

Board of Adjustments



December 18, 2018 at 5 p.m.

Commission Chambers • City Hall Second Floor
401 South Park Avenue • Winter Park, Florida

1 Opening comments

2 Approval

Minutes for the November 20, 2018 meeting. _____

3 Old Business

1. Request of Giavonni Fernandez for variances to allow re-construction of a home within the side setbacks at 7.5 feet to the 1st and 2nd floors, in lieu of the required setbacks of 18 feet and 25 feet respectively. _____

Located at 181 Virginia Dr.

Zoned R-1AAA

4 New Business

1. Request of Susan Miller on behalf of Valerie Woska for a variance to allow the construction of a building addition with a front setback of 26.3 feet in lieu of the required front setback of 35 feet. _____

Located at 210 Trismen Terrace

Zoned R-1AA

2. Request of Michael & Melissa Daugherty for variances to allow the construction of a pool cabana located 5 feet from the rear lot line and to allow 181 square feet of enlargement of the existing nonconforming pool screen enclosure at a rear setback of 5 feet, in lieu of the required setback of 10 feet respectively, and in lieu of allowed pool screen area (8% of lot area) from 1,143 square feet to 1,324 square feet. _____

Located at 441 E. Kings Way

Zoned R-1AA

appeals & assistance

If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. F.S. 286.0105

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office 407-599-3277 at least 48 hours in advance of the meeting.

VARIANCE APPLICATION
BUILDING AND CODE ENFORCEMENT

Building & Code Enforcement Division
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received 12/4/2018
Assigned OLD BUSINESS #1
Date of Hearing 12/18/2018

Name: Phil Kean Designs

Owner: Giovanni Fernandez

912 W Fairbanks Ave
(Address)

181 Virginia Dr.
(Address)

Winter Park, FL 32789
(City, State) (Zip)

Winter Park FL 32789
(City, State) (Zip)

407-599-3922
(Phone - Home)

(516) 381-3810
(Phone - Home)

roger@philkeandesigns.com
(Phone - Work or Cell)

(702) 296-6945
(Phone - Work or Cell)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section 58-69, Paragraph C, Zoning _____.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of property 181 Virginia Dr.

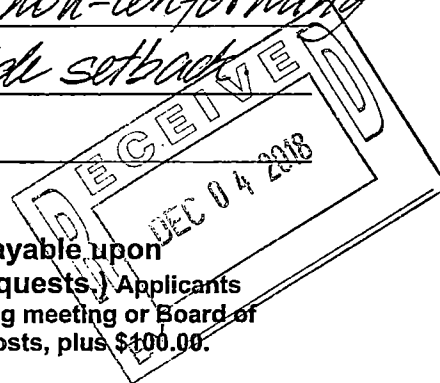
Legal description of property Lot 4 and 5, Block A Ellen-willo According to the plat thereof, as recorded in Plat Book K, Page 15 of the Public Records of Orange County, Florida

Describe variance request

Replacement of existing roof on non-conforming structure. Building sits in current side setback. Structure was built in 1925.

*This section may be left blank for completion by city staff.

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.



Variance Application
Page 2 of 2

What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

In order to update roof structure with hurricane proof standards, roof need to be replaced. Because building sits on setback, variance is needed.

How long have you owned the property? 04/2018.

How long have you occupied the property? Not Yet.

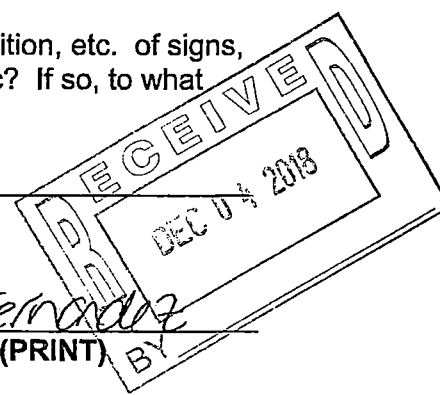
What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

Upgrade roof to ^{current} Building Code Standards.

Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

A renovation is being planned for the building and roof needs to be replaced. The current structure cannot be tied down to current code standards.

Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?



[Signature]
Signature of Applicant

10/25/18
Date

Giovanni Fernandez
Name of Applicant (PRINT) BY



TO: BOARD OF ADJUSTMENTS MEMBERS

FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS

DATE: DECEMBER 18, 2018

SUBJ: FERNANDEZ VARIANCE REQUEST, 181 VIRGINIA DRIVE

The applicant is requesting variances to allow a major remodel and partial re-construction of a home within the side setbacks at 7.5 feet to the 1st and 2nd floors whereas the required setbacks are 18 feet and 25 feet respectively.

The existing two story home footprint is located on this large lakefront property with an orientation that is very close to the west side lot line. The owner desires to substantially upgrade the home and be fully compliant with current wind code standards for this structure including the roof.

At the closest point to the west side lot line the home has a setback of 7.5 feet, however, the setback of the home increases along the side to nearly 17 feet at the rear. The angle of the increasing side setbacks minimizes the impact of the setback encroachments without having one continuous wall at the 7.5 foot setback.

The property is very large with nearly 30,000 square feet of land area and has the shape of a parallelogram with side lot lines angling back from the street front. With the proposed improvements the floor area ratio and impervious coverage allowances are not exceeded.

We have received 4 letters expressing no objections to the variances requested from nearby neighbors.

We have received a petition signed by 75 residents representing over 35 household in the vicinity of this property expressing opposition to the variance requests. The essence of the opposition is concern over the size of the home and the loss of a historic home in this neighborhood, although not officially listed on the City's Registry of Historic Homes. However, the architect has taken measures to try to capture some of the features of the home, which he will explain in much greater detail.

Although the size of the home is a point of concern, if the existing home is completely demolished, with larger side setbacks the gross area of the home would be permitted to have an area of approximately 11,200 square feet. Perhaps the applicants with their architect could meet with key representatives of the

CITY OF WINTER PARK

401 Park Avenue South

Winter Park, Florida

32789-4386

neighborhood to further address ways to continue to capture more the historic nature of the existing home.

Options for the Board:

- 1) Approve the request as presented.
- 2) Deny the request as presented.
- 3) Consider a less severe encroachment if the designer can come back with a plan that captures more of features of the existing home in recognition of its historic significance.
- 4) Table the request and ask the applicant to explore more architectural design options that capture the historic nature of the home.

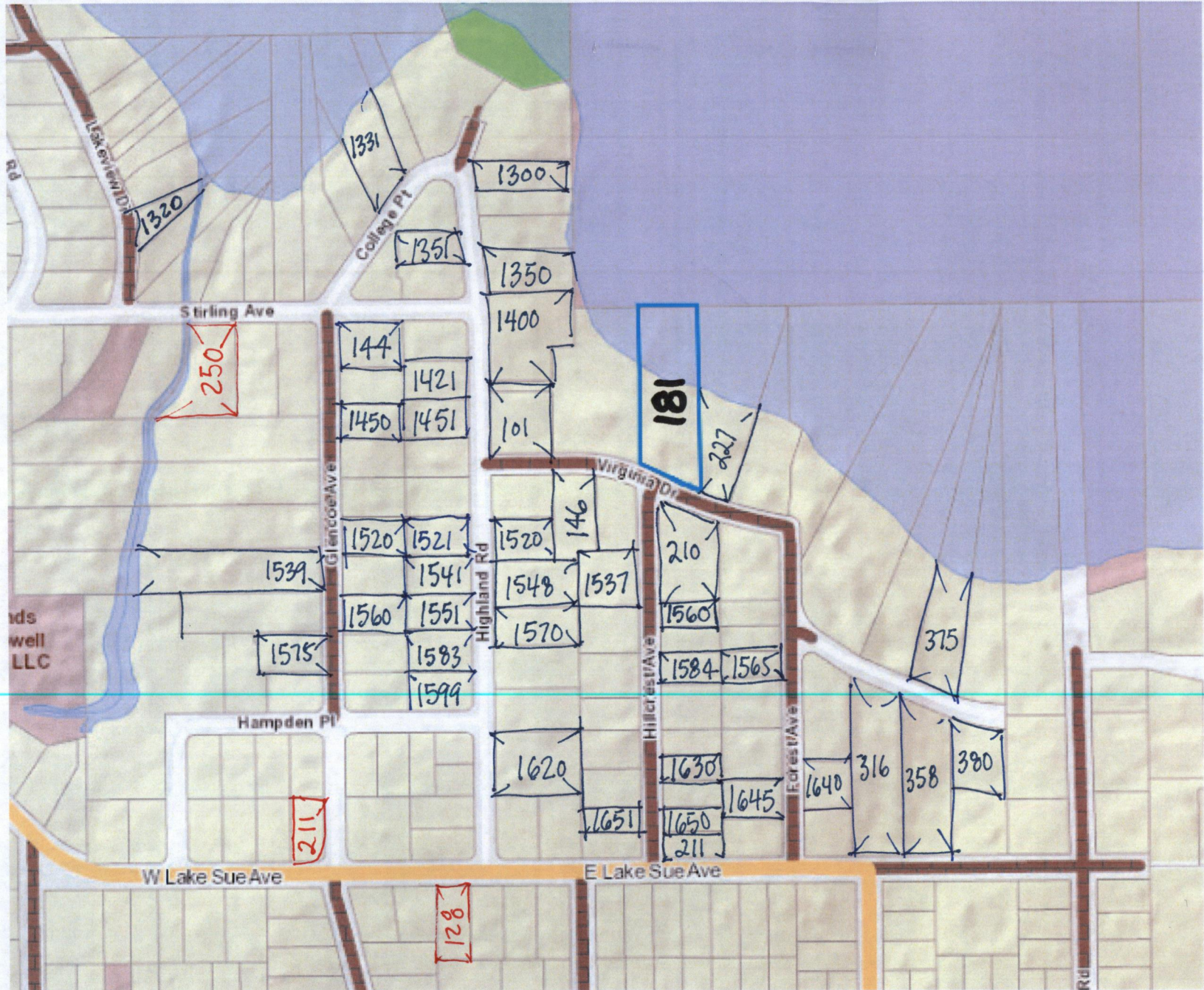
Findings to consider to approve the request:

The existing nonconforming side setbacks have existed since the home was built in 1925 and the applicant is taking measures to provide some semblance of the existing historic home in the design of the re-built portions of the home.

Findings to consider to deny the variance request:

Since the amount of demolition of the existing home exceeds 50% of the value of the home, no clear hardship or evidence of meeting the criteria for granting a variance found in Section 58-92(c)(1) of the Winter Park Zoning Code has been proven that necessitates granting a variance to allow continuation of the existing nonconforming side setbacks.

181 VIRGINIA DR





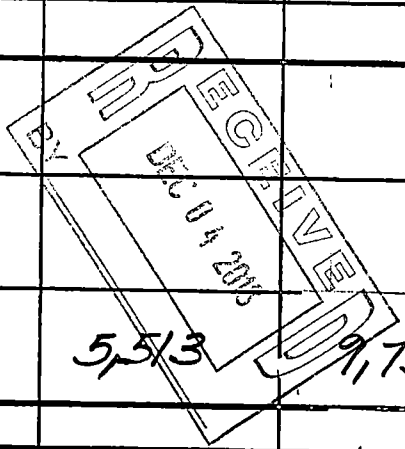
SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address: 181 Virginia Drive
 Submitted by: Phil Kean Designs

Lot width²: 140'
 Lot area³: 59,887 / 29,841 sqft (dry land)

	Maximum % Allowed ⁴	Existing Area ¹⁰	Additional Proposed Area ¹⁰	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, etc.	2 story - 50%			11,470.6	19,920
	1 story - 60%				
FLOOR AREA RATIO (F.A.R.)^{5,6} For one and two story bldgs (include 1st & 2nd floors, garages/carpools, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁷ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁸ .	Lots < 11,600 sf: Use <u>38%</u> Base FAR or w/ increased side setbacks: <u>43%</u> Max FAR				
	Lots 11,600 sf to 13,600 sf Use <u>4,500 sf</u> Base area & <u>5,200 sf</u> Maximum area				
	Lots > 13,600 sf Use <u>33%</u> Base FAR or w/ increased side setbacks: <u>38%</u> Max FAR	4,726	5,513	9,739	9,848
SCREEN POOL ENCLOSURE	8% ⁹				
	Minimum % Required	Existing Area ¹⁰	Landscape Area Reduced ¹⁰	New Total Area	Minimum Required Area
FRONT YARD LANDSCAPE COVERAGE Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious). Front Lot Area:	50%				



- NOTES:**
1. Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
 2. Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director. For a proposed home, determine the front setbacks as described on page 2.
 3. Submerged lands or land across the street shall not be included.
 4. Percentage based on the lot area.
 5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft maximum width and 2.5 ft back from the required setback, occupying 45% of roof area within the same roof plane.
 6. See page 3 on how to achieve maximum F.A.R.
 7. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
 8. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to be utilized up to 300 sf of the total 500 sf excludable gross floor area. Utilizing this exemption requires a deed covenant to be recorded, outlining the restrictions precluding the enclosing of side and/or rear porches; and enclosing and screening of front porches.
 9. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
 10. These columns only apply to existing homes.

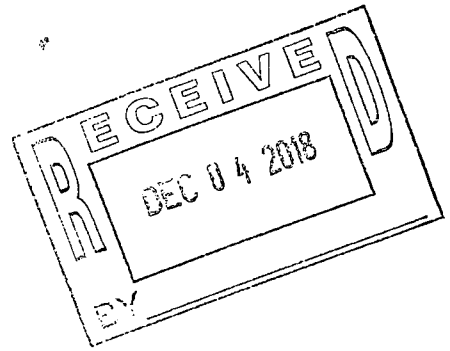
SETBACKS (complete boxes A and B first)

		Minimum Allowable Dimensions		Existing	Proposed
FRONT	Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.			<i>46'-7"</i>	<i>46'-7"</i>
SIDES^{1,2} (see other side setback options on pg 4)	1st Floor	See pages 3&4	A	<i>7.5'</i> Left <i>Right</i> <i>7.5'</i>	<i>7.5'</i> Left <i>Right</i> <i>7.5'</i>
	2nd Floor		B		
REAR^{1,3,4}	1st Floor	25 ft		<i>107'</i>	<i>107'</i>
	2nd Floor	35 ft ⁵			
	Lakefront	see note 6		<i>107'</i>	<i>107'</i>
CORNER LOT	1st Floor	Lot width ≤ 65 ft	15 ft		
		Lot width > 65 ft ⁷	20 ft		
	2nd Floor	Lot width ≤ 65 ft	15 ft		
		Lot width > 65 ft ⁷	22.5 ft		
BUILDING HEIGHT^{8,9,10,11,12}	30 ft - 35 ft plus 2 ft or 40 ft (see notes 11 & 12)			<i>28'</i>	<i>28'</i>

Notes:

1. Any building wall that exceeds 12 ft in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
2. Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft and interior side setback is 5 ft minimum (no gable end allowed) for garages up to 600 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
3. Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft in width may be 10 ft.
4. Accessory buildings: garage/carport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. Other accessory buildings used for habitation shall meet setbacks of the main residence.
5. The rear setback may be reduced to 25 ft for two-story components when those consist of a second story loft or mezzanine that is within the normal scale and 18-ft max height of a typical one-story structure.
6. Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft or 50 ft, whichever is greater, measured from ordinary high water line.
7. Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft with 1st and 2nd floor setbacks of 25 ft may reduce the rear setback by 5 ft on each floor.
8. Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
9. No building or portion thereof shall exceed 30 ft in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft additional building height.
10. Accessory building that exceeds 18 ft in height shall meet the same setbacks as the principal building on the property.
11. Properties or lots with at least 80 ft of width at the building line are permitted to have a building height of 35 ft if the side setbacks are increased to 20 ft at 30 ft above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft of additional building height.
12. Properties or lots exceeding 50,000 sq.ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft if side setbacks are increased to 35 ft to the portion of the roof over 30 ft in height.

Winter Park, 12 / 3 / 2018



To Whom It May Concern,

I, Michelle Gardner

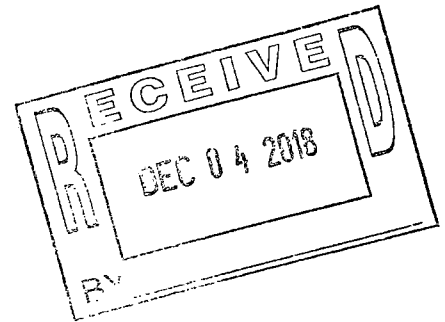
Resident of 250 Stirling Ave
Winter Park, FL 32789

have reviewed the Architectural Plans for the Renovation/Addition of 181 Virginia Drive presented to me by Giovanni Fernandez and Elise Sabatino, and therefore have no objections to the Variance Request Presented to the Board of Adjustments that will allow for the replacement of the Existing Non-conforming Roof currently sitting on the West Side Setback of the Property.

I do understand that the denial of this Variance will force the Homeowner to demolish the Non-Conforming portion of the Residence in order to bring the remaining Residence up to Current Building Code.

Michelle Gardner

Winter Park, 12 / 01 / 2018



To Whom It May Concern,

I, Jeffrey Husby

Resident of 211 West Lake Sue

Winter Park, FL

have reviewed the Architectural Plans for the Renovation/Addition of 181 Virginia Drive presented to me by Giovanni Fernandez and Elise Sabatino, and therefore have no objections to the Variance Request Presented to the Board of Adjustments that will allow for the replacement of the Existing Non-conforming Roof currently sitting on the West Side Setback of the Property.

I do understand that the denial of this Variance will force the Homeowner to demolish the Non-Conforming portion of the Residence in order to bring the remaining Residence up to Current Building Code.

Jeffrey Husby



Winter Park, 12/1/18

To Whom It May Concern,

1. Perry + Trish Teague

Resident of 1841 Shiloh Lane

have reviewed the Architectural Plans for the Renovation/Addition of 181 Virginia Drive presented to me by Giovanni Fernandez and Elise Sabatino, and therefore have no objections to the Variance Request Presented to the Board of Adjustments that will allow for the replacement of the Existing Non-conforming Roof currently sitting on the West Side Setback of the Property.

I do understand that the denial of this Variance will force the Homeowner to demolish the Non-Conforming portion of the Residence in order to bring the remaining Residence up to Current Building Code.

Trish Teague



Winter Park, 12 / 1 / 2018

To Whom It May Concern,

I, Nancy W Cordill

Resident of 128 W Lake Sue Ave.

Winter Park, Fh 32789

have reviewed the Architectural Plans for the Renovation/Addition of 181 Virginia Drive presented to me by Giovanni Fernandez and Elise Sabatino, and therefore have no objections to the Variance Request Presented to the Board of Adjustments that will allow for the replacement of the Existing Non-conforming Roof currently sitting on the West Side Setback of the Property.

I do understand that the denial of this Variance will force the Homeowner to demolish the Non-Conforming portion of the Residence in order to bring the remaining Residence up to Current Building Code.

Nancy W. Cordill

schematic design

FERNANDEZ

Residence

RECEIVED
DEC 04 2018



PHIL KEAN

ARCHITECTURE

DISCLAIMER: ARTISTIC CONCEPTUAL RENDERING. MATERIALS, SPECIFICATIONS AND DETAILS ARE SUBJECT TO CHANGE. THIS INFORMATION IS PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY

schematic design

FERNANDEZ

Residence



RECEIVED
DEC 04 2018



PHIL KEAN
ARCHITECTURE

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schematic design

FERNANDEZ

Residence



PHIL KEAN

ARCHITECTURE

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RECEIVED
DEC 04 2018

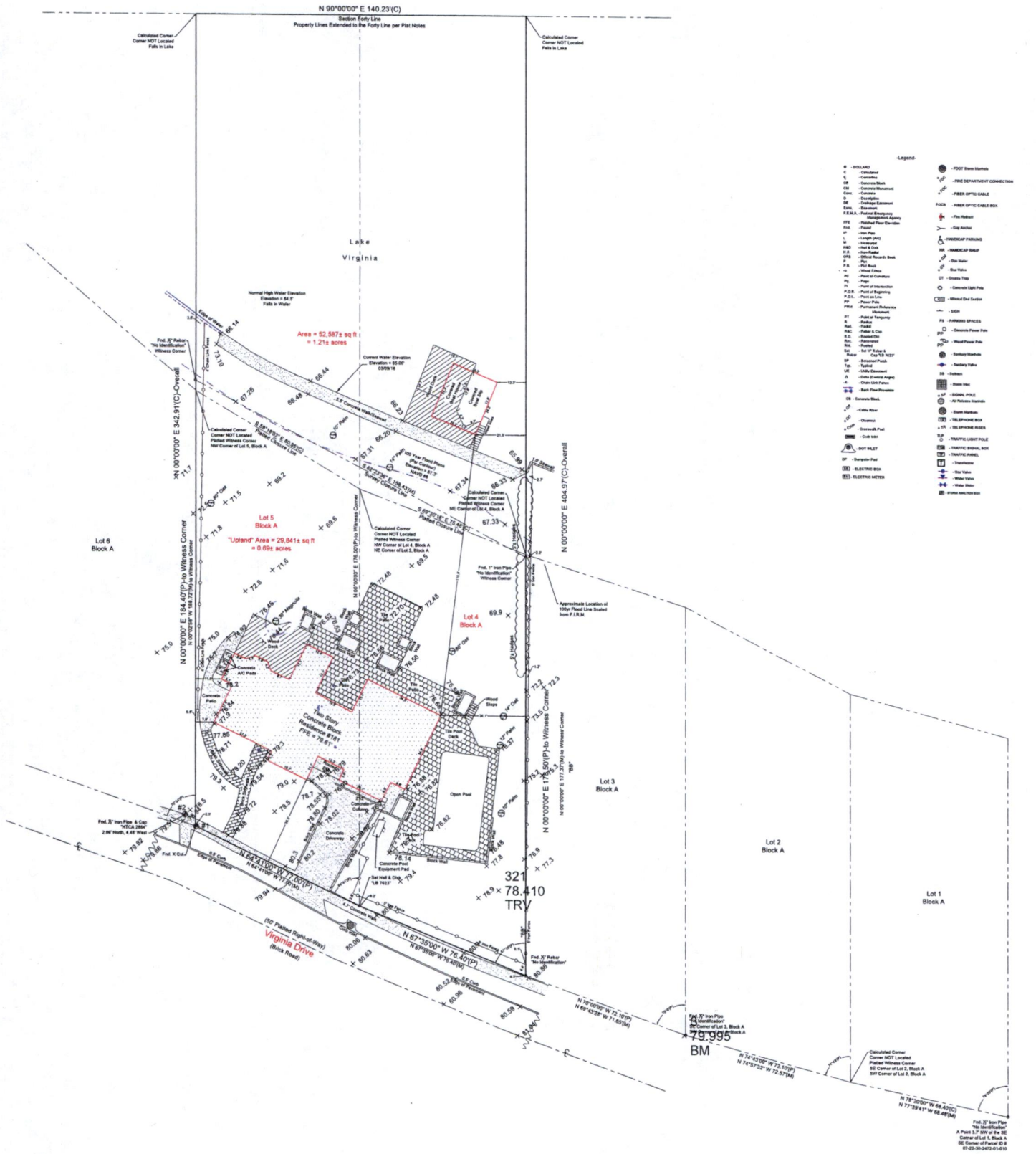
Boundary Survey

Legal Description:
LOT 4 AND 5, BLOCK A ELLNO-WILLO ACCORDING TO THE
PLAT THEREOF, AS RECORDED IN PLAT BOOK K, PAGE 15 OF
THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

Flood Zone: X & AE Parcel: 12090C-0205F Community Authority performing a search with the local governing municipality or www.florid.gov, the property
appears to be located in zone X & AE. This Property was found in City of Winter Park, community number 120788, dated 8/25/2009 per 1/01/04 Date: 9-25-09

CERTIFIED TO:
PHIL KEAN DESIGNS

Parcel ID#
07-22-30-0000-00-005



Legend

P	POLE	○	FOOT FIRE MAST
E	ESTABLISHED	○	FOOT FIRE MAST CONNECTION
CP	CORNER	-	PIPE DEPARTMENT CONNECTION
CM	COMMON MAST	-	PIPE OPTIC CABLE
CA	CORNER AREA	-	PIPE OPTIC CABLE BOX
DE	DEPARTMENT	-	PIPE OPTIC CABLE BOX
SE	SURVEY	-	PIPE OPTIC CABLE BOX
F.A.	FIRE ALARM	-	PIPE OPTIC CABLE BOX
F.E.M.A.	FIRE EMERGENCY MANAGEMENT AGENCY	-	PIPE OPTIC CABLE BOX
F.P.E.	FIRE PROTECTION ENGINEER	-	PIPE OPTIC CABLE BOX
F.P.	FIRE PROTECTION	-	PIPE OPTIC CABLE BOX
F.P.C.	FIRE PROTECTION CODE	-	PIPE OPTIC CABLE BOX
F.P.B.	FIRE PROTECTION BOARD	-	PIPE OPTIC CABLE BOX
F.P.O.	FIRE PROTECTION OFFICER	-	PIPE OPTIC CABLE BOX
F.P.S.	FIRE PROTECTION SPECIALIST	-	PIPE OPTIC CABLE BOX
F.P.T.	FIRE PROTECTION TECHNICIAN	-	PIPE OPTIC CABLE BOX
F.P.W.	FIRE PROTECTION WORKER	-	PIPE OPTIC CABLE BOX
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F.P.S.	FIRE PROTECTION SIGN	-	PIPE OPTIC CABLE BOX
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F.P.P.	FIRE PROTECTION PAVEMENT	-	PIPE OPTIC CABLE BOX
F.P.S.	FIRE PROTECTION SURFACE	-	PIPE OPTIC CABLE BOX
F.P.T.	FIRE PROTECTION TRAIL	-	PIPE OPTIC CABLE BOX
F.P.W.	FIRE PROTECTION WALL	-	PIPE OPTIC CABLE BOX
F.P.Y.	FIRE PROTECTION YARD	-	PIPE OPTIC CABLE BOX
F.P.Z.	FIRE PROTECTION ZONE	-	PIPE OPTIC CABLE BOX
F.P.A.	FIRE PROTECTION AREA	-	PIPE OPTIC CABLE BOX
F.P.L.	FIRE PROTECTION LINE	-	PIPE OPTIC CABLE BOX
F.P.S.	FIRE PROTECTION SIGN	-	PIPE OPTIC CABLE BOX
F.P.T.	FIRE PROTECTION TOWER	-	PIPE OPTIC CABLE BOX
F.P.C.	FIRE PROTECTION CURB	-	PIPE OPTIC CABLE BOX
F.P.P.	FIRE PROTECTION PAVEMENT	-	PIPE OPTIC CABLE BOX
F.P.S.	FIRE PROTECTION SURFACE	-	PIPE OPTIC CABLE BOX
F.P.T.	FIRE PROTECTION TRAIL	-	PIPE OPTIC CABLE BOX
F.P.W.	FIRE PROTECTION WALL	-	PIPE OPTIC CABLE BOX
F.P.Y.	FIRE PROTECTION YARD	-	PIPE OPTIC CABLE BOX
F.P.Z.	FIRE PROTECTION ZONE	-	PIPE OPTIC CABLE BOX
F.P.A.	FIRE PROTECTION AREA	-	PIPE OPTIC CABLE BOX
F.P.L.	FIRE PROTECTION LINE	-	PIPE OPTIC CABLE BOX
F.P.S.	FIRE PROTECTION SIGN	-	PIPE OPTIC CABLE BOX
F.P.T.	FIRE PROTECTION TOWER	-	PIPE OPTIC CABLE BOX
F.P.C.	FIRE PROTECTION CURB	-	PIPE OPTIC CABLE BOX
F.P.P.	FIRE PROTECTION PAVEMENT	-	PIPE OPTIC CABLE BOX
F.P.S.	FIRE PROTECTION SURFACE	-	PIPE OPTIC CABLE BOX
F.P.T.	FIRE PROTECTION TRAIL	-	PIPE OPTIC CABLE BOX
F.P.W.	FIRE PROTECTION WALL	-	PIPE OPTIC CABLE BOX
F.P.Y.	FIRE PROTECTION YARD	-	PIPE OPTIC CABLE BOX
F.P.Z.	FIRE PROTECTION ZONE	-	PIPE OPTIC CABLE BOX
F.P.A.	FIRE PROTECTION AREA	-	PIPE OPTIC CABLE BOX

Point	Coordinates	Notes
CP-1	N 00° 00' 00" E 184.40(P) to Witness Corner	Witness Corner
CP-2	N 00° 00' 00" E 342.91(C) Overall	Overall Corner
CP-3	N 00° 00' 00" E 71.7	Corner
CP-4	N 00° 00' 00" E 71.5	Corner
CP-5	N 00° 00' 00" E 71.5	Corner
CP-6	N 00° 00' 00" E 71.5	Corner
CP-7	N 00° 00' 00" E 71.5	Corner
CP-8	N 00° 00' 00" E 71.5	Corner
CP-9	N 00° 00' 00" E 71.5	Corner
CP-10	N 00° 00' 00" E 71.5	Corner
CP-11	N 00° 00' 00" E 71.5	Corner
CP-12	N 00° 00' 00" E 71.5	Corner
CP-13	N 00° 00' 00" E 71.5	Corner
CP-14	N 00° 00' 00" E 71.5	Corner
CP-15	N 00° 00' 00" E 71.5	Corner
CP-16	N 00° 00' 00" E 71.5	Corner
CP-17	N 00° 00' 00" E 71.5	Corner
CP-18	N 00° 00' 00" E 71.5	Corner
CP-19	N 00° 00' 00" E 71.5	Corner
CP-20	N 00° 00' 00" E 71.5	Corner
CP-21	N 00° 00' 00" E 71.5	Corner
CP-22	N 00° 00' 00" E 71.5	Corner
CP-23	N 00° 00' 00" E 71.5	Corner
CP-24	N 00° 00' 00" E 71.5	Corner
CP-25	N 00° 00' 00" E 71.5	Corner
CP-26	N 00° 00' 00" E 71.5	Corner
CP-27	N 00° 00' 00" E 71.5	Corner
CP-28	N 00° 00' 00" E 71.5	Corner
CP-29	N 00° 00' 00" E 71.5	Corner
CP-30	N 00° 00' 00" E 71.5	Corner
CP-31	N 00° 00' 00" E 71.5	Corner
CP-32	N 00° 00' 00" E 71.5	Corner
CP-33	N 00° 00' 00" E 71.5	Corner
CP-34	N 00° 00' 00" E 71.5	Corner
CP-35	N 00° 00' 00" E 71.5	Corner
CP-36	N 00° 00' 00" E 71.5	Corner
CP-37	N 00° 00' 00" E 71.5	Corner
CP-38	N 00° 00' 00" E 71.5	Corner
CP-39	N 00° 00' 00" E 71.5	Corner
CP-40	N 00° 00' 00" E 71.5	Corner
CP-41	N 00° 00' 00" E 71.5	Corner
CP-42	N 00° 00' 00" E 71.5	Corner
CP-43	N 00° 00' 00" E 71.5	Corner
CP-44	N 00° 00' 00" E 71.5	Corner
CP-45	N 00° 00' 00" E 71.5	Corner
CP-46	N 00° 00' 00" E 71.5	Corner
CP-47	N 00° 00' 00" E 71.5	Corner
CP-48	N 00° 00' 00" E 71.5	Corner
CP-49	N 00° 00' 00" E 71.5	Corner
CP-50	N 00° 00' 00" E 71.5	Corner
CP-51	N 00° 00' 00" E 71.5	Corner
CP-52	N 00° 00' 00" E 71.5	Corner
CP-53	N 00° 00' 00" E 71.5	Corner
CP-54	N 00° 00' 00" E 71.5	Corner
CP-55	N 00° 00' 00" E 71.5	Corner
CP-56	N 00° 00' 00" E 71.5	Corner
CP-57	N 00° 00' 00" E 71.5	Corner
CP-58	N 00° 00' 00" E 71.5	Corner
CP-59	N 00° 00' 00" E 71.5	Corner
CP-60	N 00° 00' 00" E 71.5	Corner
CP-61	N 00° 00' 00" E 71.5	Corner
CP-62	N 00° 00' 00" E 71.5	Corner
CP-63	N 00° 00' 00" E 71.5	Corner
CP-64	N 00° 00' 00" E 71.5	Corner
CP-65	N 00° 00' 00" E 71.5	Corner
CP-66	N 00° 00' 00" E 71.5	Corner
CP-67	N 00° 00' 00" E 71.5	Corner
CP-68	N 00° 00' 00" E 71.5	Corner
CP-69	N 00° 00' 00" E 71.5	Corner
CP-70	N 00° 00' 00" E 71.5	Corner
CP-71	N 00° 00' 00" E 71.5	Corner
CP-72	N 00° 00' 00" E 71.5	Corner
CP-73	N 00° 00' 00" E 71.5	Corner
CP-74	N 00° 00' 00" E 71.5	Corner
CP-75	N 00° 00' 00" E 71.5	Corner
CP-76	N 00° 00' 00" E 71.5	Corner
CP-77	N 00° 00' 00" E 71.5	Corner
CP-78	N 00° 00' 00" E 71.5	Corner
CP-79	N 00° 00' 00" E 71.5	Corner
CP-80	N 00° 00' 00" E 71.5	Corner
CP-81	N 00° 00' 00" E 71.5	Corner
CP-82	N 00° 00' 00" E 71.5	Corner
CP-83	N 00° 00' 00" E 71.5	Corner
CP-84	N 00° 00' 00" E 71.5	Corner
CP-85	N 00° 00' 00" E 71.5	Corner
CP-86	N 00° 00' 00" E 71.5	Corner
CP-87	N 00° 00' 00" E 71.5	Corner
CP-88	N 00° 00' 00" E 71.5	Corner
CP-89	N 00° 00' 00" E 71.5	Corner
CP-90	N 00° 00' 00" E 71.5	Corner
CP-91	N 00° 00' 00" E 71.5	Corner
CP-92	N 00° 00' 00" E 71.5	Corner
CP-93	N 00° 00' 00" E 71.5	Corner
CP-94	N 00° 00' 00" E 71.5	Corner
CP-95	N 00° 00' 00" E 71.5	Corner
CP-96	N 00° 00' 00" E 71.5	Corner
CP-97	N 00° 00' 00" E 71.5	Corner
CP-98	N 00° 00' 00" E 71.5	Corner
CP-99	N 00° 00' 00" E 71.5	Corner
CP-100	N 00° 00' 00" E 71.5	Corner

RECEIVED

DEC 04 2008

Tree Note
Path - denotes Tree Type
(PT) - denotes of Tree measured at Chest Height

Site Benchmark Information
#1
Fnd. X-Cut in Sidewalk 79.7699
Elevation: 79.77

#2
Fnd. 12" Iron Pipe & Cap (HTCA 2864)
Elevation: 79.54

#3
Fnd. 12" Iron Pipe (No Identification)
Elevation: 80.92

Benchmark Information
Orange County Datum: Elevation: 83.36'
Found Square Cut in Drop Inlet in front of Lowell Elementary School.
(Elevations are based upon NAVD 88 Datum)

REMODEL - 2STORY -SINGLE FAMILY RESIDENCE



FERNANDEZ RESIDENCE

181 VIRGINIA DRIVE
WINTER PARK, FLORIDA

REVISIONS

ARCHITECT:



181 Virginia Drive
Winter Park, Florida 32789
Phone: 407-938-9997
Fax: 407-938-9993
WWW.PHILKEANARCHITECTURE.COM

PROJECT:

FERNANDEZ RESIDENCE

181 Virginia Drive
Winter Park, FL 32789

INDEX OF DRAWINGS	
SHEET NUMBER	SHEET NAME
A0.0	COVERSHEET
AB.01	AS-BUILT SITE PLAN
AB.02	AS-BUILT / DEMO MAIN LEVEL FLOOR PLAN
AB.03	AS-BUILT / DEMO UPPER LEVEL FLOOR PLAN
AB.04	AS-BUILT FRONT AND REAR ELEVATIONS
AB.05	AS-BUILT LEFT AND RIGHT ELEVATIONS
AB.06	AS-BUILT ROOF PLAN
AS0.1	PROPOSED SITE PLAN
A2.0	NEW MAIN LEVEL FLOOR PLAN - DIMENSIONED
A2.1	NEW LEVEL FLOOR PLAN - NOTES
A3.0	NEW UPPER LEVEL FLOOR PLAN - DIMENSIONED
A3.1	NEW UPPER LEVEL FLOOR PLAN - NOTES
A4.0	NEW FRONT AND REAR ELEVATIONS
A4.1	NEW LEFT AND RIGHT ELEVATIONS
A5.1	PROPOSED UPPER ROOF PLAN
AB.0	BUILDING SECTIONS

PLAN REVISIONS

#	DATE	DESCRIPT

DATA:

DESIGNER:

DRAWN BY:

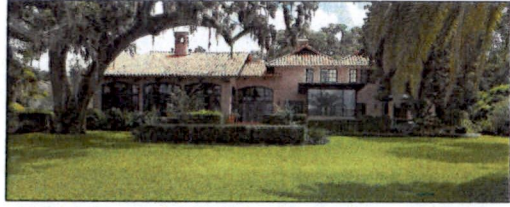
SHEET DESCRIPTION:

COVER

SHEET NUMBER

A0.0





AS-BUILT REAR ELEVATION
SCALE: N.T.S.

N 00°00'00" E 404.97'(C)-Overall



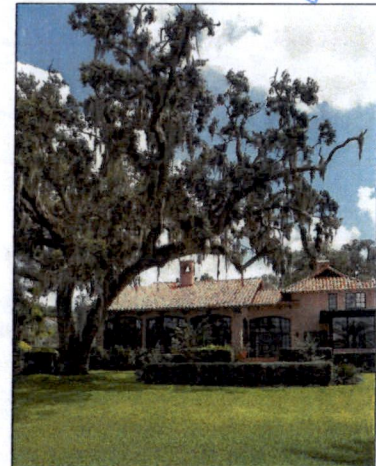
AS-BUILT SITE PLAN
SCALE: 1" = 10'-0"



AS-BUILT FRONT ELEVATION
SCALE: N.T.S.



AS-BUILT FRONT ELEVATION
SCALE: N.T.S.



EXISTING OAK TO REMAIN
SCALE: N.T.S.

ISSUE DATE:
ARCHITECT:
PHIL KEAN
ARCHITECTURE
CONSTRUCTION
INTERIORS
10000 W. PARK DRIVE
WINTER PARK, FLORIDA 32789
PH: 407-937-3333
WWW.PHILKEANDESIGNS.COM

PROJECT:

FERNANDEZ RESIDENCE
181 Virginia Drive
Winter Park, FL 32789

PLAN REVISIONS

#	DATE	DESCRIPTION

DATA:

DESIGNER:

DRAWN BY:

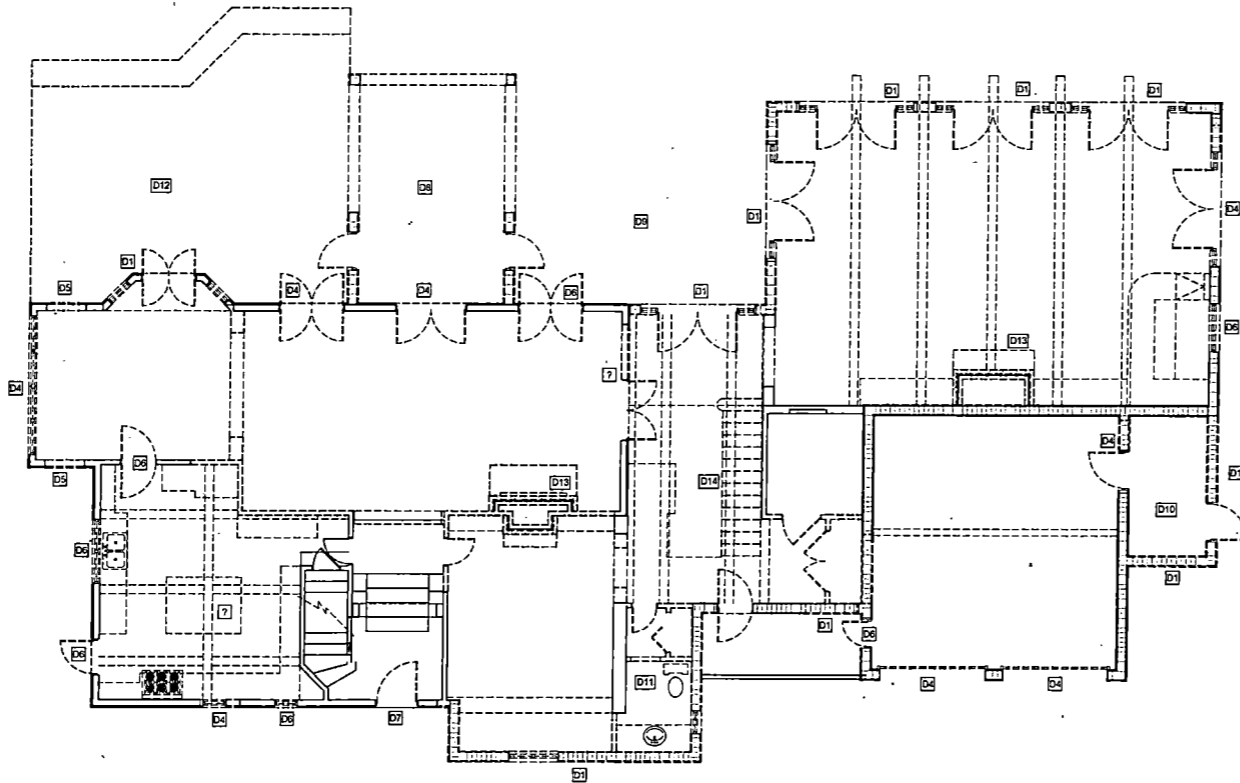
SHEET DESCRIPTION:

AS-BUILT SITE PLAN

SHEET NUMBER

AB0.1

RECEIVED
DEC 04 2018



EXISTING/DEMO MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

ARCHITECT:
PHIL KEAN
ARCHITECTURE
CONSTRUCTION
INTERIORS
PROJECT:

FERNANDEZ RESIDENCE
181 Virginia Drive
Winter Park, FL 32789

DEMO NOTES:

- GENERAL NOTES:
1. ALL EXTERIOR OPENINGS TO BE REMOVED AND REPLACED, WHERE BEING REPLACED WITH SIMILAR SIZE WINDOW/DOOR SIZE TO BE FIELD VERIFIED.
- DESCRIPTION
- D1. REMOVE EXISTING SECTION OF STRUCTURE
 - D2. REMOVE THE EXISTING KITCHEN
 - D3. REMOVE EXISTING WINDOW/DOOR
 - D4. REMOVE EXISTING WINDOW/DOOR AND ADJUST SIZE OF OPENING PER PROPOSED FLOOR PLAN.
 - D5. CUT IN NEW OPENING IN WALL.
 - D6. REMOVE EXISTING WINDOW/DOOR AND FILL IN OPENING.
 - D7. REMOVE AND REPLACE EXISTING OPENING, SEE PROPOSED FLOOR PLAN
 - D8. REMOVE EXISTING SUNROOM
 - D9. REMOVE EXISTING PATIO
 - D10. REMOVE EXISTING POOL STORAGE
 - D11. REMOVE EXISTING BATH
 - D12. REMOVE EXISTING DECK
 - D13. REMOVE EXISTING FIREPLACE
 - D14. REMOVE EXISTING STAIRS.

DEMO LEGEND:

- FRAME WALL TO BE REMOVED
 - CMU WALL TO BE REMOVED
 - DOOR TO BE REMOVED
 - WINDOW TO BE REMOVED
- PRIOR TO REMOVING ANY WALL, WINDOW OR DOOR, STRUCTURE TO BE VERIFIED.

PLAN REVISIONS

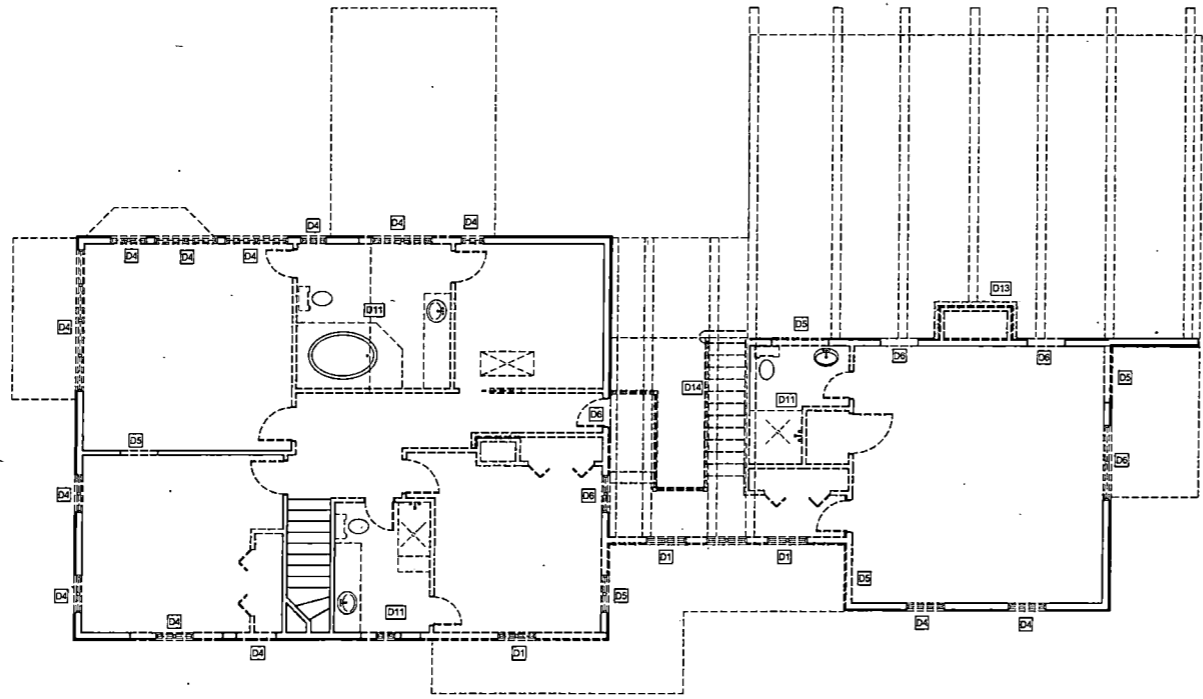
#	DATE	DESCRIP.

AREA CALCS: EXISTING

MAIN LEVEL	
AC:	2619 S.F.
GARAGE/STORAGE:	499 S.F.
ENTRY:	60 S.F.
SUN ROOM:	219 S.F.
UPPER LEVEL	
AC:	1810 S.F.
TOTALS	
AC:	3679 S.F.
GARAGE/STORAGE:	499 S.F.
ENTRY:	60 S.F.
SUN ROOM:	219 S.F.
TOTAL UNDER ROOF:	4726 S.F.

DESIGNER:
DRAWN BY:
SHEET DESCRIPTION:
AS-BUILT MAIN LEVEL FLOOR PLAN
SHEET NUMBER
AB0.2

RECEIVED
DEC 04 2018



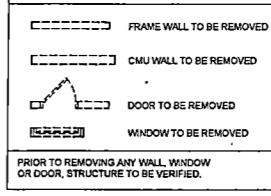
EXISTING/DEMO UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

CASE DATE:
ARCHITECT:
PHIL KEAN
ARCHITECTURE
CONSTRUCTION
INTERIORS
PROJECT:

DEMO NOTES:

- GENERAL NOTES:
1. ALL EXTERIOR OPENINGS TO BE REMOVED AND REPLACED, WHERE BEING REPLACED WITH SIMILAR SIZE WINDOW/DOOR SIZE TO BE FIELD VERIFIED.
- DESCRIPTION**
- D1. REMOVE EXISTING SECTION OF STRUCTURE
 - D2. REMOVE THE EXISTING KITCHEN
 - D3. REMOVE EXISTING WINDOW/DOOR
 - D4. REMOVE EXISTING WINDOW/DOOR AND ADJUST SIZE OF OPENING PER PROPOSED FLOOR PLAN.
 - D5. CUT IN NEW OPENING IN WALL.
 - D6. REMOVE EXISTING WINDOW/DOOR AND FILL IN OPENING.
 - D7. REMOVE AND REPLACE EXISTING OPENING, SEE PROPOSED FLOOR PLAN
 - D8. REMOVE EXISTING SUNROOM
 - D9. REMOVE EXISTING PATIO
 - D10. REMOVE EXISTING POOL STORAGE
 - D11. REMOVE EXISTING BATH
 - D12. REMOVE EXISTING DECK
 - D13. REMOVE EXISTING FIREPLACE
 - D14. REMOVE EXISTING STAIRS.

DEMO LEGEND:



FERNANDEZ RESIDENCE
181 Virginia Drive
Winter Park, FL 32789

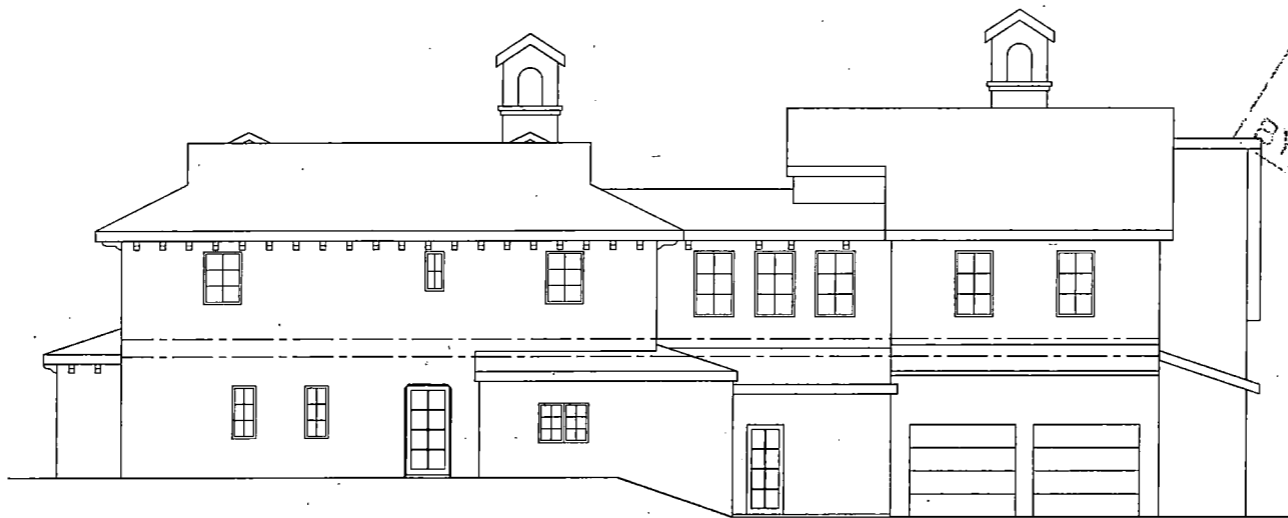
PLAN REVISIONS

DATE	DESCRPT.

AREA CALCS: EXISTING

MAIN LEVEL	
AC:	2810 S.F.
GARAGE/STORAGE:	469 S.F.
ENTRY:	60 S.F.
SUN ROOM:	218 S.F.
UPPER LEVEL	
AC:	1610 S.F.
TOTALS	
AC:	3979 S.F.
GARAGE/STORAGE:	469 S.F.
ENTRY:	60 S.F.
SUN ROOM:	218 S.F.
TOTAL UNDER ROOF:	4726 S.F.

DESIGNER:
DRAWN BY:
SHEET DESCRIPTION:
AS-BUILT UPPER LEVEL FLOOR PLAN
SHEET NUMBER
AB0.3



EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"

RECEIVED
BY
DEC 04 2013

ISSUE DATE:

ARCHITECT:



PHIL KEAN
ARCHITECTURE
CONSTRUCTION
INTERIORS

5501 FOREST BLVD.
SUITE 200
FORT LAUDERDALE, FL 33309
TEL: 954.473.8100
WWW.PHILKEANDESIGN.COM

PROJECT:

PROJECT:

FERNANDEZ RESIDENCE

181 Virginia Drive
Winter Park, FL 32789

PLAN REVISIONS

DATE DESCRIPT.

#	DATE	DESCRIPT.

DATA:

DESIGNER:

DRAWN BY:

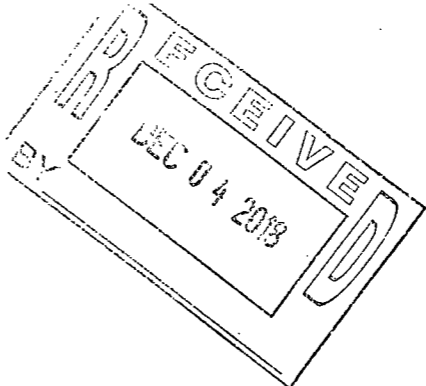
SHEET

DESCRIPTION:

AS-BUILT FRONT & REAR ELEVATIONS

SHEET NUMBER

AB0.4



EXISTING LEFT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

DATE DATE
ARCHITECT:

PHIL KEAN
ARCHITECTURE
CONSTRUCTION
INTERIORS
1875 S.W. 11th Street
Fort Lauderdale, FL 33304
www.philkean.com

PROJECT:

FERNANDEZ RESIDENCE
181 Virginia Drive
Winter Park, FL 32789

PLAN REVISIONS

#	DATE	DESCRIP.

DATA:

DESIGNER:

DRAWN BY:

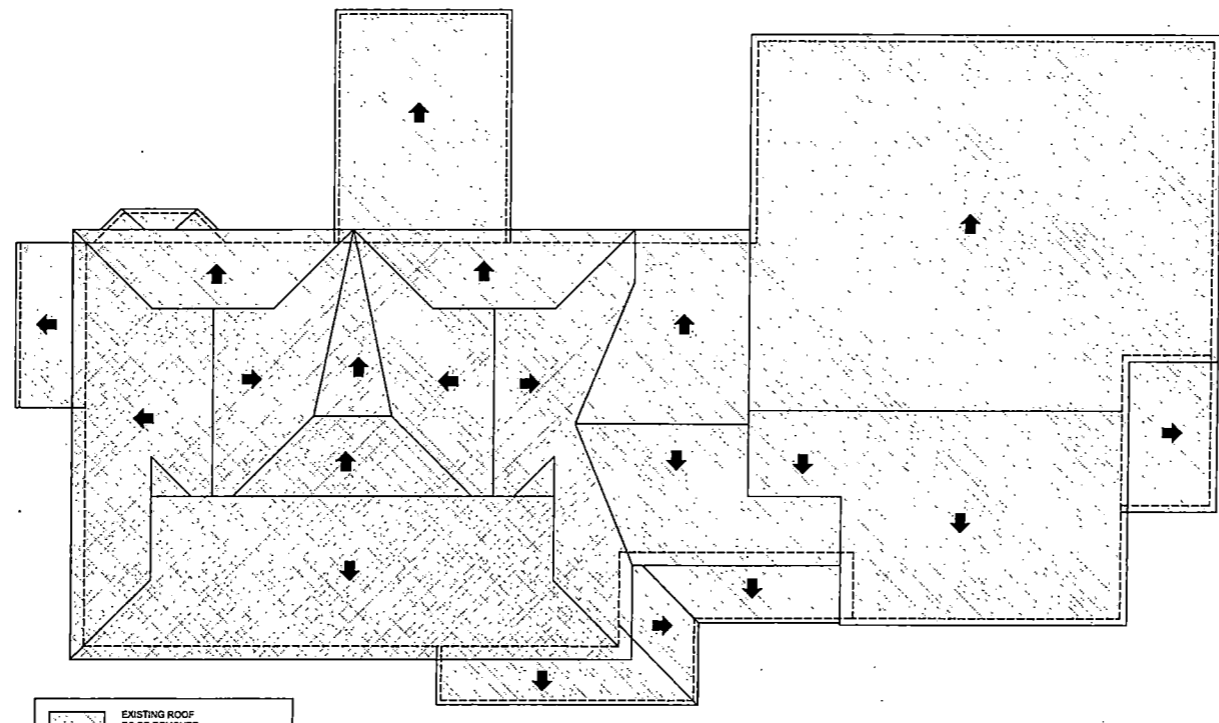
SHEET DESCRIPTION:

AS-BUILT LEFT & RIGHT ELEVATIONS

SHEET NUMBER

AB0.5

RECEIVED
 BY: [Signature]
 DEC 04 2018



EXISTING ROOF TO BE REMOVED
 (Hatched area)
 EXISTING ROOF TO REMAIN AND REWORKED PER PROPOSED ROOF PLAN AREA
 (Dashed outline)

EXISTING ROOF PLAN
 SCALE: 1/4" = 1'-0"

ARCHITECT:

 PHIL KEAN
 ARCHITECTURE
 CONSTRUCTION
 INTERIORS
 181 VIRGINIA DRIVE
 WINTER PARK, FL 32789
 WWW.PHILKEANARCH.COM
 PROJECT:

FERNANDEZ RESIDENCE
 181 Virginia Drive
 Winter Park, FL 32789

PLAN REVISIONS
 # DATE DESCRIPT.

#	DATE	DESCRIPT.

DATA:

DESIGNER:

DRAWN BY:

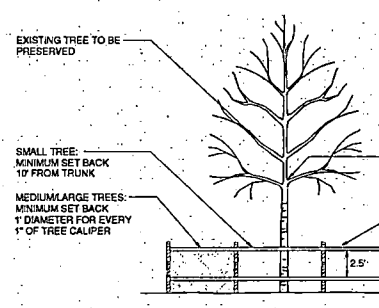
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AS-BUILT ROOF PLAN

SHEET NUMBER

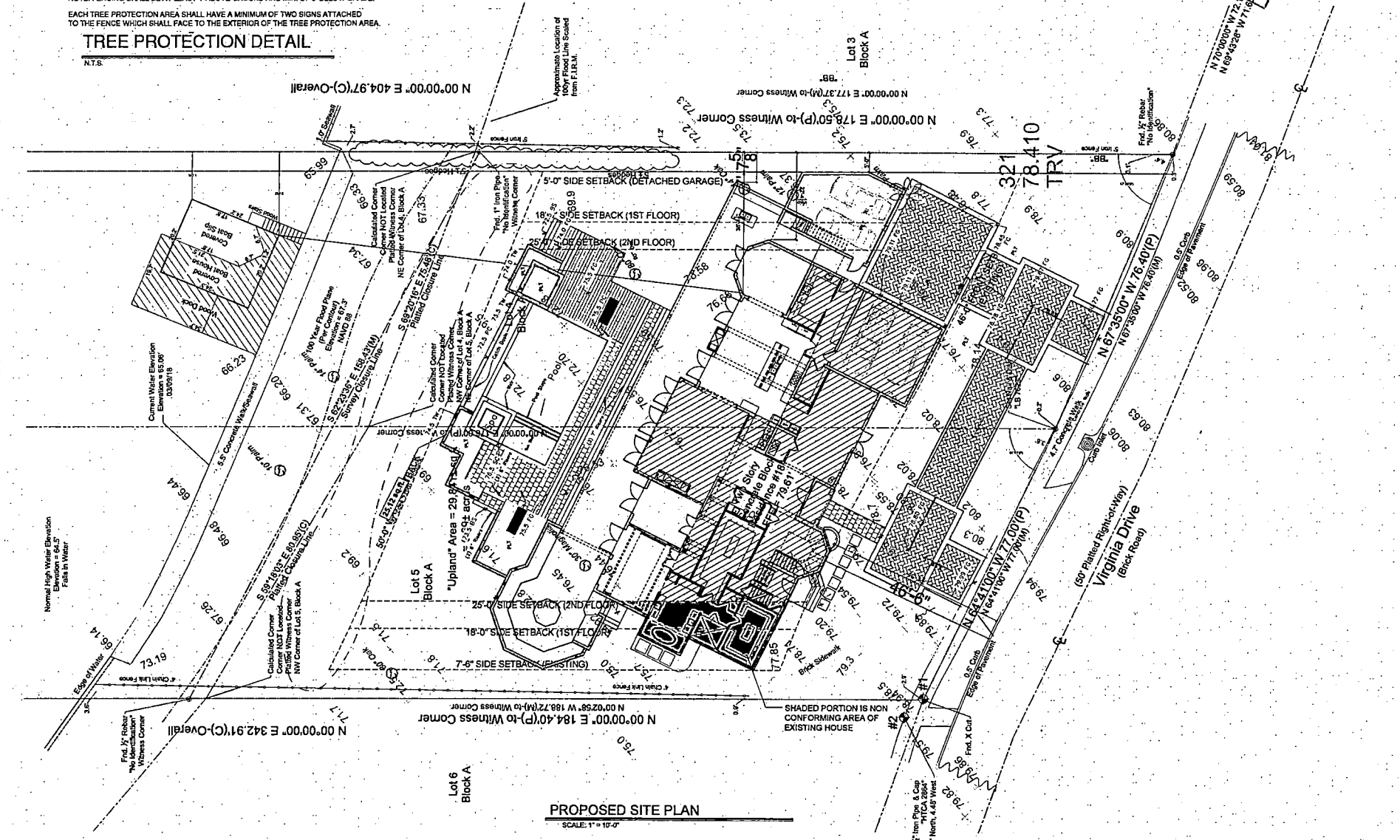
AB0.6

RECEIVED
DEC 04 2018



- NOTE:**
- CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING AROUND SAVED TREES.
 - ALL UTILITY WORK SHALL BE DONE BY HAND WITHIN TREE ROOT IMPACT ZONE.
 - ALL EARTHWORK WITHIN A TEN (10) FOOT RADIUS ZONE AROUND SAVED TREES SHALL BE NON-COMPACTED.
- ALL DEVELOPMENT ACTIVITIES ARE PROHIBITED WITHIN FENCED AREAS. DO NOT STORE MATERIALS IN THIS AREA.
- FENCING SHALL BE SET IN PLACE PRIOR TO CONSTRUCTION. POSTS - 2 X 4, 4' ABOVE GROUND OR TEMPORARY ORANGE FENCING OR OTHER SIMILAR BARRIER THAT WILL LIMIT ACCESS TO THE PROTECTED AREA. POSTS MIN. (8) FEET APART.

NOTE: FENCING SHALL BE AT LEAST 4' ABOVE GROUND AND MIN. OF 3' BELOW GRADE.
EACH TREE PROTECTION AREA SHALL HAVE A MINIMUM OF TWO SIGNS ATTACHED TO THE FENCE WHICH SHALL FACE TO THE EXTERIOR OF THE TREE PROTECTION AREA.
TREE PROTECTION DETAIL



ARCHITECT:

PHIL KEANE
ARCHITECTURE
CONSTRUCTION
INTERIORS

PROJECT:

FERNANDEZ RESIDENCE
181 Virginia Drive
Winter Park, FL 32789

PLAN REVISIONS

DATE	DESCRIPTION

DATE: _____

DESIGNER: _____

DRAWN BY: _____

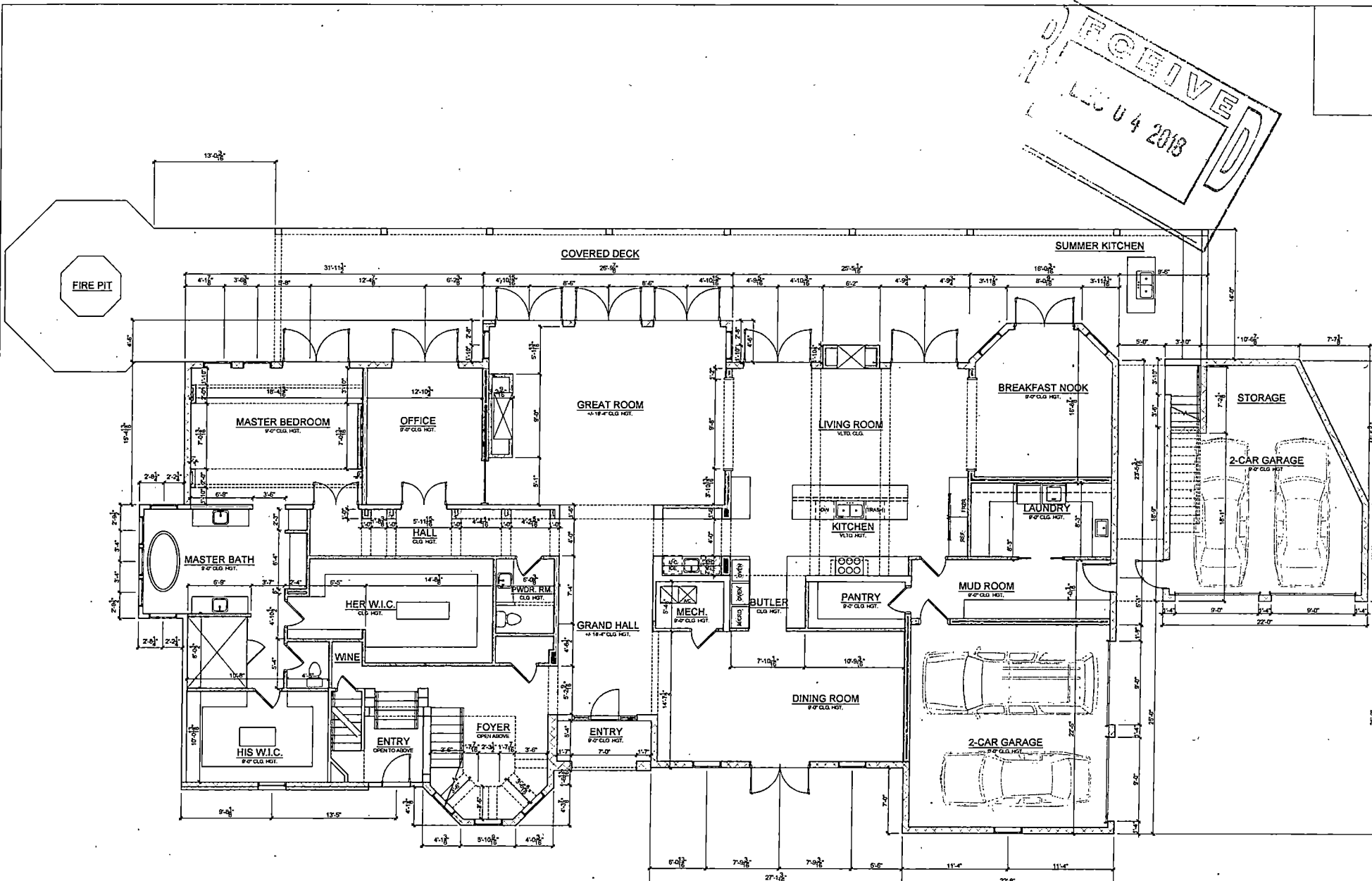
SHEET DESCRIPTION: _____

SITE PLAN

SHEET NUMBER: _____

AS0.1

RECEIVED
 FEB 04 2018



PROPOSED MAIN LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

ARCHITECT:

 PHIL KEAN
 ARCHITECTURE
 CONSTRUCTION
 INTERIORS

PROJECT:

FERNANDEZ RESIDENCE
 181 Virginia Drive
 Winter Park, FL 32789

PLAN REVISIONS

#	DATE	DESCRPT.

DATA:
 DESIGNER:
 DRAWN BY:
 SHEET DESCRIPTION:
 LOWER LEVEL FLOOR PLAN DIMENSIONS
 SHEET NUMBER

A2.0

ISSUE DATE: _____
ARCHITECT:
PHIL KEAN
ARCHITECTURE
CONSTRUCTION
INTERIORS
 1111 PINE HILLS BLVD
 WINTER PARK, FL 32789
 WWW.PHILKEANARCH.COM
PROJECT:

FERNANDEZ RESIDENCE
 181 Virginia Drive
 Winter Park, FL 32789

PLAN REVISIONS

#	DATE	DESCRIPTION

DATA: _____
 DESIGNER: _____
 DRAWN BY: _____
 SHEET DESCRIPTION: _____
 LOWER LEVEL FLOOR PLAN NOTES _____
 SHEET NUMBER _____

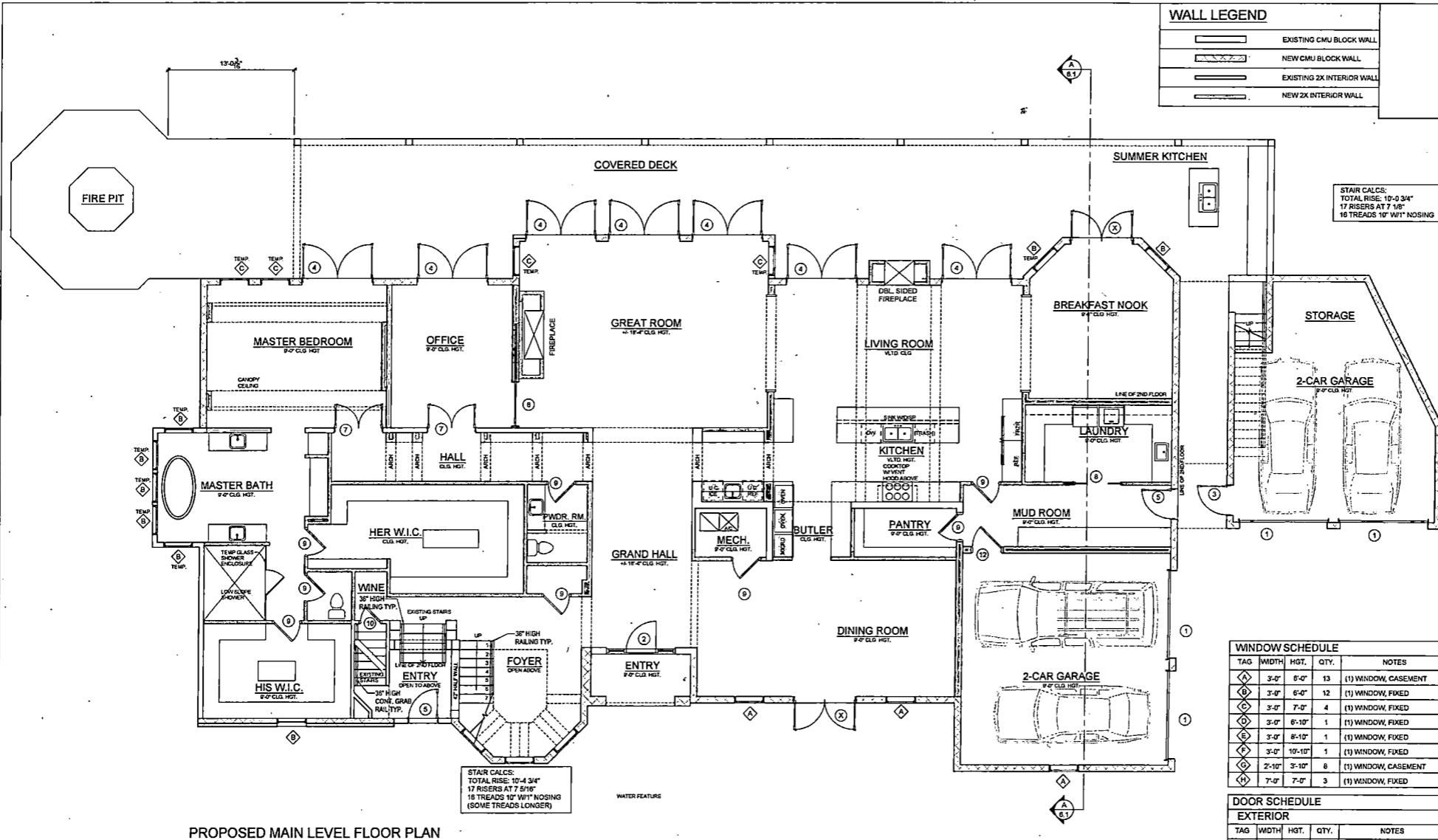
A2.1

WALL LEGEND

[Symbol]	EXISTING CMU BLOCK WALL
[Symbol]	NEW CMU BLOCK WALL
[Symbol]	EXISTING 2X INTERIOR WALL
[Symbol]	NEW 2X INTERIOR WALL

STAIR CALCS:
 TOTAL RISE: 10'-0 3/4"
 17 RISERS AT 7 1/8"
 18 TREADS 10" W/1" NOSING

STAIR CALCS:
 TOTAL RISE: 10'-4 3/4"
 17 RISERS AT 7 5/8"
 18 TREADS 10" W/1" NOSING (SOME TREADS LONGER)



PROPOSED MAIN LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

AREA CALCS: PROPOSED

MAIN LEVEL	
A/C:	4368 S.F.
2 CAR DETACHED GARAGE	487 S.F.
2 CAR GARAGE	498 S.F.
ENTRY	54 S.F.
COVERED DECKS, KITCHEN:	1275 S.F.
TOTALS	7041 S.F.
A/C:	685 S.F.
DECK / STAIRS:	54 S.F.
OPEN TO BELOW:	884 S.F.
TOTALS	7041 S.F.
A/C:	685 S.F.
ENTRY:	54 S.F.
COVERED DECKS, KITCHEN:	1275 S.F.
OPEN TO BELOW:	884 S.F.
TOTAL UNDER ROOF:	10239 S.F.

PLAN NOTES:

- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL HAVE A 20 MIN. FIRE RATED DOOR OR SOLID WOOD DOOR NOT LESS THAN 1 AND 3/8 INCHES IN THICKNESS OR SOLID OR HONEYCOMB DOOR. DOOR SHALL BE EQUIPPED WITH AUTOMATIC CLOSER.
- PROVIDE 2X BLOCKING AT MIDPOINT ON ALL INTERIOR STUD WALLS.

DWELLING / GARAGE SEPARATION (TABLE R302.6)

SEPARATION	MATERIAL
FROM RESIDENCE AND ATTICS	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT TO THE GARAGE SIDE
FROM HABITABLE ROOMS ABOVE GARAGE	NOT LESS THAN 1/2 INCH TYPE X GYPSUM BOARD OR EQUIVALENT
STRUCTURE(S) SUPPORTING FLOOR/CILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT	NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.

WINDOW SCHEDULE

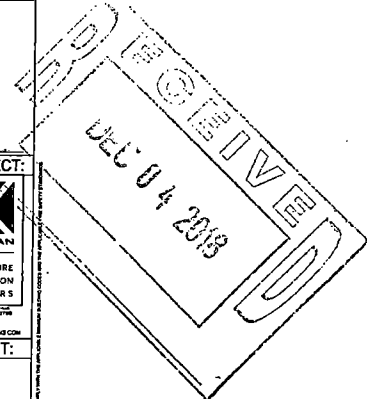
TAG	WIDTH	HGT.	QTY.	NOTES
1	3'-0"	6'-0"	13	(1) WINDOW, CASEMENT
2	3'-0"	6'-0"	12	(1) WINDOW, FIXED
3	3'-0"	7'-0"	4	(1) WINDOW, FIXED
4	3'-0"	6'-10"	1	(1) WINDOW, FIXED
5	3'-0"	6'-10"	1	(1) WINDOW, FIXED
6	3'-0"	10'-10"	1	(1) WINDOW, FIXED
7	2'-10"	3'-10"	8	(1) WINDOW, CASEMENT
8	7'-0"	7'-0"	3	(1) WINDOW, FIXED

DOOR SCHEDULE

EXTERIOR				
TAG	WIDTH	HGT.	QTY.	NOTES
1	8'-0"	8'-0"	3	OVERHEAD GARAGE DOOR (GLASS FRONT DOOR, W/2) 24" S.I.
2	3'-0"	8'-0"	1	GLASS FRONT DOOR, W/2) 24" S.I.
3	3'-0"	7'-0"	2	OUT SWING FR. DOOR
4	7'-0"	7'-0"	8	DBL. DOOR, OUT SWING FR. DOOR
5	3'-0"	7'-0"	2	FR. DOOR
6	3'-0"	6'-8"	1	OUTSWING, SOLID DOOR

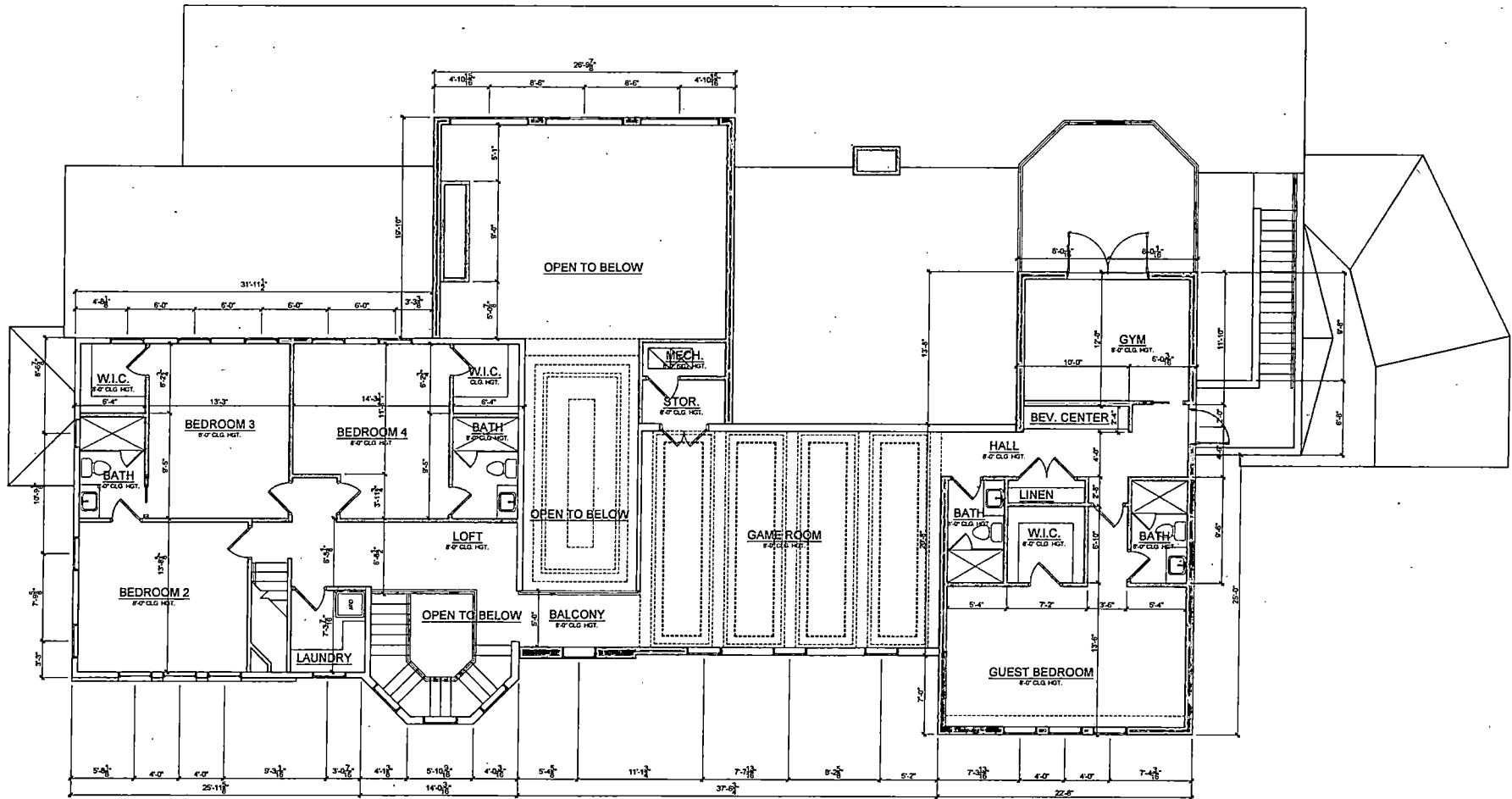
INTERIOR				
TAG	WIDTH	HGT.	QTY.	NOTES
7	5'-0"	8'-0"	2	DBL. DOOR, SWING DOOR
8	4'-8"	8'-0"	1	POCKET DOOR
9	2'-8"	8'-0"	8	SWING DOOR
10	1'-8"	6'-8"	2	SWING DOOR
11	2'-8"	8'-0"	2	POCKET DOOR
12	3'-0"	8'-0"	1	SWING DOOR, SOLID CORE
13	2'-8"	8'-0"	7	SWING DOOR
14	4'-0"	7'-0"	1	DBL. DOOR, SWING DOOR
15	2'-8"	7'-0"	8	SWING DOOR

CONTRACTOR TO VERIFY ALL WINDOW SIZES AND STYLES



ARCHITECT:
PHIL KEAN
 ARCHITECTURE
 CONSTRUCTION
 INTERIORS
 PROJECT:

FERNANDEZ RESIDENCE
 181 Virginia Drive
 Winter Park, FL 32789



PROPOSED UPPER LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PLAN REVISIONS	
#	DATE DESCRPT.

DATA:

DESIGNER:

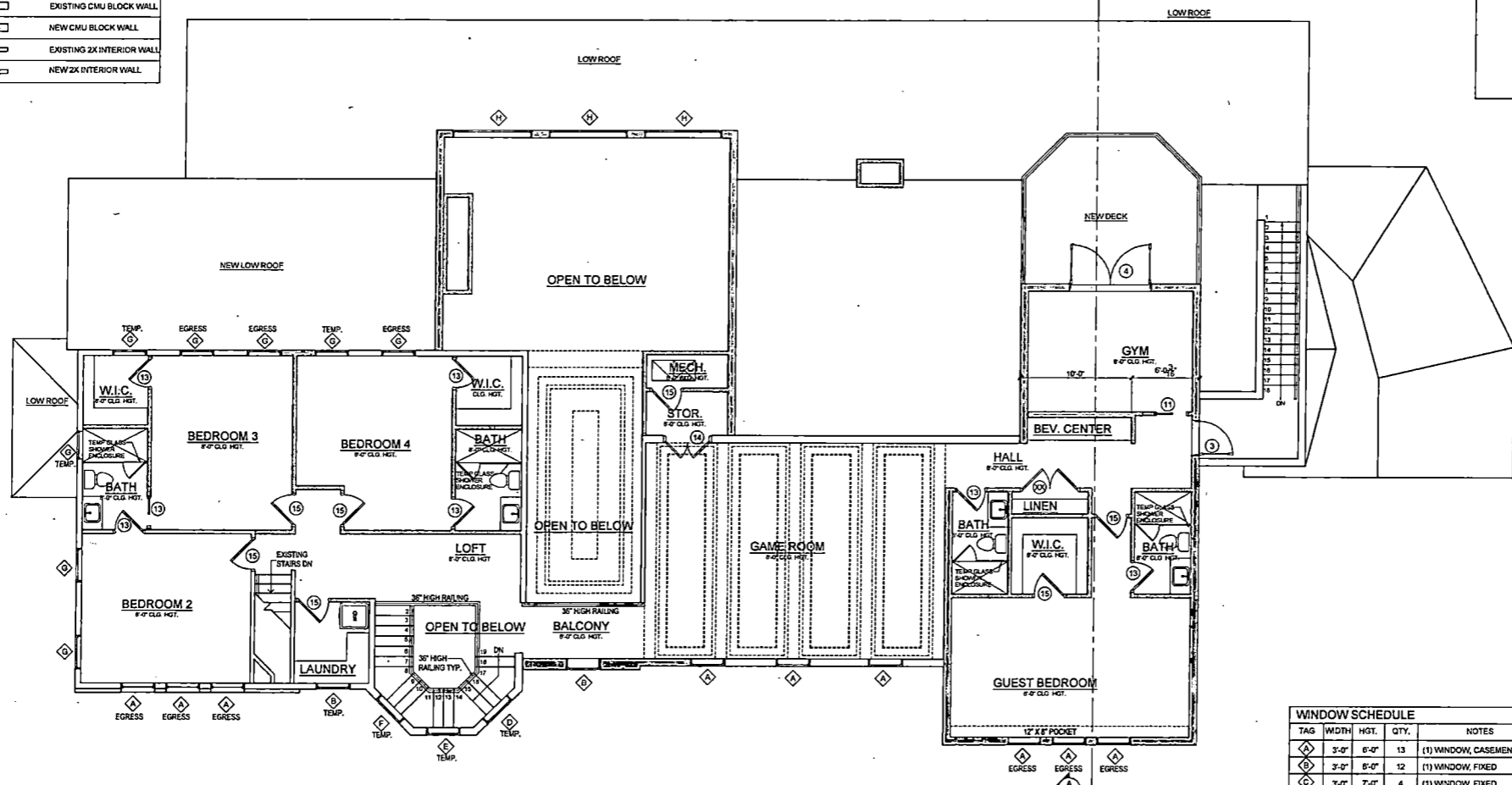
DRAWN BY:

SHEET DESCRIPTION:

UPPER LEVEL FLOOR PLAN DIMENSIONS

SHEET NUMBER

WALL LEGEND	
	EXISTING CMU BLOCK WALL
	NEW CMU BLOCK WALL
	EXISTING 2X INTERIOR WALL
	NEW 2X INTERIOR WALL



PROPOSED UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

AREA CALCUS: PROPOSED

MAIN LEVEL	
A/C:	4369 S.F.
2 CAR DETACHED GARAGE	487 S.F.
2 CAR GARAGE	498 S.F.
ENTRY	54 S.F.
COVERED DECK/S. KITCHEN:	1275 S.F.

UPPER LEVEL	
A/C:	2673 S.F.
DECK / STAIRS:	348 S.F.
OPEN TO BELOW:	894 S.F.

TOTALS	
A/C:	7041 S.F.
GARAGES:	985 S.F.
ENTRY:	54 S.F.
COVERED DECK/S. KITCHEN	664 S.F.
OPEN TO BELOW:	664 S.F.
TOTAL UNDER ROOF:	10239 S.F.

PLAN NOTES:

1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL HAVE A 20 MIN. FIRE RATED DOOR OR SOLID WOOD DOOR NOT LESS THAN 1 AND 3/4 INCHES IN THICKNESS OR SOLID OR HONEYCOMB DOOR DOOR SHALL BE EQUIPPED WITH AUTOMATIC CLOSER.

2. PROVIDE 2X BLOCKING AT MIDPOINT ON ALL INTERIOR STUD WALLS.

SEPARATION		MATERIAL	
FROM RESIDENCE AND ATTICS		NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT TO THE GARAGE SIDE	
FROM HABITABLE ROOMS ABOVE GARAGE		NOT LESS THAN 1/2 INCH TYPE X GYPSUM BOARD OR EQUIVALENT	
STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION		NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT	
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT		NOT LESS THAN 1/2 INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA.	

WINDOW SCHEDULE				
TAG	WIDTH	HGT.	QTY.	NOTES
A	3'-0"	6'-0"	13	(1) WINDOW, CASEMENT
B	3'-0"	8'-0"	12	(1) WINDOW, FIXED
C	3'-0"	7'-0"	4	(1) WINDOW, FIXED
D	3'-0"	8'-10"	1	(1) WINDOW, FIXED
E	3'-0"	8'-10"	1	(1) WINDOW, FIXED
F	3'-0"	10'-10"	1	(1) WINDOW, FIXED
G	2'-10"	3'-10"	8	(1) WINDOW, CASEMENT
H	7'-0"	7'-0"	3	(1) WINDOW, FIXED

DOOR SCHEDULE				
EXTERIOR				
TAG	WIDTH	HGT.	QTY.	NOTES
1	8'-0"	8'-0"	3	OVERHEAD GARAGE DOOR
2	3'-0"	8'-0"	1	GLASS FRONT DOOR, W/24" S.L.
3	3'-0"	7'-0"	2	OUT SWING FR. DOOR
4	7'-0"	7'-0"	8	DBL. DOOR, OUT SWING FR. DOOR
5	3'-0"	7'-0"	2	FR. DOOR
6	3'-0"	8'-6"	1	OUTSWING, SOLID DOOR

INTERIOR				
TAG	WIDTH	HGT.	QTY.	NOTES
7	5'-0"	8'-0"	2	DBL. DOOR, SWING DOOR
8	4'-8"	8'-0"	1	POCKET DOOR
9	2'-8"	8'-0"	9	SWING DOOR
10	1'-8"	8'-8"	2	SWING DOOR
11	2'-8"	8'-0"	2	POCKET DQOR
12	3'-0"	8'-0"	1	SWING DOOR, SOLID CORE
13	2'-8"	8'-0"	7	SWING DOOR
14	4'-0"	7'-0"	1	DBL. DOOR, SWING DOOR
15	2'-8"	7'-0"	8	SWING DOOR

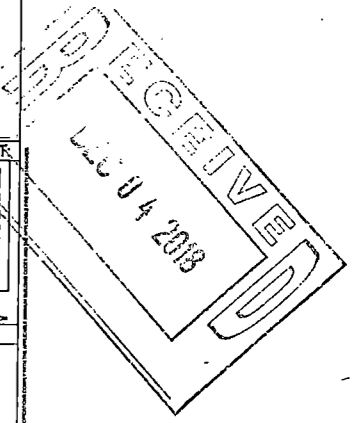
CONTRACTOR TO VERIFY ALL WINDOW SIZES AND STYLES

ARCHITECT:
PHIL KEAN
ARCHITECTURE
CONSTRUCTION
INTERIORS
PROJECT:

FERNANDEZ RESIDENCE
181 Virginia Drive
Winter Park, FL 32789

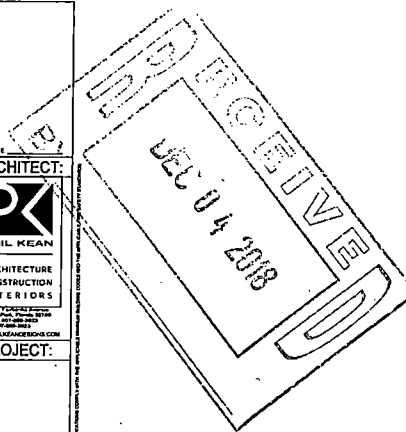
PLAN REVISIONS	
#	DATE / DESCRIP.

DRAWN BY:
SHEET DESCRIPTION:
UPPER LEVEL FLOOR PLAN NOTES
SHEET NUMBER:
A3.1



ELEVATION NOTES:

- | # | DESCRIPTION |
|----|---|
| 1. | STUCCO FINISH |
| 2. | TILE ROOF, OVER APPROVED WATER BARRIER, OVER ROOF SHEATHING |
| 3. | WOOD CORBEL TO MATCH EXISTING CORBELS |
| 4. | 4" RAISED STUCCO BAND |
| 5. | 8" RAISED STUCCO BAND |
| 6. | 8" RAISED STUCCO BAND |



ARCHITECT:

PHIL KEAN
 ARCHITECTURE
 CONSTRUCTION
 INTERIORS
 PROJECT:

FERNANDEZ RESIDENCE
 181 Virginia Drive
 Winter Park, FL 32789

PLAN REVISIONS	
#	DATE DESCRIPT.

DATA:
 DESIGNER:
 DRAWN BY:
 SHEET DESCRIPTION:
 FRONT & REAR ELEVATIONS
 SHEET NUMBER

A4.0



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

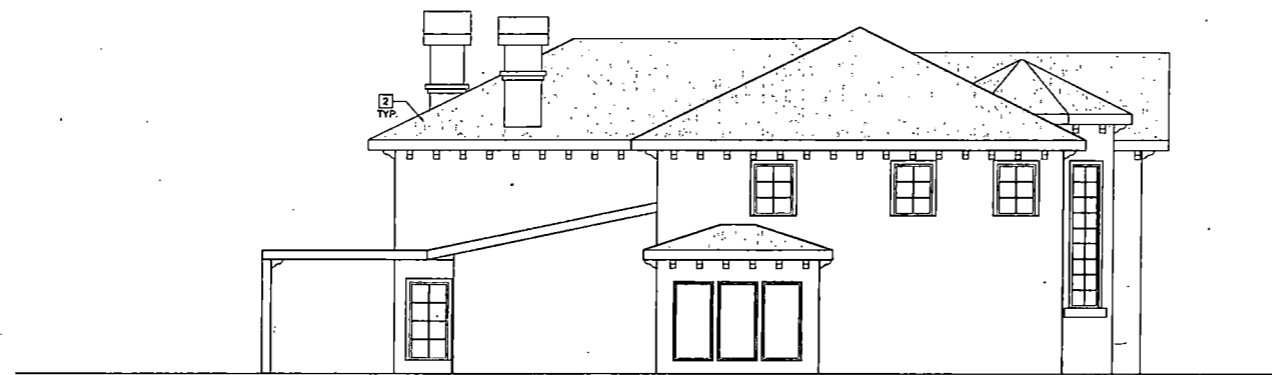


REAR ELEVATION
SCALE: 1/4" = 1'-0"

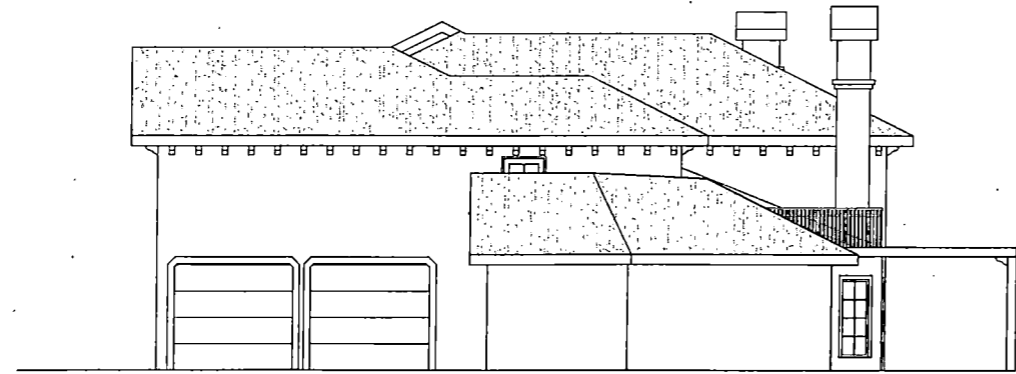
ELEVATION NOTES:

DESCRIPTION

1. STUCCO FINISH
2. TILE ROOF, OVER APPROVED WATER BARRIER, OVER ROOF SHEATHING.
3. WOOD CORBEL TO MATCH EXISTING CORBELS
4. 4" RAISED STUCCO BAND
5. 8" RAISED STUCCO BAND
6. 6" RAISED STUCCO BAND



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

DATE: _____
ARCHITECT:

PHIL KEAN
 ARCHITECTURE
 CONSTRUCTION
 INTERIORS
 181 VIRGINIA DRIVE
 WINTER PARK, FL 32789
 WWW.FERNANDEZRESIDENCE.COM
PROJECT:

FERNANDEZ RESIDENCE
 181 Virginia Drive
 Winter Park, FL 32789

PLAN REVISIONS

#	DATE	DESCRIP.

DATA:

DESIGNER:

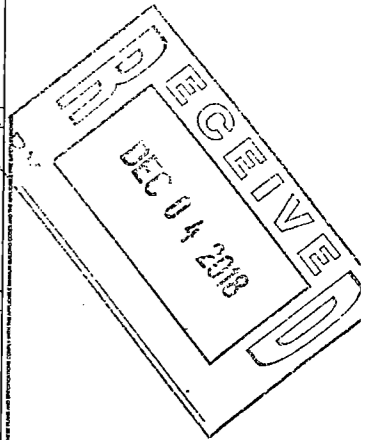
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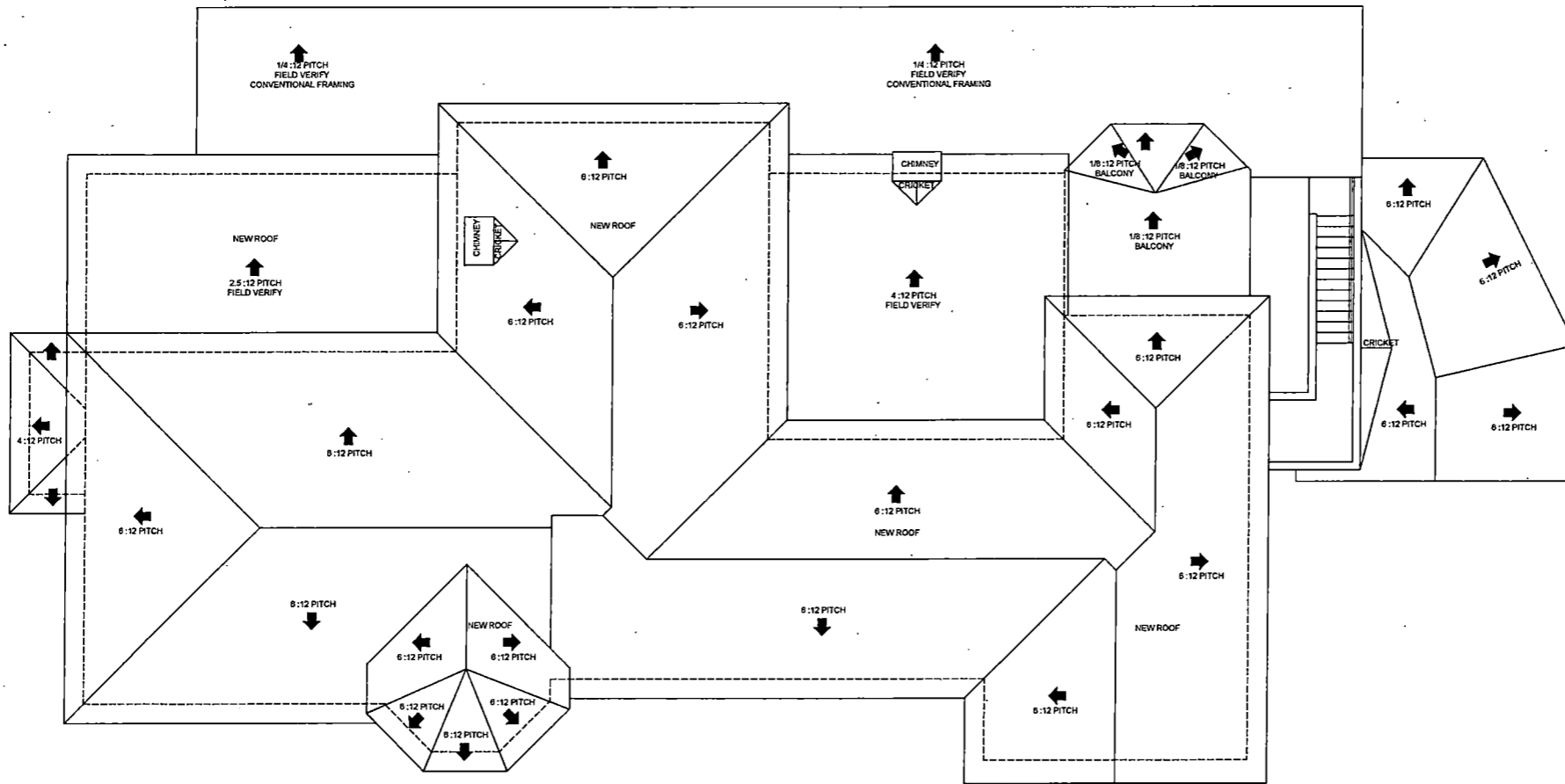
SHEET DESCRIPTION:

LEFT AND RIGHT ELEVATIONS

SHEET NUMBER

A4.1





PROPOSED UPPER ROOF PLAN

SCALE: 1/4" = 1'-0"

ARCHITECT:

PHIL KEAN
 ARCHITECTURE
 CONSTRUCTION
 INTERIORS
 10115 W. PALM BLVD. SUITE 200
 PALM BEACH, FL 33411
 WWW.PHILKEANARCH.COM

PROJECT:

FERNANDEZ RESIDENCE
 181 Virginia Drive
 Winter Park, FL 32789

PLAN REVISIONS

#	DATE	DESCRIPT.

DATE:

DESIGNER:

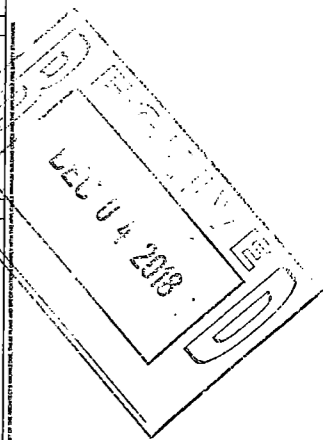
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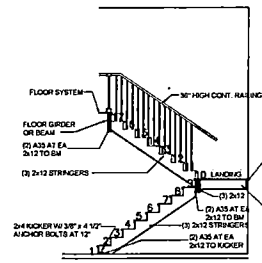
SHEET DESCRIPTION:

PROPOSED UPPER ROOF PLAN

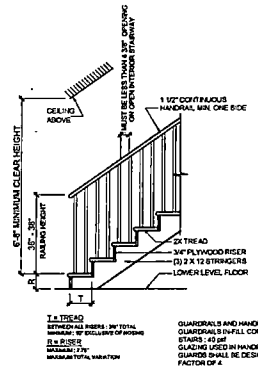
SHEET NUMBER

A5.1

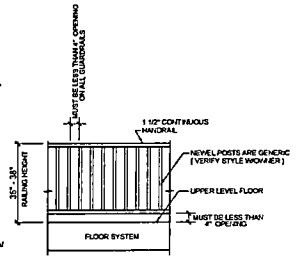




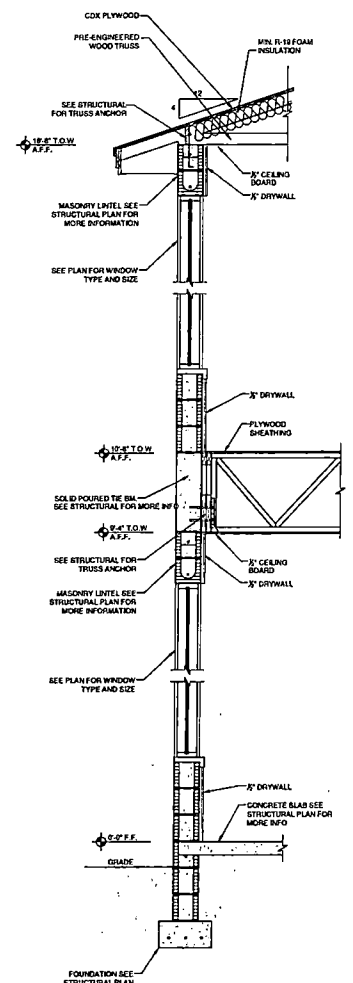
STAIR SECTION
SCALE: 1/4\"/>



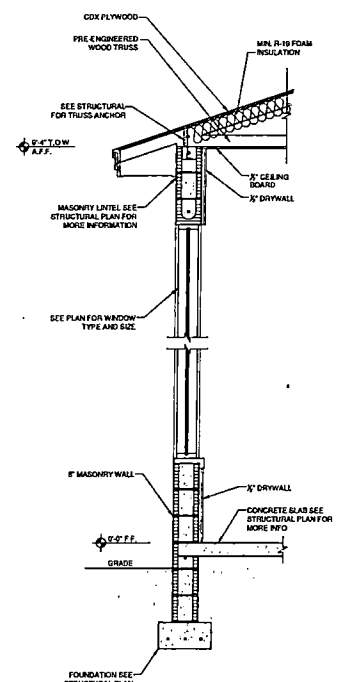
STAIR / RAILING DETAIL
SCALE: 1/2\"/>



GUARDRAIL DETAIL
SCALE: 1/2\"/>



2 STORY CMU WALL SECTION
SCALE: 1/2\"/>



1 STORY CMU WALL SECTION
SCALE: 1/2\"/>

RECEIVED
DEC 04 2018

ARCHITECT:

PHIL KEANE
ARCHITECTURE
CONSTRUCTION
INTERIORS
PROJECT:

FERNANDEZ RESIDENCE
181 Virginia Drive
Winter Park, FL 32789

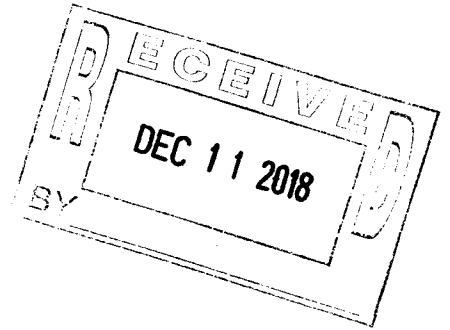
PLAN REVISIONS	
DATE	DESCR.

DATA:
DESIGNER:
DRAWN BY:
SHEET DESCRIPTION:
BUILDING SECTIONS
SHEET NUMBER

A6.0

PETITION

We, the undersigned neighbors, oppose the variance and the significant changes to the historical character of the home at 181 Virginia Drive.

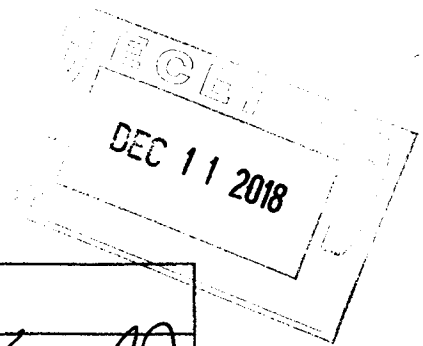


DATE	NAME	ADDRESS	SIGNATURE
12-8-18	Paul West	250 Virginia Dr	Paul West
12-8-18	Patty Hooten	250 Virginia Drive	Patty Hooten
12-8-18	Paul Wood	280 Virginia Drive	
12-8-18	Cynthia Wood	380 Virginia Dr.	Cynthia Wood
12/8/18	Roy Lassiter	316 Virginia Dr	Roy Lassiter
12/8/18	Roy Lassiter	316 Virginia Dr.	Roy Lassiter
12/8/18	Joe Bancroft	375 Virginia Dr	Joe Bancroft
12-8-18	Laura Bunn	375 Virginia Dr.	Laura Bunn
12-8	Virginia Champion	1640 Forest Ave	Virginia Champion
12-8	Ganesh Kanumalla	227 Virginia Drive	
12-8	Shuba K.	227 Virginia Drive	Shuba K.
12-10	Judy Muller	201 Chelton Cir	Judy Muller

Roy Lassiter
has eye limita-
His wife Bev
signed first-

PETITION

We, the undersigned neighbors, oppose the variance and the significant changes to the historical character of the home at 181 Virginia Drive.



DATE	NAME	ADDRESS	SIGNATURE
12/7/18	ORMAN L. KIMBROUGH JR.	1451 HIGHLAND RD.	<i>Orman L. Kimbrough Jr.</i>
12/7/18	KAY K. KIMBROUGH	1451 Highland Road	<i>Kay K Kimbrough</i>
12/9/18	Hannah Miller	1520 Akenoe Rd	<i>Hannah Miller</i>
12/8/18	PAT ROBERTSON	1350 College Point	<i>Pat Robertson</i>
12/8/18	RANDY ROBERTSON	1350 COLLEGE POINT	<i>Randy Robertson</i>
12/8/18	Dianne Dornbush	1351 College Point	<i>Dianne L. Dornbush</i>
12/8/18	ROBERT DORN BUSH	1351 College Pt.	<i>Robert Dornbush</i>
12/8/18	Jean Young	1331 College	<i>Jean Young</i>
12/8/18	Jean Young	1331 College Point	<i>Jean Young</i>
12/8/18	Suzy Harris	1521 Highland Road	<i>Suzy Harris</i>
12/8/18	Caroline Emmons-Doherty	1541 Highland Rd.	<i>Caroline Emmons-Doherty</i>
12/10/18	Juan Robert	1541 Highland Rd	<i>Juan Robert</i>

PETITION

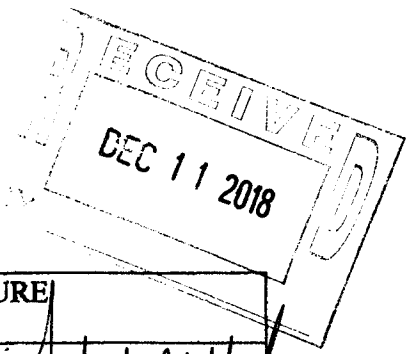
We, the undersigned neighbors, oppose the variance and the significant changes to the historical character of the home at 181 Virginia Drive.

RECEIVED
DEC 11 2018

DATE	NAME	ADDRESS	SIGNATURE
12-10-18	Angela Weatherford	1583 Highland Rd WP, FL 32789	Angela Weatherford
12/10/18	DEBERA SHARPE	1599 HIGHLAND, WP, FL 32789	Debera Sharpe
12-10-18	John Parker	1599 Highland Rd. WP 32789	John Parker
12/10/18	Suzi Gaisel	1566 Glencoe Rd WP 32789	Suzi Gaisel
12/10/18	JAY GAISEK	1566 Glencoe Rd WP	Jay Gaisel
"	BILLY COLLINS	1450 GLENCOE	Billy Collins
"	Barbara J. Fisher	144 Stirling Ave	Barbara J. Fisher
"	Matthew McKenna	1421 Highland Road	Matthew McKenna

PETITION

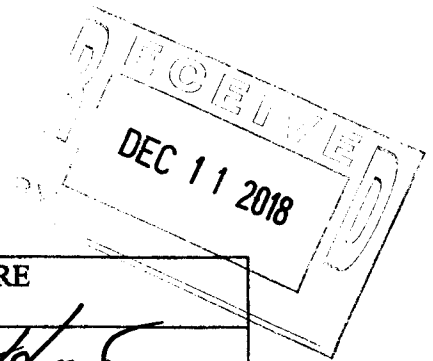
We, the undersigned neighbors, oppose the variance and the significant changes to the historical character of the home at 181 Virginia Drive.



DATE	NAME	ADDRESS	SIGNATURE
12/10/18	Susan Menard	101 Virginia Dr. W.P.	[Signature]
12/10/18	Neil Menard	101 Virginia Dr. W.P.	[Signature]
12/10/18	Steve Gorman	1520 Highland Rd W.P.	[Signature]
12/10/18	JULIE SEGALL	1543 Menard Rd W.P.	[Signature]
12/10/18	Mary Kiseger	1570 Highland Road W.P.	[Signature]
12/10/18	Corey Cook	1620 Highland Rd	[Signature]
	Erubrica Cook	1620 Highland Rd	[Signature]
12/10/18	Rita M. Canby	1575 Glencoe Rd, Winton Pt	[Signature]
12/10/18	Joni M. Canby	1575 Glencoe Rd. Winton Pt	[Signature]
12/10/18	Robert Egall	1539 Glencoe Rd WP 32789	[Signature]
12/10/18	Nancy Miller	1520 Glencoe Rd WP 32789	[Signature]
12/10/18	Robert Adrich	144 STIRLING AVE. W.P. 32789	[Signature]

PETITION

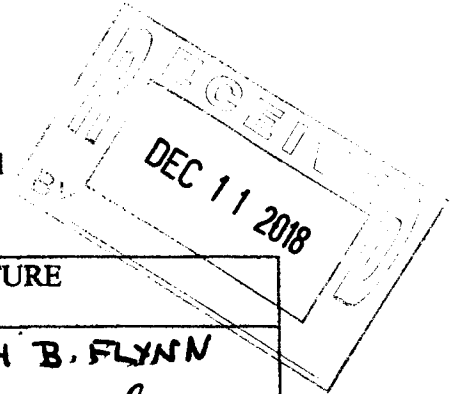
We, the undersigned neighbors, oppose the variance and the significant changes to the historical character of the home at 181 Virginia Drive.



	DATE	NAME	ADDRESS	SIGNATURE
1	12-8-18	CHARLES HUNT	210 VIRGINIA DR	[Signature]
2	12-8-18	PAT ESTES	1537 HILLCREST AVE	[Signature]
3	12-8-18	Lisa Turchin	1584 Hillcrest Ave	[Signature]
4	12-8-18	GARY TURMIN	1584 Hillcrest Ave.	[Signature]
5	12-8-18	GLORIA BIRMINGHAM	1630 HILLCREST AVE	[Signature]
6	12-8-18	ARTHUR BIRMINGHAM	1630 HILLCREST AVE	A. Birmingham
7	12-8-18	Brooks Saunders	1560 Hillcrest Ave	[Signature]
8	12-8-18	Matt Clemens	1651 Hillcrest Ave	[Signature]
9	12-8-18	Scott Saunders	1560 Hillcrest Ave	[Signature]
10	12-8-18	Tammy Saunders	1560 Hillcrest Ave	[Signature]
11	12-8-18	William Lee	146 Virginia Dr.	[Signature]
12	12-8-18	William Lee	146 Virginia Dr.	[Signature]

PETITION

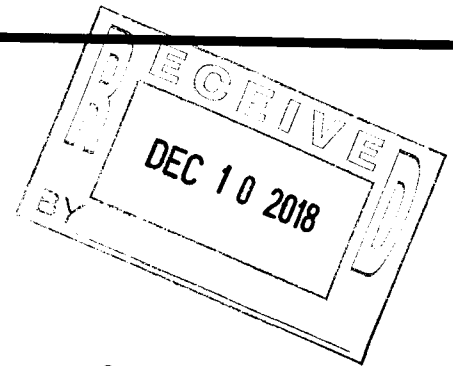
We, the undersigned neighbors, oppose the variance and the significant changes to the historical character of the home at 181 Virginia Drive.



DATE	NAME	ADDRESS	SIGNATURE
12/08	Sarah B. Flynn	1400 Highland Rd	SARAH B. FLYNN
12/08	Grace Sutte	1300 Larkview Dr	<i>Grace Sutte</i>
12/8	Walter Fritz	1300 College Pt	<i>Walter Fritz</i>
"	Suzanne B. Fritz	1300 College Point	<i>Suzanne B. Fritz</i>
"	David Summers	8241 Helens Dr. Or.	<i>David Summers</i>
"	MARY SUMMERS	8241 Helens Dr	<i>Mary Summers</i>
	Carol Malatsky	700 Melrose Ave	<i>Carol Malatsky</i>
12/10/18	Dr. Frank Diefendorfer	160 VIRGINIA DR.	<i>[Signature]</i>
	DR. FRANK DIEFENDORFER		

Theresa Dunkle

From: susan menard <slm7141129@gmail.com>
Sent: Monday, December 10, 2018 9:12 PM
To: Theresa Dunkle; George Wiggins
Subject: 181 Virginia Drive requested variance



Dear Ms. Dunkle and Mr. Wiggins,

We are writing to express our opposition to the variance requested by the owners of 181 Virginia Drive. We have lived at 101 Virginia Drive for almost 4 years, having chosen to purchase a home in this area to insure that the historic charm and uniqueness of the neighborhood would be protected. The vast majority of the residents in our enclave believe as we do-that bigger is not always better and that there is value in preserving the charm and historic aesthetic that makes Winter Park, and our neighborhood, so special. Clearly that value is not embraced by the new owners of 181 Virginia Drive.

The application for the variance lists the need for a new roof which is compliant with current hurricane standards. It fails to address the fact that the owners propose to add almost 6000 square feet to the 1920's home and therefore need a new roof. We would have no objection if they simply wanted to replace the existing roof on the existing structure.

We object to the variance because the plans as proposed maintain none of the historic charm of this 1920's gem, enlarge the house to a degree which is in complete discord with the neighborhood, and exemplify every reason why zoning ordinances are adapted. The owners and builder are simply trying to use the benefits of their "historic" home--the 7.5 foot set back--while ignoring and decimating everything that make the home historic. They cannot have it both ways. It is clear from the plans submitted and from their actions to date (removal of trees and failure to protect others, a violation of the resulting Stop Work Order, non-permitted exterior demolition), that there is zero appreciation for the history of the home or the aesthetic of the special neighborhood in which it is located. There is also a blatant disregard for the City of Winter Park and those, like you, who work so hard to adapt and enforce regulations which protect the unique nature of our city.

If you permit the variance requested for 181 Virginia Drive, you are essentially allowing the construction of a new 11,000+ home with a total combined setback of 12.5 feet. That is 37.5 feet short of what would be allowable now. The proposed detached garage, allowing the owners to take advantage of the 5 foot setback, will, we have no doubt, find itself attached.

Please send a message to these owners, as well as owners and builders to come, that the current zoning regulations exist for a reason and will be enforced. Thank you for your consideration.

Respectfully submitted,
Neil and Susan Menard
(407) 492-4239

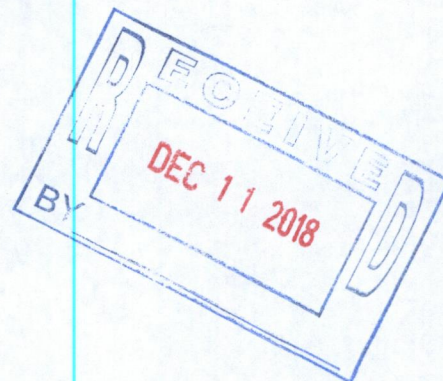
Theresa Dunkle

From: Elise Sabatino <elise@nationalrealestate.com>
Sent: Tuesday, December 11, 2018 1:29 PM
To: George Wiggins; roger@philkeandesigns.com; giovanni@nationalrealestate.com; Phil Kean; Theresa Dunkle
Subject: Fwd: 181 Virginia Drive

Please see below response from former Winter Park resident Patricia Turner.

Thank you,

Elise Sabatino
National Real Estate
(516)381-3810



Begin forwarded message:

From: Elise Sabatino <elise@nationalrealestate.com>
Date: December 11, 2018 at 1:25:14 PM EST
To: Patricia Turner <turn4441@bellsouth.net>
Subject: Re: 181 Virginia Drive

Hi Patricia,

Sorry to hear of the passing of your parents. I understand your emotion on the selling of the house. My grandmother still lives in the house I grew up in in New York and I imagine I will feel similarly when the day comes that the home is no longer apart of our family.

We love this neighborhood over any other in the area and know our kids will have a great childhood here. We plan to be a part of the community and add to the current culture. We'll meet with the residents and let them know we come with the best intentions for the property.

Take care,

Elise Sabatino
National Real Estate
(516)381-3810

On Dec 11, 2018, at 1:06 PM, Patricia Turner <turn4441@bellsouth.net> wrote:

Elise,

Thank you for your response. I do appreciate it, and again I sincerely meant no ill will in what was written. As I mentioned in my email, I lost both of my parents last year who had lived at 146 Virginia drive for 55 years. As you can imagine, my emotions and passion are probably still a bit too strong as I'm still coming to terms with the selling of my childhood home, and the loss my parents. I live in South Florida and have only been back to Winter Park once since the house was sold in October.

I will admit that the computer generated rendition included in your email shows far better than the plans filed with the city. As a former resident, I really don't have the right to have any input, so again I appreciate you responding. I truly hope you can sit down with the neighbors so all of the issues, on both sides, can be amicably discussed.

Being part of that neighborhood helped shaped who I am today. You never just had one home or family, you had many. In our days, a door was never locked and we all watched out for each other.

Again, I wish you and your family all the best. You're under no obligation to meet with neighbors to discuss their concerns, but as a long term resident of the neighborhood I think it would go a long way for all involved.

Happy Holidays and all the best for a very Happy New Year.

Sincerely,

Patricia Pattillo Turner
954-646-9635

On Dec 11, 2018, at 12:04 PM, Elise Sabatino <elise@nationalrealestate.com> wrote:

Hi Patricia,

We thank you for your upfrontness and honesty as it relates to the plans for the extension of our home.

We do wish to upgrade and enlarge as we plan to live in this home and have it in our family for years to come. We do like to entertain and we know that many of the residents in the area like to throw and attend a good party, so we hope we can share in that together once we are able to move in to the home.

We love the home and the 1920's character of the home, which is why we were so attracted to it, and we whole-heartedly wish to expand on that character in the style of the expansion. We have no intention of tearing down the home, as we stated to the Cox Family when we met with them before purchasing the home. In fact, in our plans, we have chosen to keep the historic front entry of the home exactly as it stands now, and carry that style throughout the rest of the home! The plans submitted for the variance may not show in a computer imaged rendering all of that character we choose to maintain and also to add. We have spent much time and energy looking at homes and neighborhoods all over Winter Park, as well as creating a portfolio of images representing 1920's homes that are similar in style to ours, and we are confident we will be able to show the character of the era in the expansion of the home. And that is our #1 goal. I have attached some inspiration photos, and I strongly doubt, you will consider the style an eye sore. (May I point out the style of the home is Mediterranean to begin with, and the

style while renovating is 1920's Mediterranean Revival as shown in the photos attached.)

Our architect, who you know of, has done many modern homes in the area, and is yet completely on board with our vision of maintaining the character of this home. His portfolio contains many renovations, and other styles of home as well, however, in our part of the country, that is just not what he is known for. In fact, as we were discussing the renovation with other firms in the area, some suggested that we knock down the home due to the amount of work needed to renovate! We were not willing to take that as our only option. Phil Kean was the architect who heard our vision and created a plan that more strategically used the older parts of the home, and added on some spaces that we as a family, and as the homeowner, would enjoy in our home! A home office (I work from home), a guest suite, (both of our families live in other parts of the county), a garage that fits both of our vehicles as the current garage absolutely does not, so on and so forth...

What I can say is that we surely underestimated the neighborhood input that we would receive regarding our plans for the home. We understand that the community is long established with families who have pride in the community. We plan to join in that as we move our family to the neighborhood. We plan to come to the community event on December 16th, it sounds wonderful, and meet the neighbors...

I don't really want to bring negative energy into this response but I do have to address a few things....

Some of statements you made, without ever meeting us, are hurtful and not accurate. We did acquire demo permits, we were not aware of the tree being protected, and have spoken to the city regarding this. We do plan to plant more trees on the property and add to the tree fund as required. And yes we did have a party for our sons birthday at the home. We are currently living in a condo as we renovate, and it didn't allow for us to have a birthday party for him there so we took the opportunity to enjoy the home as it stands with some family and friends. I don't see much harm in this. And hate the fact that I have to explain myself, but so it is. In addition we have done many projects throughout our time here in Central Florida that have maintained character of neighborhoods, particularly in Orlando's bungalow neighborhoods. If you have any intention of finding out who we are and what we stand for, please ask, come visit our projects. Interviews and computer imagery, it seems, can be misleading.

Respectfully,

Giovanni and Elise Fernandez

<image.png>

Elise Sabatino
direct. (516) 381-3810
email. elise@nationalrealestate.com

National Real Estate

210 N Bumby Ave.
Orlando, FL 32803
web. www.nationalrealestate.com

----- Forwarded message -----

From: **Patricia Pattillo Turner** <turn4441@bellsouth.net>
Date: Tue, Dec 11, 2018 at 10:40 AM
Subject: 181 Virginia Drive
To: <Giovanni@nationalrealestate.com>

Mr. Fernandez,

I wanted to give you the courtesy of sending you a copy of an email that I sent to members of the Winter Park Building and Permitting committee. After 55 years at 146 Virginia Drive, sadly both of my parents passed away last year. I wrote the letter below as I know it expresses what both of my parents would have felt were they still living. You are moving into one of the most amazing neighborhoods in Winter Park. A neighborhood that I had called home for 52 years, until a few months ago. Selling the house was bittersweet, but I made sure that it was sold to someone who appreciated the uniqueness of not only the house, but also the neighborhood and those who live there.

I congratulate you on your purchase. I know the house well and spent a lot of time there while growing up. I understand your wish to upgrade and enlarge, but at what cost? There are plenty of firms in Winter Park that could have assisted you with design plans to accommodate your needs, while at the same time designing something with class and character that would give the impression that the house had been there since the early 1900's (like the other homes). At the end of the day it is your choice, but given that you seem to have the means I find it very confusing as why you would want to build such a house that will in no way fit in with the charm and character of the neighborhood. I assume that those characteristics are some reasons why you were attracted to this particular location in the first place.

You and your family have an opportunity to be part of more than just a parcel of land, and brick and mortar. This is not a gated community where there is little to no interaction, or sense of community. This neighborhood is a family. I respectfully ask that you consider some of the points that were made in the letter to the city and in my personal message here to you. Sit down with the neighbors, learn about the history of the neighborhood and stand by your statements about the importance of preservation and character. As I mentioned above, there are far better architects out there who would have proposed more appropriate designs, vs what appears to me to be a design you would see in any gated community in Weston or Boca Raton.

I write this letter with no ill will intended, but out of love for a community that gave my family so much over the 55 years we lived there. I only wish the same for you and your family.

All the best,

Patricia Pattillo

From: Patricia Turner <turn4441@bellsouth.net>
Date: Sun, 09 Dec 2018 11:39:20 -0500

To: <tdunkle@cityofwinterpark.org>tdunkle@cityofwinterpark.org>, <gwiggins@cityofwinterpark.org>, <roger@philkeandesigns.com>

Subject: Re: 181 Virginia Drive

To Whom it may concern:

I just recently sold my parent's house where they lived for 55 years, and the only home I had ever known. The house is located at 146 Virginia Drive, two doors down from the 181 Virginia Drive. The house had many additions, yet the façade was never changed. My parent's not only had respect for the home itself, but for the neighborhood which in itself is incredibly unique. Every home tells a story of years past and this is one of the reasons why the neighborhood is not only special, but very desirable. It seems as if Winter Park has (is) losing its integrity. Living in South Florida, I see corruption in regards to the building and permitting departments on nearly every project. What has happened to the town I love?

I was recently shown the plans for the proposed construction at 181 Virginia Drive. Yes, as the new buyer they have a right to do what they wish in terms of the style of home they build, but the tactics I have seen so far reek of corruption, and a severe lack of taste. I am sorry, but this faux Mediterranean home is better suited for some gated community in Boca Raton, West Broward County or Las Vegas, not in one of the oldest neighborhoods in Winter Park. In addition, no one is fooled by their garage positioning with a mere 3 foot breezeway between it and the house. We all know that at some point they will be connected. I had been warned by many when I put my parent's house up for sale to steer clear of Phil Kean. Not to say he isn't qualified or capable, but that he could care less about preserving the charm and character of our very special city. To also find out that he sits on the Permitting Board, is beyond ridiculous. At a minimum, Phil Kean should recuse himself from anything having to do with the permitting process for this property. I also question the Architect on this project. Did he/she take the time to look at the neighborhood when designing the house? Would it have been that difficult to actually design a house with timeless character while still accommodating the needs of the buyer?

Having read interviews given by the new buyer, he goes on and about the importance of character and preservation, but has proposed a home with absolutely no character or any intention of preserving the current façade of a beautiful old home. So, ("new owner") which is it? Do you believe in character and preservation or was that just your marketing "spin"? Would it be that difficult to work with the façade that exists? Do you want to be the "characterless mega mansion" amongst works of art. Sadly, this new owner has already lost much of what this neighborhood stands for, which is community - starting work without permits, removing protected trees and hosting noisy parties with no regard for the neighbors, etc.

It is my hope that the new owner can sit down with the current residents of the neighborhood and take some time to learn about the uniqueness and history of the surrounding homes. If he truly appreciates character and believes in preservation, as he has been quoted, surely he will see that his proposed design lacks character, charm and any sense of timelessness. As is, it will be an eye sore amongst treasures.

I apologize if this sounds harsh, but I mean every word of it. Please feel free to share with the new owner at 181 Virginia Drive.

Sincerely,

Patricia Pattillo

Theresa Dunkle

From: Orman Kimbrough <okimbrough@whkpa.com>
Sent: Monday, December 10, 2018 3:54 PM
To: Gwinggins@cityofwinterpark.org
Cc: Theresa Dunkle
Subject: 181 Virginia Drive Variance Request

Mr. Wiggins,

As a resident at 1451 Highland Road, I write in opposition to the side setback Variance being sought for 181 Virginia drive. There is no reasonable basis to grant the variance plus there is nothing listed in the application responsive to the standards. There is:

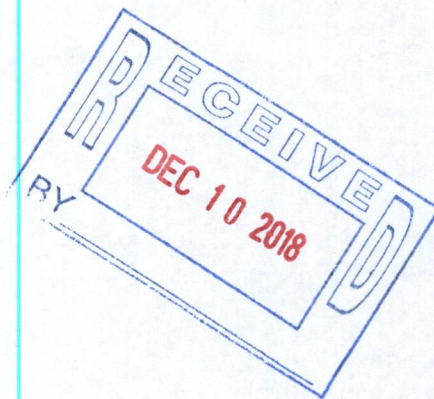
1. No special condition or circumstance peculiar to the land, structure or building
2. No deprivation to the applicants of rights or privileges enjoyed by others because of enforcement of the Zoning Ordinance
3. No valid hardship of any kind described by the applicants.

Without justification as outlined in the code, the owners are seeking to avoid complying with the current codes. Their request should be denied.

Orman Kimbrough

Orman L. Kimbrough, Jr.
Wooten Kimbrough, P.A.
236 S. Lucerne Circle
Orlando, FL 32801
Telephone: 407-843-7060
Facsimile: 407-843-5836
okimbrough@whkpa.com

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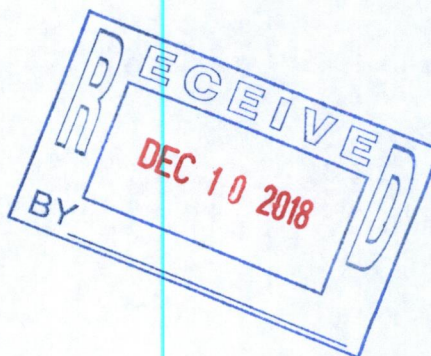


Theresa Dunkle

From: Katherine Head <khead211@aol.com>
Sent: Monday, December 10, 2018 11:02 AM
To: Theresa Dunkle; George Wiggins
Subject: 181 Virginia Drive/Dec 18

211 E. Lake Sue Ave is strongly opposed to reducing set back requirements to allow for a 10,000 sq. ft. house. Bigger is not always better. Virginia Heights is being eaten away with new residential construction that is in no way compatible with the community we moved to. I fear we will have to fight for sunlight if this continues. And what about run off? Years ago I was not allowed a floor in the carport addition to our garage. I feel certain these larger residence are no longer held to those standards. Please consider the over-all community before starting to change set-back requirements. Newer construction is eliminating green space. The next generation will have to join a fitness facility to even play kick ball.

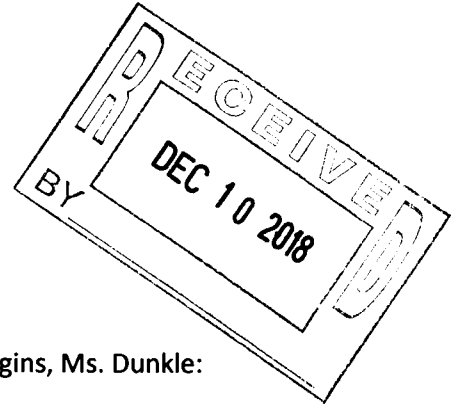
Sidney & Katherine Head
211 E. Lake Sue



Patricia Estes
1537 Hillcrest Ave.
Winter Park, FL 32789

December 10, 2018

Winter Park Board of Adjustments
401 Park Ave.
Winter Park, FL 32789



cc: Mr. George Wiggins, Ms. Theresa Dunkle

Dear Members of the Winter Park Board of Adjustments, Mr. Wiggins, Ms. Dunkle:

It is with a very heavy heart that I write this letter. I have lived in my home at 1537 Hillcrest Ave., Winter Park, since the early 70s. My children were raised in the home, and - as you can imagine, I have a very close emotional attachment to it. Several years ago, I had it added to the Winter Park Historic Register. It is #7 on the register.

Among the reasons I love Winter Park - and my home and neighborhood - is exemplified by a statement from the City's website under Historic Preservation ...

"Winter Park is a city recognized for its old Florida sense of place. The unique character of Winter Park is due in part to its historic architecture as reflected in its vibrant downtown, gracious neighborhoods and landmark buildings."

Now here's the rub.

The character of MY neighborhood is about to be changed, and - unless the City acts - we will soon lose one of its most gracious homes. One of my long time neighbors - John and Connie Cox (their son used to babysit my boys) - sold their home located at 181 Virginia Dr. They did NOT put it on the Historic Register, although it would have easily qualified. It is a lovely home, with many fine architectural details and much character. It fits nicely on its large lakefront lot. Its size is appropriate for the neighborhood. It's a shame the Cox family did not have the foresight - and love of old Winter Park - to place it on the Register.

The new owners are requesting a variance to the side setback requirements so they can construct a 10,000 sf house that is WAY TOO BIG for the neighborhood. The architectural firm is Phil Kean Design. I need say no more.

There is a very large heritage oak tree in the back yard that deserves preservation, and has not had a tree barrier erected until a few days ago. The soil is very disturbed and there are exposed roots. Heavy equipment will soon be disturbing the roots even more. There is a large piece of equipment staged in

the driveway, ready to demolish the pool, which is close to the tree. Urban Forestry has had a STOP WORK order placed on the property, and the neighbors are very grateful for a least a short reprieve. Thank you, Josh Nye, for all you have done!

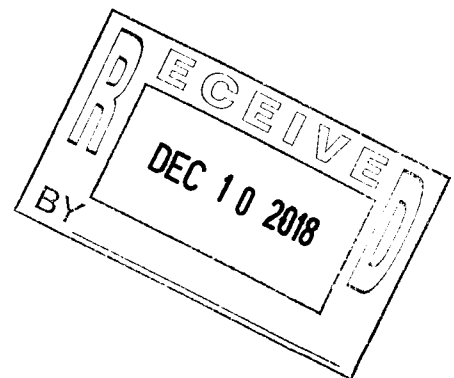
In closing, I want to admit that two things I do not tolerate well - at my advanced age - are hypocrisy and audacity. The new owners tout themselves as being concerned about historic preservation. That is hypocritical. They could easily have placed the home on the Historic Register and renovated the interior, while maintaining the exterior character. If they really want a 10,000 sf monstrosity of a house, I'd suggest they build somewhere other than my gracious neighborhood. A 10,000 sf house is audacious, and will stick out like a sore thumb! It is also audacious of them to think they can buy an old house and hide under the old setback requirements. We have laws for a reason. The law is 18' setback for the first floor, and 25' for the second floor - NOT the old 7.5' setback, which they are requesting. They do not meet the code's requirements for a variance, and this fact cannot be taken lightly as it would set a precedent for others to also purchase historical homes just to take advantage of the smaller setbacks those older structures have as they were built before the current code came into effect.

I am confident the City recognizes its obligation to enforce the rules to achieve some success in preserving its "gracious neighborhoods and landmark buildings".

PLEASE deny their variance request.

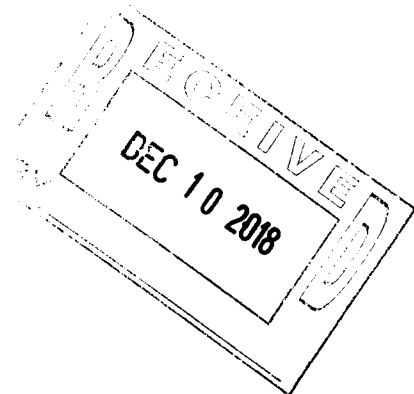
Respectfully submitted,

Pat Estes
1537 Hillcrest Ave.
Winter Park, FL 32789



Theresa Dunkle

From: Sally Flynn <flynnlinks@aol.com>
Sent: Saturday, December 8, 2018 5:38 PM
To: Theresa Dunkle
Cc: George Wiggins
Subject: Opposition to 181 Virginia Dr



December 8, 2018

Winter Park Board of Adjustments
401 Park Ave.
Winter Park, FL 32789

cc: George Wiggins, Theresa Dunkle

Dear Members of the Board of Adjustments, Mr Wiggins, Ms Dunkle:

I am so concerned about the beautiful home at 181 Virginia Dr. I have lived in my home (2 houses around on the lake) since 1966. I was instrumental in forming the East Virginia Heights District. Two houses in the district have been razed and for good reason. I came to a meeting to support the owners , who are building a new home at 1471 Highland. The other is across the street from me. Both of these homes (as they were in the district) had to be built in character with the neighborhood.

I realize, the Cox's house doesn't have that restriction BUT it is sad to think that the new neighbors don't care about the character of the neighborhood. That being said...they can build a Phil Keene design and spoil what we have.

What we do have control over is denying any and all variances. They knew the set backs when they bought the property. They are not entitled to variances. I understand 4 letters have been sent listing consent to the owners. None of these people LIVE in our neighborhood.

I sincerely hope the variances will be denied.

Sincerely,
Sally Flynn

Theresa Dunkle

From: George Wiggins
Sent: Sunday, December 9, 2018 1:17 PM
To: 'Patricia Pattillo Turner'
Cc: Theresa Dunkle
Subject: RE: 181 Virginia Drive

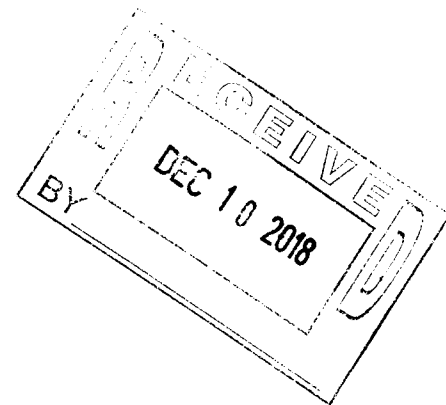
Ms. Pattilo,
I received your message and make sure all Board members receive a copy.



City of Winter Park
401 Park Ave. South
Winter Park, FL. 32789
cityofwinterpark.org

George Wiggins
Director of Bldg/Legis Affairs
Building & Permitting Services

407.599.3426



From: Patricia Pattillo Turner <turn4441@bellsouth.net>
Sent: Sunday, December 9, 2018 11:03 AM
To: Theresa Dunkle <tdunkle@cityofwinterpark.org>; George Wiggins <Gwiggins@cityofwinterpark.org>
Subject: 181 Virginia Drive

To Whom it may concern:

I just recently sold my parent's house where they lived for 55 years, and the only home I had ever known. The house is located at 146 Virginia Drive, two doors down from the 181 Virginia Drive. The house had many additions, yet the façade was never changed. My parent's not only had respect for the home itself, but for the neighborhood which is incredibly unique. Every home tells a story of years past and this is one of the reasons why the neighborhood is not only special, but very desirable. It seems as if Winter Park has (is) losing it's integrity. Living in South Florida, I see corruption in regards to the building and permitting departments on nearly every project. What happened to the town I loved?

I was recently shown the plans for the proposed construction at 181 Virginia Drive. Yes, as the new buyer they have a right to do what they wish in terms of the style of home they build, but the tactics I have seen so far wreak of corruption, and a severe lack of taste. I am sorry, but this faux Mediterranean home is better suited for some gated community in Boca Raton, West Broward County or Las Vegas, not in one of the oldest neighborhoods in Winter Park. In addition, no one is fooled by their garage positioning with a mere 3 feet breezeway between it and the house. We all know that at some point they will be connected. I had been warned by many when I put my parent's house up for sale to steer clear of Phil Kean. Not to say he isn't qualified or capable, but that he could care less about preserving the charm and character of our very special city. To also find out that he sits on the Permitting Board, is beyond ridiculous. At a minimum, Phil Kean should recuse himself from anything having to do with the permitting process for this property. I also question the Architect on this project. Did the he/she take the time to look at the neighborhood when designing the house? Would it have been that difficult to actually design a house with timeless character?

Having read interviews given by the new buyer, he goes on and about the importance of character and preservation, but has proposed a home with absolutely no character or any intention of preserving the current façade of a beautiful old home. So,

• (“new owner”) which is it? Do you believe in character and preservation or was that just your marketing “spin”? Would it be that difficult to work with the façade that exists? Do you want to be the “characterless mega mansion” amongst works of art. Sadly, this new owner has already lost much of what this neighborhood stands for, which is community - starting work without permits, hosting noisy parties with no regard for the neighbors, etc.

It is my hope that the new owner can sit down with the current residents of the neighborhood and take some time to learn about the uniqueness and history of the surrounding homes. If he truly appreciates character and believes in preservation, as he has been quoted, surely he will see that his proposed design lacks character, charm and any sense of timelessness. As is, it will be an eye sore amongst treasures.

I apologize if this sounds harsh, but I mean every word of it. Please feel free to share with the new owner at 181 Virginia Drive.

Sincerely,

Patricia Pattillo

Theresa Dunkle

From: Ganeshram <ganeshkanumalla@gmail.com>
Sent: Tuesday, December 11, 2018 5:42 AM
To: George Wiggins; Theresa Dunkle
Subject: 181 Virginia Drive

TO THE LEADERS OF THE CITY OF WINTER PARK,

We are blessed to live in the historic neighborhood of Winter Park, at 227, Virginia Drive. The character of the homes on our little street give it an old-worldly charm that is hard to find elsewhere in the city or country for that matter, as I have traveled a LOT.

Sadly, that is about to change unless we take reasonable preventive action. I am referring to the 181 Virginia Drive property. I am their immediate neighbor to the east. It already breaks our heart to see such a beautiful home, especially on the exterior and the back-yard, ravaged to its current state. But when I saw the plan for the **monstrosity** going to be built, I decided to contact you and let you know our feelings. To get your help in addressing my concerns, which are primarily these:

- 1) They do not meet the code's requirements for a variance. They are taking advantage of the smaller setback of a home that is historic in time and value.
- 2) They are building a detached 2-car-garage, just 3 Feet from the house, which is another sly way to bypass the law to get a monster house, sitting a mere 5-feet from our property line, instead of the proper setback required.
- 3) The size of the house is going from under 5K to 10,000+ Square Foot, which dwarfs every house on that little street, creating an irreversible imbalance in the street and the neighborhood. Such a house belongs in Isleworth, not in our quaint Virginia Drive.
- 4) We and our neighbors have been appalled at the pace at which the demolition began, a) without proper permitting and b) doing significant damage to the roots of a stately oak tree that is in the backyard. Who gave them permission?
- 5). Lastly, this is a matter of taste, therefore it may not pass in a court of law, but one would have to be blind to see how tasteless the front-facade of the proposed design is, compared to the lovely charming exterior that my neighboring home once had. And combine the fact that it is going to be 10,000+Sqfeet, and so close to the properties on either side (of which one is ours), this thing will stand out like an irreversible eye-sore.

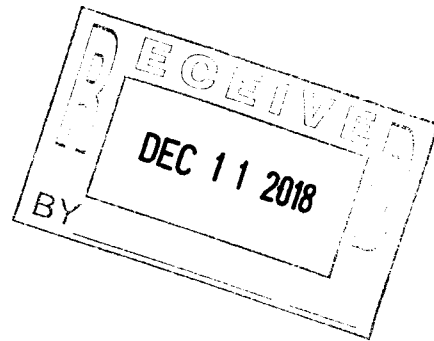
I politely request the City to make sure our concerns are addressed and the situation remedied before it gets too far. There will be dire consequences for all of us otherwise. This will set a wrong precedent for others to continue the destruction of Winter Park's character.

Thanks
Ganesh
227, Virginia Drive
Winter Park, FL 32789



December 11, 2018

Mr. George Wiggins, Director of Building
Ms. Theresa Dunkle, Recording Clerk
Winter Park Board of Adjustments
City of Winter Park
401 Park Avenue
Winter Park, FL 32789



Dear Mr. Wiggins and Ms. Dunkle:

As the owner of an historic* Winter Park home at 210 Virginia Drive in a gracious neighborhood, I am writing to express my concern about the planned 10,000 sq. ft. residence under construction at 181 Virginia Drive, directly across the street from my home.

Many Winter Park citizens in the Virginia Heights and Ellno Willo districts are deeply concerned that the character of our neighborhood will be severely diminished by the mammoth footprint of this residence. It is beyond comprehension that the owners and architects would ignore the context of the neighborhood, the desires of the neighbors, and most important, the appropriateness of scale.

I respect that property owners have the right to their own taste, but there are limits to how much that taste can intrude on a neighborhood. To put it frankly, this project is being "jammed" onto a lakefront lot will aggressively intrude itself into a neighborhood where the older homes are appropriately scaled to their lots.

The project owners are requesting a 7.5" setback. The law is 18' setback for the first floor, and 25' for the second floor. They do not meet the code's requirements for a variance. Unfortunately, if a variance is granted, it sets a precedent for others to also purchase historic homes, built before the current code, to take advantage of their smaller setbacks.

It is truly an outrage that our beautiful little city is recognized for its "Old Florida sense of place" (Winter Park Historic Preservation statement) and yet the City allows utterly inappropriate, mammoth architecture to debase our old neighborhoods.

Please be advised that many property owners in our neighborhood oppose this project as it stands.

Sincerely,

Charles C. "Butch" Hurt

Cc: ccooper@cityofwinterpark.org; gseidel@cityofwinterpark.org;
pete.weldon@cityofwinterpark.org; ssprinkle@cityofwinterpark.org; sleary@cityofwinterpark.org;
bweiss@cityofwinterpark.org

*210 Virginia Drive is not on the Winter Park Registry of Historic Homes

Theresa Dunkle

To: butch@cchurtllc.com
Cc: Brooks Weiss; George Wiggins
Subject: RE: 181 Virginia Drive

From: Brooks Weiss <bweiss@cityofwinterpark.org>
Sent: Wednesday, December 12, 2018 10:34 AM
To: George Wiggins <Gwiggins@cityofwinterpark.org>
Cc: Theresa Dunkle <tdunkle@cityofwinterpark.org>
Subject: FW: 181 Virginia Drive

Are you all responding to letters like this?
They need to know about the existing house needing the variance, of course- NOT the new additions,
Brooks

From: Charels C Hurt <butch@cchurtllc.com>
Sent: Tuesday, December 11, 2018 3:54 PM
To: Carolyn Cooper <CCooper@cityofwinterpark.org>; Greg Seidel <gseidel@cityofwinterpark.org>; Pete Weldon <pete.weldon@cityofwinterpark.org>; ssprinkle@cityofwinterpark.org; Steven Leary <Sleary@cityofwinterpark.org>; Brooks Weiss <bweiss@cityofwinterpark.org>
Subject: 181 Virginia Drive

Begin forwarded message:

From: Karen Blumenthal <redpepper@cfl.rr.com>
Subject: This may have fixed it!
Date: December 11, 2018 at 2:08:29 PM EST
To: Carmel Malatesta <carmelmalatesta@yahoo.com>
Cc: Charels C Hurt <butch@cchurtllc.com>



TO: BOARD OF ADJUSTMENTS MEMBERS

FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS

DATE: DECEMBER 18, 2018

SUBJ: MILLER VARIANCE REQUEST, 210 TRISMEN TERRACE

CITY OF WINTER PARK

401 Park Avenue South

Winter Park, Florida

32789-4386

The applicant is requesting a variance to allow the construction of a building addition with a front setback of 26.3 feet whereas the required front setback is 35 feet.

The request includes constructing an enlarged accessible master suite at the front of the home by extending the corner of a new front wall by a little over 8 feet into the front setback. The placement of the addition appears to be dictated by the layout of the existing home. With this one story addition, the total area of new encroachment into the setback is 140 square feet.

The home and property is unique in that this location is at the end of a dead end street and the home is placed parallel to the north lot line, whereas the south side lot line is angled and not perpendicular to the street.

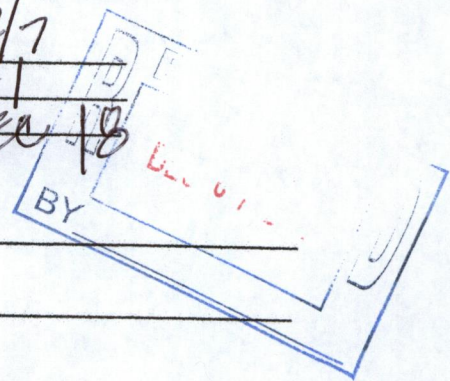
The planned addition does not exceed the allowable floor area or impervious coverage with a lot area of 13,573 square feet.

We have received one letter expressing support of this variance from a neighbor across the street and slightly south of the subject property.

**CITY OF WINTER PARK
VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT**

Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received 12/7
Assigned #1
Date of Hearing Dec 18



Applicant: Susan Miller

Owner: Valerie Woska

1370 Sunset Drive
(Address)
Winter Park, FL 32789
(City, State) (Zip)

210 Trismen Terrace
(Address)
Winter Park, FL 32789
(City, State) (Zip)

(Phone – Home)
703-622-3307

(Phone – Home)
407-257-8453

(Phone – Work or Cell)

(Phone – Work or Cell)

(Email Address)

(Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section 588-66, Paragraph f(4), Zoning R-1AA.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of property 210 Trismen Terrace, Winter Park, FL 32789

Legal description of property OSCEOLA SHORES SECTION 1 S/10 LOT 2 BLK D

Describe variance request ENCROACH INTO THE EXISTING FRONT SETBACK (AS MEASURED FROM THE PROPERTY LINE) OF 35' BY 8'8".

This section may be left blank for completion by city staff
Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.

Variance Application
Page 2 of 2

What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

Due to the existing home and road not being parallel to each other, the existing front right corner of the home encroaches into the front setback by 1'8". The front door of the home does not face Trismen but is located perpendicular to the road and faces the neighbor's home.

How long have you owned the property? under contract

How long have you occupied the property? under contract

What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

The applicant would like to create an accessible master suite in order to age-in-place with the home. Due to the irregular shape of the lot and the siting of the existing home, enlarging the existing master

Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

Due to the home and road not being parallel to each other, the existing front right corner of the home encroaches into the front setback by 1'8". In order to enlarge the existing master suite to make it an accessible master suite, the applicant is requesting to allow an addition to the front of the structure to encroach an additional 7' into the required 35' front yard setback. This makes a total encroachment at the front right corner of 8'8".

suite is the only accessible option.

Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?

No.

effectively allowing for a 26'7" front yard setback.

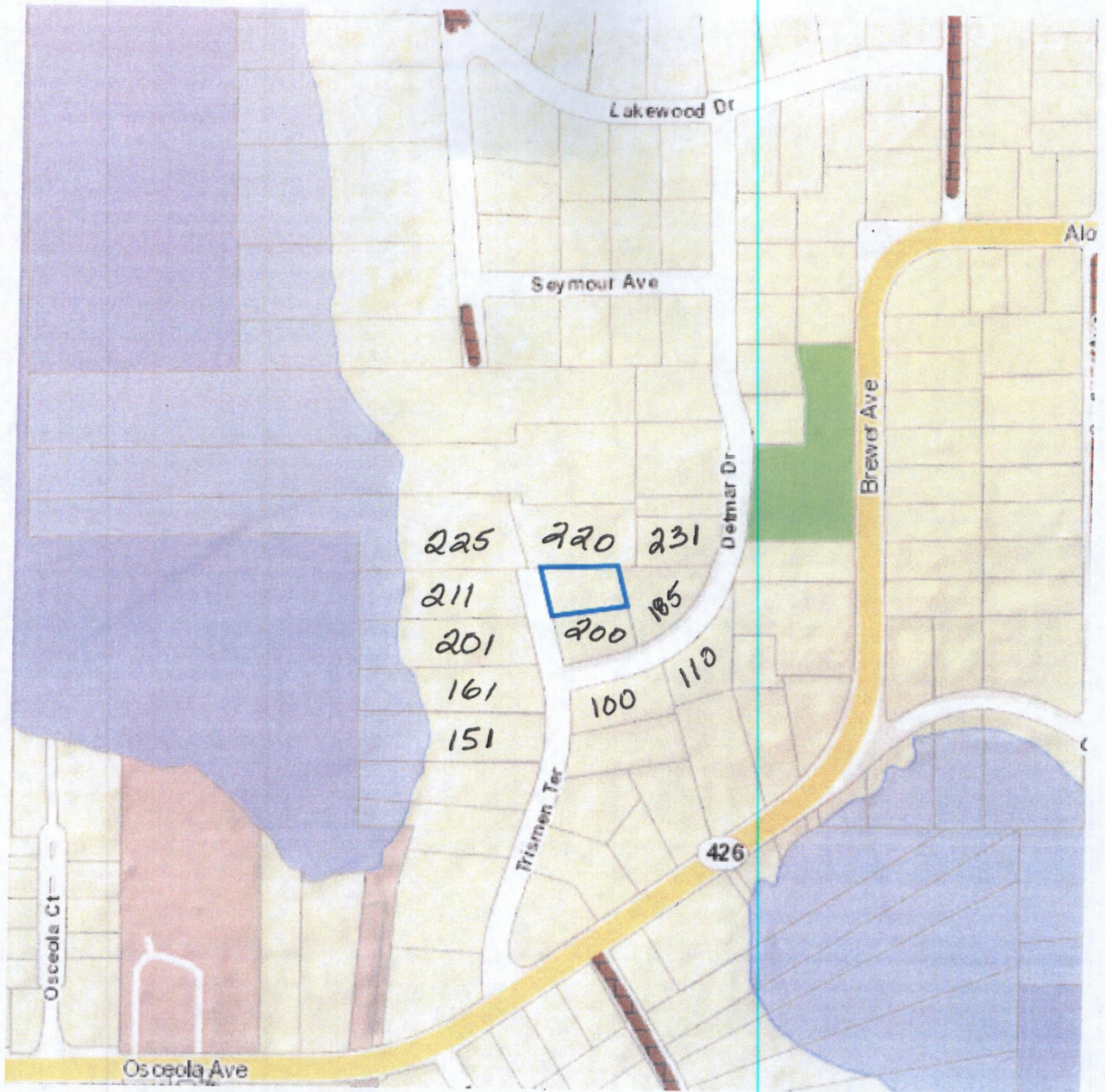
Susan Miller

Signature of Applicant

11/26/18
Date

Susan Miller
Name of Applicant (PRINT)

210 Trismen Terrace



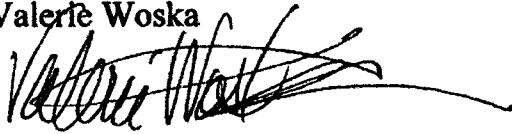
November 20th2018

Dear City of Winter Park Variance Board,

Please accept this letter as my authorization for James E. Welch and Susan E. Miller to submit a variance request to your board for my home at 210 Trismen Terrace, Winter Park. Their request is a contractual contingency for the purchase of the home.

Please let me know if you have questions, or need further assistance from me, and thank you in advance for your attention and consideration in this matter.

Valerie Woska

A handwritten signature in black ink, appearing to read 'Valerie Woska', with a long horizontal flourish extending to the right.

Cell: 407-257-8453



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address: 210 Trismen Terrace, Winter Park, FL 32789

Lot width²: 100'

Submitted by: Lamar Design

Lot area³: 13,573 sq.ft.

	Maximum % Allowed ⁴	Existing Area ¹¹	Additional Proposed Area ¹¹	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.	2 story - 50%	6082	343	6425	6789
	1 story - 60%	N/A	N/A	N/A	N/A
FLOOR AREA RATIO (F.A.R.)^{5,6,7} For one and two story bldgs (include 1st & 2nd floors, garages/carpools, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁸ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁹ .	Lots < 11,600 sf: Use <u>38%</u> Base FAR or w/ increased side setbacks: <u>43%</u> Max FAR	N/A	N/A	N/A	N/A
	Lots 11,600 sf to 13,600 sf Use <u>4,500 sf</u> Base area & <u>5,200 sf</u> Maximum area	4149	343	4492	4500
	Lots > 13,600 sf Use <u>33%</u> Base FAR or w/ increased side setbacks: <u>38%</u> Max FAR	N/A	N/A	N/A	N/A
SCREEN POOL ENCLOSURE	8% ¹⁰	N/A	N/A	N/A	N/A

	Minimum % Required	Existing Area ¹¹	Landscape Area Reduced ¹¹	New Total Area	Minimum Required Area
FRONT YARD LANDSCAPE COVERAGE Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious). Front Lot Area: 3,866	50%	2224	176	2048	1933

NOTES:

1. Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director. For a proposed home, determine the front setback as described on page 2.
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
6. Area forming a room behind 2nd floor walls shall be included in the gross floor area.
7. See page 3 on how to achieve maximum F.A.R.
8. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
9. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area.
10. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
11. These columns only apply to existing homes.

SETBACKS (complete boxes A and B first)

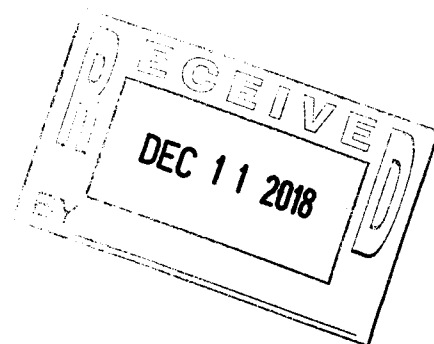
		Minimum Allowable Dimensions		Existing ¹³		Proposed	
FRONT		Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.		35'		26'7"	
SIDES^{1,2} (see other side setback options on pg 4)		1st Floor	See pages 3&4	10'1"	36'	10'1"	23'7.25"
		2nd Floor		30'7"	34'4"	30'7"	34'4"
REAR^{1,3,4}		1st Floor		25 ft.	40'8"	40'8"	
		2nd Floor		35 ft ⁵	53'1"	53'1"	
		Lakefront		see note 6	N/A	N/A	
CORNER LOT		1st Floor	Lot width ≤ 65 ft.	15 ft.	N/A	N/A	
			Lot width > 65 ft ⁷	20 ft.	N/A	N/A	
		2nd Floor	Lot width ≤ 65 ft.	15 ft.	N/A	N/A	
			Lot width > 65 ft ⁷	22.5 ft.	N/A	N/A	
BUILDING HEIGHT^{8,9,10,11,12}		30 ft. - 35 ft. plus 2 ft. or 40 ft. (see notes 11 & 12)		23'7"		23'7"	

Notes:

1. Any building wall that exceeds 12 ft. in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
2. Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft. and interior side setback is 5 ft. minimum (no gable end allowed) for garages up to 600 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
3. Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. For lots that are 75ft deep or less a first floor setback of 10ft and a second floor setback of 25ft is allowed. For lots which are 105ft deep or less a first floor setback of 15ft and a second floor setback of 30ft is allowed.
4. Accessory buildings: garage/carport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. Other accessory buildings used for habitation shall meet setbacks of the main residence.
5. The rear setback may be reduced to 25 ft. for two-story components when those consist of a second story loft or mezzanine that is within the normal scale and 18-ft max height of a typical one-story structure.
6. Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft. or 50 ft., whichever is greater, measured from ordinary high water line.
7. Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft. with 1st and 2nd floor setbacks of 25 ft. may reduce the rear setback by 5 ft. on each floor.
8. Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
9. No building or portion thereof shall exceed 30 ft. in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft. additional building height.
10. Accessory building that exceeds 18 ft. in height shall meet the same setbacks as the principal building on the property.
11. Properties or lots with at least 80 ft. of width at the building line are permitted to have a building height of 35 ft. if the side setbacks are increased to 20 ft. at 30 ft. above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft. of additional building height.
12. Properties or lots exceeding 50,000 sq.ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft. if side setbacks are increased to 35 ft. to the portion of the roof over 30 ft. in height.
13. This column only applies to existing homes.

RANDALL B. GREENE
201 TRISMEN TERRACE
WINTER PARK, FL 32789

December 11, 2018



Board of Adjustments
City of Winter Park
401 South Park Avenue
Winter Park, FL 32789

Members,

This is a letter of support for the zoning variance requested for a neighboring property at 210 Trismen Terrace, Winter Park, FL 32789, zoned R-1-AA.

The public hearing is scheduled for 12-18-18 at 5 P.M.

Respectfully,

A handwritten signature in cursive script that reads "Randall B. Greene".

Randall B. Greene

PROPOSED REMODEL TO THE MILLER RESIDENCE

210 TRISMEN TERRACE
WINTER PARK, FL 32789
ZONING: R-1AA

RECEIVED
DEC 07 2018

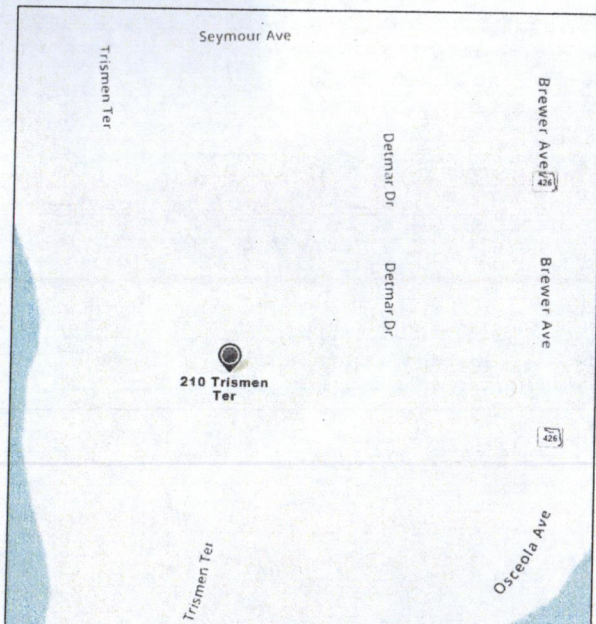
INDEX OF DRAWINGS

- CS COVER SHEET
SP PROPOSED SITE PLAN
1 EXISTING FIRST FLOOR PLAN
2 EXISTING ELEVATIONS
3 PROPOSED FIRST FLOOR PLAN
4 PROPOSED ELEVATIONS

LEGAL DESCRIPTION

OSCEOLA SHORES SECTION 1 S/10 LOT 2 BLK D

PARCEL ID# 05-22-30-6472-04-020



VICINITY MAP SCALE: N.T.S.

GENERAL NOTES:

- THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND START OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGNER AND ENGINEER OF ANY DISCREPANCY BETWEEN THE EXISTING CONDITIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS AND THE CONDITIONS DETERMINED IN THE FIELD. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING BOUNDARY DRAINAGE CONDITIONS.
- DESIGN CRITERIA
-2017 FLORIDA BUILDING CODE, 6TH ED.
-ROOF DEAD LOAD (GRAVITY LOADING) = 20 PSF.
-ROOF DEAD LOAD (FOR NET UPLIFT) = 13 PSF.
-ROOF LIVE LOAD = 18 PSF.
THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2017 FLORIDA BUILDING CODE - 6TH EDITION
-RESIDENTIAL, CHAPTER 3, SECTION 3061.2.1.1
THE FOLLOWING WIND LOAD REQUIREMENTS, IN ACCORDANCE WITH 2017 FLORIDA BUILDING CODE - BUILDING, CHAPTER 14, STRUCTURE DESIGN SECTION 1409, AND ASCE 7-10, WERE EMPLOYED IN THE DESIGN OF THE STRUCTURE.
-ULTIMATE DESIGN WIND SPEED (V) = 140 MPH
-3 SECOND GUST WIND SPEED (V_g) = 108.44 MPH
-WIND CATEGORY I
-WIND EXPOSURE (C)
-APPLICABLE INTERNAL PRESSURE COEFFICIENT +/- 0.18
-DESIGN WIND PRESSURE FOR EXTERIOR COMPONENTS AND CLADDING: WALLS: +0.267 / -0.233 PSF
- ROOF SYSTEM
-TYPE OF ROOF SYSTEM: COMMON FRAMED WITH STANDING SEAM METAL
-MATERIALS: OVER 5/8" CDX PLYWOOD MIN. OR EQUIV.
-FASTENING REQUIREMENTS: PER MANUFACTURER'S SPECIFICATIONS
-FLASHING REQUIREMENTS: MIN. 26 GAUGE GALVANIZED FLASHING

LUMBER:

- ALL STRUCTURAL LUMBER (INCLUDING, BUT NOT LIMITED TO: JOISTS, BEAMS, RAFTERS, STUDS, PLATES AND POSTS) SHALL BE SOUTHERN YELLOW PINE, GRADE #2, KD 19% OR BETTER (2) FOR LUMBER NOTED TO BE IN CONFORMANCE WITH VALUES LISTED IN THE NATIONAL FOREST PRODUCTS ASSOCIATION NATIONAL DESIGN SPECIFICATION SUPPLEMENT TABLE 4B), AND SHALL CONFORM TO THE NATIONAL GRADING RULE FOR DIMENSION LUMBER, THE SOUTHERN PINE INSPECTION BUREAU AND THE SOUTHERN FOREST PRODUCTS ASSOCIATION.
- ROOF DECKING: MINIMUM 5/8" PLYWOOD, C-C EXTERIOR OR OTHER PS-1 GRADE, NAILING: 8d GALVANIZED RINGSHANK @ 4" O.C. ALL EDGES @ O.C. IN FIELD, ALL EDGES BLOCKED.
- EXTERIOR SHEATHING: MINIMUM 3/4" PLYWOOD, C-C EXTERIOR OR OTHER PS-1 GRADE, NAILING: 8d GALVANIZED RINGSHANK @ 6" O.C. ALL EDGES @ O.C. IN FIELD, ALL EDGES BLOCKED.

STRUCTURAL STEEL

- ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36 AND THE "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
- ALL WELDING SHALL CONFORM TO THE REQUIREMENTS OF "THE STANDARD CODE FOR WELDING IN BUILDING CONSTRUCTION" OF THE AMERICAN WELDING SOCIETY (UTILIZING E70XX ELECTRODES). ALL STEEL TO RECEIVE ONE SHOP COAT AND ONE FIELD TOUCH-UP COAT OF APPROVED PAINT. ALL BOLTED CONNECTIONS SHALL CONSIST OF ASTM A325-X HIGH STRENGTH BOLTS AND HARDENED WASHERS AS SHOWN ON THE STRUCTURAL DRAWINGS. ALL BOLTED CONNECTIONS SHALL CONFORM TO THE SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM OR A490 BOLTS BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
- ALL ANCHOR BOLTS SHALL CONFORM TO ASTM A36 OR A307 (THREADED ROD).

DOOR AND WINDOW BUCK ATTACHMENTS

- FOR EXTERIOR DOORS, USE 2x4 (MIN.) P.T. BUCK ON JAMBS AND HEAD.
 - PROVIDE ENOUGH FASTENERS OF TYPE USED TO EQUAL OR EXCEED STATED LOADS ON TABLE. FASTENERS ARE REQUIRED NO CLOSER THAN 2" OR MORE THAN 4" FROM ENDS AND SPACED EQUAL DISTANCE ALONG BALANCE OF BUCK.
 - ** MINIMUM FASTENERS REQUIRED FOR TOP BUCK IS 2.
 - ** MINIMUM FASTENERS REQUIRED FOR SIDE BUCK IS 3.
- APPROVED FASTENERS:
3/16" TAPCON WITH 1 3/4" PENETRATION = 230 LB. OF HOLDING POWER
1/4" TAPCON WITH 2" PENETRATION = 380 LB. OF HOLDING POWER.
- SEE MANUFACTURER'S SPECIFICATION FOR REQUIRED FASTENERS TO ATTACH ENTRY DOORS, AND WINDOWS TO BUILDING.

PLUMBING / DRAINAGE / ELECTRICAL

- ALL WORK SHALL BE PER PER 2017 FLORIDA BUILDING CODE, 6TH ED. MIN. REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO MEET CODE REQUIREMENTS.

CONCRETE:

- STRUCTURAL CONCRETE, INCLUDING FOOTINGS, SHALL CONFORM TO THE REQUIREMENTS OF ACI 308 AND SHALL ATTAIN A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS OF 3000 PSI UNLESS OTHERWISE NOTED.
- CONCRETE, WHEN PLACED, SHALL HAVE A SLUMP OF 4" MAXIMUM AND 1" MINIMUM. ALL REINFORCING SHALL CONFORM TO ASTM #15 FOR GRADE 60 STEEL. CHECK ALL DRAWINGS AND APPLICABLE MANUFACTURER'S SHOP DRAWINGS FOR LOCATION OF ALL EMBEDDED ITEMS SUCH AS PIPE SLEEVES, ANCHOR BOLTS, ETC., PRIOR TO PLACING CONCRETE.
- REINFORCEMENT FOR THE CONCRETE SHALL BE CONTINUOUS, WITH ANY SPLICES A FULL 25" LAP. PROVIDE CORNER BARS FOR EACH CONTINUOUS BAR, HAVING 20" MINIMUM LEGS IN EACH DIRECTION.
- PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. START INITIAL CURING AS SOON AS FREE WATER HAS DISAPPEARED FROM THE CONCRETE SURFACE AFTER PLACING AND FINISHING. KEEP CONTINUOUSLY MOIST FOR NOT LESS THAN 7 DAYS IN ACCORDANCE WITH ACI 308 PROCEDURES. PERFORM CURING OF THE CONCRETE BY CURING AND SEALING COMPOUND, BY MOST CURING, BY MOISTURE RETAINING COVER CURING OR BY COMBINATION THEREOF.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR THE REINFORCEMENT:
 - A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
 - B. CONCRETE EXPOSED TO WEATHER: #5 BARS AND SMALLER, 1-1/2"; #6 BARS AND LARGER, 2"
 - C. CONCRETE NOT EXPOSED TO WEATHER OR NOT IN CONTACT WITH EARTH: 3" BARS, #1 BARS AND SMALLER, 3/4"; BEAMS, COLUMNS, PRIMARY REINFORCEMENT, TIES, STRIPPERS, 1-1/2".

MASONRY:

- ALL CONCRETE & MASONRY UNITS SHALL CONFORM TO THE REQUIREMENTS OF ASTM 900 FOR LOAD BEARING MASONRY WITH A MINIMUM f_c OF 1500 PSI.
- ALL MORTAR SHALL BE TYPE M OR S (ASTM C 270 AND ASTM C 478).
- UNLESS SPECIFICALLY SHOWN OTHERWISE, PROVIDE "DUR-O-WALL" TRUSS TYPE REINFORCING IN EVERY OTHER BLOCK COURSE. (18" o.c.)
- GROUT SHALL HAVE A SLUMP OF 8", BE IN CONFORMANCE WITH ASTM C 478 AND ATTAIN A COMPRESSIVE STRENGTH OF 3000 PSI.
- CONCRETE MASONRY UNITS SHALL BE PLUMB, TRUE TO LINE, WITH LEVEL COURSES ACCURATELY SPACED AND BUILT TO THE THICKNESS AND IN A RUNNING BOND AS INDICATED AND CONFIRMING TO THE TOLERANCES SPECIFIED IN ACI 531.1 AND 530.1. CONCRETE UNITS SHALL BE STORED OFF OF THE GROUND SURFACE AND COVERED TO PROTECT THEM FROM ABSORBING WATER OR BEING CONTAMINATED WITH OTHER FOREIGN MATTER. CONCRETE UNITS SHALL BE DRY WHEN LAID. EACH UNIT SHALL BE ADJUSTED TO FINAL POSITION IN THE WALL WHILE THE MORTAR IS STILL SOFT AND PLASTIC. ANY UNIT DISTURBED AFTER THE MORTAR HAS STIFFENED SHALL BE REMOVED AND RE-PAID WITH FRESH MORTAR. VERTICAL CELLS SHALL BE ALIGNED TO PROVIDE A CONTINUOUS UNOBSTRUCTED OPENING. SPACES AROUND BUILT-IN ITEMS SHALL BE SOLIDLY FILLED WITH MORTAR AS EACH COURSE IS LAID. ANCHORS, ACCESSORIES, FLASHING AND OTHER ITEMS TO BE BUILT-IN SHALL BE INSTALLED AS THE MASONRY WORK PROGRESSES. ALL CUTTING AND FITTING OF MASONRY, INCLUDING THAT REQUIRED TO ACCOMMODATE THE WORK OF OTHERS SHALL BE DONE BY MASONRY CRAFTSMEN WITH MASONRY SAWS.
- HOLLOW UNITS SHALL BE LAID WITH FULL HEAD AND BED JOINTS TO THE THICKNESS OF THE FACE SHALL AS A MINIMUM. THE WEBS SHALL ALSO BE BEDDED IN ALL COURSES, STARTING AT THE EXISTING BEAM, ADJACENT TO CELLS TO BE REINFORCED AND/OR FILLED WITH GROUT OR CONCRETE. MORTAR JOINTS SHALL BE TOOLED WHEN THE MORTAR IS "THUMBPRINT" HARD, BOTH ON THE INSIDE AND OUTSIDE SURFACES OF THE BUILDING WALL, WITH A TOOL PRODUCING A CONCAVE SURFACE. JOINTS SHALL BE 1/4" - 1" IN THICKNESS.
- REINFORCING BARS SHALL BE PLACED IN THE MIDDLE OF THE CELLS (EXCEPT WHERE SPECIFICALLY NOTED) AND TIED OR OTHERWISE SECURELY SUPPORTED AT THE TOP AND BOTTOM TO ENSURE THAT THE BAR DOES NOT MOVE DURING GROUTING. MINIMUM LAP AT ALL SPLICES OR DOWELS SHALL BE 25 INCHES UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- GROUTING SHALL BE ACCOMPLISHED IN 5' LIFTS. EACH LIFT SHALL BE MECHANICALLY CONSOLIDATED INTO THE PREVIOUS LIFT. WHEN PLACED SO AS TO PREVENT COLD JOINTS, RECONCILIATE AS REQUIRED. A 6" SQUARE CLEANOUT OPENING SHALL BE PLACED AT THE BOTTOM OF EACH CELL TO BE FILLED AND IT SHALL BE THOROUGHLY CLEANED OUT PRIOR TO FILLING OF THE CELL.
- ALL CONCRETE MASONRY CONSTRUCTION SHALL BE ADEQUATELY BRACED UNTIL THE CONSTRUCTION ACHIEVES ITS PROPER STRENGTH AND SUPPORTING CONSTRUCTION CAN WITHSTAND THE INDUCED LOADS.
- VENER BRICK MATERIAL SHALL MATCH EXISTING AND SHALL BE TIED TO STRUCTURAL MASONRY BACKING WITH GALVANIZED STEEL TIES EMBEDDED IN MORTAR JOINTS OF BOTH UNITS.

GENERAL NOTE:

- NOTE: NO WOOD GRADE STAKES PERMITTED.

WIND LOADING CRITERIA			
WIND SPEED (ULTIMATE)	140 MPH		
WIND SPEED (ALLOWABLE)	108.5 MPH		
EXPOSURE CATEGORY	C		
BUILDING CATEGORY	II		
BUILDING TYPE	V		
ENCLOSURE CLASSIFICATION	ENCLOSED		
INTERNAL PRESSURE COEFFICIENT	+/-0.18		
NOTE: MEAN ROOF HEIGHT FOR TYPICAL SINGLE STORY HOME IS 15FT, AND FOR 2 STORY HOME IS 30FT			
ASCE 7-10 WALL DESIGN ALLOWABLE COMPONENTS AND CLADDING WIND PRESSURES AND SUCTIONS FOR MEAN ROOF HEIGHT = 30 ft			
EFFECTIVE WIND AREA (SQ FEET)	WIND PRESSURE AND SUCTION (PSF)		WIND PRESSURE AND SUCTION DIAGRAM
AREA	(+) VALUE DENOTES PRESSURE (-) VALUE DENOTES SUCTION		
10 - 19.99	(+) 28.7 (-) 32.2	(+) 29.7 (-) 38.7	
20-49.99	(+) 28.4 (-) 30.9	(+) 28.4 (-) 37.0	
50-99.99	(+) 26.6 (-) 29.1	(+) 26.6 (-) 33.5	
>100	(+) 25.1 (-) 27.6	(+) 25.1 (-) 30.0	
GARAGE DOORS: SOFFIT			
9'-0" x 7'-0"	(+) 24.8 (-) 28.0	(+) 23.7 (-) 26.5	(+) 26.6 (-) 29.1
16'-0" x 7'-0"	(+) 25.8 (-) 29.1	(+) 26.6 (-) 29.1	(+) 26.6 (-) 33.5
GENERAL PRESSURE NOTES			
NOTES:			
1. MULTIPLY THE ABOVE PRESSURES BY 1.07 TO GET ULTIMATE WIND PRESSURES.			
2. "X" END ZONE IS ONLY WITHIN 4'-0" OF ALL EXTERIOR BUILDING CORNERS. INDICATED PRESSURES CAN BE INTERPOLATED FOR OTHER DOOR SIZES. OTHERWISE USE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREA.			
3. DESIGNATED AREAS WHERE THE ULTIMATE WIND SPEED IS 140 MPH OR GREATER AND IS CONSIDER TO BE IN THE WIND-BORNE DEBRIS AREA. CONTRACTOR TO PROVIDED ADDITIONAL INFO AS REQUIRED FOR PERMITTING.			

DATE	ISSUED FOR

LAMAR DESIGN
INCORPORATED
Thomas B. Lamar, II, M.Arch.
1370 Gene Street
Winter Park, FL 32789
407-645-5282

MILLER RESIDENCE
210 TRISMEN TERRACE
WINTER PARK, FL 32789

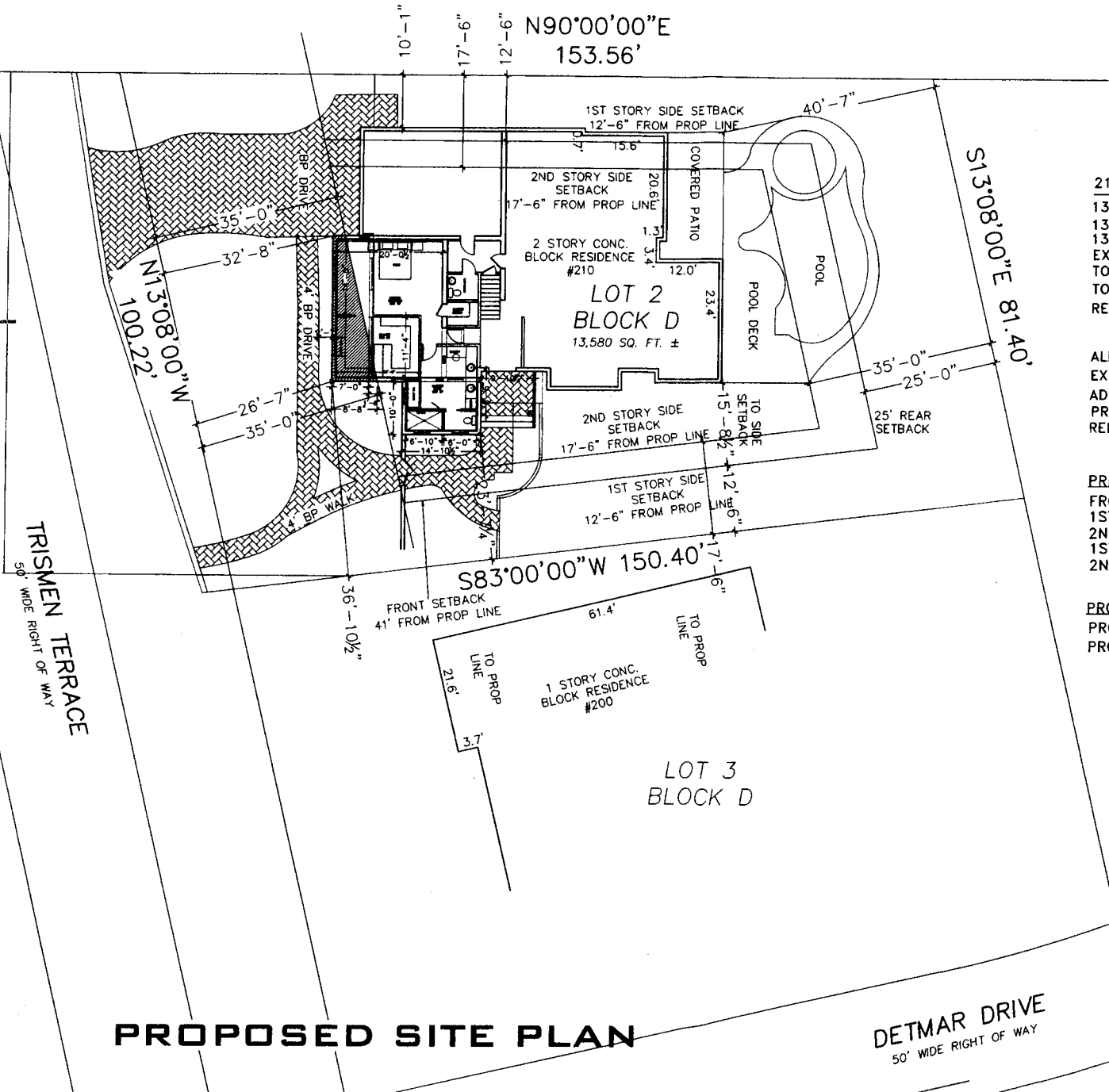
COVER SHEET
GENERAL NOTES
VICINITY MAP

DRAWN: SC/JRL
DATE: 8 DEC 2018
CHKD:
SHEET SCALE
1/4" = 1'-0"
PROJECT NO.
181126
SHEET NO.

CS



LOT 1
BLOCK D



210 TRISMEN CALCS

13,573 SF LOT AREA PER OCPA
13,578 SF LOT AREA PER SURVEYOR
13,578 SF X .50% = 6,789 SF ALLOWED IMPERVIOUS
EXISTING RESIDENCE IMPERVIOUS = 6082 SF
TOTAL NEW PROPOSED IMPERVIOUS = 343 SF
TOTAL IMPERVIOUS = 6,425 SF
REMAINING IMPERVIOUS AFTER ADDITION = 364 SF

ALLOWED FAR = 4500 SF
EXISTING RESIDENCE FAR = 4149 SF
ADDITIONAL PROPOSED FAR = 343 SF
PROPOSED RESIDENCE FAR = 4492 SF
REMAINING FAR AFTER ADDITION = 8 SF

PRINCIPLE BUILDING SETBACKS

FRONT SETBACK = 45' FROM RIGHT OF WAY
1ST STORY SIDE SETBACK = 12'-6"
2ND STORY SIDE SETBACK = 17'-6"
1ST STORY REAR SETBACK = 25'
2ND STORY REAR SETBACK = 35'

PROPOSED BUILDING SETBACKS

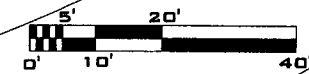
PROPOSED FRONT SETBACK = 34' 4 1/4"
PROPOSED RIGHT SIDE SETBACK = 23'-7 1/4"

140 SF
NEW
ENCROACHMENT

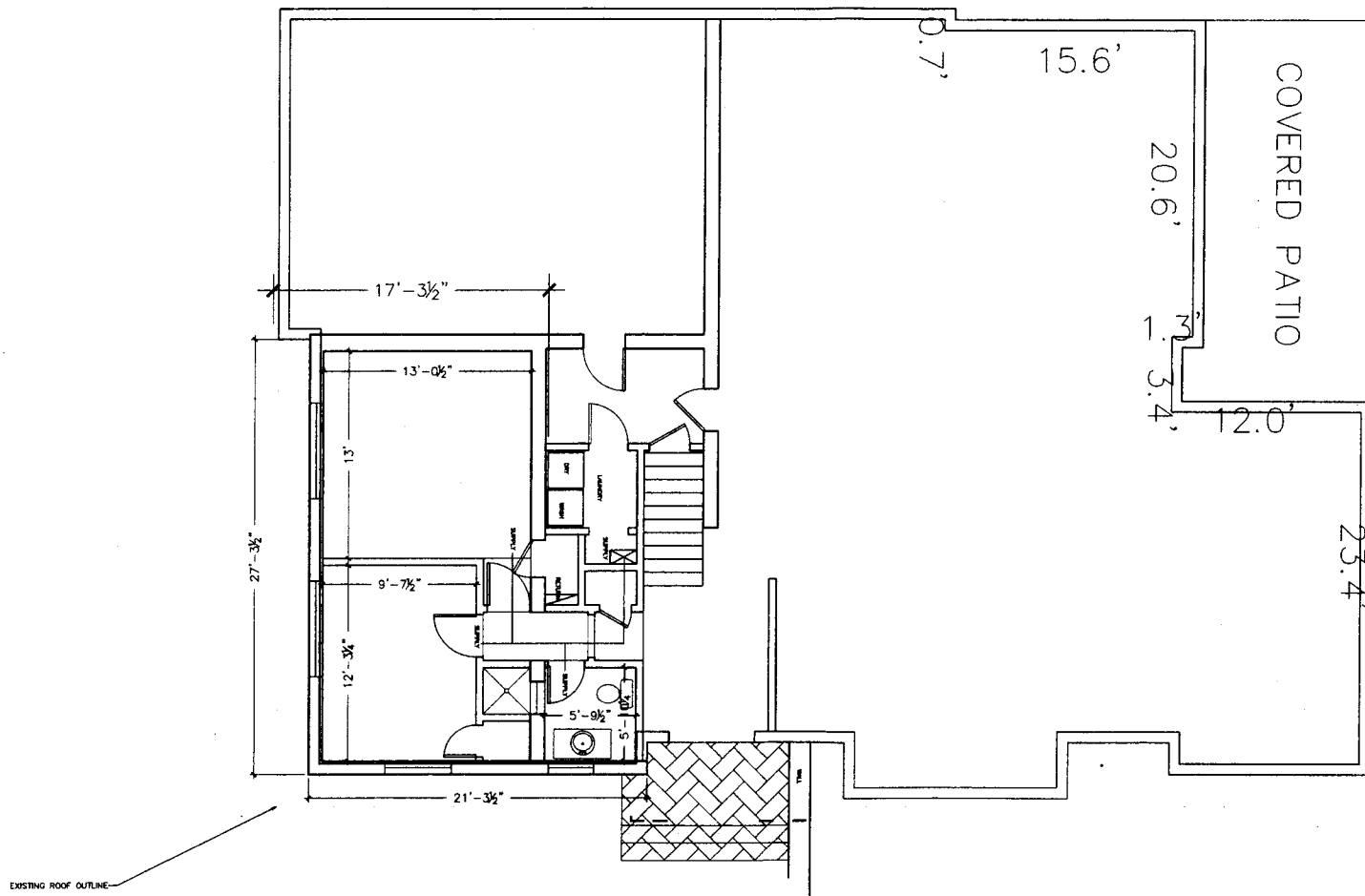
15 SF
EXISTING
ENCROACHMENT

155 SF
TOTAL
ENCROACHMENT
EXISTING AND
PROPOSED

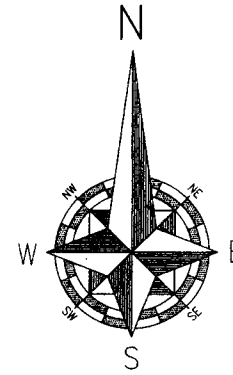
ISSUED FOR	
DATE	
<p>LAMAR DESIGN INCORPORATED Thomas & Lamar H. LARCH, 1370 GENE STREET Winter Park, FL 32789 407-940-9362</p>	
<p>MILLER RESIDENCE 210 TRISMEN TERRACE WINTER PARK, FL 32789</p>	
<p>PROPOSED SITE PLAN</p>	
DRAWN	80/2m
DATE	6 DEC 18
CHECKED	TL
SHEET SCALE	
1" = 10'-0"	
PROJECT NO.	
181126	
SHEET NO.	
SP	



PROPOSED SITE PLAN



EXISTING FIRST FLOOR PLAN



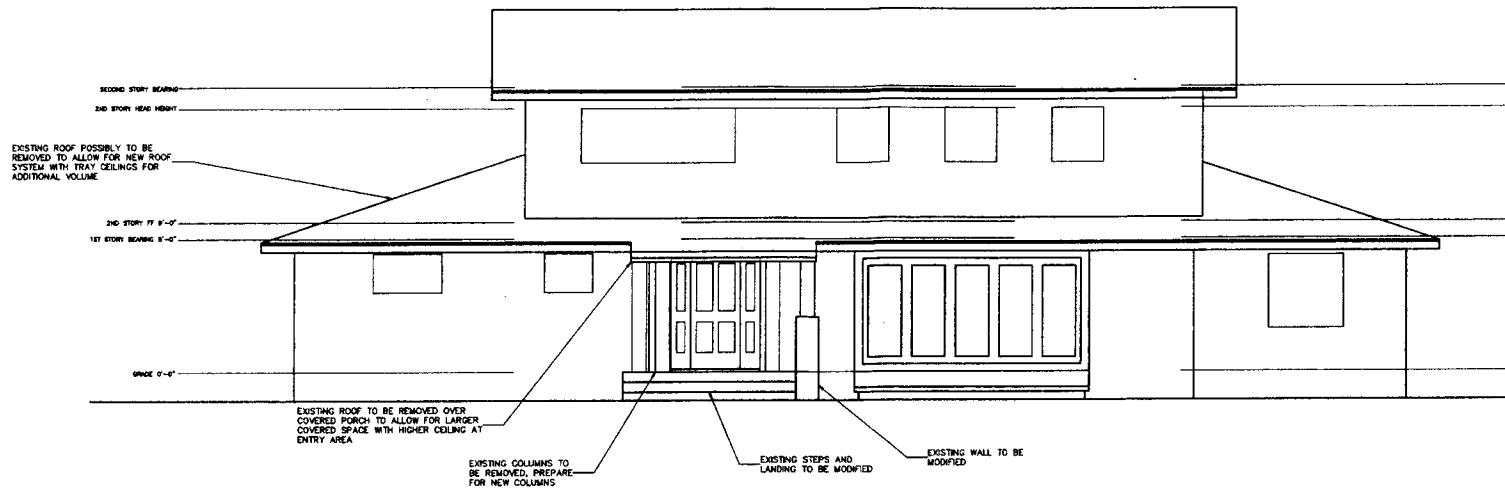
DATE	ISSUED FOR

LAMAR DESIGN INCORPORATED
 Thomas B. Lamar, P.E., Architect
 1575 Collins Street
 Winter Park, FL 32789
 407-843-5282

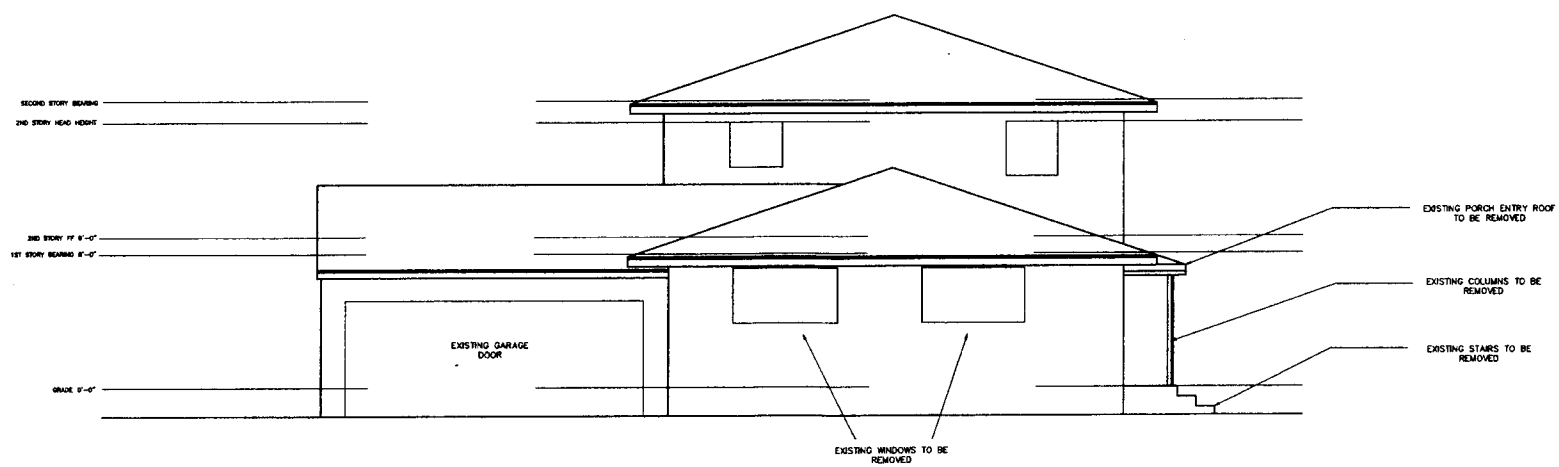
MILLER RESIDENCE
 210 TRISMEN TERRACE
 WINTER PARK, FL 32789

EXISTING FIRST FLOOR PLAN

DRAWN	SG
DATE	26 NOV 2018
CHKD	T
SHEET SCALE	
1/4" = 1'-0"	
PROJECT NO.	
181126	
SHEET NO.	



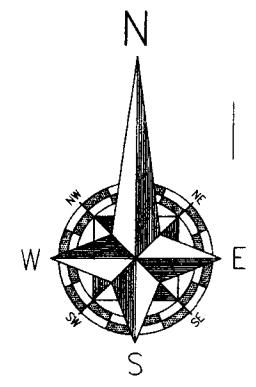
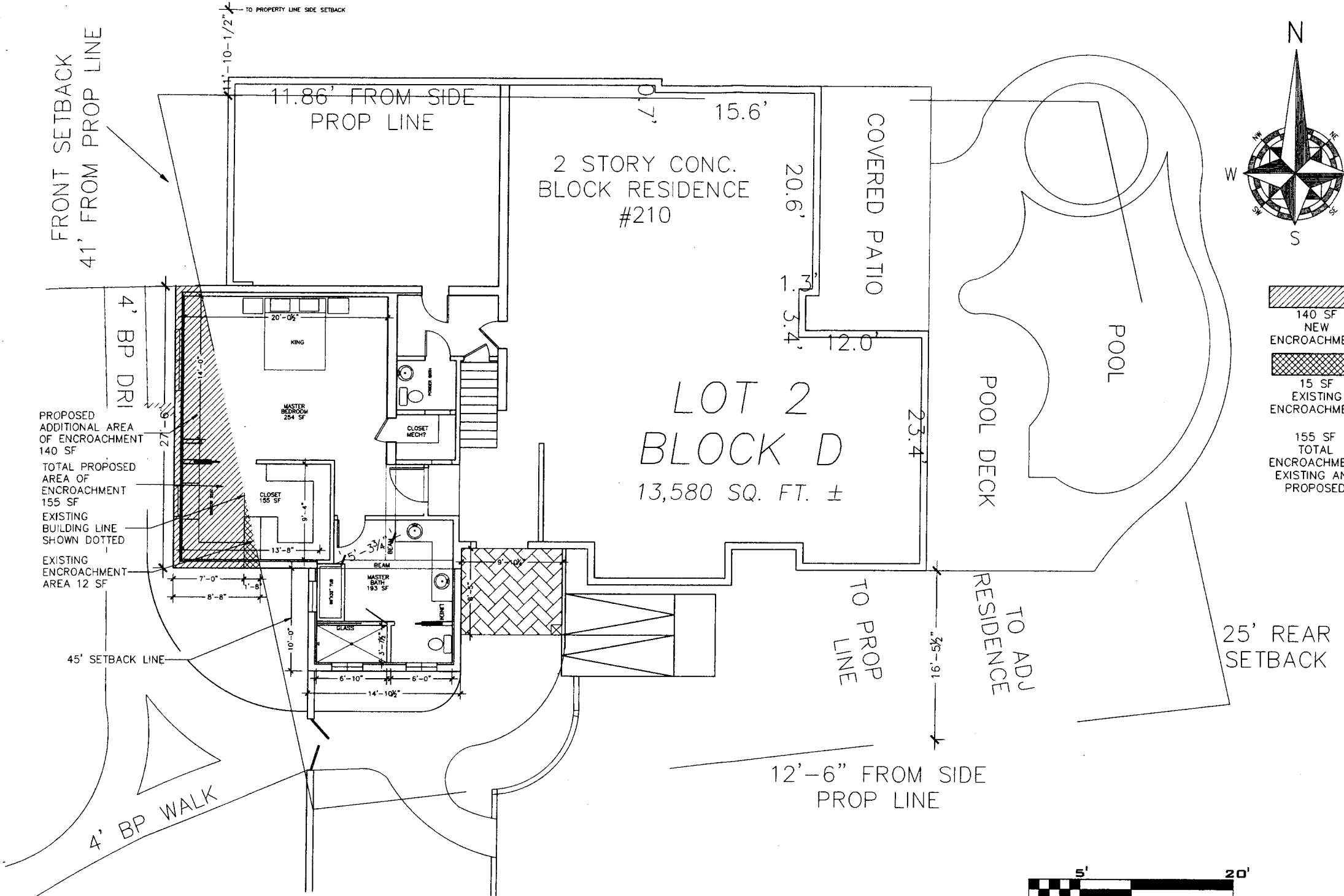
EXISTING SOUTH ELEVATION



EXISTING WEST ELEVATION



ISSUED FOR	
DATE	
LAMAR DESIGN INCORPORATED Thomas R. Lamar II, M.Arch. 1370 Gandy Street Winter Park, FL 32789 407-848-5882	
MILLER RESIDENCE 210 TRISMEN TERRACE WINTER PARK, FL 32789	
EXISTING EXTERIOR ELEVATIONS	
DRAWN BY	SG
DATE	26 NOV 2018
CHKD BY	
SHEET SCALE 1/4" = 1'-0"	
PROJECT NO. 181126	
SHEET NO. 2	



- 140 SF NEW ENCROACHMENT
- 15 SF EXISTING ENCROACHMENT
- 155 SF TOTAL ENCROACHMENT EXISTING AND PROPOSED

PROPOSED ADDITIONAL AREA OF ENCROACHMENT 140 SF
 TOTAL PROPOSED AREA OF ENCROACHMENT 155 SF
 EXISTING BUILDING LINE SHOWN DOTTED
 EXISTING ENCROACHMENT AREA 12 SF

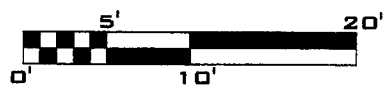
DATE	ISSUED FOR

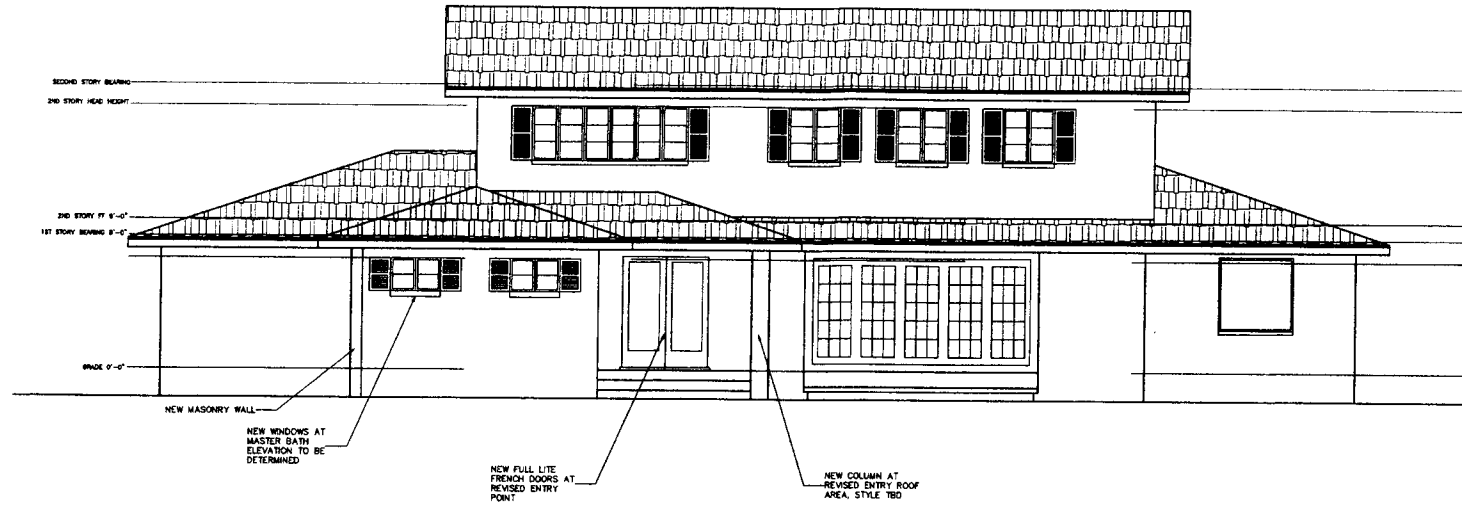
LAMAR DESIGN INCORPORATED
 Thomas A. Lamar II, A.Arch.
 1375 Greenway Blvd., Suite 32788
 Winter Park, FL 32789
 407-645-5382

MILLER RESIDENCE
 210 TRISMEN TERRACE
 WINTER PARK, FL 32789

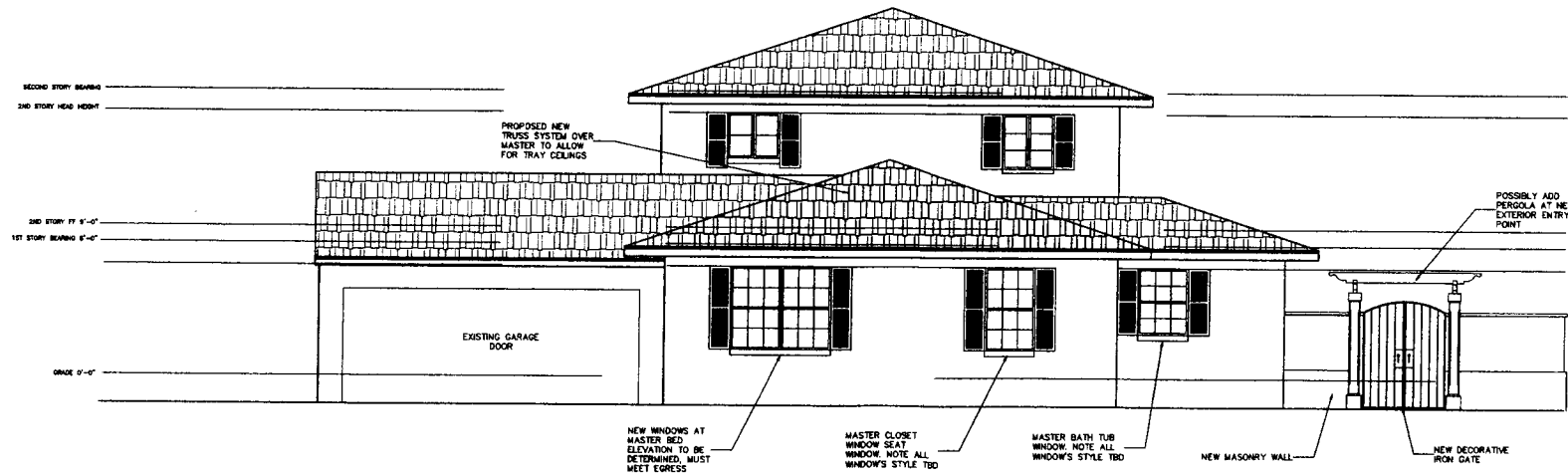
DRAWN	
	SD/RL
DATE	
	6 DEC 18
CHECKED	
SHEET SCALE	
	1/4" = 1'-0"
PROJECT NO.	
	181126
SHEET NO.	
	3

PROPOSED FIRST FLOOR PLAN





**PROPOSED SOUTH ELEVATION
VARIANCE OPTION PLUS SOUTH**



**PROPOSED WEST ELEVATION
VARIANCE OPTION PLUS SOUTH**



ISSUED FOR
DATE

LAMAR DESIGN
INCORPORATED
Thomas R. Lamar II, M.Arch.
1370 One Street
Winter Park, FL 32789
407-640-0382

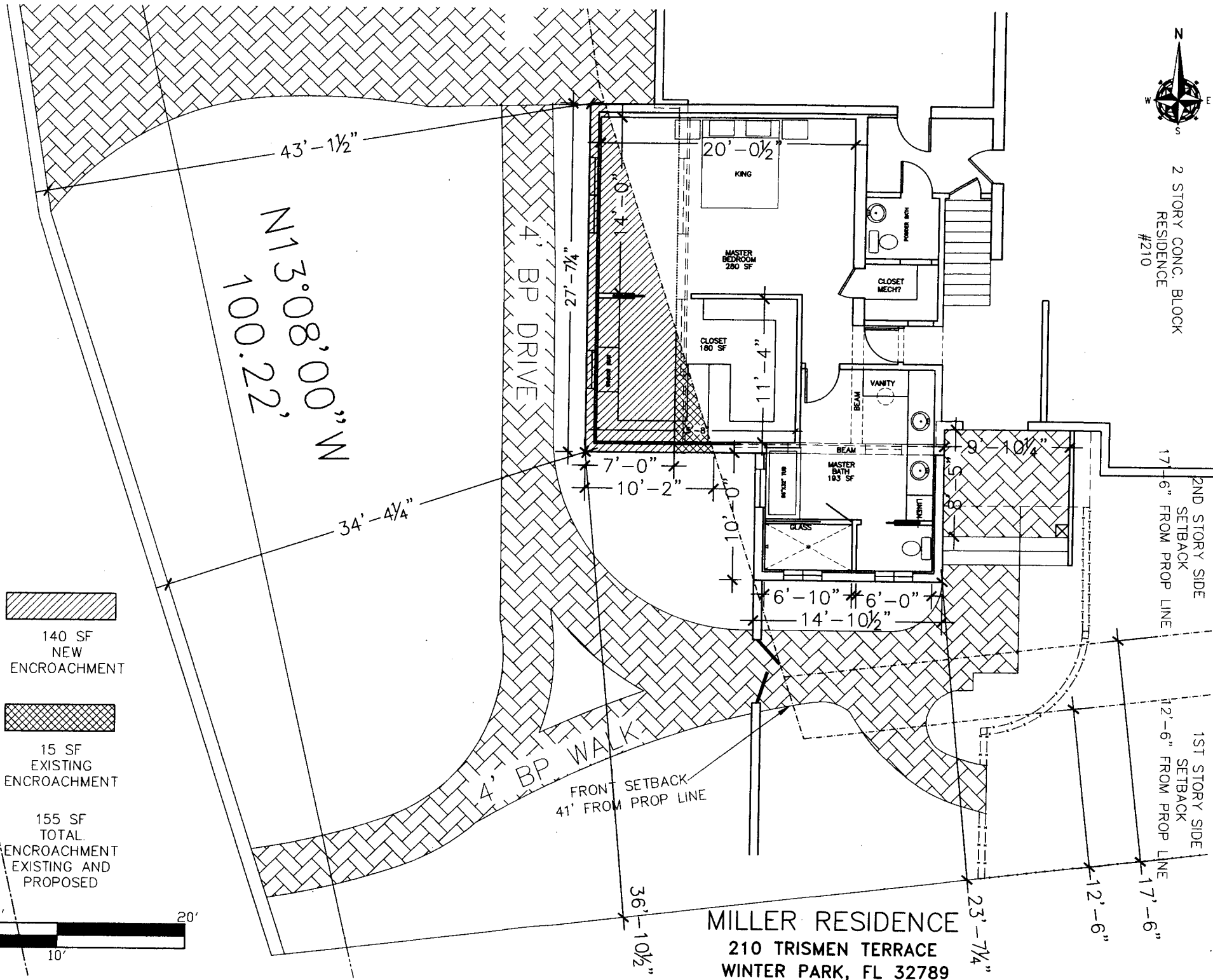
MILLER RESIDENCE
210 TRISMEN TERRACE
WINTER PARK, FL 32789



PROPOSED
ELEVATIONS

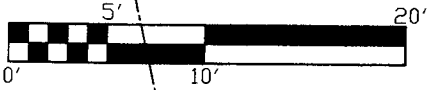
DRAWN	ES
DATE	26 NOV 2018
CHKD	IL
SHEET SCALE	
1/4"=1'-0"	
PROJECT NO.	
181126	
SHEET NO.	



2 STORY CONC. BLOCK
RESIDENCE
#210



-  140 SF NEW ENCROACHMENT
-  15 SF EXISTING ENCROACHMENT
- 155 SF TOTAL ENCROACHMENT EXISTING AND PROPOSED



MILLER RESIDENCE
210 TRISMEN TERRACE
WINTER PARK, FL 32789

FRONT SETBACK
41' FROM PROP LINE

2ND STORY SIDE
SETBACK
17'-6" FROM PROP LINE

1ST STORY SIDE
SETBACK
12'-6" FROM PROP LINE

Miller Variance Photos



Front view from West existing elevation



Front view from West existing elevation



Front view from West existing elevation left side



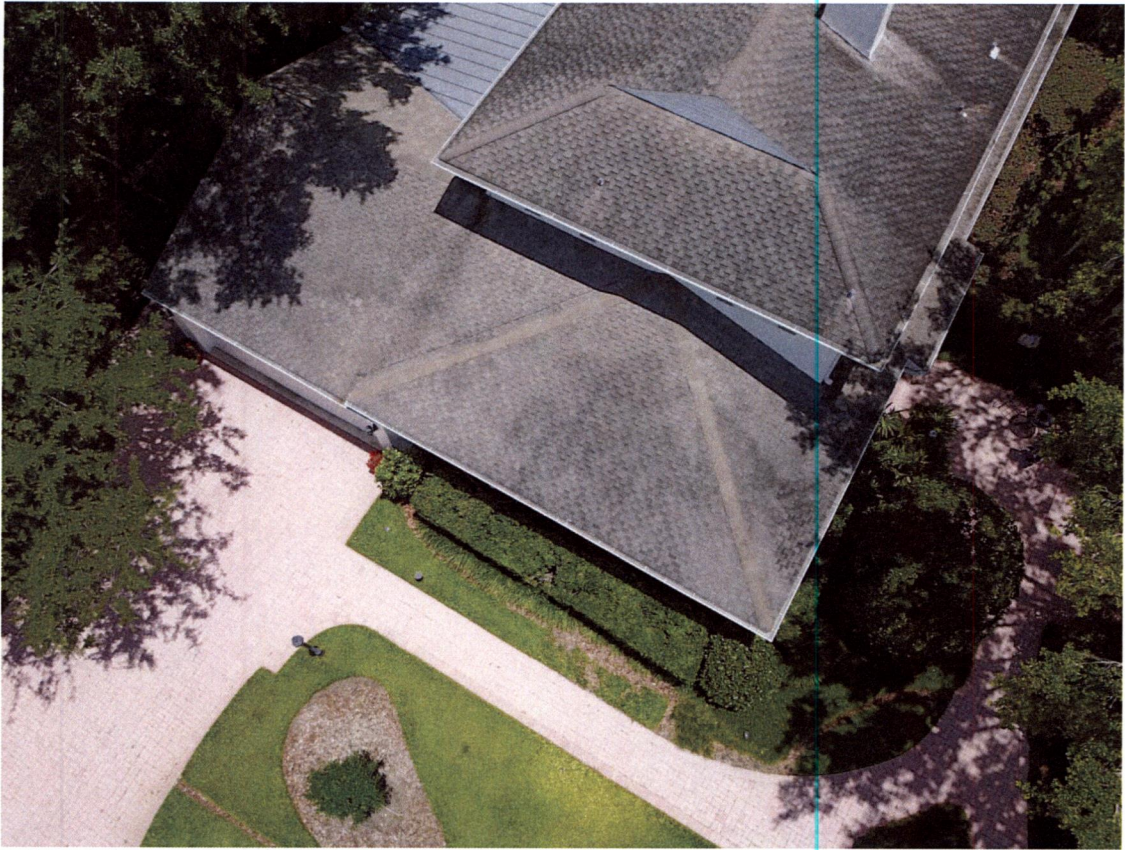
Front view from West existing elevation right side



Front view from South existing elevation



View from South existing elevation (Front Door)



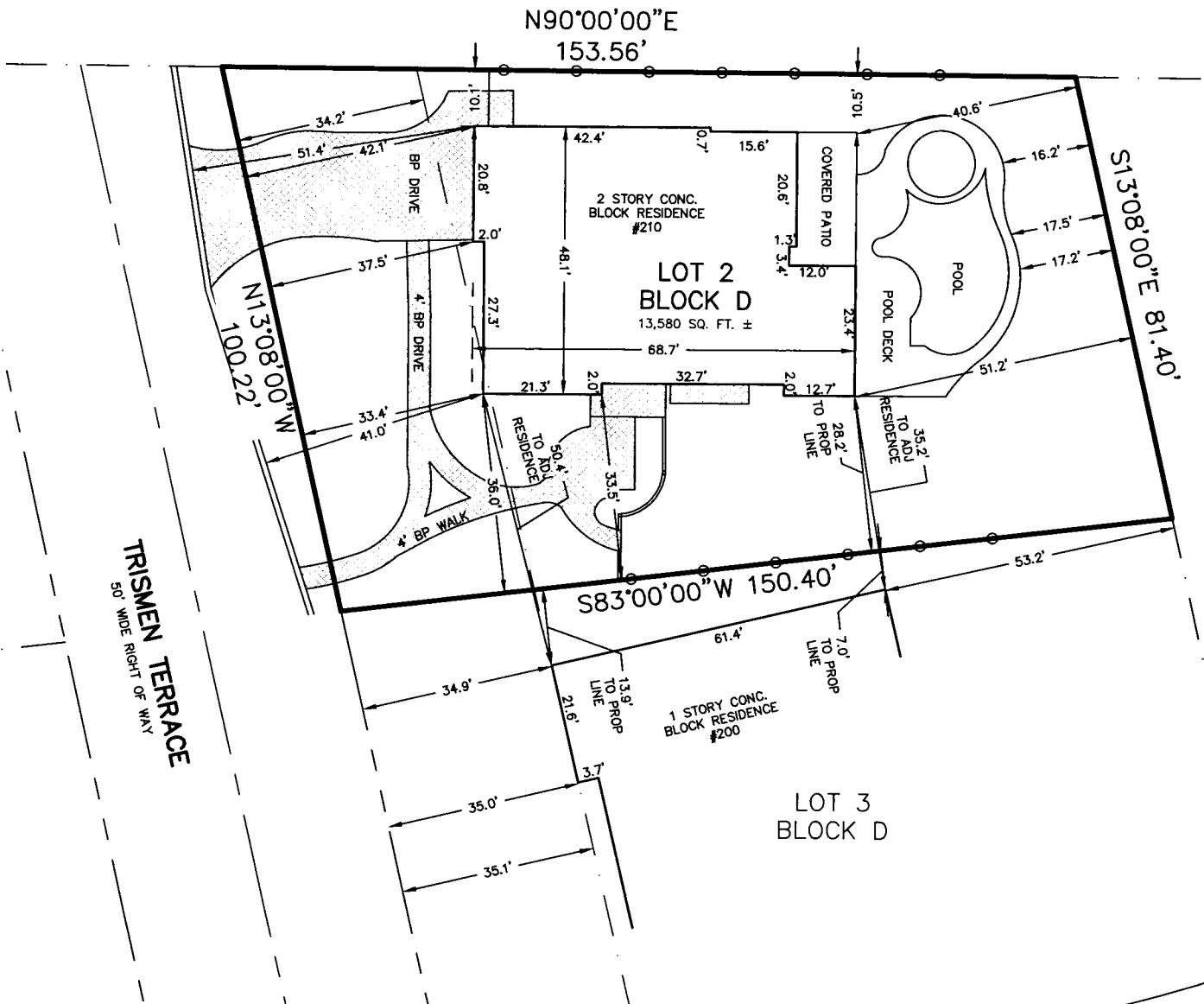
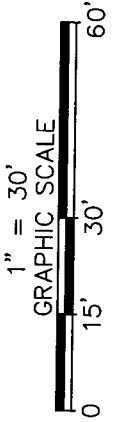
Aerial View of existing Street View (Side of House)



Aerial View of existing Street View

EXHIBIT
 LOT FRONTAGE
 210 TRISMAN TERRACE

BREWER PLOT
 PLAT BOOK D, PAGE 3



LEGEND AND ABBREVIATIONS

BOC BACK OF CURB
 BP BRICK PAVERS



AMERICAN
 SURVEYING
 & MAPPING INC.

CERTIFICATION OF AUTHORIZATION NUMBER LB#6393
 3191 MAGUIRE BOULEVARD, SUITE 200
 ORLANDO, FLORIDA 32803
 (407) 426-7979
 WWW.AMERICANSURVEYINGANDMAPPING.COM



TO: BOARD OF ADJUSTMENTS MEMBERS

FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS

GW
DATE: DECEMBER 18, 2018

SUBJ: DAUGHERTY VARIANCE REQUEST, 441 E. KINGS WAY

CITY OF WINTER PARK

401 Park Avenue South

Winter Park, Florida

32789-4386

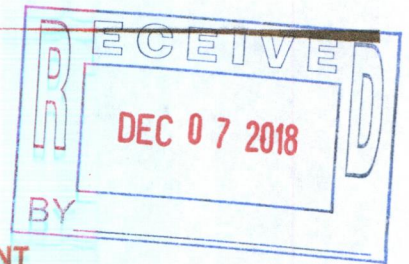
The applicants are requesting variances to allow the construction of a pool cabana located 5 feet from the rear lot line and to allow 181 square feet of enlargement of the existing nonconforming pool screen enclosure at a rear setback of 5 feet, whereas the required setback is 5 feet and 10 feet respectively, and to allow the pool screen area (8% of lot area) to increase from 1,143 square feet to 1,324 square feet. The cabana is permitted to have a 5 foot rear setback, and will be connected to the existing screen enclosure.

Two sides of the proposed cabana will be screened with the main structure and roof located outside of but connected to the existing pool screen enclosure. This is proposed to be accomplished by extending the enclosure to the cabana with an enlarged screen area of 181 square feet.

Although the existing allowable floor area of the main residence is already exceeded at 5,291 square feet, the pool area can be addressed separately but is only allowed an area of 8% of the lot area (939 sf), therefore a variance is needed to further expand the existing grandfathered in pool screen enclosure. In addition, the existing impervious coverage is exceeded at 6,719 square feet, however, the additional area of 79 square feet will be removed at another location on the property.

The lot configuration is unique with a very shallow depth of 82.4 feet with a lot width of 142.5 feet.

No letters have been received regarding this request at this point in time.



CITY OF WINTER PARK
VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT

Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received 12/7/2018
Assigned #2
Date of Hearing DEC 18

Applicant: Michael and Melissa Daugherty

Owner: Michael and Melissa Daugherty

441 East Kings Way
(Address)
Winter Park, FL 32789
(City, State) (Zip)
917-721-1625
(Phone - Home)
917-929-8250
(Phone - Work or Cell)
missy25miller@yahoo.com
(Email Address)

441 East Kings Way
(Address)
Winter Park, FL 32789
(City, State) (Zip)
917-721-1625
(Phone - Home)
917-929-8250
(Phone - Work or Cell)
missy25miller@yahoo.com
(Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section _____, Paragraph _____, Zoning _____.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of property 441 East Kings Way, Winter Park, FL 32789

Legal description of property STONEHURST ESTATES U/9 LOT 2

PARCEL ID = 17-22-30-8324-00020

Describe variance request

We're requesting a variance for a decreased detached rear setback from 10' to 5' due to the shallow lot depth of 82.4' for a proposed pool cabana and a variance for an extension of 181 SF of the existing screened pool enclosure.

This section may be left blank for completion by city staff

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application. (The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.

Variance Application
Page 2 of 2

What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

Due to the shallow lot depth of 82.4' and the extreme lot this homeowner has large side setbacks and very little room in the rear of the lot to accommodate the screened pool enclosure.

How long have you owned the property? 5 years

How long have you occupied the property? 5 years

What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

This property is a wide and shallow lot originally zoned for Orange County, while the existing residence is non-conforming per current Winter Park zoning requirements, it was however conforming to Orange County zoning requirements when constructed. The existing structure was sited in such a way that the shallow backyard and small side yards limit the possibilities for entertainment areas and also the existing pool location limits future locations for entertainment areas.

Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

Due to this residence originally being built under Orange County zoning, the existing residence on this lot is non-conforming with regards to the current Winter Park codes. In order to meet the requirement of being 5'-0" from the existing residence for a detached structure, we're asking for a variance to decrease the rear setback from 10'-0" to 5'-0". The existing enclosed pool screen enclosure is currently 1143 SF, and we are proposing to add an additional 181 SF to screen around the proposed detached pool cabana, leading to a total of 1324 SF to be screened. Therefore we are asking for a variance to extend the screened pool enclosure by 181 SF.

Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?

NO

Melissa Daugherty
Signature of Applicant

12/18
Date

Melissa Daugherty
Name of Applicant (PRINT)

441 East Kings Way



Boundary Survey

EASEMENT NOTE:
THERE IS A 5' UTILITY
EASEMENT (UE) ALONG THE
REAR OF SUBJECT PARCEL.

CERTIFIED TO: (AS FURNISHED)
Michael S. and Melissa M. Daugherty
Old Republic National Title Insurance Company
The Closing Agent, Inc.
FBC Mortgage, LLC ISAOA/ATIMA

FLOOD ZONE

SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN, PER F.I.R.M. PANEL NUMBER 12117C0255F, LAST REVISION DATE 9-25-09, PER MAPWISE WEBSITE. THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

LIST OF POSSIBLE ENCROACHMENTS:

FENCES CROSS PROPERTY LINE.
OWNERSHIP OF FENCES HAS NOT BEEN DETERMINED.

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTH RIGHT-OF-WAY OF EAST KINGS WAY WHICH HAS AN ASSUMED BEARING OF N 90°00'00" W.

NOTES

- Underground utility installations, underground improvements, foundations and/or other underground structures were not located by this survey.
- The purpose of this survey is for use in obtaining title insurance and financing and should not be used for construction purposes.
- Additions or deletions to this survey by other than the signing party or parties is prohibited without the written consent of the signing party or parties.
- The property shown hereon is subject to all easements, restrictions and reservations which may be shown or noted on the record plat and within the public records of the county the subject property is located. This survey only depicts survey related information such as easements and setbacks that are shown on a record plat or have been furnished to the Surveyor.
- Building ties and dimensions for improvements should not be used to reconstruct boundary lines.

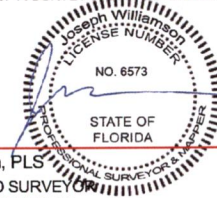
THIS SURVEY IS PREPARED FOR THE EXCLUSIVE
USE AND BENEFIT OF THE PARTIES LISTED
HEREON. LIABILITY TO THIRD PARTIES MAY NOT
BE TRANSFERRED OR ASSIGNED.

Vision Land Service, LLC
941 S. Pennsylvania Avenue
Winter Park, FL 32789
Phone (888) 399-8474

LB 7788

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS SURVEY IS A TRUE AND ACCURATE REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION.



Joseph E. Williamson, PLS
PROFESSIONAL LAND SURVEYOR
FLORIDA REGISTRATION #6573
NOT VALID WITHOUT THE ELECTRONIC SIGNATURE AND/OR ORIGINAL RAISED SEAL OF THE LISTED FLORIDA LICENSED SURVEYOR AND MAPPER

DATED: 8/9/13

DATE	REVISION	DATE	REVISION



ADDRESS
441 East Kings Way
Winter Park, FL 32789

LEGEND

- OR Book = Official Record Book Pg = Page
- CC = Covered Concrete
 - ID = Identification
 - LB = Licensed Business
 - FIP = Found Iron Pipe
 - FIR = Found Iron Rod
 - C/S = Concrete Slab
 - Ø = Power Pole
 - ohu = Overhead Utilities
 - ⊠ = Electric Box
 - WM = Water Meter
 - ☆ = Light Pole
 - ⊠ = Telephone Riser
 - ⊠ = Transformer
 - P/E = Pool Equipment
 - ⊠ = Cable TV Riser
 - (F) = Field Dimension

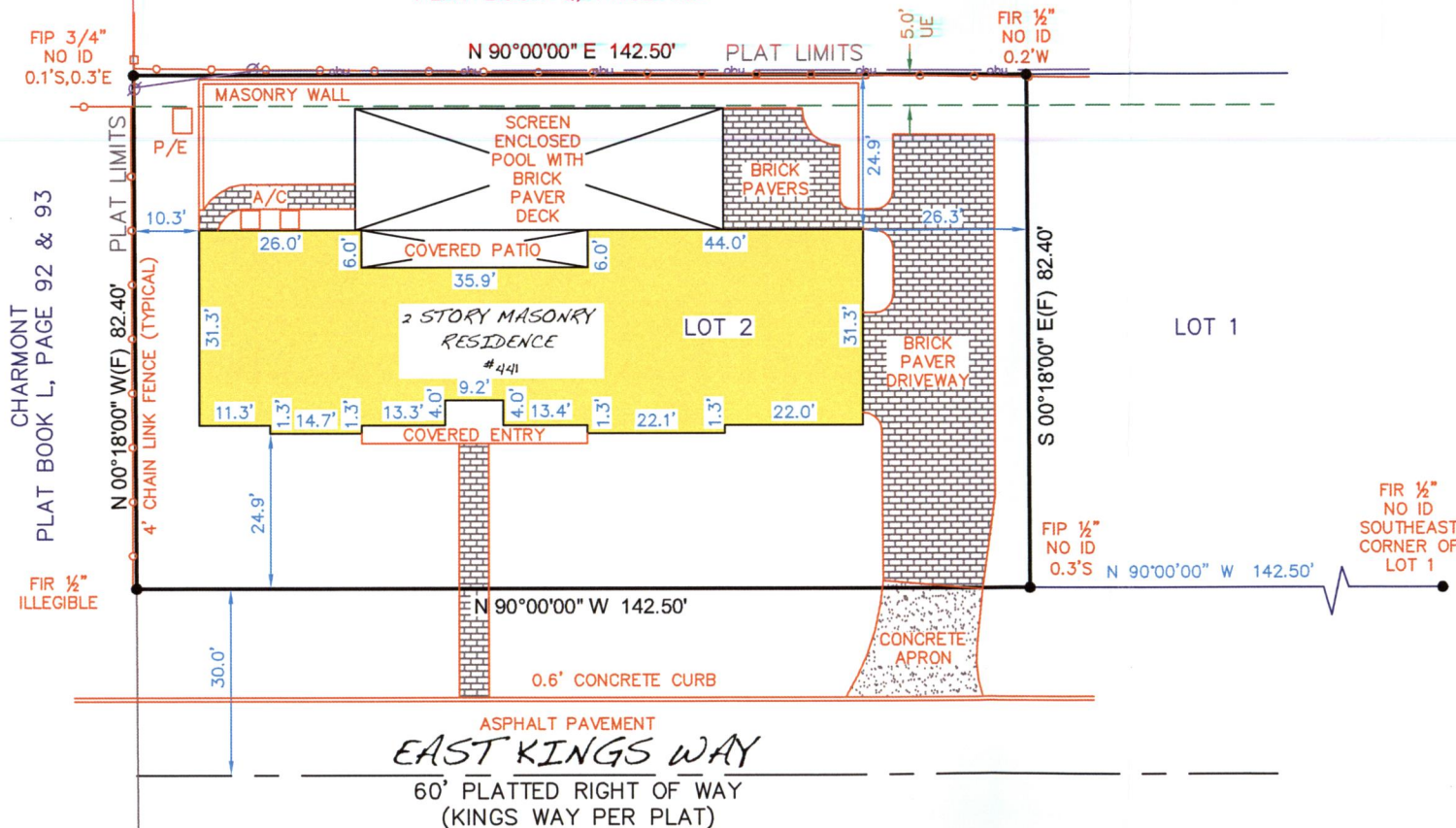
JOB #:	VLSR13-3997
CLIENT #:	
FIELD DATE:	8/9/13
DRAFTER:	DF
APPROVED:	JEW
SCALE:	1" = 30'

COPYRIGHT 2011

X Borrower's Acknowledgment and Acceptance
X Borrower's Acknowledgment and Acceptance



REPLAT OF PART OF LAKE VIRGINIA SHORES
PLAT BOOK Q, PAGE 53



Legal Description (per OR Book 8004, Page 2071)
Lot 2, "Stonehurst Estates", according to the plat thereof, as recorded in Plat Book U, Page 9, Public Records of Orange County, Florida.



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address: 441 East Kings Way

Lot width²: 142.5'

Submitted by: Lamar Design Inc.

Lot area³: 11,738

	Maximum % Allowed ⁴	Existing Area ¹¹	Additional Proposed Area ¹¹	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.	2 story - 50%	6719	79	6716	5869
	1 story - 60%				
FLOOR AREA RATIO (F.A.R.)^{5,6,7} For one and two story bldgs (include 1st & 2nd floors, garages/carports, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁸ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁹ .	Lots < 11,600 sf: Use 38% Base FAR or w/ increased side setbacks: 43% Max FAR				
	Lots 11,600 sf to 13,600 sf Use 4,500 sf Base area & 5,200 sf Maximum area	5291	0	5291	4500
	Lots > 13,600 sf Use 33% Base FAR or w/ increased side setbacks: 38% Max FAR				
SCREEN POOL ENCLOSURE	8% ¹⁰	1143	181	1324	939

	Minimum % Required	Existing Area ¹¹	Landscape Area Reduced ¹¹	New Total Area	Minimum Required Area
FRONT YARD LANDSCAPE COVERAGE Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious). Front Lot Area:	50%	2823	0	2823	1787

NOTES:

1. Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director. For a proposed home, determine the front setback as described on page 2.
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
6. Area forming a room behind 2nd floor walls shall be included in the gross floor area.
7. See page 3 on how to achieve maximum F.A.R.
8. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
9. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area.
10. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
11. These columns only apply to existing homes.

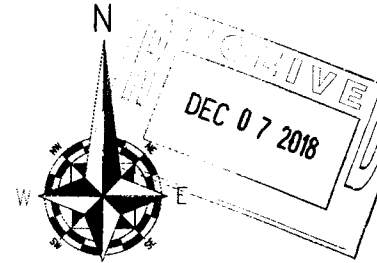
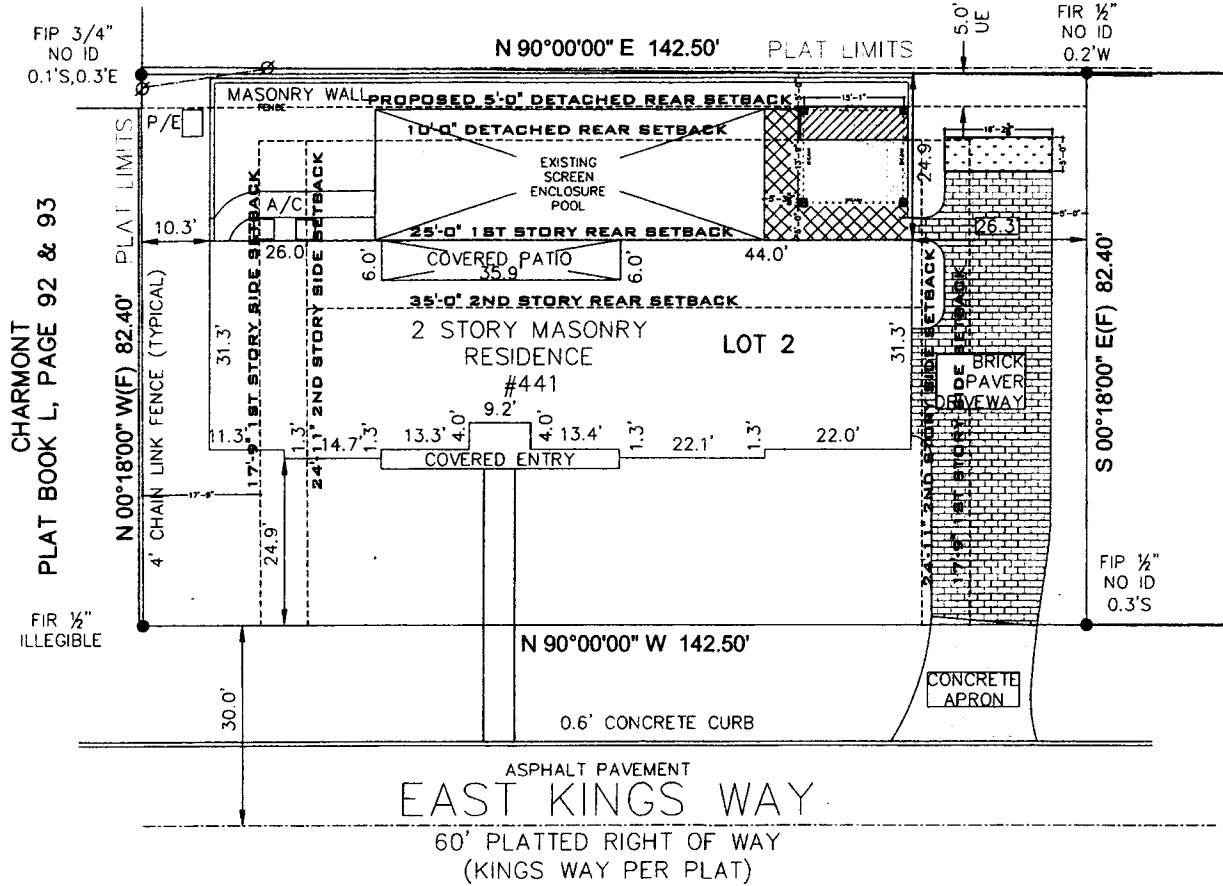
SETBACKS (complete boxes A and B first)

		Minimum Allowable Dimensions		Existing ¹³		Proposed	
FRONT		Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.		25'		25'	
SIDES ^{1,2} (see other side setback options on pg 4)		1st Floor	See pages 3&4	17'-9"	10'-3"	26'-3"	10'-3" 26'-3"
		2nd Floor		24'-11"	21'-6"	48'-7"	21'-6" 48'-7"
REAR ^{1,3,4}		1st Floor		25 ft.	25'/10' detached allowable		25'/5' detached proposed
		2nd Floor		35 ft ⁵	25'		25'
		Lakefront		see note 6			
CORNER LOT		1st Floor	Lot width ≤ 65 ft.	15 ft.			
			Lot width > 65 ft ⁷	20 ft.			
		2nd Floor	Lot width ≤ 65 ft.	15 ft.			
			Lot width > 65 ft ⁷	22.5 ft.			
BUILDING HEIGHT ^{8,9,10,11,12}		30 ft. - 35 ft. plus 2 ft. or 40 ft. (see notes 11 & 12)		30'		10'-6' Detached Bearing Height	

Notes:

1. Any building wall that exceeds 12 ft. in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
2. Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft. and interior side setback is 5 ft. minimum (no gable end allowed) for garages up to 600 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
3. Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. For lots that are 75ft deep or less a first floor setback of 10ft and a second floor setback of 25ft is allowed. For lots which are 105ft deep or less a first floor setback of 15ft and a second floor setback of 30ft is allowed.
4. Accessory buildings: garage/carport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. . Other accessory buildings used for habitation shall meet setbacks of the main residence.
5. The rear setback may be reduced to 25 ft. for two-story components when those consist of a second story loft or mezzanine that is within the normal scale and 18-ft max height of a typical one-story structure.
6. Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft. or 50 ft., whichever is greater, measured from ordinary high water line.
7. Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft. with 1st and 2nd floor setbacks of 25 ft. may reduce the rear setback by 5 ft. on each floor.
8. Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
9. No building or portion thereof shall exceed 30 ft. in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft. additional building height.
10. Accessory building that exceeds 18 ft. in height shall meet the same setbacks as the principal building on the property.
11. Properties or lots with at least 80 ft. of width at the building line are permitted to have a building height of 35 ft. if the side setbacks are increased to 20 ft. at 30 ft. above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft. of additional building height.
12. Properties or lots exceeding 50,000 sq.ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft. if side setbacks are increased to 35 ft. to the portion of the roof over 30 ft. in height.
13. This column only applies to existing homes.

REPLAT OF PART OF LAKE VIRGINIA SHORES
PLAT BOOK Q, PAGE 53



- HATCH INDICATES REMOVAL OF BRICK PAVERS TO CREATE 82 SF OF PERVIOUS COVERAGE
- HATCH INDICATES NEW PROPOSED IMPERVIOUS COVERAGE OF 79 SF
- HATCH INDICATES PROPOSED ENCROACHMENT OF 82 SF
- HATCH INDICATES PROPOSED SCREENED ENCLOSURE EXPANSION OF 181 SF

LOT AREA PER OCCPA = 11,738 SF
 ALLOWED IMPERVIOUS COVERAGE = 11,738 X 50% = 5869 SF
 EXISTING IMPERVIOUS COVERAGE = 6719 SF
 ADDITIONAL PROPOSED IMPERVIOUS = 79 SF
 AREA OF BRICK PAVERS TO BE REMOVED = 82
 TOTAL PROPOSED IMPERVIOUS AREA = 6716 SF

PRINCIPLE BUILDING SETBACKS
 SIDE SETBACK = 17'-9" 1ST STORY
 SIDE SETBACK = 24'-11" 2ND STORY
 REAR SETBACK = 25' 1ST STORY
 REAR SETBACK = 35' 2ND STORY

DETACHED BUILDING SETBACKS
 SIDE SETBACK = 5'
 REAR SETBACK = 10'
 PROPOSED REAR SETBACK = 5'-0"

SCREENED POOL ENCLOSURE CALCULATIONS
 MAXIMUM ALLOWED SCREENED = 939 (8% OF LOT AREA)
 EXISTING SCREENED POOL ENCLOSURE = 1,145 SF
 ADDITIONAL PROPOSED AREA = 181 SF
 NEW TOTAL AREA FOR SCREENED ENCLOSURE = 1,324 SF

FAR CALCULATIONS
 ALLOWABLE BASE FAR = 4,500 SF
 ALLOWABLE MAX FAR = 5,200 SF
 EXISTING FAR PER OCCPA = 5,291 SF
 REMAINING FAR FROM REAR PORCH = 287 SF
 PROPOSED FAR DUE TO PROPOSED POOL CABANA = 207 SF
 REMAINING DEDUCTION OF REAR PORCH = 80 SF

ISSUED FOR

DATE

ARCHIVE
DEC 07 2018

LAMAR DESIGN
INCORPORATED
Thomas H. Lamar II, L.A.S.C.
Winter Park, FL 32789
407-646-3292

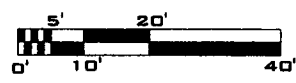
DAUGHERTY
441 E. KINGS WAY
WINTER PARK, FL 32789

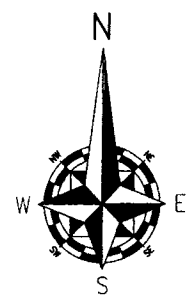
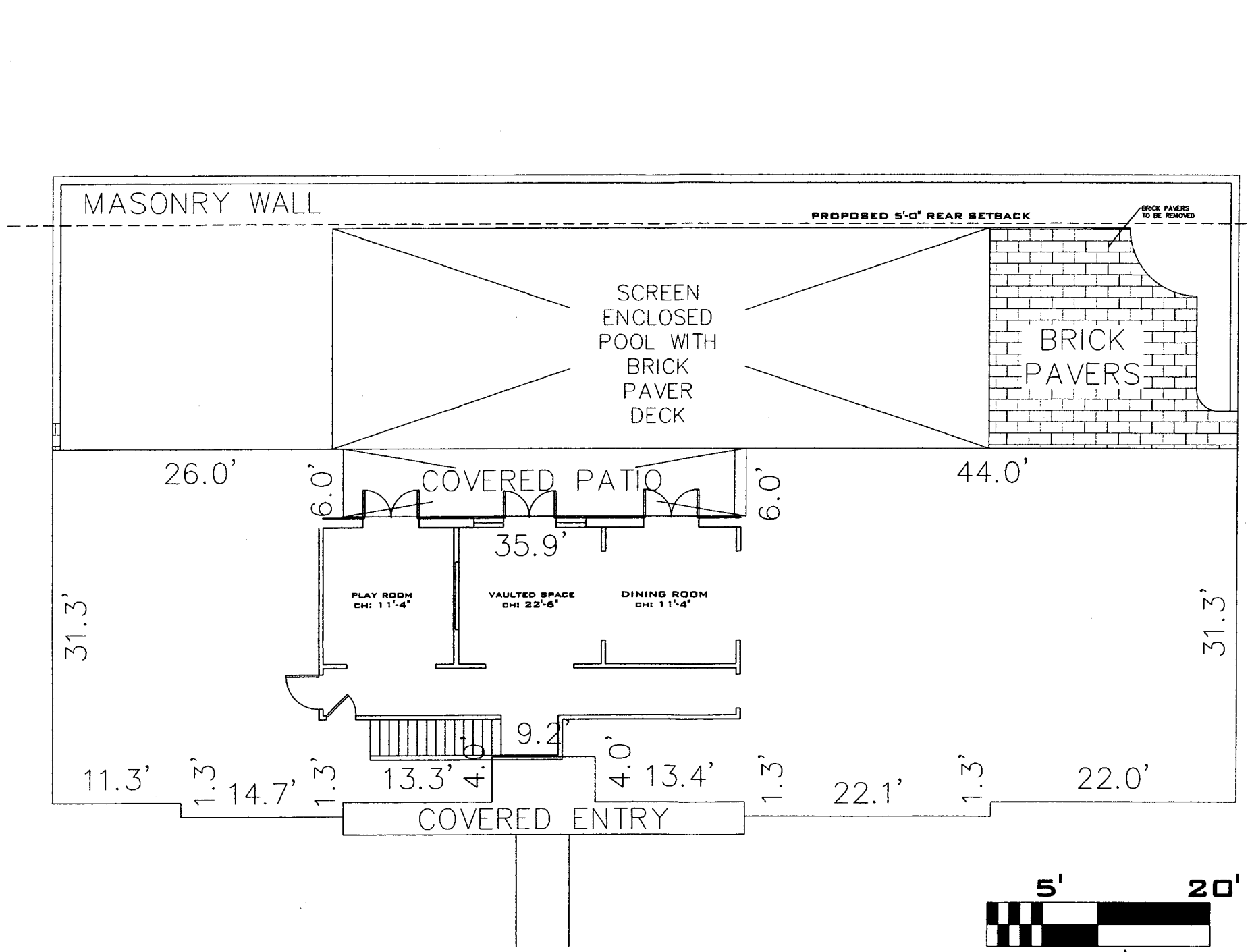
PROPOSED SITE PLAN

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DATE	21 NOV 2018
CHECKED	SL
SHEET SCALE	
1" = 10'-0"	
PROJECT NO.	
SHEET NO.	

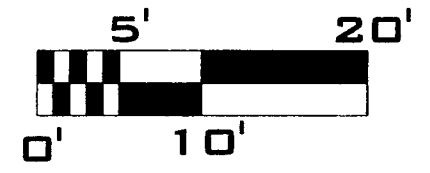
SP

PROPOSED SITE PLAN





EXISTING FLOOR PLAN



ISSUED FOR	
DATE	
<p>LAMAR DESIGN INCORPORATED Thomas K. Lamar II, ARCH. Winter Park, FL 32789 407-442-8282</p>	
<p>DAUGHERTY 441 E. KINGS WAY WINTER PARK, FL 32789</p>	
<p>EXISTING FLOOR PLAN</p>	
DRAWN	BT
DATE	21 NOV 2018
CHECKED	
<p>SHEET SCALE 1/4" = 1'-0"</p>	
<p>PROJECT NO.</p>	
<p>SHEET NO.</p>	
<p>1</p>	

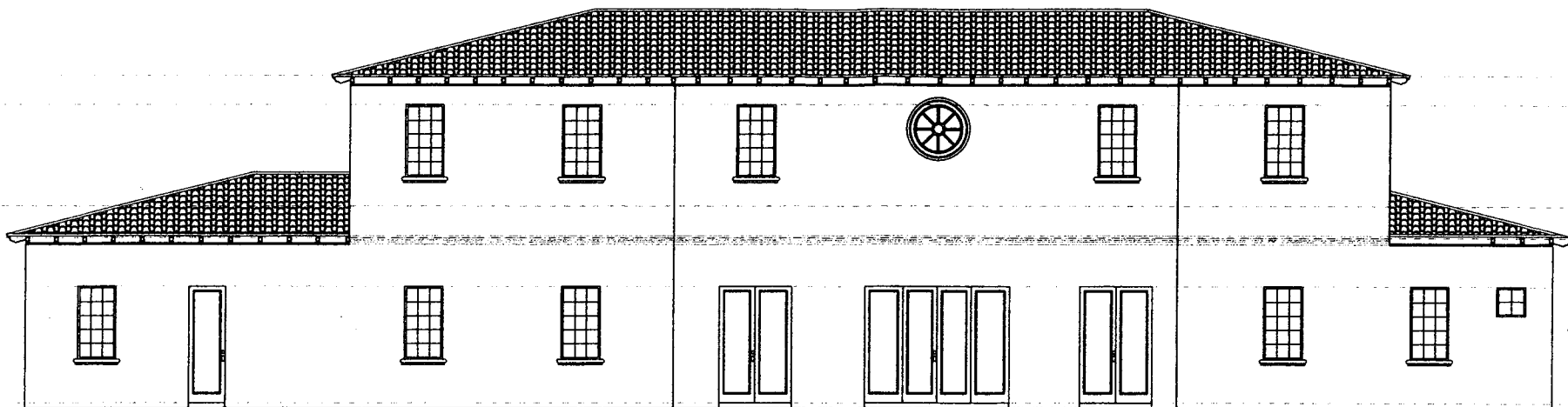
2ND FLR
BEARING
22'-6"

2ND FLR
FF 13'-6"

1ST FLR
BEARING
11'-4"

8'-0" HH

FF 0'-0"
GRADE



EXISTING REAR ELEVATION

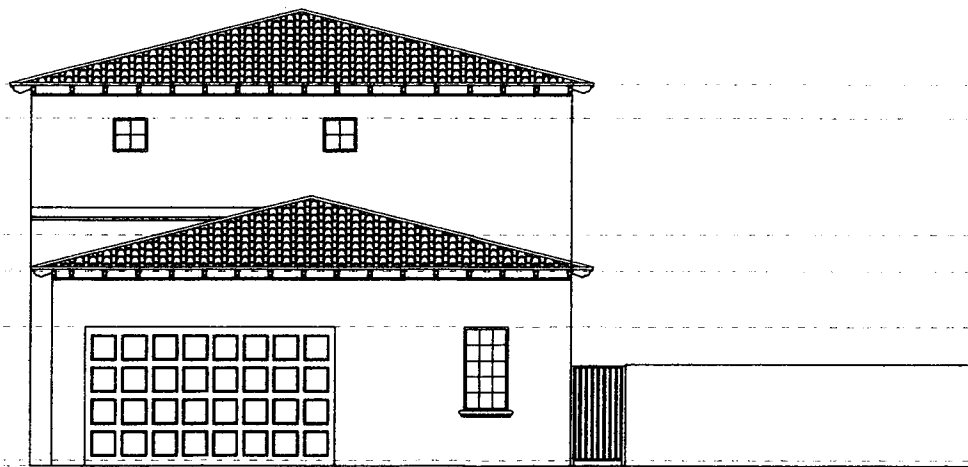
2ND FLR
BEARING
22'-6"

2ND FLR
FF 13'-6"

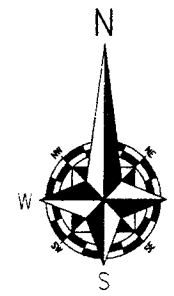
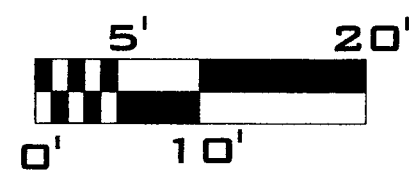
1ST FLR
BEARING
11'-4"

8'-0" HH

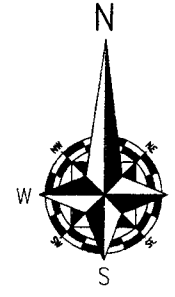
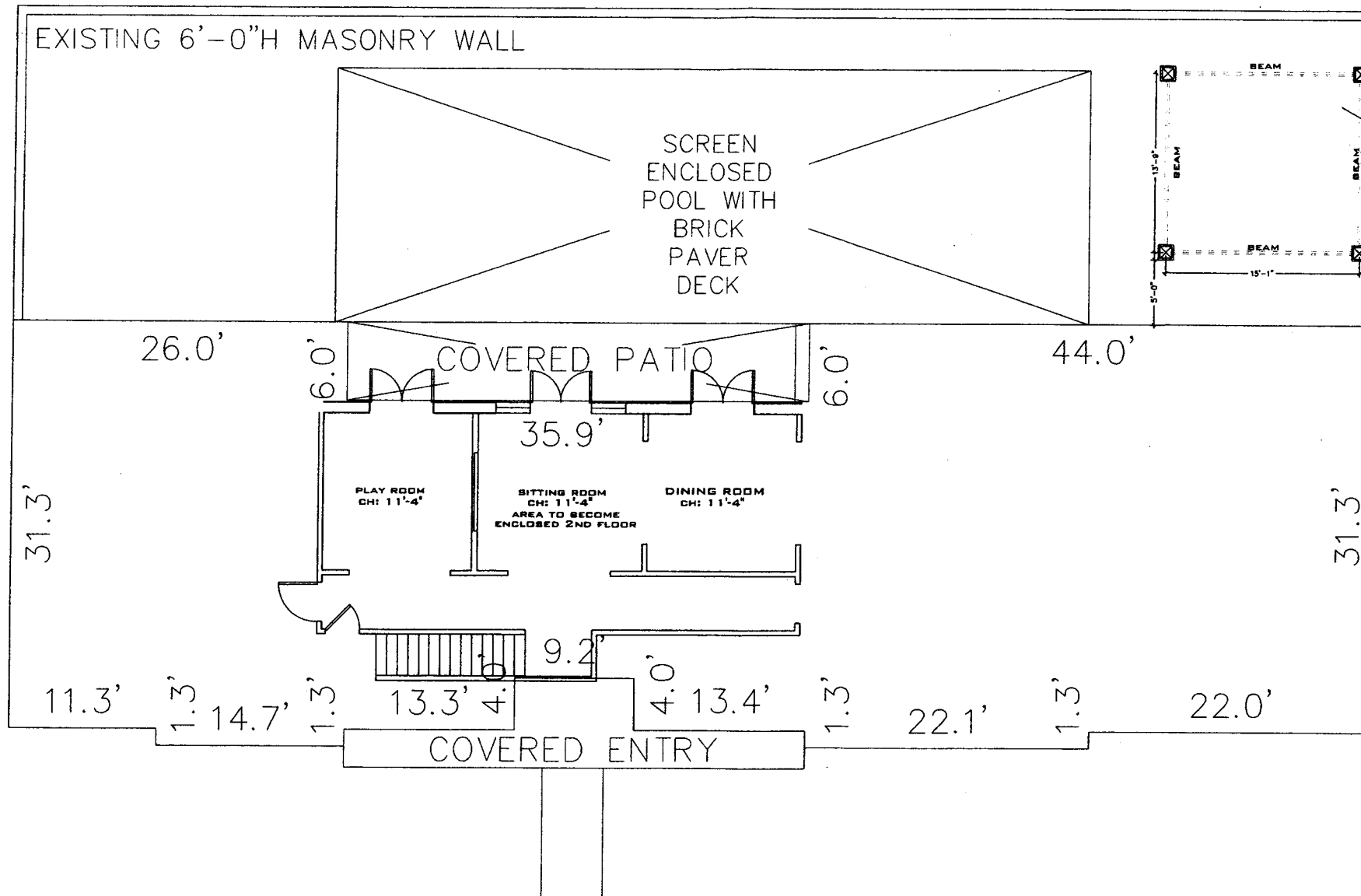
FF 0'-0"
GRADE



EXISTING RIGHT SIDE ELEVATION



ISSUED FOR	
DATE	
<p>LAMAR DESIGN INCORPORATED Thomas E. Lamar, P.E., ARCH. 14370 Parkway, FL 32789 Winter Park, FL 32789 407-845-5588</p>	
<p>DAUGHERTY 441 E. KINGS WAY WINTER PARK, FL 32789</p>	
<p>EXISTING ELEVATIONS</p>	
DRAWN	ST
DATE	21 NOV 2018
CHKD	
<p>SHEET SCALE 1/4" = 1'-0"</p>	
<p>PROJECT NO.</p>	
<p>SHEET NO.</p>	
<p>2</p>	



PROPOSED COVERED DETACHED CABANA
 8' x 20' SF

DATE	ISSUED FOR

LAMAR DESIGN
 INCORPORATED
 Thomas E. Lamar II, L.A.R.C.H.
 1370 GOLF STREET
 WINTER PARK, FL 32789
 407-945-1382

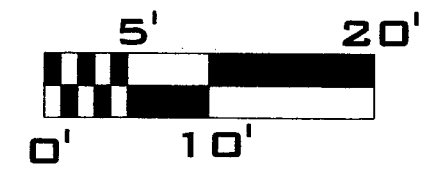
DAUGHERTY
 441 E. KINGS WAY
 WINTER PARK, FL 32789

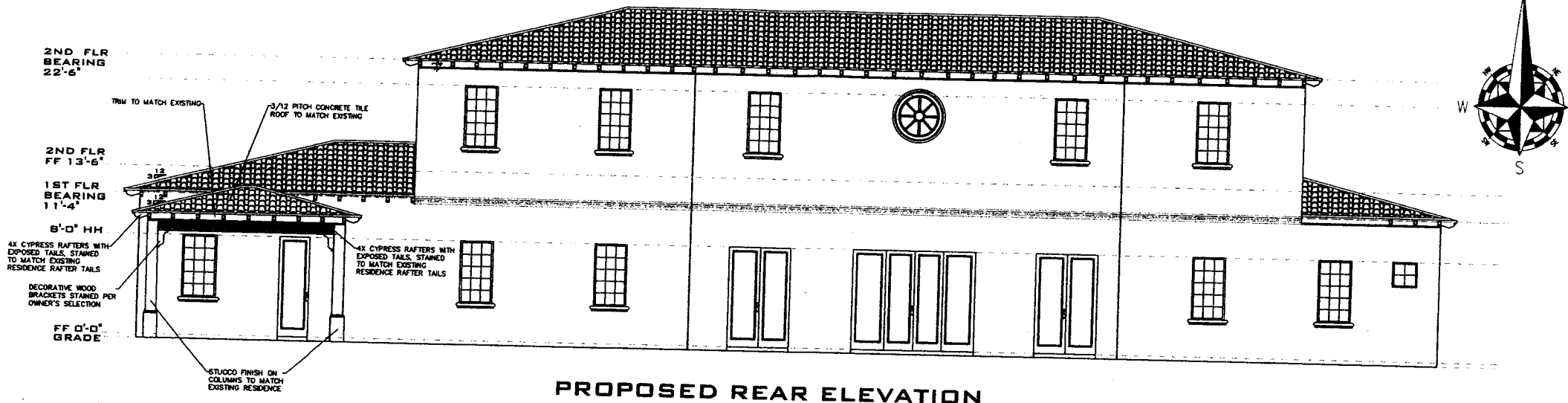
PROPOSED FLOOR PLAN

DRAWN BY	ST
DATE	21 NOV 2016
CHKO	PL
SHEET SCALE	
1/4" = 1'-0"	
PROJECT NO.	
SHEET NO.	

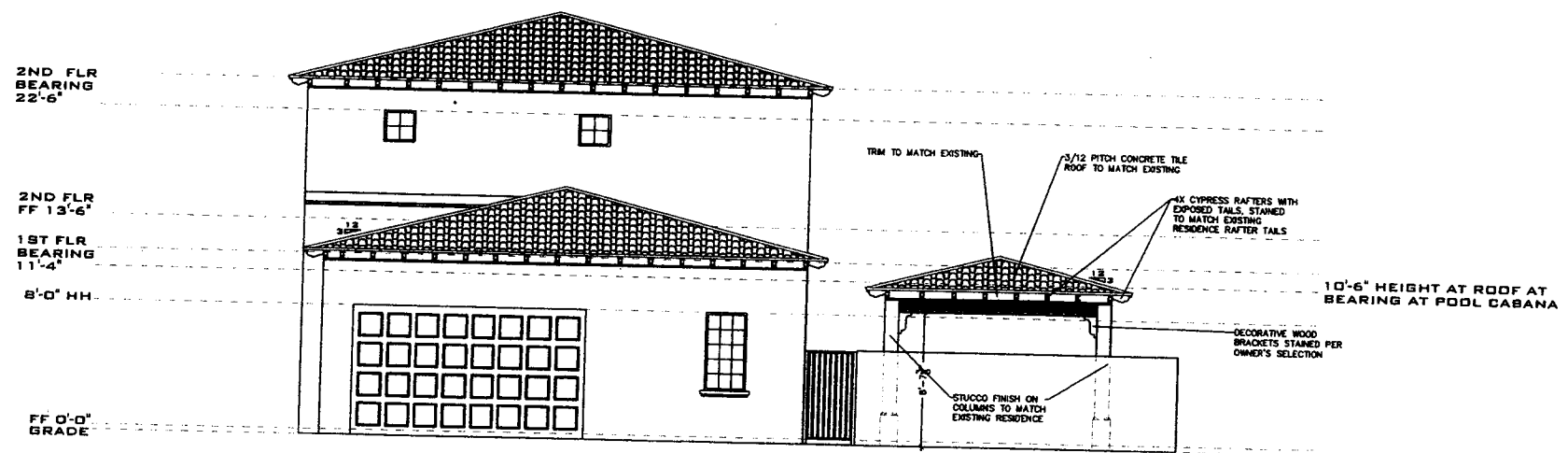
3

PROPOSED FLOOR PLAN

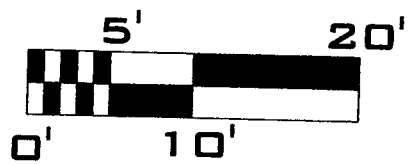




PROPOSED REAR ELEVATION



EXISTING RIGHT SIDE ELEVATION



ISSUED FOR	
DATE	

LAMAR DESIGN
 INCORPORATED
 Thomas E. Lamar, P. E., ARCH.
 4111 E. LAMAR BLVD.
 WINTER PARK, FL 32789
 407-843-3332

DAUGHERTY
 441 E. KINGS WAY
 WINTER PARK, FL 32789

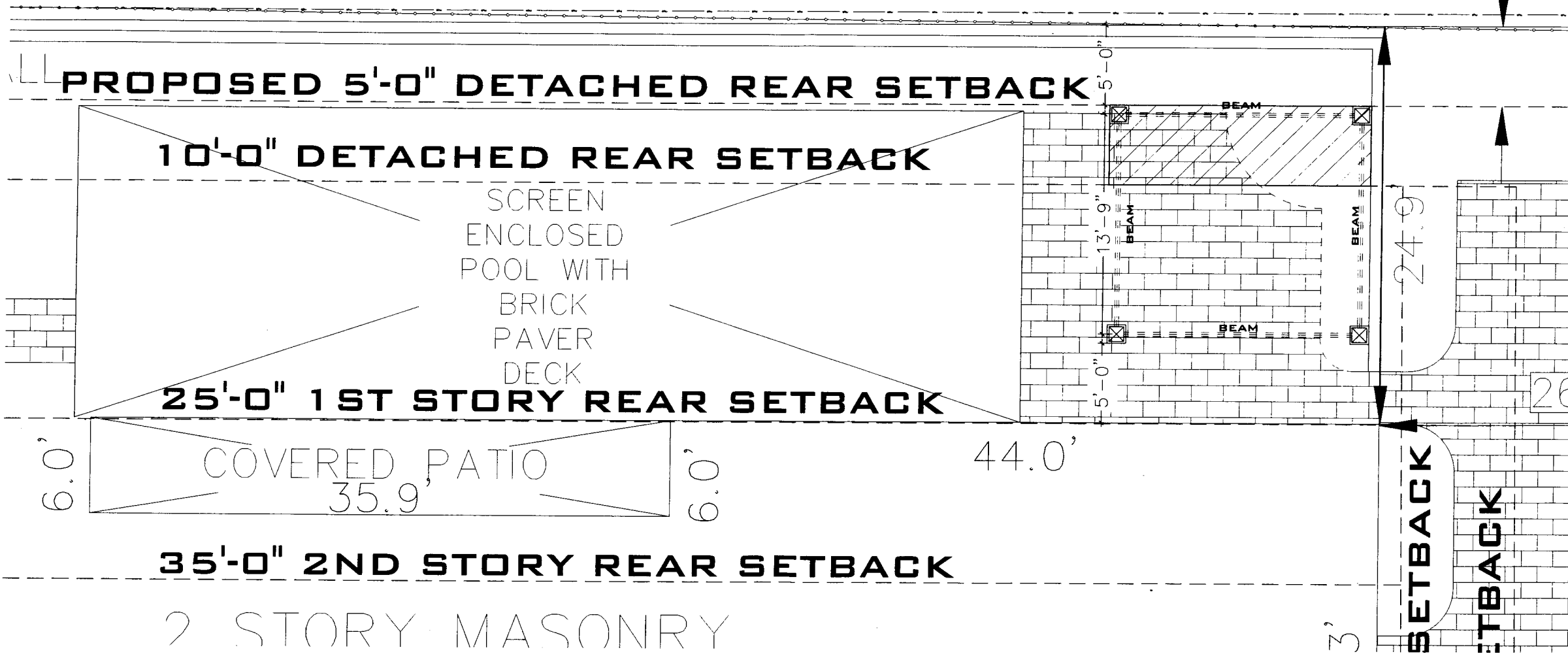
PROPOSED ELEVATIONS

DRAWN	ST
DATE	21 NOV 2018
CHECK	TL
SHEET SCALE	
1/4" = 1'-0"	
PROJECT NO.	
SHEET NO.	

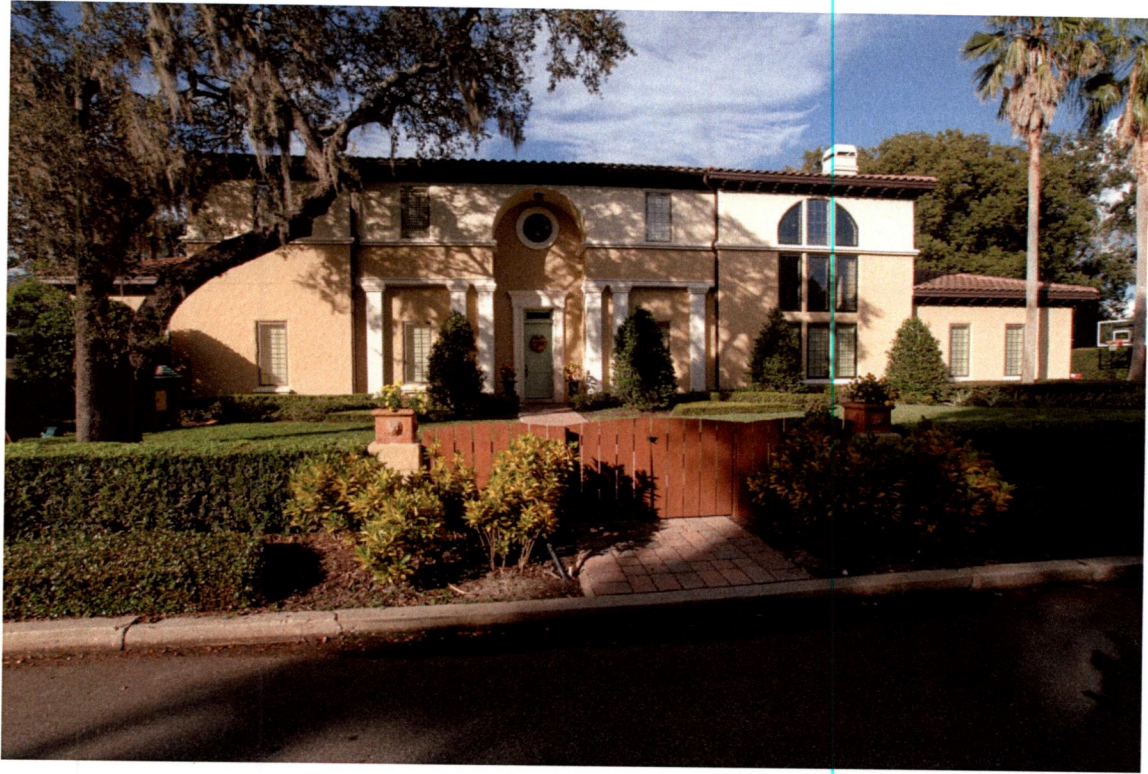
N 90°00'00" E 142.50'

PLAT LIMITS

5.0
UE



Daugherty Variance Photos



Front view of existing South Elevation



Front view from existing South Elevation (right side)



Side view from existing East Elevation



Side view from existing East Elevation



View of existing North Elevation (right side)
(Area of Proposed Addition)



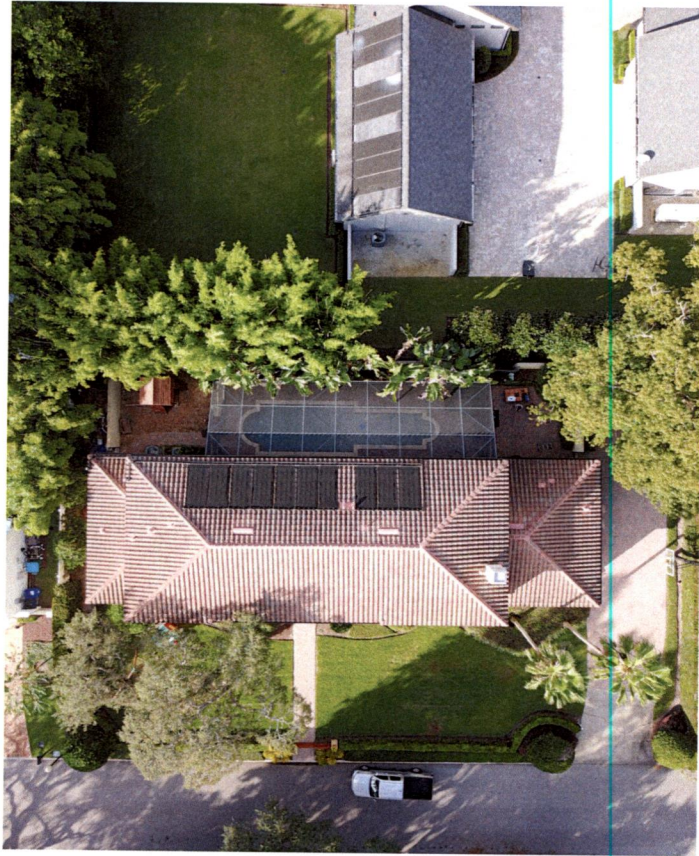
View of existing North Elevation (right side)
(Area of Proposed Addition)



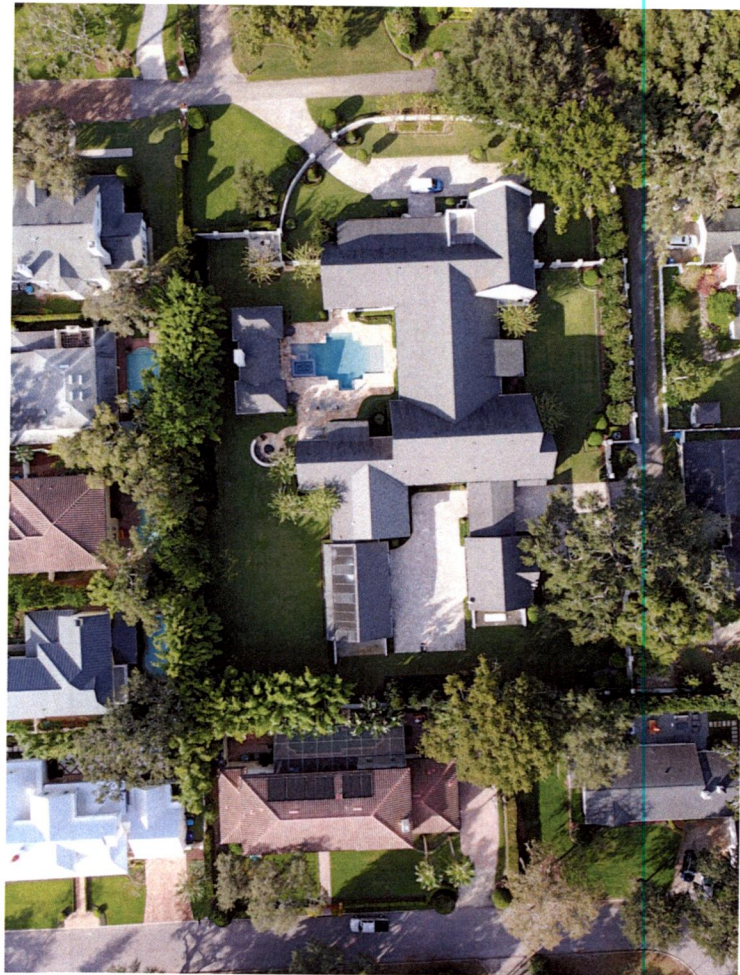
View of existing North Elevation (left side)



Aerial View of existing house



Aerial View of existing house



Aerial View of existing Street View