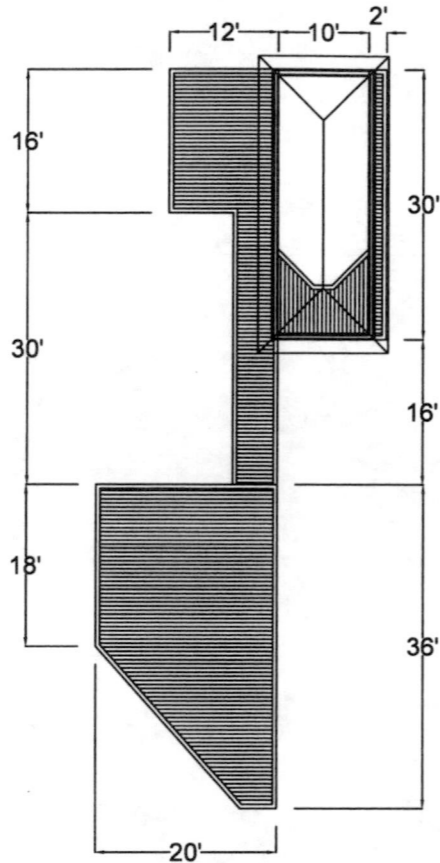
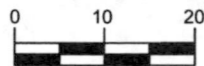
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Project:
SDD-2018-72

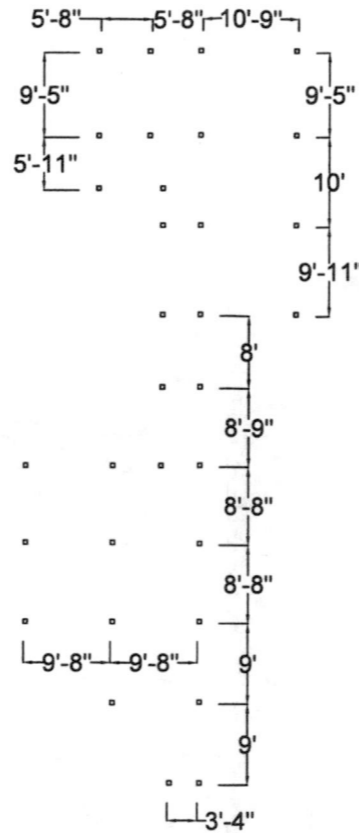
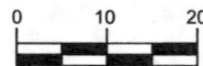
SO



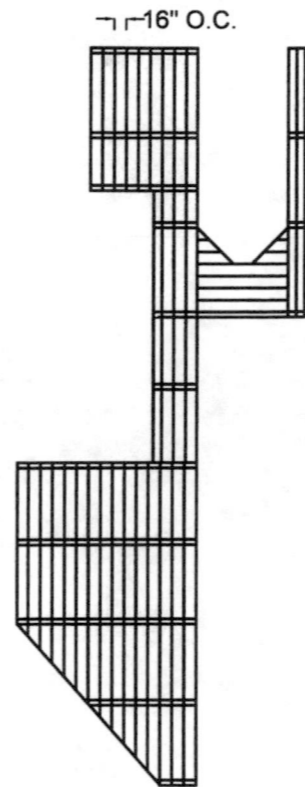
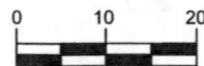
Plan View (Top View)



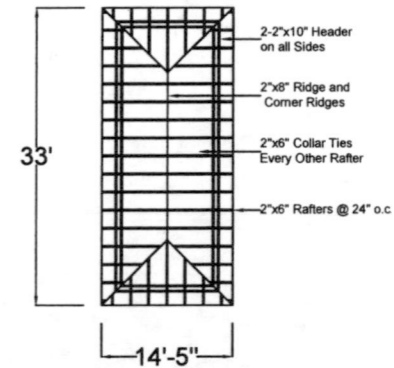
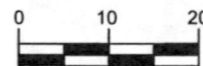
Decking Layout



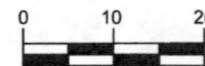
Piling Layout



Framing Layout



Roof Layout



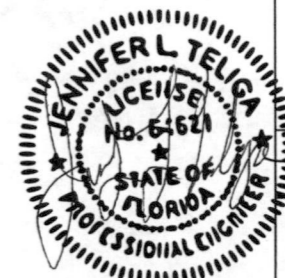
Prepared for:

 Summertime Deck and Dock, LLC
 5968 Lakelure Drive
 Clermont, FL 32719
 www.summertime docks.com

Jennifer Teliga, P.E.
 16162 St Clair St.
 Clermont, FL - 34711
 P.E. #64621
 (321) 862-7603

Moss Dock
 2158 Lake Dr.
 Winter Park, FL 32789

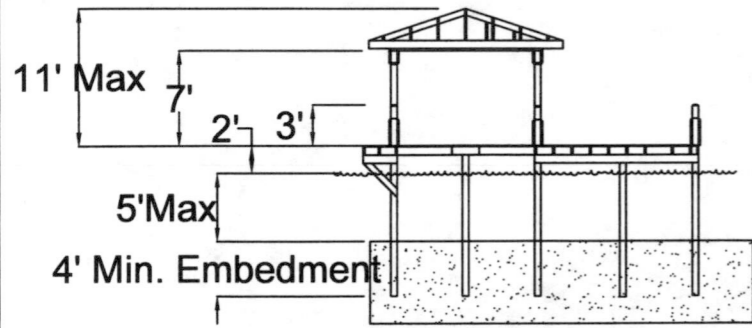
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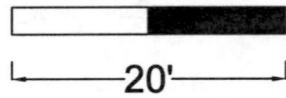
Project:
 SDD-2018-72

S1

1/16" = 1'-0"

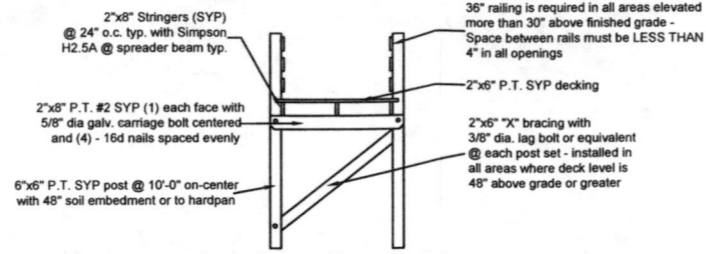


Lakeside Elevation



Notes:

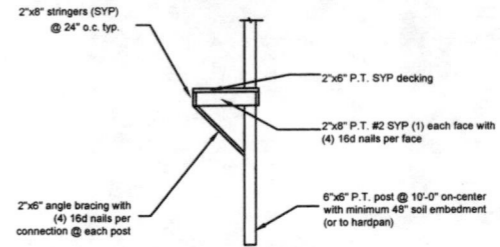
- 1.) All framing to be fastened with 16d HDG ring shank nails.
- 2.) All decking to be fastened with 16d HDG ring shank nails - 2 per board per stringer.
- 3.) All lumber to be Southern Yellow Pine (SYP).



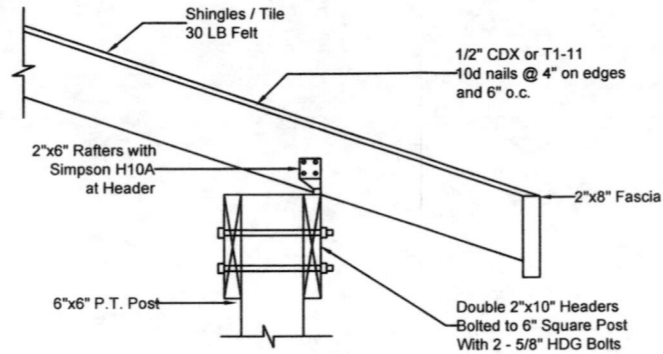
Typical Cross Section

Notes:

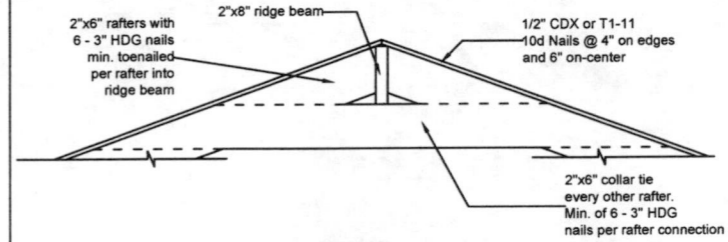
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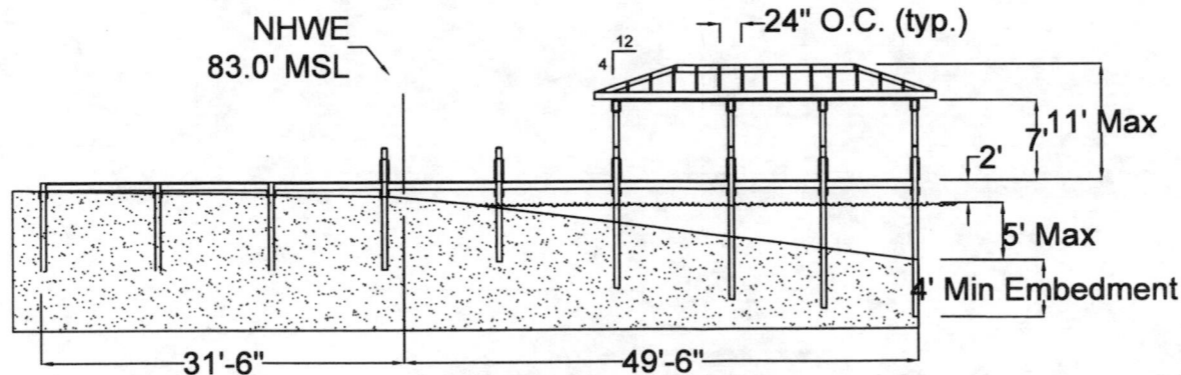
Typical Cross Section



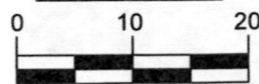
Eave Detail



Ridge/Rafter Detail



Side Elevation



Prepared for:
SUMMIT DOCK AND DOCK
 SUMMIT DOCK AND DOCK, LLC
 16162 St. Clair St.
 Clermont, FL 34711
 P.E. #04621
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 www.summitdock.com

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Moss Dock
 2158 Lake Dr.
 Winter Park, FL 32789

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Project:
SDD-2018-72



S2



I, Jason Friedman, residing at 2164 Lake Dr., on
(Affected Adjacent Property Owner Name) (Address)

Lake Lake Killarney, have reviewed my adjacent property owner's proposed
(Name of Lake)
boat dock construction plan and have no objection to the project.

[Signature]
(Signature)

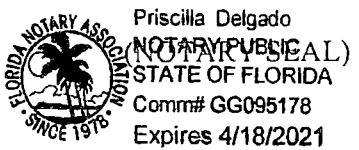
1/29/19
(Date)

Jason Friedman
(Print Name)

ACKNOWLEDGEMENT:

STATE OF FLORIDA
COUNTY OF Orange

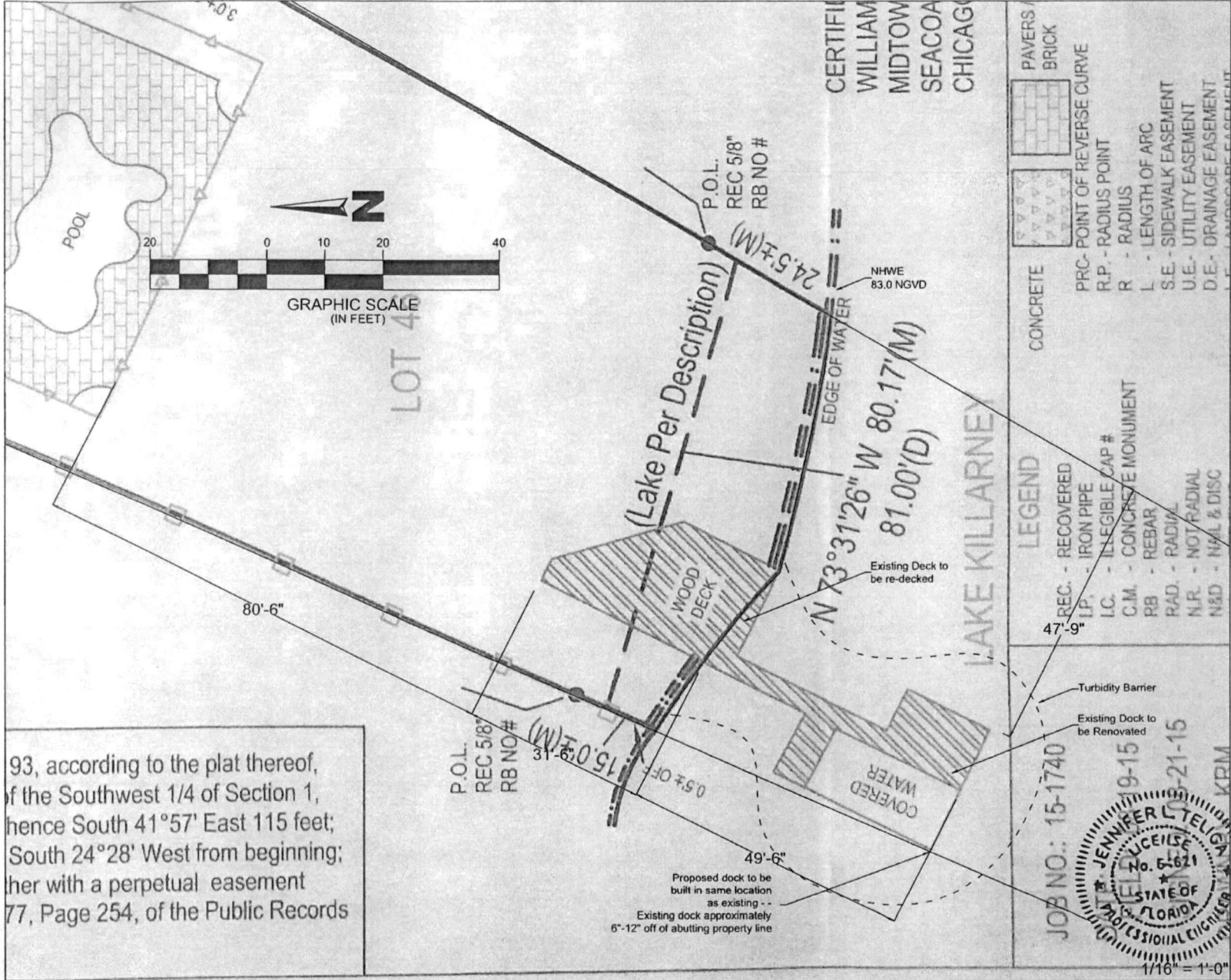
The foregoing instrument was acknowledged before me this 29th day of January, 19, by
Jason Friedman



Priscilla Delgado
(Signature of Notary Public - State of Florida)

Personally Known OR Produced Identification

Type of Identification Produced _____



93, according to the plat thereof, of the Southwest 1/4 of Section 1, hence South 41°57' East 115 feet; South 24°28' West from beginning; her with a perpetual easement 77, Page 254, of the Public Records

- 101. GENERAL NOTES**
- 101.1 DETAILS SHOWN ON PLANS MAY BE FOR TYPICAL CONDITIONS. FOR CONDITIONS NOT SHOWN, PROVIDE DETAILS OF A SIMILAR NATURE, OR IF NOT CERTAIN HOW TO PROCEED, CONTACT JENNIFER TELIGA AT (321) 962-7503.
- 101.2 DIMENSIONS SHOWN ON THESE PLANS SHALL BE VERIFIED BY THE CONTRACTOR OR BUILDER PRIOR TO CONSTRUCTION. THESE PLANS MAY NOT BE DRAWN TO SCALE. SCALING OF DRAWINGS IS STRONGLY DISCOURAGED.
- 101.3 THE CONTRACTOR SHALL COORDINATE ALL NEW WORK WITH EXISTING CONDITIONS AND SHALL REPORT ANY DISCREPANCIES TO JENNIFER TELIGA IMMEDIATELY AND BEFORE PROCEEDING WITH WORK.
- 101.4 OBTAIN APPROVAL OF JENNIFER TELIGA FOR ALL STRUCTURAL MODIFICATIONS OR SUBSTITUTIONS.
- 101.5 CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION PRACTICES, INCLUDING TECHNIQUES, PROCEDURES, SHORING, AND THE SEQUENCE OF CONSTRUCTION. CONTRACTOR SHOULD NOTIFY JENNIFER TELIGA IF A CONFLICT ARISES DUE TO VARIATIONS OR OTHER PROBLEMS WITH THE CONSTRUCTION DOCUMENTS.
- 102. APPLICABLE CODES AND STANDARDS**
- CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THESE STRUCTURAL SPECIFICATIONS AND THE REQUIREMENTS CONTAINED IN THE FOLLOWING CODES AND STANDARDS, WHEN A DIFFERENCE EXISTS BETWEEN THESE SPECIFICATIONS AND ANY OTHER GOVERNING CODE, THE MORE STRINGENT SHALL CONTROL. ANY OTHER ITEMS NOT COVERED THEREIN SHALL BE COMMENSURATE WITH SOUND ENGINEERING AND STANDARD CONSTRUCTION PRACTICE.
- 102.1 2017 FLORIDA BUILDING CODE - RESIDENTIAL
- 102.2 AISC MANUAL OF STEEL CONSTRUCTION - 13TH EDITION
- 102.3 ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE - ACI 318-08
- 102.4 AMERICAN WOOD COUNCIL - NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION - 2009 EDITION
- 102.5 ASCE 7-10 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
- 103. DESIGN LOADS**
- THIS STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING LOADS. DESIGN LOADS INDICATED ARE IN POUNDS PER SQUARE FOOT UNLESS NOTED OTHERWISE. IF ANY PERMANENT MATERIALS EXCEED THESE LOADS, JENNIFER TELIGA SHALL BE CONTACTED TO REVISE THE STRUCTURAL DESIGN AND CONSTRUCTION DOCUMENTS.
- 103.1 DEAD LOADS: WEIGHT OF STRUCTURE AND ALL THINGS PERMANENTLY ATTACHED
- DECK - 10 PSF
- ROOF - 10 PSF
- BOTTOM CHORD - 10 PSF
- 103.2 LIVE LOADS:
- DECK - 40 PSF
- WIND SPEED - 140 MPH
- EXPOSURE - D
- INTERNAL PRESSURE COEFFICIENT - 0.0 (COMPLETELY OPEN)
- BUILDING TYPE 1 - RISK FACTOR 1.0
- GUARDRAILS AND HANDRAILS - 200 PSF
- GUARDRAILS IN FILL COMPONENTS - 50 PSF
- STAIRS - 40 PSF
- 104. STRUCTURAL LUMBER FRAMING (DIMENSIONAL LUMBER)**
- 104.1 UNLESS NOTED OTHERWISE, ALL STRUCTURAL LUMBER SHALL BE SOUTHERN YELLOW PINE (SYP) #2 OR BETTER.
- 104.2 STRUCTURAL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED OR MANUALLY SEALED AT TIME OF CONSTRUCTION.
- 104.3 ALL FASTENERS TO BE HOT DIPPED GALVANIZED POUND OR STAINLESS STEEL.
- 104.4 ALL DECKING SHALL BE SOUTHERN YELLOW PINE #1 #2 OR BETTER OR WOOD/PLASTIC COMPOSITE (CONFORMING WITH ASTM D7032)
- 104.5 HANDRAILS AND RAILINGS SHALL BE PROVIDED ON AT LEAST ONE SIDE ON EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.
- 104.6 ILLUMINATION
- ALL STAIRS SHALL BE PROVIDED WITH ILLUMINATION IN ACCORDANCE WITH SECTION R303.7

Prepared for:

 Moss Dock Construction, LLC
 2158 Lake Dr.
 Winter Park, FL 32789
 (321) 962-7503

Prepared by:
 Jennifer Teliga, P.E.
 15185 St. Clair St.
 Clearwater, FL 34617
 P.E. #45423
 (321) 962-7503

Moss Dock
 2158 Lake Dr.
 Winter Park, FL 32789

0209 - 2018 Jennifer Teliga, P.E. The use of these drawings and documents shall be restricted to the original project for which they were prepared. Any reuse, reproduction, or publication by any method in whole or in part without the express written consent of Jennifer Teliga, P.E. is prohibited. Title of these drawings and documents remains with Jennifer Teliga, P.E. Jennifer Teliga, P.E. retains all intellectual, state, and common law copyright protections. (17 U.S.C. 101 et seq.)

Project:
SDD-2018-72

SO



SHORELINE ALTERATION PERMIT
Permit No. SAP 19-02

Applicant: William Moss
Subject Property: 2159 Lake Dr.

On January 8, 2019, the Lakes & Waterways Board approved Shoreline Permit Application SAP: 19-02 for a boathouse/dock at 2159 Lake Dr. pending issuance of a vegetation permit. The permit is also subject to the following conditions:

1. A separate building permit is required for this structure. The permittee is responsible for obtaining this permit from the City Building Division.
2. Turbidity barriers must be in place before any work commences and must be left in place until all work is completed and the turbidity within the work area returns to background levels; and
3. Vegetation currently does not meet standards. All existing vegetation must remain throughout all phases of the project. If any vegetation is to be disturbed, a Shoreline Alteration Permit for vegetation removal must be obtained from the Lakes Division (407-599-3578) prior to the work commencing.

This permit satisfies the requirements of the City of Winter Park Shoreline Protection Ordinance only. Additional permits may be required by the Florida Department of Environmental Protection. It is the responsibility of the permittee and their contractor to ensure that all necessary permits are obtained.

The City assumes no responsibility for fines or other actions resulting from the permittee's failure to obtain all required permits or approvals.

Amy L. Biannetti

Lakes Manager

c: Dept. of Environmental Protection
Summertime Deck and Dock

Following Species Are Recommended Shoreline Re-vegetation:

Maidencane: This native grass grows to a height of approximately three feet. It will grow in a wide range of hydrologic conditions, from three feet or more above the ordinary water elevation to five feet below the ordinary water elevation (plants in deep water will grow longer stems than those on shore). Maidencane grows in very dense stands, but does not form floating mats like the exotic torpedo grass. This dense growth will help to minimize maintenance by preventing other plants from becoming established.

Pickerel weed (*Pontederia cordata*): This plant grows from the normal high water line out to a depth of about three feet. The leaves are dark green stalks that widen into blades two to four inches wide. Pickerel weed produces purple flower stalks throughout much of the year.

Blue flag iris (*Iris virginica*): This plant has a grass like appearance. The leaves are light green blades that grow to a height of two to three feet. Iris will grow from just below the ordinary high water line to an elevation of two feet above that line. Showy blue flowers are produced in the spring.

Golden Canna (*Canna flaccida*): Canna is a low growing (two to three feet) plant, similar in shape to pickerelweed. Leaf stalks originate from the base of the plant and widen near the upper end (three to four inches wide). The plant will grow from the ordinary high water line to about two feet above that line, Canna produces showy yellow or orange flower in the spring and summer produces showy yellow or orange flowers in the spring and summer.

Duck Potato (*Sagittaria spp.*): this plant grows from the normal high water line out to a depth of about two feet. The leaves are light green stalks that widen into blades two to four inches wide. Duck Potato produces white flowers throughout much of the spring and summer.

Giant Bulrush (*Scirpus californicus*): This plant grows to a height of 8 feet, and forms dense clusters of tall, erect stems. Leaf blades are absent. The flowers form golden brown spikelets at the tops of the stems. Blooms spring and summer. Bulrush adds height and variety accents to aquascape plans and will grow in 0-5 feet of water



Board of Adjustments

To: Board of Adjustment Members
From: George Wiggins, Director of Bldg/Legislative Affairs
Date: June 18, 2019
Subj: Luzardo Variance Request, 622 Blairshire Circle

The applicant is requesting variances to allow the construction of a building addition with a side setback of 8.4 feet and a rear setback of 13.7 feet whereas the required setback is 10 feet and 25 feet respectively.

In order to create a master suite on the rear of this home, the applicant is seeking permission to remove an existing porch and build back a larger addition that encroaches 8 feet into the rear setback while keeping the side wall nearly in line with the existing side wall of the home along the garage.

The proposed addition is under the allowable floor area and impervious coverage permitted for this property.

This property in the Brookshire Heights subdivision is similar to most of the lots in this area which have relatively short lot depths, and were developed during a time when the rear setback requirement was 10 feet. As you may be aware a major re-write of the single family zoning rules was adopted in 2010 creating the larger 25 foot rear setback requirement to the first floor and 35 feet to the second floor. Since then, there have been a few refinements of those provisions including a change three years ago to allow lots that are 110 feet deep to have a 15 foot rear setback.

Most of the homes in the Brookshire Heights area have 30 foot or greater front setbacks, whereas other new subdivisions are permitted to have a 25 foot front setback. Over time the result of this slightly larger front setback plus the smaller former 10 foot rear setback has produced a pattern of homes set back further on these lots than homes in other single family zoned properties throughout the city.

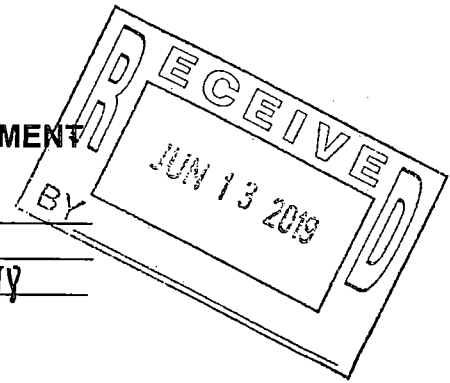
In addition, the ongoing trend to tear down older homes and redevelop at the maximum allowed floor area ratio is producing all two story homes in order to meet the 25' first floor and 35' second floor rear setback.

From time to time, I hear from residents and designers who desire to find one story homes due to aging population, particularly long time Winter Park residents who wish to move from a much larger home to a downsized one story home allowing one floor level for accessibility reasons. In addition the one story home is often preferred for couples or small families just entering the home sales market.

In summary, perhaps a greater incentive should be considered that gives a better option for more one story re-builds instead of having setbacks that seem to only work financially to build two story homes in these redeveloping neighborhoods.

I realize this is a point that should be made to the Planning and Zoning Board, however, this Board may want to express thoughts on this after seeing a number of rear setback variance requests over the last few years.

**CITY OF WINTER PARK
VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT**



Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received _____
Assigned #2
Date of Hearing 6/18

Applicant: Nestor Luzardo

Owner: Nestor Luzardo

622 Blairshire Circle

622 Blairshire Circle

(Address)

(Address)

Winter Park, FL 32792

Winter Park, FL 32792

(City, State) (Zip)

(City, State) (Zip)

(Phone – Home)

(Phone – Home)

4079733356

407973356

(Phone – Work or Cell)

(Phone – Work or Cell)

nestor.luzardo@libertymutual.com

same

(Email Address)

(Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section _____, Paragraph _____, Zoning _____.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of

property 622 Blairshire Circle Winter Park, FL 32792

Legal description of

property Brookshire Heights 4th Addition Unit No 3 Z/53 Lot 20 BLK A

Describe variance

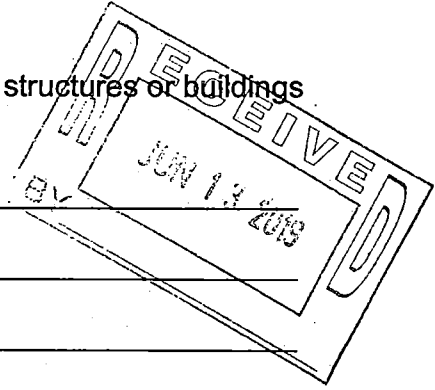
request Would like to build a master bedroom behind home, reduce setback to 13.7ft instead of 25ft. And reduce side setback to 8.4 instead of 10

This section may be left blank for completion by city staff

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.

Variance Application
Page 2 of 2

What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?



How long have you owned the property? 2.5 yrs

How long have you occupied the property? 2.5yrs

What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

Setbacks used to be 10ft in this area, I am seeking to keep original look of home and add additional living space for growing family

Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

Setbacks used to be 10ft in this area, I am seeking to keep original look of home and add additional living space for growing family

Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?

|

Signature of Applicant

6/12/19
Date

Nestor Luzardo
Name of Applicant (PRINT)

Variance app 12/00 - Instructions, and setback sheet - attached.

Variance Application

Page 2 of 2

What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

Home is built further back in lot, limiting areas that can be used for addition

How long have you owned the property? 2.5yrs

How long have you occupied the property? 2.5yrs

What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

New homes being built are much bigger than my home, by being able to add a bedroom I will have a 4/3 without changing the look or character of the home

Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

The setback in this neighborhood used to be 10ft

I will be at ~~17~~ft by being able over that amount and will allow me to have a master bedroom that is common in most homes today ^{13.7'}

Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?

If absolutely necessary, but it may not allow me to accomplish addition


Signature of Applicant

5/28/19
Date

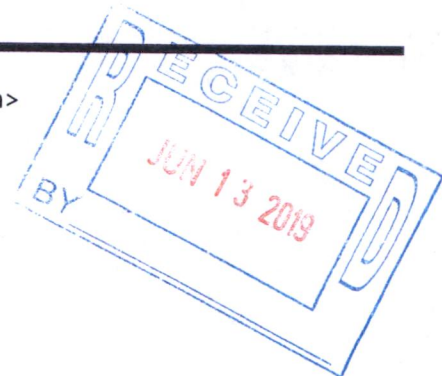
Nestor Luzardo
Name of Applicant (PRINT)

622 Blairshire Circle



Theresa Dunkle

From: Luzardo, Nestor <Nestor.Luzardo@LibertyMutual.com>
Sent: Wednesday, June 12, 2019 9:05 PM
To: Theresa Dunkle
Cc: George Wiggins
Subject: BOA-variance-application.pdf
Attachments: BOA-variance-application.pdf



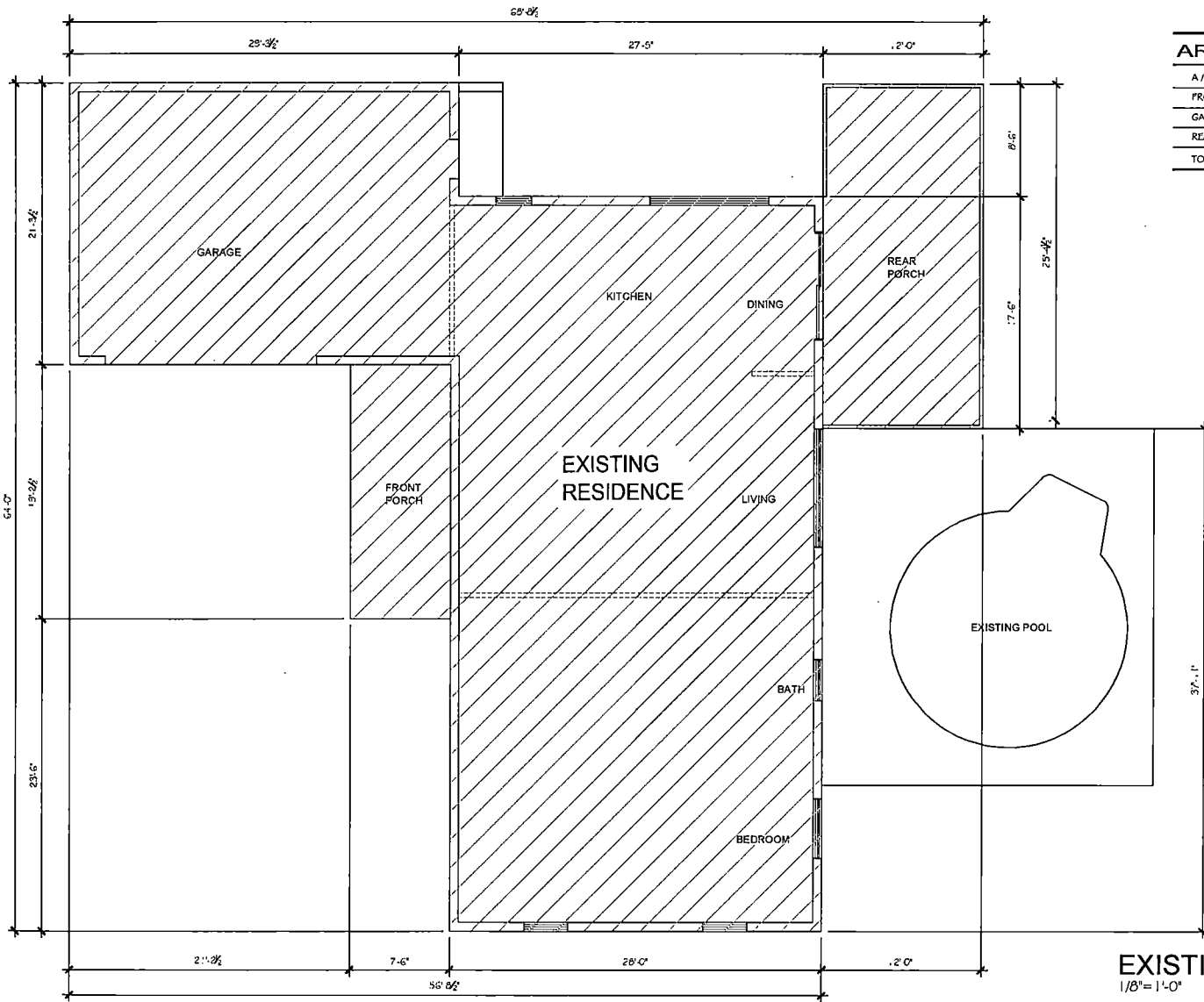
Hey Theresa,

I hope this gets it done. I have attached a completed application. I did my best on the impervious calculation;

Existing 4323 SF

Including addition 4635 (addition will actually be 100SF less than this but it's not yet reflected in plans)

Lot size 9914 *60%: 5950SF



AREA CALCULATIONS

A / C AREA :	1,726 SQ. FT.
FRONT PORCH :	144 SQ. FT.
GARAGE :	440 SQ. FT.
REAR PORCH :	312 SQ. FT.
TOTAL AREA:	2,624 SQ. FT.

REVISIONS:

RESIDENCE ADDITION
 622 BLAIRSHIRE CIR
 WINTER PARK, FL 32792

ITEG
 THOMPSON ENGINEERING GROUP, INC.
 Michael A. Thompson
 PE # 47509
 4401 Vineland Road, Suite A6
 Orlando, FL 32811
 407-734-1450
 www.tegf.com

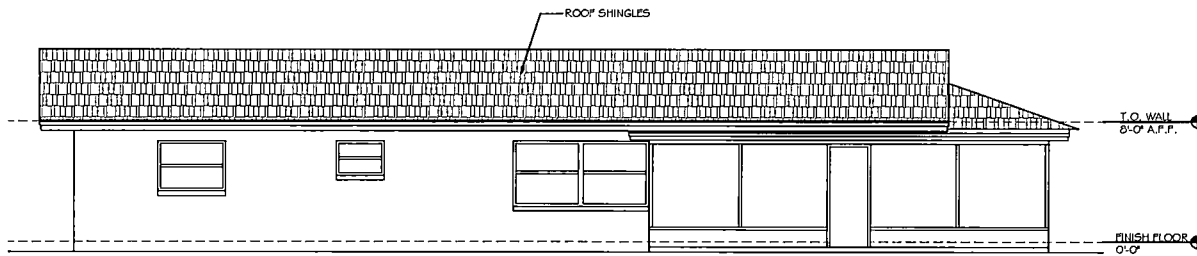
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SCALE: AS NOTED

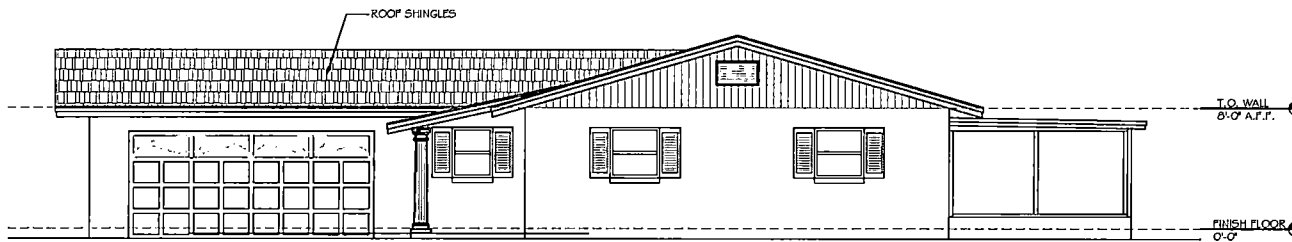
DRAWN BY: J.P.

SHEET
A1

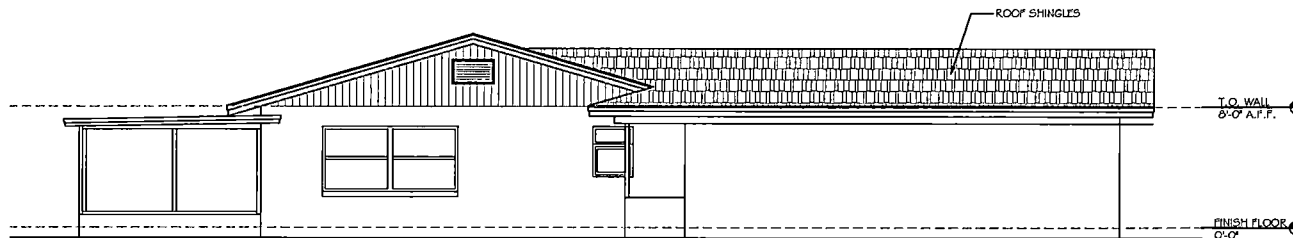
EXISTING FLOOR PLAN
 1/8" = 1'-0"



EXISTING REAR ELEVATION
1/8" = 1'-0"



EXISTING RIGHT ELEVATION
1/8" = 1'-0"



EXISTING LEFT ELEVATION
1/8" = 1'-0"

REVISIONS:

RESIDENCE ADDITION
622 BLAIRSHIRE CIR
WINTER PARK, FL 32792

ITEG
THOMPSON ENGINEERING GROUP, INC.
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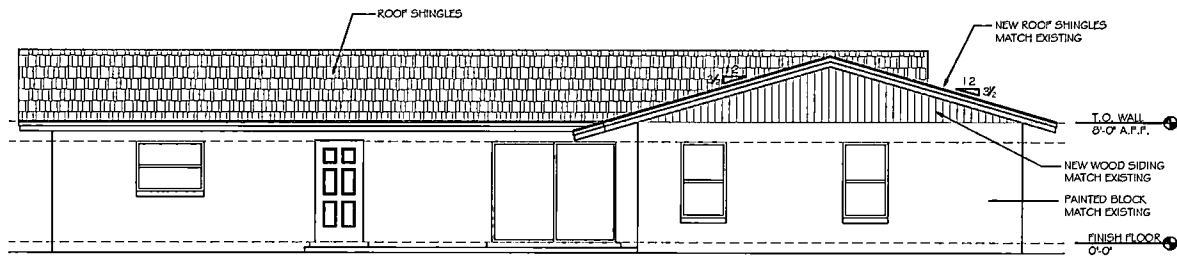
DATE: 05/28/19

SCALE: AS NOTED

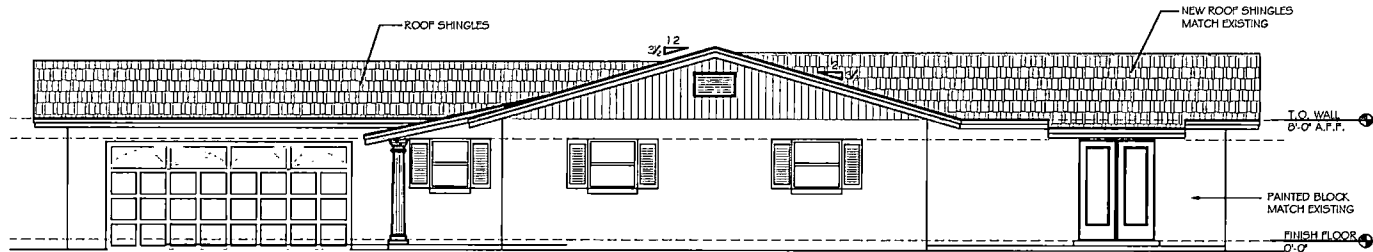
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SHEET

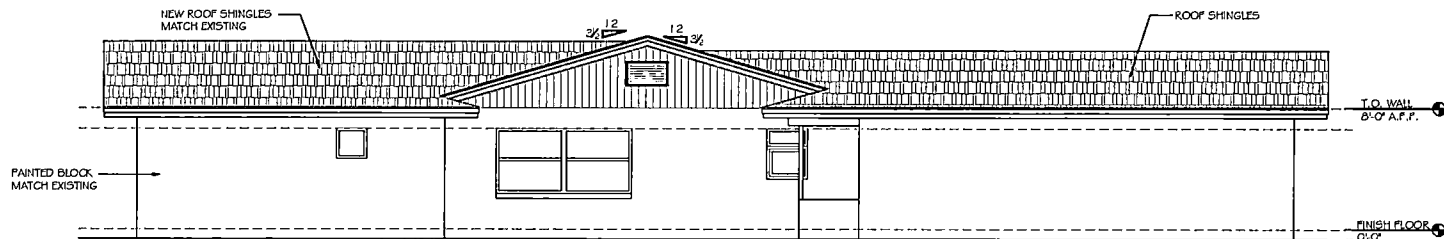
A2



NEW REAR ELEVATION
1/8" = 1'-0"



NEW RIGHT ELEVATION
1/8" = 1'-0"



NEW LEFT ELEVATION
1/8" = 1'-0"

REVISIONS:

RESIDENCE ADDITION
622 BLAIRSHIRE CIR
WINTER PARK, FL 32792

ITEG
THOMPSON ENGINEERING GROUP, INC.
Michael A. Thompson
PE # 47509
4401 Vineland Road, Suite A8
Orlando, FL 32811
407-734-1450
www.iteg.com

DATE: 05/28/19

SCALE: AS NOTED

DRAWN BY: J.P.

SHEET

A4



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address: 622 Blairshire Circle Winter Park, FL 32792

Lot width²: 80

Submitted by: Nestor Luzardo

Lot area³: 9914SF

	Maximum % Allowed ⁴	Existing Area ¹¹	Additional Proposed Area ¹¹	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.	2 story - 50%				
	1 story - 60%	?	?		5948
FLOOR AREA RATIO (F.A.R.)^{5,6,7} For one and two story bldgs (include 1st & 2nd floors, garages/carports, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁸ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁹ .	Lots < 11,600 sf: Use <u>38%</u> Base FAR or w/ increased side setbacks: <u>43%</u> Max FAR	2312	504	2816	3767
	Lots 11,600 sf to 13,600 sf Use <u>4,500 sf</u> Base area & <u>5,200 sf</u> Maximum area				
	Lots > 13,600 sf Use <u>33%</u> Base FAR or w/ increased side setbacks: <u>38%</u> Max FAR				
SCREEN POOL ENCLOSURE	8% ¹⁰				

	Minimum % Required	Existing Area ¹¹	Landscape Area Reduced ¹¹	New Total Area	Minimum Required Area
FRONT YARD LANDSCAPE COVERAGE Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious). Front Lot Area:	50%				

NOTES:

1. Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director. For a proposed home, determine the front setback as described on page 2.
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
6. Area forming a room behind 2nd floor walls shall be included in the gross floor area.
7. See page 3 on how to achieve maximum F.A.R.
8. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
9. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area.
10. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
11. These columns only apply to existing homes.

SETBACKS (complete boxes A and B first)

	Minimum Allowable Dimensions			Existing ¹³		Proposed
FRONT	Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.					
SIDES^{1,2} (see other side setback options on pg 4)	1st Floor	See pages 3&4	A	8.14	8.14	8.14
	2nd Floor		B		Left	Right
REAR^{1,3,4}	1st Floor	25 ft.		25	17	13.7'
	2nd Floor	35 ft ⁵			17	
	Lakefront	see note 6			17	
CORNER LOT	1st Floor	Lot width ≤ 65 ft.	15 ft.			17
		Lot width > 65 ft ⁷	20 ft.			17
	2nd Floor	Lot width ≤ 65 ft.	15 ft.			17
		Lot width > 65 ft ⁷	22.5 ft.			17
BUILDING HEIGHT^{8,9,10,11,12}	30 ft. - 35 ft. plus 2 ft. or 40 ft. (see notes 11 & 12)			12		17

Notes:

1. Any building wall that exceeds 12 ft. in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
2. Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft. and interior side setback is 5 ft. minimum (no gable end allowed) for garages up to 600 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
3. Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. For lots that are 75ft deep or less a first floor setback of 10ft and a second floor setback of 25ft is allowed. For lots which are 105ft deep or less a first floor setback of 15ft and a second floor setback of 30ft is allowed.
4. Accessory buildings: garage/carport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. . Other accessory buildings used for habitation shall meet setbacks of the main residence.
5. The rear setback may be reduced to 25 ft. for two-story components when those consist of a second story loft or mezzanine that is within the normal scale and 18-ft max height of a typical one-story structure.
6. Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft. or 50 ft., whichever is greater, measured from ordinary high water line.
7. Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft. with 1st and 2nd floor setbacks of 25 ft. may reduce the rear setback by 5 ft. on each floor.
8. Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
9. No building or portion thereof shall exceed 30 ft. in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft. additional building height.
10. Accessory building that exceeds 18 ft. in height shall meet the same setbacks as the principal building on the property.
11. Properties or lots with at least 80 ft. of width at the building line are permitted to have a building height of 35 ft. if the side setbacks are increased to 20 ft. at 30 ft. above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft. of additional building height.
12. Properties or lots exceeding 50,000 sq.ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft. if side setbacks are increased to 35 ft. to the portion of the roof over 30 ft. in height.
13. This column only applies to existing homes.



Board of Adjustments

To: Board of Adjustment Members
From: George Wiggins, Director of Bldg/Legislative Affairs
Date: June 18, 2019
Subj: Munoz Variance Request, 1572 Sunset Drive

The applicant is requesting variances to allow the demolition of over 50% of the existing dwelling and build a new pitched roof structure over the existing side walls at the existing side setbacks which vary from 5.6 feet to 8.1 feet on the west side and 4.5 feet to 6.6 feet on the east side whereas the required side setback is 7.5 feet.

Currently, a one story home with a flat roof and parapet exists on this property. The new owner wishes to remodel the interior of the home, change the architectural appearance by converting the roof to a hip shaped roof, add a front entry feature and covered porch at the rear of the home. The proposed new porch will be built within the allowed side setbacks.

Due to the amount of demolition work taking place on the home (over 50%), the remodeling cannot take place unless a variance is obtained to allow the existing non-conforming side setbacks to remain.

This property has an unusual configuration with a front on Sunset Drive and a rear driveway access on Chestnut Avenue with a 25 feet of lot frontage on that street.

The proposed remodeling and porch addition to this home will be within the allowable floor area ratio and impervious coverage for this property.

We have received signed notices of approval of this variance from 13 nearby property owners and one tenant at 1440 Chestnut Avenue. The adjacent property owner on the east side has submitted a letter in opposition to this variance.

VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT

Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received 5/22/2019
Assigned #3
Date of Hearing 6/18/2019

Applicant: Luz Marina Monoz Owner: Luz Marina Monoz

1221 Green Valley Ct
(Address)

Apopka, FL 32703
(City, State) (Zip)

407-256-4211
(Phone - Home)

407-256-4211
(Phone - Work or Cell)

Luzma321@gmail.com
(Email Address)

1221 Green Valley Ct
(Address)

Apopka, FL 32703
(City, State) (Zip)

407-256-4211
(Phone - Home)

(Phone - Work or Cell)

(Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section _____, Subsection _____, Zoning _____.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

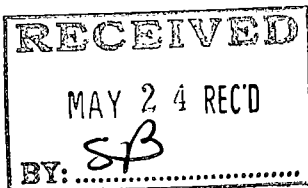
Street address of property 1572 Sunset Drive, Winter Park.

Legal description of property _____

Describe variance request Adding Trusses and a ~~wood~~ shingle roof. No changes to side setbacks. Adding 130 sq. feet to rear of house. Hopefully a garage.

This section may be left blank for completion by city staff

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.



Variance Application
Page 2 of 2

What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

House has a flat roof. A/C & ducts are on top of the home. House has been leaking for a long time, A/C system will not be energy efficient. and is a sore thumb.

How long have you owned the property? 9 months

How long have you occupied the property? None

What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

- A new roof will not interfere with the privileges of the neighbors, instead it will improve the appearance of the neighborhood.

Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

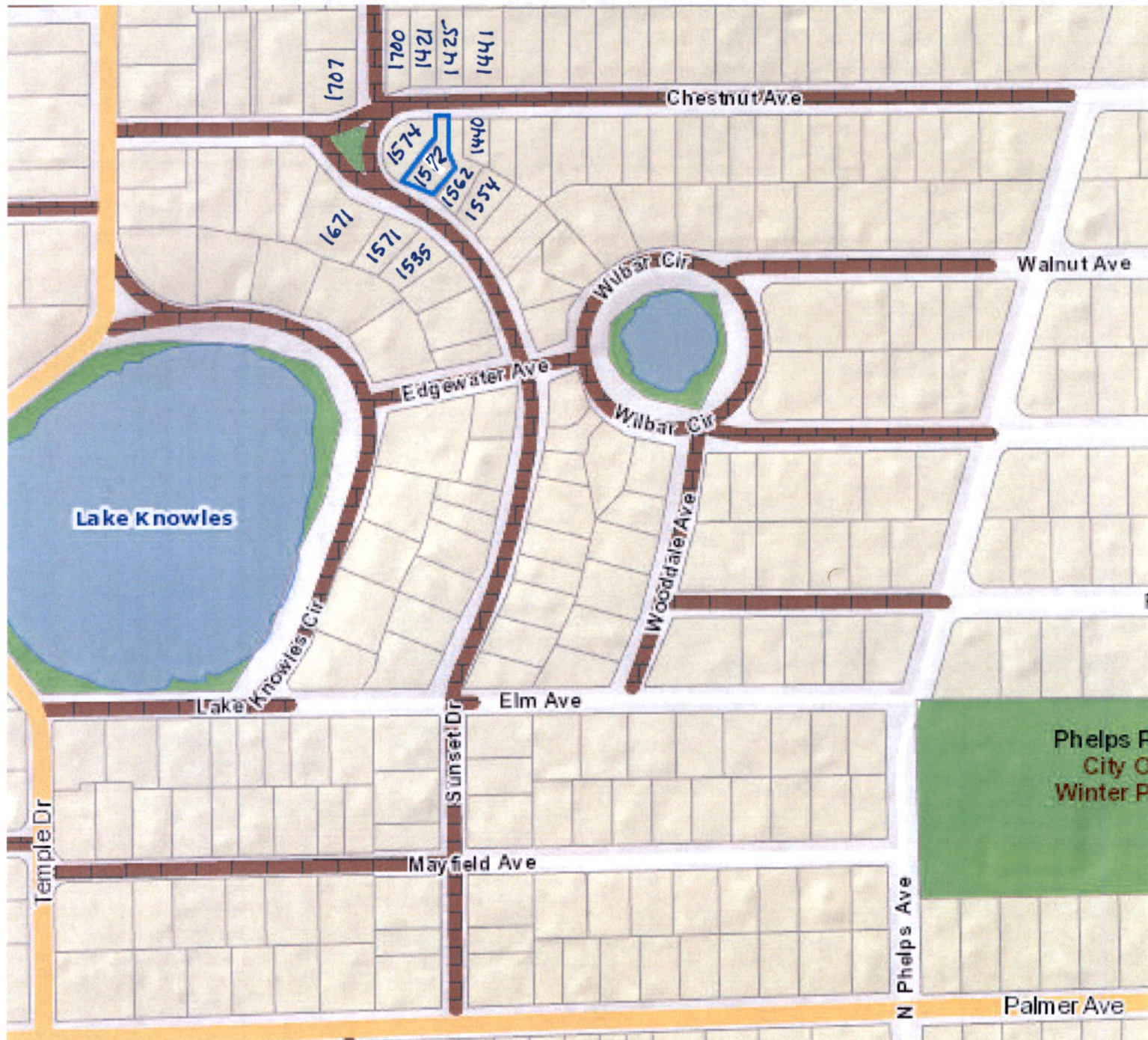
Not being able to add a pitched roof, will force us to keep the A/C Airhandler and ducts on top of the house, exposed to the elements. This is not energy efficient and has been causing leaks for years. Additional alterations are needed because the laundry room is inside the master bedroom and the issue needs to be corrected.

Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?

Yes.

[Signature] 5/24/17 _____
Signature of Applicant Date Name of Applicant (PRINT)

1572 Sunset Drive



BOUNDARY SURVEY

LEGAL DESCRIPTION:

BEGIN AT THE NORTHEAST CORNER OF LOT 24, LAKE KNOWLES TERRACE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6, PAGE 4, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; RUN SOUTH ALONG LOT LINE 42.20 FEET TO A POINT OF 30.80 FEET NORTH OF THE SOUTHWEST CORNER OF LOT 24; THENCE SOUTHWESTERLY 64.00 FEET TO A POINT ON THE SOUTHWEST LINE OF LOT 25, BLOCK 2, LAKE KNOWLES TERRACE, AND 85.40 FEET NORTHWESTERLY FROM THE ORIGINAL SOUTHWEST CORNER OF SAID LOT 25; THENCE SOUTHWESTERLY ALONG LOT LINE AS 85 FEET TO A POINT 1.00 FEET NORTHWESTERLY FROM THE SOUTHWEST CORNER OF LOT 25; THENCE AT AN ANGLE TO THE LEFT 86 DEGREES 55 MINUTES RUN NORTHEASTERLY 68.95 FEET; THENCE NORTHERLY 31.20 FEET MORE OR LESS TO MID-POINT ON THE SOUTH LINE OF LOT 23, BLOCK 2, LAKE KNOWLES TERRACE; THENCE NORTH 73.20 FEET TO MID-POINT ON NORTH LINE OF LOT 23; THENCE 25.00 FEET TO THE POINT OF BEGINNING, BEING PART OF LOTS 23, 24, 25 AND 26, BLOCK 2, LAKE KNOWLES TERRACE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 4, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

FLOOD INFORMATION:

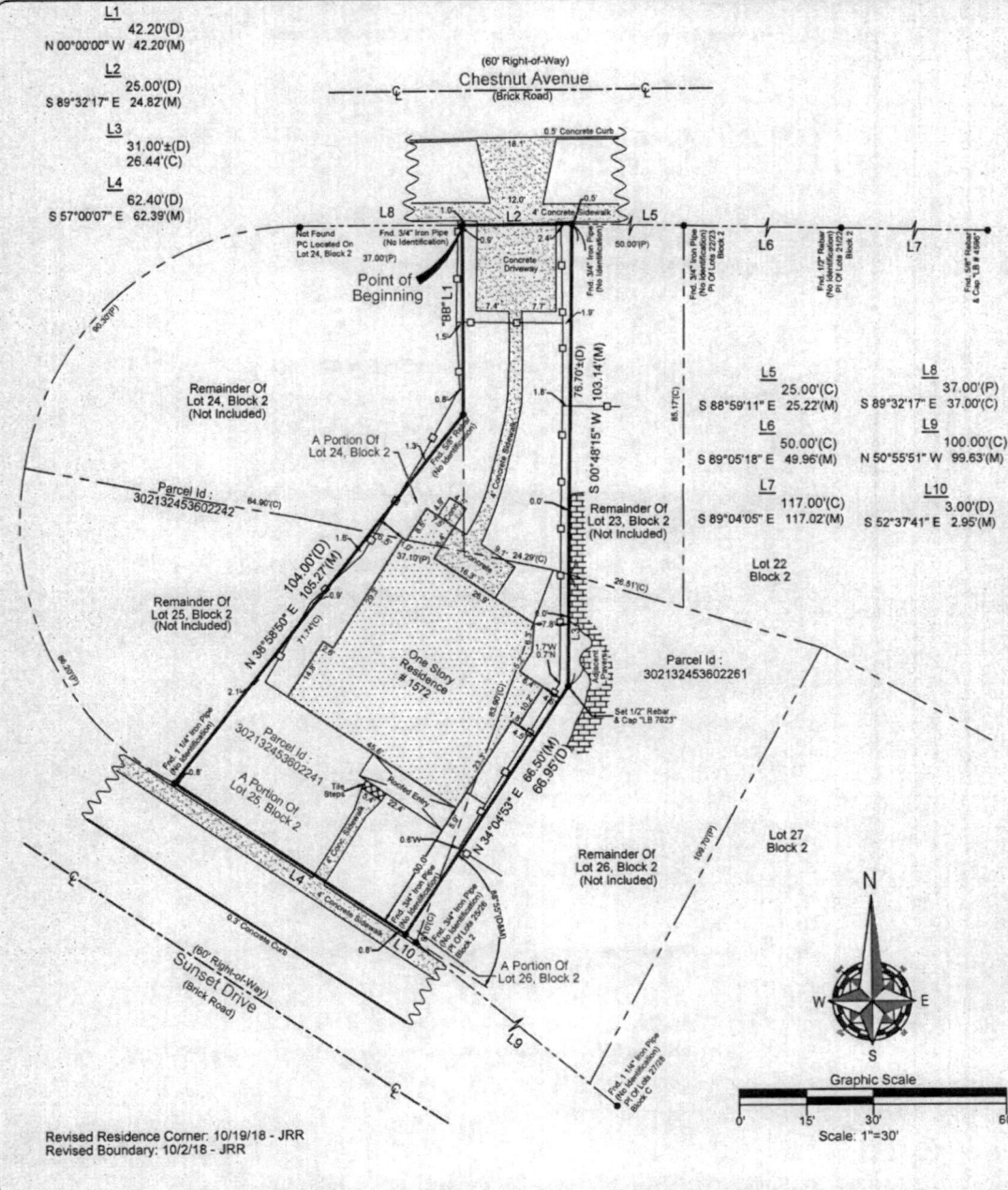
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN CITY OF WINTER PARK, COMMUNITY NUMBER 120188, DATED 09/25/2009.

CERTIFIED TO:

LUZ MARINA MUNOZ, A - Z TEAM TITLE, LLC; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY



1572 SUNSET DRIVE, WINTER PARK, FLORIDA 32789



Field Date: 9/28/2018 Date Completed: 09/13/18
 Drawn By: J.R. File Number: IS-51421

Legend	
C	- Calculated
CB	- Concrete Block
CM	- Concrete Monument
Conc.	- Concrete
D	- Description
DE	- Drainage Easement
Estmt.	- Easement
F.E.M.A.	- Federal Emergency Management Agency
F.F.E.	- Finished Floor Elevation
Fnd.	- Found
IP	- Iron Pipe
L	- Length (Arc)
M	- Measured
N&D	- Nail & Disk
N.R.	- Non-Recorded
ORB	- Official Records Book
P	- Plat
P.B.	- Plat Book
W	- Wood Fence
PC	- Point of Curvature
PI	- Point of Intersection
P.O.B.	- Point of Beginning
P.O.L.	- Point on Line
PP	- Power Pole
PRM	- Permanent Reference Monument
PT	- Point of Tangency
R	- Radius
R&C	- Rebar & Cap
Rec.	- Recovered
Rfcd.	- Roofed
Set	- Set 1/2" Rebar & Cap "LB 7623"
Typ.	- Typical
UE	- Utility Easement
WM	- Water Meter
Δ	- Delta (Central Angle)
-O-	- Chain Link Fence

NOTES:
 >Survey is Based upon the Legal Description Supplied by Client.
 >Adjoining Properties Deeds have NOT been Researched for Gaps, Overlaps and/or Mistak.
 >Subject to any Easements and/or Restrictions of Record.
 >Bearing basis shown hereon, is Assumed and Based upon the Line Denoted with a "BB"; building Ties are NOT to be used to reconstruct Property Lines.
 >evidence Ownership is NOT determined.
 >Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.
 >Septic Tanks and/or Drainfield Locations are approximate and MUST be verified by appropriate Utility Location Companies.
 >Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be construed to give ANY Rights or Benefits to Anyone Other than those Certified.

POINTS OF INTEREST:
 NONE VISIBLE.

I hereby Certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown, Based on Information furnished to Me as Noted and Conforms to the Standards of Practice for Land Surveying in the State of Florida in accordance with Chapter 63-17.002 Florida Administrative Codes, Pursuant to Section 472.027 Florida Statutes.

Patrick K. Ireland FOR THE FIRM

Patrick K. Ireland, P.S.M. 6637 LB 7623
 This Survey is intended ONLY for the use of Said Certified Parties. This Survey NOT VALID UNLESS Signed and Embossed with Surveyor's Seal.

Ireland & Associates Surveying, Inc.
 1301 S. International Parkway Suite 2001
 Lake Mary, Florida 32746
 www.Irelandsurveying.com
 Office-407.678.3366 Fax-407.320.8165



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

* Without a Garage

Address: 1572 Sunset Drive

Lot width²: 62.4

Submitted by: Luz Marina Muñoz - Owner

Lot area³: 6,816.8

	Maximum % Allowed ⁴	Existing Area ¹¹	Additional Proposed Area ¹¹	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.	2 story - 50%				
	1 story - 60%	2,766	130	2,896	4,090
FLOOR AREA RATIO (F.A.R.)^{5,6,7} For one and two story bldgs (include 1st & 2nd floors, garages/carpools, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁸ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain, open front, side & rear porches ⁹ .	Lots < 11,600 sf: Use 38% Base FAR or w/ increased side setbacks: 43% Max FAR	2,087	130	2,217	2,931
	Lots 11,600 sf to 13,600 sf				
	Use 4,500-sf Base area & 5,200-sf Maximum area				
	Lots > 13,600 sf Use 33% Base FAR or w/ increased side setbacks: 38% Max FAR				
SCREEN POOL ENCLOSURE	8% ¹⁰	0	0	0	
	Minimum % Required	Existing Area ¹¹	Landscape Area Reduced ¹¹	New Total Area	Minimum Required Area
FRONT YARD LANDSCAPE COVERAGE Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious). Front Lot Area:	50%				

NOTES:

1. Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director. For a proposed home, determine the front setback as described on page 2.
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
6. Area forming a room behind 2nd floor walls shall be included in the gross floor area.
7. See page 3 on how to achieve maximum F.A.R.
8. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
9. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porche cochera or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area.
10. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
11. These columns only apply to existing homes.



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

** If the 1 car garage gets approved.*

Address: 1572 Sunset Drive

Lot width²: 62.4

Submitted by: Luz Mariana Muñoz - Owner

Lot area³: 6,816.8

	Maximum % Allowed ⁴	Existing Area ¹¹	Additional Proposed Area ¹¹	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.	2 story - 50%				
	1 story - 60%	2,766	430	3,196	4,090
FLOOR AREA RATIO (F.A.R.)^{5,6,7} For one and two story bldgs (include 1st & 2nd floors, garages/carpools, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁸ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁹ .	Lots < 11,600 sf: Use <u>38%</u> Base FAR or w/ increased side setbacks: <u>43%</u> Max FAR	2,087	430	2,517	2,931
	Lots 11,600 sf to 13,600 sf Use <u>4,500 sf</u> Base area & <u>5,200 sf</u> Maximum area				
	Lots > 13,600 sf Use <u>33%</u> Base FAR or w/ increased side setbacks: <u>38%</u> Max FAR				
SCREEN POOL ENCLOSURE	8% ¹⁰	0	0	0	

	Minimum % Required	Existing Area ¹¹	Landscape Area Reduced ¹¹	New Total Area	Minimum Required Area
FRONT YARD LANDSCAPE COVERAGE Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious). Front Lot Area:	50%				

NOTES:

1. Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director. For a proposed home, determine the front setback as described on page 2.
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof domers, 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
6. Area forming a room behind 2nd floor walls shall be included in the gross floor area.
7. See page 3 on how to achieve maximum F.A.R.
8. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
9. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area.
10. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
11. These columns only apply to existing homes.

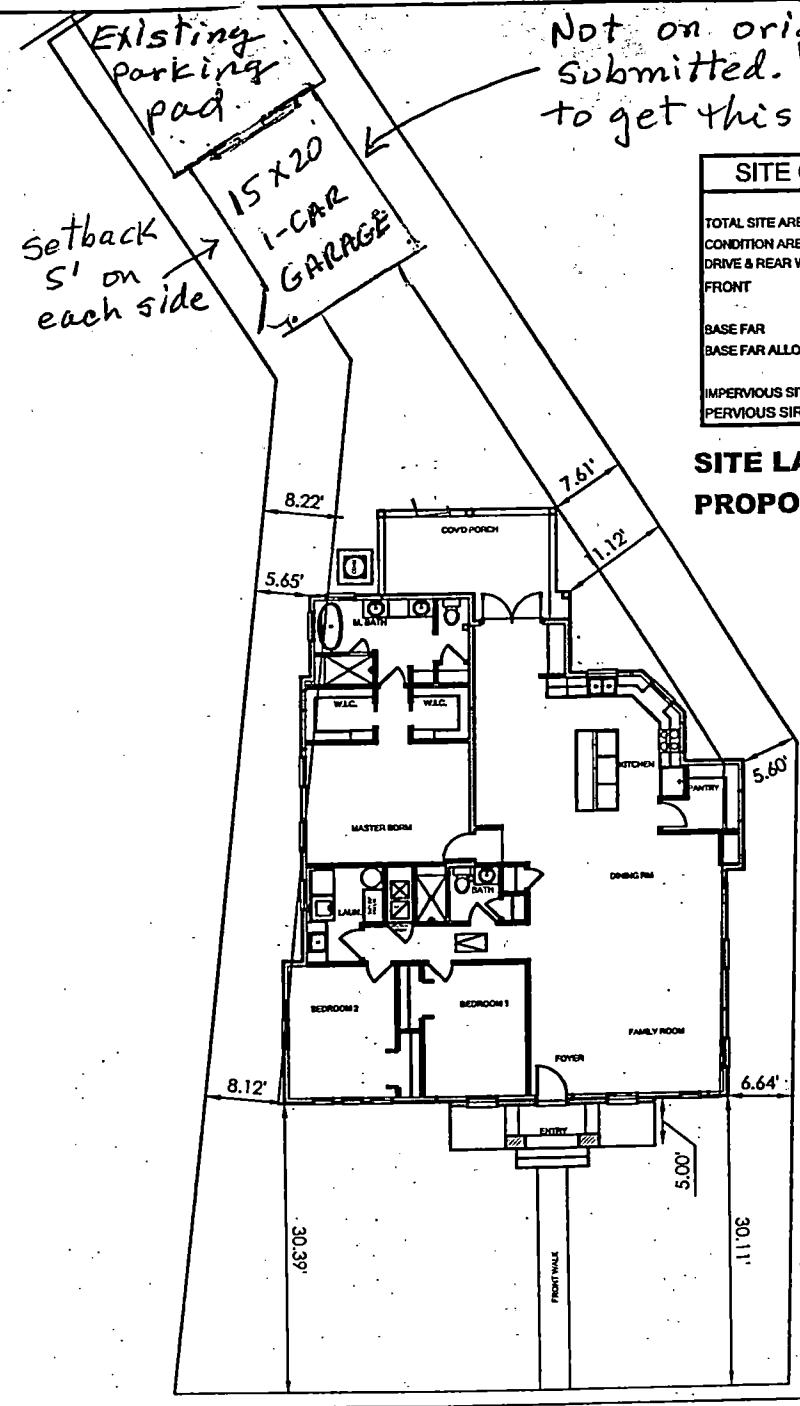
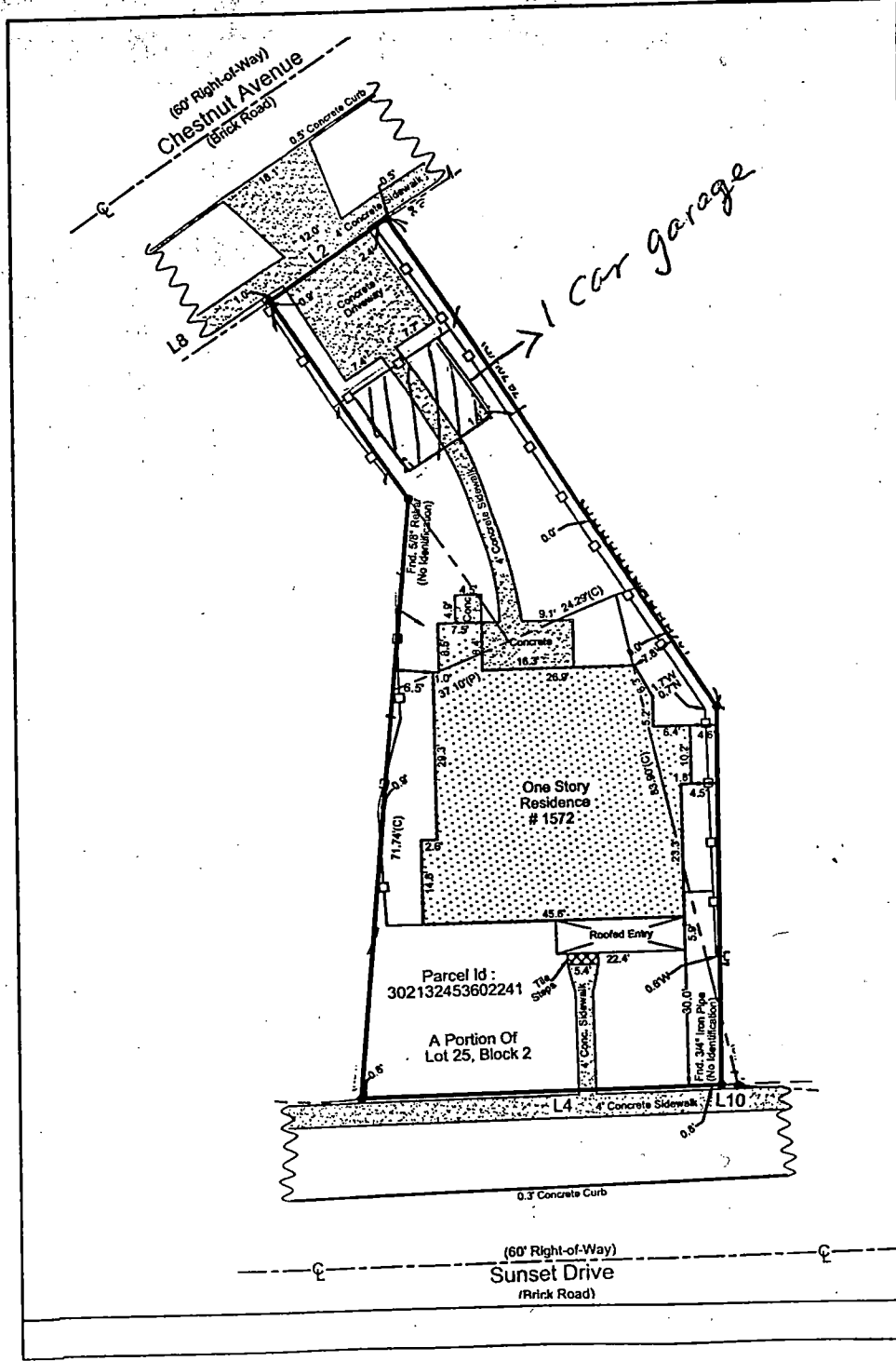
SETBACKS (complete boxes A and B first)

		Minimum Allowable Dimensions		Existing ¹³	Proposed
FRONT	Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.			30	30
SIDES ^{1,2} (see other side setback options on pg 4)	1st Floor	See pages 3&4	7.5	No changes to side setbacks.	
	2nd Floor	E	E		
REAR ^{1,3,4}	1st Floor	25 ft.		Over 25 ft	Over 25 ft.
	2nd Floor	35 ft ⁵		N/A	N/A
	Lakefront	see note 6		N/A	N/A
CORNER LOT	1st Floor	Lot width ≤ 65 ft.	15 ft.	N/A	
		Lot width > 65 ft ⁷	20 ft.		
	2nd Floor	Lot width ≤ 65 ft.	15 ft.		
		Lot width > 65 ft ⁷	22.5 ft.		
BUILDING HEIGHT ^{8,9,10,11,12}		30 ft. - 35 ft. plus 2 ft. or 40 ft. (see notes 11 & 12)			

Notes:

1. Any building wall that exceeds 12 ft. in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
2. Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft. and interior side setback is 5 ft. minimum (no gable end allowed) for garages up to 600 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
3. Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. For lots that are 75ft deep or less a first floor setback of 10ft and a second floor setback of 25ft is allowed. For lots which are 105ft deep or less a first floor setback of 15ft and a second floor setback of 30ft is allowed.
4. Accessory buildings: garage/carport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. Other accessory buildings used for habitation shall meet setbacks of the main residence.
5. The rear setback may be reduced to 25 ft. for two-story components when those consist of a second story loft or mezzanine that is within the normal scale and 18-ft max height of a typical one-story structure.
6. Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft. or 50 ft., whichever is greater, measured from ordinary high water line.
7. Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft. with 1st and 2nd floor setbacks of 25 ft. may reduce the rear setback by 5 ft. on each floor.
8. Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
9. No building or portion thereof shall exceed 30 ft. in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft. additional building height.
10. Accessory building that exceeds 18 ft. in height shall meet the same setbacks as the principal building on the property.
11. Properties or lots with at least 80 ft. of width at the building line are permitted to have a building height of 35 ft. if the side setbacks are increased to 20 ft. at 30 ft. above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft. of additional building height.
12. Properties or lots exceeding 50,000 sq.ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft. if side setbacks are increased to 35 ft. to the portion of the roof over 30 ft. in height.
13. This column only applies to existing homes.

LINE 1, 2, 3, 4, 5



Not on original plans submitted. Will like to get this approved.

SITE CALCULATION	
TOTAL SITE AREA	6817
CONDITION AREA + PORCH	2263
DRIVE & REAR WALKWAY	485
FRONT	69
BASE FAR	2817
BASE FAR ALLOWABLE	2931
IMPERVIOUS SITE AREA	3062
PERVIOUS SIRE AREA	3755

SITE LAYOUT INCLUDING PROPOSED ADDITION

SITE LAYOUT SCALE: 1/4" = 1'

Keesee Associates
ARCHITECTURE | DESIGN | PLANNING

FDS ENGINEERING ASSOCIATES
ARCHITECTURE | DESIGN | PLANNING

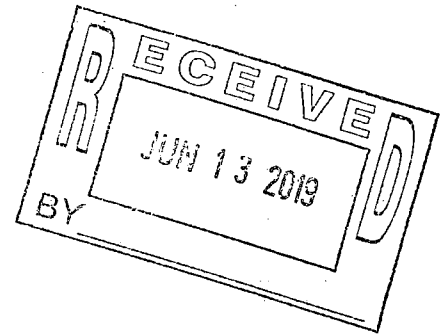
REVISION 1: 02/21/2018

Muñoz Residence Remodel
Single Family Residence
1572 Sunset Dr,
Winter Park, FL 32789

18-001
SP

June 13, 2019

The Board of Adjustment
401 South Park Avenue
Winter Park, FL 32789



Re: Variance Request – 1572 Sunset Drive

Dear Board of Adjustment Members:

My partner and I own 1562 Sunset Drive, which is directly adjacent to the subject property to the east. We oppose the requested variance because it will expand and make permanent the existing non-conformity on the lot, thereby creating additional negative impact on our home. We also oppose the variance because the applicant does not meet the criteria established for variance approval.

Expanded Impact on the Adjacent Property

I. Increased Roof Encroachment into Setback

The existing structure lies a mere 4'6" from our property line, according to the applicant's survey. A zoomed in view of the applicant's survey is attached as Exhibit A.¹ Because the current home has a flat roof, there is no roof overhang. The plans submitted show a new roof overhang of 1'4". We also assume that gutters will be added, which will add another 5 to 6 inches of width. The existing actual encroachment will therefore increase so that the structure, instead of being 4'6" away from our property line, will be located 2'9" from our property line after development.

The existing location of the structure within the setback is graphically depicted in Exhibit B.

The proposed location of the structure, located deeper within the setback, is graphically depicted in Exhibit C.

Note: The setback shown in the applicant's survey – 4'6" – is different from the setback shown in the application and staff analysis, which is 5'6". There is no explanation given for this discrepancy.

II. Increased Massing

The current structure was built the 1920s, presumably in the size and style it has today. The new roof structure that the applicant requests will dramatically increase the overall mass of the building, as shown by the plans submitted in support of her variance.

The current building measures 10'6" to the top of the parapet. There is currently no mass above the parapet height.

¹ We do not agree with the applicant's survey, and have a competing survey showing that our property line is even closer to the subject property. We are using her survey line for the sake of argument only.

The applicant proposes to expand the structure to a "heel height" of 12'6". The actual mass of the building will extend well above the heel height.

The end result of this design is an incompatible expansion of building mass and scale within the existing setback encroachment area.

Failure to Meet Criteria for Variance Approval

The applicant has not presented competent substantial evidence showing that she meets the four criteria for a variance in Winter Park, as explained below.

I. Special Conditions and Circumstances Do Not Exist.

The applicant has only cited the flat roof of the structure as a special condition, which necessitates the use of AC and ducts on the exterior of the house. The presence of a flat roof on the existing structure does not qualify as a special circumstance. Flat roofs are present throughout the R-1A zoning district and are a recognized architectural option for building a new home. The location of AC ducts on the present structure is also irrelevant. It is not a unique feature peculiar to this property. Rather, the fact that the applicant is proposing to change the current style of the roof and AC to a pitched roof with internal ducts is proof that these features do not prevent redevelopment. The applicant is simply expressing her preference of construction methods, which does nothing to respond to the actual nonconformity affecting the structure (i.e the side yard setbacks).

II. Literal Interpretation of the Code Would Not Deprive the Applicant of Rights Enjoyed by Other Properties in the Same Zoning District

The applicant has not shown how the Code requirements for a 7.5 side yard setback would deprive her of rights commonly enjoyed by other properties in the same zoning district. If anything, the applicant's property enjoys benefits over other lots in the area that make it easier, not harder, to redevelop the site per Code. In particular

- The property has over 62' of frontage on Sunset Drive; numerous other properties in the neighborhood are redeveloping to Code requirements on lots with 50' or 55' of frontage.
- The property has a rear loaded driveway on Chestnut Avenue, which frees up even more frontage space because the driveway and garage does not have to be forced into the front yard.

III. The Special Conditions and Circumstances Result from the Action of the Applicant

The applicant did not create the condition from which the variance is sought (i.e. the non-conforming side yard setback). However, the applicant's cited special condition is not the side yard setback, but rather the flat roof and external AC system. Her preference for a pitched roof system when the flat roof was evident prior to purchase is a self-originated expectation and a textbook self-created hardship.

IV. Granting the Variance Will Confer a Special Privilege Denied to Other Lands, Structures of Buildings in the Same Zoning District

The variance will allow substantial redevelopment of a site, including a dramatic increase in the height and mass of a structure that currently encroaches 3' into the required 7.5 foot side yard setback. The applicant will receive the special privilege of not only redeveloping over the 50% threshold, but doing so in a manner that expands the impact on the neighboring property with a more massive structure and larger overhanging roof structure.

Absence of a Legal Hardship

The City of Winter Park Code or Ordinances authorizes the Board to grant a variance where, "owing to special conditions, a literal enforcement of the provisions of this article would result in unnecessary hardship."

Florida law is clear about the high burden an applicant must meet to show "unnecessary hardship." This law is well summarized in *Herrera v City of Miami*, 600 So. 2d 561 (1992), as follows:

In land-use law, a variance seeker must demonstrate an exceptional and unique hardship to the individual landowner not shared by other property owners in the area. *Nance v. Town of Indialantic*, 419 So. 2d 1041 (Fla.1982). A variance which permits a use not authorized by existing zoning restrictions for a neighborhood is not justified unless no reasonable use can be made of the land without the variance. *Bernard v. Town Council of Palm Beach*, 569 So. 2d 853 (Fla. 4th DCA 1990). See also *Metropolitan Dade County v. Betancourt*, 559 So. 2d 1237, 1239 (Fla. 3d DCA 1990) ("Where land is zoned for residential use, deprivation of all beneficial use is proved only when it is established by competent evidence that the land cannot be used for any of the purposes permitted in such district"); *Town of Indialantic v. Nance*, 485 So. 2d 1318, 1320 (Fla. 5th DCA) ("the hardship must be such that it renders it virtually impossible to use the land for the purpose for which it is zoned"), *rev. denied*, 494 So. 2d 1152 (Fla.1986); *Thompson v. Planning Comm'n*, 464 So. 2d 1231 (Fla. 1st DCA 1985) (hardship may not be found unless there is a showing that under present zoning no reasonable use can be made of property).

The *Herrera* case is also explicit about the rights of neighboring property owners such as ourselves in this case:

As neighboring property owners, the appellants had a right to rely on existing zoning conditions and they had a right to a continuation of those conditions in the absence of a showing that a variance was necessary. *Friedland v. City of Hollywood*, 130 So. 2d 306 (Fla. 2d DCA 1961).

The applicant has failed to show the necessity for a variance. She has a rear-loaded lot with over 62' of frontage on Sunset Drive. She has made no showing that she cannot build a home on this

site absent a variance. Instead, as justification for a variance, she has stated she wants to use a certain type of air conditioning system, which in turn requires addition of a pitched roof and dramatic expansion of the extent and mass of an existing non-conformity. These are not legally sufficient grounds for a variance in Florida or Winter Park.

Thank you for your attention.

Sincerely,

D. Scott Baker and Brigid Kirkpatrick

Exhibit A - Zoom In of Applicant's Survey

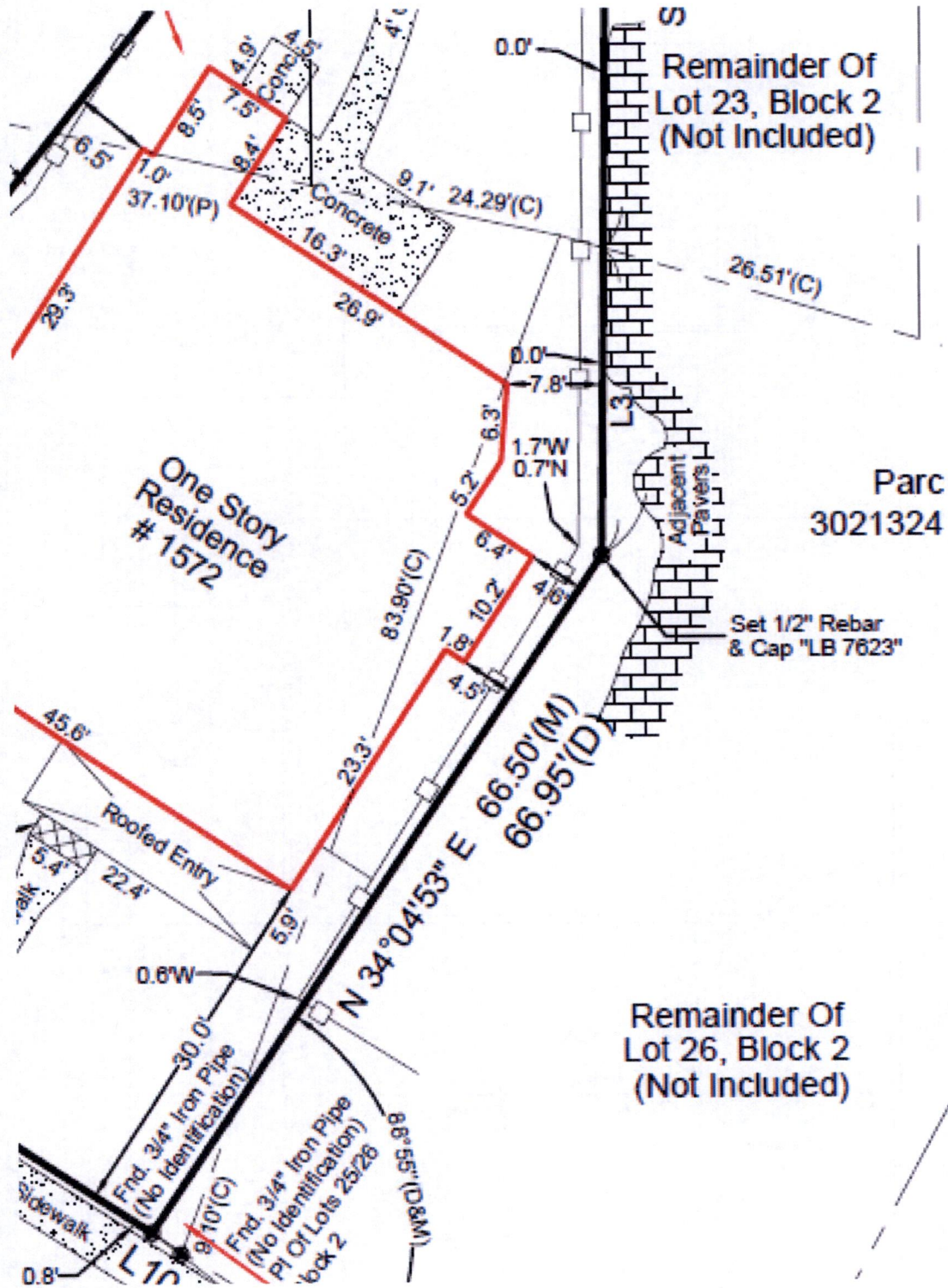


Exhibit B – Current Structure Encroachment

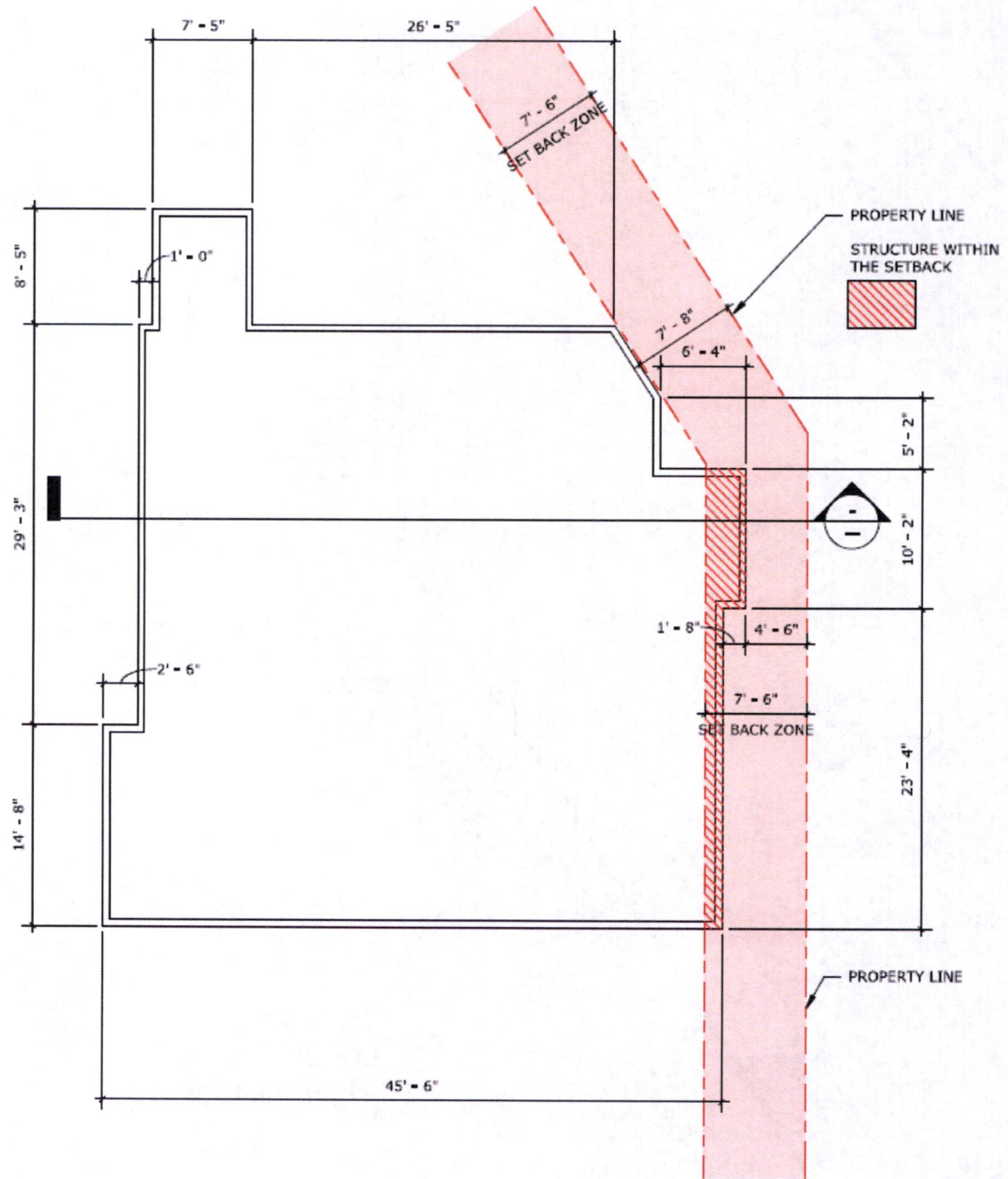
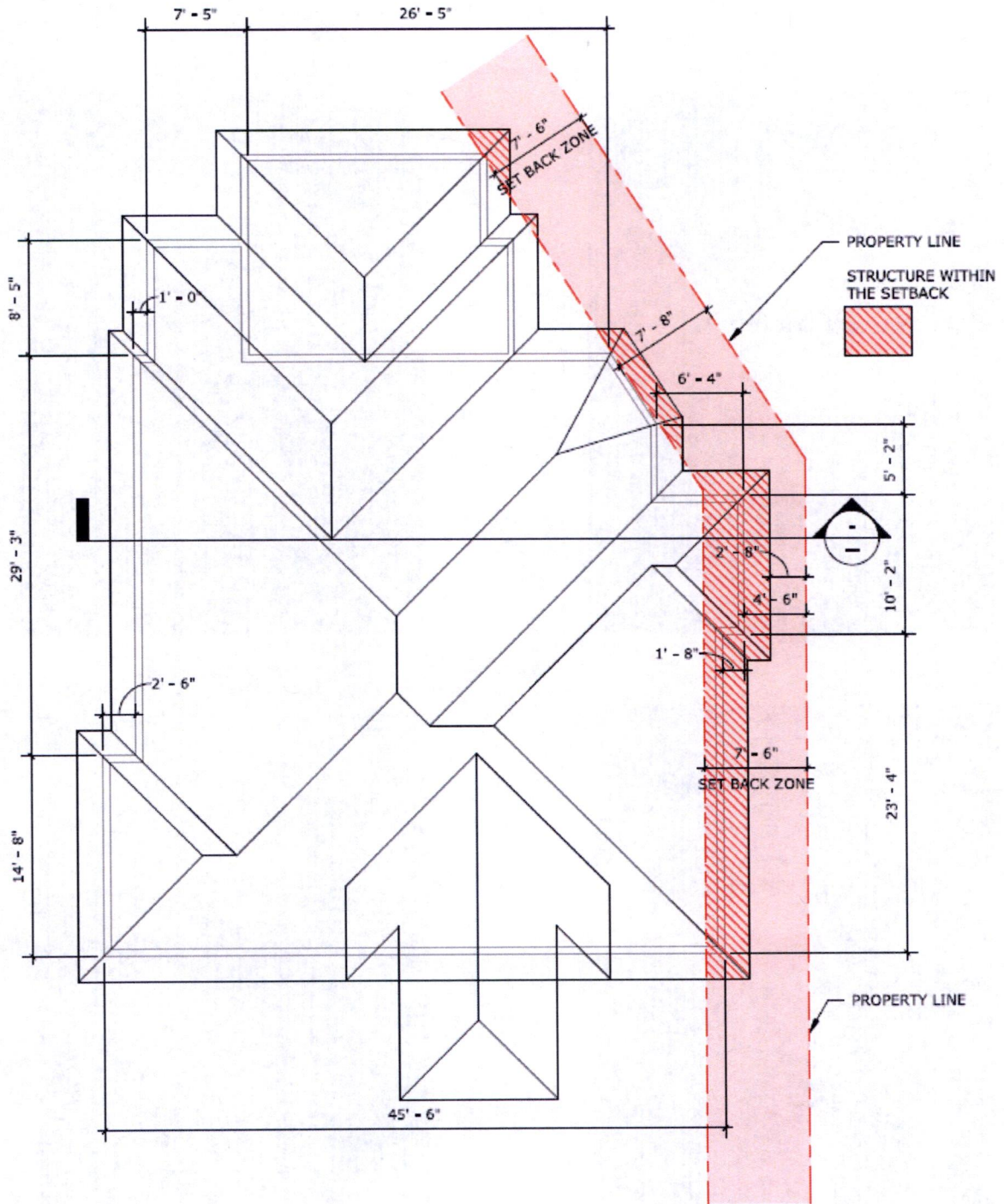
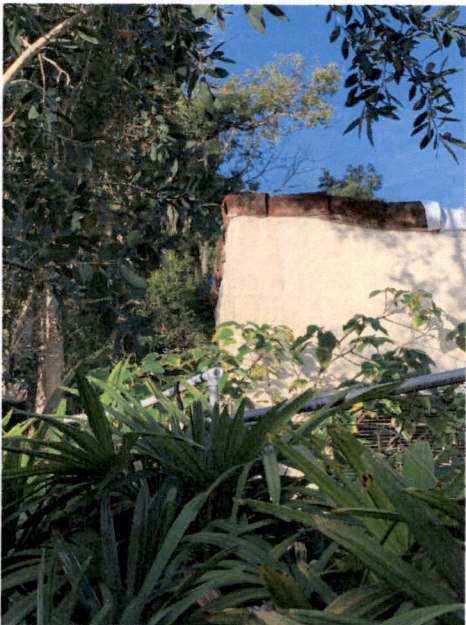
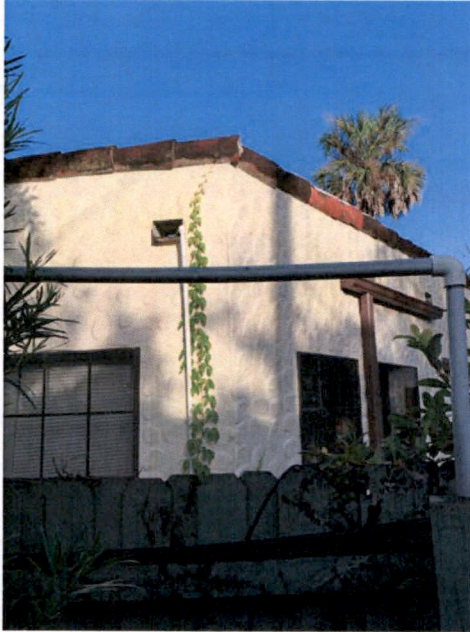


Exhibit C – Proposed Structure Encroachment



Photos of Applicant's Property from side yard of 1562 Sunset Drive

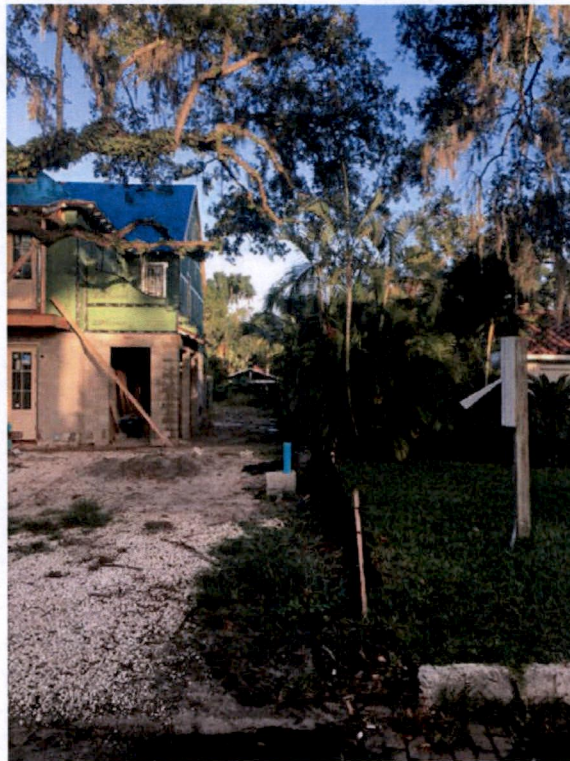
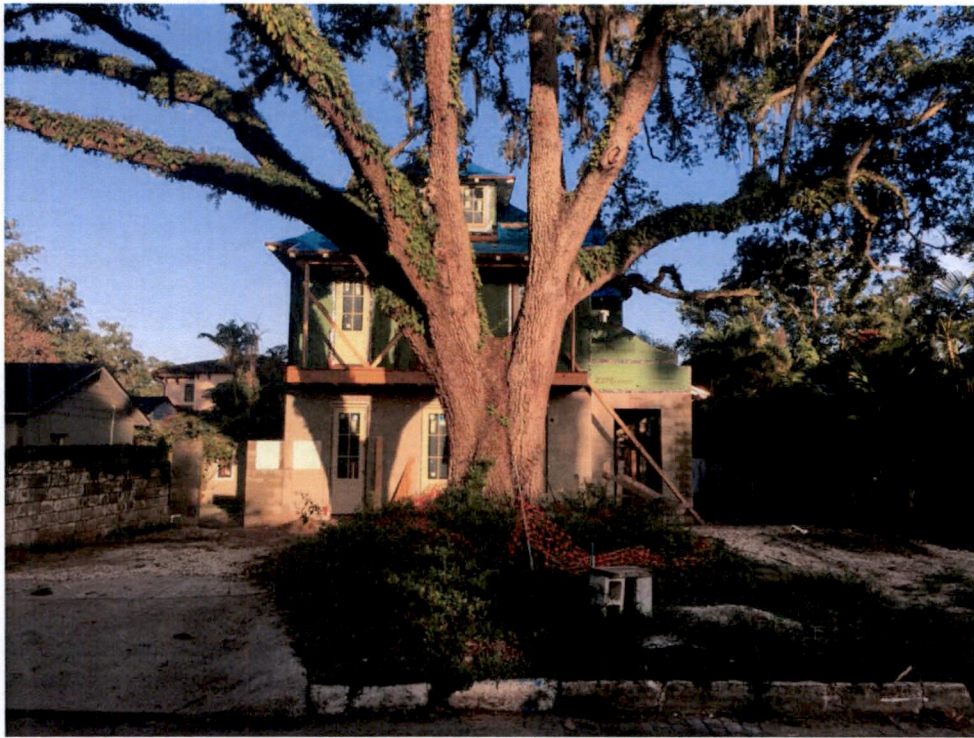


Photos of Setbacks Between Other Development in the Immediate Area

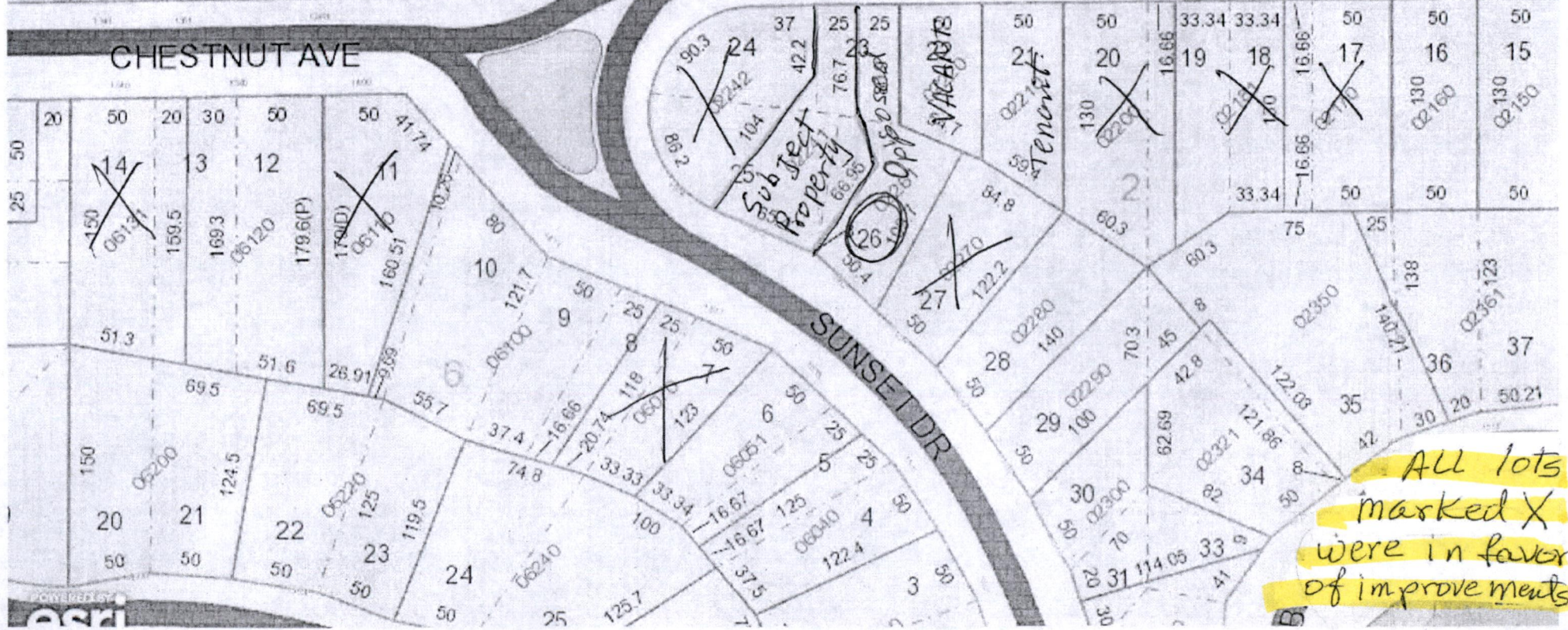
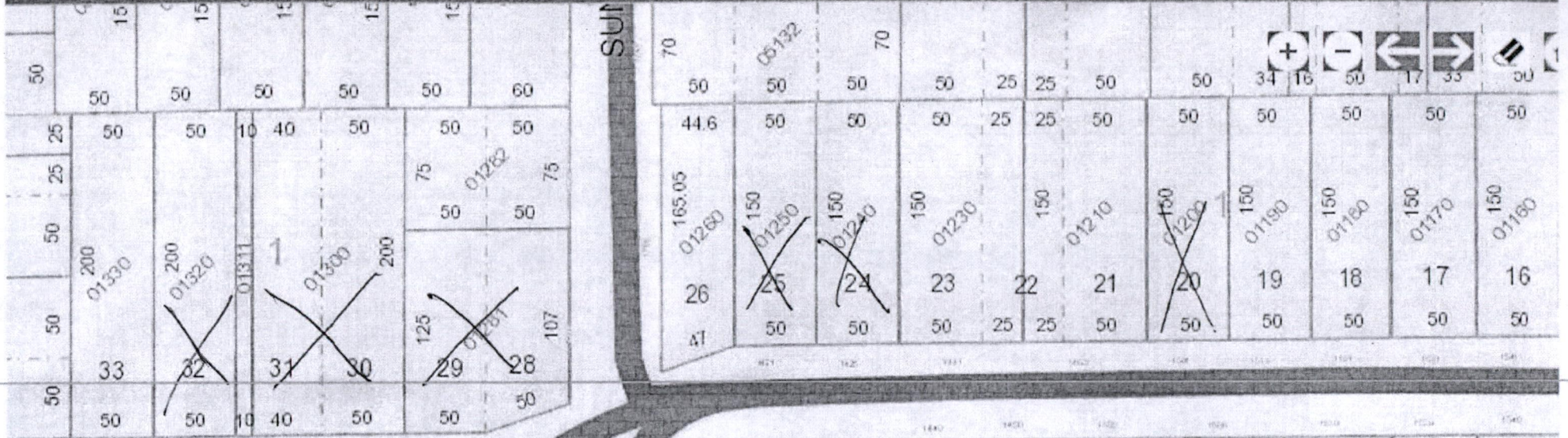




Photo of New Development Meeting Code on Sunset Drive on a 50' Lot



Parcel Themes



All lots marked X were in favor of improvements

CONSENT FORM

I HAVE BEEN INFORMED THAT THE OWNER OF 1572 SUNSET DRIVE WILL BE DOING
MODIFICATION AND INSTALLING A NEW SHINGLE ROOF ON THE PROPERTY.

Please check a box:

I OPPOSE THE CHANGE - BELIEVE THAT IT WILL NEGATIVELY IMPACT US.

I APPROVE THE CHANGE - BELIEVE IT WILL POSITIVELY IMPACT US.

Your Name: Catherine Carright

Your Address: 1574 Sunset Dr

Your Signature: Catherine Carright

Thank you,

Marina Munoz
Tel 407-256-4211
Fax 407-386-7524
Luzma321@gmail.com

CONSENT FORM

I HAVE BEEN INFORMED THAT THE OWNER OF 1572 SUNSET DRIVE WILL BE DOING MODIFICATION AND INSTALLING A NEW SHINGLE ROOF ON THE PROPERTY.

Please check a box:

I OPPOSE THE CHANGE - BELIEVE THAT IT WILL NEGATIVELY IMPACT US.

I APPROVE THE CHANGE - BELIEVE IT WILL POSITIVELY IMPACT US.

Your Name: HERBERT MEANS

Your Address: 1409 Chestnut

Your Signature: Hmeans

Thank you,

Marina Munoz
Tel 407-256-4211
Fax 407-386-7524
Luzma321@gmail.com


CONSENT FORM

I HAVE BEEN INFORMED THAT THE OWNER OF **1572 SUNSET DRIVE** WILL BE DOING
MODIFICATION AND INSTALLING A NEW SHINGLE ROOF ON THE PROPERTY.

Please check a box:

I OPPOSE THE CHANGE - BELIEVE THAT IT WILL NEGATIVELY IMPACT US.

I APPROVE THE CHANGE - BELIEVE IT WILL POSITIVELY IMPACT US.

Your Name: Thomas R Bates Jr
Your Address: 1351 Chestnut Ave
Your Signature: 

Thank you,

Marina Munoz
Tel 407-256-4211
Fax 407-386-7524
Luzma321@gmail.com

CONSENT FORM

I HAVE BEEN INFORMED THAT THE OWNER OF **1572 SUNSET DRIVE** WILL BE DOING MODIFICATION AND INSTALLING A NEW SHINGLE ROOF ON THE PROPERTY.

Please check a box:

I OPPOSE THE CHANGE - BELIEVE THAT IT WILL NEGATIVELY IMPACT US.

I APPROVE THE CHANGE - BELIEVE IT WILL POSITIVELY IMPACT US.

Your Name: Jennifer Black

Your Address: 1707 Sunset Dr.

Your Signature: Jennifer Black

Thank you,

Marina Munoz
Tel 407-256-4211
Fax 407-386-7524
Luzma321@gmail.com

CONSENT FORM

I HAVE BEEN INFORMED THAT THE OWNER OF **1572 SUNSET DRIVE** WILL BE DOING
MODIFICATION AND INSTALLING A NEW SHINGLE ROOF ON THE PROPERTY.

Please check a box:

I OPPOSE THE CHANGE - BELIEVE THAT IT WILL NEGATIVELY IMPACT US.

I APPROVE THE CHANGE - BELIEVE IT WILL POSITIVELY IMPACT US.

Your Name:

William Tubell

Your Address:

1554 Sunset Dr.

Your Signature:

William Tubell

Thank you,

Marina Munoz

Tel 407-256-4211

Fax 407-386-7524

Luzma321@gmail.com

CONSENT FORM

I HAVE BEEN INFORMED THAT THE OWNER OF 1572 SUNSET DRIVE WILL BE DOING MODIFICATION AND INSTALLING A NEW SHINGLE ROOF ON THE PROPERTY.

Please check a box:

I OPPOSE THE CHANGE - BELIEVE THAT IT WILL NEGATIVELY IMPACT US.

I APPROVE THE CHANGE - BELIEVE IT WILL POSITIVELY IMPACT US.

Your Name:

Kristyna Vallejo

Your Address:

1571 Sunset Dr, Winter Park, 32789

Your Signature:

Kristyna Vallejo

Thank you,

Marina Munoz

Tel 407-256-4211

Fax 407-386-7524

Luzma321@gmail.com

CONSENT FORM

I HAVE BEEN INFORMED THAT THE OWNER OF 1572 SUNSET DRIVE WILL BE DOING
MODIFICATION AND INSTALLING A NEW SHINGLE ROOF ON THE PROPERTY.

Please check a box:

I OPPOSE THE CHANGE - BELIEVE THAT IT WILL NEGATIVELY IMPACT US.

I APPROVE THE CHANGE - BELIEVE IT WILL POSITIVELY IMPACT US.

Your Name: Stephan Herbert

Your Address: 1361 Chestnut Lane

Your Signature: Stephan Herbert

Thank you,

Marina Munoz
Tel 407-256-4211
Fax 407-386-7524
Luzma321@gmail.com

CONSENT FORM

I HAVE BEEN INFORMED THAT THE OWNER OF **1572 SUNSET DRIVE** WILL BE DOING MODIFICATION AND INSTALLING A NEW SHINGLE ROOF ON THE PROPERTY.

Please check a box:

I OPPOSE THE CHANGE - BELIEVE THAT IT WILL NEGATIVELY IMPACT US.

I APPROVE THE CHANGE - BELIEVE IT WILL POSITIVELY IMPACT US.

Your Name: Walter Basso

Your Address: 1340 Chestnut Ave

Your Signature: ~~Walter Basso~~

Thank you,

Marina Munoz
Tel 407-256-4211
Fax 407-386-7524
Luzma321@gmail.com

CONSENT FORM

I HAVE BEEN INFORMED THAT THE OWNER OF **1572 SUNSET DRIVE** WILL BE DOING
MODIFICATION AND INSTALLING A NEW SHINGLE ROOF ON THE PROPERTY.

Please check a box:

I OPPOSE THE CHANGE - BELIEVE THAT IT WILL NEGATIVELY IMPACT US.

I APPROVE THE CHANGE - BELIEVE IT WILL POSITIVELY IMPACT US.

Your Name: LISA HORT

Your Address: 1510 Chestnut Ave

Your Signature: [Handwritten Signature]

Thank you,

Marina Munoz
Tel 407-256-4211
Fax 407-386-7524
Luzma321@gmail.com

CONSENT FORM

I HAVE BEEN INFORMED THAT THE OWNER OF 1572 SUNSET DRIVE WILL BE DOING
MODIFICATION AND INSTALLING A NEW SHINGLE ROOF ON THE PROPERTY.

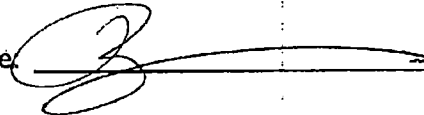
Please check a box:

I OPPOSE THE CHANGE - BELIEVE THAT IT WILL NEGATIVELY IMPACT US.

I APPROVE THE CHANGE - BELIEVE IT WILL POSITIVELY IMPACT US.

Your Name: Rosay Master

Your Address: 1506 Chestnut dr.

Your Signature: 

Thank you,

Marina Munoz
Tel 407-256-4211
Fax 407-386-7524
Luzma321@gmail.com

CONSENT FORM

I HAVE BEEN INFORMED THAT THE OWNER OF 1572 SUNSET DRIVE WILL BE DOING
MODIFICATION AND INSTALLING A NEW SHINGLE ROOF ON THE PROPERTY.

Please check a box:

I OPPOSE THE CHANGE - BELIEVE THAT IT WILL NEGATIVELY IMPACT US.

I APPROVE THE CHANGE - BELIEVE IT WILL POSITIVELY IMPACT US.

Your Name:

Teci Pettit

Your Address:

1425 CHESTNUT AVE.

Your Signature:

Teci Pettit

Thank you,

Marina Munoz

Tel 407-256-4211

Fax 407-386-7524

Luzma321@gmail.com

CONSENT FORM

I HAVE BEEN INFORMED THAT THE OWNER OF **1572 SUNSET DRIVE** WILL BE DOING MODIFICATION AND INSTALLING A NEW SHINGLE ROOF ON THE PROPERTY.

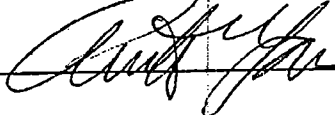
Please check a box:

I OPPOSE THE CHANGE - BELIEVE THAT IT WILL NEGATIVELY IMPACT US.

I APPROVE THE CHANGE - BELIEVE IT WILL POSITIVELY IMPACT US.

Your Name: ANITA LAM

Your Address: 1421 Chestnut Ave

Your Signature: 

Thank you,

Marina Munoz
Tel 407-256-4211
Fax 407-386-7524
Luzma321@gmail.com

CONSENT FORM

I HAVE BEEN INFORMED THAT THE OWNER OF 1572 SUNSET DRIVE WILL BE DOING
MODIFICATION AND INSTALLING A NEW SHINGLE ROOF ON THE PROPERTY.

Please check a box:

I OPPOSE THE CHANGE - BELIEVE THAT IT WILL NEGATIVELY IMPACT US.

I APPROVE THE CHANGE - BELIEVE IT WILL POSITIVELY IMPACT US.

Your Name:

Barbara Penland

Your Address:

1572 Chestnut Avenue - Water Park

Your Signature:

Barbara Penland

Thank you,

Marina Munoz

Tel: 407-256-4211

Fax: 407-386-7524

luzma321@gmail.com

CONSENT FORM

I HAVE BEEN INFORMED THAT THE OWNER OF 1572 SUNSET DRIVE WILL BE DOING MODIFICATION AND INSTALLING A NEW SHINGLE ROOF ON THE PROPERTY.

Please check a box:

I OPPOSE THE CHANGE - BELIEVE THAT IT WILL NEGATIVELY IMPACT US.

I APPROVE THE CHANGE - BELIEVE IT WILL POSITIVELY IMPACT US.

Your Name: TODD SCARBOROUGH

Your Address: 1504 Chestnut Ave.

Your Signature: TODD SGA

Thank you,

Marina Munoz

Tel 407-256-4211

Fax 407-386-7524

Luzma321@gmail.com

May 23, 2019

Re: Alterations to 1572 Sunset Drive

Hello, my name is Marina, I am the owner of the property located at 1572 Sunset Drive. I am contacting you because I need to obtain approval from the neighbors in order to request a variance for alterations to the property.

I want to change the exterior look of the property by adding trusses and a new shingle roof. Since the current roof situation requires the A/C ducts and unit to be install on top of the roof, this will not make the property energy efficient. Please see the attached copies of the current and future elevations.

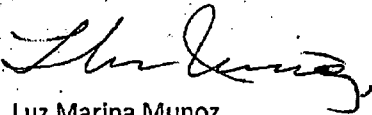
Please be advised that the exterior walls on both sides of the property will remain unchanged, and that I will be adding 130 square feet in the rear section of the property. If allowed by the City of Winter Park, I will also want to add a one-car garage adjacent to the parking area already existing in the rear part of the property by Chestnut Ave. Please see attached site layout.

I believe that these modifications will be an improvement to the property, that has been vacant for almost two years; and therefore the exterior look will be similar to the surrounding homes and will possibly add to the value of the neighborhood.

If you believe that these modifications are going to be an asset to the neighborhood, please complete the attached form and email it to me at luzma321@gmail.com or fax it to 407-386-7524. I need to turn these in to the City of Winter Park by Monday 5/27/2019.

Your prompt cooperation will be highly appreciated.

Cordially,



Luz Marina Munoz
407-256-4211

*This letter was presented
to the neighbors to get their
approval. This is the scope
of the proposed renovations.*

Correspondence with neighbor
5/13/19

Luz Marina Munoz

From: Luz Marina Munoz <luzma321@gmail.com>
Sent: Monday, May 13, 2019 2:25 PM
To: 'D. Scott Baker'
Subject: RE: Baker, Dana S. - Sunset Drive property:

Hello Mr. Baker. Yes I did submit for permits, but you do not need to be concerned because we are not moving any of the existing walls on the sides of the property, most alterations are inside. We are putting a roof at a very low pitch, which means that we are not going to be able to raise the ceilings as we wanted to, but we just want to get it done and over with.

As I mentioned to you, I am not a big investor and I obtained the house with a very expensive mortgage, so I need to get it done with what the City of Winter Park allows. I would have liked to build a nicer home that would have raised the prices of the neighborhood, but I already spent half of the funds I had for repairs while trying to come up with a plan that was acceptable.

Please keep in mind that the trees separating the houses are much higher than the roof; therefore, your light will not be blocked by our roof.

Cordially,

Luz Marina Muñoz
c) 407-256-4211
f) 407-386-7524
luzma321@gmail.com

From: D. Scott Baker <sbaker@zkslawfirm.com>
Sent: Monday, May 13, 2019 10:13 AM
To: 'Luz Marina Munoz' <luzma321@gmail.com>
Subject: RE: Baker, Dana S. - Sunset Drive property:

Ms. Luz—

We saw that you have applied for a construction permit. Can you explain what is going to be built or send me a copy of the plans? Is it the same as what was proposed earlier?

Scott

D. Scott Baker
Board Certified in Real
Estate

Tel: 407.425.7010
Fax: 407.425.2747
[Email](#) | [vCard](#)



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correspondence with neighbor

1/22/19 to 2/2/19

Luz Marina Munoz

From: D. Scott Baker <sbaker@zkslawfirm.com>
Sent: Saturday, February 2, 2019 9:57 PM
To: Luz Marina Munoz
Subject: Re: Baker, Dana S. - Boundary Dispute: 1572 Sunset Dr - Need your assistance as soon as possible

Flag Status: Flagged

Hello -

We cannot support the redevelopment as proposed. We previously agreed to consent based on our understanding that you were leaving the side walls as they are, with no change, and replacing all the major interior systems of the home. In your December 28 email to Mr. Wiggins below you asked for permission to put on a roof "as long as the new existing exterior walls remain the same." On January 8 you told Mr. Wiggins "we are not touching the existing exterior walls." Then you asked for us to consent to the new roof "as long as the walls adjacent to your property remain the same."

The plan you have showed us adds new exterior walls where there were none before, along with a massive peaked roof system that will block out more of the sky from our side courtyard. This is where we spend all of our outside time. The new roof system will now have overhangs that extend at least 1 to 2 feet into the setback. The roof will make the house look massive compared to the neighboring properties.

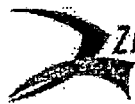
We may seem inflexible to you but we live here, while you are trying to get in and out as fast as you can. We have to live with whatever happens next door for many years.

Scott

It is not a massive peaked roof. The pitch is 4, which is not very high. addition is only at the rear part of the house

D. Scott Baker
Board Certified in Real Estate

Tel: 407.425.7010
Fax: 407.425.2747
Email | vCard



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From: Luz Marina Munoz <luzma321@gmail.com>
Sent: Thursday, January 31, 2019 5:19 AM
To: D. Scott Baker
Subject: RE: Baker, Dana S. - Boundary Dispute: 1572 Sunset Dr - Need your assistance as soon as possible

Hello Mr. Scott. I have attached the layout that has already been approved by the City of Winter Park, subject to getting letters from you and the neighbor on the other side.

I am baffled by your lack of flexibility on the slight variation on the footprint, mainly because it's not going to affect you in any way. It has been difficult to come up with a roof that works on that house, and according to the designer, that cut out section will make the roof look more awkward and costly. Please keep in mind that we are conceding to you keeping your landscaping and fence as is, in order to have a conclusion that satisfies us both.

As I told you, I am not a big investor and the mortgage in this vacant home is costing me a lot already. I just want to get the ball rolling and you can have a nicer looking house next door.

As to the delivery of the letter, I can pick it up in the afternoon, you just tell me what time.

Thank you,

Luz Marina Munoz
c) 407-256-4211
f) 407-386-7524
luzma321@gmail.com

From: D. Scott Baker <sbaker@zkslawfirm.com>
Sent: Monday, January 28, 2019 9:13 AM
To: 'Luz Marina Munoz' <luzma321@gmail.com>
Subject: RE: 1572 Sunset Dr - Need your assistance as soon as possible

Luz, we agreed only to the footprint remaining the same. If you enclose the triangle the footprint will change and you will introduce new square footage and massing within the setback. There will already be additional encroachment into the setback because the new roof will have a certain amount of overhang into the side yard. We will write the letter as outlined below so that you don't have to get a variance but we are not agreeing to you filling in the triangle. Please let me know what you want us to do as far as delivery of the letter.

Scott

D. Scott Baker
Board Certified in Real
Estate

Tel: 407.425.7010
Fax: 407.425.2747

[Email](#) | [vCard](#)





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From: Luz Marina Munoz <luzma321@gmail.com>
Sent: Thursday, January 24, 2019 5:14 PM
To: D. Scott Baker <sbaker@zkslawfirm.com>
Subject: RE: 1572 Sunset Dr - Need your assistance as soon as possible

Yes, we presented the proposed plan and elevations yesterday, they accepted it subject to getting the letter from you and from the lady at the other side. That open triangle is not going to bring the property any closer to the property line than what it already is. I showed them your email and both our surveys, they are OK with that.

Thank you,

Luz Marina Munoz
c) 407-256-4211
f) 407-386-7524
luzma321@gmail.com

From: D. Scott Baker <sbaker@zkslawfirm.com>
Sent: Thursday, January 24, 2019 11:15 AM
To: 'Luz Marina Munoz' <luzma321@gmail.com>
Subject: RE: 1572 Sunset Dr - Need your assistance as soon as possible

The enclosure of the open triangle will result in a change in the footprint. The City is OK with that?

D. Scott Baker
Board Certified in Real Estate

Tel: 407.425.7010
Fax: 407.425.2747

[Email](#) | [vCard](#)



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www.zkslawfirm.com



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From: Luz Marina Munoz <luzma321@gmail.com>
Sent: Wednesday, January 23, 2019 10:21 AM
To: D. Scott Baker <sbaker@zkslawfirm.com>

Subject: RE: 1572 Sunset Dr - Need your assistance as soon as possible
Importance: High

Hello Mr. Scott. Sorry, I did not see your email last night. My 90 year old mother lives with me and she has been ill, so my time has been consumed by her care.

I think the letter will work. The only thing that we are doing to the property on your side is to enclose that open triangle on the diagonal side in order to get a straight wall inside.

Thank you for your cooperation.

Luz Marina Munoz
c) 407-256-4211
f) 407-386-7524
luzma321@gmail.com

From: D. Scott Baker <sbaker@zkslawfirm.com>
Sent: Wednesday, January 23, 2019 9:15 AM
To: 'Luz Marina Munoz' <luzma321@gmail.com>
Subject: RE: 1572 Sunset Dr - Need your assistance as soon as possible

Good morning -

We are willing to sign a letter of consent to the renovation subject to the following:

1. Footprint within the 7.5' setback on our side remains unchanged;
2. No AC unit in the 7.5' setback on our side;
3. You are not removing any fencing and landscaping located on your property; and
4. By giving our consent to the redevelopment, we are not agreeing to the boundary line as your surveyor has it in his latest revision. We can simply acknowledge that our surveyors have different opinions as to the true property boundary along the west side property.

We agreed and complied with his request.

Let me know if this works. If so why don't you type up what the City needs (including the conditions above) and we will review and sign.

Scott

D. Scott Baker
Board Certified in Real Estate

Tel: 407.425.7010
Fax: 407.425.2747

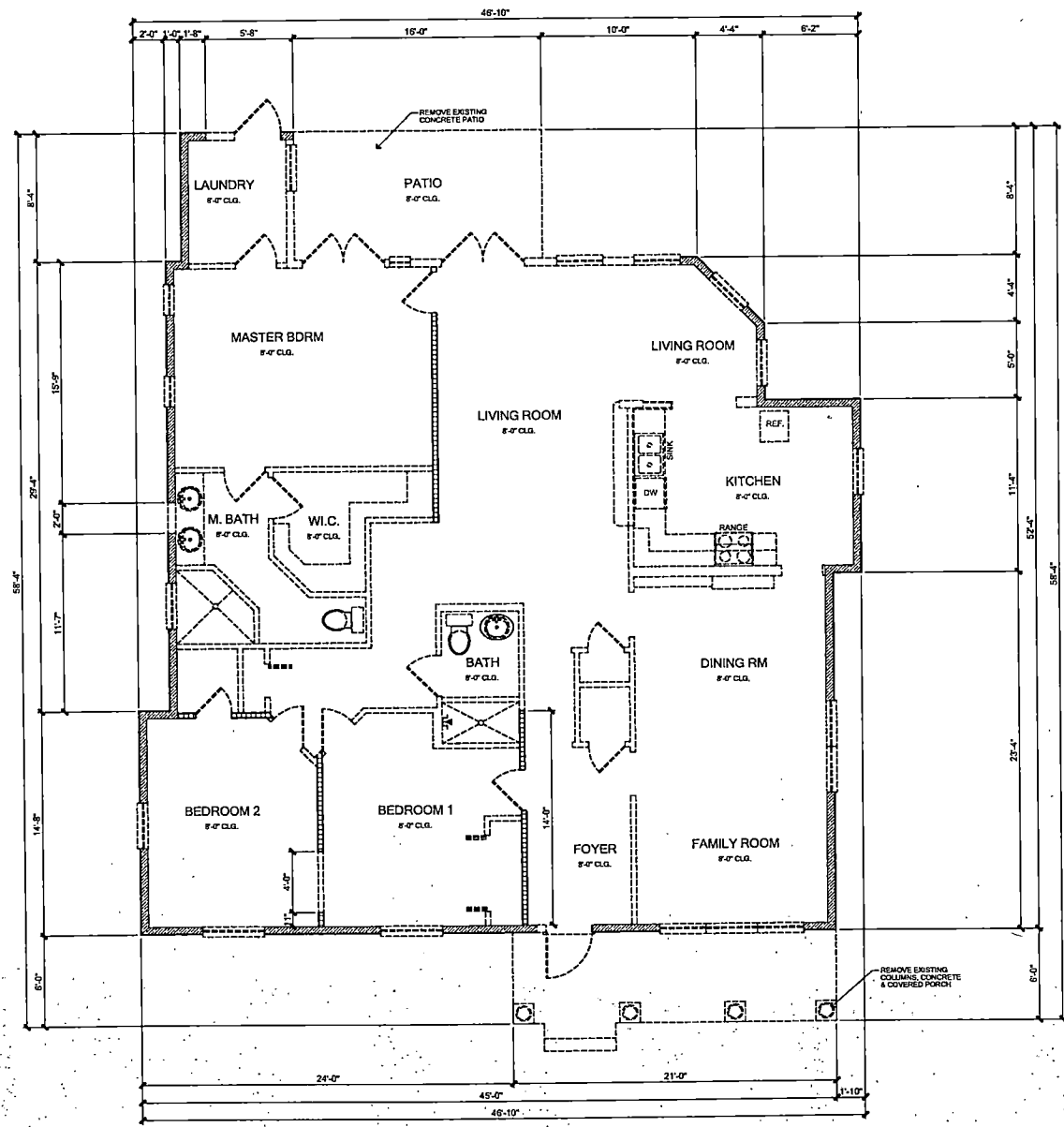
[Email](#) | [vCard](#)



315 East Robinson Street • Suite 600 • Orlando, FL 32801

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WALL TYPES LEGEND	
Masonry	
	Exist. 2x8 Exterior Framing
	Exist. 2x Interior Framing
	New 2x8 Exterior Framing @ 8'-0" A.F.F.
	New 2x8 Exterior Framing @ 10'-0" A.F.F.
Framing	
	New Standard 2x4 Framing
	Exist. Walls to be Demolished
	Interior Sealing Wall
	Frame Wall Located Below 48" A.F.F. w/ CIP
	Insulated Interior Partition

DEMOLITION GENERAL NOTES

1. Remove all interior drywall and plaster from stud walls / ceiling. Prepare for new and drywall finish.
2. Remove all electrical to existing main power feed.
3. Remove all existing floor finishes.
4. Remove all windows and doors.
5. Remove entire existing HVAC system.
6. g.c. to provide all shoring required to maintain structural integrity during demolition.

1ST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

Sunset Drive Remodel

Single Family Residence

1572 Sunset Dr.
Winter Park, FL 32789

04/17/2019

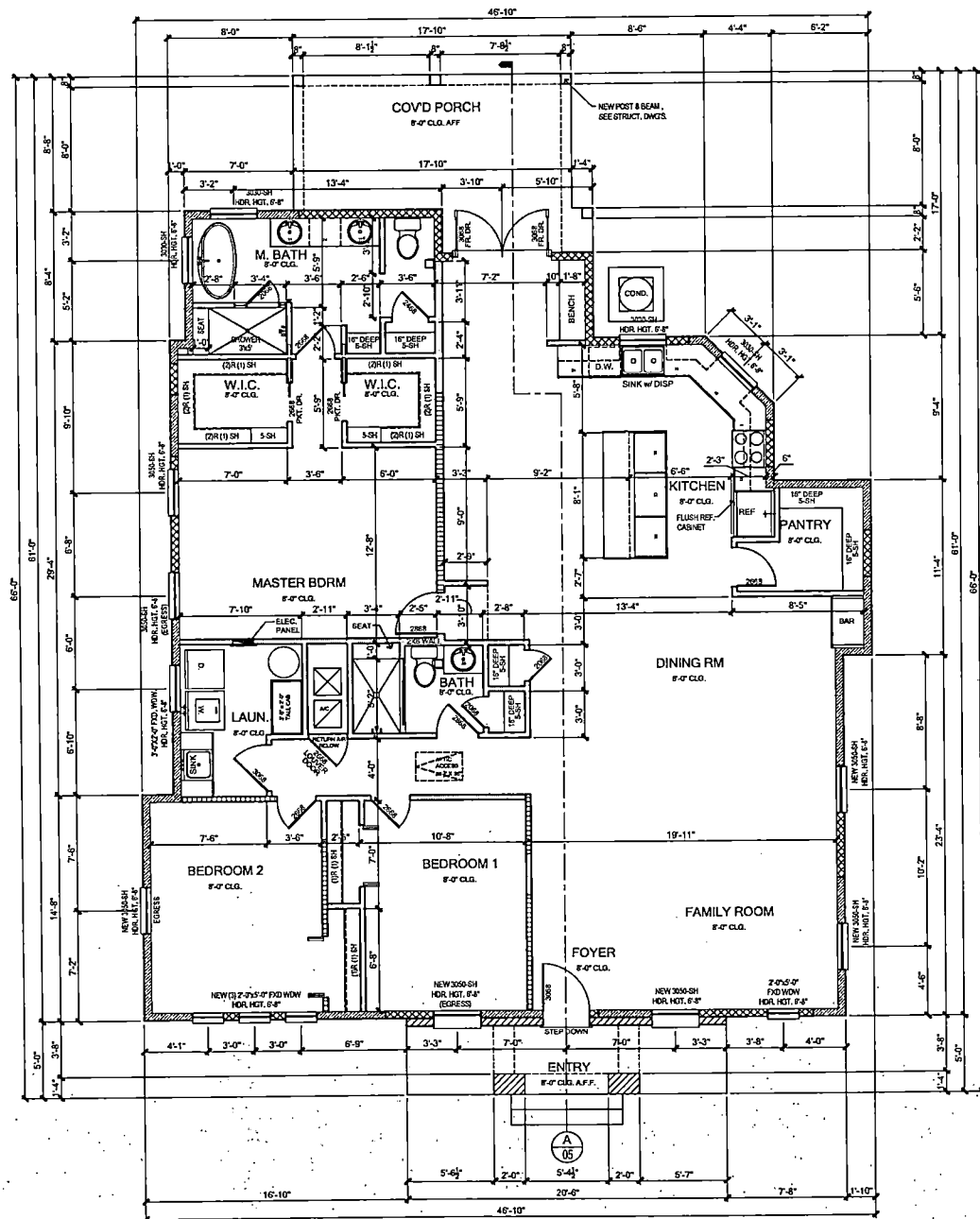
Reference No.

18-014

01

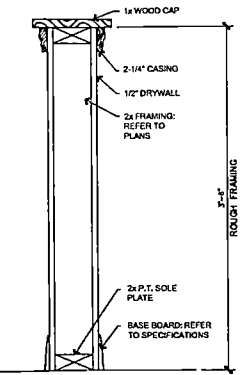
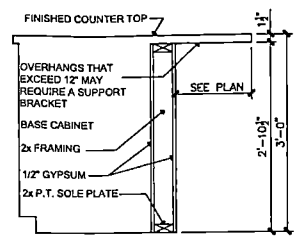
DEMO. PLAN

NOT FOR CONSTRUCTION



PROPOSED PLAN
SCALE: 1/4" = 1'-0"

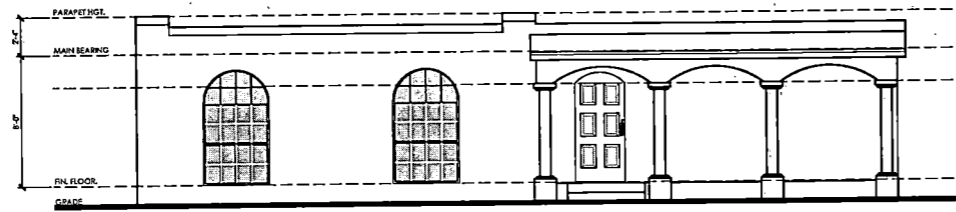
WALL TYPES LEGEND	
Masonry	
	Exist. 2x8 Exterior Framing
	Exist. 2x6 Interior Framing
	New 2x8 Exterior Framing @ 8'-0" A.F.F.
	New 2x8 Exterior Framing @ 10'-0" A.F.F.
Framing	
	New Standard 2x4 Framing
	Exist. Walls to be Demolished
	Interior Bearing Wall
	Frame Wall Located Below 4" A.F.F. w/ Cap
	Insulated Interior Partition



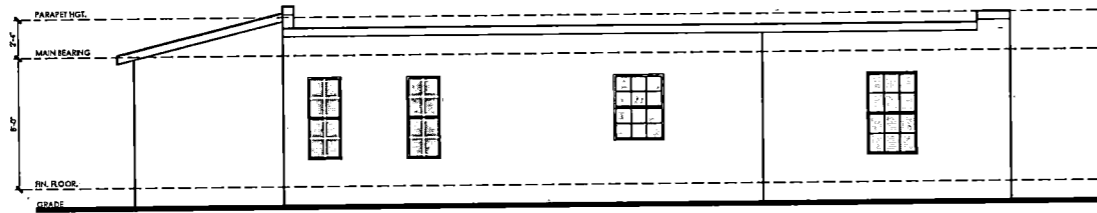
AREA TABULATION	
EXISTING LIVING	1953
PROPOSED ADDITION	1130
LIVING TOTAL	2083
ENTRY	103
COVERED PORCH	182
TOTAL AREA	2368

Sunset Drive Remodel
Single Family Residence
1572 Sunset Dr.
Winter Park, FL 32789
Date: 04/17/2018
Reference No. 18-014
02
NEW PLAN

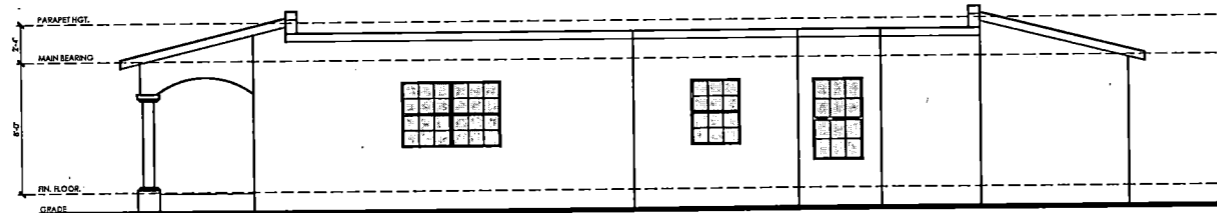
NOT FOR CONSTRUCTION



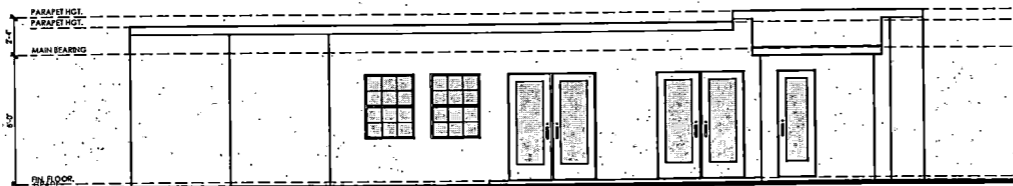
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

Sunset Drive Remodel

Single Family Residence

1572 Sunset Dr,
Winter Park, FL 32789

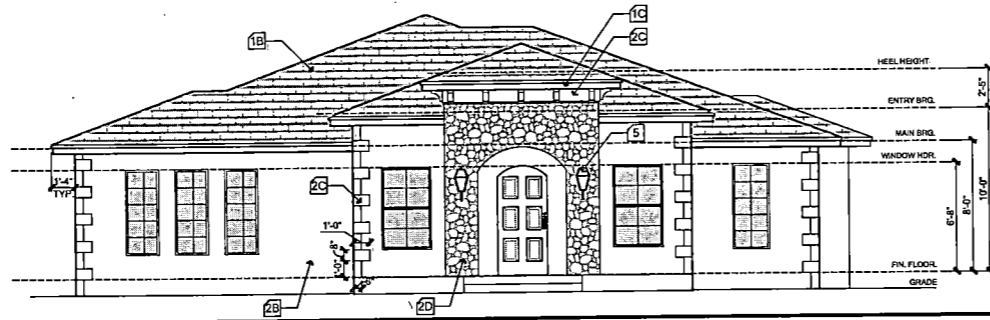
04/17/2018

Reference No.
18-014

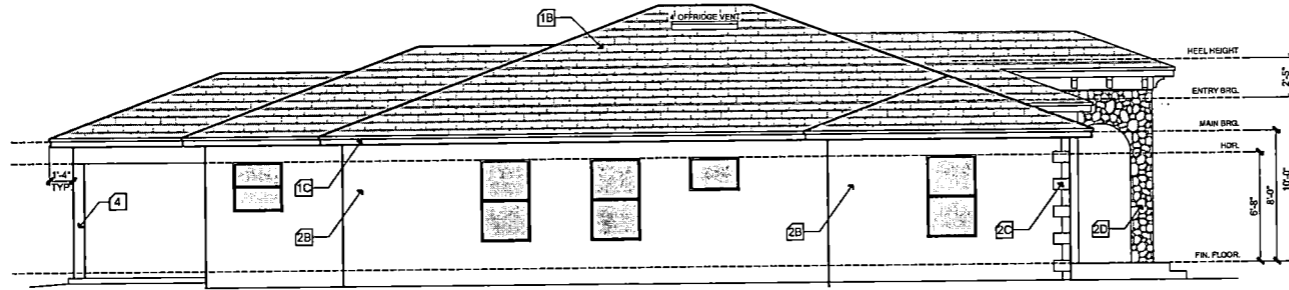
03

ELEVATIONS

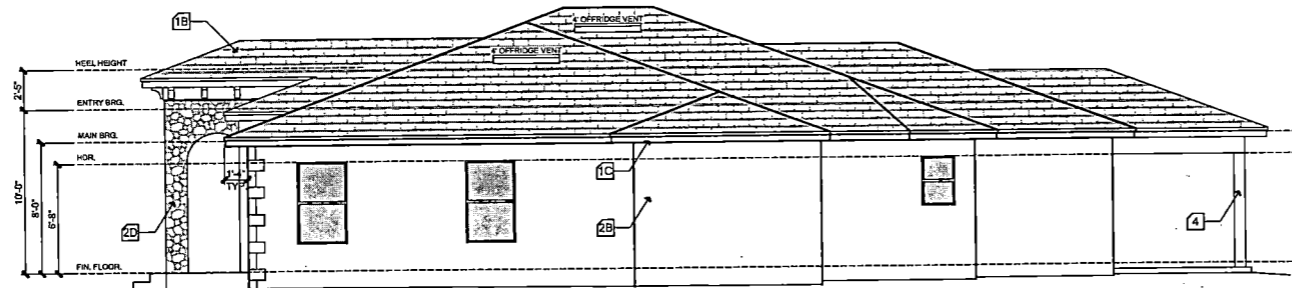
NOT FOR CONSTRUCTION



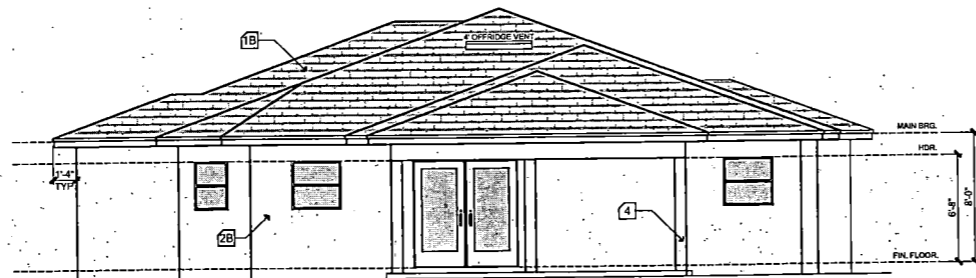
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

1. Roofing
 - A. All exterior roof overhangs are 18" (inches) unless otherwise dimensioned or as per requirements of community specifications.
 - B. Shingle Roofing, installed over approved underlayment.
 - C. Indicates Aluminum wrapped vented soffit and drip edge. Prime fascia only.
 - D. Indicates ridge vent. Refer to Roof Plan for calculation.
 - E. Indicates Flashing where roof planes intersect with wall plane. Refer to WP sheet in this plan set.
2. Walls
 - A. Indicates decorative stucco finish as per ASTM C-926. All textures are determined by the builder specifications.
 - B. Indicates Stucco finish on paper-backed wire lath, water resistive barrier, and over wood framed exterior wall.
 - C. Indicates decorative stucco banding/coating with a smooth finish.
 - D. Indicates simulated stone veneer.
 - E. Exist. brick / pavers to remain.
3. Indicates New Overhead Garage Door.
4. Indicates P.T. wood post/ beams with approved Hard-Bd. finishing wrap. Refer to structural plans for connections and post size.
5. Indicates Optional Exterior Wall Mounted Light Fixture. All fixtures are to be verified with elevation style. 1' of height to be 5'-0" A.F.F. U.N.O. per community specs.
6. Indicates decorative non-structural accent stucco band.
7. Indicates decorative shutters to be selected by the builder.

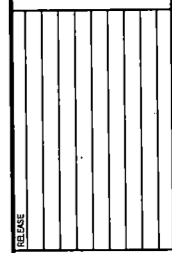
CODE REFERENCE

Exterior use of portland cement plaster shall comply with the application requirements of ASTM C 926.

Installation of exterior lathing and framing shall comply with the application requirements of ASTM C 1063.

Where cement plaster (stucco) is to be applied to lath over frame construction, measures shall be taken to prevent bonding between the cement plaster and the water resistive barrier. A bond break shall be provided between the water resistive barrier and the cement plaster (stucco) consisting of one of the following:

1. Two layers of an approved water resistant barrier material complying with Section R703.2, or
2. One layer of an approved water resistant barrier complying with Section R703.2 and ASTM D 226 over an approved plastic house wrap, or
3. Other approved methods or materials applied in accordance with the manufacturer's installation instructions.

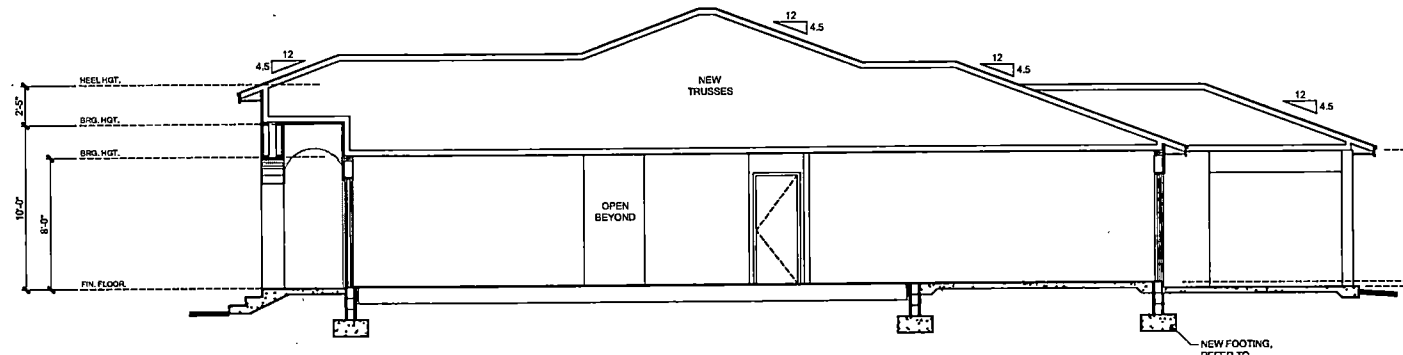


RELEASE

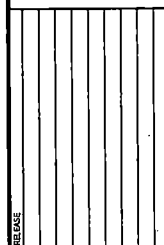
Sunset Drive Remodel
Single Family Residence
1572 Sunset Dr.
Winter Park, FL 32789
Permit: 04/17/2019

Reference No.
18-014
04
ELEVATIONS

NOT FOR CONSTRUCTION

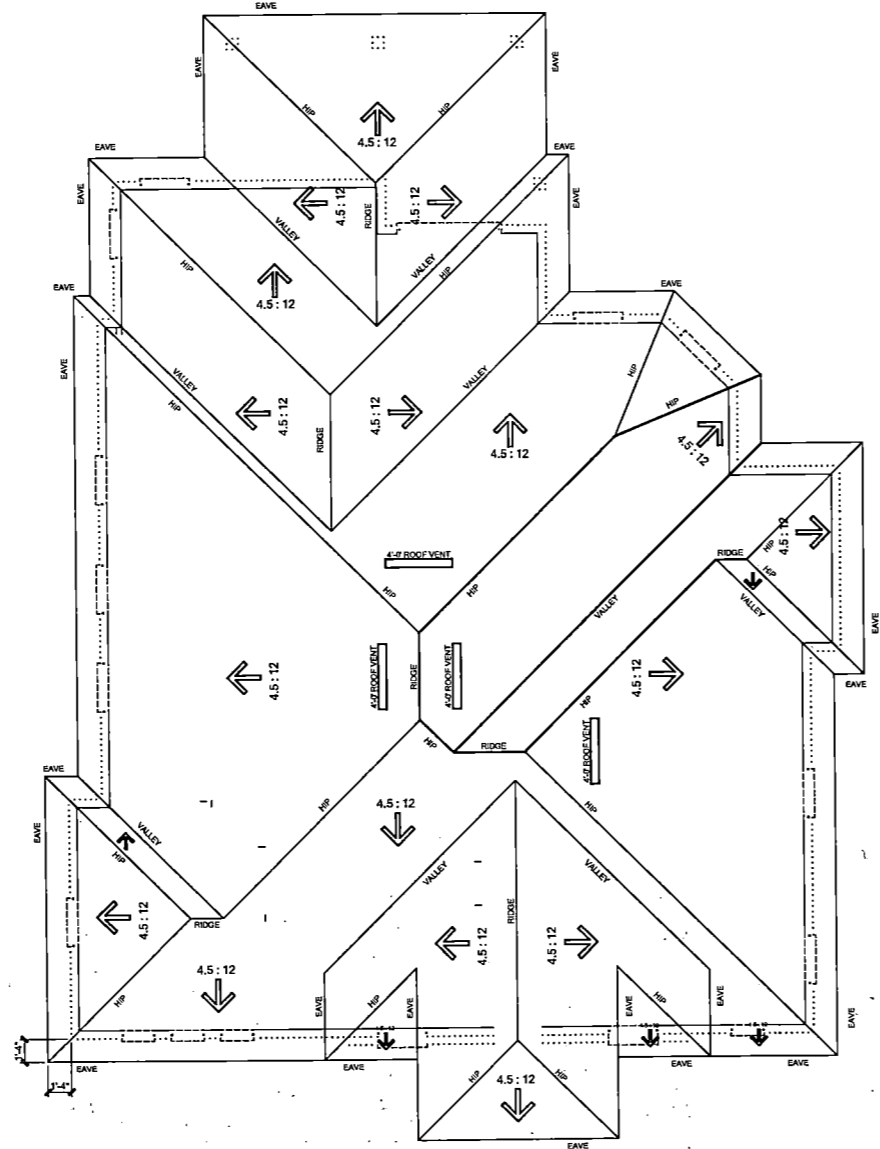


BUILDING SECTION **A**
SCALE: 1/4" = 1'-0" **05**



Sunset Drive Remodel	
Single Family Residence	
1572 Sunset Dr. Winter Park, FL 32789	
DATE: 04/17/2018	
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	05
BLDG. SECTION	

NOT FOR CONSTRUCTION



- Roof Vent General Notes**
1. Venting Calculations Based on a 1:300 ratio.
 2. The Percentage of net free roof exhaust vent area shall not be less than 50% of the total net free vent area required for the roof.
 3. Vent calculations and counts are based on a roof having 140 square inches of net free area.
 4. If possible locate vents in an inconspicuous location not visible from front or side elevations.
 5. Attic areas are consistent with square footage tabulations charts found on floor plan sheets.
 6. See Sheet WP for roof flashing & not'd. S.A.M. detail.

GENERAL NOTE:
1. EXISTING ROOF TO BE REMOVED

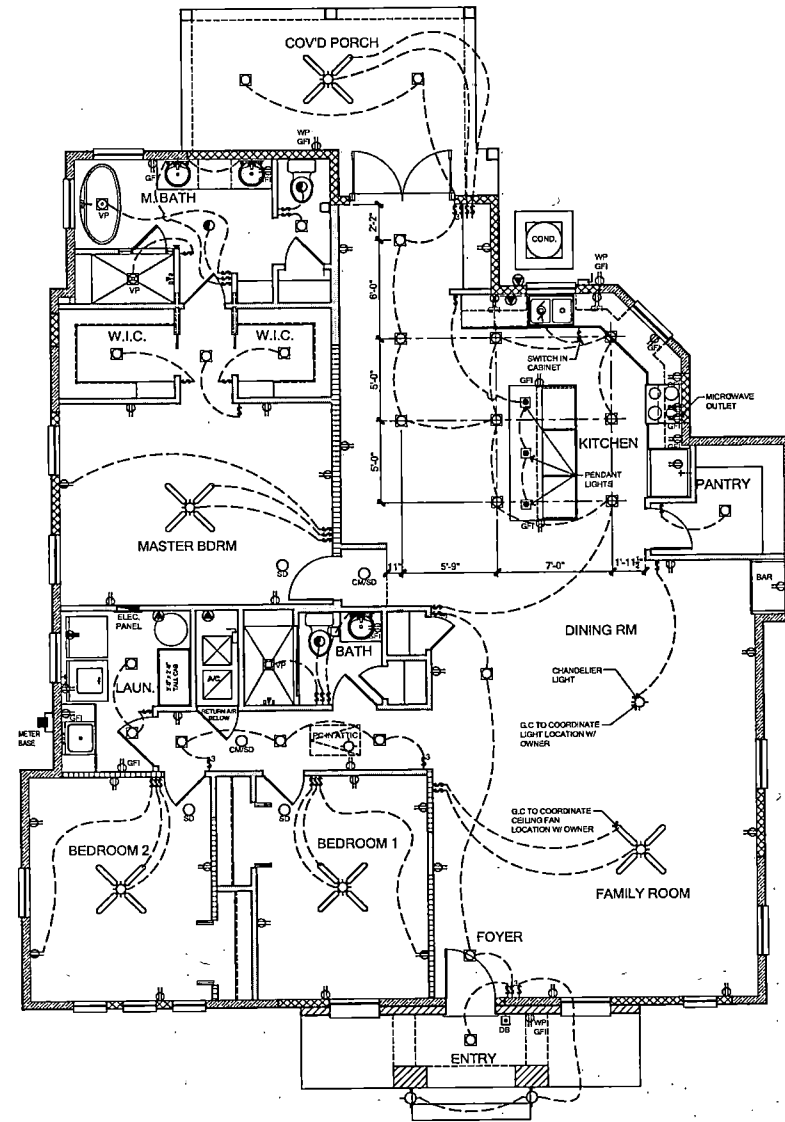
ROOF PLAN
SCALE: 1/4" = 1'-0"

RELEASE

Sunset Drive Remodel	
Single Family Residence	
Reference No.	18-014
Sheet No.	06
ROOF PLAN	

1572 Sunset Dr.
Winter Park, FL 32789
06/17/2019

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ELECTRICAL NOTES

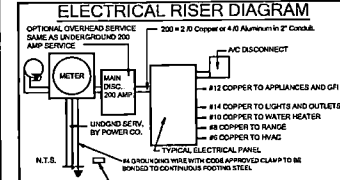
- All Bathroom light fixtures are to be called out with the quantity of bulbs required for each location. All vanity lights are located 88" A.F.F. to Center of box.
- All enclosed water closets are to include a recessed light & fan w/ (2) switches.
- All Bedrooms are to have one recept, switched.
- Follow the dimensions for all recessed can lights in the kitchens.
- All garage light fixtures are fluorescent.
- For commonality spaces coach lights shown on both the electrical plan and front elevation, represent the location of the optional lights. Coach lights are installed 6'-0" A.F.F. to Center of Box U.N.O.

ELECTRICAL LEGEND

POWER SYMBOLS			
⊕	110-115 RECEPTACLE	WP	WEATHER PROOF
⊖	SINGLE POLE RECEPTACLE	VP	VAPOR PROOF
⊕	SWITCHED RECEPTACLE	GFI	GROUND FAULT INTERRUPT
⊕	QUAD RECEPTACLE	A	ARC FAULT INTERRUPT
⊕	CEILING/SOFFIT RECEPTACLE	AH	ARMOUNTING HEIGHT
⊕	FLOOR RECEPTACLE	GDO	GARAGE DOOR OPENER
⊕	220 RECEPTACLE	PS	PULL STRING
⊕	SMOKE DETECTOR	⊕	MOTOR
⊕	CARBON MONOXIDE DETECTOR	⊕	BATH FAN
⊕	COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR	⊕	BATH FAN AND LIGHT COMBINATION
⊕	OPTIONAL CEILING FAN PREWIRE	⊕	SINGLE POLE SWITCH
⊕	OPTIONAL LIGHT PREWIRE	⊕	THREE WAY SWITCH
⊕	STANDARD CEILING FAN PREWIRE	⊕	SPECIAL PURPOSE
⊕	STANDARD LIGHT PREWIRE	⊕	ISO
⊕		⊕	ELECTRIC PANEL
⊕		⊕	METER BASE

LIGHTING SYMBOLS			
⊕	INCANDESCENT LIGHT	⊕	2 FLOOR SINGLE BULB
⊕	WALL MNT INCANDESCENT LIGHT	⊕	4 FLOOR SINGLE BULB
⊕	WALL WASH FIXTURE	⊕	4 FLOOR DOUBLE BULB
⊕	RECESSED LIGHT	⊕	4 FLOOR WRAP
⊕	BATH FAN AND LIGHT COMBINATION	⊕	ROPE LIGHTING
⊕	DOUBLE FLOOD LIGHT		
⊕	EMERGENCY LIGHT		

LOW VOLTAGE SYMBOLS			
⊕	SPEAKER	⊕	PUSH BUTTON/DOOR BELL
⊕	TV OUTLET	⊕	DATA OUTLET
⊕	TELEPHONE	⊕	THERMOSTAT
⊕	DOOR CHIME		



- Notes: unless otherwise noted.
- Electrical outlet heights as measured from finished floor to centered line of the box to be: 18" AFF (General)
 - 44" AFF GFI'S AT FRONT ENTRY
 - 34" AFF DOOR BELL PUSH BUTTON
 - 30" AFF THE SMOKE DET.
 - 12" AFF TO CHANDELER BOTTOM
 - 60" AFF CENTER OF VANITY LIGHTS
 - 42" AFF MICROWAVE OUTLET
 - 80" AFF VENTED HOOD
 - 2" AFF
- All new cables & devices to be garaged, where possible.
 - Electrical switches to be at 42" maximum above finished floor.
 - Electrical panel is intended for life purposes only. All work shall be done in strict accordance with the national electric code 2014 edition, by a licensed electrical contractor who shall be responsible for the installation & sizing of all electrical wiring & accessories.
 - Smoke detectors shall be in accordance with 2014 NEC 408.11 and listed in accordance with UL 217.
 - Provide AFCI (Arc-Fault Circuit Interrupter) protection as required to provide protection of the branch circuit in all dwelling units per NFPA 70 and the 2014 NEC, as defined in UL 1699.
 - Provide Tamper Resistant Receptacles as required by the 2014 NEC, 408.11.
 - 2015.10.1 Currents: Minimum Protection: current sensitive alarm or detector shall be installed in all dwelling units in accordance with NFPA 70. Such devices shall be listed by the appropriate standard, either ANSI/UL 2034, standard for single and multiple station CO alarms or UL 2075, gas and vapor detector alarm, according to the installation.
 - 2015.12 Carbon Monoxide: construction smoke/carbon monoxide alarm shall be permitted if such meets the applicable UL standard.
 - Keep all smoke detectors minimum of 30" from bathroom doors.
 - In new construction, smoke detectors shall be hardwired into an A/C electrical power service and shall be equipped with a monitored battery backup.
 - Bedroom exhaust fans must vent to the exterior of the building, ventilation to attic space and shall be not acceptable.
 - All doors and windows providing direct access from the home to the pool shall be equipped with an exit alarm complying with UL 2017 that has a minimum sound pressure rating of 85 dBA at 10 feet, and shall be hardwired or of the plug-in type. The exit alarm shall produce a continuous audible warning when the door or window is opened.
 - Add GFCI protection to receptacles in laundry rooms and utility rooms of dwellings where installed within 6' of the outside edge of a sink. This would include the receptacle installed for a washing machine. Receptacles outlets shall not be required or a wall directly behind a range or sink to 6' if the requirement for an outlet every 24". The width of the sink or range is not to be included in the spacing of the outlet unless the distance from the sink or range is greater than 12" for straight counter tops and 18" for sinks and ranges located in corner counters.

ELECTRICAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

Sunset Drive Remodel
Single Family Residence

1572 Sunset Dr,
Winter Park, FL 32789

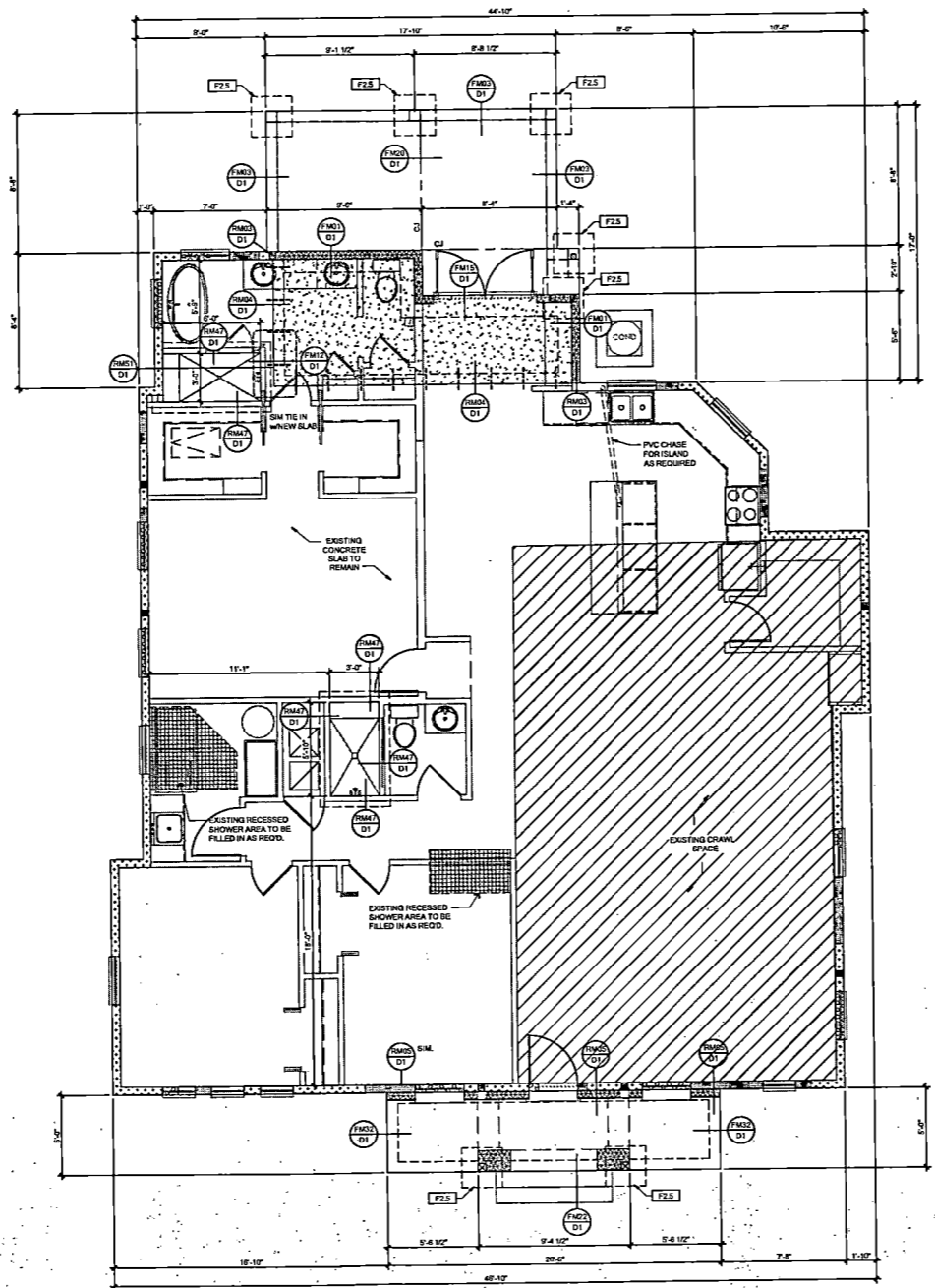
Reference No.
18-014

07

DATE: 04/17/2019

ELECTRICAL

NOT FOR CONSTRUCTION



FOUNDATION LEGEND	
SYMBOL	DESIGN DESCRIPTION
■	INDICATES FILLED CELL w/6000 PSI CONCRETE CONSTRUCTED PER DETAIL MS015N AND SPACED PER PLAN
[F2.5]	INDICATES CONCRETE FOOTING w/ MINIMUM SOIL BEARING CAPACITY OF 2000 PSF. REINFORCE PER GENERAL FOUNDATIONS SCHEDULE ON SHEET SN FOR DESIGN SPECIFICATIONS
---	INDICATES X" x 1" SAWED CONSTRUCTION JOINT COVERING A 12x12 SQUARE MAXIMUM
▲	INDICATES STEP IN FOUNDATION. VERIFY PER ARCHITECTURAL PLANS CONSTRUCT PER PLAN SECTION CUT AND DETAIL SHEET D1
◆	4" 2500 PSI CONC. SLAB w/ REINF. PER S0 w/ 8 MIL VISQUEEN VAPOR BARRIER & TREATED FOR TERMITES. SEE FOUNDATION SCHEDULE ON SN
■	INDICATES BUILT UP COLUMN. SEE FRAMING PLAN FOR SIZE. DETAIL WF375N FOR FLY ATTACHMENT, AND UPLEFT CONNECTION SCHEDULE ON SN FOR CONNECTION TO SLAB
GENERAL NOTES:	
1. TYPICAL CORNER FRAMING PER DETAIL FM19D1	
2. SEE ARCHITECTURAL PLANS FOR ALL SLAB STEP DEPTHS IF SHOWN WITHIN THESE DOCUMENTS	
FILLED CELL NOTES:	
1. SEE PLAN FOR ZONE MIDDLE AND END DESIGNATIONS	
2. PLACE FILLED CELLS AT ALL BUILDING CORNER, UNDER GIRDERS, BOTH ENDS OF EXTERIOR WALL OPENING, AND WHERE INTERIOR BEARING WALLS ARE PERPENDICULAR TO EXTERIOR MASONRY WALL.	
3. PLACE 1-#5 IN FIRST TWO CELLS ADJACENT TO GARAGE DOOR OPENING & ALL OPENINGS 6'-0" & LARGER. FILL CELLS SOLID.	
4. PLACE 1-#5 WHERE WOOD BEAMS CONNECT TO MASONRY WALL.	
5. DO NOT PLACE FILLED CELLS DIRECTLY IN LINE w/ STOVE VENT	
PLAN KEY NOTES	

BUILDER NOTE:
 ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO COMMENCEMENT OF CONSTRUCTION

WALL TYPE	
SYMBOL	DESIGN DESCRIPTION
▤	EXISTING WALL TO REMAIN
▥	EXISTING WALL TO BE DEMOLISHED OR w/ NEW OPENING
▧	EXISTING OPENING w/ NEW INFILL
▨	NEW FRAME WALL
▩	INDICATES BEARING WALL. SEE BEARING WOOD BEARING SCHEDULE ON SN
▪	NON BEARING INTERIOR WALL. COORDINATE w/ ARCHITECTURAL DRAWINGS FOR WALL LOCATIONS.

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

FDS ENGINEERS ASSOCIATES
 1572 SUNSET DR., WINTER PARK, FL 32789
 (407) 948-8888
 FLS 00000001, FLS 00000002, FLS 00000003, FLS 00000004, FLS 00000005, FLS 00000006, FLS 00000007, FLS 00000008, FLS 00000009, FLS 00000010, FLS 00000011, FLS 00000012, FLS 00000013, FLS 00000014, FLS 00000015, FLS 00000016, FLS 00000017, FLS 00000018, FLS 00000019, FLS 00000020, FLS 00000021, FLS 00000022, FLS 00000023, FLS 00000024, FLS 00000025, FLS 00000026, FLS 00000027, FLS 00000028, FLS 00000029, FLS 00000030, FLS 00000031, FLS 00000032, FLS 00000033, FLS 00000034, FLS 00000035, FLS 00000036, FLS 00000037, FLS 00000038, FLS 00000039, FLS 00000040, FLS 00000041, FLS 00000042, FLS 00000043, FLS 00000044, FLS 00000045, FLS 00000046, FLS 00000047, FLS 00000048, FLS 00000049, FLS 00000050, FLS 00000051, FLS 00000052, FLS 00000053, FLS 00000054, FLS 00000055, FLS 00000056, FLS 00000057, FLS 00000058, FLS 00000059, FLS 00000060, FLS 00000061, FLS 00000062, FLS 00000063, FLS 00000064, FLS 00000065, FLS 00000066, FLS 00000067, FLS 00000068, FLS 00000069, FLS 00000070, FLS 00000071, FLS 00000072, FLS 00000073, FLS 00000074, FLS 00000075, FLS 00000076, FLS 00000077, FLS 00000078, FLS 00000079, FLS 00000080, FLS 00000081, FLS 00000082, FLS 00000083, FLS 00000084, FLS 00000085, FLS 00000086, FLS 00000087, FLS 00000088, FLS 00000089, FLS 00000090, FLS 00000091, FLS 00000092, FLS 00000093, FLS 00000094, FLS 00000095, FLS 00000096, FLS 00000097, FLS 00000098, FLS 00000099, FLS 00000100

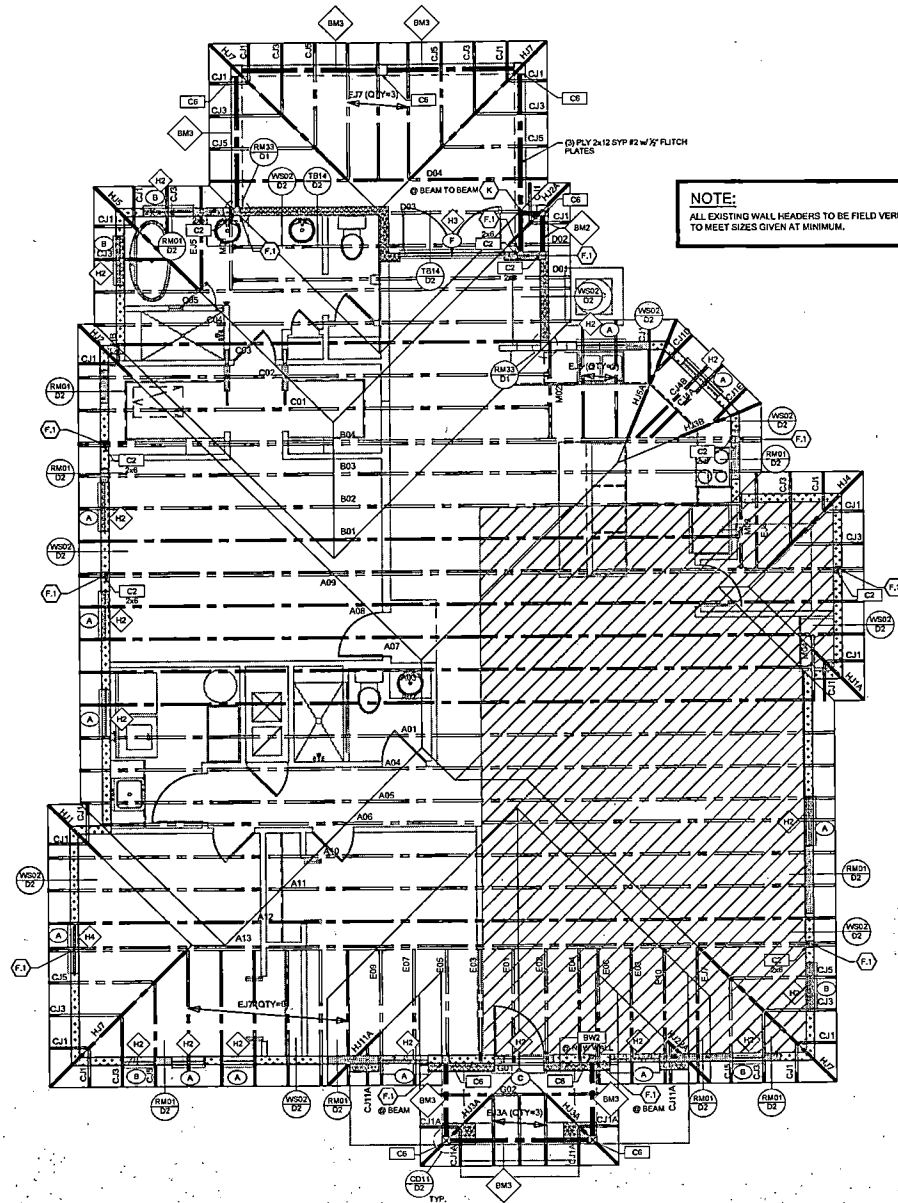
04/16/2019

To the best of the Engineer's knowledge, information and belief, the structural plans and specifications herein comply with the Florida Building Code, and the Engineer is not aware of any conflict with the applicable provisions of the Florida Building Code, and the Engineer is not aware of any conflict with the applicable provisions of the Florida Building Code.

Sunset Drive Remodel
 Single Family Residence
 1572 Sunset Dr.,
 Winter Park, FL 32789
 Reference No. 18-1773
 S1

DATE: 04/16/2019

NOT FOR CONSTRUCTION



MAIN FLOOR LEGEND	
SYMBOL	DESIGN DESCRIPTION
	INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN. SEE ARCHITECTURAL PLANS FOR WALL WIDTH, 2x4 MINIMUM U.O.N.
	INDICATES BUILT UP COLUMN. SEE FRAMING PLAN FOR SIZE. DETAIL W/375N FOR PLY ATTACHMENT AND UPLIFT CONNECTION SCHEDULE ON SN FOR CONNECTION TO SLAB
	INDICATES NO BOTTOM CONNECTOR REQUIRED
	INDICATES AN OPENING HEADER CONSTRUCTED PER HEADER SCHEDULE ON SHEET SN
	INDICATES STRUCTURAL BEAM SEE DESIGN AND ATTACHMENT SPECIFICATIONS PER BEAM SCHEDULE ON SHEET SN
	INDICATES UPLIFT CONNECTOR. SEE UPLIFT CONNECTOR SCHEDULE ON SHEET SN
	INDICATES WINDOW PRESSURE - SEE SN FOR MORE INFORMATION.
	INDICATES LINTEL PER LINTEL PLAN LI
FRAMING NOTES: 1. SEE WIND SPEED CHART ON SN FOR WINDOW PRESSURES	
GENERAL NOTES: 1. THE FRAMING PLAN SHOWN INDICATES THE TRUSS SYSTEM AND IS THE RESPONSIBILITY OF THE TRUSS SYSTEM ENGINEER (DESIGN PROFESSIONAL OF RECORD), THE TRUSS DESIGN ENGINEER (DELEGATED ENGINEER) HAS FINAL RESPONSIBILITY FOR EACH INDIVIDUAL TRUSS AND TRUSS PROFILE, AND IS TO SUBMIT A FINAL SET OF TRUSS ENGINEERING SIGNED AND SEALED TRUSS DRAWINGS TO DESIGN PROFESSIONAL OF RECORD FOR REVIEW PRIOR TO FABRICATION 2. ANY DISCREPANCY OR ERROR IN DIMENSIONS OR NOTES WITH IN THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL FOR CLARIFICATION PRIOR TO CONSTRUCTION. 3. SEE SHEET SN FOR DESIGN SCHEDULES AND NOTES: FOUNDATION SCHEDULE / COLUMN SCHEDULE / BEARING WALL SCHEDULE / BEAM SCHEDULE / HEADER SCHEDULE / CONNECTION SCHEDULE / FLOOR AND ROOF NOTES.	
PLAN KEY NOTES 1. G.C. VERIFY ALL WALLS EXISTING OR NEW STUDS 2x6 #2 SYP OR BETTER w/ SP1 & SP2 EACH STUD & 1/2" DIA A.B @ 32" O.C. w/ 7" EMBED * NOTIFY EOR OF EXISTING A.B. SIZE & SPACING	

BUILDER NOTE:
IF THE TRUSS LAYOUT SHOWN DOES NOT MATCH THE TRUSS MANUFACTURERS LAYOUT
STOP
AND CALL THE ENGINEER OF RECORD PRIOR TO PROCEEDING

FLOOR PLAN NOTES
1. O.C. / BUILDER SEE ARCHITECTURAL DRAWINGS FOR ROUGH OPENING LOCATIONS AND ADDITIONAL INFORMATION REQUIRED FOR DOOR AND WINDOW INSTALLATION ALONG WITH DIMENSIONS NOT SHOWN HERE

WALL TYPE	
SYMBOL	DESIGN DESCRIPTION
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED OR w/ NEW OPENING
	EXISTING OPENING w/ NEW INFILL
	NEW FRAME WALL
	INDICATES BEARING WALL SEE BEARING WOOD BEARING SCHEDULE ON SN
	NON BEARING INTERIOR WALL COORDINATE w/ ARCHITECTURAL DRAWINGS FOR WALL LOCATIONS.

ROOF & FRAMING PLAN
SCALE: 1/4" = 1'-0"

FDS ASSOCIATES
ARCHITECTS
1572 SUNSET DR.
WINTER PARK, FL 32789
TEL: 407.874.1111
FAX: 407.874.1112
P.O. BOX 18181
ORLANDO, FL 32816

DATE: 04/16/2019

To the best of the Engineer's knowledge, the design shown on these plans and specifications is based on the information provided to the Engineer and complies with the Florida Building Code and applicable laws, rules, regulations and codes and is not to be used for any other purpose without the Engineer's signature and seal.

Sunset Drive Remodel
Single Family Residence
1572 Sunset Dr,
Winter Park, FL 32789
Project No. 18-1773
S2

NOT FOR CONSTRUCTION

FOUNDATION SCHEDULE

MARK	SIZE	DEPTH	REINFORCING
[F15]	1'-0" x 1'-0"	1'-0"	2 #5 E.W. BOT.
[F20]	2'-0" x 2'-0"	1'-0"	3 #5 E.W. BOT.
[F23]	2'-0" x 2'-0"	1'-0"	3 #5 E.W. BOT.
[F25]	3'-0" x 3'-0"	1'-0"	4 #5 E.W. BOT.
[F33]	3'-0" x 3'-0"	1'-0"	4 #5 E.W. BOT.
[F40]	4'-0" x 4'-0"	1'-0"	5 #5 E.W. BOT.
[F45]	4'-0" x 4'-0"	1'-0"	5 #5 E.W. BOT.
[F50]	5'-0" x 5'-0"	1'-0"	6 #5 E.W. BOT.

GENERAL FOUNDATION NOTES:

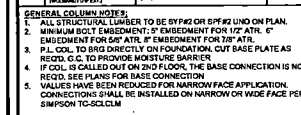
- PROVIDE MIN. 6 MIL APPROVED VAPOR BARRIER. ALL JOINTS TO BE LAPPED MIN. 6" AND SEALED.
- 4" MIN. PSI CONC. SLAB WITH MIN. 4 OVER 8 MIL VISQUEEN VAPOR BARRIER & TREATED FOR TERMITES.
- CO. BUILDER, SEE ARCH PLAN FOR ROUGH OPENING LOCATIONS AND ADDITIONAL INFORMATION (SEE ARCH PLAN FOR FOUNDATION INSTALLATION AND DIMENSIONS NOT SHOWN ON FOUNDATION SCHEDULE). ALL DIMENSIONS TO BE FROM FACE OF FOUNDATION UNLESS NOTED OTHERWISE. FOUNDATION MAY HAVE TO BE STEPPED DOWN. SEE ARCH PLAN FOR ADDITIONAL INFORMATION, C.G. TO DETERMINE STEP LOCATIONS, IF REQUIRED.
- NO MOUD STAKES PERMITTED IN FOUNDATION.
- FOUNDING SITE CONDITIONS. FOUNDATION MAY HAVE TO BE STEPPED DOWN. SEE ARCH PLAN FOR ADDITIONAL INFORMATION, C.G. TO DETERMINE STEP LOCATIONS, IF REQUIRED.
- STEEL BEAMS AND LAP SPICES SEE F81 AND F81M DET.
- ALL EQUIPMENT ANCHOR BOLTS INCLUDING ANCHORAGE SOURCE SHALL BE ELEVATED A MIN. OF 18". CONTRACTOR TO PROVIDE SUCH PLATFORM W/ EITHER MASONRY OR WOOD CONSTRUCTION.
- ASSUMED ALLOWABLE SOIL BEARING CAPACITY AFTER COMPACTION: 2000 PSF (SEE SOILS REPORT AND SPECIFICATIONS FOR COMPACTION METHODS). IF SOILS BEARING CAPACITY ON THE PROJECT DO NOT MEET OR EXCEED THE CAPACITY, THE GENERAL CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO FOUNDATION POUR FOR VERIFICATION OF FOUNDATION DESIGN. SOIL TO BE FREE OF ORGANIC MATERIAL AND COHESIVE SOILS. COMPACTION IN 12" LIFTS TO AT LEAST 95% MAX. DRY DENSITY AS DETERMINED BY ASTM - 1557 (MODIFIED PROCTOR).
- R. MIN. 18" MINIMUM DEPTH. ALL EXTERIOR FOOTINGS BOTTOM SHALL BE PLACED AT LEAST 12" BELOW THE UNDISTURBED SURFACE.

COLUMN SCHEDULE

MARK	COLUMN SIZE	FRST FLOOR BASE CONNECTIONS. SEE PLAN FOR SECOND FLOOR CONNECTIONS	UPLIFT (K)
[C1]	(2) 24" #2 SFP	(1) 12" TOENAILS	NO UPLIFT
[C2]	(3) 24" #2 SFP	DT12Z W/ ATR (1) X' X 1" SCS SCREWS	1635
[C3]	(2) 24" #2 SFP	(1) 12" TOENAILS	NO UPLIFT
[C4]	(2) 24" #2 SFP	DT12Z W/ ATR (1) X' X 1" SCS SCREWS	1635

GENERAL COLUMN NOTES:

- ALL STRUCTURAL LUMBER TO BE SPF #2 OR SPF #2 UNDO ON PLAN.
- MINIMUM JOINT EMBEDMENT: 3" EMBEDMENT FOR 1/2" ATR, 6" EMBEDMENT FOR 3/4" ATR, 9" EMBEDMENT FOR 1" ATR.
- P.L. COL. TO BE DIRECTLY ON FOUNDATION. CUT BASE PLATE AS NOTED. C. TO PROVIDE MOISTURE BARRIER.
- IF COL. IS CALLED OUT ON 2ND FLOOR, THE BASE CONNECTION IS NOT REQUIRED. SEE PLAN FOR BASE CONNECTION VALUES.
- VALUES HAVE BEEN REDUCED FOR NARROW FACE APPLICATION. CONNECTIONS SHALL BE INSTALLED ON WIDE FACE PER SIMPSON TOGGLE CLM.



BEARING WOOD WALL SCHEDULE

MARK	STUD SPACING	CONNECTION & FASTENERS	LUMBER SPECIES	UPLIFT CAP. (K)
[BW1]	16"	(1) 16d TOENAILS OR (1) 12d END OR BOX NAILS	#2 SFP	NO UPLIFT
[BW2]	16"	SP2 w/ (1) 10d NAILS	#2 SFP	402
[BW3]	16"	SP2 w/ (1) 10d NAILS	#2 SFP	804
[BW4]	16"	(1) 16d TOENAILS	#2 SFP	NO UPLIFT
[BW5]	16"	SP2 w/ (1) 10d NAILS	#2 SFP	402
[BW6]	16"	SP2 w/ (1) 10d NAILS	#2 SFP	804
[BW7]	12"	(1) 16d TOENAILS OR (1) 12d END OR BOX NAILS	#2 SFP	NO UPLIFT
[BW8]	12"	SP2 w/ (1) 10d NAILS	#2 SFP	535
[BW9]	12"	SP2 w/ (1) 10d NAILS	#2 SFP	1070
[BW10]	12"	(1) 16d TOENAILS OR (1) 12d END OR BOX NAILS	#2 SFP	NO UPLIFT
[BW11]	12"	SP2 w/ (1) 10d NAILS	#2 SFP	535
[BW12]	12"	(2) SP2 w/ (1) 10d NAILS	#2 SFP	1070

GENERAL BEARING WOOD WALL NOTES:

- VERIFY WITH PLAN CORRECT LENGTH OF HEADER REQUIRED.
- IF HEADERS ON THE 1ST FLOOR SEE PLAN FOR BEARING WALL TYPE AND FOLLOW INSTRUCTIONS WITHIN BEARING WALL SCHEDULE FOR RECORDED CORRECTIONS UNDO ON PLAN. IF ON 2ND FLOOR SEE PLAN FOR CORRECTIONS UNDO ON PLAN.
- ALL HEADER JACK AND KING STUDS SHALL BE FASTENED TO EACH PER DETAIL W/ STRIPS.
- IF HEADERS NOT SPECIFIED CONTACT E.O.R. FASTEN HEADERS TO KING STUDS W/ 12d TOENAILS PER SIDE W/ STRIP EA. END OF HEADER.
- CONNECTING HEADER TO JACK STUD. FASTEN HEADERS TOGETHER W/ 2 ROWS OF 12d @ 12" O.C. EA. SIDE.
- HEADER SIZES SHOWN ON PLAN ARE MINIMUM REQUIRED. THE CONTRACTOR SHALL HAVE THE OPTION TO ADD PILES OR INCREASE THE DEPTH OF THE HEADER IN ORDER TO PAD OUT FOR ACTUAL WALL THICKNESS.

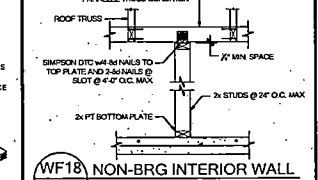
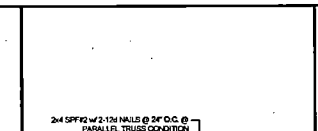
HEADER SCHEDULE

MARK	HEADER SIZE	HEADER NOTES
[H1]	2x6 #2 SFP	1. VERIFY WITH PLAN CORRECT LENGTH OF HEADER REQUIRED.
[H2]	2x8 #2 SFP	1. VERIFY WITH PLAN CORRECT LENGTH OF HEADER REQUIRED.
[H3]	2x10 #2 SFP	1. VERIFY WITH PLAN CORRECT LENGTH OF HEADER REQUIRED.
[H4]	2x12 #2 SFP	1. VERIFY WITH PLAN CORRECT LENGTH OF HEADER REQUIRED.



BEAM SCHEDULE

MARK	BEAM SIZE	SIMPSON - CONNECTIONS	USP - CONNECTIONS
[B1]	2x8 #2 SFP	WOOD POST (2) HTS20 SIMULATED COLUMN. (2) HET46 6" x 6" ON FRAMING PLAN	WOOD POST (2) HTS20 SIMULATED COLUMN. (2) HET46 6" x 6" ON FRAMING PLAN
[B2]	2x10 #2 SFP	WOOD POST (2) HTS20 SIMULATED COLUMN. (2) HET46 6" x 6" ON FRAMING PLAN	WOOD POST (2) HTS20 SIMULATED COLUMN. (2) HET46 6" x 6" ON FRAMING PLAN
[B3]	2x12 #2 SFP	WOOD POST (2) HTS20 SIMULATED COLUMN. (2) HET46 6" x 6" ON FRAMING PLAN	WOOD POST (2) HTS20 SIMULATED COLUMN. (2) HET46 6" x 6" ON FRAMING PLAN



SIMPSON - CONNECTOR SCHEDULE

MARK	TYPE	CONNECTION & FASTENERS	SPF	SYF
[A]	FRAME TO MASONRY	HEATX W/ (1) 1/2" O.D. HET20 W/ (2) 10d x 1 1/2"	1775	1810
[B]	FRAME TO FRAME	H2 SA W/ (1) 10d NAILS	535	600
[C]	FRAME TO FRAME	H12A W/ (1) 10d x 1 1/2" EXT. UPLIFT	1015	1340
[D]	FRAME TO FRAME	H12C W/ (1) 10d x 1 1/2" EXT. UPLIFT	1015	1340
[E]	FRAME TO MASONRY	H25 W/ (4) 10d x 1 1/2" EXT. UPLIFT	650	1000
[F]	FRAME TO MASONRY	H25 W/ (4) 10d x 1 1/2" EXT. UPLIFT	3300	3965
[G]	FRAME TO MASONRY	H25 W/ (4) 10d x 1 1/2" EXT. UPLIFT	1245	1450
[H]	FRAME TO MASONRY	H25 W/ (4) 10d x 1 1/2" EXT. UPLIFT	2430	2900
[I]	FRAME TO MASONRY	H25 W/ (4) 10d x 1 1/2" EXT. UPLIFT	6465	10060
[J]	FRAME TO MASONRY	H25 W/ (4) 10d x 1 1/2" EXT. UPLIFT	3650	5000
[K]	FRAME TO MASONRY	H25 W/ (4) 10d x 1 1/2" EXT. UPLIFT	4500-M	4100-F
[L]	FRAME TO MASONRY	H25 W/ (4) 10d x 1 1/2" EXT. UPLIFT	4785-M	4370-F
[M]	FRAME TO MASONRY	H25 W/ (4) 10d x 1 1/2" EXT. UPLIFT	4785-M	4370-F
[N]	BEAM TO BEAM	H14 OPT HUCK (1) W/ (1) 10d x (1) 10d	G2000	LH1825
[O]	BEAM TO MASONRY	H14 OPT HUCK (1) W/ (1) 10d x (1) 10d	G2000	LH1825
[P]	BEAM TO MASONRY	H14 OPT HUCK (1) W/ (1) 10d x (1) 10d	G2000	LH1825
[Q]	BEAM TO MASONRY	H14 OPT HUCK (1) W/ (1) 10d x (1) 10d	G2000	LH1825
[R]	FRAME TO MASONRY	H14 OPT HUCK (1) W/ (1) 10d x (1) 10d	G2000	LH1825
[S]	FRAME TO MASONRY	H14 OPT HUCK (1) W/ (1) 10d x (1) 10d	G2000	LH1825
[T]	FRAME TO MASONRY	H14 OPT HUCK (1) W/ (1) 10d x (1) 10d	G2000	LH1825
[U]	FRAME TO MASONRY	H14 OPT HUCK (1) W/ (1) 10d x (1) 10d	G2000	LH1825
[V]	FRAME TO MASONRY	H14 OPT HUCK (1) W/ (1) 10d x (1) 10d	G2000	LH1825
[W]	FRAME TO MASONRY	H14 OPT HUCK (1) W/ (1) 10d x (1) 10d	G2000	LH1825
[X]	FRAME TO MASONRY	H14 OPT HUCK (1) W/ (1) 10d x (1) 10d	G2000	LH1825
[Y]	FRAME TO MASONRY	H14 OPT HUCK (1) W/ (1) 10d x (1) 10d	G2000	LH1825
[Z]	FRAME TO MASONRY	H14 OPT HUCK (1) W/ (1) 10d x (1) 10d	G2000	LH1825

GENERAL SIMPSON CONNECTOR NOTES:

- CONNECT ALL FLOOR TRUSSES TO INTERIOR BEARING WOOD WALL BEAMS W/ (2) 12d TOENAILS.
- ALL TRUSSES TO TRUSS CONNECTIONS ARE PROVIDED BY TRUSS MANUFACTURER UNDO ON PLAN.
- O.C. MAY VARY EITHER SIMPSON OR USP CONNECTIONS. SEE FRAMING PLAN FOR CONNECTOR CALL OUT.
- FOR SINGLE PLY TRUSSES: SEAS OR FULL HEIGHT SPF #2 #4 TO TRUSS FOR MINIMUM ATR. EMBEDMENT FOR 7/8" ATR, 1" EMBEDMENT FOR 1" ATR, 1 1/2" EMBEDMENT FOR 1 1/2" ATR. AT STEEL DEPTH IS FROM LOWER LABEL.

MINIMAL CONNECTOR UNDO ON FRAMING PLAN

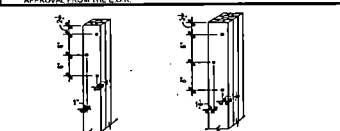
- MINIMAL CONNECTOR UNDO ON FRAMING PLAN
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GENERAL SIMPSON CONNECTOR NOTES:

- VERIFY WITH PLAN CORRECT LENGTH OF BEAMS REQUIRED (MIN 4" BEARING EACH END).
- SEE PLAN FOR TOP OR BOTTOM OF BEAM INDICATIONS.
- BEAMS ARE NOT TO BE DRILLED IN ANY WAY WITHOUT WRITTEN APPROVAL FROM THE E.O.R.



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TYPICAL WALL / ROOF SHEATHING SPECIFICATIONS AND NAILING

1. VERIFY WITH PLAN CORRECT LENGTH OF BEAMS REQUIRED (MIN 4" BEARING EACH END).

2. SEE PLAN FOR TOP OR BOTTOM OF BEAM INDICATIONS.

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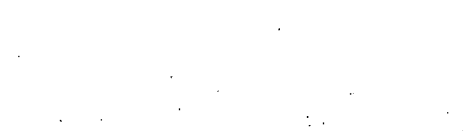
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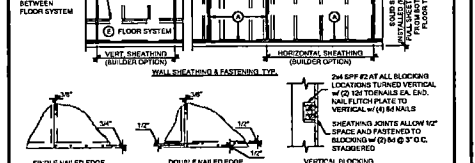
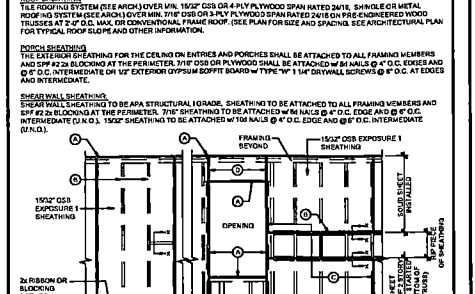
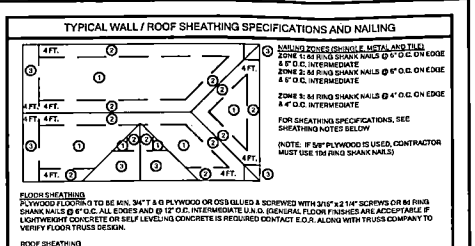
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FDS ENGINEERS ARCHITECTS

414 Main Street, Suite 300
Winter Park, FL 32789
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Fax: 407-740-1111
www.fdsarch.com

04/16/2019

TYPICAL WALL / ROOF SHEATHING SPECIFICATIONS AND NAILING

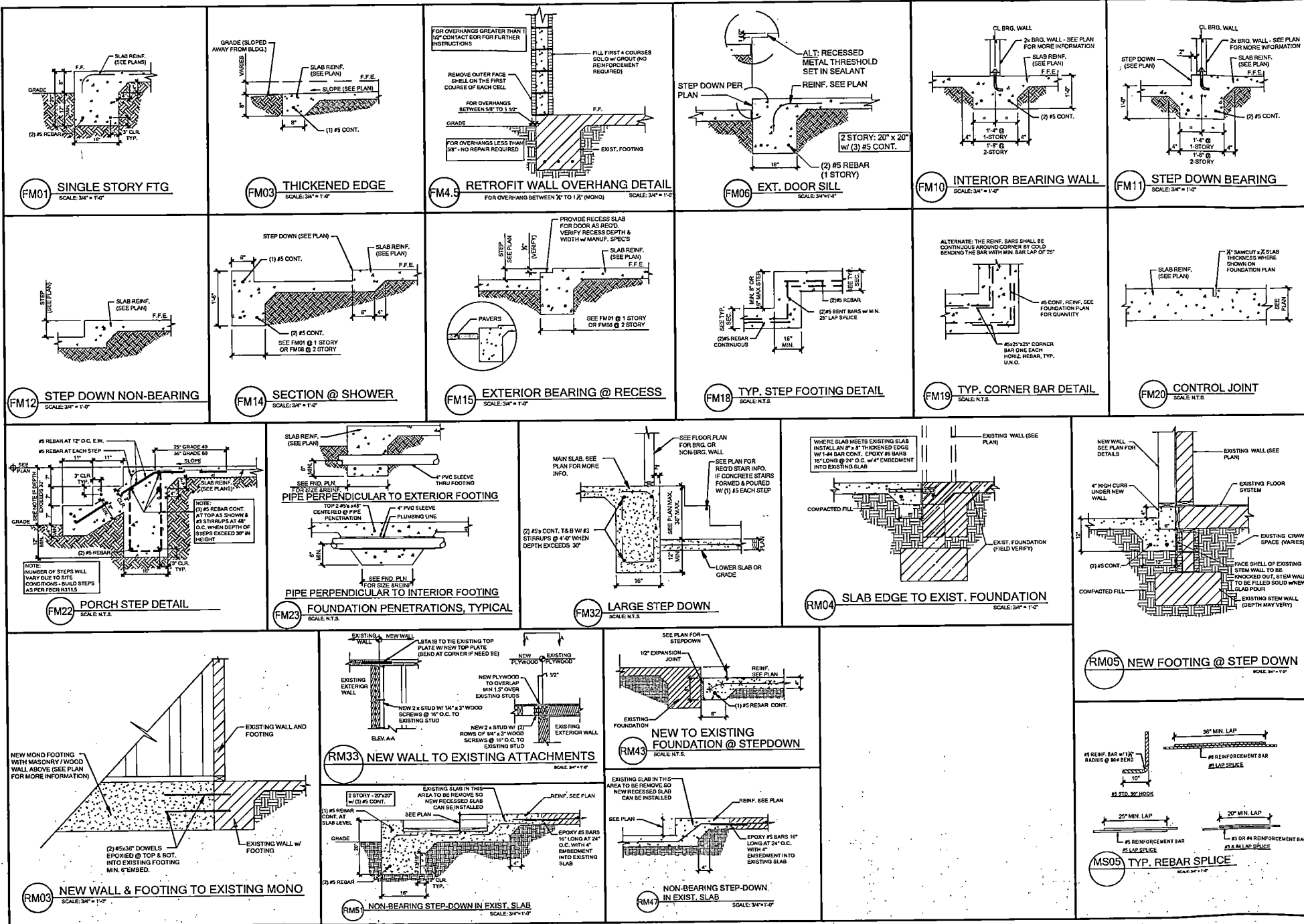
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FDS ENGINEERING ASSOCIATES
 1572 SUNSET DR.
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 1000 N. BRIDGE ST., SUITE 201
 WINTER PARK, FL 32789

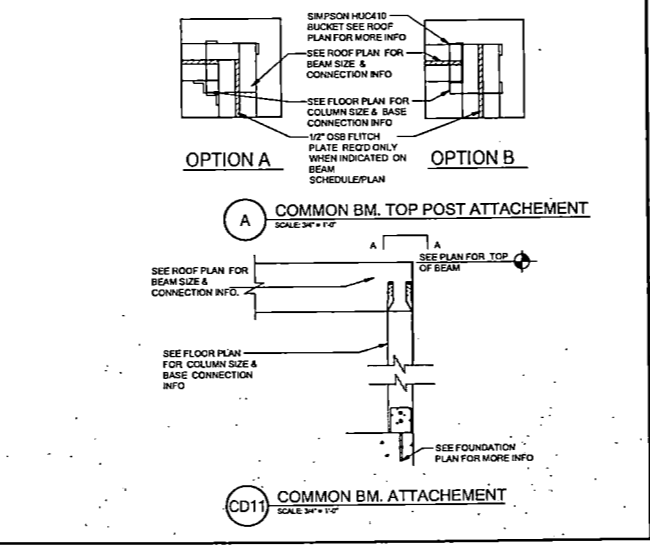
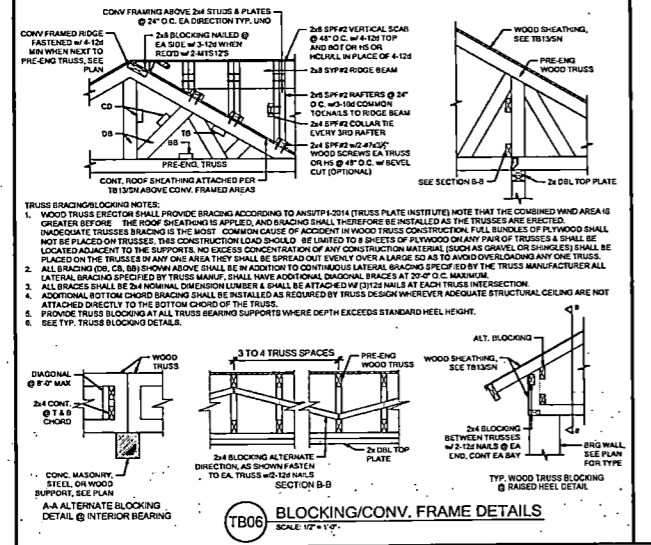
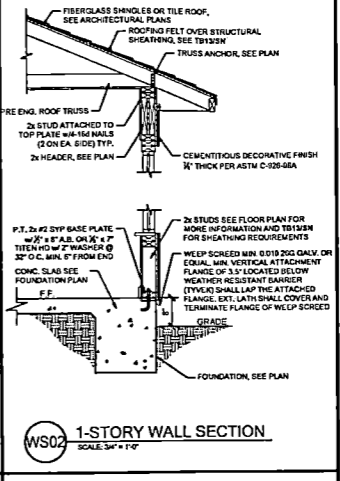
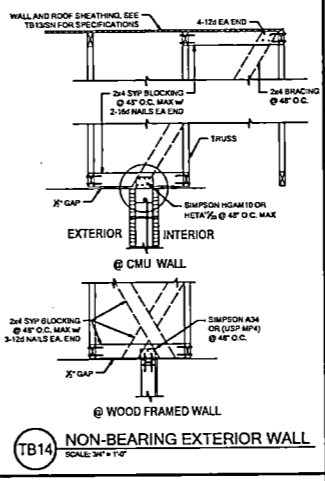
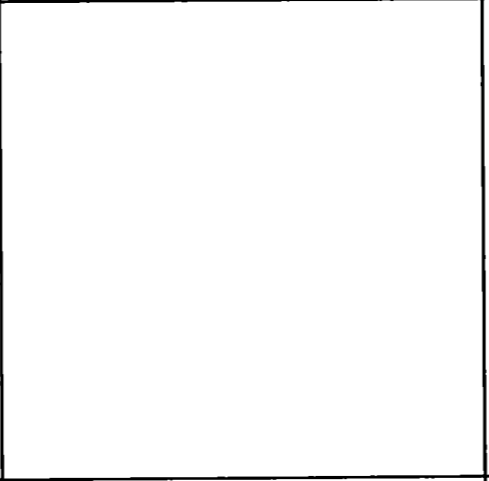
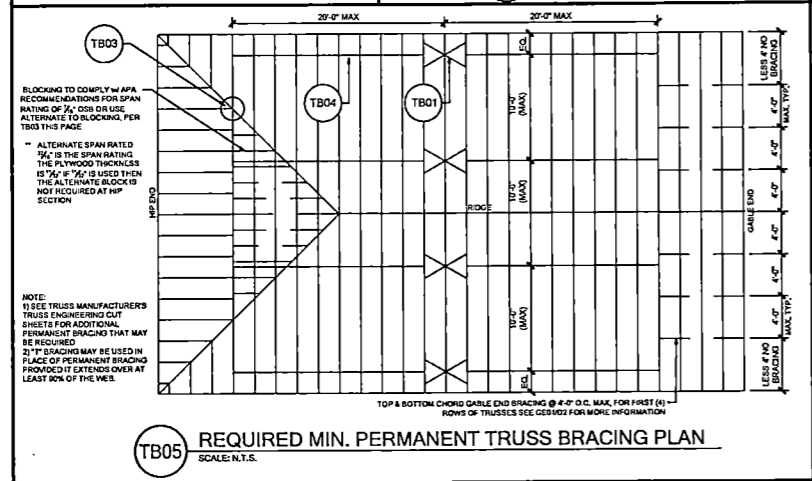
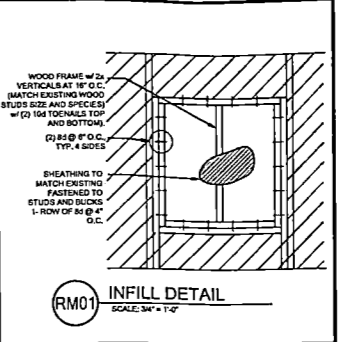
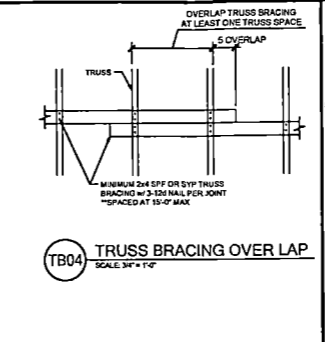
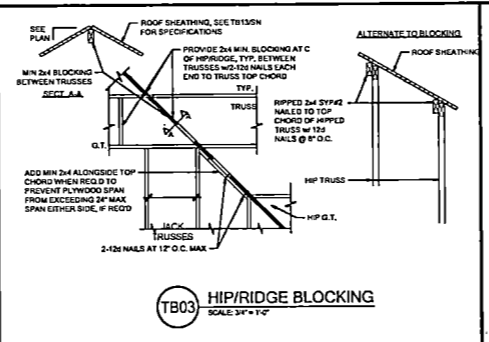
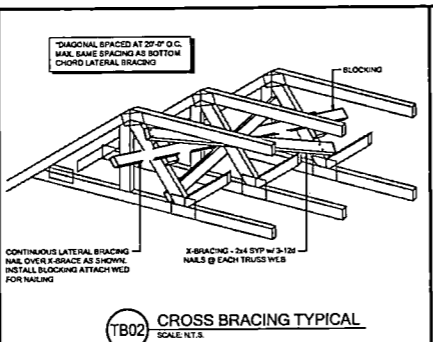
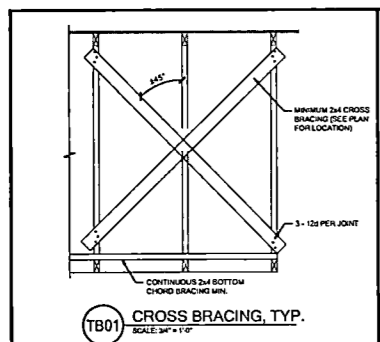
04/15/2019

18-1773

D1

Sunset Drive Remodel
 Single Family Residence
 1572 Sunset Dr.
 Winter Park, FL 32789
 04/15/2019

NOT FOR CONSTRUCTION



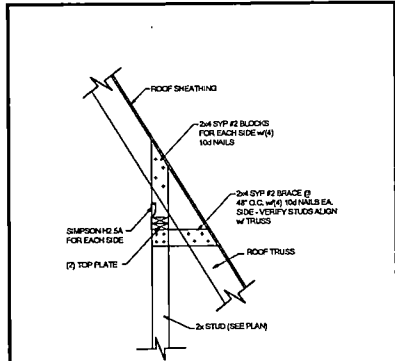
FDS ASSOCIATES
 2415 Madison Ave., Suite 3000
 Fort Lauderdale, FL 33309
 Phone: (954) 377-2041 Fax: (954) 377-2039
 Certificate of Accreditation No. 9191
 ORA: A. BOWEN, P.E., F.L.A., M.P.E.
 100% LOCAL OWNERSHIP

DATE: 04/16/2019

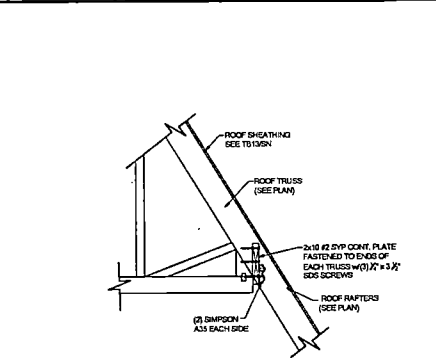
To the best of the Engineer's knowledge, information and belief, the structural plans and specifications contained herein were prepared and used in conformity with the Florida Building Code and the Florida Building Code, and the Engineer is not aware of any conditions, circumstances or facts which would render the plans and specifications incomplete or incorrect.

Sunset Drive Remodel
 Single Family Residence
 1572 Sunset Dr.
 Winter Park, FL 32789
 Reference No. 18-1773
 D2

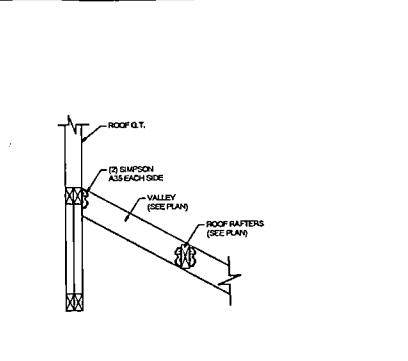
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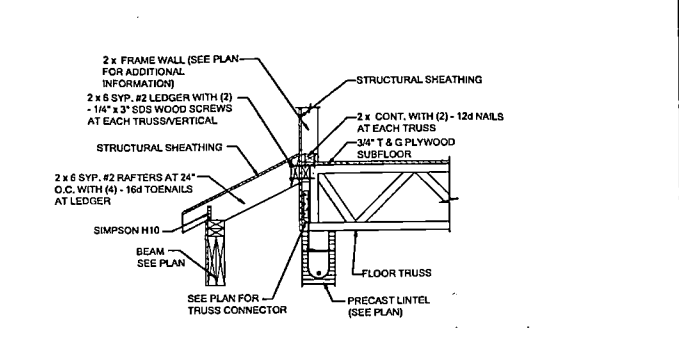
1 14/12 PITCH TRUSS CONNECTION
SCALE: 3/4" = 1'-0"



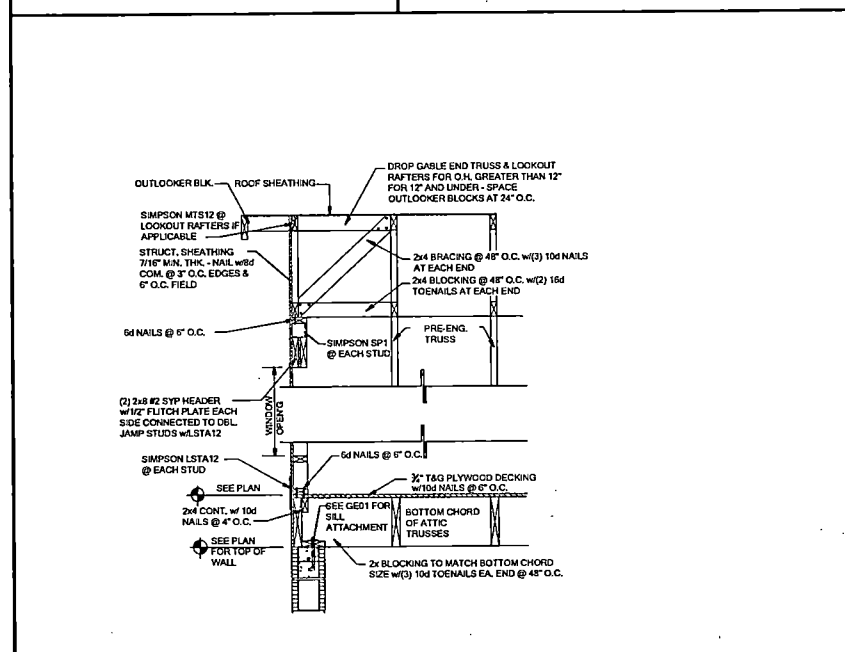
2 ROOF RAFTERS CONNECTION DETAIL
SCALE: 3/4" = 1'-0"



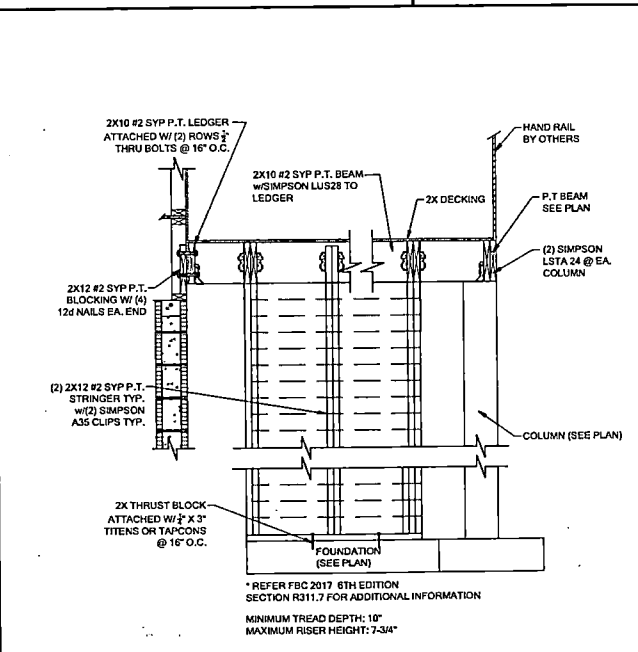
3 VALLEY CONNECTION DETAIL
SCALE: 3/4" = 1'-0"



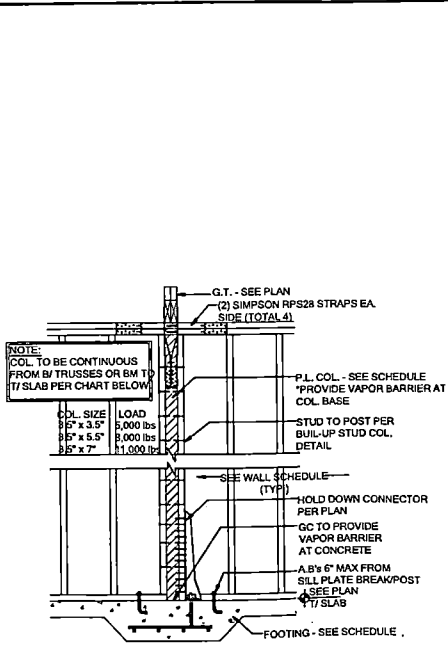
CF16 CONN. FRAME PORCH SECTION
SCALE: 3/4" = 1'-0"



GE11 SECTION @ GABLE ATTIC
SCALE: 3/4" = 1'-0"



SD07 BONUS ROOM STAIR SECTION
SCALE: 3/4" = 1'-0"



CD25 PARALLAM COLUMN DETAIL
SCALE: 3/4" = 1'-0"

FDS
ENGINEERING ASSOCIATES
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www.fds-engineering.com
Professional Engineer License No. 15919
Professional Engineer License No. 15920

04/16/2019

In the field of the Engineer's knowledge, information and basis of the structural plans and specifications contained herein, the Engineer's work is limited to the 2018 Florida Building Code for Residential, the Engineer's work is not intended to apply for the structural engineering portion of an existing project under a Engineer's signature and stamp.

RELEASE

COL. SIZE	LOAD
3.5" x 3.5"	5,000 lbs
5.5" x 5.5"	8,000 lbs
7.5" x 7.5"	11,000 lbs

NOTE:
COL. TO BE CONTINUOUS FROM BT TRUSSES OR BM TO 17' SLAB PER CHART BELOW.G.T. - SEE PLAN
(2) SIMPSON RPS28 STRAPS EA. SIDE (TOTAL 4)
P.L. COL. - SEE SCHEDULE
*PROVIDE VAPOR BARRIER AT COL. BASE
STUD TO POST PER BUILD-UP STUD COL. DETAIL
SEE WALL SCHEDULE (TYP)
HOLD DOWN CONNECTOR PER PLAN
GC TO PROVIDE VAPOR BARRIER AT CONCRETE
A.B's 6" MAX FROM SILL PLATE BREAKPOST - SEE PLAN
FOOTING - SEE SCHEDULE

Sunset Drive Remodel
Single Family Residence
1572 Sunset Dr,
Winter Park, FL 32789
04/16/2019
Reference No.
18-1773
D3

NOT FOR CONSTRUCTION



THIS PHOTO WAS TAKEN FROM BACK YARD 1572 SUNSET DRIVE. THE BLUE ARROW MARKED A #1 POINTS TO THE NEIGHBOR'S GARAGE AT 1562 SUNSET DRIVE, AND THE ARROW MARKED #2 POINTS AT THE MAIN HOUSE AT 1562 SUNSET DRIVE.

YOU CAN SEE THE DISTANCE BETWEEN THE TWO HOUSES AND THE TREES IN BETWEEN. PLEASE KEEP IN MIND THAT THE EXISTING WALLS AT MY HOUSE ARE ABOUT 1 ½ FEET HIGHER IN ORDER TO COVER THE AIR DUCTS AND THE A/C UNIT THAT SITS ON TOP OF THE ROOF.

MAIN REASON FOR MY REQUEST FOR NEW TRUSSES AND ROOF IS BECAUSE A SYSTEM THAT SITS ON TOP OF A HOME, EXPOSED TO THE ELEMENTS, IS NOT ENERGY EFFICIENT.



THIS PHOTO WAS TAKEN FROM THE BALCONY AT 1574 SUNSET DRIVE. THE BLUE ARROW ON BY THE TREES IS POINTING TOWARDS THE PROPERTY AT 1562 SUNSET DRIVE, WHICH IS LOCATED BEHIND THE TREES.

THE ONLY SUN LIGHT WE COULD BLOCK IS THE SUNSET, BECAUSE MY HOUSE IS WEST OF 1562 SUNSET DRIVE; HOWEVER, THE TREES AND THE TWO STORY HOUSE AT 1574 SUNSET DRIVE ARE MUCH HIGHER THAN WHAT MY HOUSE WILL BE ONCE A ROOF GETS INSTALLED.