

Board of Adjustments



August 21, 2018 at 5 p.m.

Commission Chambers • City Hall Second Floor
401 South Park Avenue • Winter Park, Florida

1 Opening comments

2 Approval

Minutes for the July 17, 2018 meeting.

3 New Business

1. Request of Sheila Cichra, on behalf of Lk Virginia Condominium Association, for variances to allow the construction of boat slips extending 40 feet into Lake Virginia, in lieu of the 30 foot maximum permitted distance into the lake, and to allow an area of 1,030 square feet, in lieu of the maximum allowed area of 600 square feet.

*Request
To Table
8-14-2018*

Located at 690 Osceola Avenue Zoned R-3

2. Request of Rock Solid Property Solutions, LLC for variances to allow the re-construction of an existing home with side setbacks of 7.4' on the east side and 7.6' on the west side, in lieu of the required setback of 10 feet.

Located at 1811 Bryan Avenue Zoned R-1A

3. Request of Greg Engeman & Angela Whitford-Narine for variances to allow the construction of a swimming pool and enclosure located 9 feet and 7 feet respectively from the side lot line, in lieu of the required side setback of 13 feet.

*Request
Withdrawn
8-13-2018*

Located at 1664 Cypress Point Lane Zoned R-1A

4. Request of Wil & Ashleigh Torres for a variance to allow the construction of a swimming pool and increasing the impervious coverage by 335 square feet to 58%, in lieu of the maximum permitted coverage of 50%.

*Request
Withdrawn
8-16-2018*

Located at 1260 Alabama Drive

Zoned R-1AA

5. Request of Brian & Jennifer Vander Pol for variances to allow the construction of a swimming pool, deck and enclosure located 6.5 feet, from the rear lot line and the pool deck and screen enclosure located 5 feet from the rear lot line, whereas the required setback is 10 feet to the pool and screen enclosure and 5 feet to the deck. The dome screen enclosure will have heights of 8' to 10.5' located 5 feet from rear lot.

Located at 2704 Summerfield Road

Zoned R-1A

appeals & assistance

If a person decides to appeal any decision made by the Board with respect to any matter considered at this hearing, a record of the proceedings is needed to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. F.S. 286.0105

Persons with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk's Office (407) 599-3277 at least 48 hours in advance of the meeting.



CITY OF WINTER PARK

401 Park Avenue South

Winter Park, Florida

32789-4386

TO: BOARD OF ADJUSTMENTS MEMBERS

FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS

DATE: *GW*
AUGUST 21, 2018

**SUBJ: ROCK SOLID PROPERTY SOLUTIONS VARIANCE REQUEST,
1811 BRYAN AVENUE**

The applicant is requesting variances to allow an addition and partial re-construction of an existing home with side setbacks of 7.4' on the east side and 7.6' on the west side, whereas the required setback is 10 feet.

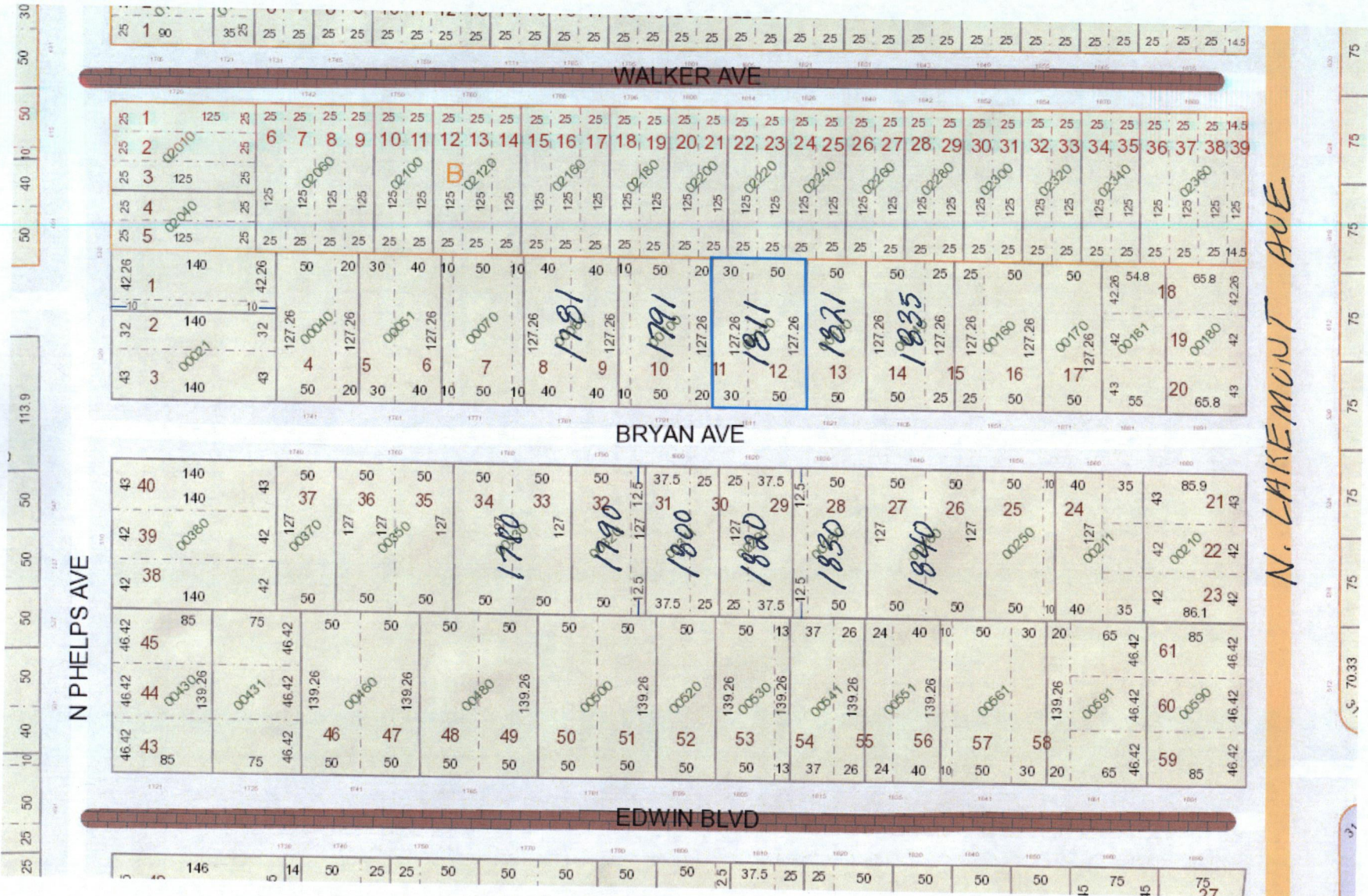
The existing one story home is proposed to be remodeled, including enlarging the one car garage to a two car garage, add a covered front entry, slightly increase the wall heights to 11 feet and add floor area on the rear of the home for 2 bedrooms, a family room and a new kitchen.

The request includes maintaining the same side wall setback locations that exist and adding a new hip roof structure. Side wall articulation is being addressed with addition of a chimney structure on the east side.

With these additions the allowable floor area and impervious coverage for this property is met with a gross floor area of 3,791 square feet and impervious area of 4,869 square feet.

Two letters expressing non-objection to this request have been received from the abutting property owners on each side of this project.

1811 Bryan Ave



VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT

Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received 7/18/2018
Assigned #2
Date of Hearing 8/21/2018

Applicant: _____

(Address)

(City, State) (Zip)

(Phone - Home)

(Phone - Work or Cell)

(Email Address)

Owner: Roek Solid Property Solutions LLC

5110 Rayce Dr.
(Address)

Mount Dora FL 32757
(City, State) (Zip)

845-344-707
(Phone - Home)

(Phone - Work or Cell)

info@roeksolidproperty
(Email Address) solutions.com

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section 58-66, Subsection (7), Zoning R-1A.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of property 1811 Bryan Ave, Winter Park FL 32789
Legal description of property _____

Describe variance

request

Set backs extending existing wall at
7.5 ft side set back & increasing the
existing wall height by 2 ft with the 7.5 ft
set back

This section may be left blank for completion by city staff

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application. (The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.

What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

Dealing with an existing home with non conforming set backs.

How long have you owned the property? 8 months

How long have you occupied the property? —

What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

The ability to remodel the home without rebuilding or demolishing the entire structure.

Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

We are trying to maintain the line of the existing structure

Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?

yes

Karen Flower
Gregory Flower
Signature of Applicant

7/17/18
Date

Karen Flower
Gregory Flower
Name of Applicant (PRINT)



SETBACK / COVERAGE WORKSHEET

For Single Family Zoning Districts (R-1A, R-1AA & R-1AAA)¹

Address: 1811 Bryan Av

Submitted by: _____

Lot width²: 80

Lot area³: 10,167

	Maximum % Allowed ⁴	Existing Area ¹¹	Additional Proposed Area ¹¹	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, artificial turf, etc.	2 story - 50%				
	1 story - 60%	2090	2779	4869	6108
FLOOR AREA RATIO (F.A.R.)^{5,6,7} For one and two story bldgs (include 1st & 2nd floors, garages/carports, stair areas on both floors, areas on 2nd floors which are open to the 1st floor ⁸ , and accessory bldgs. EXCLUDE - pool screen enclosure areas and certain open front, side & rear porches ⁹ .	Lots < 11,600 sf: Use 38% Base FAR or w/ increased side setbacks: 43% Max FAR	1694	2678	4372 3791	4372 3863
	Lots 11,600 sf to 13,600 sf Use 4,500 sf Base area & 5,200 sf Maximum area				
	Lots > 13,600 sf Use 33% Base FAR or w/ increased side setbacks: 38% Max FAR				
SCREEN POOL ENCLOSURE	8%¹⁰				

	Minimum % Required	Existing Area ¹¹	Landscape Area Reduced ¹¹	New Total Area	Minimum Required Area
FRONT YARD LANDSCAPE COVERAGE Count all landscaped green areas - exclude hard surfaces and all driveway surfaces (pervious & impervious). Front Lot Area:	50%				

NOTES:

1. Windsong & Waterbridge may use these standards, except lot types A, B, & C in Windsong. Provisions on side articulations & accessory bldgs are mandatory.
2. Lot width measured at the front bldg line across lot. The bldg line is located at the required front setback for vacant lots or front bldg wall closest to the street of existing homes. For unusual (pie) shaped lots, an average lot width may be utilized as measured between the front setback line and the required rear setback line or shall be determined by the Building Director. For a proposed home, determine the front setback as described on page 2.
3. Submerged lands or land across the street shall not be included.
4. Percentage based on the lot area.
5. One story homes with a sloping roof, 12:12 or less, may utilize the maximum F.A.R. and may provide roof dormers, 8 ft. maximum width and 2.5 ft. back from the required setback, occupying 45% of roof area within the same roof plane.
6. Area forming a room behind 2nd floor walls shall be included in the gross floor area.
7. See page 3 on how to achieve maximum F.A.R.
8. Vaulted and cathedral ceiling areas count twice if the height from the floor to the ceiling is 17.5 feet or greater.
9. The area of open front porches and entries may be excluded from the gross floor area subject to a maximum area of 400 square feet. The area within an open or screened rear and/or side porches, lanai, porte cochere or other covered areas may be excluded from the gross floor area up to 500 sf of floor area. On 2nd floor, rear and/or side porches shall have an exterior sides that are 75% open in order to utilized up to 300 sf of the total 500 sf excludable gross floor area.
10. Any area not already used in the permitted floor area ratio (FAR) may be added to this 8% for additional screened pool enclosure area.
11. These columns only apply to existing homes.

SETBACKS (complete boxes A and B first)

	Minimum Allowable Dimensions			Existing ¹³	Proposed
FRONT	Average of 2 adjacent homes on each side. If corner lot, use 3 adjacent homes.			32.99	32.99
SIDES^{1,2} (see other side setback options on pg 4)	1st Floor	See pages 3&4	A	7.56	7.4
	2nd Floor		B	7.56	7.4
REAR^{1,3,4}	1st Floor	25 ft.		56.26	35
	2nd Floor	35 ft ⁵		0	35
	Lakefront	see note 6			35
CORNER LOT	1st Floor	Lot width ≤ 65 ft.	15 ft.		35
		Lot width > 65 ft ⁷	20 ft.		35
	2nd Floor	Lot width ≤ 65 ft.	15 ft.		35
		Lot width > 65 ft ⁷	22.5 ft.		35
BUILDING HEIGHT^{8,9,10,11,12}	30 ft. - 35 ft. plus 2 ft. or 40 ft. (see notes 11 & 12)			14	35

Notes:

1. Any building wall that exceeds 12 ft. in height measured from natural grade to top of wall plate or truss kneewall must meet the setbacks for the 2nd floor.
2. Accessory buildings' maximum side wall height (natural grade to roof sheathing) shall not exceed 10.5 ft. and interior side setback is 5 ft. minimum (no gable end allowed) for garages up to 600 sf, pool cabana up to 500 sf and all other accessory buildings up to 320 sf. Other accessory buildings used for habitation shall meet setbacks of the main residence.
3. Rear setbacks for properties abutting non-residential zoned, R-3/R-4, or a permanent stormwater retention area over 25 ft. in width may be 10 ft. For lots that are 75ft deep or less a first floor setback of 10ft and a second floor setback of 25ft is allowed. For lots which are 105ft deep or less a first floor setback of 15ft and a second floor setback of 30ft is allowed.
4. Accessory buildings: garage/carport up to 820 sf, pool cabana up to 500 sf and storage bldg up to 320 sf - minimum rear setback shall be 10 ft. . Other accessory buildings used for habitation shall meet setbacks of the main residence.
5. The rear setback may be reduced to 25 ft. for two-story components when those consist of a second story loft or mezzanine that is within the normal scale and 18-ft max height of a typical one-story structure.
6. Require Planning & Zoning commission approval. Lakefront setback is based on the average setback establish by the adjacent residences within 200 ft. or 50 ft., whichever is greater, measured from ordinary high water line.
7. Setbacks given are measured on the side yard adjacent to the street & lots over 75 ft. with 1st and 2nd floor setbacks of 25 ft. may reduce the rear setback by 5 ft. on each floor.
8. Building height is the vertical distance measured from the average elevation of the existing lot grade measured directly adjacent to the front of the building or proposed building.
9. No building or portion thereof shall exceed 30 ft. in height except for homes with a roof slope of 8:12 or greater may be permitted to have 2 ft. additional building height.
10. Accessory building that exceeds 18 ft. in height shall meet the same setbacks as the principal building on the property.
11. Properties or lots with at least 80 ft. of width at the building line are permitted to have a building height of 35 ft. if the side setbacks are increased to 20 ft. at 30 ft. above the side lot line. Exception: homes with a roof slope of 8:12 or greater are permitted 2 ft. of additional building height.
12. Properties or lots exceeding 50,000 sq.ft. in size with at least 100ft width at the building line may be permitted building heights of 40 ft. if side setbacks are increased to 35 ft. to the portion of the roof over 30 ft. in height.
13. This column only applies to existing homes.

F.A.R. and Side Setbacks Calculator for Single Family Residence

(fill out BLUE cell only)



Lot Width (ft)	80	Lot width measured at bldg line across lot at front wall of home or at the front setback.
No. of Story	2	Max 2 story
Lot Area (sq.ft.)	10167	Submerged lands or land across the street shall not be included.
Base F.A.R. (sq.ft.)	3863	
Front Setback	34	All setbacks shall be verified by a registered surveyor.
1st Flr Side Setbacks (ft)	10	For lots 60 ft or less in width, side setback may be 7.5 ft minimum.
2nd Flr Side Setbacks (ft)	14	

F.A.R. and Side Setback Adjustments

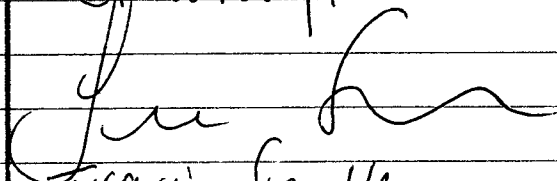
Percentage Increase	5.0%	5% maximum increase.
Max. F.A.R. (sq.ft.)	4372	
New 1st Flr Side Setbacks (ft)	12	For lots 50 ft or less in width, side setbacks may be 7.5 ft minimum for 5% increase.
New 2nd Flr Side Setbacks (ft)	16	For lots 60 ft or less in width, side setback may be 12.5 ft minimum for 5% increase.

Rear 25ft 1st floor
35ft 2nd floor

July 12th 2018

I Traci Smith owner of
1821 Bryan Ave, Winter Park, FL 32789
have no issue with the set back
as is at 1811 Bryan Ave, Winter Park,
FL 32789. I give my permission
for the variance.

Sincerely,



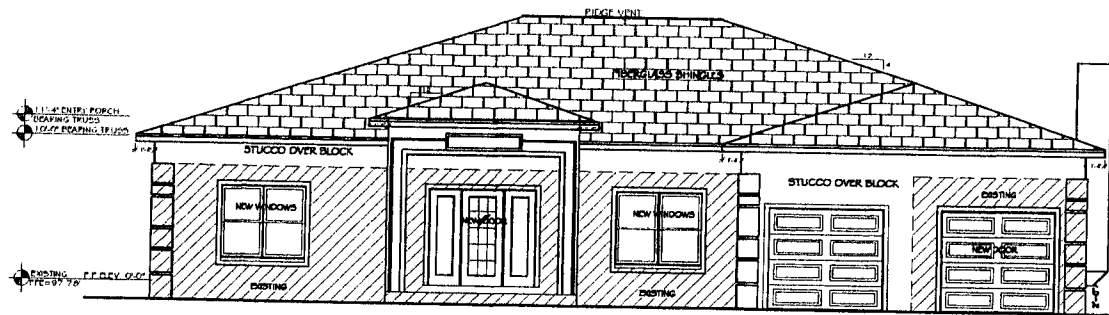
Traci Smith

July 12, 2018

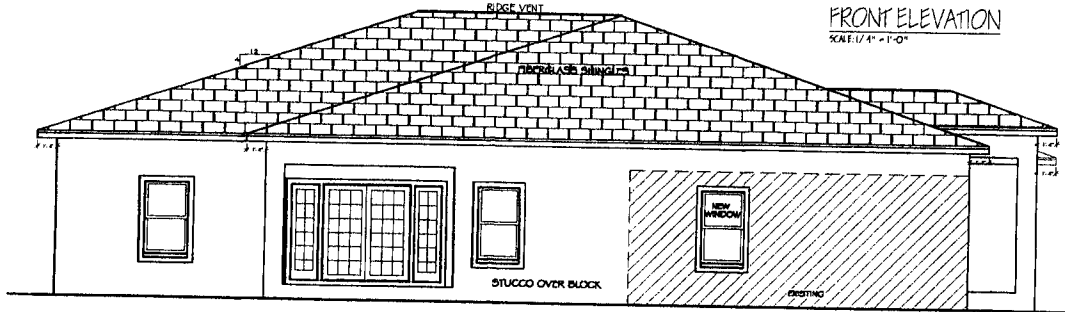
I Larry Oleck owner of 1791 Bryan Ave., Winter Park, FL 32789 have no issue with the set back as is at 1811 Bryan Ave., Winter Park, FL 32789. I give my permission for the variance.

Thank you,

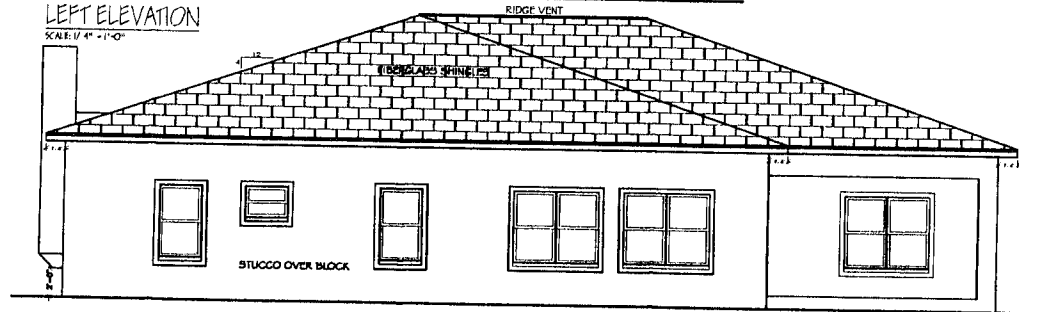

Larry Oleck



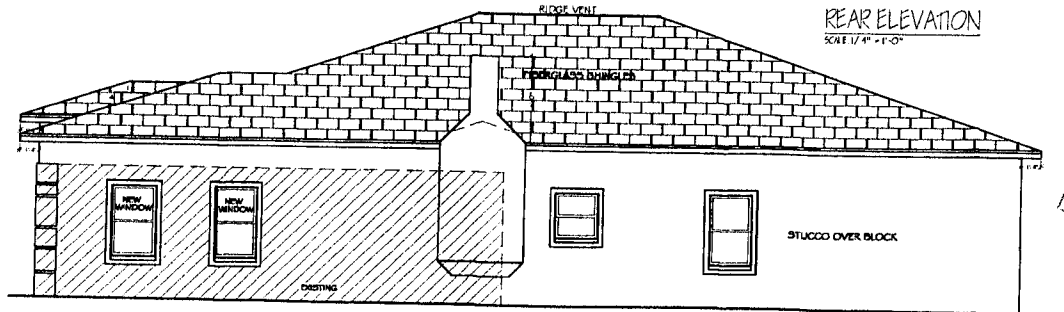
FRONT ELEVATION
SCALE 1/4" = 1'-0"



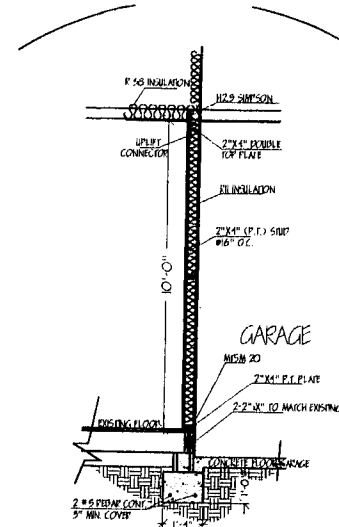
LEFT ELEVATION
SCALE 1/4" = 1'-0"



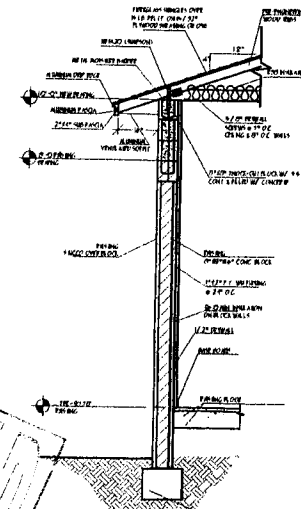
REAR ELEVATION
SCALE 1/4" = 1'-0"



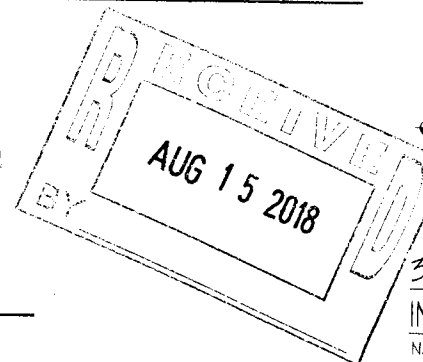
RIGHT ELEVATION
SCALE 1/4" = 1'-0"



INTERIOR BEARING WALL
DETAIL
N.T.S.

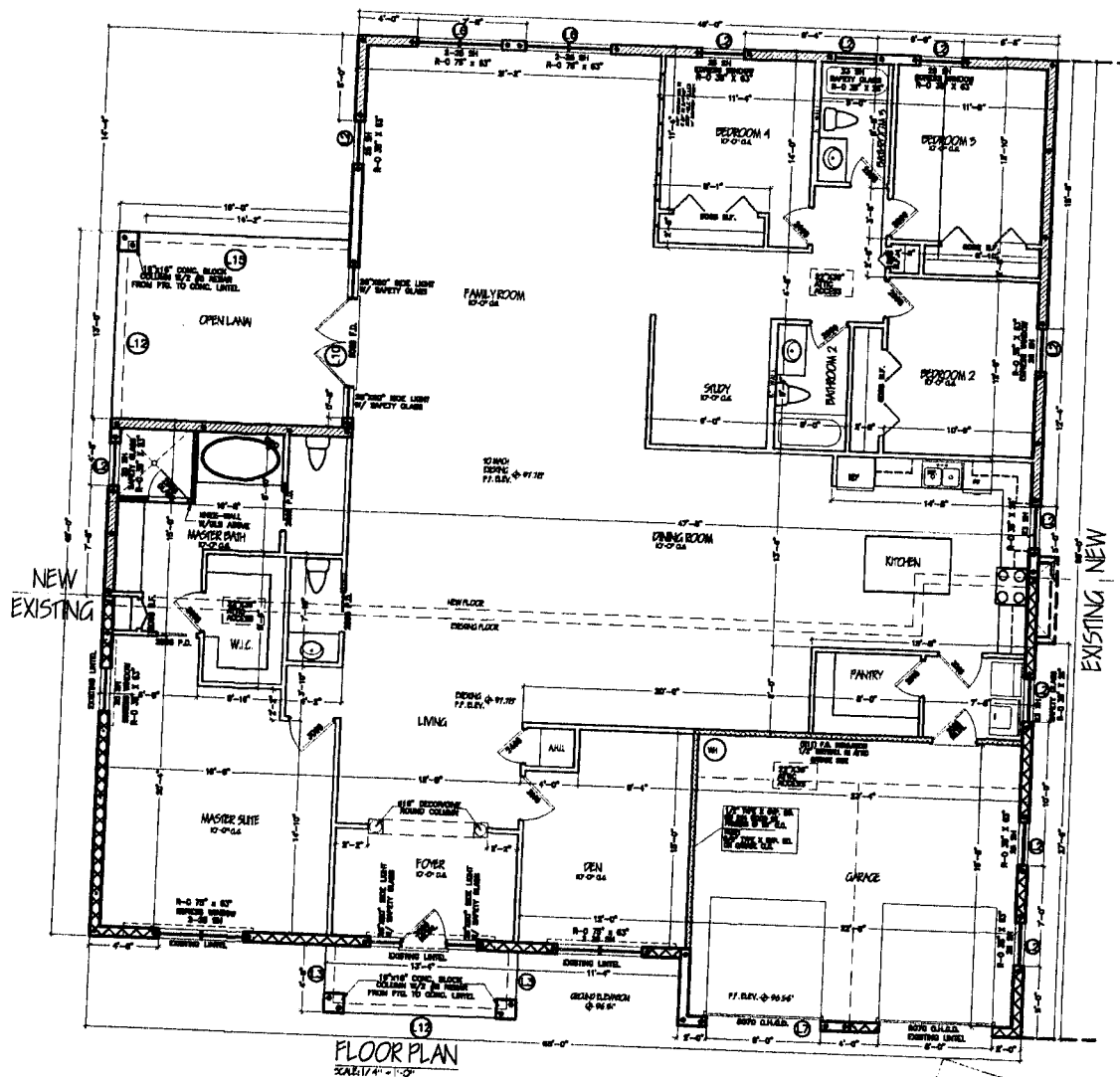


3 ROWS BLOCK WALL
INCREASE DETAIL
N.T.S.



<p>PROPOSED ADDITION FOR MALAK CORPORATION SINGLE FAMILY RESIDENCE 1811 BRYAN AVENUE Orange County</p>	
<p>READY TO BUILD DESIGN & DRAFTING SERVICES CARLOS CASTILLA 1000 W. BAYVIEW BLVD., SUITE 100 TAMPA, FL 33604</p>	<p>THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED BY RESIDENTIAL DESIGN AND DRAFTING SERVICE UNDER THE DIRECT SUPERVISION OF PETE ALFONSO JR., LICENSED ARCHITECT, NO. 8735, AND I HEREBY CERTIFY TO COMPLY WITH THE FLORIDA BUILDING CODE 2017 RESIDENTIAL. THIS DRAWING AND DESIGN IS VALID FOR 12 MONTHS AFTER THE DATE IS SIGNED AND SEALED. SIGNED AND SEALED FOR THE ARCHITECTURAL PORTION OF THIS DRAWING ONLY.</p> <p>PETE ALFONSO JR. ARCHITECT LIC. NO. 8735 1318 W. BAYVIEW BLVD. TAMPA, FL 33604</p> <p>DATE: 08/17/18 JOB NO: 1811-BRYAN ELEVATIONS</p> <p>Sheet 6</p>

1811 BRYAN AVE



WINDOWS CODE	WIDTH x HEIGHT	QUANT.
23 S.H.	37 x 38 3/8	3
25 S.H.	37 x 63	16
SIDE LIGHT	24 x 80	4

AREAS	
LIVING	3313 S.F.
GARAGE	478 S.F.
LANAI	208 S.F.
ENTRY PORCH	62 S.F.
TOTAL UNDER ROOF	4061 S.F.

NOTES:

ENCLOSURE CLASSIFICATION - ENCLOSED RISK CATEGORY - II

- Note 1: All Electrical rough-ins must be complete, inspected and approved before requesting the framing inspection.
- Note 2: Post a permanent sign which identifies the termite treatment provider and need for re-inspection and treatment contract renewal shall be provided. The sign shall be posted near the WHI or Electrical panel.
- Note 3: SHEAR WALLS
All masonry wall segments (Having no opening which exceed 144 sq. inches with a dimension on any side No greater than 12') 3 feet or more in length between filled cells are considered as shear walls. This plan meets or exceeds shear wall requirements.
- Note 4: All bearing walls and points to be verified with the truss layout.
- Note 5: All wood in contact w/ masonry will be pressure treated or protected w/ felt paper.
- Note 6: The Contractor will be solely responsible for submitting the above required information prior to construction. The Architect will NOT be responsible for any deviation from the above required submittals.
- Note 7: All construction will comply w/ the F.B.C. 2017 Residential.
- Note 8: Soil beneath new interior concrete slabs, foundation walls and footings shall be treated with soil poisoning applied by a licensed pest control contractor before commencement of construction. All work shall be in accordance with state department of agriculture, structural pest control regulations, rules, definitions and requirements. A permanent placard shall be placed near electrical panel indicating the treatment provider, the date, and the need for re-inspection and contract renewal.
- Note 9: Duct penetration R302.5.2
Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel, 1 inch (25.4 mm) minimum rigid nonmetallic Class O or Class I duct board, or other approved material and shall have no openings into the garage.
- Note 9: Ventilation FBC R806.1 - 806.2

Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilation for each separate space by ventilating openings protected against the entrance of rain or snow. Ventilation openings shall have a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Ventilation openings having a least dimension larger than 1/4 inch (6.4 mm) shall be provided with corrosion-resistant wire cloth screening, hardware cloth, or similar material with openings having a least dimension of 1/16 inch (1.6 mm) minimum and 1/4 inch (6.4 mm) maximum. Openings in roof framing members shall conform to the requirements of Section R802.1.B. Required ventilation openings shall open directly to the outside air.

APPROVED PRODUCTS LIST

PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER	STATE OF FLORIDA APPROVAL NUMBER	APPROVED DATE
Structural Component	Weld Connector	SIMPSON STRONG-TIE COMPANY, INC.		
		HETA20	FL 11473.3	06/22/15
		SP1, SP2	FL 10498.3	06/21/15
Structural Component	Concrete Lintel	FEDP. CORP. - CAST-ORETE DIVISION	FL 158.7	03/10/15
Window	Style Heavy	PLY GEM	FL 14038.2	04/25/15
Door	Weld	JELD-WEN	FL 11136.3	06/06/15
Door	Sliding	EPCO CORPORATION	FL 15628.1	07/10/15
Door	Garage	OVERHEAD DOOR CORPORATION	FL 14170.7	06/23/15
Roofing	Shingle	GAF	FL 1024.15	06/23/15
Roofing	Ridge Vent.	GAF	FL 6267.9	06/23/15
Roofing	Sliding-Soffit	AMERICAN CONSTRUCTION METALS	FL 12019.5	06/22/15

PROPOSED ADDITION FOR

MALAK CORPORATION

SINGLE FAMILY RESIDENCE

1811 BRYAN AVENUE
Orange County

READY TO BUILD

DESIGN & DRAFTING

SERVICES

CARLOS CASTILLA

(407) 281-1944
1715 W. NORTH LANE, SUITE 100, DUNN, FL 32627

THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED BY ARCHITECTURAL DESIGN AND DRAFTING SERVICE UNDER THE DIRECT SUPERVISION OF PETE ALFONSO JR., LICENSED ARCHITECT, AND I HEREBY CERTIFY TO COMPLY WITH THE FLORIDA BUILDING CODE 2017 RESIDENTIAL. THIS DRAWING AND DESIGN IS VALID FOR 12 MONTHS AFTER THE DATE IS ISSUED AND REVISED. SIGNED AND SEALED FOR THE STRUCTURAL PORTION OF THIS DRAWING ONLY.

PETE ALFONSO JR., ARCHITECT
LIC. NO. 8738
1315 W. BUSH BLVD., TAMPA FL 33612

DATE: 08/17/15
JOB NO. 14072-655
FLOOR PLAN

Sheet **3**

-Benchmark Information-

Orange County Survey Datum Elevation: 96.164'

Orange County Survey Department
B.M. Point: L1161004
Elevation: 94.164'
Northing: 1551225
Easting: 549857
Description: Found 2 1/2" Orange County Brass Control Disc, On Northwest Corner of Aloma Ave. And Phelps Ave. +/-80 Feet West of Centerline of Phelps Ave. And +/-25 Feet North of Centerline Aloma Ave.

(Elevations are based upon North American Vertical Datum 1988)

-Site Benchmark Information-

BM #1

Set Nail & Disk (LB 7623) in Edge of Pavement
Elevation: 96.202'

BM #2

Set Nail & Disk (LB 7623) in Edge of Pavement
Elevation: 96.017'

Existing Elevations (Typical)

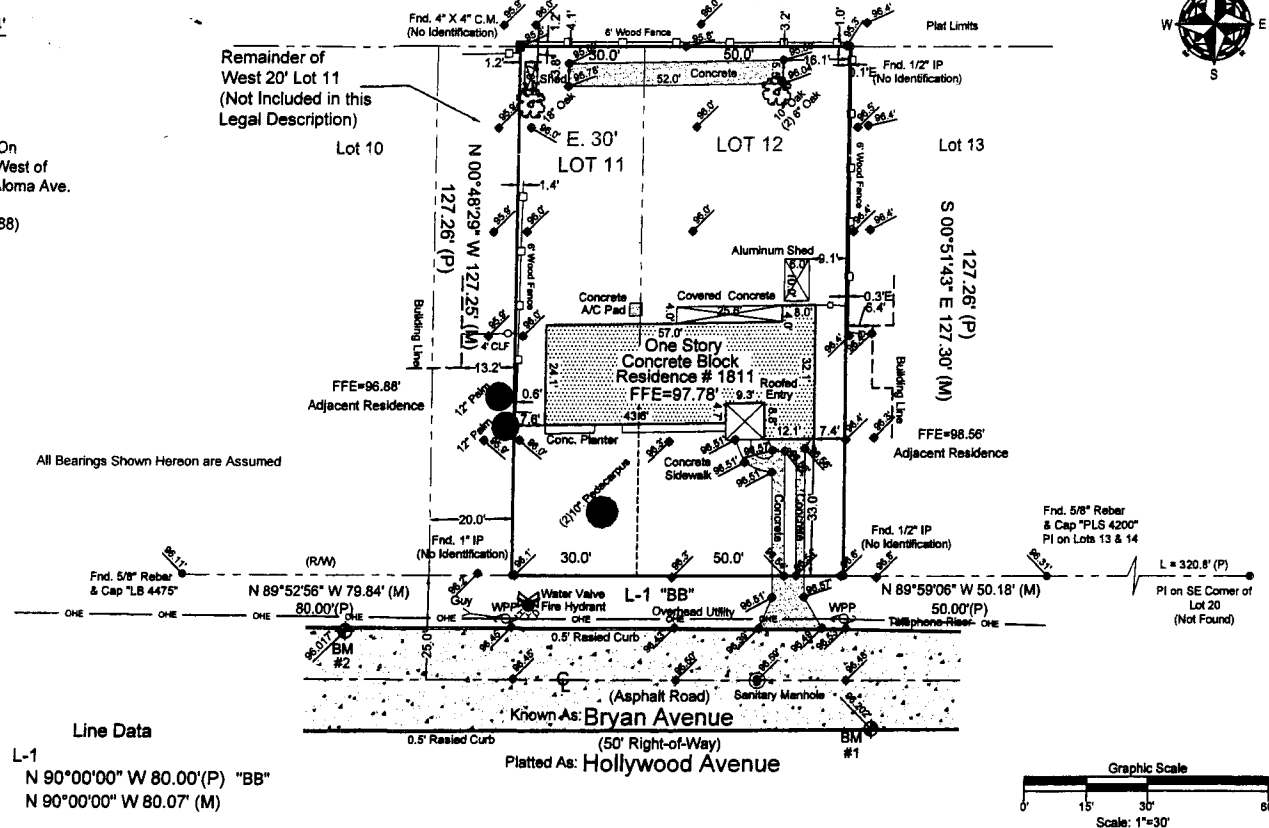
Tree Note:
Palm - Denotes Tree Type
(18") - Diameter of Tree measured at Chest Height

All Bearings Shown Hereon are Assumed

Line Data
L-1
N 90°00'00" W 80.00'(P) "BB"
N 90°00'00" W 80.07'(M)

Osceola Heights
Plat Book H, Page 120

80.00'(P)
N 89°58'08" E 79.95'(M)



1811 BRYAN AVENUE, WINTER PARK, FLORIDA 32789

BOUNDARY SURVEY

Legal Description:

LOT 12 AND THE EAST 30 FEET OF LOT 11, LAKEVIEW TERRACE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK K, PAGE 109, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

Flood Information:
BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN CITY OF WINTER PARK, COMMUNITY NUMBER 120188, DATED 9/25/2009.

CERTIFIED TO:
KAREN FLOWER



Field Date: 12/1/2017 Date Completed: 12/5/2017
Drawn By: A.A. File Number: IS-42734

Legend:	
C - Calculated	PC - Point of Curvature
CS - Centerline	Pg - Page
CM - Concrete Block	PI - Point of Intersection
CM - Concrete Monument	P.O.B. - Point of Beginning
Conc. - Concrete	P.O.L. - Point on Line
DE - Description	PP - Power Pole
DE - Drainage Easement	PRM - Permanent Reference
Est. - Easement	Monument
F.E.M.A. - Federal Emergency Management Agency	PT - Point of Tangency
FFE - Finished Floor Elevation	R - Radius
Fnd. - Foundation	Rac. - Radius
IP - Iron Pipe	R&C - Rebar & Cap
L - Length (Arc)	Rec. - Recovered
M - Measured	Res. - Resurveyed
Nad - Nail & Disk	Set - Set 1/2" Rebar & Cap "LB 7623"
N.R. - Non-Radial	Typ. - Typical
ORB - Official Records Book	UE - Utility Easement
P - Plat	WM - Water Meter
P.B. - Plat Book	Δ - Delta (Central Angle)
W - Wood Fence	-O- - Chain Link Fence

NOTES:
-Survey is Based upon the Legal Description Supplied by Client.
-Abstracting Property Deeds have NOT been Researched for Gaps, Overlaps and/or Mistake.
-Subject to any Easements and/or Restrictions of Record.
-Bearing and Distance shown hereon, is Assumed and Based upon the Line Denoted with a "BB".
-Building Ties are NOT to be used to reconstruct Property Lines.
-Fence Ownership is NOT determined.
-Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.
-Septic Tanks and/or Drains/field locations are approximate and MUST be verified by appropriate Utility Location Companies.
-Use of This Survey for Purposes other than Intended, Without Written Verification, Will be at the User's Sole Risk and Without Liability to the Surveyor. Nothing Hereon shall be construed to give ANY Rights or Benefits to Anyone Other than those Certified.

NONE VISIBLE

POINTS OF INTEREST:

I hereby certify that this Boundary Survey of the above Described Property is True and Correct to the Best of my Knowledge and Belief as recently Surveyed under my Direction on the Date Shown. Based on Information furnished to me as Noted and Conforms to the Standard of Practice for Land Surveying in the State of Florida in accordance with Chapter 63-17.002 Florida Administrative Codes, Pursuant to Section 472.007, Florida Statutes.

Patrick K. Ireland, Surveyor
This Survey NOT VALID UNLESS SIGNED AND EMBOSSED WITH SURVEYOR'S SEAL.
Ireland & Associates Surveying, Inc.
1301 S. International Parkway Suite 2001
Lake Mary, Florida 32746
www.Irelandsurveying.com
Office-407.678.3366 Fax-407.320.8165

PROPOSED RESIDENCE FOR:
MALAK CORPORATION
SINGLE FAMILY RESIDENCE
1811 BRYAN AVENUE
Platted As: Hollywood Avenue

PARCEL ID. # 05-22-30-4890-00-120

LEGAL DESCRIPTION:

LAKEVIEW TERRACE K/109 LOT 12 & E 30 FT OF LOT 11

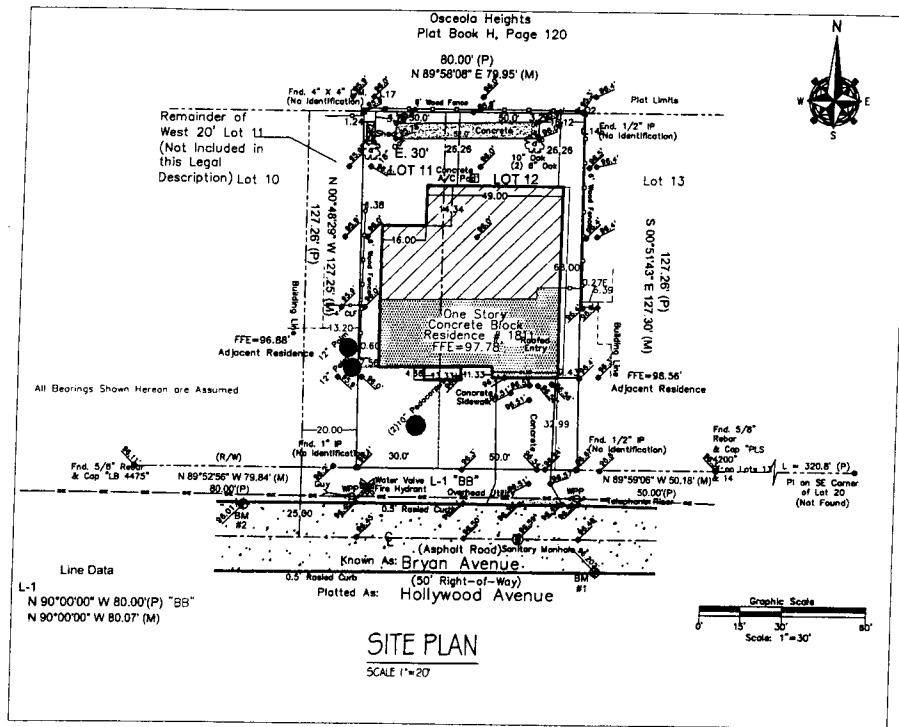


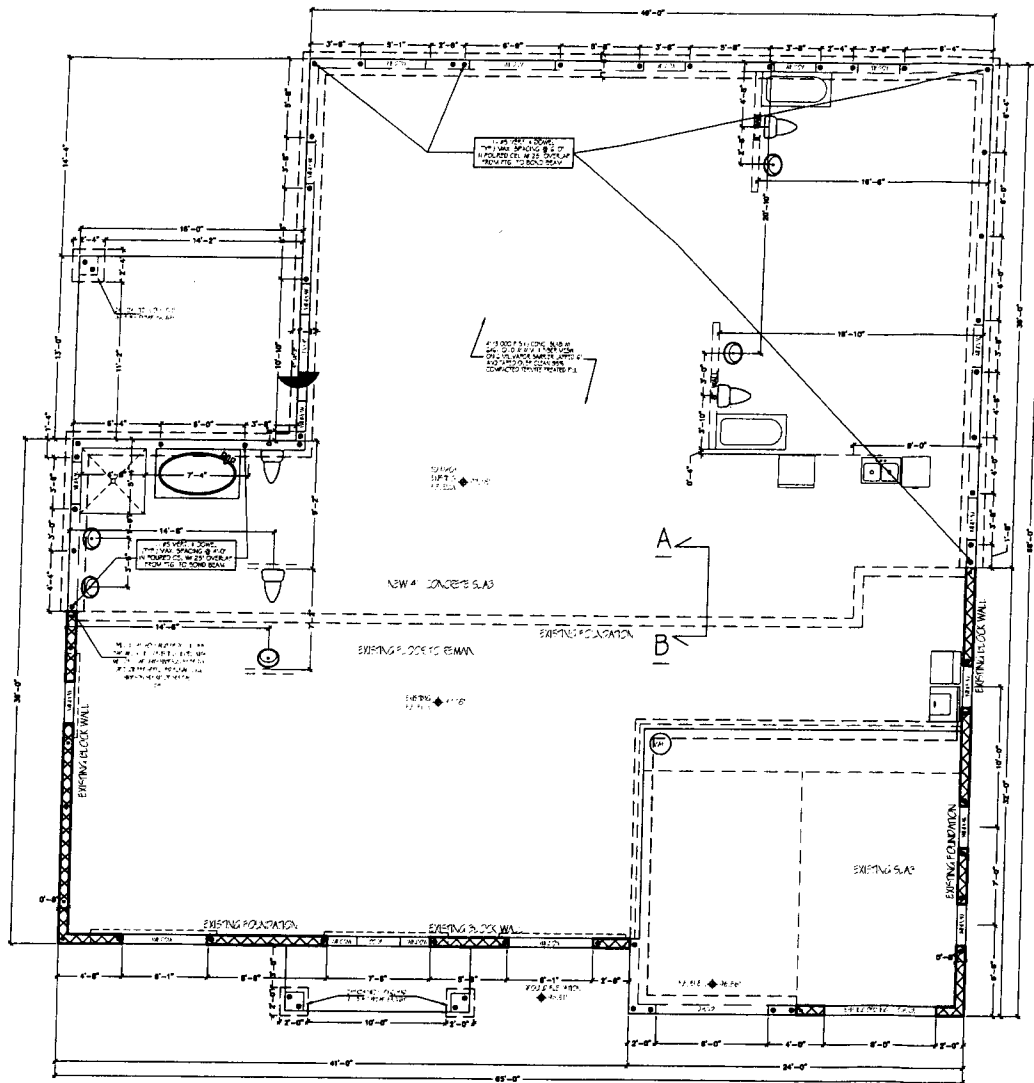
TABLE OF CONTENTS:

1	DEMO
2	FOUNDATION PLAN
3	FLOOR PLAN
4	ELECTRICAL PLAN
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D3	DETAILS
D4	DETAILS

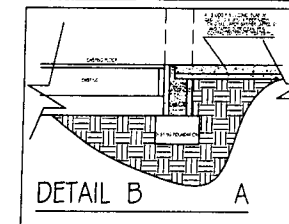
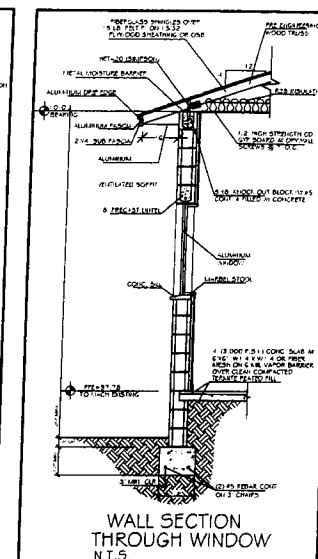
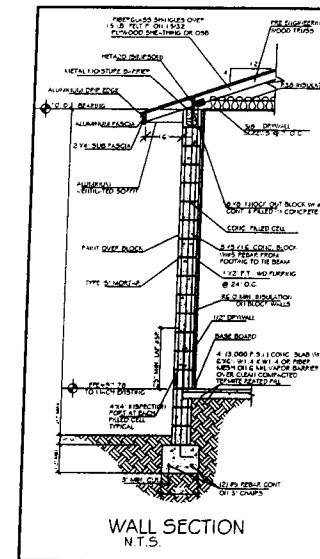
SCOPE OF WORK:

- PROPOSED ADDITION AND RENOVATION,
4,061 S.F. UNDER ROOF.
- EXTERIOR CONCRETE BLOCK WITH
COMPOSED
ROOF AND FIBERGLASS SHINGLE.
- THE CONTRACTOR SHALL VERIFY ON FIELD
THE
MEASUREMENTS PRIOR TO
CONSTRUCTION.

1811 Bryan Avenue



FOUNDATION PLAN
SCALE: 1/4"=1'-0"



- CONTRACTOR TO VERIFY ALL DIMENSIONS AND MATERIAL SELECTIONS PRIOR TO CONST.
- THE SAFE ALLOWABLE SOIL BEARING CAPACITY FOR PURPOSE OF DESIGN IS ASSUMED TO BE 2500 P.S.F.

Note:
All Soil or Waste pipe or building drains under a footing or through a foundation wall
Shall have a pipe TWO (2) sizes greater than the pipe passing through.

FOUNDATION NOTES:
A FOUNDATION SURVEY SHALL BE PERFORMED AND A COPY OF THE SURVEY SHALL BE ON THE SITE FOR THE BUILDING INSPECTOR'S USE, OR ALL PROPERTY MARKERS SHALL BE EXPOSED AND A STRING, STRETCHED FROM MARKER TO MARKER TO VERIFY REQUIRED SETBACKS.

FRAMING NOTES:
ALL PLUMBING, ELECTRICAL, AND MECHANICAL ROUGH-INS MUST BE COMPLETE, INSPECTED, AND APPROVED BEFORE REQUESTING THE FRAMING INSPECTION.

<p>PROPOSED ADDITION FOR MALAK CORPORATION SINGLE FAMILY RESIDENCE 1511 BRYAN AVENUE TAMPA, FL 33612</p>	
<p>READY TO BUILD DESIGN & DRAFTING SERVICES CARLOS CASTILLA P.E. No. 10871-11 (FLA.)</p>	<p>THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED BY RESIDENTIAL DESIGN AND DRAFTING SERVICE UNDER THE DIRECT SUPERVISION OF PETE ALFONSO JR. LIC. NO. 8735 AND I HEREBY CERTIFY TO COMPLY WITH THE FLORIDA BUILDING CODE 2017 RESIDENTIAL THIS DRAWING AND DESIGN IS VALID FOR 12 MONTHS AFTER THE DATE IS BORN AND SEALED. SIGNED AND SEALED FOR THE STRUCTURAL PORTION OF THIS DRAWING ONLY.</p>
<p>PETE ALFONSO JR. ARCHITECT LIC. NO. 8735 1315 W BUSCH BLVD. TAMPA FL 33612</p>	
<p>DATE: 05/17/18 JOB NO: 1802-685 FOUNDATION PLAN DETAIL 5 Sheet</p>	
<p>2</p>	



CITY OF WINTER PARK

401 Park Avenue South

Winter Park, Florida

32789-4386

TO: BOARD OF ADJUSTMENTS MEMBERS

FROM: GEORGE WIGGINS, DIRECTOR OF BLDG/LEGISLATIVE AFFAIRS

DATE: AUGUST 21, 2018

SUBJ: VANDER POL VARIANCE REQUEST, 2704 SUMMERFIELD ROAD

The applicant is requesting variances to allow the construction of a swimming pool located 6.5 feet, from the rear lot line and the pool deck and screen enclosure located 5 feet from the rear lot line, whereas the required setback is 10 feet to the pool and screen enclosure and 5 feet to the deck. The proposed dome screen enclosure will have heights of 8' to 10.5' at the 5 feet rear setback.

The owner has modified his original request from a swimming pool with a width of 14 feet to a pool with a width of slightly over 10 feet in order to maximize the rear setback to a distance of 5 feet. Initially the request came in with a rear setback of zero feet.

This request includes a dome shaped screen enclosure which would span across the rear of the property with a height of 8 feet on each end and a height of 10.5 feet at the mid point. The Zoning Code requires that screen enclosures have a height across the rear no higher than the rear setback with the closest allowable rear setback of 7.5 feet. For example, an enclosure can only utilize the 7.5 foot rear setback if the height of the screen is limited to 7.5 feet at the rear and then the enclosure can dome upward toward the home.

The home on this property is located toward the rear with a rear setback of 21.9 feet which limits the size and location of a swimming pool.

The applicant has provided letter of non-objection from the owner of the Winter Pines Golf Club which abuts the rear of the applicant's property.

Brian & Jennifer Vander Pol
Homeowners
2704 Summerfield Road
Winter Park, FL 32792
407 716 9603
Vandit329@gmail.com

8/8/2018

Jon McMillin
Proprietor / Property Owner
Winter Pines Golf Club
950 S. Ranger Blvd.
Winter Park, FL 32792
407 919 8617
<http://www.winterpinesgc.com/>

RE: Variance Application – Construction of Pool & Screen Enclosure at residence located at 2704 Summerfield Road, Winter Park FL 32792.

Dear Mr. McMillin (Proprietor):

The purpose of this letter is to request a waiver of a [potential or actual] conflict of interest in connection with Brian & Jennifer Vander Pol's (Homeowners) in the matter described below.

Homeowners formally request that the City of Winter Park grant variances from Section 58-71 "General Provisions for residential zoning districts (j) to allow construction of a swimming pool, deck and screen enclosure located five (5) linear feet from the rear lot line in lieu of the required setback of 10 feet. The dome screen enclosure will have heights of eight (8) feet, to ten and a half (10.5) feet located five (5) feet from the rear lot line.

Property described as Parcel ID # 09-22-30-3055-03-020 as recorded in the Public Records of Orange County, Florida. Located at 2704 Summerfield Rd. Zoned: R-1A

We seek your assent to such a waiver subject to the following consideration:

Proprietor agrees not to object to a decision by the City of Winter Park to grant a relief of variance as stated above. The public hearing of which will take place August 21st, 2018 at 5:00pm at the Commission Chambers, 401 Park Avenue South, Winter Park FL.

Received & agreed to:



Proprietor



Witness

2704 Summerfield Road



**CITY OF WINTER PARK
VARIANCE APPLICATION
BUILDING and PERMITTING SERVICES DEPARTMENT**

Building & Permitting Department
401 South Park Avenue
Winter Park, FL 32789
Ph: 407-599-3237

Date Received 7/30/2018
Assigned #5
Date of Hearing 100' x 110' AUG 21, 2018

Applicant: Brian & Jennifer Vander Pol

Owner: 11,000 Sq Feet

2704 Summerfield Road

(Address)

Winter Park FL 32792

(City, State)

(Zip)

407 716 9603

(Phone – Home)

407 234 9890

(Phone – Work or Cell)

vandit329@gmail.com

(Email Address)

(Address)

(City, State)

(Zip)

(Phone – Home)

(Phone – Work or Cell)

(Email Address)

If the applicant is not the owner, attach a copy of the purchase contract, or option on the property, or a letter signed by the owner of record authorizing the applicant to act as an agent for the owner.

*This request is for a variance from requirements of Article III, Zoning of the Land Development Code of Winter Park, Section _____, Paragraph _____, Zoning _____.

State briefly (Clearly Printed or Word Processed) answers to all questions.

Note: Submit E-Mail address to have application forwarded to you for word processing.

Street address of

property 2704 Summerfield Road Winter Park FL 32792

Legal description of

property Single Family Home

Describe variance

request Grant relief of setback requirements to accommodate installation of a standard-sized 14' x 34.5' Swimming Pool with

a standard domed screen enclosure.

This section may be left blank for completion by city staff

Residential Fee-\$200.00 /Commercial, Multi-Family Fee-\$400.00 payable upon submission of application.(The fee is doubled for after-the-fact requests.) Applicants tabled at the request of the applicant, within 10 days of the Planning and Zoning meeting or Board of Adjustment meeting will be charged for addition advertising and notification costs, plus \$100.00.

Variance Application

Page 2 of 2

What are the special conditions and circumstances, peculiar to the land, structures or buildings involved?

Originally built in 1968, our home has a narrow back yard characteristic of other properties on the same side of Summerfield Road. The dimensions of the back yard; @ roughly 21' x 66 do not easily accommodate a standard size swimming pool.

How long have you owned the property? Since 2009 (9 years)

How long have you occupied the property? 9 years

What rights or privileges commonly enjoyed by other properties in the same zoning district will the applicant be deprived of because of enforcement of the Zoning Ordinance?

A pool that is adequately scaled to the size of the home. In other words, if the pool is build to standard code, the result will be less usable, thus limiting the value of both the pool and ultimately the home/property.

Describe fully the hardship (from zoning requirements) upon which this request is based, be specific in describing the hardship and give all reasons explaining why you need to vary from the Zoning Code requirements. Note: Financial reasons are not considered a hardship.

If the pool is built to standard code, the result will be less visually pleasing, less usable, and our considerable investment will add less value to the property.

Will applicant accept a limited variance? For example: Height, lengths, position, etc. of signs, fences, shrubbery, enclosures of structures or carports, parking spaces, etc? If so, to what extent?

Always open to negotiating, as long as the result considers the above mentioned hardships

brian.vanderpol@ubc
.com

Digitally signed by
brian.vanderpol@ubc.com
DN: cn=brian.vanderpol@ubc.com
Date: 2018.07.22 19:08:35 -04'00'

Signature of Applicant

7/22/2018

Date

Brian A Vander Pol

Name of Applicant (PRINT)

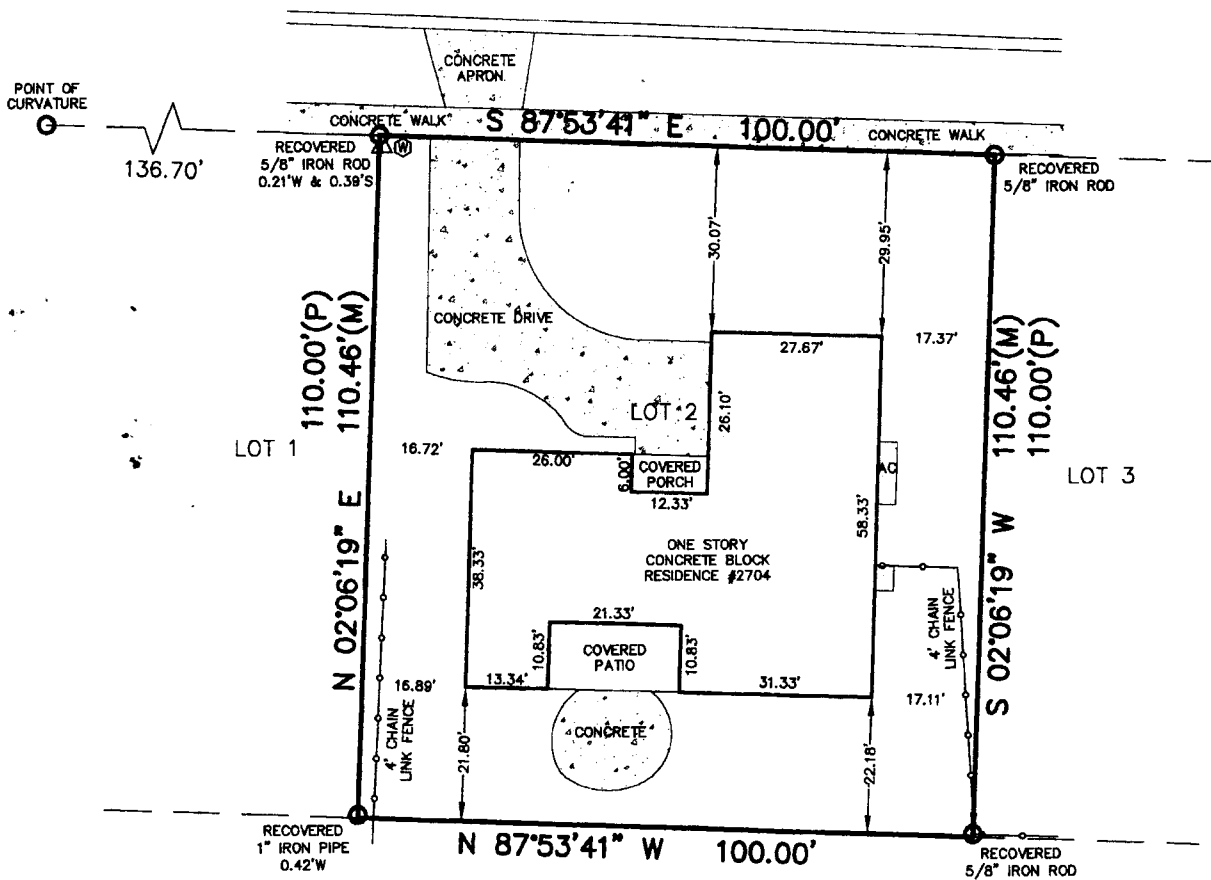
Variance app 12/00 - Instructions, and setback sheet - attached.

BOUNDARY SURVEY

DESCRIPTION: LOT 2, BLOCK C, GOLFSIDE SECTION ONE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 91, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.



SUMMERFIELD ROAD



NOT PLATTED
PARCEL: 09-22-30-3054-00-010

NOTES:

- BEARINGS BASED ON THE SOUTH RIGHT OF WAY LINE OF SUMMERFIELD ROAD AS BEING S87°53'41"E.
- NO UNDERGROUND UTILITIES WERE LOCATED.
- (M) MEASURED
- (P) PLATTED

LEGEND

- △ TELEPHONE RISER
- ⊙ WATER METER

[Signature]
JAMES R. SHANNON JR., P.L.S. #4671

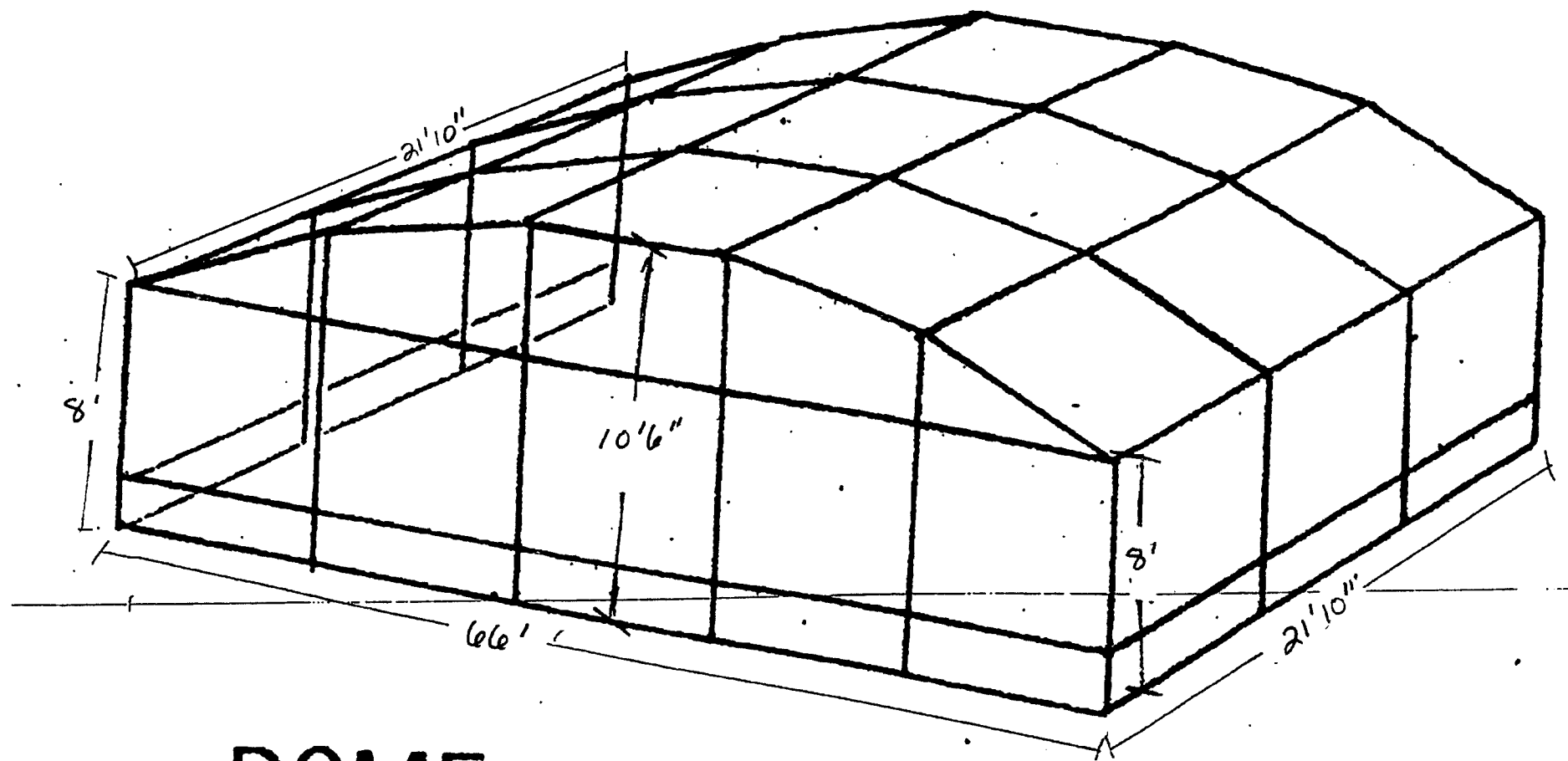
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

SHANNON SURVEYING, INC.
499 NORTH S.R. 434 - SUITE 2155
ALTAMONTE SPRINGS, FLORIDA, 32714
(407) 774-8372 LB # 6898

DATE OF SURVEY: 11-17-2016

FIELD BY: BM-ML SCALE: 1" = 30'

FILE NUMBER: PB1-PG91-BLKC-LOT2



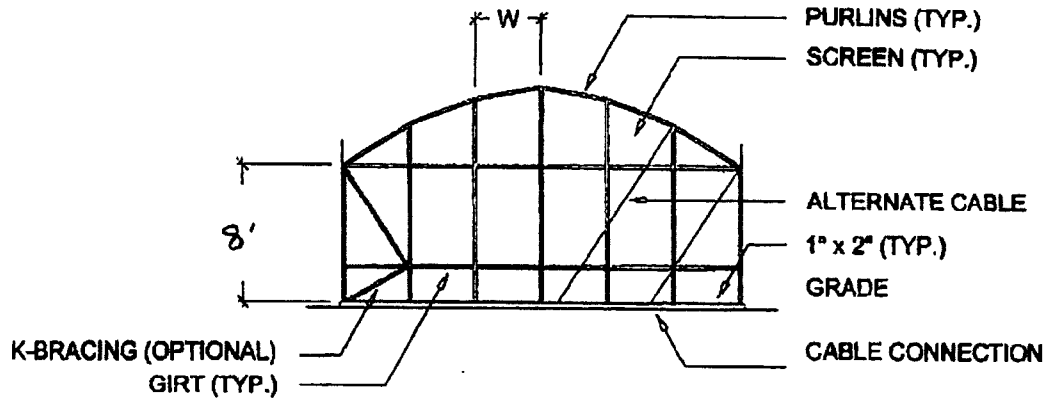
DOME

Home GS F 3068
43% 4750 sf

1445 s.f.
Lot area 11,046 X 89% = 883

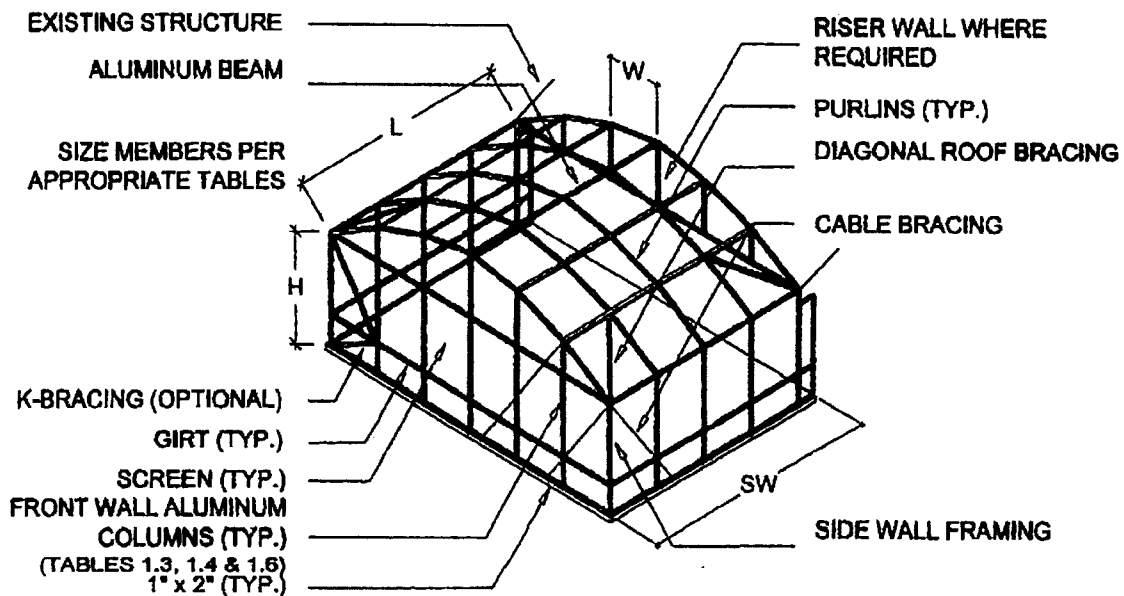
SCREENED ENCLOSURES

SECTION 1



TYPICAL DOME ROOF - FRONT WALL ELEVATION

SCALE: N.T.S.



TYPICAL DOME ROOF - ISOMETRIC

SCALE: N.T.S.

CONNECTION DETAILS AND NOTES ARE FOUND IN THE SUBSEQUENT PAGES.

Lawrence E. Bennett, P.E. FL # 16644

CIVIL & STRUCTURAL ENGINEERING

P.O. Box 214368, South Daytona, FL 32121

Telephone #: (386) 767-4774 Fax #: (386) 767-6556

Email: lebbe@bellsouth.net



CITY OF WINTER PARK - COVERAGE WORKSHEET

SWIMMING POOLS, SPAS AND DECKS

Sec. 58-71(j). General Provisions for Residential Zoning Districts

Address: 2704 Summitview Road

Lot area¹: 11,000

	Maximum % Allowed ³	Existing Area	Additional Proposed Area	New Total Area	Maximum Allowed Area
IMPERVIOUS LOT COVERAGE Include bldg footprint, driveways, sidewalks, patios, swimming pools, A/C pads, etc. (show area tabulations)	2 story home 50%				
	1 story home 60%	3083.18	1392.6	4475.78	6,600

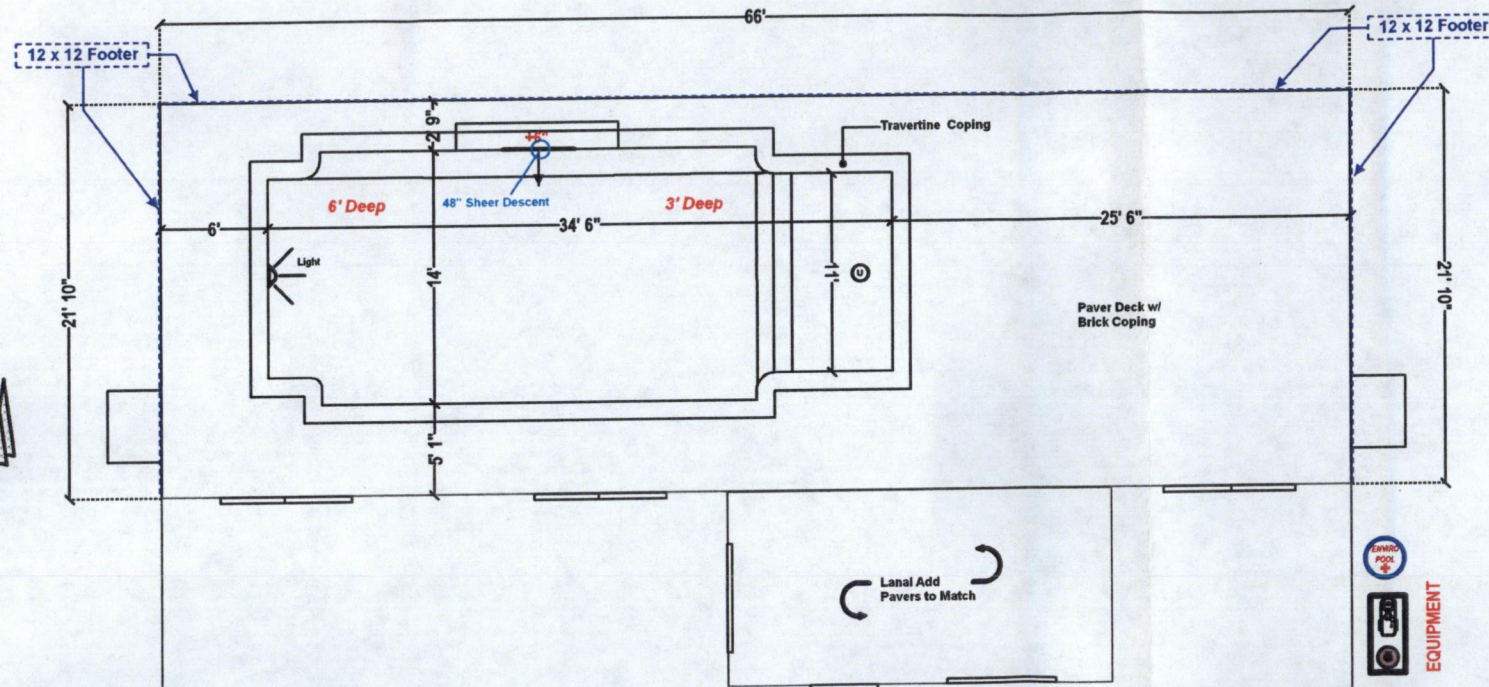
	MINIMUM ALLOWABLE SETBACK			PROPOSED
SWIMMING POOL/SPA²	Interior Side	Lot width ≤ 60 ft	7.5 ft.	
		Lot width > 60 ft	10 ft	5' 1"
	Rear	All lots	10 ft	2' 9"
	Street Side ³	Lot width ≤ 65 ft	15 ft	
		Lot width > 65 ft to 75 ft	20 ft	
		Lot width > 75 ft	25 ft	
	Lakefront ^{3,4,5}	same as the main building		
DECK	Interior Side	50% of the swimming pool/spa setback		5' 1"
	Rear			0'
	Street Side ³			
	Lakefront ^{3,4,5}	50 ft from ordinary high water elev.		

Note:

1. Submerged lands or land across streets shall not be included.
2. Setback measured from the property line to the water's edge.
3. See LCD Section 58-71(n) for walls and fences regulations.
4. Call Planning Department @ 407-599-3290 for retaining wall height regulations.
5. Streamfront or canalfront may be 20 ft from the bulkhead if approved by the Planning and Zoning Commission.

Sign Off

There is no concrete/tree/shrub/fence removal in this job. No sprinkler cut/cap.



Sales Designer

X: Robert Bihlmayer

Customer Approval

I have reviewed and I give my approval to proceed with the construction of this

X: _____

Customer Signature of Approval

Date

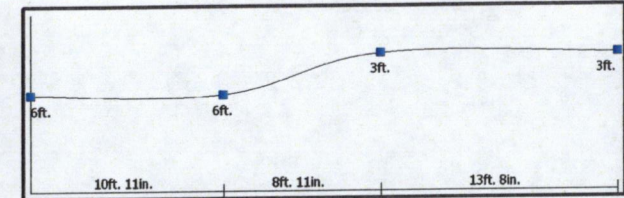
Customer Information

Name: Brian & Jennifer Vander Pol

Address: 2704 Summerfield

City: Winter Park Zip: 32792

Finish Pool Depth Profile



Customer Int. _____

Color Selections

Interior Color: Nassau Reserve

Tile Selection: MAS FJ1297

Tile Grout Color: 93 Warm Grey

Colored Grout Will fade & is Note Covered under warranty

Step Tile: MAS FJ1297

Step Tile Pattern: Straight Pattern

Deck Type / Pattern: Travertine 3 Piece Random

Deck Color: White / Pewter

Coping Type: Travertine

Coping Color: Silver / Travertine

Coping Grout Color: 93 Warm Grey

Colorband Color: N/A

Screen Type: Dome

Screen Height: 8' Screen Color: Bronze

Fence Type: N/A

Fence Color: N/A

Notes: _____

Floor Head Colors:

White: _____ Dark Grey: X Light Grey: _____ Light Blue: _____ Black: _____ Tan: _____

Deck Drain Color:

White: _____ Tan: _____ Grey: X

Sheer Descent Color:

Colors are for Sheer Descents Only Not used for Arc Waterfalls. Clear will be used to Substitute any color not available.

White: _____ Grey: _____ Tan: _____ Clear: X

Water Bowl Type: _____ Water Bowl Color: _____

Stone / Cultured Stone: _____

Granite Spillway Color: _____

Deco Tiles: _____

Notes: _____

Umbrella Color:

Burgandy: _____ Dark Chocolate: _____ Navy Blue: X

Taupe: _____ Royal Blue: _____ Green: _____ Hula: _____

Handrail Colors:

White: _____ Black: _____

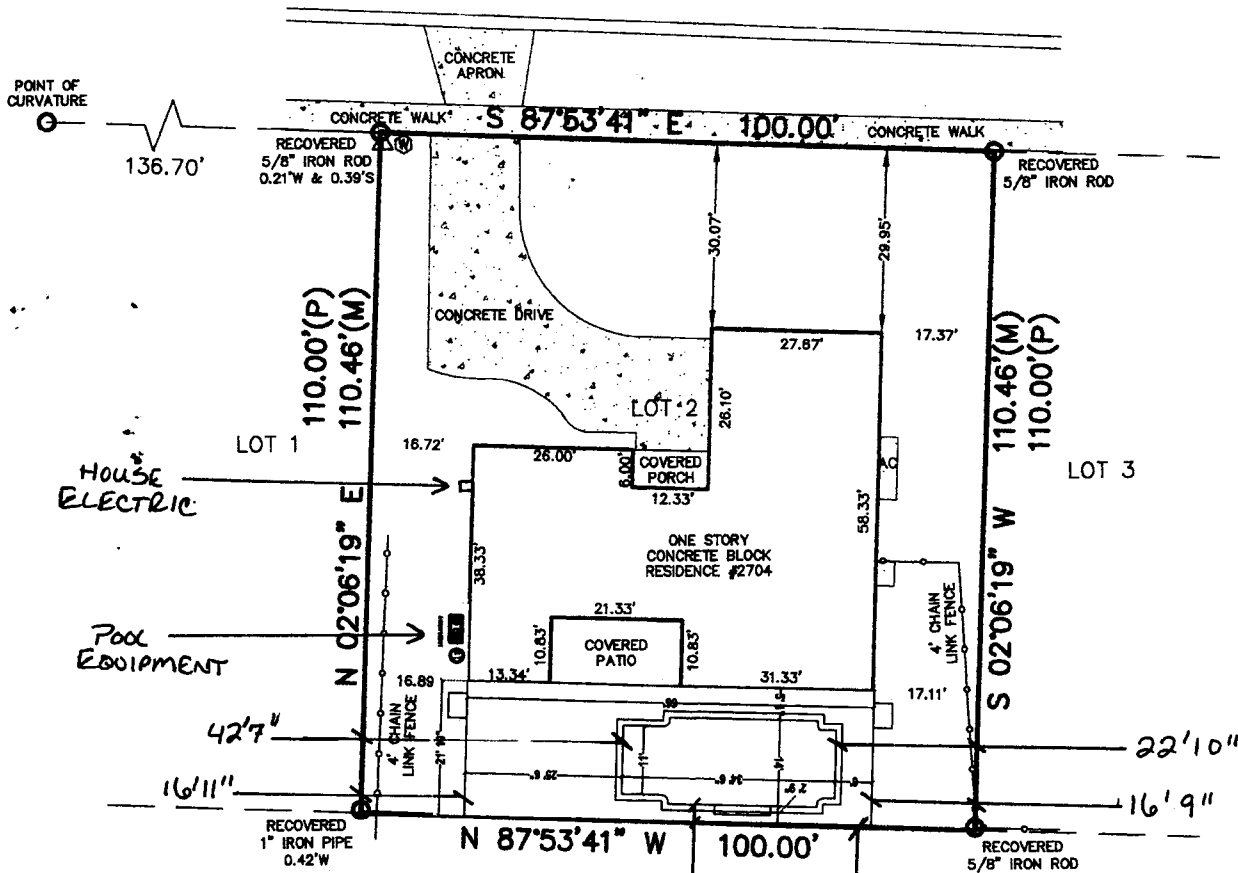
Taupe: _____ Beige: _____ Gray: _____

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artistic conception

 **Pool Studio**



Robert Bihlmayer



artistic conception

 Pool Studio



Robert Bihlmayer



artistic conception

 **Pool Studio**



Robert Bihlmayer



artistic conception

 Pool Studio



Robert Bihlmayer

