

PART I  
CITY OF WINTER PARK  
HISTORICAL AND ARCHITECTURAL SURVEY

PART II  
CITY OF WINTER PARK  
HISTORIC PRESERVATION PLAN

FLORIDA  
PRESERVATION  
SERVICES

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# WINTER PARK HISTORICAL AND ARCHITECTURAL SURVEY REPORT

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## INTRODUCTION

Interest in historic preservation in Winter Park dates to the middle 1970s when efforts were begun to mount a local effort to record significant historic resources in the community. In September, a group of volunteers from the Junior League of Orlando-Winter Park started a survey of selected resources. The project was carried on under the direction of staff from the Division of Historical Resources. The volunteers were trained by the Division staff to research the buildings and a large number of historic buildings were ultimately recorded and filed with the Division. The results of the survey appeared in a 1980 driving tour published by the League.

The city made its own statement of preservation interest in 1984 when, in December, the Winter Park City Commission created the Winter Park Historic Preservation Commission. This advisory board was charged with the task of developing recommendations concerning historic preservation and to complete an inventory of historic resources in Winter Park. The City Planning Department with help from the board applied for a grant from the Division of Historical Resources to conduct a survey and complete recommendations for inclusion in a historic preservation plan.

In April 1986, Florida Preservation Services was retained by the City of Winter Park to complete a survey of the City of Winter Park to identify buildings, sites, and districts of historic significance to the city. The firm's responsibilities included the preparation of a developmental history of the city, compilation of a bibliography on Winter Park history, architectural field work, research of potential sites, preparation of Florida Master Site File Forms for submission to the Division of Historical Resources and prepare a final report on the project including recommendations for a preservation plan.

The City of Winter Park was created in 1886 and is located in Orange County, Florida. It is surrounded by intensive development pressure from rapid development in one of Florida's fastest growing areas. To the south is the City of Orlando and to the north the City of Maitland. The community is bisected by a series of large and beautiful lakes (Lakes Maitland, Osceola, Virginia, Mizell, Berry, Sylvan and Knowles plus several smaller ones). In the western portion of the city is a major north south highway, U.S. 17-92 known as Orlando Avenue. Along this corridor are major shopping and hotel facilities including the Winter Park Mall, the first such facility built in the Orlando/Winter Park area. A major east/west artery is Fairbanks/Osceola/Aloma Avenues which connects to major flanking highways, Interstate Four on the West and Highway 436 on the east. The community is

also divided by a main line of the Seaboard Coastline Railroad which loops through the central portion of the town stopping at an Amtrack Passenger Station located in the center of town. This right-of-way dates to the original railroad line which opened to Winter Park in 1880. There is one major historic commercial corridor along East Park Avenue. The community is home to Rollins College which dates to the community's founding and which has a major presence at the south end of East Park Avenue. With the exception of the area along West Aloma past Lakemont and Orlando Avenue, there is very little significant intensive commercial development in the community which is primarily single family residential in nature.

This survey was funded by a grant from the Division of Historical Resources, matching funds from the City of Winter Park. The City of Winter Park Planning Department was the project sponsor. The historic preservation commission provided advice, reviewed the consultant's work, assisted in verifying research, and helped develop the recommendations for the historic preservation plan. The Winter Park Historic Preservation Commission took the position that the historic resources of the city should be identified at this time so that adequate policies for their protection could be developed. In addition, the Commission hoped that the project would increase the community's awareness of its history and provide the impetus for the future protection of Winter Park's historic resources.

I wish to take this opportunity to thank the members of the commission for their help in this project. Joan Haas and Kieth Ray were extremely helpful in identifying planning needs in the community. Bonnie Trismen worked diligently to unearth facts and information on houses which we had dead ends on in research. The suggestions made by many people including; Jane Fletcher, Rachel Murrah, and Eleanor Fisher; during the course of the project were incorporated in the report where feasible and helped to make the product better and my deepest thanks goes to them. Special thanks again to Dorothy Smith Sheppard, who spent much time reading and helping verify the data in this report and meeting with me to review the material. I received special help from the staff of the Rollins Archives who searched for material and endured my questions even while being moved from place to place. I wish to also thank Wendy Roebuck of the Winter Park Public Library for the use of the facilities during my trips to the community. Finally, I wish to thank Jeff Briggs for his help and input for the planning phase of the project.

## SURVEY PROCEDURE

This survey was primarily a professional survey supported by additional research and advice from the Historic Preservation Commission and a few dedicated and interested local history experts including Ms. Dorothy Shepherd Smith and Ms. Rachel Murrah. The consultant responsibilities included field survey, historic research, preparation of Florida Master Site File Forms, and preparation of a final report.

During the summer of 1986 the field work and the recording of individual buildings through photography and architectural descriptions was conducted by the consultant. The consultant and his staff recorded architectural information and locational data in the field. This information was later verified after receiving photographic prints and entered into a computerized database.

The consultant and the local volunteers reviewed secondary and some primary sources of information to determine the early development of the city. This research led to information on possible locations of early historical activity. The documentary review involved those documents included in the bibliography including old maps, probate records, county records, secondary works, abstracts, and newspapers. A considerable amount of material located in the Rollins College archives, including newspaper clippings, photographs, scrapbooks, and contemporary brochures proved highly valuable to the project.

After a portion of the field work was completed, the research phase began. This involved the collection of legal data and historical data on each site. The minimum goal on each site was date of construction and identification of earliest occupant. This involved a review of the tax rolls, Sanborn Maps, and old city directories. A form was used to develop this research information on the sites. Each site was researched until a reasonable idea of a date of construction could be determined from the available data or until exhaustive research yielded little or no information, which was the case in several instances.

Once the basic research was completed, selected buildings were given further research. This involved members of the commission and other volunteers contacting family members and locating biographies and other material about the owners and residents of a particular structure. Architect and builder data was also sought, from old newspapers and magazines. The consultant made monthly trips to Winter Park. These trips involved a meeting with the commission and planning staff, historical research at the local library, interviews with local

individuals, and problem solving on sites which were difficult to research.

After the research was completed, the historical data was added to the data base at the consultant's office to complete the forms. A statement of significance about the architecture and history of the building was drafted and entered on the form. When all were completed, they were merged into a blank Florida Master Site File form and printed automatically.



## SURVEY CRITERIA

Surveys in Florida which are undertaken under the auspices of the Florida Division of Historical Resources make use of the criteria for listing in the National Register of Historic Places. These criteria are the national standard for evaluation and form an important legal basis for historic survey projects. The criteria include the following:

The quality of significance in American history, architecture, archaeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling and association and:

- A. that are associated with events that have made significant contributions to the broad patterns of our history; or
- B. that are associated with the lives of persons significant in our past; or
- C. that embody the distinctive characteristics of a type, period, or method of construction, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. that have yielded, or may be likely to yield, information important to prehistory or history.

Ordinarily cemeteries, birthplaces, or graves of historical figures, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, reconstructed historic buildings, properties primarily commemorative in nature, and properties that have achieved significance within the past 50 years shall not be considered eligible for the National Register. However, such properties will qualify if they are integral parts of districts that do meet the criteria or if they fall within the following categories:

- A. a religious property deriving primary significance from architectural or artistic distinction or historical importance; or
- B. a building or structure removed from its original location but which is significant for architectural value, or which is the surviving structure most importantly associated with a historic person or event; or

- C. a birthplace or grave of a historical figure of outstanding importance if there is no other appropriate site or building directly associated with a historic person or event; or
- D. a cemetery that derives its primary significance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events; or
- E. a reconstructed building when accurately executed in a suitable environment and presented in a dignified manner as part of a restoration master plan, and when no other building or structure the same association has survived; or
- F. a property primarily commemorative in intent if design, age, tradition, or symbolic value has invested it with its own historical significance; or
- G. a property achieving significance within the past 50 years, if it is of exceptional importance.

It should be clearly understood that the criteria for listing in the National Register are subject to very broad interpretation. It is not the criteria itself but their application to the wide and varied types of resources throughout the country that is important. The criteria are guidelines which are subject to ever changing and broadening understanding of our historic and cultural heritage. They were purposefully designed to allow the development of specific guidelines on a local basis so that one area is not compared to say another, much older area. The criteria for listing in the National Register of Historic Places forms the basis of the criteria for this survey. However to use the National Register criteria as the only criteria for the survey and future designation action could present problems. The use of the criteria could in fact only limit designation to properties eligible for listing in the National Register of Historic Places. This is not appropriate in some cases since local significance is interpreted in a varying manner by the State Review Board and by the National Register Staff. Many structures which are of local significance may in fact not meet the criteria but are nonetheless important to the community.

The Florida Master Site File is the State of Florida's list of archaeological, architectural, and historical resources. This list has never had any codified criteria or a formal process for the inclusion of a particular resource. Listing is usually gained by the submission of the complete Florida Master Site File form. The FMSF should not be regarded as a State Historical Register since many of the structures and sites in the database are in fact not of major significance. The information is used to establish contexts for the evaluation of properties proposed for nomination to the National Register of Historic Places and for review of projects requiring the consideration of historic properties.

It is important that a survey such as this one develop specific historic and architectural contexts. Each building should be evaluated in relation to other properties in a similar aspects of history, archaeology, architecture and culture. These aspects are known as contexts which describe the significant broad patterns of development in an survey area and these contexts should provide the basis for evaluation of each structure.

This survey started from an arbitrary age cutoff for survey purposes. In this case it was 1930. This date was found to be highly inappropriate for the survey and future designation of historic landmarks. Many very important structures built after that date are known to exist in Winter Park and are eligible as landmarks. These included works by notable architects such as James Gamble Rogers, II and Ralph Adams Cram. There are several noteworthy examples of the Art Deco and International Styles in Winter Park. More importantly, the campus of Rollins College underwent a significant change in form and style between 1930 and 1949. This development was very significant and deserves recognition as a historical resource.

The following contexts were used in the evaluation of the historical and/or architectural significance of the buildings which were surveyed in this project. Structures which are associated with the categories of significance and have integrity of form and location should be considered as potentially eligible for designation under a local ordinance, for inclusion in the local recognition program, and possibly National Register listing.

#### SETTLEMENT

Structures dating to the period between 1870 and 1895 are considered significant since they represent the initial period of the discovery and settlement of Winter Park.

#### LARGE ESTATES

Winter Park's lakeshores are lined with large homes on multi-acre parcels. Many are the site of early orange groves and winter residents. The resources contain many fine examples of architecture as well as large open spaces and landscaping features not seen in the smaller homes.

#### ORANGE GROVES

Historic groves and structures associated with them, such as the Mizell Grove and the Hakes Grove House remaining trees of the Temple Grove, are important early agricultural remnants and contribute to the understanding of the development of that industry. These also function as important green spaces.

## VERNACULAR HOUSING

Many houses and farms were small and inconspicuous when compared to the fine mansions and dramatic examples of high style architecture. An understanding of the life of the everyday family in the urban and rural context is also important. Without the preservation of these resources it will be impossible to impart a true picture of our past to future generations. There are a number of early twentieth century vernacular houses located in the West Side which fall into this category. In addition, there are a few grove houses and even typical bungalows and small homes which also merit such recognition.

## WEST SIDE

Many surveys leave out resources which reflect the development of the black community. Most of the early resources are gone, but several churches and clubs remain as representatives of the social activities of the black community. These, which date after 1930 but are connected to congregations which date to the early settlement period, are extremely important to the community.

## AWARD WINNERS

Many Winter Park houses were given local or national recognition for good design or innovation. These houses were featured as examples of the prevailing taste of the period and in many ways helped to focus and direct house design and decoration. As such the surviving houses are significant representatives of that period.

## LANDMARK NEIGHBORHOODS

Several of the early subdivisions were successfully built out during the historic period and today form significant concentrations of historic properties. These areas possess a special character and quality of life which warrant recognition and protection.

## CHURCHES AND PUBLIC BUILDINGS

Most of the public buildings and early churches are gone. In the case of the churches there are several which have significant architectural merit and contribute to the architectural significance of the community. There are few public buildings which survive in Winter Park. Those which do should be considered of local significance.

## MODERNE/INTERNATIONAL STYLE/CONTEMPORARY

Winter Park has several excellent examples of Moderne style buildings that exhibit the characteristics of architectural theory in the 1930s and 1940s. These along with outstanding examples of contemporary architecture deserve a place among other structures recognized for architectural excellence.

## BUNGALOWS AND COLONIAL REVIVAL COTTAGES

These small houses were generally mass consumption housing and there are a large number of examples in Winter Park. They represent the cultural taste and lifestyle of the everyday man during the 1910s and 1920s. Several buildings are excellent examples of the styles and should be recognized accordingly. Representative examples should be regarded as important resources.

## BOOM PERIOD

The period between 1922 and 1926 witnessed explosive growth in not only Winter Park, but all of Florida. Structures associated with this period represent this facet of Florida and local history.

## PUBLIC WORKS

There exists in Winter Park historical public works projects and park systems which have contributed to the development of the community. These include parks, golf courses, water works buildings, white ways, bridges, brick streets, and canals.

## LANDSCAPES

Landscapes are difficult to define but there are historical landscapes which should be recognized in Winter Park. These include street canopies, gardens, lakefront areas, sections of the city which have not been developed since the city's founding, and vistas. These should also be considered significant landmarks to the community.

The purpose of this report is to set forth our opinion about the important and significant themes and aspects of Winter Park's history. This material provides the general contexts of the resources which have been identified in the community. It is, therefore, necessary to establish more specific contexts to be used in the evaluation of sites in Winter Park. These contexts are a beginning and not all inclusive. In the future, new contexts may be established or the current ones may be changed as additional information comes available to the community. The nature of the resources change and as time marches on more resources become important and therefore the list of significant resources will grow and also dwindle as resources in the inventory are altered or demolished, thus losing their reason for being evaluated as significant.

## HISTORY OF WINTER PARK, FLORIDA

Orange county was wilderness in 1858 when David Mizell of Alachua County purchased a tract of land between Lakes Virginia, Mizell and Berry. He moved his family there, thus becoming the first settlers in the vicinity of present day Winter Park. The Mizells were engaged in farming, cattle raising and lumbering.<sup>1</sup>

Three years after these first settlers came to the area, the Civil War erupted and delayed further settlement activity in the Winter Park area. In the decades following the war, Florida experienced tremendous expansion and population growth as railroads and riverboats opened the state to new settlers. Winter Park is a product of this era of railroad expansion in Florida history. It was particularly attractive to northern settlers who sought winter homes, new opportunities and profit.

Before the railroad came in 1880, access to Winter Park from the north was difficult. Many new settlers entered Florida at Jacksonville on steamers and railroads. They transferred to river steamers which took them to Palatka where they boarded to other steamers for a trip to Sanford. At Sanford the new settlers obtained mules and wagons for a rough overland trek to the central Florida area including the section around today's Winter Park.

Early growth in the Winter Park area in the 1860s and 70s was centered east of Lake Osceola, north of the Mizell property. The greatest activity was on property which was owned by H. A. Smith. Smith came to the area from Volusia County in 1867 and purchased property near Aloma and Sullivan Avenues.<sup>2</sup> Colonel E. B. Livingston also settled north of Mizell, in what is today Sullivan Park, at some point before 1870. In that year, his home which also contained a small store was designated the post office and the little community of settlers was named Osceola.<sup>3</sup> In 1874, Smith sold 400 acres<sup>4</sup> to Wilson Phelps who established a home and farm on the property.

Phelps was involved in real estate throughout Orange County. His own holdings were soon for sale to new settlers. He established the Lakeview Subdivision of Osceola at some point between 1874 and 1876. The survey was known as Gwynn's Survey of Lakeview. The plat consisted of acreage tracts of between twenty and thirty acres and indicated several<sup>5</sup> young groves, corn fields and potato fields under cultivation.

Property near Osceola sold rapidly between 1876 and 1882.

J. B. Geer, William C. Comstock (both from Illinois) and the Reverend H. B. Whipple (from Minnesota) were among the early purchasers of land in the vicinity of Osceola where they established winter homes and groves.<sup>6</sup> Most of the settlers were northerners who would set the trend for years to come in Winter Park settlement.

The first settler west of Lake Osceola was J. G. Stovin. He established his home on the south side of Lake Maitland, east of Park Avenue and north of Palmer Avenue in 1875, where he built a house and planted an orange grove.<sup>7</sup> About the same time John Bigelow purchased a large tract south of Lake Maitland and developed a grove and extensive gardens.<sup>8</sup> B. R. Swoope obtained a patent for a T-shape quarter section of land in the vicinity of present day Winter Park Junior High School.<sup>9</sup>

The first industrial development in Orange County involved the establishment of sawmills. These facilities were important for settlers who needed lumber for their new houses. By 1870, three sawmills were operating in the county including the Holden and Mizell Mill which was established about 1866, near Lake Howell.<sup>10</sup> Captain John K. Coiner built a sawmill on the present site of Rollins College in the late 1870s.<sup>11</sup>

In 1879, the South Florida Railroad was formed to complete a line from Sanford to Tampa. The location of the railroad line spelled success or disaster for most towns and profit for adjacent land owners. A route was surveyed south from Sanford to Orlando and then southwest to Tampa. The right-of-way made a curious jog into the heart of present day Winter Park where there was no town at the time. This detour was about one mile from the main line. It is likely that the decision was influenced at least in part by B. R. Swoope superintendent for the railroad who also owned land through which the railroad right-of-way was constructed.<sup>12</sup> Railroad service to the Orlando area including what would become Winter Park began in 1880. This provided settlers with direct access to the area and farmers with a convenient transportation route for shipment of vegetables and fruit to northern markets.

In 1881, Loring Chase, a Chicago real estate man, came to Florida seeking land to purchase and was introduced to the Winter Park area by Robert Summerlin and John G. Sinclair. Sinclair was a real estate agent and local promoter in Orlando and obviously was a skillful salesman. Later in 1881, Chase visited his old friend O. E. Chapman at Sorrento and convinced him of the possibilities for the development of land which was located west of Lake Osceola and bisected by the new railroad. The two friends arranged to purchase 600 acres from several owners in July 1881.<sup>13</sup> At this time Winter Park was mainly pine land with a small wooden railroad platform and only "two or three windowless cabins" and "no sign of civilization."<sup>14</sup>



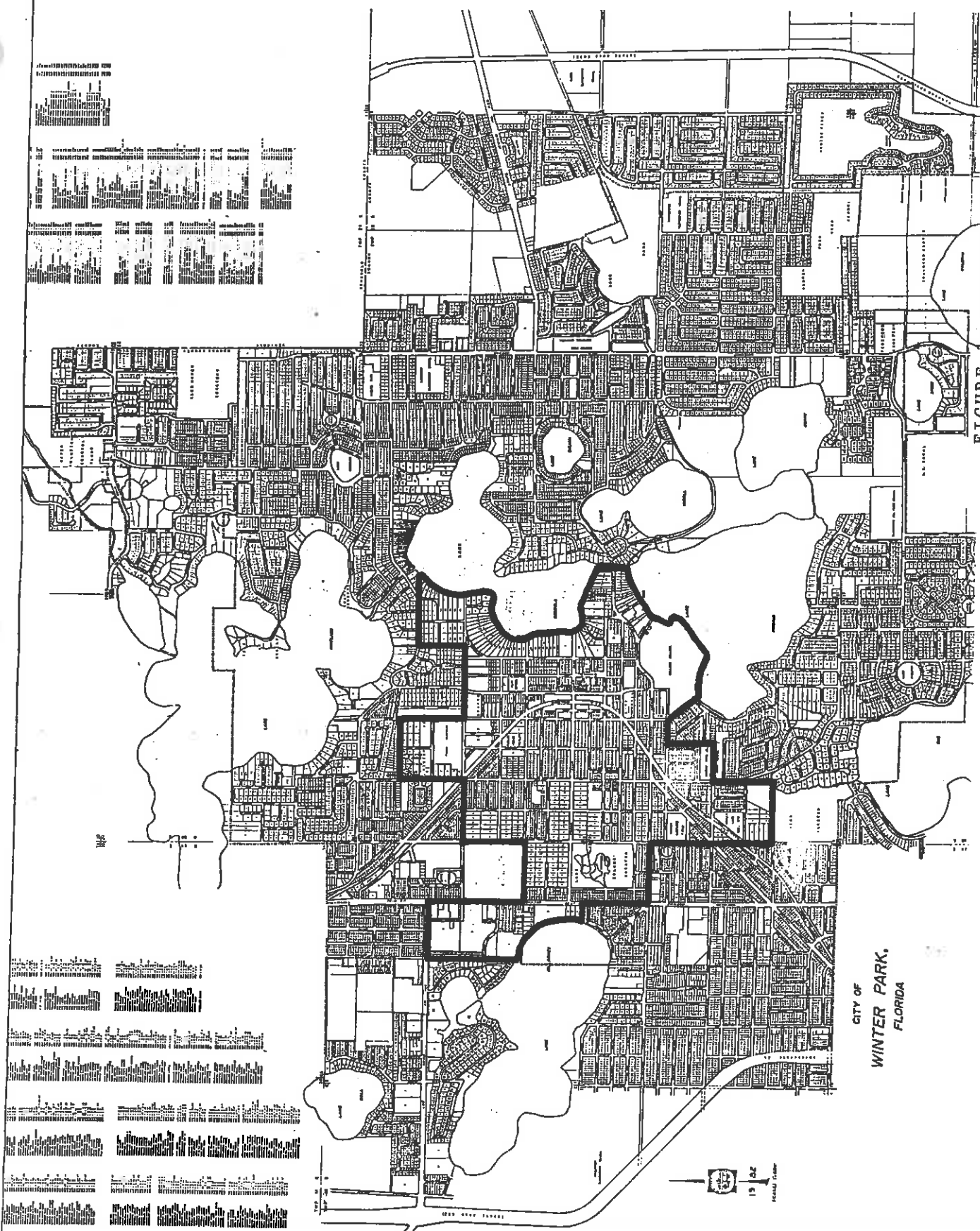


FIGURE 1. ORIGINAL CHAPMAN & CHASE  
 PLAT OF WINTER PARK  
 1884

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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During the next three months Chapman and Chase had the property surveyed and named it Winter Park. Their plat consisted of a grid street pattern and several curved streets which followed the shape of the lakes. Deep and narrow lots were laid along the shores of Lake Osceola and Lake Virginia. A ten acre park was included in the plan as well as several free sites for hotels and public buildings. The plat<sup>15</sup> also included land west of the railroad line for black settlers.

The Chapman and Chase Partnership proceeded to actively market lots. The first building erected in the new town was the depot. It was completed in March 1882 and a picnic was held to celebrate its opening.<sup>16</sup> The following month, Alfred Rogers completed the Rogers House at the southeast corner of Morse Boulevard and Interlachen Avenue. This was Winter Park's first hotel and soon became the post office for the town.<sup>17</sup> New stores and houses were built as more and more people purchased property in the town. Chapman and Chase built the first store in the new town in that year at the corner of Morse Boulevard and Park Avenue. This building contained a store operated by John Ergood and Robert White, Jr. with the Town Hall upstairs. The following year the second floor became Winter Park's first school.<sup>18</sup>

Changes were made all over Winter Park. A canal was opened between Lake Osceola and Lake Virginia to move logs to the Coiner Sawmill which was bought by G. W. Moyer.<sup>19</sup> A road between Orlando and Winter Park was opened along what is now Pennsylvania Avenue, Lake Sue Avenue and the Old Winter Park Road. Interlachen Avenue was cleared and opened in 1882 along with the street which ran from Winter Park to Osceola along today's Osceola, Brewer and Aloma Avenues.<sup>20</sup> The same year, Chapman and Chase set out over 1000 orange trees along Morse Boulevard.<sup>21</sup>

By 1885, Winter Park became a significant winter resort for northerners. Sixty three houses had been built in addition to several commercial and industrial buildings. These new buildings included an ice house, a new sawmill,<sup>22</sup> several stores, a livery and blacksmith shop and a grocery.

In 1885, the Chapman and Chase holdings were reorganized. Chapman sold his interest in the Winter Park project to Chase. Chase then organized the Winter Park Company to complete the development of the town. It was backed by a number of influential northern investors including F. B. Knowles of Worcester, Massachusetts, owner of the Knowles Mills, one of the largest textile mills in the world. Knowles became a major financial backer for the development of the town. Colonel Franklin Fairbanks, a partner of Fairbanks, Morse and Company, also was a financial backer and member of the board. In addition to these two New Englanders, were a number of men from Chicago who backed the development. One was William Comstock, who had

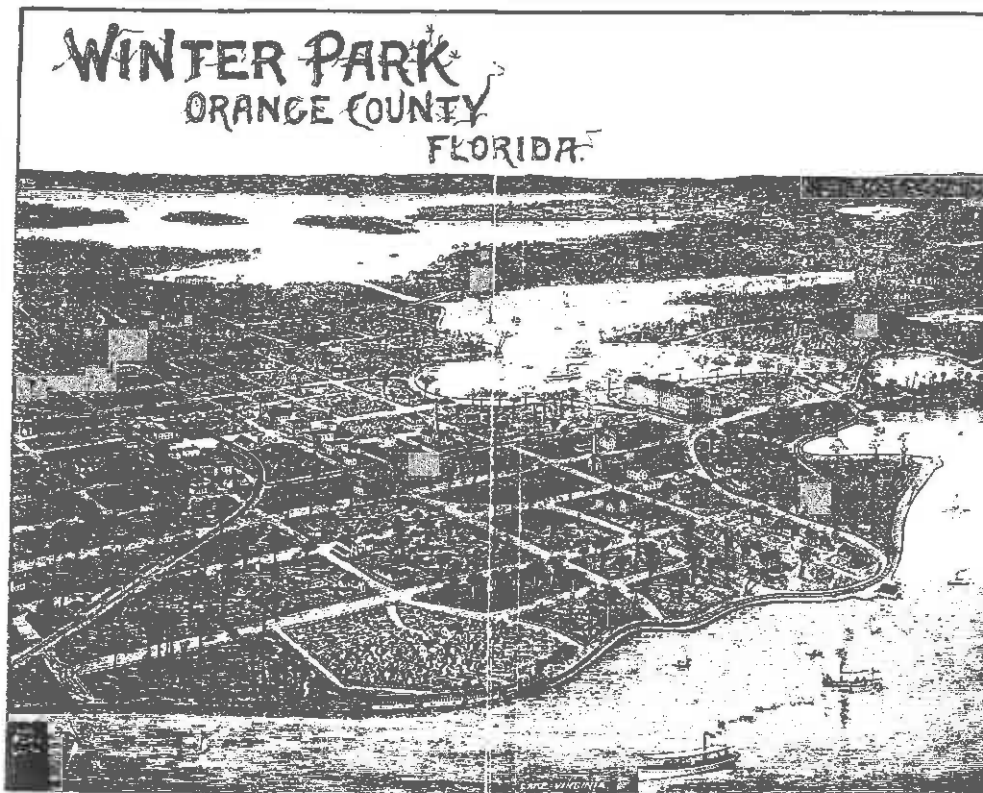


FIGURE 2. WINTER PARK - 1884

established his home in Osceola. Comstock was an investor from Chicago and member of the Chicago Board of Trade. Colonel Peleg Peckham from St. Louis also became involved in the company. <sup>23</sup>

Under the new company the promotion and sale of lots was more active and aggressive. Good public relations contributed to the success which was coming to the development in the form of sales and new buildings. The Company sought every opportunity to see development move ahead.

Knowles financed the construction of a grand resort hotel, the Hotel Seminole. It became a major draw for winter tourists and a glamorous way to house prospects considering the purchase of lots in Winter Park. Construction of the hotel began in March and it opened on New Years Day, 1886. It was located on the south side of Lake Osceola and was a massive five story, Second Empire building with a large verandah. It could accommodate 400 guests and had all of the facilities a first class hotel of the period needed to serve guests including steam heat, a barber shop, steam laundry, billiard hall and a large dining room. A Queen Anne boat house was built at the foot of the property to service the two steam yachts and several row boats which were available to the guests. The company brought W. E. Forbes, former manager of the famous St. James Hotel in Jacksonville, to manage the Seminole. <sup>24</sup> The hotel was connected to the rail line by a street railway.

The New England background of many of the settlers fostered social activities and programs which were considered vital to a good community. These amenities included the Winter Park Social Club and the Literary Club, the predecessor to the Winter Park Library. Schools were established as well as churches.

A very important event in the development of Winter Park was the founding of Rollins College. In 1885, the Florida Congregational Association decided to establish a college in Florida. Lucy Cross of Daytona Beach was the force to get the project started. She was helped by a speech made by the Reverend Edward Hooker of Winter Park who emphasized to the association that the Congregational Church had a historical mission to establish educational institutions. The Association called for Florida communities to submit proposals to establish a school in their town. Mt. Dora, Orange City, Jacksonville and Daytona all submitted proposals. Winter Park came in with a proposal to provide over \$100,000 toward the project.

Following a visit to Winter Park and Orange City, the selection committee agreed on Winter Park. The college was incorporated in April 1885 and construction of buildings proceeded almost immediately. The school recruited students and faculty for the first fall session in November 1885. It opened with no complete buildings so the students were forced to stay at several homes in town including the Larrabe House at Morse Boulevard and New York Avenue and the Ward House at Osceola Court

and Osceola Avenue.<sup>25</sup>

The construction of the institution was financed by Winter Park's leading backer, Francis B. Knowles. He provided funds for three buildings: Knowles Hall, Lakeside Cottage and Pinehurst (the only surviving original building). These buildings were placed on the site of the Coiner Sawmill at the south end of Interlachen Avenue on Lake Virginia.<sup>26</sup> The buildings were set on either side of Interlachen which actually became a central green and circulation space for the students. The buildings were designed by the architectural firm of McGuire and McDonald of St. Augustine and were excellent examples of the Queen Anne and Shingle Style influences.<sup>27</sup>

The first years were a struggle to build up the number of students at the college. The original concept included a preparatory school as well as a college. The first preparatory class consisted of eight students. There were also two freshmen, three in the normal school and thirty in the training school.<sup>28</sup>

When Chapman and Chase established the town of Winter Park, they also provided for a segregated community for blacks who worked in the town. Hannibal Square was laid out about one quarter mile west of the railroad line at New England and Pennsylvania Avenue. This square along with a number of surrounding lots were made available for sale only to blacks. Unlike alot of communities where black housing was usually rental, the Winter Park Company encouraged blacks to purchase their own lots and build houses. They also encouraged and supported the development of social amenities such as a church and a school in the small community of blacks. The residents of the West Side were usually the laborers and servants at<sup>29</sup> the hotels, homes, groves, and were involved in timbering.

The town of Winter Park was incorporated in 1887. This action was probably brought on by a need for street improvements, utilities, and services. The formation of the city had the complete support of the Winter Park Company and most of the residents. The town limits were set to include Osceola and Hannibal Square. At the time of incorporation, Winter Park had a population of 613 and it was a predominately northern town. Only 51 families were from the South while 141 were northern. The town was a republican stronghold with 133 Republicans and only 57 Democrats. The community met<sup>30</sup> in October, organized a government, and elected a town council.

The result of the first election was a very unusual situation in Florida in 1887. Two blacks were elected to the town council. These two individuals were F. B. Israel, a grocer, and W. B. Simpson.<sup>31</sup> The black community was a significant voting block during the first years and thus helped steer the budding city government.

The political situation with enfranchised black voters makes Winter Park a unique Florida community in the late 1880s. Most

blacks in Florida were excluded from meaningful participation in the democratic process after the 1886 Florida Constitution successfully dismantled the 1867 constitution and black voting power. The poll tax and other "Jim Crow" laws had firmly placed southern whites in control of their towns. Winter Park seems to be an important and significant exception to this situation.

The details of Winter Park's early history are recorded in the newspaper Lochmede which started publication in July 1887. The small paper carried news of the social and business activities in the town. It also chronicled the comings and goings of winter visitors. Its descriptive articles about the community served to promote the town to outsiders and visitors. In the same year, the South Florida Colored Printing and Publishing company was started by a leading group of blacks from the West Side.<sup>32</sup> The company began publishing the Winter Park Advocate in May, 1889.<sup>33</sup> Two months later Lochmede stopped publication. From 1889 through 1893, the Advocate was a leading Republican voice in Florida and was only the second black paper published in the state.<sup>34</sup> This paper filled the role of Lochmede by carrying social information on both the black and the white communities in Winter Park and publishing promotional information on the town.

Railroad connections into Winter Park were improved in the later 1880s with the establishment of the Orlando and Winter Park Railroad. This company was formed by J. Gillham, George Newell, J. T. Beeks and J. H. Abbot to build a railroad between the two towns and thus provide more local transportation. The line was constructed along the north shore of Lake Virginia, southwest to the northern shore of Lake Sue, and then<sup>35</sup> on to Orlando. The line was eventually extended east to Oviedo.

The Winter Park of the 1880s was primarily a resort town, but early on it became an important center for citrus culture. The 1880s in Florida was a period when the citrus industry was a popular activity for new settlers. The area around Winter Park was no different. In 1888, a promotional pamphlet in Winter Park stated that "Orange Culture pays in Winter Park and vicinity." Stories of great success were told and retold to prospective buyers. One example indicated that the grower could make from \$4,500 to \$7,200 on a 4 1/2 acre grove.<sup>36</sup>

By 1888, there were over 40,000 trees planted in the Winter Park area. Maps from the period show the extensive orange groves surrounding the town site. To the east of Lake Osceola the northern settlers who founded Osceola had extensive groves. The same is true for the area on the south shore of Lake Maitland. These groves were most likely bearing groves. The fascination of the northerners with the tropical fruits and the citrus culture meant that not only oranges, but lemons,<sup>37</sup> grapefruit and guavas were being set out in large quantities.



FIGURE 3. TYPICAL HOUSE FROM  
LATE 19TH CENTURY  
C. H. WARD HOUSE



FIGURE 4. COZY COTTAGE

The farms near Winter Park were for the most part established by settlers who had financial resources. They were not subsistence operations on small homestead tracts as was the case with other areas of Florida. Setting out a grove and building a house was not a cheap effort. The land cost \$50 an acre or more and it cost a grower about \$2,000 to get 350 trees into a bearing state. Yet the income could be as much as \$4.50 to \$6.00 per year per tree.<sup>38</sup>

Wilson Phelps, is a good example of the Winter Park grower. He planted 1400 orange trees, 150 lemons, and 300 limes. He also grew pineapples, pomegranates, grapefruit, plums, bananas, pumalos, Shaddock<sup>39</sup>s, grapes, Leconte Pears, cherries, figs and persimmons. Lewis Lawrence's grove (north of Park Avenue along Summerland Avenue) contained 2,200 trees and he irrigated the grove with water from Lake Maitland using an Ericsson hot-air pump. The homes on these properties were large and well built.<sup>40</sup>

Beautification of the city was an important effort which community leaders pursued. In 1887, the Winter Park Improvement Association was formed. This group was organized to plant trees, keep the sidewalks repaired, establish parks and "encourage sociability" among the residents. The Association undertook several tree planting and public improvement campaigns in town over the next several years.<sup>41</sup>

Public improvements were needed for the growing community. In 1889, the city electors voted to build schools for both blacks and whites, a jail, and a pound; establish a cemetery, and improve the streets. In that year a road was built along Palmer Avenue and a bridge built over the creek connecting Lake Maitland and Osceola. This creek was cleared to allow for navigation between the lakes.<sup>42</sup>

By 1888, Winter Park had many of the attributes of a community. The city boasted two brass bands, a circulating library, ten stores, a livery stable, banks, and four boarding houses. A description of the town in 1888 stated "Winter Park four years ago had nothing. Today there are hundreds of winter cottages, churches, schools, etc. The Seminole, the largest hotel in South Florida, accommodating 400 guests has been full to overflowing the two seasons it has been open - and Rollins College, the finest school in the south with an endowment of \$200,000 is located here."<sup>43</sup>

Another description relates the appearance of the town: "Winter Park has an aristocratic look, with its villas, avenues, college and church buildings. A horse railway leads to a surprisingly handsome hotel of 250 rooms, beautifully situated between two lakes of pellucid water. . . .It is amazing what has been accomplished within eight years since it started."<sup>44</sup>

By the 1890s, Winter Park had established itself as a special community, attractive to northern tourists and a good place to raise citrus. The last decade of the nineteenth century



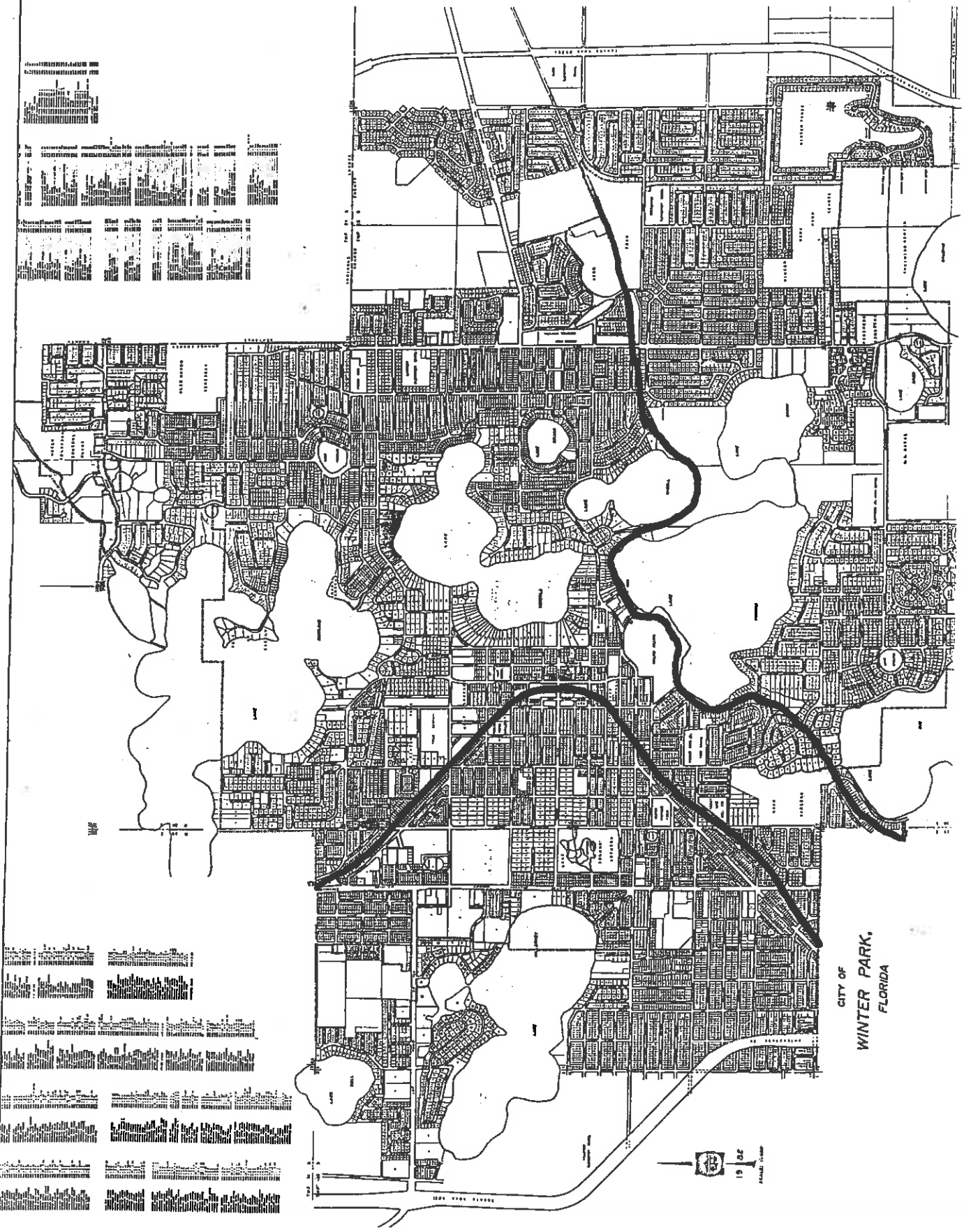


FIGURE 5. MAP OF RAILROAD RIGHT OF WAY

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was a period of maturing for Winter Park and continued construction of new houses. The population of Winter Park was 658 in 1895.<sup>45</sup> There had been a fairly slow population increase since 1885, but the figures do not reflect the seasonal tourists who swelled the Seminole Hotel and filled the houses in the town.

The Orlando and Winter Park Railroad was completed in 1889 and by 1890 was making regular runs into Winter Park. The Orlando and Lake Jessup railroad extension was completed in 1890. In 1891, this railroad was acquired by the Florida Central and Peninsular Railroad. By 1895,<sup>46</sup> regular stops in Winter Park had been reduced to flag stops.

In 1893, a group of Winter Park residents including several from the old area of Osceola, filed a notice and petition to establish new city limits excluding a portion of the West Side. The leaders of the effort included William C. Comstock, George Rand, James Ronan, W. P. Smith and Professors Austin and Ford of Rollins College. The issue became heated in the winter of 1893 with barbs and accusations being passed back and forth on the pages of the town's only newspaper, the Winter Park Advocate.<sup>47</sup> Opposition in the community was heavy. Judge John R. Mizell a long time champion on behalf of the black community declared his public opposition. The city council, including two black members, adopted a resolution against the petition move, and the effort failed on the local level.<sup>48</sup>

As a last resort, Comstock convinced the 1893 Florida Legislature to mandate the change in the corporate limits. Committees in both the House and Senate unanimously rejected the incorporation bill. However in June 1893, the legislature adopted the measure after active and personal lobbying by William C. Comstock.<sup>49</sup>

Comstock returned to Winter Park victorious and the proponents immediately called a meeting to compile a slate of candidates for the new, mandated city elections. On July 2, 1893 the election was held. Nearly all of the former city aldermen and the city staff were ousted from office. The Advocate noted that "the petitioners have elected their crew" with five of seven aldermen living east of the Seminole Hotel-"most are very good citizens." The new aldermen included Wilson Phelps, the developer of Osceola; A. E. Rogers owner of the Rogers Hotel but a long time resident of the Osceola area; and<sup>50</sup> H. S. Kedney, who would become a prominent Orlando businessman.

The result of the action was to alter the Winter Park city boundaries and plan for years to come. The area bounded on the north by Morse Boulevard, south by Comstock Avenue, east by Virginia, and on the west by Orlando Avenue was excluded from the town. This boundary remained in place until the City adopted a new charter in 1925 when the area was again included in the city.<sup>51</sup>

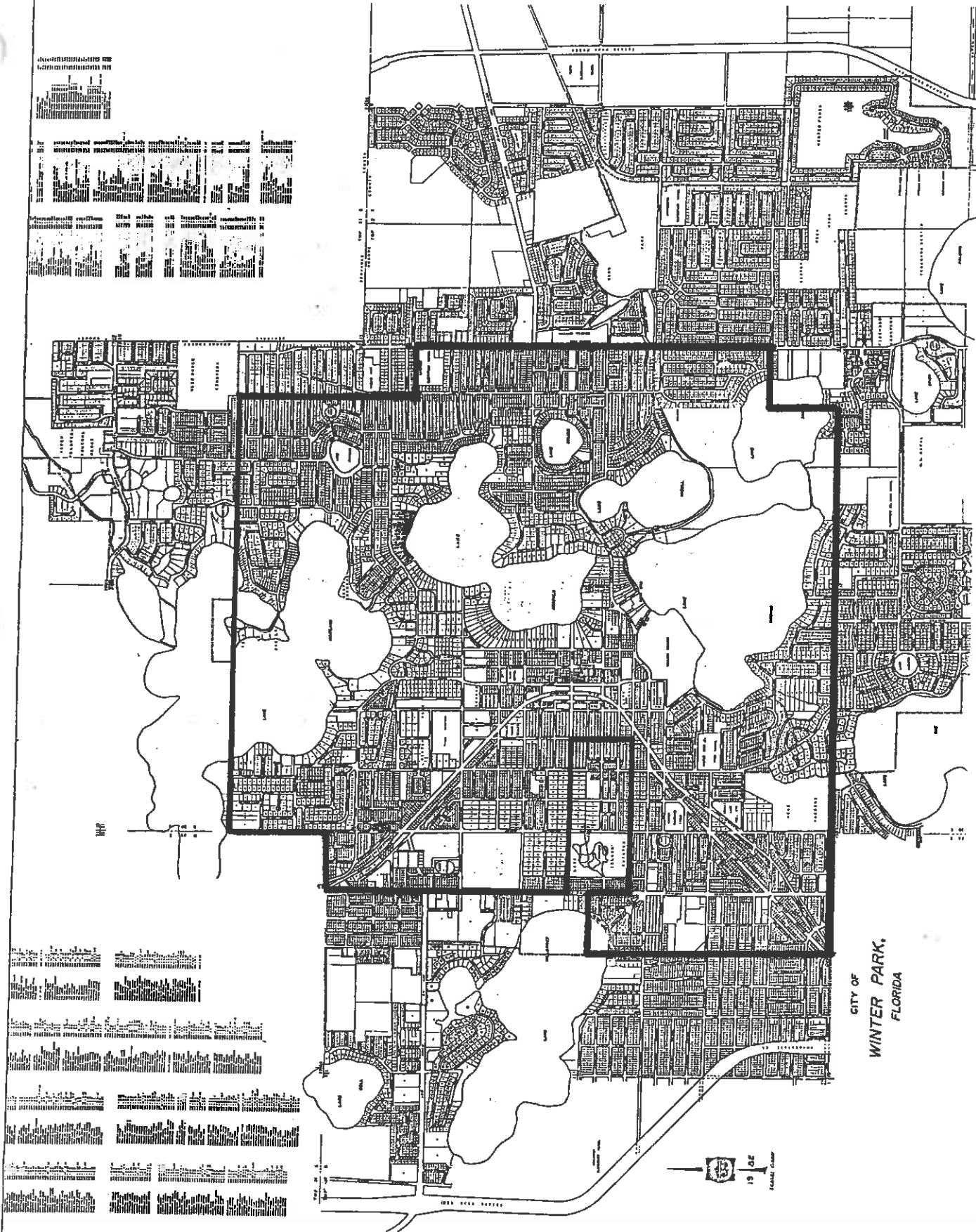


FIGURE 6. WINTER PARK CITY BOUNDARIES  
1893 - 1915

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Winter Park continued to grow in this period. Rollins enrollment in 1893 was 122 with most of the students in the preparatory levels of the school.<sup>52</sup> Chase and Company constructed the first packing house in Winter Park in 1894. The building was constructed west of the depot.<sup>53</sup> The Winter Park Library and College Library were combined for public use.<sup>54</sup>

1894 was a disastrous year for the citrus industry in Florida. That year the temperature dropped to a new low and remained there long enough for the fruit and trees in most groves north of Polk county to be ruined. This event crippled the citrus industry for many years. Local descriptions of the freeze were detailed and reflect similar events which have damaged the citrus crop in the 1980s. One report stated: "No one expected it - on Wednesday the day was warm. Wednesday had rain and met a chilly Thursday. Wind from the west - Thermometer went to 18 degrees - lower than the 22 degrees in 1886 (which had produced relatively minor damage). - Water froze in the house near the fire, spittle turned to ice."<sup>55</sup>

The economic effect of the freeze on Winter Park and Orange County was severe. Before the freeze hit, Orange County was the largest producing citrus county in Florida with production in 1892 exceeding 759,000 boxes valued at over \$755,000. There were 682,908 bearing trees and 806,284 by 1894 on the eve of the freeze. The year of the freeze nearly all of the producing trees were destroyed. The following year in 1898 only 8,257 boxes of fruit amounting to only \$19,510 with a further reduction in production in 1898-99 to 2,448 boxes valued at \$5,200. A hurricane which struck the east coast in September of 1897 further damaged the citrus crop which explains the further drop in production in 1898-99. It was not until 1909-1919 that production was again approaching the levels from before the freeze.

Winter Park's development was also affected by the national financial panic of 1893. Agricultural prices were at their lowest since the Civil War and many of the American railroads and industries faced severe financial collapse. This meant that resort areas such as Winter Park experienced lessened interest in investment and development from the northern visitors who had fueled the development of the community in the previous decade.

In Winter Park the effect was equally damaging. William Comstock lost his entire crop as did Dr. M. A. Henkel and William G. Peck. Others were fortunate. Henry S. Chubb had secured a contract for his fruit the day before the freeze hit and was therefore protected.<sup>56</sup> Only 40% of the entire crop was sold before the freeze.

The freeze slowed the sales and development in the community. Groves were replanted but very little economic effect would be felt for at least a decade. Rollins College was faced with financial difficulty and was forced to secure loans to

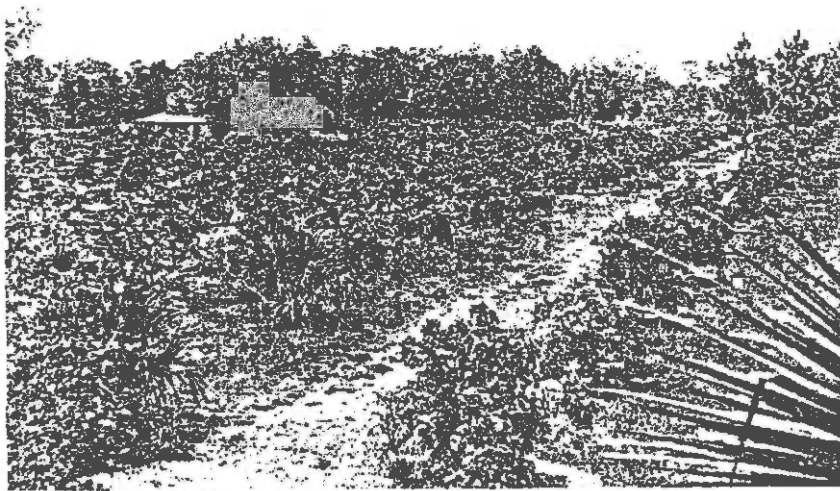


FIGURE 7. TYPICAL CITRUS GROVE  
"GREYACRES"

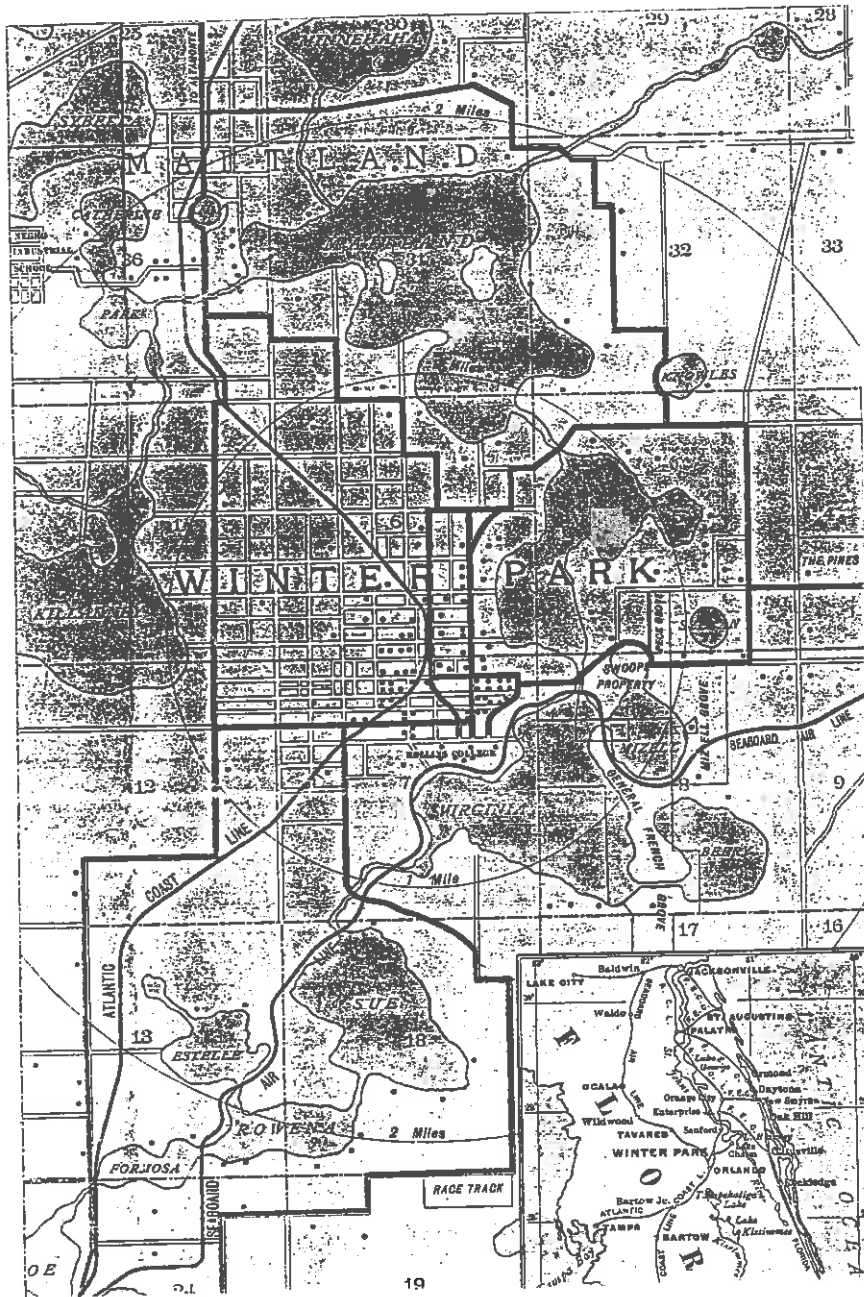


FIGURE 8. FLORIDA HEIGHTS - 1902



continue operations. Dr. Charles Fairchild resigned the presidency after only one year. The value of land in the community also declined from \$201,433.25 in 1894 to \$130,317.57 in 1896. The value of land in Winter Park remained below the 1894 value as late as 1907 when it was only \$183,711.

Development also slowed after the death of Francis Knowles in 1890. The Winter Park Company was indebted to Knowles for \$178,624.43. The executors of the estate were also the largest stockholders of the company and they voted to buy the assets of the company. In exchange they canceled the debt and assumed all liabilities of the company except for the capitol stock.<sup>57</sup> Growth was stagnant. In 1900 the population of Winter Park was only 636 and had dropped to 570 by 1910. This pattern was not the common situation in Florida during the period and may have been the result of the property being tied up in the Knowles Estate. In 1902, a map of the city indicates that there were probably 110 residences and farms in the city. Urban development was still concentrated near the center of town and along the large lots on Lake Osceola. The properties to the east remained large and substantial and included mostly orange groves.

The streets and walks were mostly dirt with a few shell roads. William F. Blackman recalled his first impression of the town when he arrived in 1903 to become the President of Rollins College: "I remember landing in Winter Park at a dingy little wooden structure which was the depot and facing a park that was unkempt. Dr. Ward met me with old "Dobbin" and we drove up to the campus through streets which were deep in sand. There were no lights on any of the streets except a few kerosene lamps, which burned some of the time. There were no sidewalks. There was no garage in the town and no automobiles. There were more pigs and cattle on the streets of Winter Park than there were people. There was no bank, no ice plant, no brick store."<sup>58</sup>

More public improvements were started in 1906. Cement sidewalks were laid and Loring Chase donated land for Palm Cemetery. A city ordinance in 1907 required property owners in the center of town to install cement sidewalks.<sup>59</sup> Disaster struck in 1902. The Seminole Hotel burned to the ground. In 1904 the Rogers House was acquired by Charles H. Morse and W. C. Temple and given to Rollins College. The building was expanded and upgraded.

In March 1904, Charles Morse acquired the old Winter Park Company holdings from the Knowles estate and founded the Winter Park Land Company. C. H. Morse was the founder and president of Fairbanks, Morse and Company, manufacturers of scales. Morse became a major business leader in Chicago during the late nineteenth century. Morse had maintained a winter home in Winter Park. This company continued to promote the community and sell lots to new settlers. By 1910, the town had over 132 homes and Rollins College had grown to <sup>60</sup>eleven buildings including a new power house built that year.



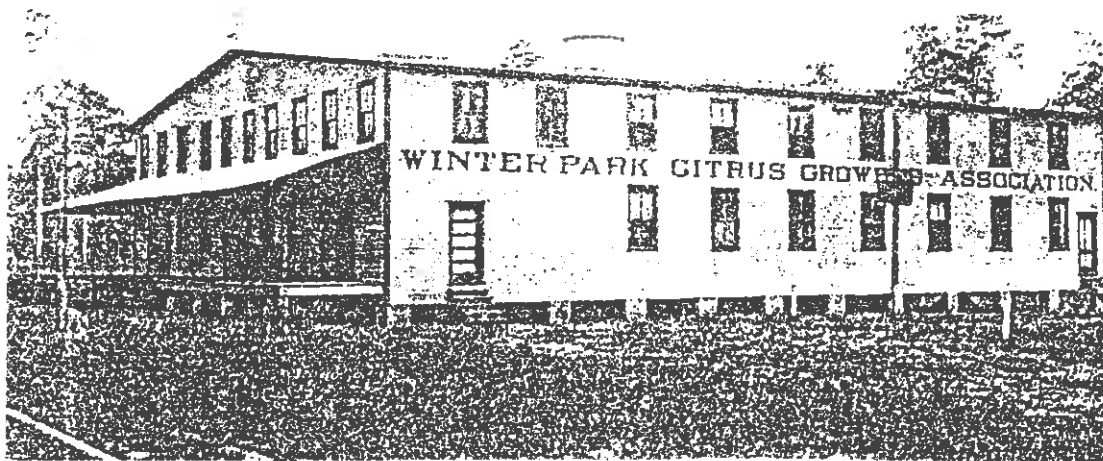
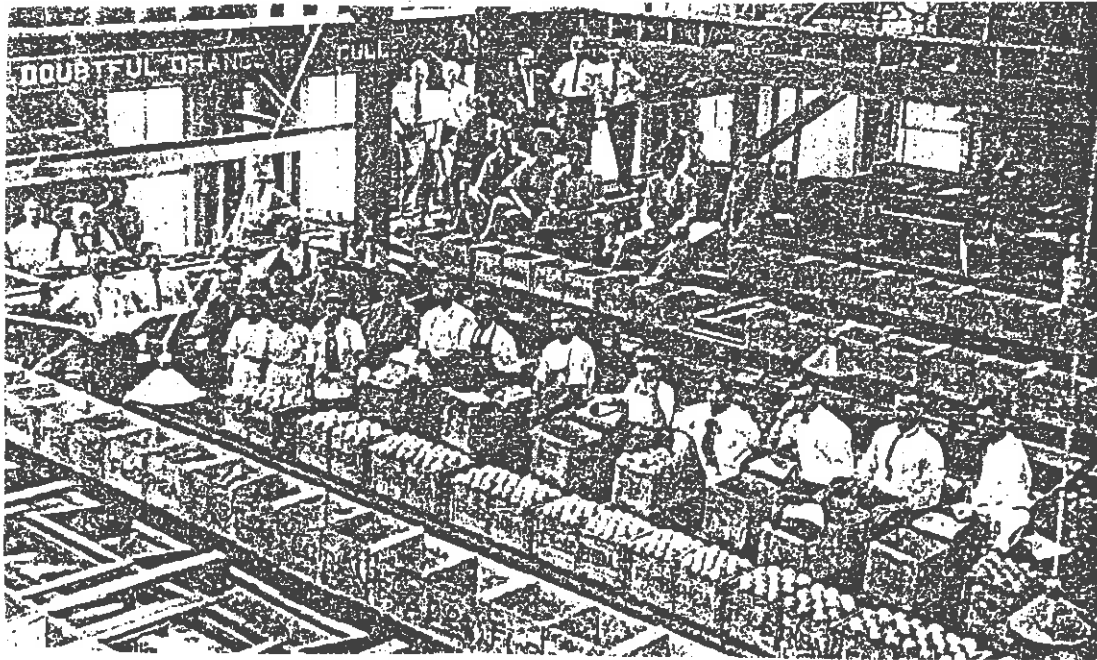


FIGURE 10. WINTER PARK CITRUS  
GROWERS ASSOCIATION  
1914

Commercial development was significant in the 1910s particularly in citrus. The sale of citrus required the construction of packing houses and support facilities. The packing house of the Wilcardo Fruit Company, located at the southwest corner of Swoope Avenue and North New York Avenue burned in 1910. This building was reportedly one of the first "modern" packing houses in Florida and was used by the Winter Park Growers Association.<sup>61</sup> The company, which was owned by pioneering citrus grower, W. C. Temple, immediately constructed a new building. Freeman J. Hunter built a cement plant at Canton and the Railroad in the same year. Shipments of fruit and vegetables north on the railroad required precooling and icing of produce. The Winter Park Ice Company was formed in 1910 to provide this service for the local growers from a plant at the southwest corner of North New York Avenue and Agnes Place. Doyle and Son, another local packing operation, installed an ice plant on their property.<sup>62</sup> In 1911, the Wilcardo Company was purchased by the Citrus Fruit Growers Association.<sup>63</sup>

In the 1910s, public services were expanded. The first water works was established in 1912 with the plant located near the railroad tracks, north of Swoope Avenue on land owned by the Winter Park Citrus Growers in exchange for 50 years of free water. B. A. and C. H. Galloway obtained the telephone franchise for Winter Park and Dr. J. A. Trovillion had the first one installed at Oneota Lodge. This company eventually became the Winter Park Telephone Company. A volunteer fire department was organized in 1913 and hydrants and water mains installed. Two hose reels and 500 feet of hose were purchased. A bond issue was passed in 1915 to provide for street improvements including expansion of the water system and the installation of storm sewers. Orange County provided Winter Park with its first brick street which was the Dixie Highway. All of the other streets at this time consisted of clay and limerock. The city bricked nine other streets in 1915, all nine feet wide. The residents along Interlachen were allowed to widen their street to 24' at their own cost. In 1916, Interlachen and Webster Avenue were paved and new sidewalks were laid out on West Boulevard and Welborne Avenue.

Winter Park also received its first electricity during this decade. In 1916, street lights were installed along Park Avenue and at fourteen intersections. The fire department was expanded to include a Model T Ford with chemical tanks and city water was extended to the blacks in the West Side.<sup>64</sup>

The economic fortunes of many cities in Florida improved in the early 1910s. Tremendous increases in fruit shipments as a result of northern demand caused the construction of facilities such as the above described packing houses and ice plants. New business buildings were also built in this decade. In 1912, F. W. Shepherd built a brick building in Winter Park at the southeast corner of Morse Boulevard and Park Ave. In the same

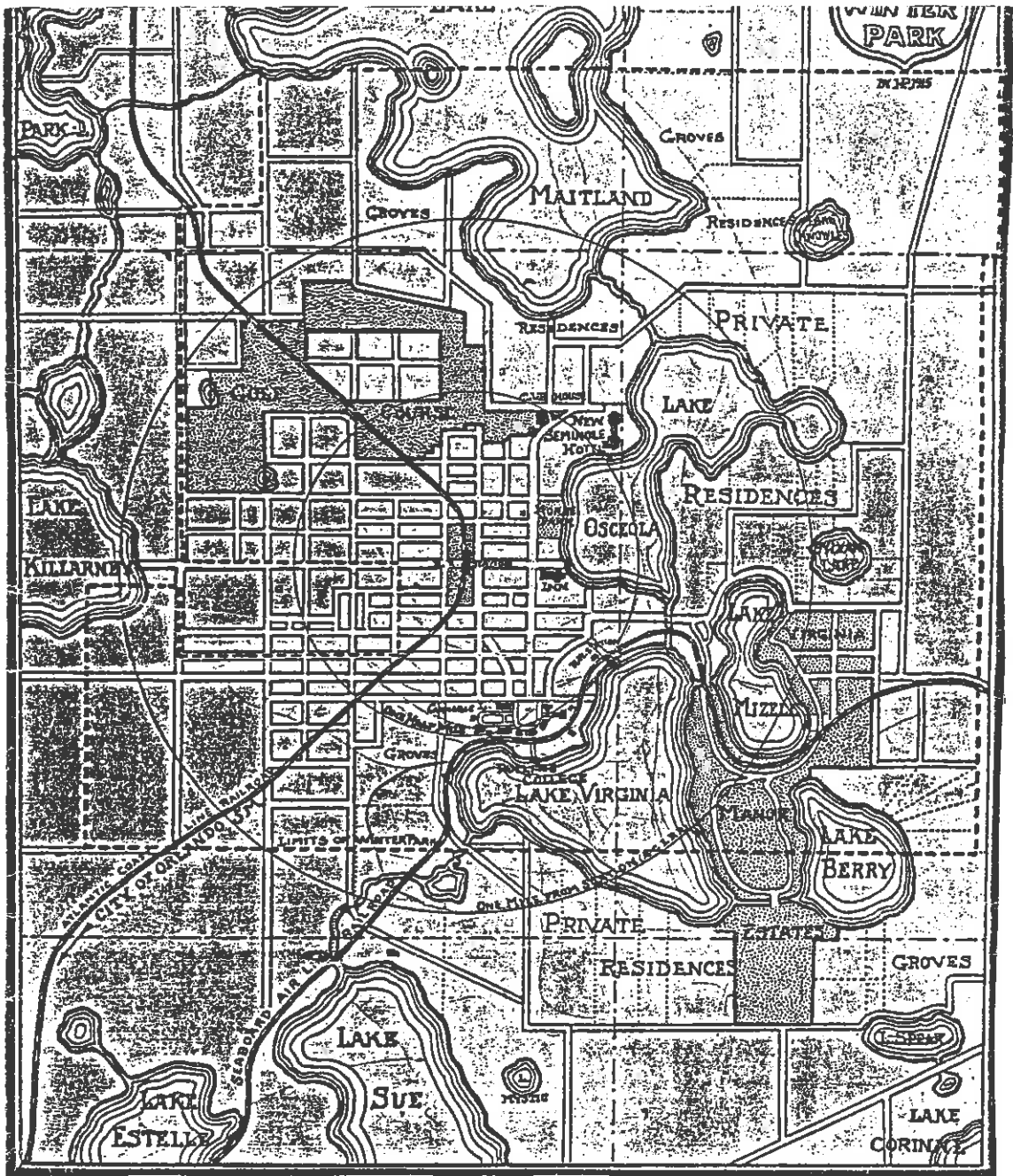


FIGURE 11.  
WINTER PARK - 1915

block the Bank of Winter Park was organized and erected a building.<sup>65</sup> A new Atlantic Coastline Depot was constructed in 1913 to replace the old wooden structure described by Blackman as a dingy wooden building.<sup>66</sup>

Irving Bacheller came to Winter Park in 1917 and described the town a little differently than Blackman did in 1903: "There were about two thousand people in the village in those days, most of them New Englanders. There was a well-housed public school and a poverty stricken college with an excellent school of music." Rollins College was still struggling to keep enrollments up and to raise money. In 1916, the college had 150 students, not a great improvement in 25 years.<sup>67</sup>

Charles Morse built a \$15,000 building on East Park Avenue which included a movie theater, WCTU reading room, Morse's offices and apartments upstairs. This building was located in the middle of the block on Park Avenue between Morse Boulevard and Welborne Avenue.<sup>68</sup>

Winter Park experienced tremendous growth in the 1910s. The year round population had nearly doubled to 1,079 with 2,300 winter population. Over 12 major subdivisions were opened during the decade with many being platted and placed on the market between 1912 and 1914. A map of the town in 1915, indicated that new areas of town were under development. New residences appeared north and south on Park Avenue and to the southwest several new subdivisions were open including the Palmetto Company Addition and Mack's Revision.<sup>69</sup>

Real estate activities in the late 1910s were extensive. It was still a highly popular winter resort. New houses and buildings were changing the character of the town. In 1916, twenty five new houses valued at \$150,000 were completed. A new city hall was built on the site of the present city building and a new school built across Park Avenue during that year.<sup>70</sup> The following year over \$79,700 in real estate changed hands.<sup>71</sup> Reports in 1919, indicated that there was a serious housing shortage brought on by increased tourist traffic and slow building activity. Prospective residents were repeatedly turned away. Most people were looking for 4-6 room bungalows which rented for \$300-\$400 for the season. The World War contributed to the housing shortage by creating building material shortages and reducing the available labor force.<sup>72</sup>

In spite of the slow construction activity, 1919 was a year which saw extensive improvements. New streets were paved including Lincoln Avenue, East Park, Interlachen and East New England. Mrs. J. K. List of the Town Adornment Committee finalized plans for the establishment of graveled walks in East Park. Charles H. Morse provided lots on the south side of City Hall which were used for tennis courts, croquet grounds and horseshoe facilities.<sup>73</sup>

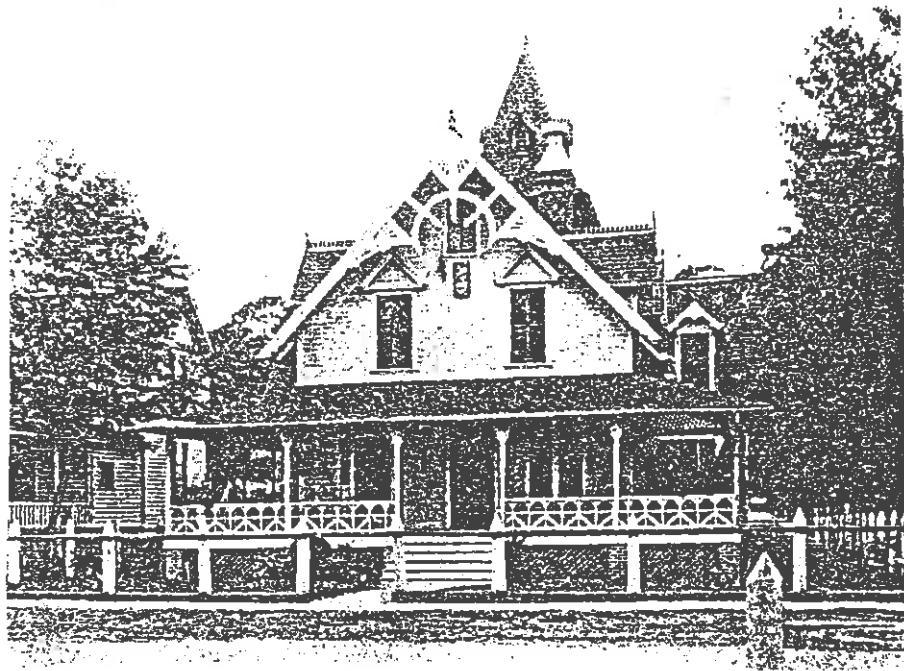


FIGURE 12. "THE OSCEOLA"  
BOARDING HOUSE

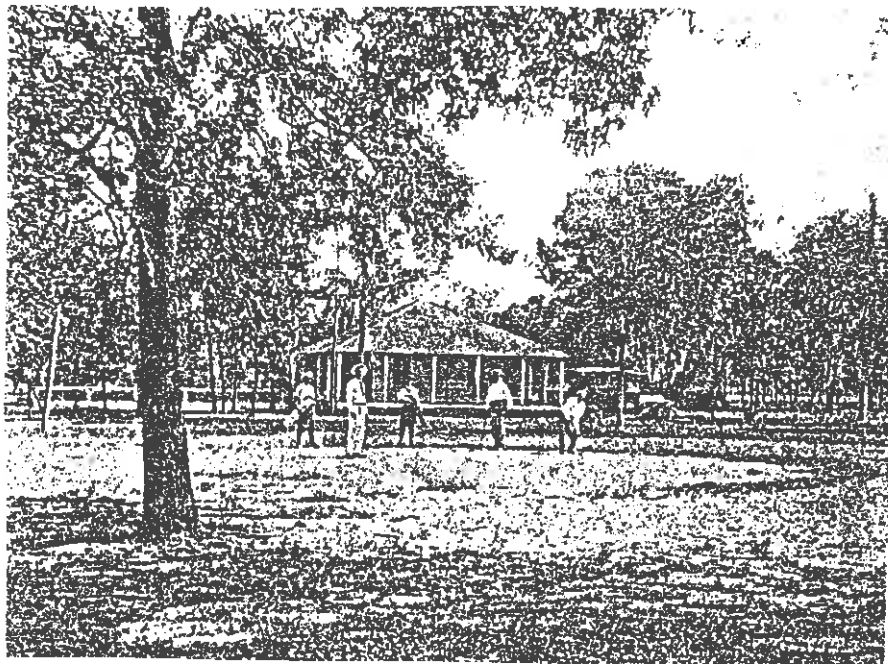


FIGURE 13. WINTER PARK GOLF CLUB

On the political scene, July 8, 1919 was a landmark. It was the occasion of the first vote of a woman in the city's history. Mrs. Charles L. Smith, a longtime resident and activist, cast the vote in a bonding election for new city drainage. Mrs. Smith was the first of nine women who cast these first feminine votes. The other voters were Mrs. C. H. Ward, Mrs. C. Fred Ward, Miss Nannie V. Hayes, Mrs. L. A. Detwiler, Mrs. Moreman, Mrs. W. A. Mason and Mrs. Leland Chubb. The Winter Park Post observed that "hereafter the voice of the woman will be one of importance."<sup>74</sup>

Commercial expansion had made its mark on the town. Along the railroad tracks in town were several packing houses including the Florida Citrus Juice Company, at New York Avenue and Agnes Place. Other packing house operations were the Winter Park Fruit Company and Detwiler and Company, fruit packers located at Garfield and West Park Avenues. By this time the wood frame stores along Park Avenue were getting replaced by brick stores. In 1919, there were about 11 brick <sup>75</sup>buildings and two concrete block structures along Park Avenue.

The Winter Park Land Company was incorporated in March 1917, and C. H. Morse was president until his death in May, 1921. He was a leader in the improvement programs for the city including paving. In 1915, Morse started the first nine holes of the present Winter Park Golf Course. He organized the Seminole Hotel Company in that <sup>76</sup>year and assumed its operation as well as that of the Virginia Inn.

To the east of town, the groves were prospering and still primarily intact. The Alabama Subdivision was established on the south side of Lake Maitland and new houses were built there. Most of the eastern portion of the town remained undeveloped.

The 1920s were optimistic for Florida residents and developers. Real estate promotion and speculation reached a level which had not been seen since the great promotions of the 1880s. Winter Park slowly expanded but remained much as it had been since the 1880s. At the beginning of the 1920s, Winter Park was a twentieth century town still dominated by a small college and its winter tourists. These tourists became more numerous in the 1920s as more and more people moved to Florida seeking their fortunes. The period also witnessed the beginning of the loss of many of the orange groves and farms which had existed on the fringes of Winter Park for the previous 50 years as they were platted and marketed for building lots.

The town of Winter Park in 1920 retained its concentrated development on the western shore of Lake Osceola. The commercial center of the town was at East Park Avenue and Morse Boulevard. A number of brick business blocks were built on the east side of Park Avenue between Morse Boulevard and New England Avenue. The businesses included two banks, a grocery store, a motion picture theater, two drug stores, a millinery and two garages. The rest

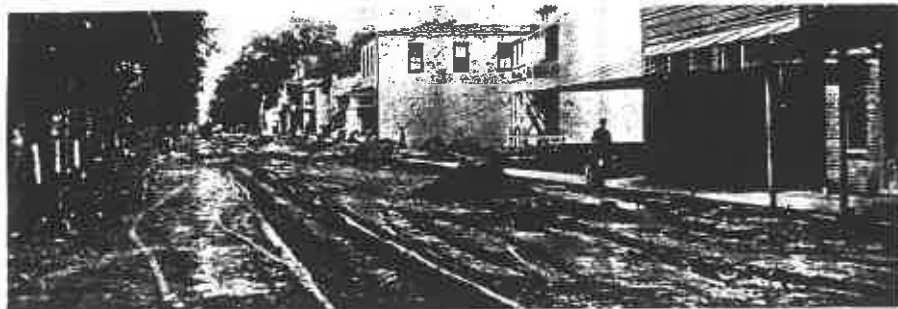


FIGURE 14. PARK AVENUE LOOKING NORTH



FIGURE 15. PARK AVENUE LOOKING SOUTH  
1890'S

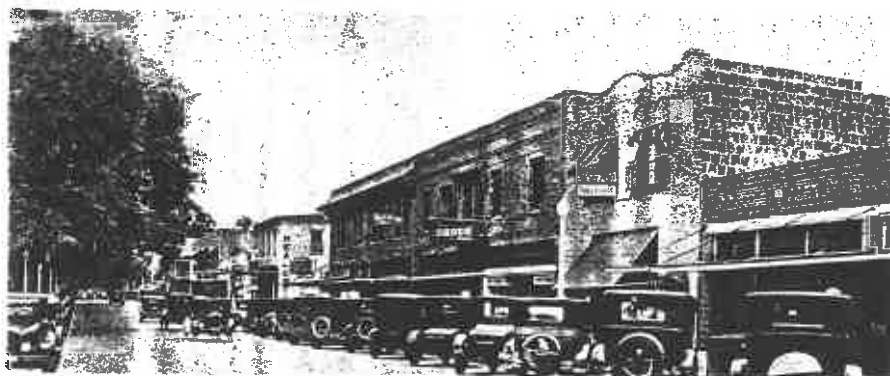


FIGURE 16. PARK AVENUE LOOKING NORTH  
1924

of the town was primarily residential. Rollins College had consisted of nine buildings built around a circular drive which became known as the "Horseshoe", which remains as a campus feature today. There were nine buildings and the ruins of one burned building. The new Seminole Hotel, built in 1912, on a new site on the west shore of Lake Osceola at the foot of Webster Street. It continued the<sup>77</sup> tradition of the earlier hotel as a popular resort facility.

The Winter Park Land Company was reincorporated in 1921 and prepared to increase its promotion and continued development of its holdings in Winter Park. New publications and real estate maps were produced to promote the values of Winter Park. Construction of new buildings increased from a trickle to a value of \$115,450 in 1920. Rooming houses and small bungalows were the primary structures being built. As the 1920s progressed, building construction in Winter Park mirrored the rise and fall of the Florida real estate market. Building permits doubled in value by 1923 to \$243,930 and by 19<sup>25</sup> permits amounted to \$2,100,000 and \$1,781,977 in 1926.

Winter Park rode the crest of the real estate boom of 1925-27. More than 600 new homes, two churches and several businesses were built in 1925. By February, 1926 over \$12,000,000 in transactions changed hands. Over \$104,000 worth of permits were issued in that month. New developments popped up all over Winter Park including Aloma, Sylvan Lake Shores, Cherokee Park and several others.

City Improvements were intensive during 1926. Two hundred eighty new homes were built during the year. A new playground at Alabama Park just west of the Alabama Hotel on Lake Maitland and a new recreation facility were completed. Pressure for controlled building and planning became a major issue. New plats and subdivisions had to be approved by the City Planning and Zoning Commission and City Commission. A building code was adopted and the city's first building inspector was appointed.<sup>80</sup>

Public improvements were extensive in 1926. Thirty miles of streets were paved. The Florida Public Service Commission installed underground utilities and street lights along Dixie Highway and Park Avenue. This resulted in the removal<sup>81</sup> of overhead lines and power poles in the center of town.

Rollins College experienced a major revival beginning in the 1920s. During the first twenty years of the century the college experienced continued financial and leadership difficulties. In 1925 the trustees recruited Hamilton Holt as President of the college. Holt was a national leader in the world peace movement and owner and publisher of the Independent magazine. He had no previous experience in the education field but set out on a major plan to make the college a nationally recognized institution. He instituted radical teaching reforms and promoted teacher/student cooperation and communication. The college also became a center for a lecture series known as the Animated Magazine, where



prominent national figures would come and lecture for local audiences.

Holt's plans also involved expanding the physical plant of the campus and improving its financial footing. After an ambitious fundraising campaign, Holt developed a master plan for the expansion and development of a larger campus. The theme of Mediterranean Revival became the governing architectural style which has remained until today. Between 1930 and 1949, the building campaign added thirty-two buildings to the campus and raised the college's assets from \$201,000 to \$2,500,000. The design of many of the early buildings was accomplished by the firm Kiehnel and Elliot of Pittsburg and Miami. Richard Kiehnel was the parnter in Miami and is credited with introducing the Mediterranean Revival style to that city in 1917, in El Jardin, the home of John Bindley, president of Pittsburg Steel. The Knowles Chapel was designed by noted Gothic Revival architect, Ralph Adams Cram. In later years, local architect James Gamble Rogers designed the buildings.

A Better Homes Week was organized in Winter Park in May, 1926. This was a part of a national campaign aimed at increasing the public's awareness of good house design. The campaign on the local level was similar to the current "Parade of Homes" organized by builders and real estate professionals in many local communities.

In Winter Park, a contest was organized to select prize winning homes built during the year, either furnished or unfurnished. A committee of architects, contractors and citizens judged the entries and selected a first, second and third place house. These homes were then opened for tours during the week and were forwarded to the National Better Homes Week Committee for entry into a national competition. Twelve houses were entered in the 1926 competition including a house built by W. S. Hall in Sylvan Park and two houses built by Earl Knickerbocker.

A major feature of the week's program was the selection of a demonstration or model home. Mrs. Ruth Ball on Cortland opened her home for this purpose. It was described as a "colonial bungalow." A committee worked with Mrs. Ball to furnish the home with furniture supplied by the Wiley Furniture Company of Orlando, the Orange Hardware and Furniture Company, and the Bumby Company of Winter Park.

The three prize winning homes were a combination of several eclectic styles. Ernst Schmelz' home at 1247 Via Capri in Cloister Grove was the first place winner. The house was a Mission Style stucco structure. The second place house was a home called the "Home of Dreams" located just north of the Ripples in Parklondo. It was built by Allardice and Allardice. The third place home was located in Virginia Heights at the northwest corner of Melrose and Oxford. The house was a French Tudor style and designed and built by Albert D. Proudfit. This

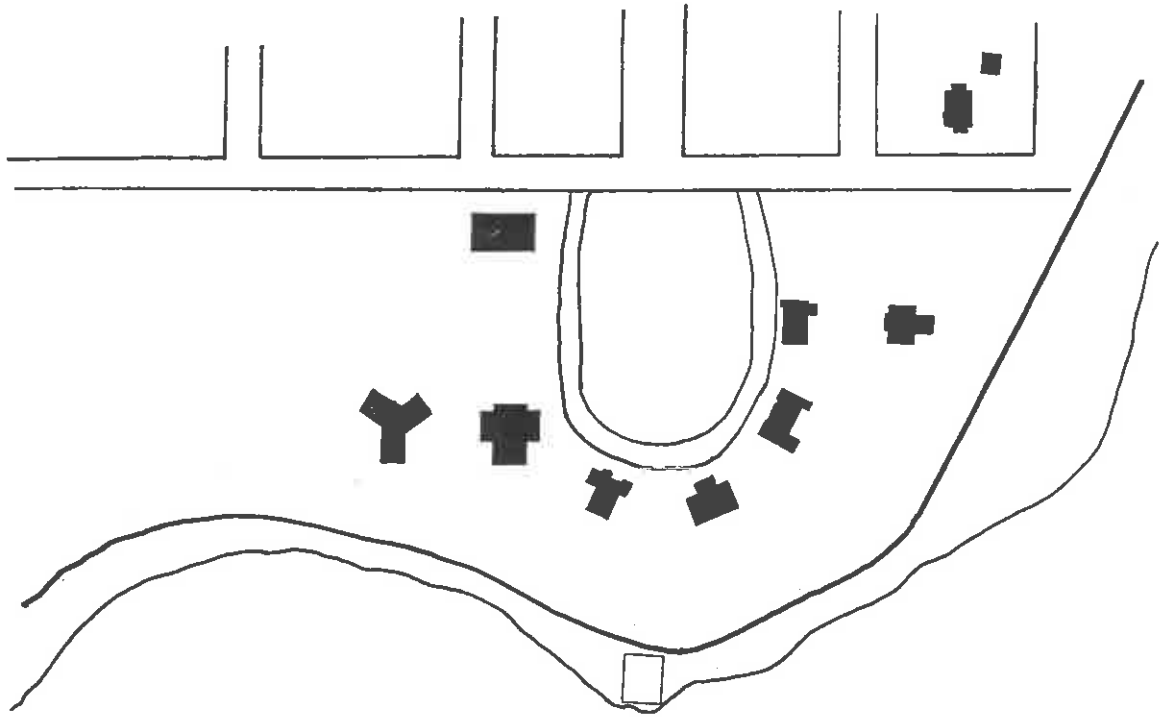


FIGURE 17. ROLLINS COLLEGE - 1925

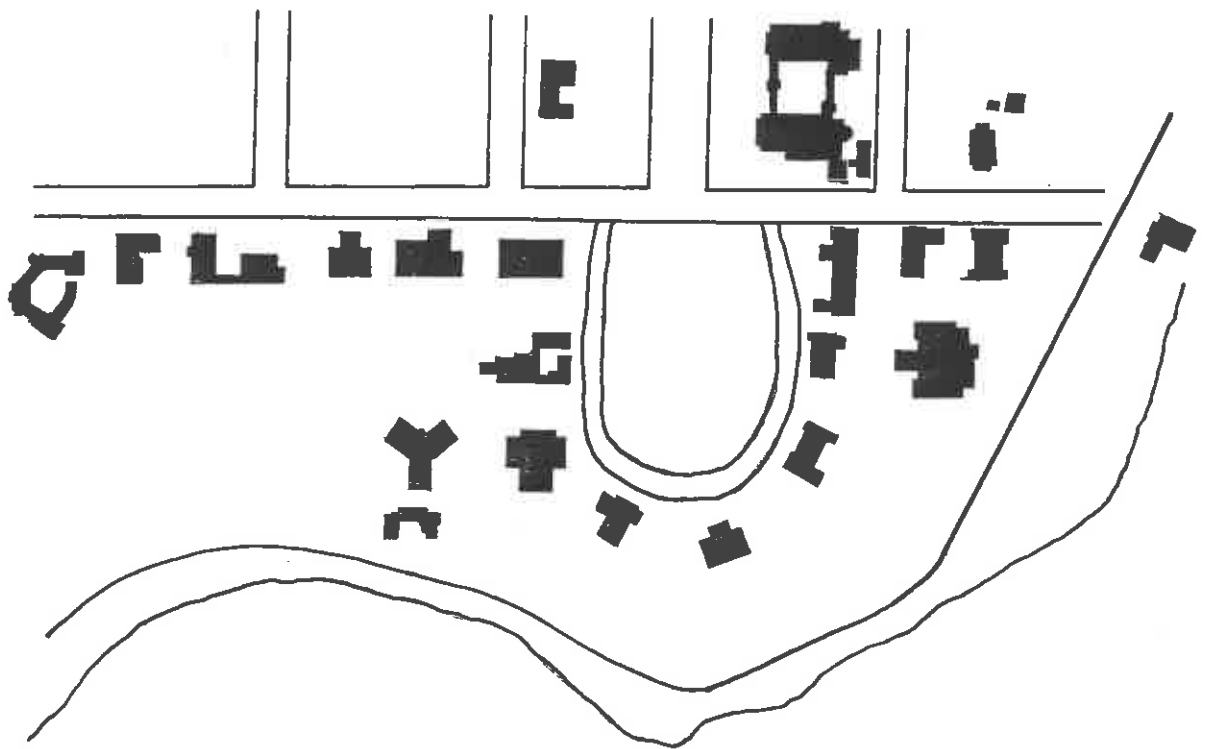


FIGURE 18. ROLLINS COLLEGE - 1949



FIGURE 19. ROLLINS COLLEGE CHANGING ARCHITECTURE 1909-1940

house was also one of about ninety houses which were given honorable mention at the National level. There were only two towns in Florida, one being Winter Park, which produced national prize winners from several thousand entries.

Another Better Homes Week was held in 1927 which was even bigger. Several demonstration homes were featured in the new Aloma development and local furniture stores featured special displays. Architect P. C. Samwell wrote a number of featured articles for the Winter Park Herald discussing the best designs for Florida architecture. Mrs. C. Fred Ward was appointed chairperson of the Winter Park week and Carter Bradford was appointed chairman of publicity. Several other homes were selected as winning homes and the community program received a National honorable mention.<sup>84</sup>

Local owners worked hard to make their land available to home builders. Almost anyone, who owned land, even a half block, subdivided their holdings. By 1930, over 136 separate subdivisions had been platted in Winter Park. Only ten of these were platted before 1900 including the Town of Winter Park and Lakeview(Osceola). Only one subdivision was platted between 1900 and 1910 and twelve between 1911 and 1920. In the first three years of the 1920s twenty-seven subdivisions were filed and at the height of the boom in 1925 and 1926 seventy plats were filed. The number dropped off dramatically between 1927 and 1930 to six. The numbers can, however be deceiving since many of these were small parcels which were divided into house lots. Nor can this be an indicator of construction activity since even the boom did not generate enough demand for every lot to have a house, but the large number of new subdivisions is nonetheless significant in indicating the real estate fever which had hit Florida during that period.<sup>85</sup>

Most of the parcels platted in the 1920s consisted of 30 to 50 acre tracts which had been farms. Some of the most significant parcels of land were subdivided in the 1920s including the Bigelow tract on the south side of Lake Maitland which became Green Oaks. The Comstock property was platted for houses in 1925 and named Comstock Park. Probably the most significant development in size was Ardmore in 1926. This property was the French Estate known as Virginia Manor. This property was platted, but never developed extensively. The result is a large tract of still undeveloped property between Lake Virginia and Lake Berry. To the southwest of Rollins College was extensive and concentrated development involving College Place (1923), Virginia Heights(1924) and Forrest Hill (1925) around Lake Chelton. The area east of Lake Maitland also saw substantial sections of land subdivided into Lake Knowles Park(1925), Temple Heights(1923), Cloister Grove Subdivision(1924) and Sicilian Shores(1926).<sup>86</sup>

To the east of the original Winter Park town limits was the largest and most ambitious development in Winter Park. Aloma was laid out south of the paved road to Oviedo, now Aloma Avenue.

This development was a classic Florida boom project with slowly curving streets bordering on golf course fairways and divided north and south by an Esplanade. This project was developed by Winter Park Golf Estates, Inc. headed by H. W. Caldwell and H. A. Ward. In 1927, the Aloma Country Club opened with a New Year's eve party at the newly completed club house. The project was also a victim of the bust of the Florida Boom in the late 1920s and eventually went bankrupt from slow sales and rapid devaluation of the property. A large portion of the golf course eventually became Ward Park.

The development of hotels to accommodate winter visitors increased in the 1920s. In 1923, there were 8 hotels operating in Winter Park. The Seminole and Virginia Inn both operated by the Seminole Hotel Company. The Alabama was completed in 1922 and was located at the southwest corner of Alabama Drive and Via Tuscany on the south side of Lake Maitland. Boarding houses included the Osceola Inn (southeast corner of Interlachen Avenue and E. Welbourne Avenue), Pittsburg House (West Park Avenue), Self House (E. Park Avenue) and Peschman House (E. Lyman Avenue). The Hamilton Hotel (southwest corner of E. Park Avenue and East New England Avenue) was completed in 1923 and operated by M. J. Kramer.<sup>87</sup> Of these eight buildings, only the Alabama Hotel and the Hamilton Hotel remain.

The movie theater business became active in the 1920s. The legendary Baby Grand Theater opened in 1923. This theater has been made immortal in the stories of Gamble Rogers, the entertainer son of local architect James Gamble Rogers, III.

The industrial section of Winter Park continued to expand and develop in the 1920s. The Winter Park Fruit Company expanded its packing house at the southeast corner of New York and Swoope. The Winter Park Refrigeration Company plant burned in 1921 and was rebuilt at Canton and the Railroad. The<sup>88</sup> plant was sold in 1927 to the Florida Public Service company.

The rash of building construction in the 1920s gave rise to the establishment of several lumber supply companies in Winter Park. Winter Park Lumber and Supply was located at Garfield west of the railroad tracks in 1924. Builders Supply and Novelty Company was on Welborne Avenue west of the railroad in 1927. C. A. Young Lumber Company was located at Comstock and the railroad in 1927. The Stout-Dieterly Company, manufacturers of concrete block were located at Minnesota and the railroad.

The Florida boom was on a decline after 1926 and Winter Park was no different. The value of permits in 1928 was down to \$224,000 and dropped again to \$191,865 by 1930. While new development did not continue at a fast pace, new houses and development would return in the late 1930s when another building boom would complete many of the stalled developments of the 1920s.

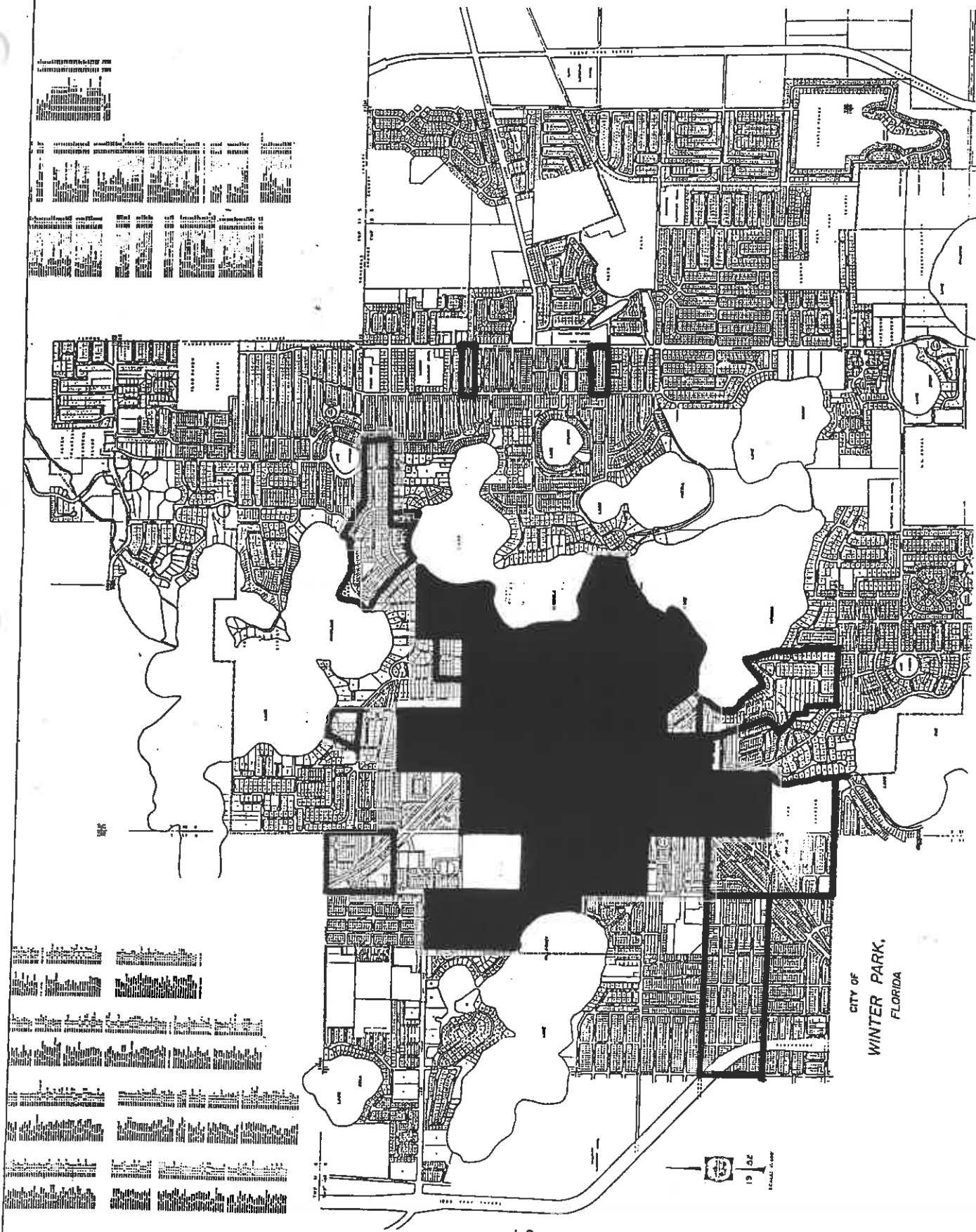


FIGURE 20. WINTER PARK NEW SUBDIVISION DEVELOPMENT 1905 - 1922.

CITY OF  
WINTER PARK,  
FLORIDA

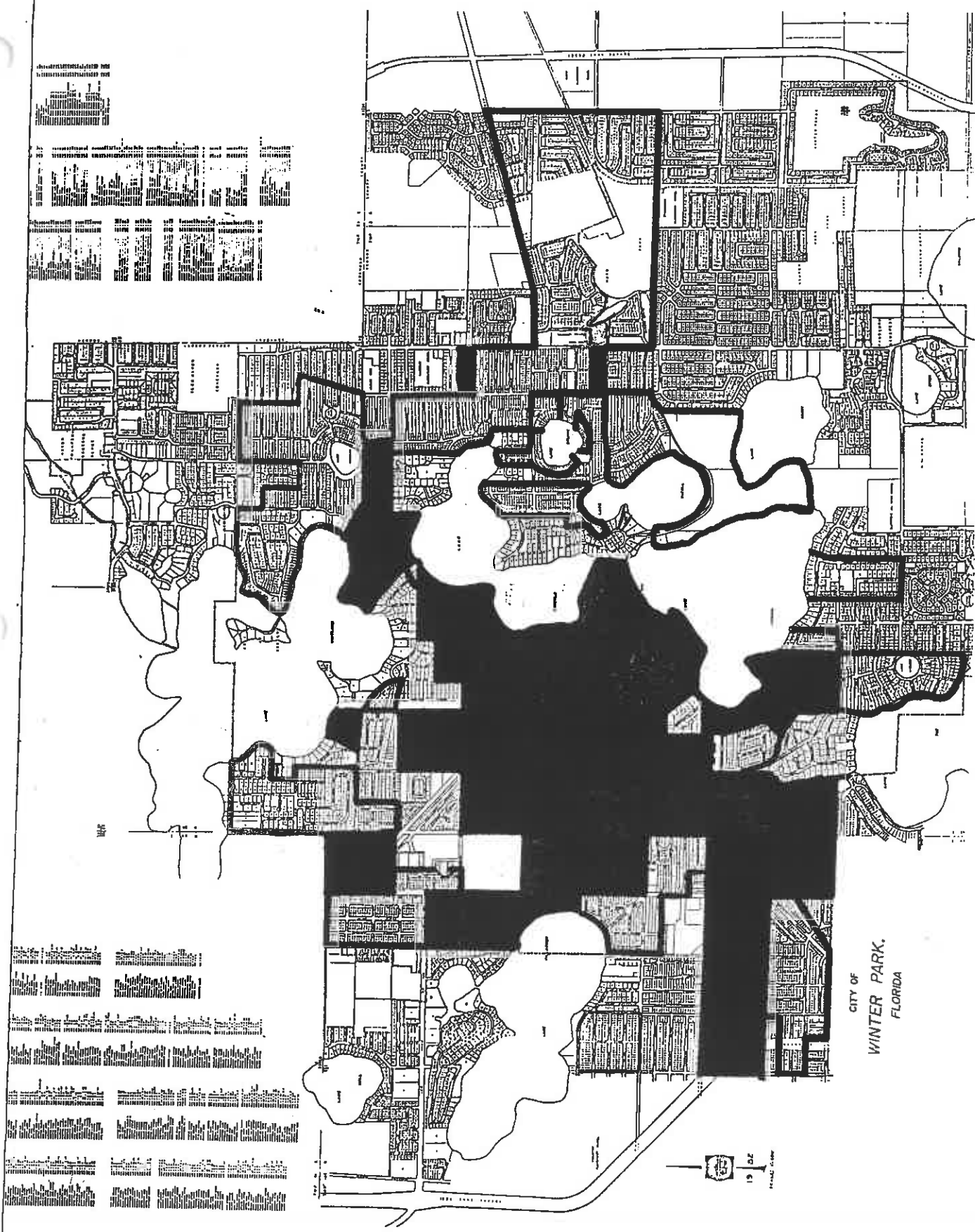


FIGURE 21. WINTER PARK NEW SUBDIVISION  
DEVELOPMENT 1923 - 1926

CITY OF  
WINTER PARK,  
FLORIDA

## FOOTNOTES

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2. Loring A. Chase, scrapbook, Rollins College Archives, Winter Park, p. 109.
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5. Orange County Clerk of the Circuit Court, Deed Books, Orange County Courthouse.
6. Ibid; Various deeds indicated in index showing transfer from Phelps and checked in deed books.
7. Chase, scrapbook, p. 52; MacDowell, History of Winter Park, p. 14; Map of the Town of Winter Park, 1883.
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10. U. S. Census, Manufacturing Schedules, 1860, 1870; Chase, scrapbook, p. 158.
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28. Ibid.
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38. The Winter Park Improvement Association, Facts About Florida in General and Winter Park, Orange County in Particular, (Orlando: Orange County Reporter Print, c. 1890), pp. 6-7.
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42. Ibid., p. 45.
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55. Chase, scrapbook, p. 466.
56. Chase, scrapbook, 466-67.
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58. Ibid., p. 79.
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60. Ibid., p. 96.
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80. Winter Park Herald, June 10, 1926.
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82. Lane, Rollins College, pp. 52-54.
83. Ibid.
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## WINTER PARK ARCHITECTURE

The architecture of Winter Park reflects the mainstream trends of American architecture during the late nineteenth century and early twentieth century. Styles in the community range from the Queen Anne and Shingle Style to the Bungalow and Mission Style. A drive around the community can give one a fairly good picture of the development periods in the community.

As a winter retreat for northern visitors in the late nineteenth century, much of the architecture from that period reflect the smaller cottage styles of resort communities. This is most evident in the Queen Anne houses and the Shingle Style. Florida does not have a large number of examples of the Shingle Style and indeed the only places it is found is in the communities in the Ocala, Deland, Sanford and Orlando area with a few examples on the lower west coast. The presence of the style in Winter Park is important as a statement of the resort character of the community and the fact that it was settled by wealthy northerners who were the typical fanciers for the Shingle Style. Examples in Winter Park include the Comstock House and Pinehurst. Both buildings are exceptional examples of the style and are in relatively original condition.

Development in Winter Park after the turn of the century was steady and slow. The buildings from this period are mostly Colonial Revival two story homes and bungalows. The American bungalow was the most common house being built in America during that period and was made popular by its cheap cost and its presence in many mass house plan publications. Early forms seem to be a derivative of the Shingle style while the later versions dating from 1915 through 1930 are of varied types and forms and can be found in every part of Winter Park.

The 1920s in Winter Park saw extensive real estate development and continued use of the bungalow. At the height of the boom in 1925-1927, the Mediterranean Revival and the Mission style were most common. Several of the subdivision developments including Cloister Grove and Aloma promoted the use of this style in the tradition of many Florida developments of the period. The Mediterranean Revival along with the Georgian Revival and Tudor Revival were found along the lakes and on larger lots and estates. These were the homes of local business leaders and the wealthy northern winter residents. In the smaller subdivisions and land holdings the styles were usually bungalow or Mission style.

One outstanding local architectural development in Winter

Park occurred in the period after the scope of this survey. James Gamble Rogers practiced as an eclectic architect in the Beaux Artes style in Winter Park from the 1930s through today. He was a master in the development of rustic looking Tudor Revivals and Colonial Revival architecture on large estates. His houses have distinctive washed brick, hewn wood timbering and steep wood shingles roofs. The plans are freeflowing and tend to sprawl over their lots with oblique angles and a feeling of blending into their enviroment. They are some of the best architecture found in Winter Park from that period and should be considered important architectural landmarks.

## BUNGALOWS

The bungalow probably became the most widespread housing form used in America in the early part of this century. Its origins are in the evolution of housing form and design which emerged from the late nineteenth century victorian architecture particularly the development of the Shingle Style, Queen Anne and other eclectic designs. This particular form traces its roots to the architecture of several architects in California at the turn of the century including two brothers Charles Sumner Greene and Henry Mather Greene. Their designs were influenced by oriental, Swiss and American architecture. The initial work by these architects involved highly sophisticated homes of the wealthy and involved the incorporation of local materials such as redwood and rock. Their intent was to develop houses which reflected the natural environment of California.

The work by Greene and Greene became the influence for the development of mass consumption of the bungalow as an inexpensive housing form available to the general public and which supported the development of suburban residential areas. As early as 1906, plan books published by Sears and Roebuck and Montgomery Wards featured designs which incorporated the open plans and low gable features of the Green and Greene designs. Fred T. Hodgson who provided standard house plans for both mail order companies wrote in 1906 about the bungalow:

The more one becomes familiar with the buildings which have been erected in California of late years, the more one comes to appreciate the architectural value for its own purpose of the California Bungalow. It is not too much to say that these bungalows are on the whole the best type of cheap frame house which has been erected in large numbers in this country since the old New England farmhouse went out of fashion.

The popularity of the style quickly spread across the nation into every community through major magazines such as House Beautiful, Good Housekeeping, Ladies Home Journal, and Country Life in America. Plan book after plan book came out between 1903 and 1930 which featured these houses. Some were ordered as kits from mail order companies and others were built by local builders using the plans from the books.

The bungalows of Winter Park are typically one story, gable frame structures which date from about 1915 through around 1930. These houses have porches of one or two bays covered by a gable roof supported by square, tapered wood posts on brick bases and brick balustrades. The windows are generally paired or grouped with 3/1 double hung sash, multiple/1 double hung sash, or wood casements. By the late twenties, window types changed to 6/1 double hung sash. The houses had typical wide eaves, flat

bargeboards with diamond shaped blocks resembling ends of rafters attached and in many cases large brackets. Most of the bungalows had fireplaces which became as much a design feature as a functional part of the home.

There are five major types of bungalows in Winter Park. Two types are important examples of the transitional nature of American vernacular housing design in the late 1920s. This transition was from the eclectic tradition which had survived in many forms since Colonial days to a more clean and less decorative form - yet the loss of decoration did not alter the already open and more informal plans of the bungalow.

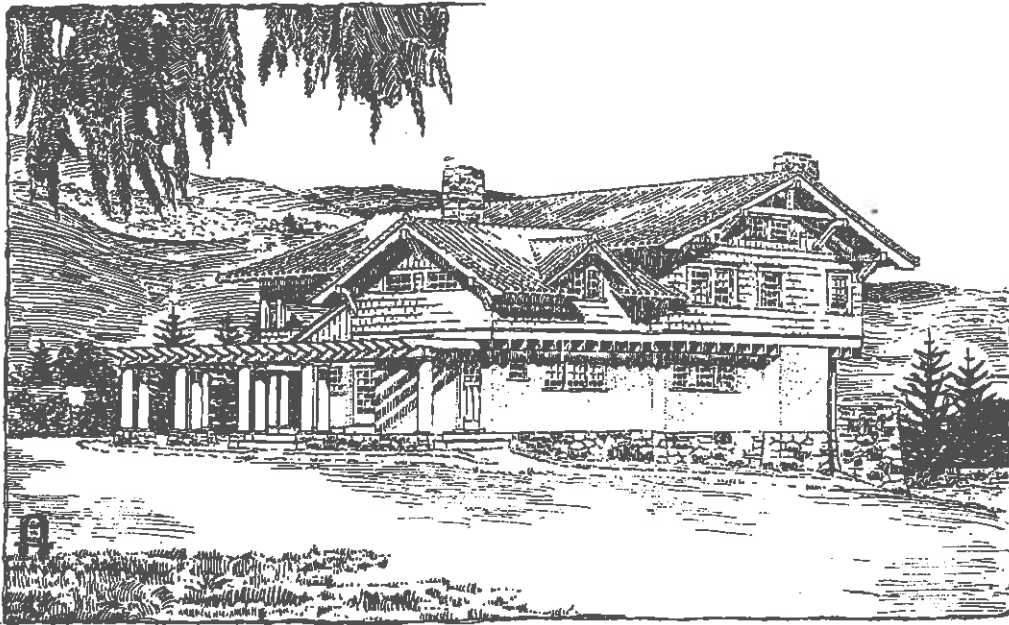


FIGURE 22. THE "ULTIMATE" CALIFORNIA BUNGALOW  
THE CRAFTSMAN MAGAZINE - 1909



FIGURE 23. 731 FRENCH AVENUE

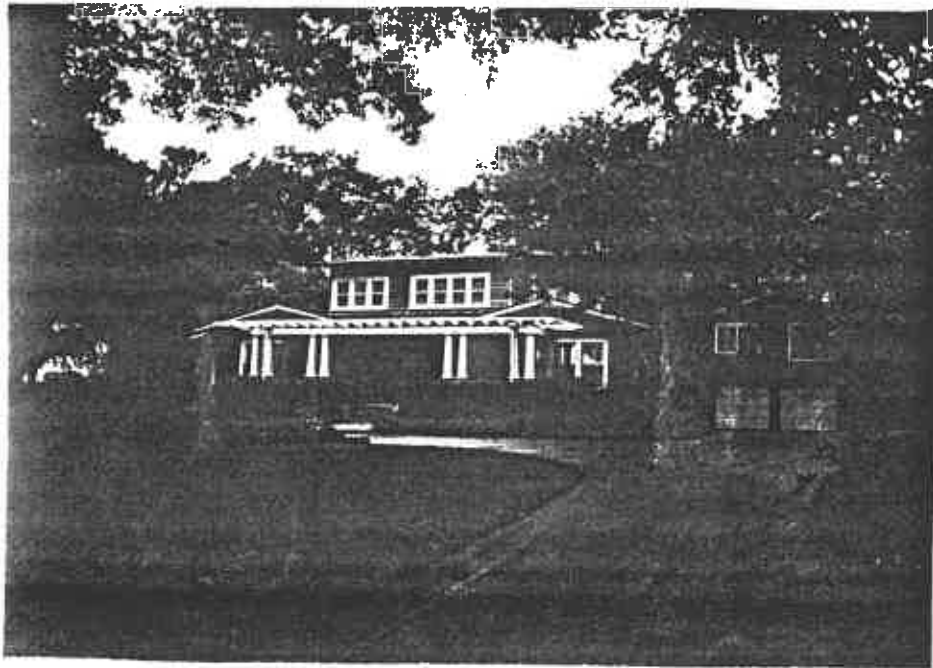


FIGURE 24. 1035 LAKEVIEW AVENUE



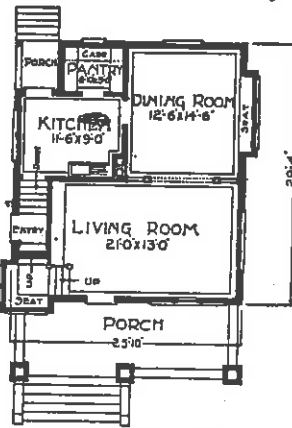
BUNGALOW TYPE I

The Type I Bungalow is the hip roof form. It consists of a single story house with a low hip roof. There is usually a low hip dormer on the facade which is two bay. Most distinctive is the inset verandah across the facade. There is a variation of the Type I which is generally the same but incorporates an attached porch instead of an inset version.

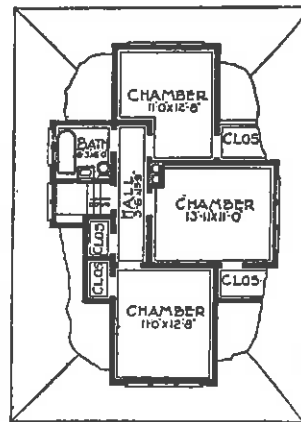


**"HONOR BILT" MODERN HOME No. 257**

**\$1,543<sup>00</sup>**



*First Floor Plan.*



*Second Floor Plan.*

\$2.00 buys the complete plans, specifications and bill of material for this house. \$1,543.00 pays for all of the material, with the exception of cement, brick and plaster, for this house, when purchased from us.

**SEARS, ROEBUCK  
AND CO.**



**CHICAGO,  
ILLINOIS**

**FIGURE 25. BUNGALOW TYPE I  
TYPICAL PLAN**



FIGURE 26. 511 MELROSE AVENUE



FIGURE 27. 650 MINNESOTA AVENUE

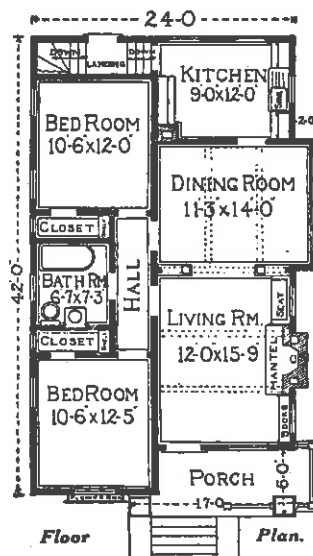
BUNGALOW TYPE II

The most common bungalow in Winter Park is the Type II. This structure is characterized by a front facing gable roof. One or more gables project from the facade usually over an open porch which is set to one side. These houses have a narrow plan with a living-dining room combination and kitchen on one half with the bedrooms and bathroom on the other. Decorative treatment ranges from simple brackets and open eaves to elaborate bargeboards, complex brackets and open post and lintel systems.



**"HONOR BILT" MODERN HOME No. 2018**  
 "Already Cut" and Fitted.

**\$1,289<sup>00</sup>**



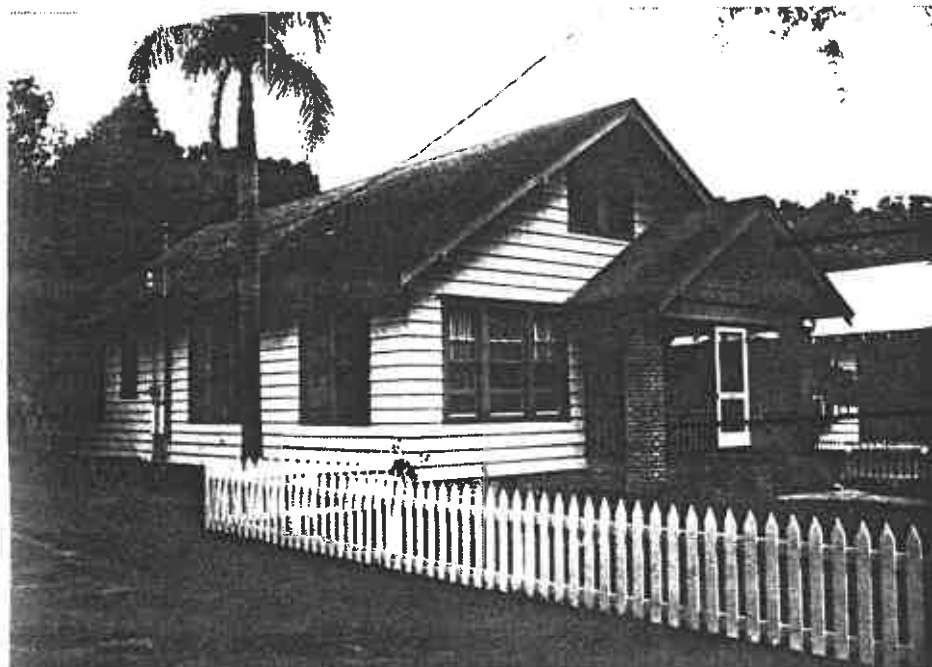
\$2.00 buys the complete plans, specifications and bill of material for this house. \$1,289.00 pays for all of the material, with the exception of cement, brick and plaster, for this house, when purchased from us.

SEARS, ROEBUCK  
AND CO.



CHICAGO,  
ILLINOIS

FIGURE 28. BUNGALOW TYPE II  
TYPICAL PLAN



FRONT GABLE

SQUARE OR TAPERED  
COLUMNS OR PIERS

FIGURE 29. 865 PENNSYLVANIA AVENUE



FIGURE 30. 320 HOLT AVENUE

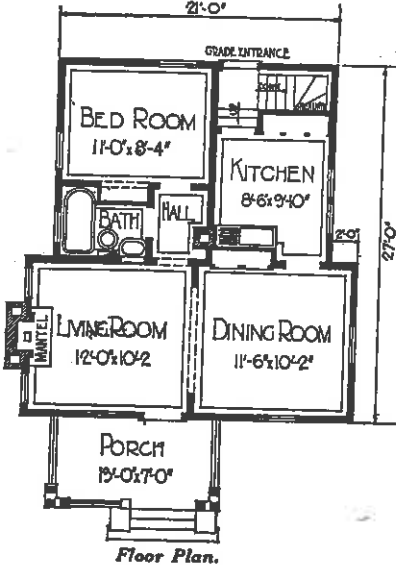
BUNGALOW TYPE III

The Type III bungalow has the gable parallel to the street over an almost square form. The floor plans of these houses are much more varied and open. A gable projects from the facade of the house over an open porch which is many time screened. Bungalow details are still present and the use of materials continues to vary from wood to concrete block. These houses were generally constructed on larger blocks.



**"HONOR BILT" MODERN HOME No. 2091**

"Already Cut" and Fitted.



**\$903<sup>00</sup>**

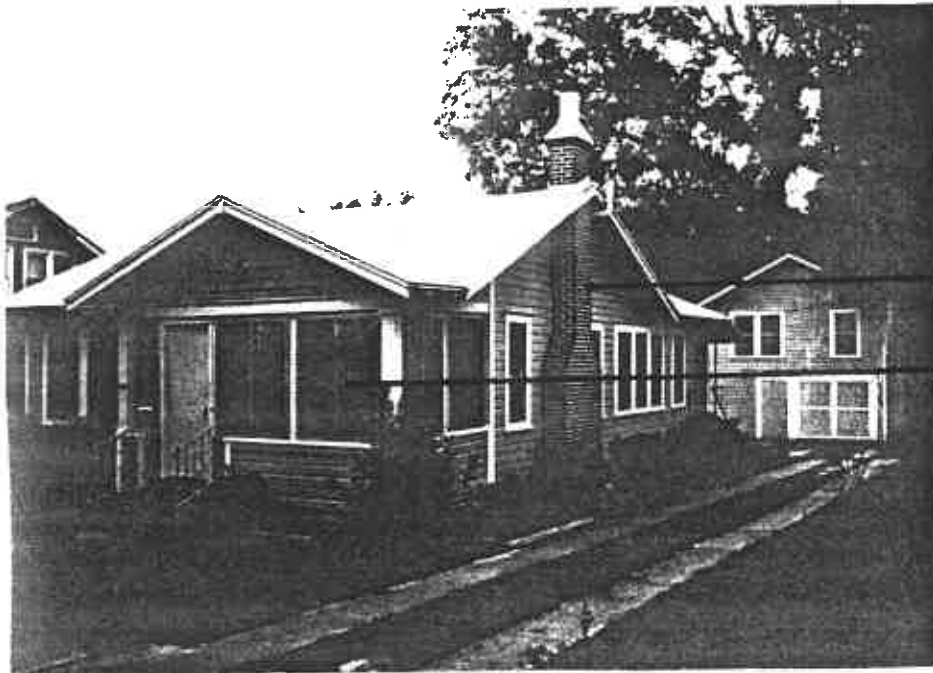
\$1.00 buys the complete plans, specifications and bill of material for this house. \$903.00 pays for all of the material, with the exception of cement, brick and plaster, for this house, when purchased from us.

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ILLINOIS**

FIGURE 31. BUNGALOW TYPE III  
TYPICAL PLAN



SIDE GABLE

PROJECTING PORCH

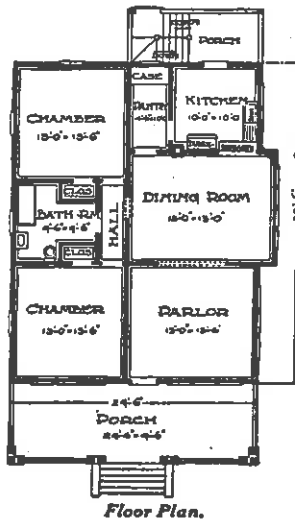
FIGURE 32. 1151 PENNSYLVANIA AVENUE

BUNGALOW TYPE IV

The Type IV Bungalow is a large one and one half story house. The gable is parallel to the street and incorporates a dormer, usually shed. The verandah is inset under the main roof and supported by tapered posts.



**"HONOR BILT" MODERN HOME No. 2025**  
"Already Cut" and Fitted.



**\$1,653<sup>00</sup>**

\$1.00 buys the complete plans, specifications and bill of material for this house. \$1,653.00 pays for all of the material, with the exception of cement, brick and plaster, for this house, when purchased from us.

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ILLINOIS**

FIGURE 33. BUNGALOW TYPE IV  
TYPICAL PLAN

DORMERS



SIDE GABLE

RECESSED PORCH

FIGURE 34. 1034 ALOMA AVENUE

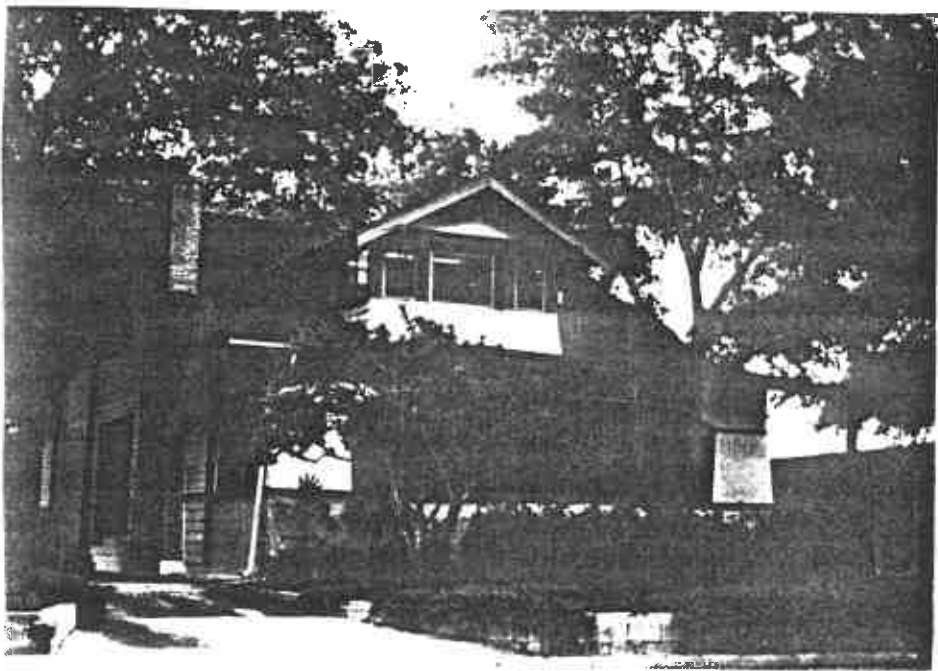
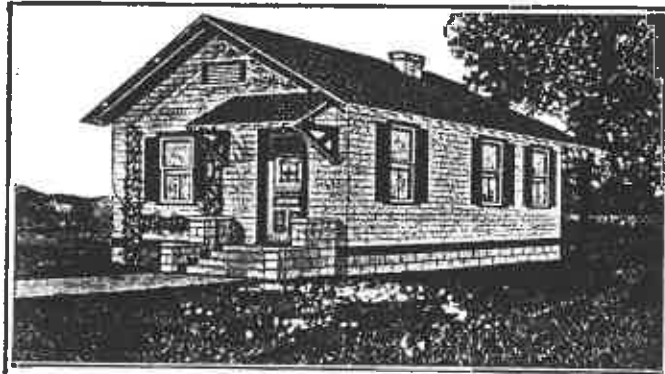


FIGURE 35. 820 DENNING AVENUE

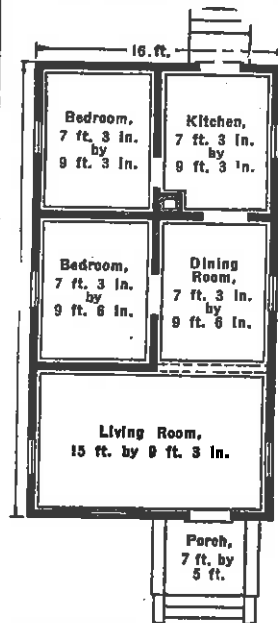


BUNGALOW TYPE V

There are great similarities between the Type II and the Type V bungalows. The only major distinction is the lack of additional gables on the facade in the Type V. The porches are many times incised under the main gable or there is a small stoop or attached open porch of only one small bay.



**"HONOR BILT" MODERN HOME No. 2030**  
 "Already Cut" and Fitted.



**\$562<sup>00</sup>**

\$1.00 buys the plans, specifications and bill of material for this house. \$562.00 pays for all of the material, with the exception of cement, brick and plaster, for this house, when purchased from us.

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FIGURE 36. BUNGALOW TYPE V  
TYPICAL PLAN

FRONT FACING  
GABLE

ATTACHED PORCH



FIGURE 37. 811 COMSTOCK AVENUE

HALF-TIMBERING

RECESSED PORCH

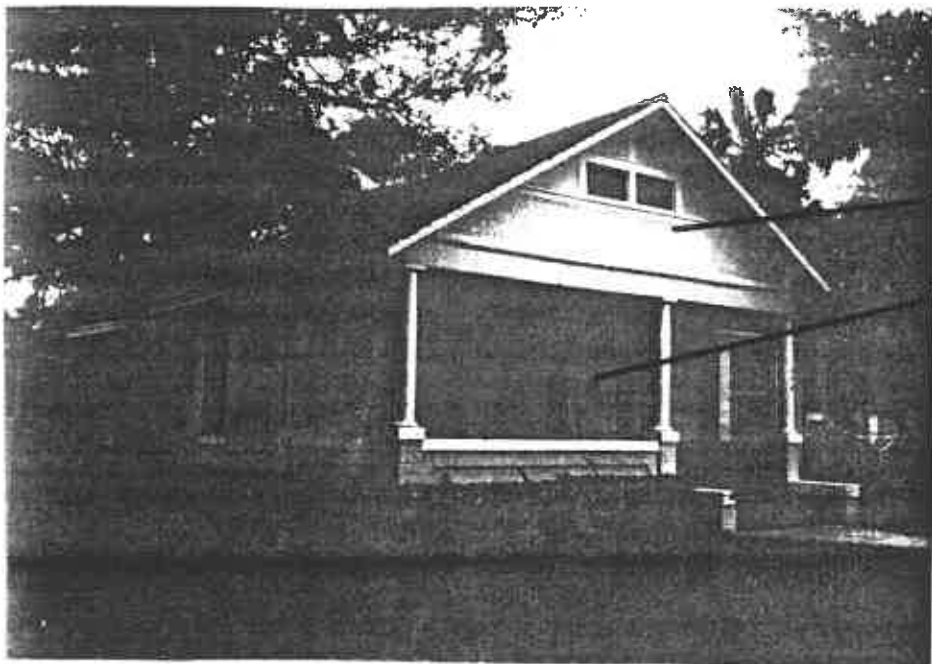


FIGURE 38. 496 FAIRBANKS AVENUE

## COLONIAL REVIVAL

The bungalow was probably the epitome of the popular acceptance of contemporary house design and form in America. The Colonial Revival designs which became popular in the 1910s and even more in the 1920s indicate the trend in American architecture to maintain the more conservative, Eastern traditions. Many eastern architects never fully accepted the more contemporary movements of mid West architects such as Frank Lloyd Wright and the Greene and Greene brothers. They developed a parallel architectural theme involving the revival of the architectural forms from Colonial days including Adam, Federal and Georgian Styles. Various elements were combined in these styles to create a new style which had been termed Colonial Revival.

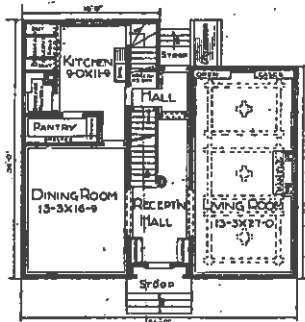
Again these styles became popularized through magazines and plan books featuring these styles. It appears from several surveys in Florida that the presence of these homes in a community are an indicator of the presence of strong conservative and business interests. They did not have the image of cheapness as with the bungalow although most were built with the same technology.

The Colonial Revival was a major picturesque influence in Winter Park. These homes generally date from the late 1910s throughout the 1930s. They were formal and balanced in their design and plans in marked contrast to the bungalow. Many have central stair halls and more formal room layouts. Winter Park has four major Colonial Revival types. They generally have gable ends of brick, stone, or wood. Small classical columns were generally used on small porches. Stylized colonial frontispieces are the only other decorative feature on the otherwise plain exteriors.

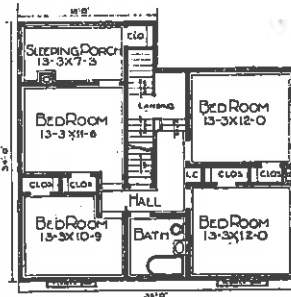


**"HONOR BILT" MODERN HOME No. 2092**  
*"Already Cut" and Fitted.*

**\$2,533<sup>00</sup>**



*First Floor Plan.*



*Second Floor Plan.*

\$5.00 buys the complete plans, specifications and bill of material for this house. \$2,533.00 pays for all of the material, with the exception of cement, brick and plaster, for this house, when purchased from us.

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**FIGURE 39. COLONIAL REVIVAL  
TYPICAL PLAN**

COLONIAL REVIVAL-THREE BAY

The first form of the Colonial Revival features a central entrance or a side entrance. The facade consists of three bays with paired double hung sash windows on either side of a central entrance or to the side of the side entrance. Shutters are common as a decorative reference to Colonial times but which are universally non-functional. The materials used in these houses ranged from wood frame clapboards to hollow tile and stucco. The 1920s were a time when there was increasing use made of hollow tile. This tile is usually associated with the Mediterranean Revival, but was used extensively in many styles. The finishes were generally stucco and sometimes brick veneer. Again the architectural detailing was limited to a simple frontispiece, boxed eaves, and simple Colonial details on the interior.



FIGURE 40. COLONIAL REVIVAL-THREE BAY  
TYPICAL PLAN



SMALL PORTICO

THREE BAY FACADE

SUN PORCH

FIGURE 41. 1608 ALOMA AVENUE



SHED DORMER

GAMBREL ROOF

FIGURE 42. 455 MELROSE AVENUE

COLONIAL REVIVAL FIVE BAY

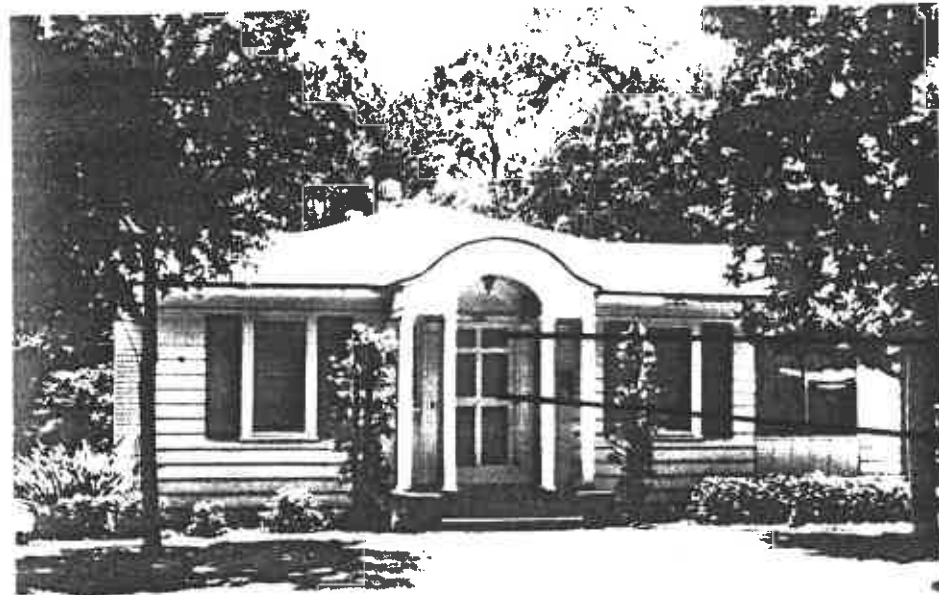
The second type of Colonial Revival house found in Winter Park is the five bay house. It shares the same lack of decoration as the other two story type but is generally wider than the other examples. The facade of these houses consists of a central entrance with frontispiece or recessed porch which is flanked by two double hung sash windows. Often there are sun porches extending from one or both sides of the houses.



FIGURE 43. 858 GOLFOVIEW

COLONIAL REVIVAL BUNGALOW

The other variant is the one story Colonial Revival. This style began to evolve in the 1920s from the smaller bungalows and can be easily seen in Winter Park where two house have similar plans and age yet one has bungalow detailing while the other one has Colonial columns, pediments, and 6/6 double hung windows. This shift in decorative treatment is consistent with the changing national taste and influence of home magazines such as Better Homes and Gardens.



THREE BAY FACADE

SMALL PORTICO

FIGURE 44. 1367 CANTERBURY ROAD





COLONIAL DETAILS

FIGURE 45. 1799 MIZELL

## COLONIAL REVIVAL-QUEEN ANNE TRANSITIONAL

As the twentieth century opened, American tastes began a shift away from the eclectic late nineteenth century victorian styles. The use of colonial decorative elements and forms became more common. Yet the irregular plans made popular in victorian era houses were retained. This plan was important for its adaptability and continued to be popular. The outside of the house was very different. The turned woodwork and Queen Anne bargeboards gave way to Colonial motifs. This is usually seen best in the porches where Tuscan style or Ionic style wood columns replaced turned posts. The gables usually featured a pedimented form and in many cases retained the wood shingles so common in the Queen Anne. The form applied to both one and two story houses and was most popular from 1890 through the late 1910s.

The characteristics of the style include the asymmetrical plan and wrapped verandahs. Many featured hip roofs which may have had intersecting gables which were pedimented. Exterior details include the use of Palladian windows or attic vents, dentiled cornices, turned wood porch columns with Tuscan or Corinthian capitals, and dormers. Porches and balconies featured fat, turned balusters. The interiors of these houses had irregular plans but featured simple baseboards and cornices. The main features were room dividers or fireplace mantles which features Colonial motifs.

Price of Plans and Specifications  
\$5.00



House Design No. 521

See opposite page for floor plans of this house

Full and complete working plans and specifications of this house will be furnished for \$5.00. Cost of this house is from about \$1,800.00 to about \$2,000.00, according to the locality in which it is built.

When designing our houses, we have kept in mind the fact that some day the owner may wish to get his money out of his home. We design only practical houses, out of which the owner can readily get his money.

FIGURE 46. COLONIAL REVIVAL-QUEEN ANNE TRANSITIONAL---TYPICAL PLAN



BOXED CORNICE

COLONIAL DETAILS

IRREGULAR PLAN

FIGURE 47. 567 OSCEOLA AVENUE

## MEDITERRANEAN REVIVAL

The Mediterranean Revival generally refers to architectural elements which were borrowed from the European Mediterranean countries. The appearance of the style in the late 1910s and 1920s was a part of the increased national interest in historical styles and architecture. Several excellent studies of the architecture of buildings in the Mediterranean regions appeared and architects who were trained in the Beaux Arts tradition began to experiment in the style. It first appeared in Miami about 1917 in a house produced by the firm of Kienal and Elliot of Pittsburg in the winter home of John Brinkley, "El Jardin". The style quickly became popular and was promoted as a very appropriate form for Florida given the climatic similarities with the older region and the state's Spanish heritage. The popularity also became important in Miami as northerners attempted to recreate the villas and ambiance found in the real Mediterranean regions which was unavailable to them due to World War I.

Winter Park was caught up in the Florida Boom in the mid-1920s and the presence of Mediterranean Revival buildings is symbolic of the wide spread effect the style had on Florida. The style is manifested predominantly in monumental buildings such as churches and schools. There are a few large homes which were built in the style. Buildings were built in this style into the 1930s and probably the most important collection of the style are the buildings which were built at Rollins College between 1930 and 1949 under the Holt administration. The college contains several excellent examples of the style including several buildings by Richard Kienal of Miami and the landmark Knowles Chapel, designed by nationally known architect Ralph Adams Cram.

The characteristics include the use of Moorish columns, barrel tile, gable and hip roofs, and multi-level designs. Loggias and arcades are common features with plans in ell or U-shape enclosing a courtyard. The exterior finishes are stucco. The walls can be decorated with cartouches, tile and terracotta. Highly decorated entrance door and window surrounds were common in these houses and featured Spanish, Italian, Moorish, Byzantine or Baroque motifs.



FIGURE 48. KNOWLES MEMORIAL CHAPEL

## MISSION STYLE

Like the Bungalow, the Mission Style traces its origins to California. It developed in that region as a response to a need to design buildings which were adapted to the local area. Architects developed the style based on studies of early Spanish mission buildings featuring adobe and stucco construction; Mexican or Spanish details; and open, spreading plans. Most importantly, the buildings were void of elaborate decoration and relied more on mass, arched openings, roof tiles, and shaped parapets. As with other styles in America, the original designs were monumental in scale but were soon adapted to mass distribution and cheap construction. In terms of plan, many of the homes reflect the same or similar open plans found in the bungalow and as such should be considered a part of the same trend in architectural development. The popularity of this style did not catch on until the mid 1920s when small houses were used widely in residential development in Florida.

The Mission Style was more popular in Winter Park than the Mediterranean style, even in larger houses. They are found in the same neighborhoods as bungalows and are associated almost exclusively with development from about 1924 through the mid 1930s. Several theme developments such as Aloma and Orwin Manor made widescale use of the small versions of the style in development.

These homes are usually hollow tile and stucco. They generally use the bungalow floor plan with parapet walls and barrel tile roofs. Roofs were either low sloped gables with barrel tiles or flat with parapets which were punctuated by small barrel tile pent roofs. The lack of external decorative detail is evident in these houses and seems less a function of the preference for the Mission than a part of the general movement among builders toward the more simple and less decorative lines.



FIGURE 49. BETTER HOMES & GARDENS, 1925



FIGURE 50. 1161 VIA SALERNO

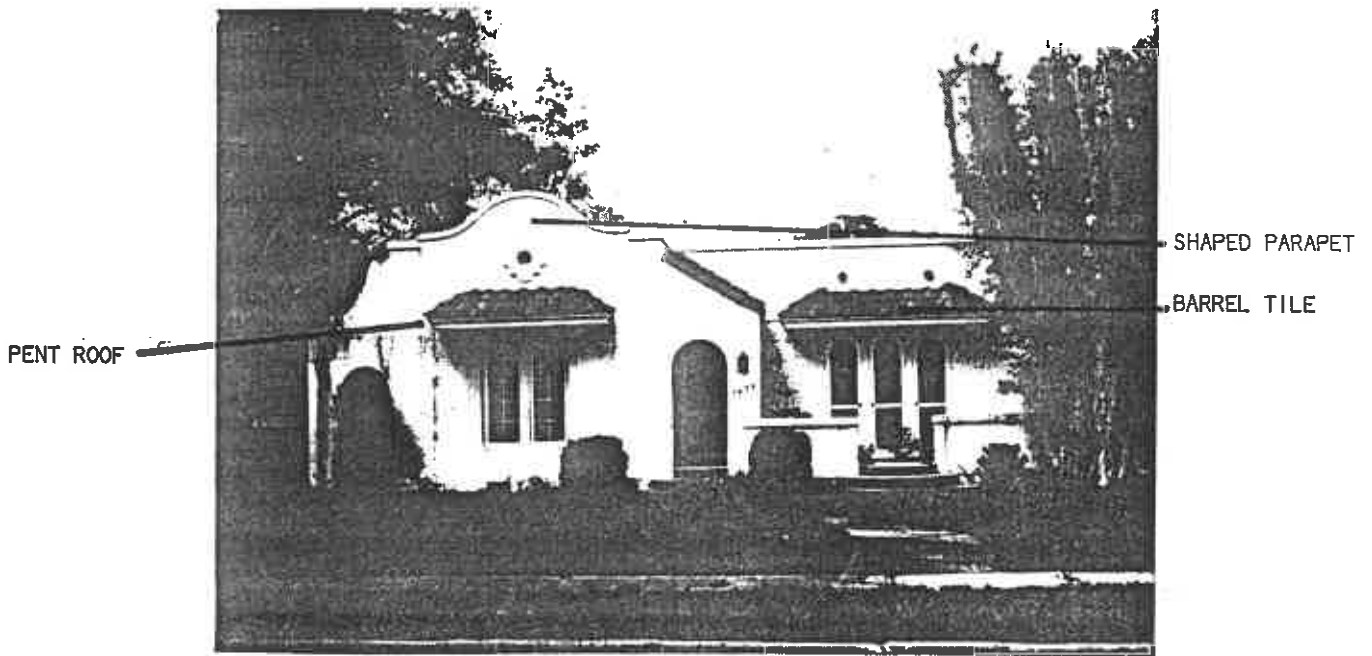


FIGURE 51. 1475 BERKSHIRE AVENUE

## TUDOR REVIVAL

The other large group of Eclectic houses in Winter Park are the Tudor Revival styles. These have been lumped together in one style but in fact there are many substyles such as English Country, French, Norman and Tudor. The style traces its origins to the late nineteenth century when architects borrowed late Medieval English house types and adapted them to large estate homes in the northeast. Again as the popularity of historical styles became popular and respectable the style became popular around the country.

The Tudor Revival did not appear in Winter Park until the 1920s and became even more popular in the 1930s. The houses tend to be fairly substantial and were popular in the same neighborhoods and area as were the Colonial Revival and Mediterranean Revival styles.

The style is characterized by irregular or modified ell shape plans with intersecting gable roofs. Many have wall dormers or roof dormers. The key elements in all of these houses is the almost universal use of brick in the construction with stucco and simulated half timbering in the gables. These houses also reflect the loss of the eave in house construction. Their sizes range from massive and elaborately decorated structures to simple, small cottages with mere hints at Tudor details.



FIGURE 52. BETTER HOMES AND GARDENS, 1925





STEEP ROOF

BAY OR BAY WINDOWS

FIGURE 53. PROUDFIT HOUSE  
407 MELROSE AVENUE



HALF-TIMBERING

GROUPED WINDOWS

FIGURE 54. 341 WEBSTER AVENUE

## HALL AND PARLOR

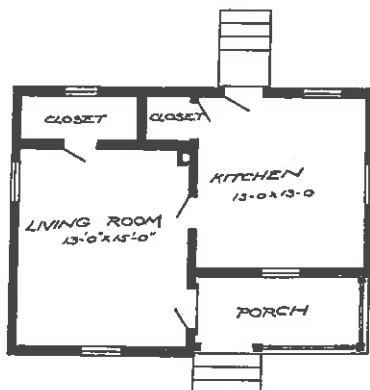
The hall and parlor house plan is a form which dates at least to the seventeenth century and which was common both in New England and the Tidewater south. The antecedents of this type are regarded to be of Medieval English folk housing. The house type became a very common form in the early settlement periods in communities in the nineteenth century. They were common in plantations and as black housing in post Civil War communities but were no less common in white areas of cities. In Winter Park the house form is definitely associated with the early settlement and pre-bungalow periods. The majority of the forms survive in the West Side area.

The most common type house built before the turn of the century was the frame hall and parlor house. It is characterized by a gable roof and, hall and parlor plan. They are one room deep and sometimes have an ell extending from the rear. The siding was board and batten at first and later the boards were drop siding. It is probable that this form evolved from log structures and may in many respects resemble the earlier houses. The windows were usually 2/2 DHS. This type had several variations where T-shape or L-shape houses evolved from additions being added.

An attractive home costs no more

than an old style box house.

Floor Plan of Design No. 534



Floor Plan

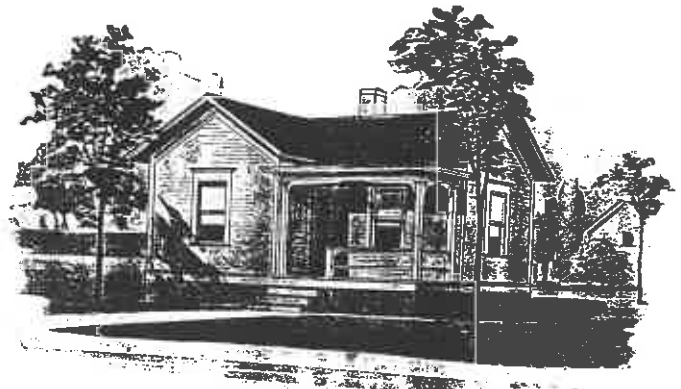
Size: Width, 27 feet 6 inches; length, 20 feet

See opposite page for perspective of this house

Blue prints consist of foundation plan; floor plan; front, rear, two side elevations; wall sections and all necessary interior details. Specifications consist of about fifteen pages of typewritten matter.

Read carefully on pages 4 and 5, under the title of "What We Give You." We state there in detail what we give you, both in blue prints and specifications. We also explain just how we bind them, and also give a description of the material we use.

Price of Plans and Specifications  
\$3.00



House Design No. 534

See opposite page for floor plan of this house

Full and complete working plans and specifications of this house will be furnished for \$3.00. Cost of this house is from about \$475.00 to about \$575.00, according to the locality in which it is built.

If you contemplate building, read carefully the preface of this book, under the subheads of "What We Give You," "Basis of Contract," "Free Plans for Fire Insurance Adjustment," "Estimated Cost," "Our Liberal Prices," "Our Guarantee," "Reversing Plans," etc.

FIGURE 55. HALL AND PARLOR  
TYPICAL PLAN

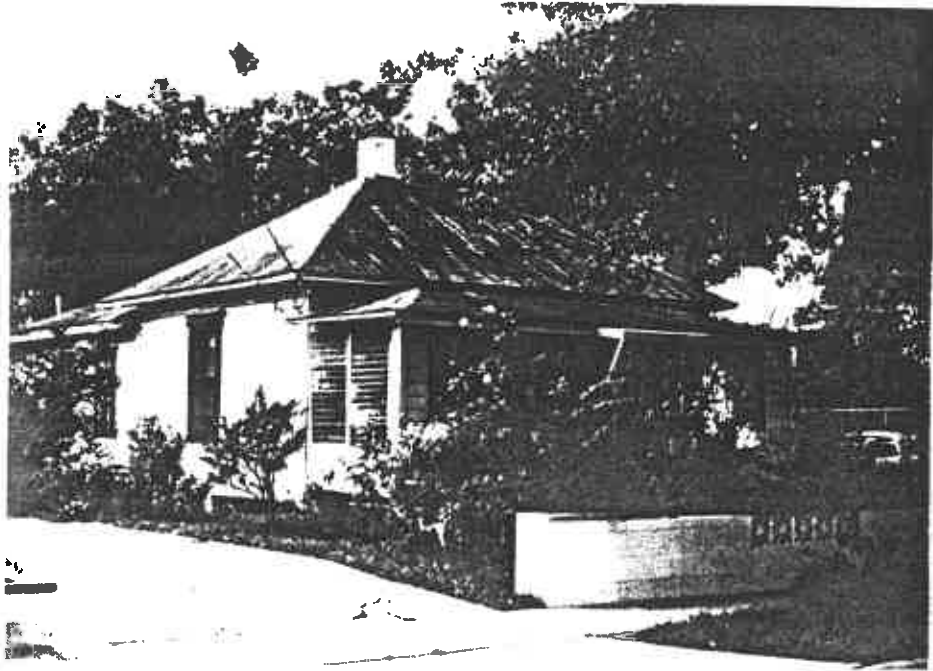


FIGURE 56. 665 LYMAN AVENUE



FIGURE 57. MORSE BOULEVARD

## I-HOUSE

The I-house was first identified as a folk housing form by geographers working in Indiana, Illinois, and Iowa, thus the name. This two story house form was common in New England and the Tidewater south. It became the standard two story house form found in pioneer areas in the late nineteenth century. It occurs all over Florida and has been modified by the incorporation, in many instances, of a T projecting from the front in addition to a projecting one story wing on the rear which formed the kitchen.

In many places in Florida one can find I houses. These are one room deep, two story gable roof structures. They usually have a central hall, two room design, although some have a hall and parlor plan. They usually have a single story verandah and a one story kitchen wing. Those without wings originally had detached kitchens. In some instances, the houses had small balconies in the center of the facade above the porch. These structures were generally built in the late nineteenth century.

A variation of the I-house is the T-shape I-house. This form involved the addition of a wing extending from the center of the main facade. Usually these were one story with a porch which wrapped around the T. This plan was the result of the need to add space to the house. In many cases, this was not an addition, but a decision reached in the initial building phase.



TWO STORY  
THREE BAY  
ONE ROOM DEEP

FIGURE 58. 218 NORTH PENNSYLVANIA AVENUE

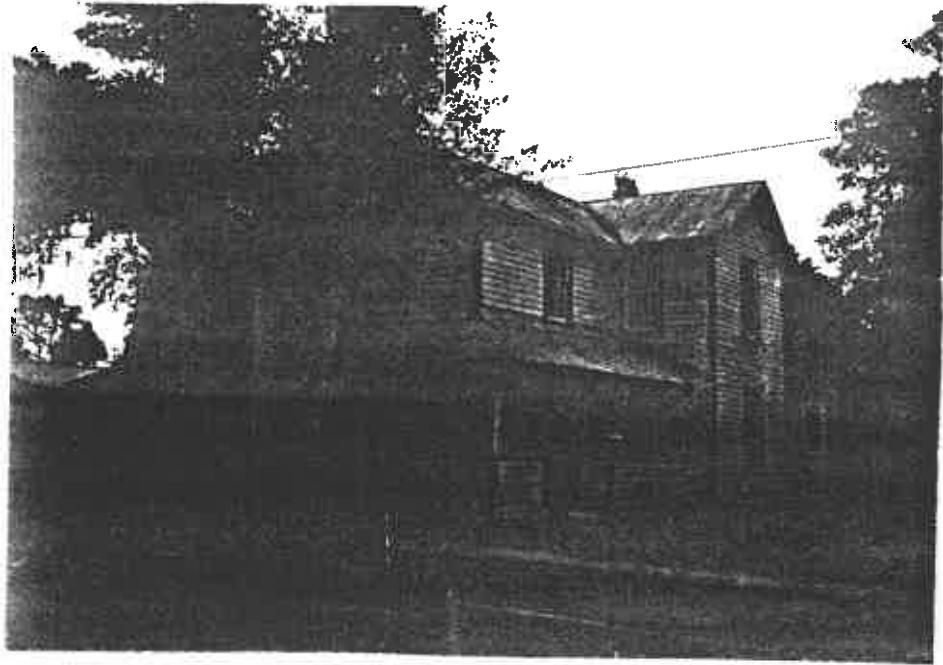


FIGURE 59. 413 CAROLINA AVENUE

## QUEEN ANNE

The most common late nineteenth century type of architecture found in Winter Park is the Queen Anne Style house. The basic house utilized an irregular or modified T plan of one room deep and large verandahs. It is probably no coincidence that an article in Lochmede appeared suggesting the use of this form of housing in Florida and Winter Park. In part the article stated that a simple and cheap house may be more comfortable than an expensive one. It went on to say:

In the first place see that the house contains what you want in the way of rooms, closets, etc., and that these are so arranged and connected as to be available for their several uses without interference with each other . . . as well as the fact warm weather will sometimes prevent the closing of doors, unless other means of ventilation be provided. This means that your house should be so arranged as to afford independent ventilation of the rooms except where open portieres are admissible, in as many directions as possible. A plan in the shape of a T or a cross with arms only one room in width answer this requirement very well and halls extending completely through the middle part of the house add much to the resources of the plan.

Provide piazza-room(porches) . . . and let the piazzas be of generous width and not too high in the opening, Design them for use and then make them look well afterwards . . .

Let all roofs project well over the walls of the house; two feet is not too much for a main roof or one foot for a piazza. In summer when the sun is hottest, it is nearly overhead during the middle of the day, that this projection will entirely shade the walls of the house for two hours or so when shade is most needed. . .

While this plan remains the same, several late nineteenth century styles were used to provide decoration. In Winter Park the most common type is the Queen Anne. This style is characterized by the use of steeply pitched gables and multiple types of siding usually a combination of wood shingles and drop siding. The porches feature turned posts and balusters with cut brackets and sometimes turned spindlebands. Gable ends feature decorative bargeboard trim and spindlework many times in a simulated wagon wheel or fan style.




FIGURE 60. OSCEOLA LODGE (1882)  
INTERLACHEN AVENUE



FIGURE 61. PINEHURST (1886)  
ROLLINS CAMPUS HORSESHOE  
HOLT AVENUE

## PRAIRIE SCHOOL

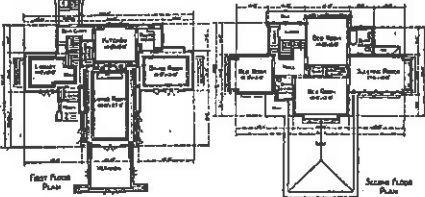
The Prairie School vernacular is a simple house which has certain elements which reveal the influence of the Prairie School without being really developed. The style developed in Chicago and developed under the leadership of Frank Lloyd Wright. As with the bungalows, this contemporary style appeared in magazines and plan books which carried the house plan throughout the United States. The influence of the style was dramatic and widespread, nearly as pervasive as the bungalow. The difficulty in typing this house is that it became mixed up in the Colonial Revival styles and simple vernacular houses which only carried hints of the influence. Yet for this survey and to add to our understanding of the development of the style we have classified many vernacular versions of the style in this survey. Indeed, there are a very few pure examples of the style in Winter Park but a large number of houses and commercial buildings which owe their features to this architectural movement. The house is characterized by a low hip roof with low hip dormers. The windows are paired and usually set in a two bay arrangement although a three bay arrangement with a central bay incorporating a pivot or casement window occurs. The porches are low hip roof, single story. The roofs are supported by either tapered wood columns on brick pedestals or large, square masonry pillars. The siding is usually clapboard, but shingles were used on several houses of this type as was stucco.



**"HONOR BILT" MODERN HOME No. 3002**

**\$4,390<sup>00</sup>**

For All the Material "Already Cut" and Fitted.



\$10.00 buys the complete plans, specifications and bill of material for this house. This includes specification and guaranteed price for the material to build it.


**SEARS, ROEBUCK AND CO.**  **CHICAGO, ILLINOIS**

FIGURE 62. PRAIRIE SCHOOL  
TYPICAL PLAN



LOW HIP ROOF

PAIRED OR GROUPED  
WINDOWS



WIDE BOXED EAVES

HORIZONTAL BANDS

FIGURE 63 292 SYLVAN AVENUE



DIFFERENT MATERIALS

GROUPED WINDOWS

FIGURE 64 WEBSTER AVENUE



FIGURE 65. 206 SOUTH PARK AVENUE

## ART DECO

The Art Deco movement was a major architectural influence in the 1930s through the 1950s in Florida. The style owes its roots to a design by Eliel Saarinen for the headquarters of the Chicago Tribune. His design won second place but became a widely praised Art Deco work which created an interest among American architects in the style. During the 1930s, the advent of streamline design in industrial products such as airplanes, ships and automobiles influenced the design of buildings. These structures were considered very progressive and became a very popular idiom. Miami Beach has one of the very best concentrations of such buildings in the United States.

The style appears in several house and the Parkaire Apartments in Winter Park. While such designs were not widely popular in this community there are several excellent examples.

The style is characterized by smooth stucco walls with flat roof and shaped or curved walls. The used of simple railing designs which incorporated shapes and curves were also a common feature. The Moderne examples used horizontal grooves, lines and balustrades for decoration. Glass block became very common. The Art Deco designs used stylized geometric designs, zigzags, chevrons, vertical projections and low relief designs.

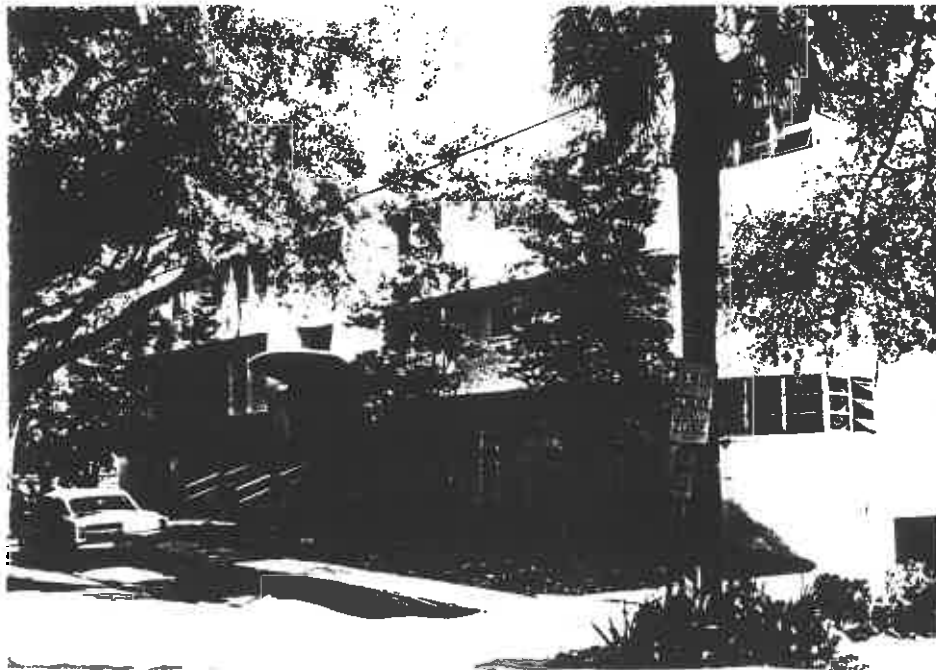


FIGURE 66. 640 PARK AVENUE

## INTERNATIONAL STYLE

The International style developed in Europe among architects who were avoiding the use of historic styles as in America in the 1930s. Architects such as Walter Gropius, Mies van der Rohe and LeCobusier all explored technology and materials in search of new building forms. Their work began to influence American design as many of these designers came to America to escape the political pressures in Germany as Hitler rose to power. The main premise of the style was the use of a structural steel skeleton covered by a thin, non-structural skin. Large expanses of curtain or glass walls were used.

Again Winter Park was not a leading center for the used of this work, yet there are several examples of the style in the community. The designs generally date to the 1950s which is beyond this survey but are still important architectural resources in the community.

This style is characterized by simple rectangular structures with flat roofs. The walls are smooth and broken bay large expanses of glass or glass blocks. Some of the roofs are cantilevered. Some residential designs in fact use a steel skeleton with glass curtain walls.

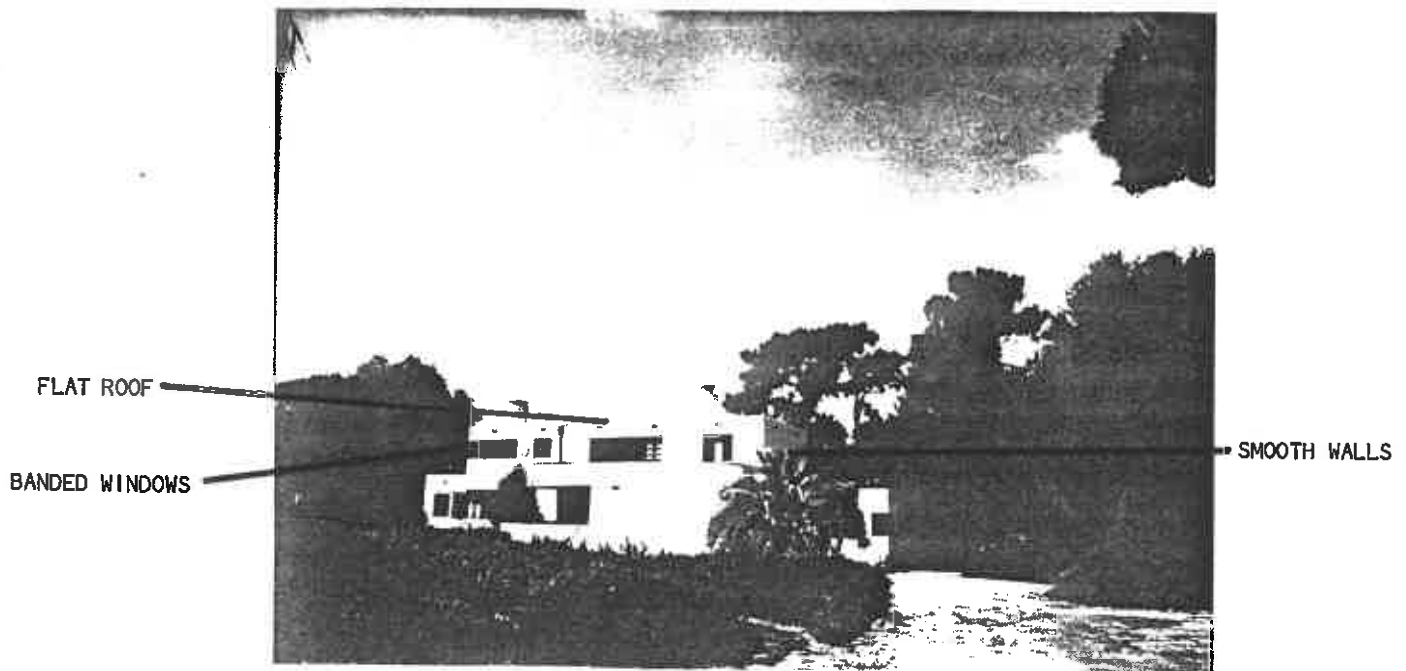


FIGURE 67. 1551 VIA TUSCANY

## RESULTS OF THE SURVEY

The Winter Park Historic Survey involved over 510 buildings and a number of potential sites in the Winter Park area. It was determined that about 373 sites were of sufficient historically significant and eligible for listing in the Florida Master Site File. In addition, four historic neighborhoods were recorded. These contained about 94 contributing sites which were recorded on Florida Master Site File forms.

The survey identified a varied range of buildings dating from the 1880s through the 1930s. Many were examples of a significant style or work of an important architect. Several of the buildings which were identified in the 1977 survey were revisited. A few commercial buildings associated with the development of East Park Avenue were recorded as well as several early apartment buildings. A major resource to the community is Rollins College which consists of a large number of buildings which date from the college's earliest days through today.

One fact that stood out in the survey was the lack of locational continuity among the sites. Most of Winter Park's neighborhoods date to the 1920s, but many were not completed until well into the 1960s. As such, older residences and bungalows are interspersed with newer houses. Most of the structures do not meet any acceptable criteria other than age for preservation and age alone is not sufficient to create significance. Most are typical examples of the Mission, Bungalow or Colonial Revival styles.

Yet these very neighborhoods have an infrastructure which is visually and, it could be argued, of historical importance to the community. Such infrastructure include matured tree lined streets, brick streets, old streetlights which were a part of the original white way, and even sidewalks.

Of course one of the most important resources in Winter Park is the Rollins College Campus. This complex certainly qualifies as a historic district eligible for listing in the National Register of Historic Places. The complex contains the earliest buildings associated with the college as well as later buildings. The work of notable architects such as Ralph Adams Cram, James Gamble Rogers II, and Richard Kienel are present on the campus.

Another important resource which distinguished Winter Park from many communities is the survival of large lake front estates. These complexes date from the earliest period in the town's history with others dating to the 1920s and 1930s. These large estates containing important houses, are associated with

important local individuals, and form a vista and feeling along the lakes which has been lost in many Florida communities. In fact, the area along North Interlachen could quite possibly qualify as a National Register Historic District.

There are significant individual examples of architectural development within the community. The William Comstock House is one of the best examples of the Transitional form of the Shingle Style in Florida and is listed in the National Register of Historic Places. There are several homes designed by noted local architect James Gamble Rogers II which are of major local significance. Osceola Lodge, the former home of Charles H. Morse, is a fine example of the Queen Anne influence but is extremely more important for its interiors which were modified in the early part of this century to conform to the Craftsmen Style influence. In addition to a significant Craftsman design the house contains important Craftsmen furniture. Individually on the Rollins Campus the Knowles Chapel is highly significant as the only building designed by Ralph Adams Cram in the southeast. In addition, Pinehurst Cottage on Rollins Campus is the oldest surviving building on the campus and an excellent example of the Queen Anne style.

Several neighborhoods were considered to be of local historic significance. The most concentrated and important is Virginia Heights. This subdivision was one of the early ones developed in the 1920s on the south side of Lake Virginia. It has the largest concentration of period houses in the community. More importantly it contains representatives of every economic scale and architectural style built in Winter Park. It should be considered as the primary historic neighborhood in the community. Others identified include Golfview Parkway/Interlachen Avenue, portions of the north shore of Lake Osceola, and Orwin Manor. Orwin Manor was a significant development but unfortunately the number of new houses outnumber the older ones and thus makes it difficult to classify as a historic district.

The survey also has inventoried several structures and sites. The most important site is probably the Mizell homestead which was an early homestead associated with one of Orange County's most important early settlers. Structures located in the survey included one bridge, a city pump house, several parks, and remnants of the original white ways. Portions of several early groves including the Mizell and Temple Groves were also located.

The list of sites recorded in the survey is divided into three categories for the use of the city in planning and management:

#### NATIONAL REGISTER ELIGIBLE

These resources are either individually listed presently or may be eligible for listing in the National Register of Historic

Places. As such, the owners and the city should be careful to consider these resources when planning to undertake any project which could affect the resource and which involves Federal funding, permitting, or licensing.

#### LOCAL LANDMARK STATUS

These resources were evaluated as significant locally in the contexts set forth in the survey criteria. This designation does not automatically mean that the city should designate them as local landmarks. It does indicate that in our opinion these resources could be appropriately designated as local landmarks under an local landmark ordinance. This designation should only be made after appropriate public review and an historic structures report is completed on each site. It is also appropriate that city consider all of these resources as important for the purposes of planning and the development of the Comprehensive Plan.

#### CONTRIBUTES TO AN HISTORIC DISTRICT

These buildings are not individually significant and should not be regarded as such in the city's landmark program. They are, however, buildings which are essential to the continuity and quality of the district. This is determined by age, integrity, and historical fact. These buildings should be only a part of the formal process for the establishment of a district under the local ordinance. Those buildings located in the Virginia Heights and Rollins College Districts should be considered eligible for the National Register since they are components of districts which are considered eligible for listing in the National Register of Historic Places.

#### OTHER SITES

There were many more resources recorded and evaluated in the survey which are not significant at this time. This is not to imply that as more information is available or as new contexts are developed by the community that these would not become important. Most of those included in this category are either simple, isolated houses which have no architectural significance or which have been extensively altered so that they have probably lost their significance.

#### NON-SURVEYED BUILDINGS

This survey did not cover buildings constructed between 1930-1940. There are many excellent examples of architecture and homes associated with important individuals which date from this period. In fact, this period is probably as important as the early settlement period. These buildings should be surveyed at

some point in the future and should be considered when the landmarks program is implemented.

This survey is also important for what was not found. Unfortunately, most of the best early homes built in the town have already been demolished. All of the early packing houses and the railroad depot have been destroyed. The survey did not include an archaeological component, yet the large number of lakes in the area would suggest that there must be some aboriginal remains in the area. This should be the object of a survey effort on the part of the city.



## RECOMMENDATIONS

This survey included the development of a draft historic preservation plan for Winter Park. That report is attached to this document and forms the major recommendations for preservation in the community. However, there are several specific recommendations which need to be made here in order to reinforce their importance to the city.

1. The city should continue the operation of a historic preservation commission which would have the responsibility of continuing the recognition program.
2. At this time it seems that the city is in greater need of a landmarks program more than a historic district program. The most significant resources in the community are individual buildings which merit protection. The list of significant buildings recorded in the survey will form the basis of buildings which should be designated a landmark.
3. The Rollins College Campus should be nominated to the National Register of Historic Places as a historic district.
4. Osceola Lodge and its surrounding complex should be Nominated to the National Register of Historic Places.
5. At some point in the future, the works of James Gamble Rogers II should be considered for inclusion in a thematic nomination to the National Register of Historic Places.
6. Winter Park should conduct a survey of archaeological resources to determine the location and extent of that resource. It may be possible that staff and students at Rollins College could conduct such a project with funds from the Division of Historic Resources.
7. The Rollins College Board of Trustees should consider the development of a specific historic preservation plan for the campus. Most of the buildings there are of historical importance to the campus and a specific plan for their use and renovation should be considered. It is more important for the board to set policies governing the preservation of the campus than for the city to undertake such designation. It would seem to be too late in the game for adequate preservation alternatives to be considered by the time the City would become involved.

8. The city should undertake a survey of the buildings constructed in the 1930-1940 period. This project could probably be adequately undertaken by the landmark commission since there is ample information available in Winter Park Topics about many of the significant houses and architects in the community.

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Lochmede.

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SITE MAPS

UNINCORPORATED AREAS  
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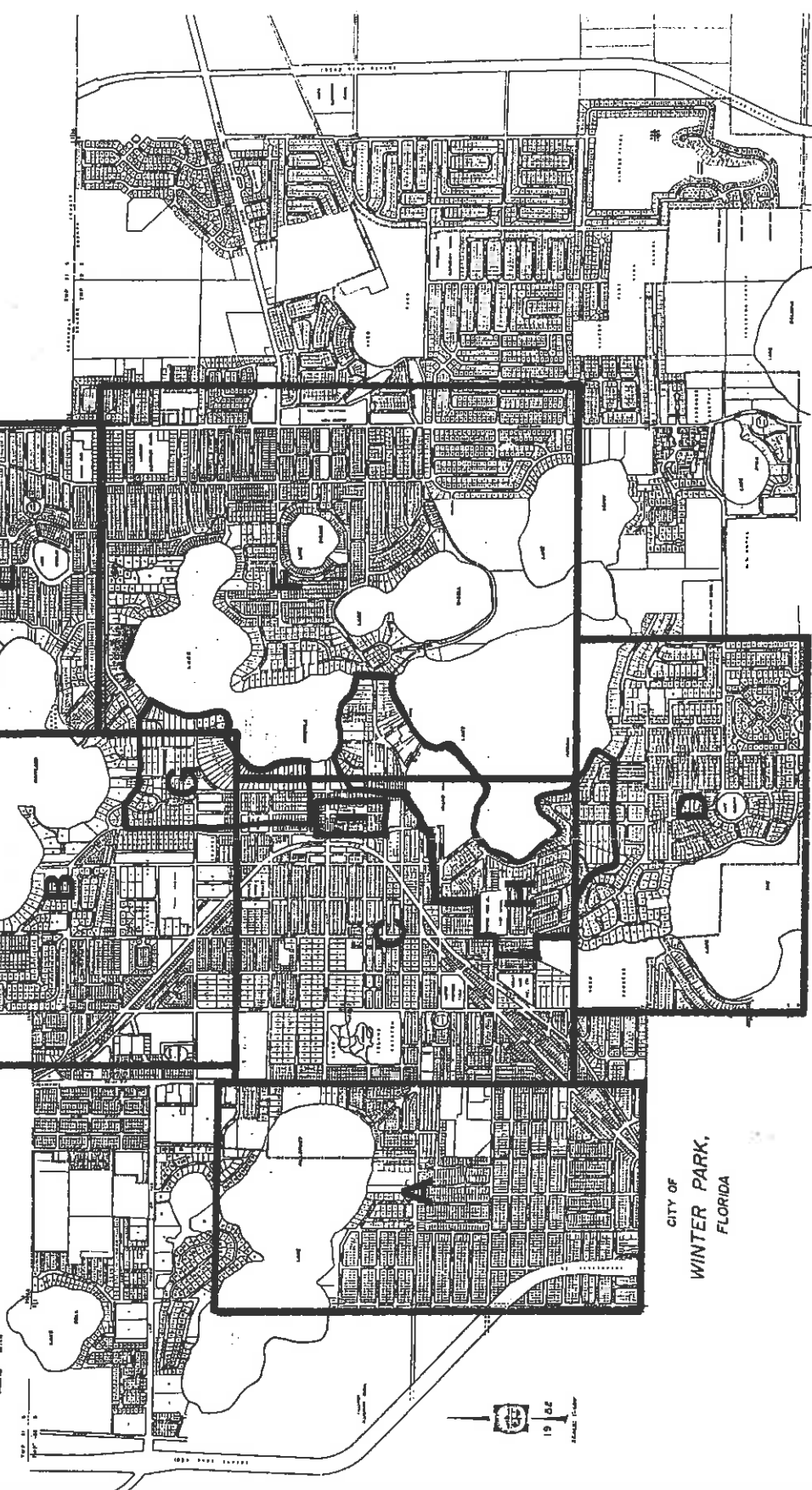
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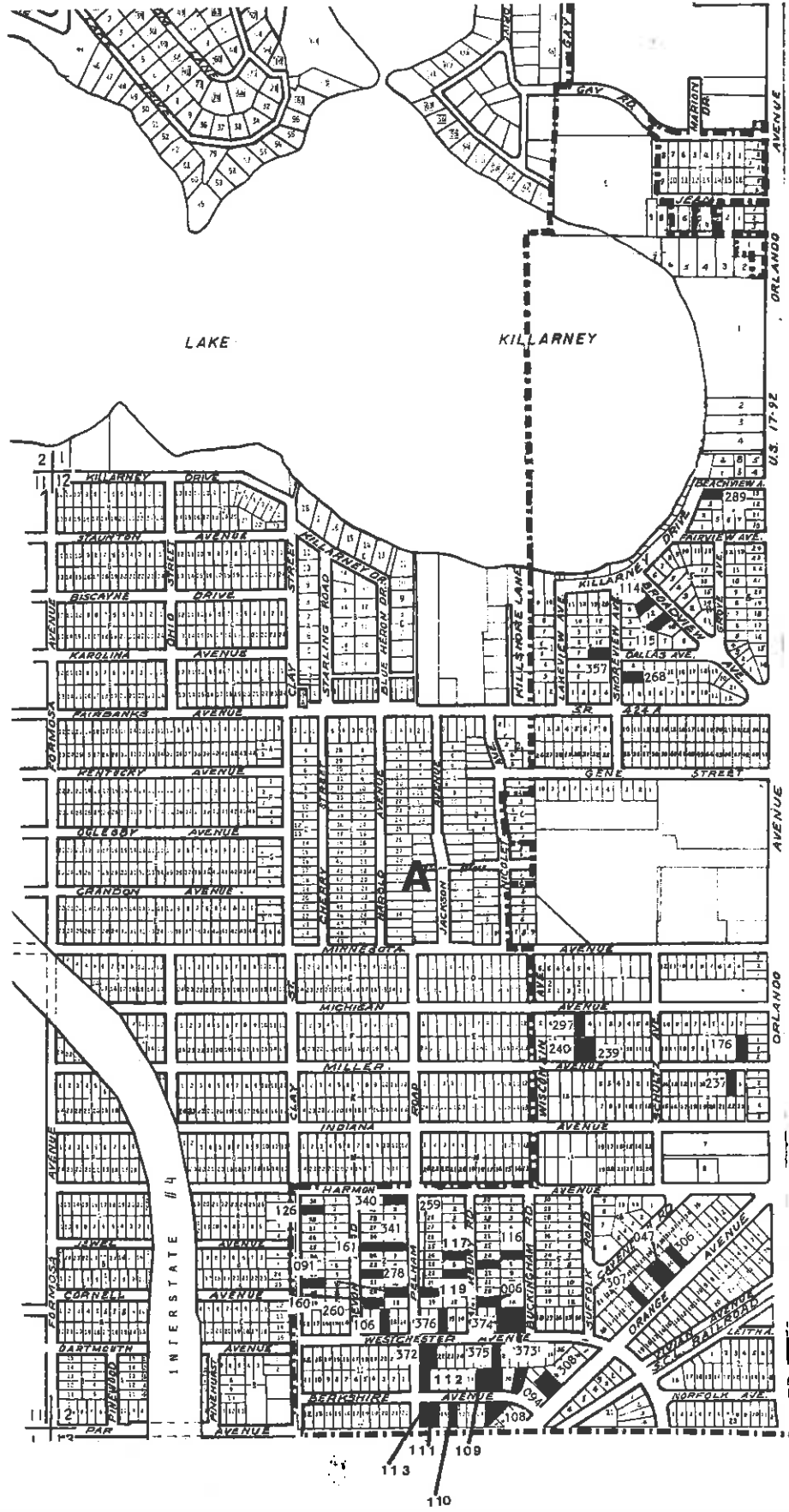
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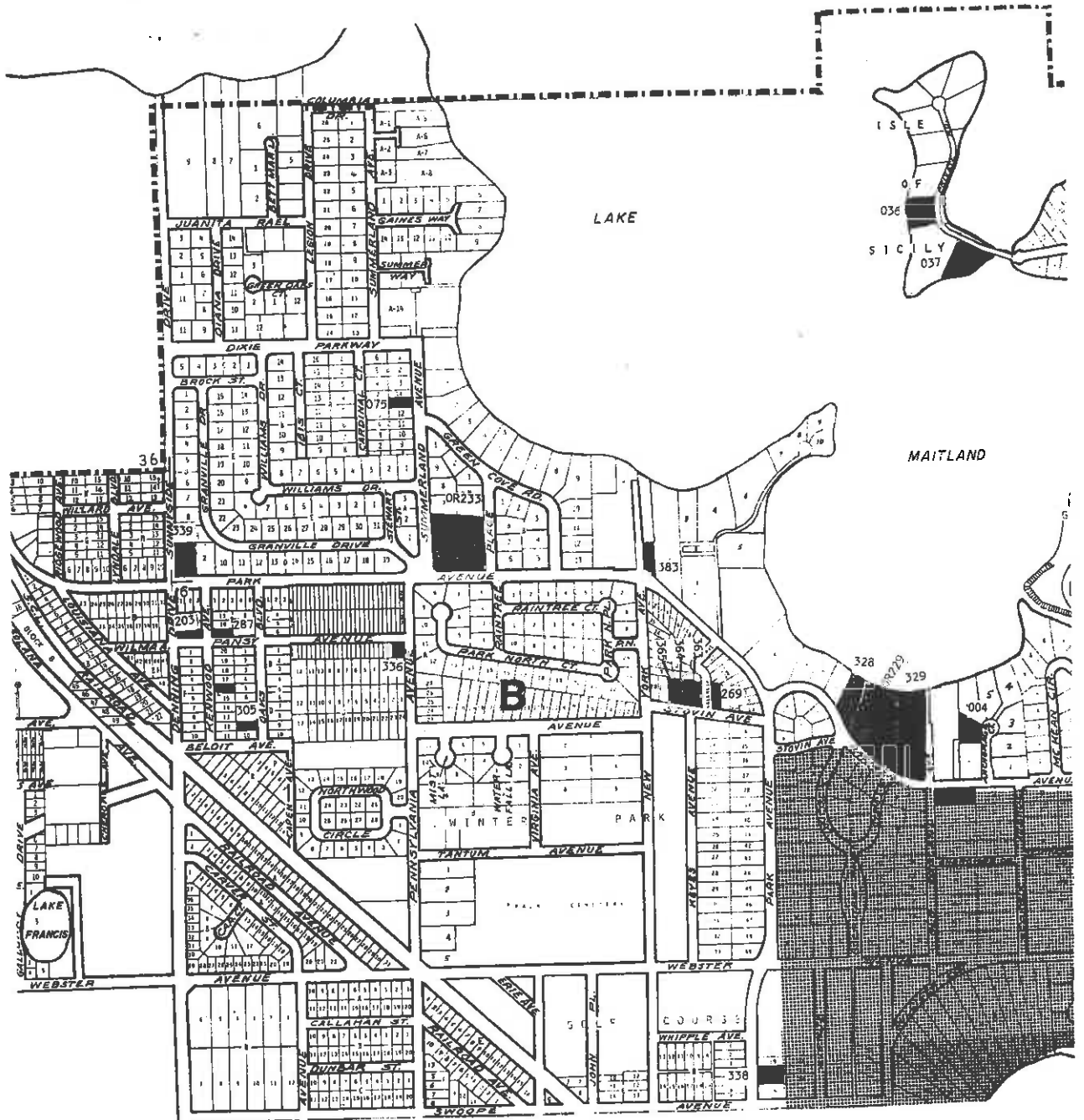


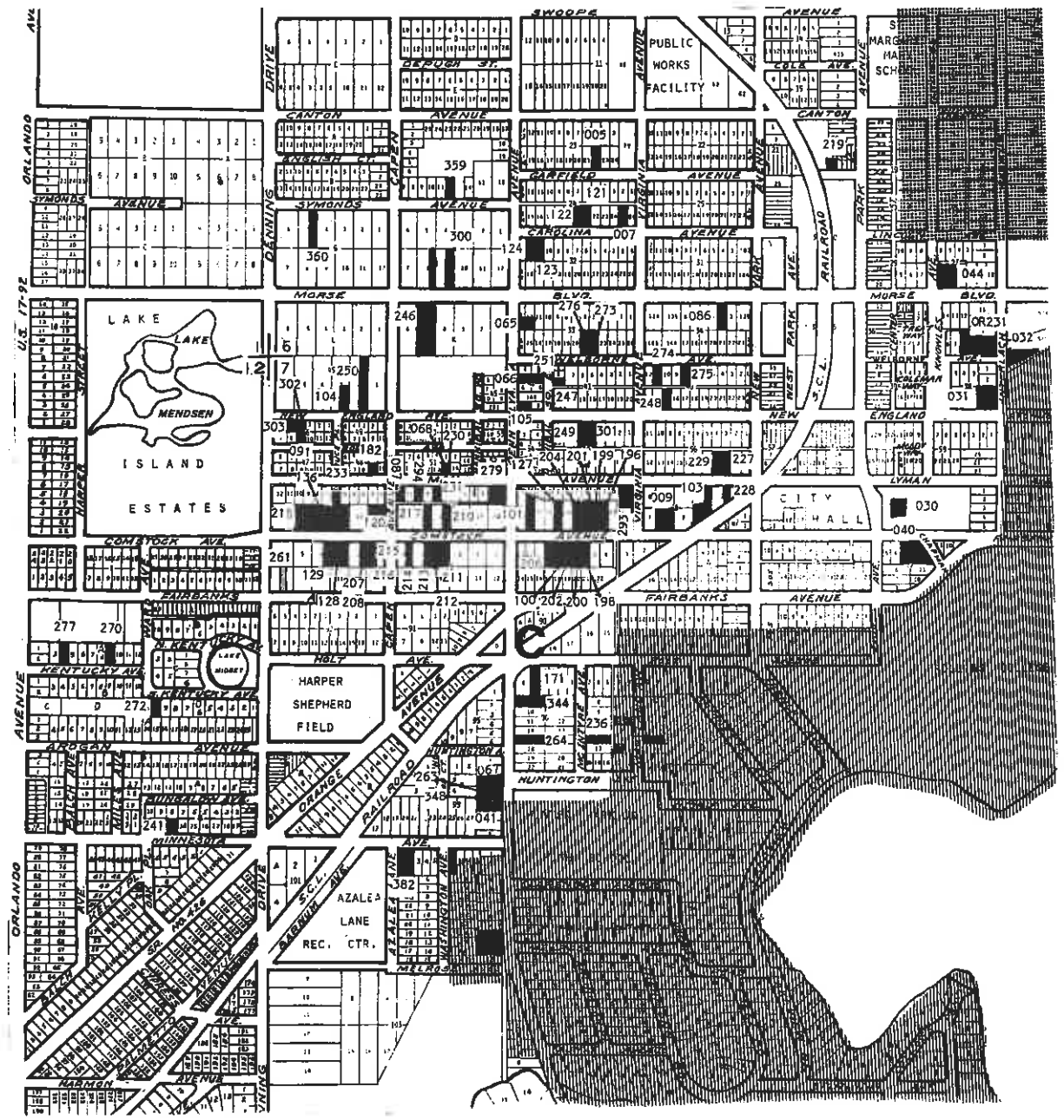
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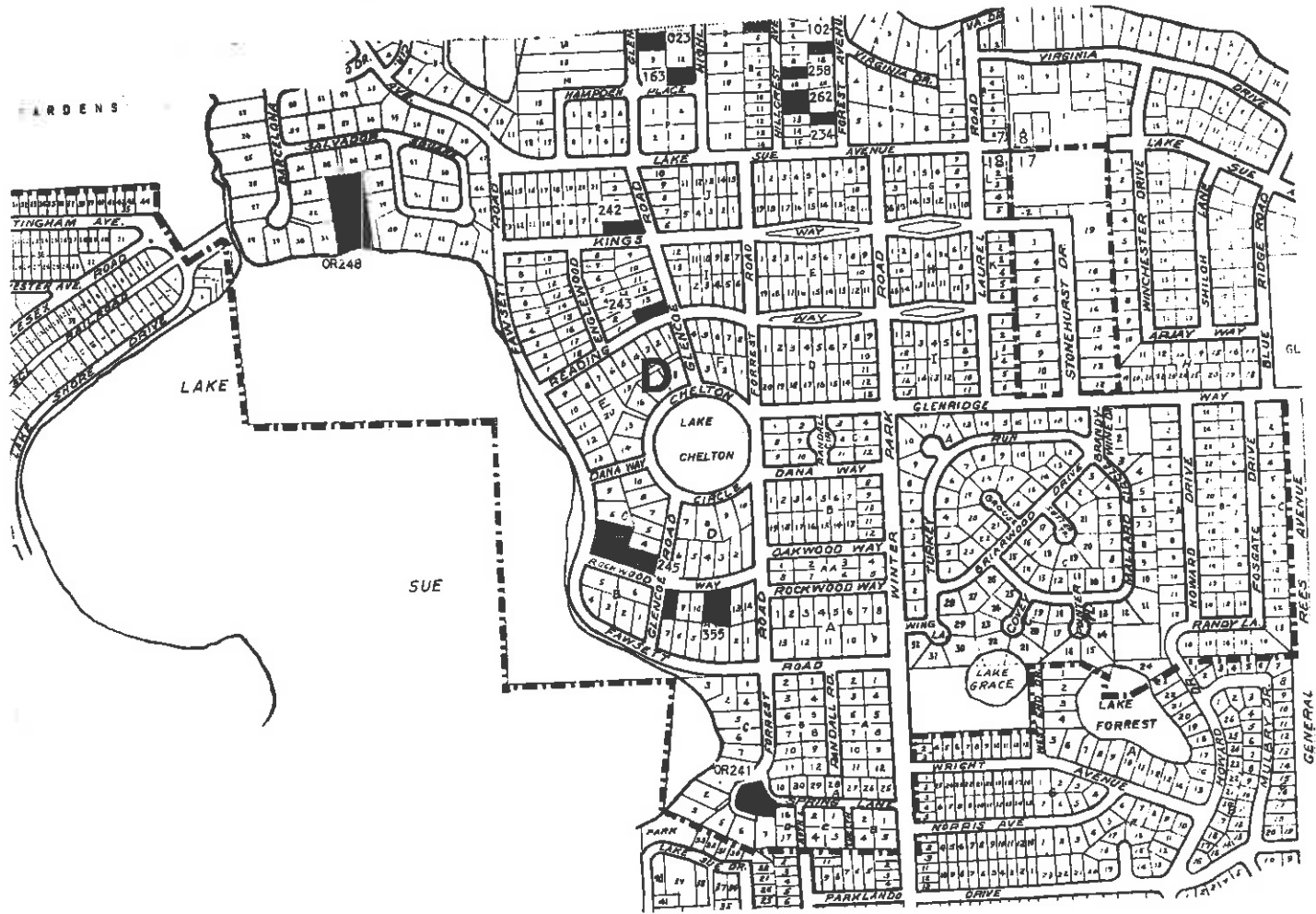


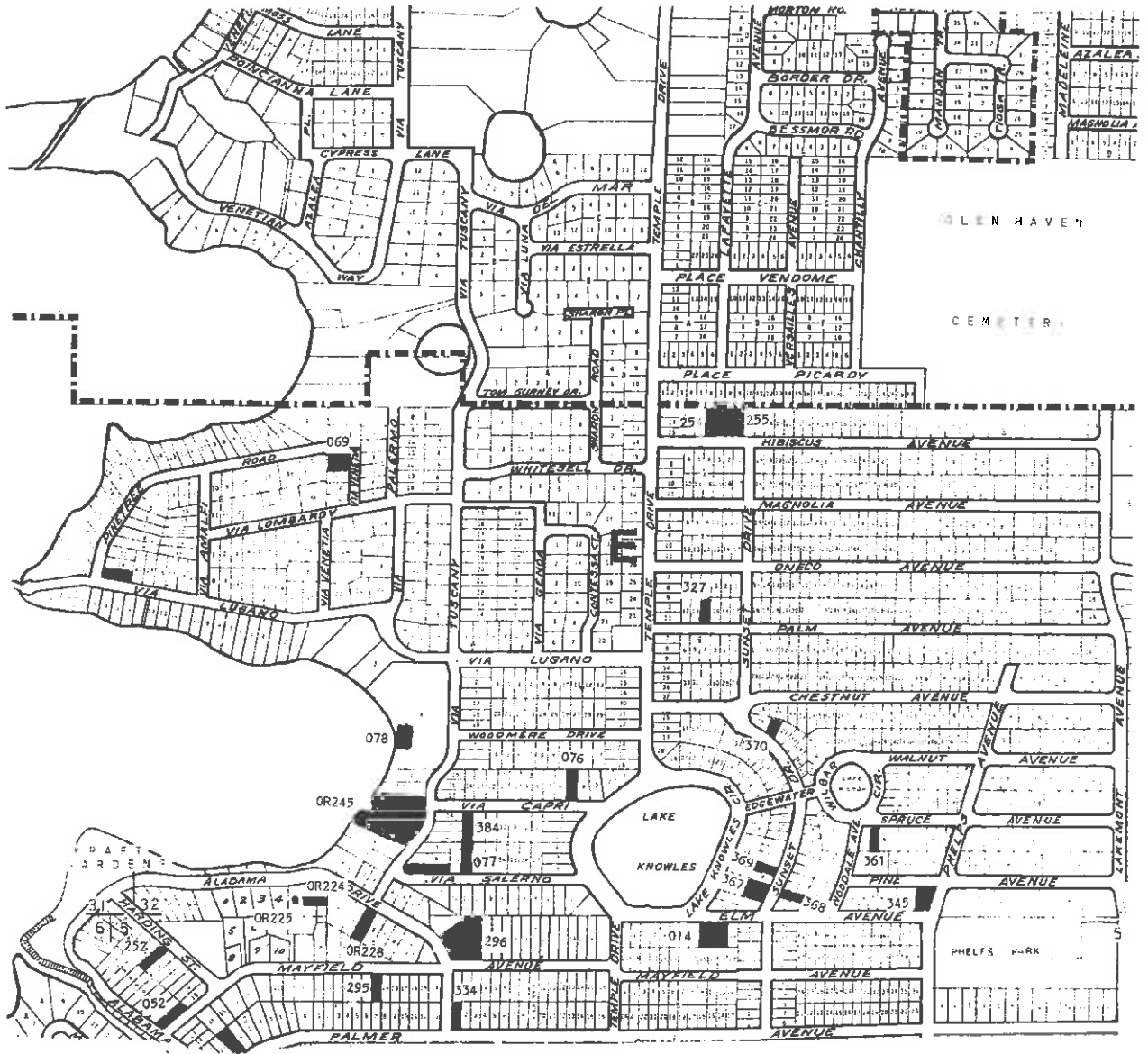


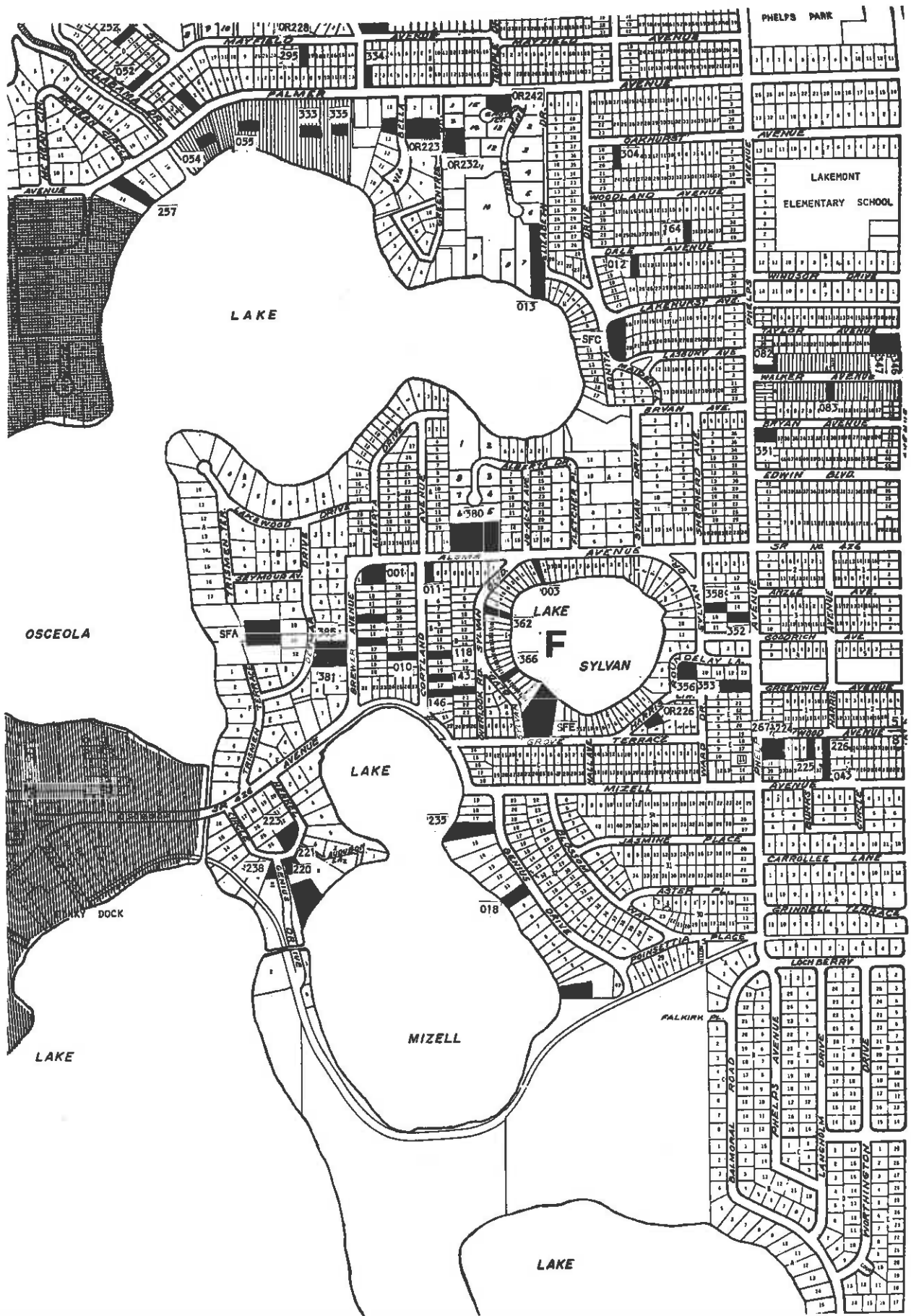


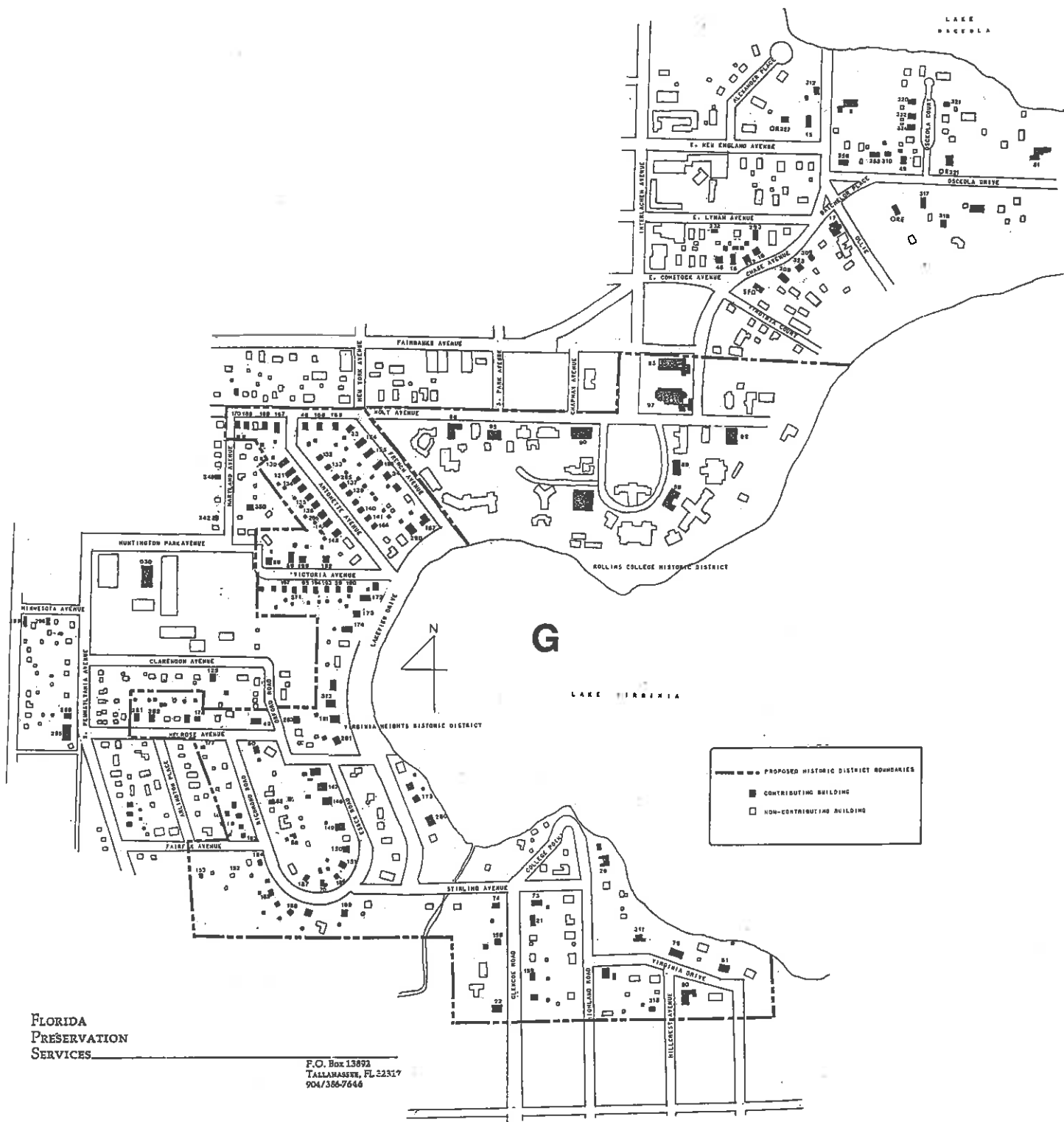






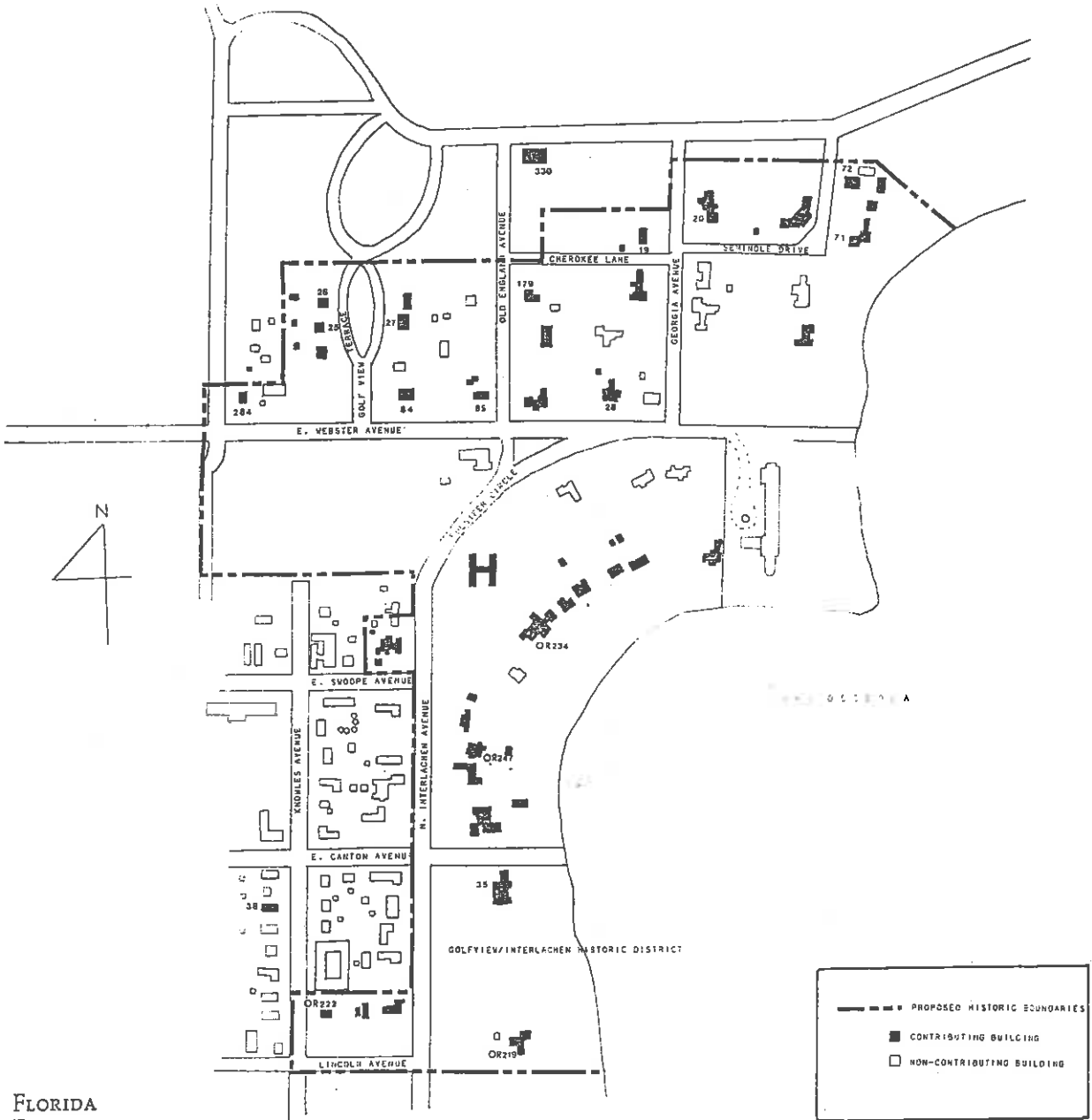






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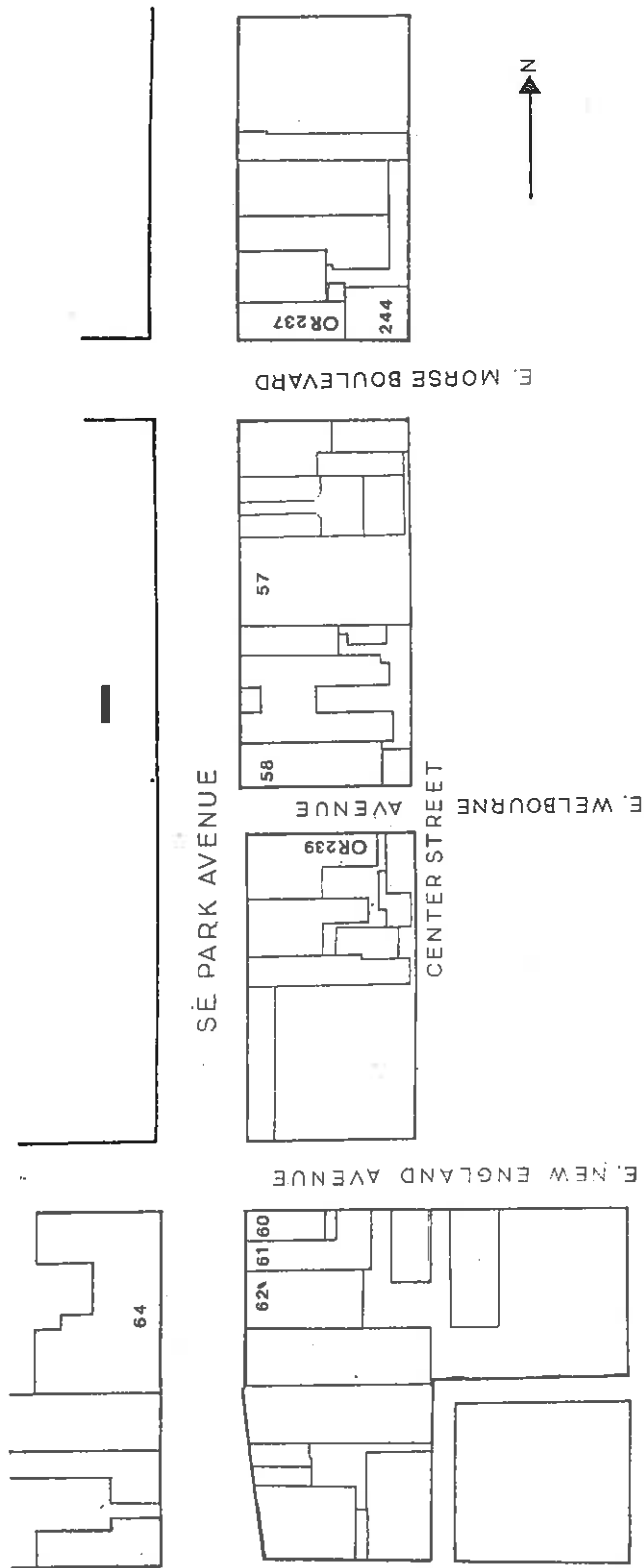
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MASTER SITE LISTS

WINTER PARK HISTORIC SITES SURVEY  
SITE NUMBER LIST

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
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8OR221	621	OSCEOLA AVENUE	WARD COTTAGE
8OR222	232	KNOWLES AVENUE N	KNOWLES COTTAGE #2
8OR223	701	VIA BELLA	WEATOGUE
8OR224	921	PALMER AVENUE	ALABAMA HOTEL
8OR225	921	PALMER AVENUE	TEMPLE, W. C. REFECTORY
8OR226	1554	HARRIS CIRCLE	MACCALLUM-HARRIS HOUSE
8OR227	433	NEW ENGLAND AVENUE E	WEBSTER-WAGNER HOUSE
8OR228	1700	ALABAMA AVENUE	PALMER/TEMPLE HOUSE
8OR229	161	PALMER AVENUE	GREY ACRES (MACDONALD HOUSE)
8OR231	147	INTERLACHEN AVENUE S	ONEONTA LODGE
8OR232	1015	GREENTREE DRIVE	GOSS, SAMUEL HOUSE
8OR233	1300	SUMMERLAND AVENUE	LAWERENCE/CHUBB HOUSE
8OR234	656	INTERLACHEN AVENUE N	CASA FELIZ
8OR237	102-04-08	PARK AVENUE N	CHASE BUILDING/TAYLOR'S PHARMACY
8OR239	206	PARK AVENUE S	SCHULTZ BUILDING
8OR241	2400	FORREST ROAD	THE RIPPLES
8OR242	1290	PALMER AVENUE	HAKES COTTAGE
8OR245	1461	VIA TUSCANY	SANDSCOPE
8OR247	520	INTERLACHEN AVENUE N	CAPEN, J. S. HOUSE
8OR248	314	SALVADOR SQUARE	BONNIE BURN
SFA	240	TRISMEN TERRACE	BREWER HOUSE
SFC	724	BONITA AVENUE	EASTBANK (COMSTOCK, WILLIAM HOUSE)
SFD	552	OSCEOLA AVENUE	PECKHAM, PELEG HOUSE
SFE	1401	GROVE TERRACE	GRISWOLD/WARD HOUSE
WP001	1034	ALOMA AVENUE	1034 ALOMA AVENUE
WP002		HUNTINGTON AVENUE	OLD WINTER PARK HIGH SCHOOL
WP003	1306	ALOMA AVENUE	PETERSON, J. E. HOUSE
WP004	1009	ANCHORAGE	"ANCHORAGE" GARAGE
WP005	451	GARFIELD AVENUE W	451 GARFIELD AVENUE
WP006	1412	CANTERBURY ROAD	1412 CANTERBURY ROAD
WP007	413	CAROLINA AVENUE	HORTON, AARON HOUSE
WP008	242	CHASE AVENUE	GIBBS/FREEMAN HOUSE
WP009	317	COMSTOCK AVENUE	JOHNSON, JACOB HOUSE
WP010	161	CORTLAND AVENUE	GALT, E. L. HOUSE
WP011	260	CORTLAND AVENUE	DONNELLY, EDWARD R. HOUSE
WP012	1564	DALE AVENUE	DALE, PHILIP HOUSE
WP013	1430	ELIZABETH DRIVE	HOLT, GEORGE HOUSE
WP014	1410	ELM STREET	1410 ELM STREET
WP015	377	FAIRBANKS AVENUE	COFFIN, DR. C. E. HOUSE
WP016	421	FAIRBANKS AVENUE	WEBSTER HOUSE #2
WP017	496	FAIRBANKS AVENUE	ROLLINS PRESIDENT'S HOUSE
WP018	421	GENIUS DRIVE	BARROWS, DR. NATHAN HOUSE
WP019	901	GEORGIA	MEYER, EDWARD S. HOUSE
WP020	920	GEORGIA	920 GEORGIA
WP021	1490	GLENCOE ROAD	1490 GLENCOE ROAD
WP022	1539	GLENCOE ROAD	COTTING, J. A. HOUSE

WINTER PARK HISTORIC SITES SURVEY  
SITE NUMBER LIST

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP023	2210	GLENCOE ROAD	2210 GLENCOE ROAD
WP025	817	GOLFVIEW PARKWAY	BARNUM, HERBERT M. HOUSE
WP026	837	GOLFVIEW TERRACE	SLOAN, A. MAXWELL HOUSE
WP027	858	GOLFVIEW PARKWAY	SPROSS, CHARLES A. HOUSE
WP028	461	WEBSTER AVENUE E.	EDWARDS, BENJAMIN E. HOUSE
WP029	1336	COLLEGE POINT	LEEDY, R. F. HOUSE
WP031		INTERLACHEN AVENUE S	CONGREGATIONAL CHURCH
WP032	100	INTERLACHEN AVENUE S	1ST UNITED METHODIST CHURCH
WP033	695	FRENCH AVENUE	695 FRENCH AVENUE
WP034	757	FRENCH AVENUE	FORBES, HUIDA H. MRS.
WP035	324	INTERLACHEN AVENUE N	BISHOPSTEAD
WP036	001	ISLE OF SICILY	1 ISLE OF SICILY
WP037	003	ISLE OF SICILY	ROGERS, JAMES GAMBLE II
WP038	333	KNOWLES AVENUE N	SILSBEE, N. D. HOUSE
WP039	326	VICTORIA AVENUE	WOODWARD, D. A. HOUSE
WP040	120	COMSTOCK AVENUE E	WINTER PARK MASONIC TEMPLE
WP041	865	PENNSYLVANIA AVENUE S	865 PENNSYLVANIA AVENUE
WP042	407	MELROSE AVENUE	PROUDFIT, ALBERT D. HOUSE
WP043	1799	MIZELL AVENUE	1799 MIZELL
WP044	189	MORSE BOULEVARD E	LINCOLN APARTMENTS
WP045	457	NEW ENGLAND AVENUE E	HENKEL, T. M. HOUSE
WP046	346	HOLT AVENUE W	WENDLAND, P. G. HOUSE
WP047	1509	ORANGE AVENUE	1509 ORANGE AVENUE
WP048	373	OSCEOLA AVENUE	LENFEST, R. F. HOUSE
WP049	567	OSCEOLA AVENUE	SPANGLER, L. W. HOUSE
WP050	420	MELROSE AVENUE	HEIDNER, J. G. HOUSE
WP051	699	OSCEOLA AVENUE	SINCLAIR, HARRY M. HOUSE
WP052	1101	PALMER AVENUE	1101 PALMER AVENUE
WP053	1264	RICHMOND ROAD	1264 RICHMOND ROAD
WP054	966	PALMER AVENUE	BECKWITH, J. C. HOUSE
WP055	1020	PALMER AVENUE	MASON, A. W. HOUSE
WP056	1304	RICHMOND ROAD	1304 RICHMOND ROAD
WP057	126-28-30	PARK AVENUE S	MORSE BUILDING/WCTU ROOM/BABY GRANDE
WP058	150	PARK AVENUE S	PIONEER STORE
WP059	367	VICTORIA AVENUE	LARKIN, L. ULYSSES
WP060	302-04	PARK AVENUE	UNION STATE BANK
WP061	306-08	PARK AVENUE S	306-308 PARK AVENUE
WP062	322-24-26	PARK AVENUE S	STANDARD GARAGE/UNITED MARKETS ARCADE
WP063	428	PARK AVENUE S	WINTER PARK SCHOOL
WP064	307	PARK AVENUE S	HAMILTON HOTEL, PARK INN SITE
WP065	120	PENNSYLVANIA AVENUE	IDEAL WOMAN'S CLUB/HOOKER MEMORIAL
WP066	218	PENNSYLVANIA AVENUE S	WRIGHT, GEORGE HOUSE
WP067	843	PENNSYLVANIA AVENUE S	843 PENNSYLVANIA AVENUE
WP068	665	LYMAN AVENUE W	BRUCE CASH GROCERY
WP069	820	PINETREE ROAD	LIBBY, C. J. HOUSE
WP070	1362	RICHMOND ROAD	BALDWIN, E. R. HOUSE
WP071	616	SEMINOLE AVENUE	CADY, FREDERICK W. HOUSE
WP072	666	SEMINOLE AVENUE	666 SEMINOLE
WP073	144	STIRLING AVENUE	PROUDFIT/MACKLIN HOUSE
WP074	210	STIRLING AVENUE	GOSS, SAMUEL HOUSE
WP075	1499	SUMMERLAND AVENUE	LEFEVERE, C. J. HOUSE
WP076	1247	VIA CAPRI	SCHMELTZ, ERNST HOUSE
WP077	1161	VIA SALERNO	HENNING, C. S. HOUSE

WINTER PARK HISTORIC SITES SURVEY  
SITE NUMBER LIST

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP078	1551	VIA TUSCANY	PRATT, CHARLES HYDE HOUSE
WP079	181	VIRGINIA DRIVE	HALVERSTADT HOUSE
WP080	210	VIRGINIA DRIVE	BRENEMAN, ALBERT M. HOUSE
WP081	247	VIRGINIA DRIVE	JOINER, W. B. HOUSE
WP082	1721	WALKER AVENUE	1721 WALKER AVENUE
WP083	1800	WALKER AVENUE	1800 WALKER AVENUE
WP084	253	WEBSTER AVENUE	PHILLIPS, E. R. HOUSE
WP085	341	WEBSTER AVENUE	HAYES, E. E. HOUSE
WP086		MORSE BOULEVARD W	MORSE BOULEVARD
WP087	732	LYMAN AVENUE W	MORAN, WILLIAM HOUSE
WP088		THE HORSESHOE, ROLLINS COLLEGE	PINEHURST
WP089		THE HORSESHOE, ROLLINS COLLEGE	CHASE HALL
WP090		THE HORSESHOE, ROLLINS COLLEGE	CARNEGIE LIBRARY
WP091	1390	CLAY STREET	1390 CLAY STREET
WP092	17	HOLT AVENUE E	ROLLINS HALL
WP093	04	CHASE AVENUE	ANNIE RUSSELL THEATER
WP094	1425	BERKSHIRE AVENUE	1425 BERKSHIRE AVENUE
WP095	16	HOLT AVENUE E	PUGSLEY HALL
WP096	18	HOLT AVENUE E	MAYFLOWER HALL
WP097	002	INTERLACHEN AVENUE S	KNOWLES CHAPEL
WP098	358	VICTORIA AVENUE	MERRILL, F. D. HOUSE
WP099	391	VICTORIA AVENUE	NICKOLSON, W. C. HOUSE
WP100	502	COMSTOCK AVENUE W	WILSON, ALEX HOUSE
WP101	531	COMSTOCK AVENUE W	GLENN, J. W. HOUSE
WP102	1567	FORREST ROAD	AHLGRIM, D. A. HOUSE
WP103	250	LYMAN AVENUE W	LARIMORE, F. J. HOUSE
WP104	813	NEW ENGLAND AVENUE W	AMBROSE, ALLEN HOUSE
WP105	543	NEW ENGLAND AVENUE W	NEW ENGLAND ICE CREAM PARLOR
WP106	1621	WESTCHESTER AVENUE	SMITH, GEORGE JR.
WP107	1372	CANTERBURY ROAD	FISHER, G. H. HOUSE
WP108	1446	BERKSHIRE AVENUE	DAVIDSON, L. J. HOUSE
WP109	1475	BERKSHIRE AVENUE	NESS, P. J. HOUSE
WP110	1500	BERKSHIRE AVENUE	1500 BERKSHIRE AVENUE
WP111	1530	BERKSHIRE AVENUE	1530 BERKSHIRE AVENUE
WP112	1531	BERKSHIRE AVENUE	STUTZ, H. C. HOUSE
WP113	1532	BERKSHIRE AVENUE	1532 BERKSHIRE AVENUE
WP114	443	BROADVIEW AVENUE	MYERS, DR. W. A. HOUSE
WP115	471	BROADVIEW AVENUE	JOHNSON, W. J. HOUSE
WP116	1363	BUCKINGHAM ROAD	TAYLOR, M. C. HOUSE
WP117	1367	CANTERBURY ROAD	BETTES, J. J. HOUSE
WP118	140	CORTLAND AVENUE	POWERS, GEORGE HOUSE
WP119	1379	CANTERBURY ROAD	OESTRICHER, DR. A. R. HOUSE
WP120	506	CAPEN AVENUE	HARDEN, SARAH HOUSE
WP121	453	CAROLINA AVENUE	SWAIN, HARRY ROOMING HOUSE
WP122	467	CAROLINA AVENUE	467 CAROLINA AVENUE
WP123	524	CAROLINA AVENUE	BAKER, BENJAMIN HOUSE
WP124	532	CAROLINA AVENUE	ANDERSON, JESSE HOUSE
WP125	450	CLARENDON AVENUE	CANFIELD, G. M. HOUSE
WP126	1320	CLAY STREET	1320 CLAY STREET
WP127	479	COMSTOCK AVENUE W	479 COMSTOCK AVENUE
WP128	662	COMSTOCK AVENUE W	662 COMSTOCK AVENUE
WP129	816	COMSTOCK AVENUE W	COLSTON, MEADE HOUSE
WP130	739	ANTOINETTE AVENUE	HOUSTON, WILLIAM HOUSE

WINTER PARK HISTORIC SITES SURVEY  
SITE NUMBER LIST

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP131	747-749	ANTOINETTE AVENUE	CASON, S. W. HOUSE
WP132	754	ANTOINETTE AVENUE	DOAN, G. H. HOUSE
WP133	762	ANTOINETTE AVENUE	PALMER, BALDWIN HOUSE
WP134	767	ANTOINETTE AVENUE	767 ANTOINETTE AVENUE
WP135	781	ANTOINETTE AVENUE	BLACKBURN, J. E. HOUSE
WP136	817	COMSTOCK AVENUE W	817 COMSTOCK AVENUE
WP137	786	ANTOINETTE AVENUE	BARBOUR, D. N. HOUSE
WP138	787	ANTOINETTE AVENUE	POOLE, ROBERT HOUSE
WP139	796	ANTOINETTE AVENUE	796 ANTOINETTE AVENUE
WP140	818	ANTOINETTE AVENUE	SWASEY, MISS ELIZA HOUSE
WP141	828	ANTOINETTE AVENUE	LEACH, LUTHER A. HOUSE
WP142	829	ANTOINETTE AVENUE	829 ANTOINETTE AVENUE
WP143	150	CORTLAND AVENUE	THOMAS, REV. J. B. HOUSE
WP144	834	ANTOINETTE AVENUE	JOHNSTONE, MRS. ANNIE B. HOUSE
WP145	835	ANTOINETTE AVENUE	835 ANTOINETTE AVENUE
WP146	104	CORTLAND AVENUE	104 CORTLAND AVENUE
WP147	1221	ESSEX ROAD	KNIGHT, A. H. HOUSE
WP148	1235	ESSEX ROAD	FISHER, MRS. L. B. HOUSE
WP149	1259	ESSEX ROAD	EDES, S. H. HOUSE
WP150	1329	ESSEX ROAD	STONE, HOMER HOUSE
WP151	1349	ESSEX ROAD	WOOD, L. A. HOUSE
WP152	440	FAIRFAX AVENUE	440 FAIRFAX AVENUE
WP153	470	FAIRFAX AVENUE	470 FAIRFAX AVENUE
WP154	719	FRENCH AVENUE	DETWILER, L. A. HOUSE
WP155	731	FRENCH AVENUE	DIETERLY, G. C. HOUSE
WP156	745	FRENCH AVENUE	DAVIS, P. E. HOUSE
WP157	905	LAKEVIEW DRIVE	TREAT, J. A. HOUSE
WP158	1479	GLENCOE ROAD	FULGHAM, OSCAR HOUSE
WP159	1510	GLENCOE ROAD	HARRIS, H. F. HOUSE
WP160	820	DENNING DRIVE	820 DENNING DRIVE
WP161	1366	DEVON ROAD	1366 DEVON ROAD
WP162	1400	DEVON ROAD	1400 DEVON ROAD
WP163	1599	HIGHLAND ROAD	1599 HIGHLAND ROAD
WP164	1635	DALE AVENUE	1635 DALE AVENUE
WP165	320	HOLT AVENUE W	HASSLINGER, C. HOUSE
WP166	330	HOLT AVENUE W	LINDERGREEN, F. J. HOUSE
WP167	400	HOLT AVENUE W	YON, S. L. HOUSE
WP168	404	HOLT AVENUE W	YARNELL, REV. FRANCIS
WP169	422	HOLT AVENUE W	PRIBBLE, IRVIN HOUSE
WP170	430	HOLT AVENUE W	MALIN, B. H. HOUSE
WP171	544	HOLT AVENUE W	PATTY, H. L. HOUSE
WP172	1023	LAKEVIEW DRIVE	WAINWRIGHT, H. R. HOUSE
WP173	1035	LAKEVIEW DRIVE	VERIGAN, J. H. HOUSE
WP174	1055	LAKEVIEW DRIVE	TROVILLION, R. A. HOUSE
WP175	1234	LAKEVIEW DRIVE	BRYAN, W. C. HOUSE
WP176	1409	MILLER AVENUE	TESKEY, W. H. HOUSE
WP177	446	MELROSE AVENUE	THOMPSON, MISS GRACE
WP178	455	MELROSE AVENUE	THOMPSON, ROBERT HOUSE
WP179	876	OLD ENGLAND AVENUE	STONE, MELVILLE A. HOUSE
WP180	1273	RICHMOND ROAD	1273 RICHMOND ROAD
WP181	1285	RICHMOND ROAD	BAUTER, C. E. HOUSE
WP182	755	DOUGLAS AVENUE	PRINCE, SARAH HOUSE
WP183	1295	RICHMOND ROAD	JULIAN, DR. CHARLES HOUSE

WINTER PARK HISTORIC SITES SURVEY  
SITE NUMBER LIST

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP184	1313	RICHMOND ROAD	1313 RICHMOND ROAD
WP185	1351	RICHMOND ROAD	1351 RICHMOND ROAD
WP186	1353	ESSEX ROAD	1353 ESSEX ROAD
WP187	1358	RICHMOND ROAD	HARMON, C. HOUSE
WP188	1377	RICHMOND ROAD	1377 RICHMOND ROAD
WP189	1399	ESSEX ROAD	WESTON, C. G. HOUSE
WP190	324	VICTORIA AVENUE	KENT, DR. ALFRED HOUSE
WP191	1169	LAKEVIEW DRIVE	BILLINGS, J. M. HOUSE
WP192	333	VICTORIA AVENUE	333 VICTORIA AVENUE
WP193	338	VICTORIA AVENUE	WHITMORE, ALBRA HOUSE
WP194	346	VICTORIA AVENUE	JOHNSTON, WALGER HOUSE
WP195	357	VICTORIA AVENUE	WINSLOW. H. C. HOUSE
WP196	439	COMSTOCK AVENUE	PETERSON, GEORGE HOUSE
WP197	378	VICTORIA AVENUE	BAKER, R. C. HOUSE
WP198	440	COMSTOCK AVENUE W	WILLIAM, LLOYD HOUSE
WP199	451	COMSTOCK AVENUE W	WOODLEY, ANNA LEE HOUSE
WP200	452	COMSTOCK AVENUE W	JACKSON, HAROLD HOUSE
WP201	459	COMSTOCK AVENUE W	HARDY, EDDIE HOUSE
WP202	470	COMSTOCK AVENUE W	HARDY, R. F. HOUSE
WP203	1200	KENWOOD AVENUE	1200 KENWOOD AVENUE
WP204	471	COMSTOCK AVENUE W	MORGAN, ROSS J. HOUSE
WP206	510	COMSTOCK AVENUE W	LANIER, RALPH HOUSE
WP207	626	COMSTOCK AVENUE W	MOORE, REV. ROGER HOUSE
WP208	634	COMSTOCK AVENUE W	DIXON, JAMES HOUSE
WP209	480	FAIRBANKS AVENUE	SCHULTZ, WALTER HOUSE
WP210	663	COMSTOCK AVENUE W	FLETCHER, JOY HOUSE
WP211	664	COMSTOCK AVENUE W	DEAN, SULLIVAN HOUSE
WP212	674	COMSTOCK AVENUE W	DAY, MAXEY AVENUE
WP213	704	COMSTOCK AVENUE W	WILSON, WADE HOUSE
WP214	722	COMSTOCK AVENUE W	BROWN, LONNIE HOUSE
WP215	764	COMSTOCK AVENUE W	BLAND, GEORGE HOUSE
WP216	815	COMSTOCK AVENUE W	WHITE, WILLIAM HOUSE
WP217	840	COMSTOCK AVENUE W	SHEFFIELD, EUGENE HOUSE
WP218	865	COMSTOCK AVENUE W	FLEMING, SAINT HOUSE
WP219	121	GARFIELD AVENUE W.	KUMMER, G. O. HOUSE
WP220	424	HENKEL CIRCLE	BOYCE, I. I. HOUSE
WP221	430	HENKEL CIRCLE	COBB, C. C. HOUSE
WP222	401	FAIRBANKS AVENUE	POWERS, HIRAM REAL ESTATE
WP223	459	HENKEL CIRCLE	459 HENKEL CIRCLE
WP224	1756	HOLLYWOOD AVENUE	HARRIS, PERCY J.
WP225	1770	HOLLYWOOD AVENUE	JONES, T. R. HOUSE
WP226	1800	HOLLYWOOD AVENUE	ANDERSON, A. B. HOUSE
WP227	225	LYMAN AVENUE W	MADISON, FRANKLIN
WP228	226	LYMAN AVENUE W	COWARD, JULIA HOUSE
WP229	235	LYMAN AVENUE W	WILSON, WADE H. HOUSE
WP231	674	LYMAN AVENUE W	STRAUTER, ARTHUR HOUSE
WP232	366	LYMAN AVENUE W	366 LYMAN AVENUE
WP233	824	LYMAN AVENUE W	CLEVELAND, ARTHUR HOUSE
WP234	1645	FORREST ROAD	SPENCER, E. L. HOUSE
WP235	139	GENIUS DRIVE	DETWILER/CARLES HOUSE
WP236	808	MCINTYRE AVENUE	JOHNSON, CURTIS HOUSE
WP237	1399	MILLER AVENUE	VAN WIE, H. J. HOUSE

WINTER PARK HISTORIC SITES SURVEY  
SITE NUMBER LIST

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP238	1000	GENIUS DRIVE	HENKEL, A. L. HOUSE
WP239	1415	MILLER AVENUE	PROBST, WILLIAM HOUSE
WP240	1455	MILLER AVENUE	RANDALL, F. B. HOUSE
WP241	1019	MINNESOTA AVENUE	DAVIS, MIRIAM HOUSE
WP242	1771	GLENCOE ROAD	CALDWELL, J. J. HOUSE
WP243	1873	GLENCOE ROAD	1873 GLENCOE ROAD
WP244	115-19-21	MORSE BOULEVARD E	PODMORE BUILDING
WP245	2171	GLENCOE ROAD	2171 GLENCOE ROAD
WP246	720	MORSE BOULEVARD W	ENGLISH, ALEX HOUSE
WP247	226	HANNIBAL SQUARE E.	WRIGHT, LULU HOUSE
WP248	325	NEW ENGLAND AVENUE W	DIXON, W. H. HOUSE
WP249	456	NEW ENGLAND AVENUE W	HOFFMAN, MARY HOUSE
WP250	775	NEW ENGLAND AVENUE W	BATTLES, J. P. HOUSE
WP251	227	HANNIBAL SQUARE E.	WRIGHT, LULU HOUSE
WP252	1253	HARDING STREET	ROSENFELT, W. P. HOUSE
WP253	541	OSCEOLA AVENUE	CARLETON, H. B. HOUSE
WP254	1355	HIBISCUS	BURNETT, S. A. HOUSE
WP255	1365	HIBISCUS	ALLISON, F. A. HOUSE
WP256	511	OSCEOLA AVENUE	NICHOLS, EMILY HOUSE
WP257	630	PALMER AVENUE	WRIGHT, J. M. HOUSE
WP258	1584	HILLCREST AVENUE	1584 HILLCREST AVENUE
WP259	1406	PELLAM AVENUE	HUBER, FRANCES HOUSE
WP260	1405	PELLAM AVENUE	SHELL, F. E. HOUSE
WP261	517	PENNSYLVANIA AVENUE S	BAULTMAN, HANCE HOUSE
WP262	1620	HILLCREST AVENUE	WESTSTORE, EDNA HOUSE
WP263	853	PENNSYLVANIA AVENUE S	MEHLER, F. B. HOUSE
WP264	778	PENNSYLVANIA AVENUE S	WESSONA, A. A. HOUSE
WP265	1163-65-67	PENNSYLVANIA AVENUE S	1163-65-67-69 PENNSYLVANIA AVENUE
WP266	1151	PENNSYLVANIA AVENUE S	1151 PENNSYLVANIA AVENUE
WP267	530	PHELPS AVENUE	FOSTER, J. D. HOUSE
WP268	518	SHOREVIEW AVENUE	DAUGHERTY, A. V. HOUSE
WP269	155	STOVIN AVENUE	CAMPBELL, DR. C. A. HOUSE
WP270	1115	KENTUCKY AVENUE	BURKHART, J. S. HOUSE
WP271	778	MARYLAND AVENUE	ALTER, F. W. HOUSE
WP272	1052	KENTUCKY AVENUE	BRYAN RENTAL HOUSE
WP273	445	WELBORNE AVENUE W	MCDONALD, ADA HOUSE
WP274	340	WELBORNE AVENUE W	DAVIS, AMY HOUSE
WP275	308	WELBORNE AVENUE W	JACKSON, CAROLINE HOUSE
WP276	455	WELBORNE AVENUE W	BROWN, MARY HOUSE
WP277	1159	KENTUCKY AVENUE	WHITEHURST, G. F. HOUSE
WP278	1520	WESTCHESTER AVENUE	BLOOCH, B. H. HOUSE
WP279	AT LYMAN	PENNSYLVANIA AVENUE S	MT. MORIAH CHURCH
WP280	1270	LAKEVIEW DRIVE	COLE, H. E. HOUSE
WP282	511	MELROSE AVENUE	511 MELROSE AVENUE
WP283	1168	OXFORD ROAD	KESSLER, B. F. HOUSE
WP284	111	WEBSTER AVENUE	HOTARD, DR. R. F. HOUSE
WP285	814	ANTOINETTE AVENUE	WILLIAMS, CARL HOUSE
WP286	817	ANTOINETTE AVENUE	817 ANTOINETTE AVENUE
WP288	1207	KENWOOD AVENUE	1207 KENWOOD AVENUE
WP289	230	KILLARNEY DRIVE	HOURCE, ARTHUR M. HOUSE
WP290	937	LAKEVIEW DRIVE	TREAT, J. A. HOUSE
WP291	1195	LAKEVIEW DRIVE	1195 LAKEVIEW DRIVE



WINTER PARK HISTORIC SITES SURVEY  
SITE NUMBER LIST

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP292	404	LYMAN AVENUE W	404 LYMAN AVENUE
WP293	408	LYMAN AVENUE E	HALLA, PHILIP J. HOUSE
WP294	706	LYMAN AVENUE W	706 LYMAN AVENUE
WP295	996	MAYFIELD	996 MAYFIELD
WP296	1343	MAYFIELD AVENUE	1343 MAYFIELD AVENUE
WP297	1434	MICHIGAN AVENUE	1434 MICHIGAN AVENUE
WP298	650	MINNESOTA AVENUE	650 MINNESOTA AVENUE
WP299	666	MINNESOTA AVENUE	666 MINNESOTA AVENUE
WP300	659	MORSE BOULEVARD W	659 MORSE BLVD.
WP301	446	NEW ENGLAND AVENUE W	LOCKLAND HOTEL
WP302	850	NEW ENGLAND AVENUE W	PHILLIPS RENTALS
WP303	860	NEW ENGLAND AVENUE W	PHILLIPS RENTAL HOUSE
WP304	1516	OAKHURST AVENUE	1516 OAKHURST
WP305	1109	OAKS BLVD.	1109 OAKS BLVD.
WP306	1485	ORANGE AVENUE	1485 ORANGE AVENUE
WP307	1565	ORANGE AVENUE	GROSS, HOWARD A. HOUSE
WP308	1675	ORANGE AVENUE	1675 ORANGE AVENUE
WP309	476	OSCEOLA AVENUE	MOORE, MRS. W. H. HOUSE
WP310	557	OSCEOLA AVENUE	GREEN, WILHEMINA HOUSE
WP311	147	VIRGINIA DRIVE	BRYAN, DR. N. L.
WP312	200	CHASE AVENUE	200 CHASE AVENUE
WP313	1167	LAKEVIEW DRIVE	1167 LAKEVIEW DRIVE
WP315	1537	HILLCREST AVENUE	LIBBY, R. C. HOUSE
WP317	664	OSCEOLA AVENUE	664 OSCEOLA AVENUE
WP318	648	OSCEOLA AVENUE	648 OSCEOLA AVENUE
WP320	215	OSCEOLA COURT	215 OSCEOLA COURT
WP321	222	OSCEOLA COURT	222 OSCEOLA COURT
WP322	239	OSCEOLA COURT	239 OSCEOLA COURT
WP323	458-60-62-	FAIRBANKS AVENUE	BRADSHAW, A. K. HOUSE
WP324	247	OSCEOLA COURT	247 OSCEOLA COURT
WP326	255	OSCEOLA COURT	255 OSCEOLA COURT
WP326	163	OVERLOOK ROAD	163 OVERLOOK ROAD
WP327	1335	PALM AVENUE	1335 PALM AVENUE
WP328	115	PALMER AVENUE	115 PALMER AVENUE
WP329	225	PALMER AVENUE	225 PALMER AVENUE
WP330	312	PALMER AVENUE	312 PALMER AVENUE
WP331	345	PALMER AVENUE	345 PALMER
WP333	800	PALMER AVENUE	800 PALMER AVENUE
WP334	843	PALMER AVENUE	843 PALMER AVENUE
WP335	950	PALMER AVENUE	950 PALMER
WP336	616	PANSY AVENUE	616 PANSY
WP337		PARK AVENUE	PARK AVENUE
WP338	640	PARK AVENUE	PARKAIRE APARTMENTS
WP339	1717	PARK AVENUE N	1717 PARK AVENUE N.
WP340	1301	PELLAM AVENUE	1301 PELLAM
WP341		PELLAM AVENUE	PELLAM AVENUE
WP342	803	MARYLAND AVENUE	803 MARYLAND AVENUE
WP344		PENNSYLVANIA AVENUE S	PENNSYLVANIA AVENUE S
WP345	1688	PINE AVENUE	1688 PINE
WP346	1880	TAYLOR AVENUE	1880 TAYLOR AVENUE
WP347	1864	TAYLOR AVENUE	1864 TAYLOR AVENUE
WP348	855	PENNSYLVANIA AVENUE S	855 PENNSYLVANIA AVENUE
WP349	757	MARYLAND AVENUE	757 MARYLAND AVENUE

WINTER PARK HISTORIC SITES SURVEY  
SITE NUMBER LIST

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP350		MARYLAND AVENUE	MARYLAND AVENUE
WP351	112	PHELPS AVENUE	112 PHELPS
WP352	201	PHELPS AVENUE	201 PHELPS
WP353	317	PHELPS AVENUE	317 PHELPS
WP354	200	INTERLACHEN AVENUE S	MITCHELL, LYDIA P. HOUSE
WP355	141	ROCKWOOD WAY	141 ROCKWOOD WAY
WP356	1624	ROUNDELAY	1624 ROUNDELAY
WP357		SHOREVIEW AVENUE	SHOREVIEW AVENUE
WP358	244	SYLVAN DRIVE	244 SYLVAN DRIVE
WP359	663	SYMONDS AVENUE	663 SYMONDS AVENUE
WP360	852	SYMONDS AVENUE	852 SYMONDS AVENUE
WP361	1616	SPRUCE AVENUE	1616 SPRUCE
WP362	292	SYLVAN DRIVE	292 SYLVAN DRIVE
WP363	173	STOVIN AVENUE	173 STOVIN
WP364	183	STOVIN AVENUE	183 STOVIN
WP365	187	STOVIN AVENUE	187 STOVIN
WP366	236	SYLVAN DRIVE	236 SYLVAN DRIVE
WP367	1315	SUNSET	1315 SUNSET
WP368	1324	SUNSET	1324 SUNSET
WP369	1409	SUNSET	1409 SUNSET
WP370	1572	SUNSET	1572 SUNSET
WP371	368	VICTORIA AVENUE	368 VICTORIA AVENUE
WP372	1540	WESTCHESTER AVENUE	1540 WESTCHESTER AVENUE
WP373	1455	WESTCHESTER AVENUE	1455 WESTCHESTER AVENUE
WP374	1477	WESTCHESTER AVENUE	1477 WESTCHESTER AVENUE
WP375	1482	WESTCHESTER AVENUE	1482 WESTCHESTER AVENUE
WP376	1517	WESTCHESTER AVENUE	1517 WESTCHESTER AVENUE
WP380	481	ALBERTA DRIVE	481 ALBERTA DRIVE
WP381	155	BREWER AVENUE	GEER, J. B. HOUSE
WP382	730	MINNESOTA AVENUE	730 MINNESOTA AVENUE
WP383	1280	NEW YORK AVENUE	1280 NEW YORK
WP384	1146	VIA CAPRI	1146 VIA CAPRI
WP385	234	DETMAR DRIVE	PALMS CARETAKER'S HOUSE

WINTER PARK HISTORIC SITES SURVEY  
 PROPERTIES CONSIDERED ELIGIBLE FOR  
 LISTING IN THE  
 NATIONAL REGISTER OF HISTORIC PLACES

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
80R219	231	INTERLACHEN AVENUE N	OSCEOLA LODGE
80R222	232	KNOWLES AVENUE N	KNOWLES COTTAGE #2
80R223	701	VIA BELLA	WEATOGUE
80R224	921	PALMER AVENUE	ALABAMA HOTEL
80R225	921	PALMER AVENUE	TEMPLE, W. C. REFECTORY
80R228	1700	ALABAMA AVENUE	PALMER/TEMPLE HOUSE
80R229	161	PALMER AVENUE	GREY ACRES (MACDONALD HOUSE)
80R232	1015	GREENTREE DRIVE	GOSS, SAMUEL HOUSE
80R233	1300	SUMMERLAND AVENUE	LAWERENCE/CHUBB HOUSE
80R237	102-04-08	PARK AVENUE N	CHASE BUILDING/TAYLOR'S PHARMACY
80R239	206	PARK AVENUE S	SCHULTZ BUILDING
80R241	2400	FORREST ROAD	THE RIPPLES
SF	240	TRISMEN TERRACE	BREWER HOUSE
SF	724	BONITA AVENUE	EASTBANK (COMSTOCK, WILLIAM HOUSE)
WP012	1564	DALE AVENUE	DALE, PHILIP HOUSE
WP058	150	PARK AVENUE S	PIONEER STORE
WP064	307	PARK AVENUE S	HAMILTON HOTEL, PARK INN SITE
WP078	1551	VIA TUSCANY	PRATT, CHARLES HYDE HOUSE
WP088		THE HORSESHOE, ROLLINS COLLEGE	PINEHURST
WP097	002	INTERLACHEN AVENUE S	KNOWLES CHAPEL

WINTER PARK HISTORIC SITES SURVEY  
 PROPERTIES LOCATED IN  
 RECOMMENDED HISTORIC DISTRICTS

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
80R234	656	INTERLACHEN AVENUE N	CASA FELIZ
WP019	901	GEORGIA	MEYER, EDWARD S. HOUSE
WP020	920	GEORGIA	920 GEORGIA
WP025	817	GOLFVIEW PARKWAY	BARNUM, HERBERT M. HOUSE
WP026	837	GOLFVIEW TERRACE	SLOAN, A. MAXWELL HOUSE
WP027	858	GOLFVIEW PARKWAY	SPROSS, CHARLES A. HOUSE
WP028	461	WEBSTER AVENUE E.	EDWARDS, BENJAMIN E. HOUSE
WP033	695	FRENCH AVENUE	695 FRENCH AVENUE
WP034	757	FRENCH AVENUE	FORBES, HUIDA H. MRS.
WP039	326	VICTORIA AVENUE	WOODWARD, D. A. HOUSE
WP042	407	MELROSE AVENUE	PROUDFIT, ALBERT D. HOUSE
WP046	346	HOLT AVENUE W	WENDLAND, P. G. HOUSE
WP050	420	MELROSE AVENUE	HEIDNER, J. G. HOUSE
WP053	1264	RICHMOND ROAD	1264 RICHMOND ROAD
WP056	1304	RICHMOND ROAD	1304 RICHMOND ROAD
WP059	367	VICTORIA AVENUE	LARKIN, L. ULYSSES
WP070	1362	RICHMOND ROAD	BALDWIN, E. R. HOUSE
WP079	181	VIRGINIA DRIVE	HALVERSTADT HOUSE
WP080	210	VIRGINIA DRIVE	BRENEMAN, ALBERT M. HOUSE
WP081	247	VIRGINIA DRIVE	JOINER, W. B. HOUSE
WP084	253	WEBSTER AVENUE	PHILLIPS, E. R. HOUSE
WP085	341	WEBSTER AVENUE	HAYES, E. E. HOUSE
WP089		THE HORSESHOE, ROLLINS COLLEGE	CHASE HALL
WP090		THE HORSESHOE, ROLLINS COLLEGE	CARNEGIE LIBRARY
WP092	17	HOLT AVENUE E	ROLLINS HALL
WP095	16	HOLT AVENUE E	PUGSLEY HALL
WP096	18	HOLT AVENUE E	MAYFLOWER HALL
WP098	358	VICTORIA AVENUE	MERRILL, F. D. HOUSE
WP099	391	VICTORIA AVENUE	NICKOLSON, W. C. HOUSE
WP130	739	ANTOINETTE AVENUE	HOUSTON, WILLIAM HOUSE
WP131	747-749	ANTOINETTE AVENUE	CASON, S. W. HOUSE
WP132	754	ANTOINETTE AVENUE	DOAN, G. H. HOUSE
WP133	762	ANTOINETTE AVENUE	PALMER, BALDWIN HOUSE
WP134	767	ANTOINETTE AVENUE	767 ANTOINETTE AVENUE
WP135	781	ANTOINETTE AVENUE	BLACKBURN, J. E. HOUSE
WP137	786	ANTOINETTE AVENUE	BARBOUR, D. N. HOUSE
WP138	787	ANTOINETTE AVENUE	POOLE, ROBERT HOUSE
WP139	796	ANTOINETTE AVENUE	796 ANTOINETTE AVENUE
WP140	818	ANTOINETTE AVENUE	SWASEY, MISS ELIZA HOUSE
WP141	828	ANTOINETTE AVENUE	LEACH, LUTHER A. HOUSE
WP142	829	ANTOINETTE AVENUE	829 ANTOINETTE AVENUE
WP144	834	ANTOINETTE AVENUE	JOHNSTONE, MRS. ANNIE B. HOUSE
WP145	835	ANTOINETTE AVENUE	835 ANTOINETTE AVENUE
WP147	1221	ESSEX ROAD	KNIGHT, A. H. HOUSE
WP148	1235	ESSEX ROAD	FISHER, MRS. L. B. HOUSE
WP149	1259	ESSEX ROAD	EDES, S. H. HOUSE
WP150	1329	ESSEX ROAD	STONE, HOMER HOUSE
WP151	1349	ESSEX ROAD	WOOD, L. A. HOUSE
WP152	440	FAIRFAX AVENUE	440 FAIRFAX AVENUE
WP153	470	FAIRFAX AVENUE	470 FAIRFAX AVENUE
WP154	719	FRENCH AVENUE	DETWILER, L. A. HOUSE
WP155	731	FRENCH AVENUE	DIETERLY, G. C. HOUSE
WP156	745	FRENCH AVENUE	DAVIS, P. E. HOUSE

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP157	905	LAKEVIEW DRIVE	TREAT, J. A. HOUSE
WP158	1479	GLENCOE ROAD	FULGHAM, OSCAR HOUSE
WP165	320	HOLT AVENUE W	HASSLINGER, C. HOUSE
WP166	330	HOLT AVENUE W	LINDERGREEN, F. J. HOUSE
WP167	400	HOLT AVENUE W	YON, S. L. HOUSE
WP168	404	HOLT AVENUE W	YARNELL, REV. FRANCIS
WP169	422	HOLT AVENUE W	PRIBBLE, IRVIN HOUSE
WP170	430	HOLT AVENUE W	MALIN, B. H. HOUSE
WP171	544	HOLT AVENUE W	PATTY, H. L. HOUSE
WP172	1023	LAKEVIEW DRIVE	WAINWRIGHT, H. R. HOUSE
WP173	1035	LAKEVIEW DRIVE	VERIGAN, J. H. HOUSE
WP174	1055	LAKEVIEW DRIVE	TROVILLION, R. A. HOUSE
WP175	1234	LAKEVIEW DRIVE	BRYAN, W. C. HOUSE
WP177	446	MELROSE AVENUE	THOMPSON, MISS GRACE
WP178	455	MELROSE AVENUE	THOMPSON, ROBERT HOUSE
WP180	1273	RICHMOND ROAD	1273 RICHMOND ROAD
WP181	1285	RICHMOND ROAD	BAUTER, C. E. HOUSE
WP183	1295	RICHMOND ROAD	JULIAN, DR. CHARLES HOUSE
WP184	1313	RICHMOND ROAD	1313 RICHMOND ROAD
WP185	1351	RICHMOND ROAD	1351 RICHMOND ROAD
WP186	1353	ESSEX ROAD	1353 ESSEX ROAD
WP187	1358	RICHMOND ROAD	HARMON, C. HOUSE
WP188	1377	RICHMOND ROAD	1377 RICHMOND ROAD
WP189	1399	ESSEX ROAD	WESTON, C. G. HOUSE
WP190	324	VICTORIA AVENUE	KENT, DR. ALFRED HOUSE
WP191	1169	LAKEVIEW DRIVE	BILLINGS, J. M. HOUSE
WP192	333	VICTORIA AVENUE	333 VICTORIA AVENUE
WP193	338	VICTORIA AVENUE	WHITMORE, ALBRA HOUSE
WP194	346	VICTORIA AVENUE	JOHNSTON, WALGER HOUSE
WP195	357	VICTORIA AVENUE	WINSLOW, H. C. HOUSE
WP197	378	VICTORIA AVENUE	BAKER, R. C. HOUSE
WP280	1270	LAKEVIEW DRIVE	COLE, H. E. HOUSE
WP282	511	MELROSE AVENUE	511 MELROSE AVENUE
WP285	814	ANTOINETTE AVENUE	WILLIAMS, CARL HOUSE
WP286	817	ANTOINETTE AVENUE	817 ANTOINETTE AVENUE
WP290	937	LAKEVIEW DRIVE	TREAT, J. A. HOUSE
WP291	1195	LAKEVIEW DRIVE	1195 LAKEVIEW DRIVE
WP311	147	VIRGINIA DRIVE	BRYAN, DR. N. L.
WP313	1167	LAKEVIEW DRIVE	1167 LAKEVIEW DRIVE
WP371	368	VICTORIA AVENUE	368 VICTORIA AVENUE

WINTER PARK HISTORIC SITES SURVEY  
 PROPERTIES CONSIDERED ELIGIBLE FOR  
 DESIGNATION AS A LOCAL LANDMARK

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
80R221	621	OSCEOLA AVENUE	WARD COTTAGE
80R226	1554	HARRIS CIRCLE	MACCALLUM-HARRIS HOUSE
80R227	433	NEW ENGLAND AVENUE E	WEBSTER-WAGNER HOUSE
80R231	147	INTERLACHEN AVENUE S	ONEONTA LODGE
80R234	656	INTERLACHEN AVENUE N	CASA FELIZ
80R242	1290	PALMER AVENUE	HAKES COTTAGE
80R245	1461	VIA TUSCANY	SANDSCOVE
80R247	520	INTERLACHEN S	CAPEN, J. S. HOUSE
80R248	314	SALVADOR SQUARE	BONNIE BURN
SFD	552	OSCEOLA AVENUE	PECKHAM, PELEG HOUSE
SFE	1401	GROVE TERRACE	GRISWOLD/WARD HOUSE
WP002		HUNTINGTON AVENUE	OLD WINTER PARK HIGH SCHOOL
WP003	1306	ALOMA AVENUE	PETERSON, J. E. HOUSE
WP004	1009	ANCHORAGE	"ANCHORAGE" GARAGE
WP006	1412	CANTERBURY ROAD	1412 CANTERBURY ROAD
WP007	413	CAROLINA AVENUE	HORTON, AARON HOUSE
WP009	317	COMSTOCK AVENUE	JOHNSTON, JACOB HOUSE
WP010	161	CORTLAND AVENUE	GALT, E. L. HOUSE
WP011	260	CORTLAND AVENUE	DONNELLY, EDWARD R. HOUSE
WP016	421	FAIRBANKS AVENUE	WEBSTER HOUSE #2
WP017	496	FAIRBANKS AVENUE	ROLLINS PRESIDENT'S HOUSE
WP018	421	GENIUS DRIVE	BARROWS, DR. NATHAN HOUSE
WP019	901	GEORGIA	MEYER, EDWARD S. HOUSE
WP021	1490	GLENCOE ROAD	1490 GLENCOE ROAD
WP022	1539	GLENCOE ROAD	COTTING, J. A. HOUSE
WP023	2210	GLENCOE ROAD	2210 GLENCOE ROAD
WP025	817	GOLFVIEW PARKWAY	BARNUM, HERBERT M. HOUSE
WP026	837	GOLFVIEW TERRACE	SLOAN, A. MAXWELL HOUSE
WP031		INTERLACHEN AVENUE S	CONGREGATIONAL CHURCH
WP032	100	INTERLACHEN AVENUE S	1ST UNITED METHODIST CHURCH
WP035	324	INTERLACHEN AVENUE N	BISHOPSTEAD
WP036	001	ISLE OF SICILY	1 ISLE OF SICILY
WP037	003	ISLE OF SICILY	ROGERS, JAMES GAMBLE II
WP038	333	KNOWLES AVENUE N	SILSBEE, N. D. HOUSE
WP040	120	COMSTOCK AVENUE E	WINTER PARK MASONIC TEMPLE
WP042	407	MELROSE AVENUE	PROUDFIT, ALBERT D. HOUSE
WP044	189	MORSE BOULEVARD E	LINCOLN APARTMENTS
WP045	457	NEW ENGLAND AVENUE E	HENKEL, T. M. HOUSE
WP048	373	OSCEOLA AVENUE	LENFEST, R. F. HOUSE
WP049	567	OSCEOLA AVENUE	SPANGLER, L. W. HOUSE
WP051	699	OSCEOLA AVENUE	SINCLAIR, HARRY M. HOUSE
WP054	966	PALMER AVENUE	BECKWITH, J. C. HOUSE
WP060	302-04	PARK AVENUE	UNION STATE BANK
WP061	306-08	PARK AVENUE S	306-308 PARK AVENUE
WP062	322-24-26	PARK AVENUE S	STANDARD GARAGE/UNITED MARKETS ARCADE
WP063	428	PARK AVENUE S	WINTER PARK SCHOOL
WP065	120	PENNSYLVANIA AVENUE	IDEAL WOMAN'S CLUB/HOOKER MEMORIAL
WP066	218	PENNSYLVANIA AVENUE S	WRIGHT, GEORGE HOUSE
WP071	616	SEMINOLE AVENUE	CADY, FREDERICK W. HOUSE
WP072	666	SEMINOLE AVENUE	666 SEMINOLE
WP073	144	STIRLING AVENUE	PROUDFIT/MACKLIN HOUSE
WP074	210	STIRLING AVENUE	GOSS, SAMUEL HOUSE

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP075	1499	SUMMERLAND AVENUE	LEFEVERE, C. J. HOUSE
WP076	1247	VIA CAPRI	SCHMELTZ, ERNST HOUSE
WP077	1161	VIA SALERNO	HENNING, C. S. HOUSE
WP079	181	VIRGINIA DRIVE	HALVERSTADT HOUSE
WP080	210	VIRGINIA DRIVE	BRENEMAN, ALBERT M. HOUSE
WP081	247	VIRGINIA DRIVE	JOINER, W. B. HOUSE
WP082	1721	WALKER AVENUE	1721 WALKER AVENUE
WP083	1800	WALKER AVENUE	1800 WALKER AVENUE
WP086		MORSE BOULEVARD W	MORSE BOULEVARD
WP102	1567	FORREST ROAD	AHLGRIM, D. A. HOUSE
WP103	250	LYMAN AVENUE W	LARIMORE, F. J. HOUSE
WP157	905	LAKEVIEW DRIVE	TREAT, J. A. HOUSE
WP163	1599	HIGHLAND ROAD	1599 HIGHLAND ROAD
WP173	1035	LAKEVIEW DRIVE	VERIGAN, J. H. HOUSE
WP174	1055	LAKEVIEW DRIVE	TROVILLION, R. A. HOUSE
WP179	876	OLD ENGLAND AVENUE	STONE, MELVILLE A. HOUSE
WP220	424	HENKEL CIRCLE	BOYCE, I. I. HOUSE
WP221	430	HENKEL CIRCLE	COBB, C. C. HOUSE
WP227	225	LYMAN AVENUE W	MADISON, FRANKLIN
WP228	226	LYMAN AVENUE W	COWARD, JULIA HOUSE
WP229	235	LYMAN AVENUE W	WILSON, WADE H. HOUSE
WP233	824	LYMAN AVENUE W	CLEVELAND, ARTHUR HOUSE
WP238	1000	GENIUS DRIVE	HENKEL, A. L. HOUSE
WP248	325	NEW ENGLAND AVENUE W	DIXON, W. H. HOUSE
WP249	456	NEW ENGLAND AVENUE W	HOFFMAN, MARY HOUSE
WP253	541	OSCEOLA AVENUE	CARLETON, H. B. HOUSE
WP256	511	OSCEOLA AVENUE	NICHOLS, EMILY HOUSE
WP257	630	PALMER AVENUE	WRIGHT, J. M. HOUSE
WP279	AT LYMAN	PENNSYLVANIA AVENUE S	MT. MORIAH CHURCH
WP284	111	WEBSTER AVENUE	HOTARD, DR. R. F. HOUSE
WP300	659	MORSE BOULEVARD W	659 MORSE BLVD.
WP315	1537	HILLCREST AVENUE	LIBBY, R. C. HOUSE
WP320	215	OSCEOLA COURT	215 OSCEOLA COURT
WP321	222	OSCEOLA COURT	222 OSCEOLA COURT
WP322	239	OSCEOLA COURT	239 OSCEOLA COURT
WP324	247	OSCEOLA COURT	247 OSCEOLA COURT
WP335	950	PALMER AVENUE	950 PALMER
WP338	640	PARK AVENUE	PARKAIRE APARTMENTS
WP354	200	INTERLACHEN AVENUE S	MITCHELL, LYDIA P. HOUSE
WP380	481	ALBERTA DRIVE	481 ALBERTA DRIVE
WP381	155	BREWER AVENUE	GEER, J. B. HOUSE
WP385	234	DETMAR AVENUE	PALMS CARETAKER'S HOUSE

WINTER PARK HISTORIC SITES SURVEY  
ADDRESS SITE LIST

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
8OR228	1700	ALABAMA AVENUE	PALMER/TEMPLE HOUSE
WP380	481	ALBERTA DRIVE	481 ALBERTA DRIVE
WP001	1034	ALOMA AVENUE	1034 ALOMA AVENUE
WP003	1306	ALOMA AVENUE	PETERSON, J. E. HOUSE
WP004	1009	ANCHORAGE	"ANCHORAGE" GARAGE
WP130	739	ANTOINETTE AVENUE	HOUSTON, WILLIAM HOUSE
WP131	747-749	ANTOINETTE AVENUE	CASON, S. W. HOUSE
WP132	754	ANTOINETTE AVENUE	DOAN, G. H. HOUSE
WP133	762	ANTOINETTE AVENUE	PALMER, BALDWIN HOUSE
WP134	767	ANTOINETTE AVENUE	767 ANTOINETTE AVENUE
WP135	781	ANTOINETTE AVENUE	BLACKBURN, J. E. HOUSE
WP137	786	ANTOINETTE AVENUE	BARBOUR, D. N. HOUSE
WP138	787	ANTOINETTE AVENUE	POOLE, ROBERT HOUSE
WP139	796	ANTOINETTE AVENUE	796 ANTOINETTE AVENUE
WP285	814	ANTOINETTE AVENUE	WILLIAMS, CARL HOUSE
WP286	817	ANTOINETTE AVENUE	817 ANTOINETTE AVENUE
WP140	818	ANTOINETTE AVENUE	SWASEY, MISS ELIZA HOUSE
WP141	828	ANTOINETTE AVENUE	LEACH, LUTHER A. HOUSE
WP142	829	ANTOINETTE AVENUE	829 ANTOINETTE AVENUE
WP144	834	ANTOINETTE AVENUE	JOHNSTONE, MRS. ANNIE B. HOUSE
WP145	835	ANTOINETTE AVENUE	835 ANTOINETTE AVENUE
WP094	1425	BERKSHIRE AVENUE	1425 BERKSHIRE AVENUE
WP108	1446	BERKSHIRE AVENUE	DAVIDSON, L. J. HOUSE
WP109	1475	BERKSHIRE AVENUE	NESS, P. J. HOUSE
WP110	1500	BERKSHIRE AVENUE	1500 BERKSHIRE AVENUE
WP111	1530	BERKSHIRE AVENUE	1530 BERKSHIRE AVENUE
WP112	1531	BERKSHIRE AVENUE	STUTZ, H. C. HOUSE
WP113	1532	BERKSHIRE AVENUE	1532 BERKSHIRE AVENUE
SFC	724	BONITA AVENUE	EASTBANK (COMSTOCK, WILLIAM HOUSE)
WP381	155	BREWER AVENUE	GEER, J. B. HOUSE
WP114	443	BROADVIEW AVENUE	MYERS, DR. W. A. HOUSE
WP115	471	BROADVIEW AVENUE	JOHNSON, W. J. HOUSE
WP116	1363	BUCKINGHAM ROAD	TAYLOR, M. C. HOUSE
WP117	1367	CANTERBURY ROAD	BETTES, J. J. HOUSE
WP107	1372	CANTERBURY ROAD	FISHER, G. H. HOUSE
WP119	1379	CANTERBURY ROAD	OESTRICHER, DR. A. R. HOUSE
WP006	1412	CANTERBURY ROAD	1412 CANTERBURY ROAD
WP120	506	CAPEN AVENUE	HARDEN, SARAH HOUSE
WP007	413	CAROLINA AVENUE	HORTON, AARON HOUSE
WP121	453	CAROLINA AVENUE	SWAIN, HARRY ROOMING HOUSE
WP122	467	CAROLINA AVENUE	467 CAROLINA AVENUE
WP123	524	CAROLINA AVENUE	BAKER, BENJAMIN HOUSE
WP124	532	CAROLINA AVENUE	ANDERSON, JESSE HOUSE
WP093	04	CHASE AVENUE	ANNIE RUSSELL THEATER
WP312	200	CHASE AVENUE	200 CHASE AVENUE
WP008	242	CHASE AVENUE	GIBBS/FREEMAN HOUSE
WP125	450	CLARENDON AVENUE	CANFIELD, G. M. HOUSE



WINTER PARK HISTORIC SITES SURVEY  
ADDRESS SITE LIST

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP126	1320	CLAY STREET	1320 CLAY STREET
WP091	1390	CLAY STREET	1390 CLAY STREET
WP029	1336	COLLEGE POINT	LEEDY, R. F. HOUSE
WP009	317	COMSTOCK AVENUE	JOHNSON, JACOB HOUSE
WP196	439	COMSTOCK AVENUE	PETERSON, GEORGE HOUSE
WP040	120	COMSTOCK AVENUE E	WINTER PARK MASONIC TEMPLE
WP198	440	COMSTOCK AVENUE W	WILLIAM, LLOYD HOUSE
WP199	451	COMSTOCK AVENUE W	WOODLEY, ANNA LEE HOUSE
WP200	452	COMSTOCK AVENUE W	JACKSON, HAROLD HOUSE
WP201	459	COMSTOCK AVENUE W	HARDY, EDDIE HOUSE
WP202	470	COMSTOCK AVENUE W	HARDY, R. F. HOUSE
WP204	471	COMSTOCK AVENUE W	MORGAN, ROSS J. HOUSE
WP127	479	COMSTOCK AVENUE W	479 COMSTOCK AVENUE
WP100	502	COMSTOCK AVENUE W	WILSON, ALEX HOUSE
WP206	510	COMSTOCK AVENUE W	LANIER, RALPH HOUSE
WP101	531	COMSTOCK AVENUE W	GLENN, J. W. HOUSE
WP207	626	COMSTOCK AVENUE W	MOORE, REV. ROGER HOUSE
WP208	634	COMSTOCK AVENUE W	DIXON, JAMES HOUSE
WP128	662	COMSTOCK AVENUE W	662 COMSTOCK AVENUE
WP210	663	COMSTOCK AVENUE W	FLETCHER, JOY HOUSE
WP211	664	COMSTOCK AVENUE W	DEAN, SULLIVAN HOUSE
WP212	674	COMSTOCK AVENUE W	DAY, MAXEY AVENUE
WP213	704	COMSTOCK AVENUE W	WILSON, WADE HOUSE
WP214	722	COMSTOCK AVENUE W	BROWN, LONNIE HOUSE
WP215	764	COMSTOCK AVENUE W	BLAND, GEORGE HOUSE
WP216	815	COMSTOCK AVENUE W	WHITE, WILLIAM HOUSE
WP129	816	COMSTOCK AVENUE W	COLSTON, MEADE HOUSE
WP136	817	COMSTOCK AVENUE W	817 COMSTOCK AVENUE
WP217	840	COMSTOCK AVENUE W	SHEFFIELD, EUGENE HOUSE
WP218	865	COMSTOCK AVENUE W	FLEMING, SAINT HOUSE
WP146	104	CORTLAND AVENUE	104 CORTLAND AVENUE
WP118	140	CORTLAND AVENUE	POWERS, GEORGE HOUSE
WP143	150	CORTLAND AVENUE	THOMAS, REV. J. B. HOUSE
WP010	161	CORTLAND AVENUE	GALT, E. L. HOUSE
WP011	260	CORTLAND AVENUE	DONNELLY, EDWARD R. HOUSE
WP012	1564	DALE AVENUE	DALE, PHILIP HOUSE
WP164	1635	DALE AVENUE	1635 DALE AVENUE
WP160	820	DENNING DRIVE	820 DENNING DRIVE
WP385	234	DETMAR DRIVE	PALMS CARETAKERS HOUSE
WP161	1366	DEVON ROAD	1366 DEVON ROAD
WP162	1400	DEVON ROAD	1400 DEVON ROAD
WP182	755	DOUGLAS AVENUE	PRINCE, SARAH HOUSE
WP013	1430	ELIZABETH DRIVE	HOLT, GEORGE HOUSE
WP014	1410	ELM STREET	1410 ELM STREET
WP147	1221	ESSEX ROAD	KNIGHT, A. H. HOUSE
WP148	1235	ESSEX ROAD	FISHER, MRS. L. B. HOUSE
WP149	1259	ESSEX ROAD	EDES, S. H. HOUSE
WP150	1329	ESSEX ROAD	STONE, HOMER HOUSE
WP151	1349	ESSEX ROAD	WOOD, L. A. HOUSE
WP186	1353	ESSEX ROAD	1353 ESSEX ROAD
WP189	1399	ESSEX ROAD	WESTON, C. G. HOUSE
WP015	377	FAIRBANKS AVENUE	COFFIN, DR. C. E. HOUSE
WP222	401	FAIRBANKS AVENUE	POWERS, HIRAM REAL ESTATE

WINTER PARK HISTORIC SITES SURVEY  
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<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP016	421	FAIRBANKS AVENUE	WEBSTER HOUSE #2
WP323	458-60-62-	FAIRBANKS AVENUE	BRADSHAW, A. K. HOUSE
WP209	480	FAIRBANKS AVENUE	SCHULTZ, WALTER HOUSE
WP017	496	FAIRBANKS AVENUE	ROLLINS PRESIDENT'S HOUSE
WP152	440	FAIRFAX AVENUE	440 FAIRFAX AVENUE
WP153	470	FAIRFAX AVENUE	470 FAIRFAX AVENUE
WP102	1567	FORREST ROAD	AHLGRIM, D. A. HOUSE
WP234	1645	FORREST ROAD	SPENCER, E. L. HOUSE
8OR241	2400	FORREST ROAD	THE RIPPLES
WP033	695	FRENCH AVENUE	695 FRENCH AVENUE
WP154	719	FRENCH AVENUE	DETWILER, L. A. HOUSE
WP155	731	FRENCH AVENUE	DIETERLY, G. C. HOUSE
WP156	745	FRENCH AVENUE	DAVIS, P. E. HOUSE
WP034	757	FRENCH AVENUE	FORBES, HUIDA H. MRS.
WP005	451	GARFIELD AVENUE W	451 GARFIELD AVENUE
WP219	121	GARFIELD AVENUE W.	KUMMER, G. O. HOUSE
WP238	1000	GENIUS DRIVE	HENKEL, A. L. HOUSE
WP235	139	GENIUS DRIVE	DETWILER/CARLES HOUSE
WP018	421	GENIUS DRIVE	BARROWS, DR. NATHAN HOUSE
WP019	901	GEORGIA	MEYER, EDWARD S. HOUSE
WP020	920	GEORGIA	920 GEORGIA
WP158	1479	GLENCOE ROAD	FULGHAM, OSCAR HOUSE
WP021	1490	GLENCOE ROAD	1490 GLENCOE ROAD
WP159	1510	GLENCOE ROAD	HARRIS, H. F. HOUSE
WP022	1539	GLENCOE ROAD	COTTING, J. A. HOUSE
WP242	1771	GLENCOE ROAD	CALDWELL, J. J. HOUSE
WP243	1873	GLENCOE ROAD	1873 GLENCOE ROAD
WP245	2171	GLENCOE ROAD	2171 GLENCOE ROAD
WP023	2210	GLENCOE ROAD	2210 GLENCOE ROAD
WP025	817	GOLFVIEW PARKWAY	BARNUM, HERBERT M. HOUSE
WP027	858	GOLFVIEW PARKWAY	SPROSS, CHARLES A. HOUSE
WP026	837	GOLFVIEW TERRACE	SLOAN, A. MAXWELL HOUSE
8OR232	1015	GREENTREE DRIVE	GOSS, SAMUEL HOUSE
SF	1401	GROVE TERRACE	GRISWOLD/WARD HOUSE
WP247	226	HANNIBAL SQUARE E.	WRIGHT, LULU HOUSE
WP251	227	HANNIBAL SQUARE E.	WRIGHT, LULU HOUSE
WP252	1253	HARDING STREET	ROSENFELT, W. P. HOUSE
8OR226	1554	HARRIS CIRCLE	MACCALLUM-HARRIS HOUSE
WP220	424	HENKEL CIRCLE	BOYCE, I. I. HOUSE
WP221	430	HENKEL CIRCLE	COBB, C. C. HOUSE
WP223	459	HENKEL CIRCLE	459 HENKEL CIRCLE
WP254	1355	HIBISCUS	BURNETT, S. A. HOUSE
WP255	1365	HIBISCUS	ALLISON, F. A. HOUSE
WP163	1599	HIGHLAND ROAD	1599 HIGHLAND ROAD
WP315	1537	HILLCREST AVENUE	LIBBY, R. C. HOUSE
WP258	1584	HILLCREST AVENUE	1584 HILLCREST AVENUE
WP262	1620	HILLCREST AVENUE	WESTSTORE, EDNA HOUSE
WP224	1756	HOLLYWOOD AVENUE	HARRIS, PERCY J.
WP225	1770	HOLLYWOOD AVENUE	JONES, T. R. HOUSE
WP226	1800	HOLLYWOOD AVENUE	ANDERSON, A. B. HOUSE
WP095	16	HOLT AVENUE E	PUGSLEY HALL
WP092	17	HOLT AVENUE E	ROLLINS HALL
WP096	18	HOLT AVENUE E	MAYFLOWER HALL

WINTER PARK HISTORIC SITES SURVEY  
ADDRESS SITE LIST

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP165	320	HOLT AVENUE W	HASSLINGER, C. HOUSE
WP166	330	HOLT AVENUE W	LINDERGREEN, F. J. HOUSE
WP046	346	HOLT AVENUE W	WENDLAND, P. G. HOUSE
WP167	400	HOLT AVENUE W	YON, S. L. HOUSE
WP168	404	HOLT AVENUE W	YARNELL, REV. FRANCIS
WP169	422	HOLT AVENUE W	PRIBBLE, IRVIN HOUSE
WP170	430	HOLT AVENUE W	MALIN, B. H. HOUSE
WP171	544	HOLT AVENUE W	PATTY, H. L. HOUSE
WP002		HUNTINGTON AVENUE	OLD WINTER PARK HIGH SCHOOL
8OR219	231	INTERLACHEN AVENUE N	OSCEOLA LODGE
WP035	324	INTERLACHEN AVENUE N	BISHOPSTEAD
8OR247	520	INTERLACHEN AVENUE N	CAPEN, J. S. HOUSE
8OR234	656	INTERLACHEN AVENUE N	CASA FELIZ
WP031		INTERLACHEN AVENUE S	CONGREGATIONAL CHURCH
WP097	002	INTERLACHEN AVENUE S	KNOWLES CHAPEL
WP032	100	INTERLACHEN AVENUE S	1ST UNITED METHODIST CHURCH
8OR231	147	INTERLACHEN AVENUE S	ONEONTA LODGE
WP354	200	INTERLACHEN AVENUE S	MITCHELL, LYDIA P. HOUSE
WP036	001	ISLE OF SICILY	1 ISLE OF SICILY
WP037	003	ISLE OF SICILY	ROGERS, JAMES GAMBLE II
WP272	1052	KENTUCKY AVENUE	BRYAN RENTAL HOUSE
WP270	1115	KENTUCKY AVENUE	BURKHART, J. S. HOUSE
WP277	1159	KENTUCKY AVENUE	WHITEHURST, G. F. HOUSE
WP203	1200	KENWOOD AVENUE	1200 KENWOOD AVENUE
WP288	1207	KENWOOD AVENUE	1207 KENWOOD AVENUE
WP289	230	KILLARNEY DRIVE	HOURCE, ARTHUR M, HOUSE
8OR222	232	KNOWLES AVENUE N	KNOWLES COTTAGE #2
WP038	333	KNOWLES AVENUE N	SILSBEE, N. D. HOUSE
WP157	905	LAKEVIEW DRIVE	TREAT, J. A. HOUSE
WP290	937	LAKEVIEW DRIVE	TREAT, J. A. HOUSE
WP172	1023	LAKEVIEW DRIVE	WAINWRIGHT, H. R. HOUSE
WP173	1035	LAKEVIEW DRIVE	VERIGAN, J. H. HOUSE
WP174	1055	LAKEVIEW DRIVE	TROVILLION, R. A. HOUSE
WP313	1167	LAKEVIEW DRIVE	1167 LAKEVIEW DRIVE
WP191	1169	LAKEVIEW DRIVE	BILLINGS, J. M. HOUSE
WP291	1195	LAKEVIEW DRIVE	1195 LAKEVIEW DRIVE
WP175	1234	LAKEVIEW DRIVE	BRYAN, W. C. HOUSE
WP280	1270	LAKEVIEW DRIVE	COLE, H. E. HOUSE
WP293	408	LYMAN AVENUE E	HALLA, PHILIP J. HOUSE
WP227	225	LYMAN AVENUE W	MADISON, FRANKLIN
WP228	226	LYMAN AVENUE W	COWARD, JULIA HOUSE
WP229	235	LYMAN AVENUE W	WILSON, WADE H. HOUSE
WP103	250	LYMAN AVENUE W	LARIMORE, F. J. HOUSE
WP232	366	LYMAN AVENUE W	366 LYMAN AVENUE
WP292	404	LYMAN AVENUE W	404 LYMAN AVENUE
WP068	665	LYMAN AVENUE W	BRUCE CASH GROCERY
WP231	674	LYMAN AVENUE W	STRAUTER, ARTHUR HOUSE
WP294	706	LYMAN AVENUE W	706 LYMAN AVENUE
WP087	732	LYMAN AVENUE W	MORAN, WILLIAM HOUSE
WP233	824	LYMAN AVENUE W	CLEVELAND, ARTHUR HOUSE
WP350		MARYLAND AVENUE	MARYLAND AVENUE
WP349	757	MARYLAND AVENUE	757 MARYLAND AVENUE
WP271	778	MARYLAND AVENUE	ALTER, F. W. HOUSE

WINTER PARK HISTORIC SITES SURVEY  
ADDRESS SITE LIST

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP342	803	MARYLAND AVENUE	803 MARYLAND AVENUE
WP295	996	MAYFIELD	996 MAYFIELD
WP296	1343	MAYFIELD AVENUE	1343 MAYFIELD AVENUE
WP236	808	MCINTYRE AVENUE	JOHNSON, CURTIS HOUSE
WP042	407	MELROSE AVENUE	PROUDFIT, ALBERT D. HOUSE
WP050	420	MELROSE AVENUE	HEIDNER, J. G. HOUSE
WP177	446	MELROSE AVENUE	THOMPSON, MISS GRACE
WP178	455	MELROSE AVENUE	THOMPSON, ROBERT HOUSE
WP282	511	MELROSE AVENUE	511 MELROSE AVENUE
WP297	1434	MICHIGAN AVENUE	1434 MICHIGAN AVENUE
WP237	1399	MILLER AVENUE	VAN WIE, H. J. HOUSE
WP176	1409	MILLER AVENUE	TESKEY, W. H. HOUSE
WP239	1415	MILLER AVENUE	PROBST, WILLIAM HOUSE
WP240	1455	MILLER AVENUE	RANDALL, F. B. HOUSE
WP298	650	MINNESOTA AVENUE	650 MINNESOTA AVENUE
WP299	666	MINNESOTA AVENUE	666 MINNESOTA AVENUE
WP382	730	MINNESOTA AVENUE	730 MINNESOTA AVENUE
WP241	1019	MINNESOTA AVENUE	DAVIS, MIRIAM HOUSE
WP043	1799	MIZELL AVENUE	1799 MIZELL
WP244	115-19-21	MORSE BOULEVARD E	PODMORE BUILDING
WP044	189	MORSE BOULEVARD E	LINCOLN APARTMENTS
WP086		MORSE BOULEVARD W	MORSE BOULEVARD
WP300	659	MORSE BOULEVARD W	659 MORSE BLVD.
WP246	720	MORSE BOULEVARD W	ENGLISH, ALEX HOUSE
8OR227	433	NEW ENGLAND AVENUE E	WEBSTER-WAGNER HOUSE
WP045	457	NEW ENGLAND AVENUE E	HENKEL, T. M. HOUSE
WP248	325	NEW ENGLAND AVENUE W	DIXON, W. H. HOUSE
WP301	446	NEW ENGLAND AVENUE W	LOCKLAND HOTEL
WP249	456	NEW ENGLAND AVENUE W	HOFFMAN, MARY HOUSE
WP105	543	NEW ENGLAND AVENUE W	NEW ENGLAND ICE CREAM PARLOR
WP250	775	NEW ENGLAND AVENUE W	BATTLES, J. P. HOUSE
WP104	813	NEW ENGLAND AVENUE W	AMBROSE, ALLEN HOUSE
WP302	850	NEW ENGLAND AVENUE W	PHILLIPS RENTALS
WP303	860	NEW ENGLAND AVENUE W	PHILLIPS RENTAL HOUSE
WP383	1280	NEW YORK AVENUE	1280 NEW YORK
WP304	1516	OAKHURST AVENUE	1516 OAKHURST
WP305	1109	OAKS BLVD.	1109 OAKS BLVD.
WP179	876	OLD ENGLAND AVENUE	STONE, MELVILLE A. HOUSE
WP306	1485	ORANGE AVENUE	1485 ORANGE AVENUE
WP047	1509	ORANGE AVENUE	1509 ORANGE AVENUE
WP307	1565	ORANGE AVENUE	GROSS, HOWARD A. HOUSE
WP308	1675	ORANGE AVENUE	1675 ORANGE AVENUE
WP048	373	OSCEOLA AVENUE	LENFEST, R. F. HOUSE
WP309	476	OSCEOLA AVENUE	MOORE, MRS. W. H. HOUSE
WP256	511	OSCEOLA AVENUE	NICHOLS, EMILY HOUSE
WP253	541	OSCEOLA AVENUE	CARLETON, H. B. HOUSE
SFD	552	OSCEOLA AVENUE	PECKHAM, PELEG HOUSE
WP310	557	OSCEOLA AVENUE	GREEN, WILHEMINA HOUSE
WP049	567	OSCEOLA AVENUE	SPANGLER, L. W. HOUSE
8OR221	621	OSCEOLA AVENUE	WARD COTTAGE
WP317	664	OSCEOLA AVENUE	664 OSCEOLA AVENUE
WP318	648	OSCEOLA AVENUE	648 OSCEOLA AVENUE
WP051	699	OSCEOLA AVENUE	SINCLAIR, HARRY M. HOUSE

WINTER PARK HISTORIC SITES SURVEY  
ADDRESS SITE LIST

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP320	215	OSCEOLA COURT	215 OSCEOLA COURT
WP321	222	OSCEOLA COURT	222 OSCEOLA COURT
WP322	239	OSCEOLA COURT	239 OSCEOLA COURT
WP324	247	OSCEOLA COURT	247 OSCEOLA COURT
WP326	163	OVERLOOK ROAD	163 OVERLOOK ROAD
WP283	1168	OXFORD ROAD	KESSLER, B. F. HOUSE
WP327	1335	PALM AVENUE	1335 PALM AVENUE
WP328	115	PALMER AVENUE	115 PALMER AVENUE
8OR229	161	PALMER AVENUE	GREY ACRES (MACDONALD HOUSE)
WP329	225	PALMER AVENUE	225 PALMER AVENUE
WP330	312	PALMER AVENUE	312 PALMER AVENUE
WP331	345	PALMER AVENUE	345 PALMER
WP257	630	PALMER AVENUE	WRIGHT, J. M. HOUSE
WP333	800	PALMER AVENUE	800 PALMER AVENUE
WP334	843	PALMER AVENUE	843 PALMER AVENUE
8OR224	921	PALMER AVENUE	ALABAMA HOTEL
8OR225	921	PALMER AVENUE	TEMPLE, W. C. REFECTORY
WP335	950	PALMER AVENUE	950 PALMER
WP054	966	PALMER AVENUE	BECKWITH, J. C. HOUSE
WP055	1020	PALMER AVENUE	MASON, A. W. HOUSE
WP052	1101	PALMER AVENUE	1101 PALMER AVENUE
8OR242	1290	PALMER AVENUE	HAKES COTTAGE
WP336	616	PANSY AVENUE	616 PANSY
WP337		PARK AVENUE	PARK AVENUE
WP060	302-04	PARK AVENUE	UNION STATE BANK
WP338	640	PARK AVENUE	PARKAIRE APARTMENTS
8OR237	102-04-08	PARK AVENUE N	CHASE BUILDING/TAYLOR'S PHARMACY
WP339	1717	PARK AVENUE N	1717 PARK AVENUE N.
WP057	126-28-30	PARK AVENUE S	MORSE BUILDING/WCTU ROOM/BABY GRANDE
WP058	150	PARK AVENUE S	PIONEER STORE
8OR239	206	PARK AVENUE S	SCHULTZ BUILDING
WP061	306-08	PARK AVENUE S	306-308 PARK AVENUE
WP064	307	PARK AVENUE S	HAMILTON HOTEL, PARK INN SITE
WP062	322-24-26	PARK AVENUE S	STANDARD GARAGE/UNITED MARKETS ARCADE
WP063	428	PARK AVENUE S	WINTER PARK SCHOOL
WP341		PELLAM AVENUE	PELLAM AVENUE
WP340	1301	PELLAM AVENUE	1301 PELLAM
WP260	1405	PELLAM AVENUE	SHELL, F. E. HOUSE
WP259	1406	PELLAM AVENUE	HUBER, FRANCES HOUSE
WP065	120	PENNSYLVANIA AVENUE	IDEAL WOMAN'S CLUB/HOOKER MEMORIAL
WP344		PENNSYLVANIA AVENUE S	PENNSYLVANIA AVENUE S
WP266	1151	PENNSYLVANIA AVENUE S	1151 PENNSYLVANIA AVENUE
WP265	1163-65-67	PENNSYLVANIA AVENUE S	1163-65-67-69 PENNSYLVANIA AVENUE
WP066	218	PENNSYLVANIA AVENUE S	WRIGHT, GEORGE HOUSE
WP261	517	PENNSYLVANIA AVENUE S	BAULTMAN, HANCE HOUSE
WP264	778	PENNSYLVANIA AVENUE S	WESSONA, A. A. HOUSE
WP067	843	PENNSYLVANIA AVENUE S	843 PENNSYLVANIA AVENUE
WP263	853	PENNSYLVANIA AVENUE S	MEHLER, F. B. HOUSE
WP348	855	PENNSYLVANIA AVENUE S	855 PENNSYLVANIA AVENUE
WP041	865	PENNSYLVANIA AVENUE S	865 PENNSYLVANIA AVENUE
WP279	AT LYMAN	PENNSYLVANIA AVENUE S	MT. MORIAH CHURCH
WP351	112	PHELPS AVENUE	112 PHELPS
WP352	201	PHELPS AVENUE	201 PHELPS

WINTER PARK HISTORIC SITES SURVEY  
ADDRESS SITE LIST

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP353	317	PHELPS AVENUE	317 PHELPS
WP267	530	PHELPS AVENUE	FOSTER, J. D. HOUSE
WP345	1688	PINE AVENUE	1688 PINE
WP069	820	PINETREE ROAD	LIBBY, C. J. HOUSE
WP053	1264	RICHMOND ROAD	1264 RICHMOND ROAD
WP180	1273	RICHMOND ROAD	1273 RICHMOND ROAD
WP181	1285	RICHMOND ROAD	BAUTER, C. E. HOUSE
WP183	1295	RICHMOND ROAD	JULIAN, DR. CHARLES HOUSE
WP056	1304	RICHMOND ROAD	1304 RICHMOND ROAD
WP184	1313	RICHMOND ROAD	1313 RICHMOND ROAD
WP185	1351	RICHMOND ROAD	1351 RICHMOND ROAD
WP187	1358	RICHMOND ROAD	HARMON, C. HOUSE
WP070	1362	RICHMOND ROAD	BALDWIN, E. R. HOUSE
WP188	1377	RICHMOND ROAD	1377 RICHMOND ROAD
WP355	141	ROCKWOOD WAY	141 ROCKWOOD WAY
WP356	1624	ROUNDELAY	1624 ROUNDELAY
80R248	314	SALVADOR SQUARE	BONNIE BURN
WP071	616	SEMINOLE AVENUE	CADY, FREDERICK W. HOUSE
WP072	666	SEMINOLE AVENUE	666 SEMINOLE
WP357		SHOREVIEW AVENUE	SHOREVIEW AVENUE
WP268	518	SHOREVIEW AVENUE	DAUGHERTY, A. V. HOUSE
WP361	1616	SPRUCE AVENUE	1616 SPRUCE
WP073	144	STIRLING AVENUE	PROUDFIT/MACKLIN HOUSE
WP074	210	STIRLING AVENUE	GOSS, SAMUEL HOUSE
WP269	155	STOVIN AVENUE	CAMPBELL, DR. C. A. HOUSE
WP363	173	STOVIN AVENUE	173 STOVIN
WP364	183	STOVIN AVENUE	183 STOVIN
WP365	187	STOVIN AVENUE	187 STOVIN
80R233	1300	SUMMERLAND AVENUE	LAWERENCE/CHUBB HOUSE
WP075	1499	SUMMERLAND AVENUE	LEFEVERE, C. J. HOUSE
WP367	1315	SUNSET	1315 SUNSET
WP368	1324	SUNSET	1324 SUNSET
WP369	1409	SUNSET	1409 SUNSET
WP370	1572	SUNSET	1572 SUNSET
WP366	236	SYLVAN DRIVE	236 SYLVAN DRIVE
WP358	244	SYLVAN DRIVE	244 SYLVAN DRIVE
WP362	292	SYLVAN DRIVE	292 SYLVAN DRIVE
WP359	663	SYMONDS AVENUE	663 SYMONDS AVENUE
WP360	852	SYMONDS AVENUE	852 SYMONDS AVENUE
WP347	1864	TAYLOR AVENUE	1864 TAYLOR AVENUE
WP346	1880	TAYLOR AVENUE	1880 TAYLOR AVENUE
WP088		THE HORSESHOE, ROLLINS COLLEGE	PINEHURST
WP089		THE HORSESHOE, ROLLINS COLLEGE	CHASE HALL
WP090		THE HORSESHOE, ROLLINS' COLLEGE	CARNEGIE LIBRARY
SF	240	TRISMEN TERRACE	BREWER HOUSE
80R223	701	VIA BELLA	WEATOGUE
WP384	1146	VIA CAPRI	1146 VIA CAPRI
WP076	1247	VIA CAPRI	SCHMELTZ, ERNST HOUSE
WP077	1161	VIA SALERNO	HENNING, C. S. HOUSE
80R245	1461	VIA TUSCANY	SANDSCOVE
WP078	1551	VIA TUSCANY	PRATT, CHARLES HYDE HOUSE
WP190	324	VICTORIA AVENUE	KENT, DR. ALFRED HOUSE
WP039	326	VICTORIA AVENUE	WOODWARD, D. A. HOUSE

WINTER PARK HISTORIC SITES SURVEY  
ADDRESS SITE LIST

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP192	333	VICTORIA AVENUE	333 VICTORIA AVENUE
WP193	338	VICTORIA AVENUE	WHITMORE, ALBRA HOUSE
WP194	346	VICTORIA AVENUE	JOHNSTON, WALGER HOUSE
WP195	357	VICTORIA AVENUE	WINSLOW, H. C. HOUSE
WP098	358	VICTORIA AVENUE	MERRILL, F. D. HOUSE
WP059	367	VICTORIA AVENUE	LARKIN, L. ULYSSES
WP371	368	VICTORIA AVENUE	368 VICTORIA AVENUE
WP197	378	VICTORIA AVENUE	BAKER, R. C. HOUSE
WP099	391	VICTORIA AVENUE	NICKOLSON, W. C. HOUSE
WP311	147	VIRGINIA DRIVE	BRYAN, DR. N. L.
WP079	181	VIRGINIA DRIVE	HALVERSTADT HOUSE
WP080	210	VIRGINIA DRIVE	BRENEMAN, ALBERT M. HOUSE
WP081	247	VIRGINIA DRIVE	JOINER, W. B. HOUSE
WP082	1721	WALKER AVENUE	1721 WALKER AVENUE
WP083	1800	WALKER AVENUE	1800 WALKER AVENUE
WP284	111	WEBSTER AVENUE	HOTARD, DR. R. F. HOUSE
WP084	253	WEBSTER AVENUE	PHILLIPS, E. R. HOUSE
WP085	341	WEBSTER AVENUE	HAYES, E. E. HOUSE
WP028	461	WEBSTER AVENUE E.	EDWARDS, BENJAMIN E. HOUSE
WP275	308	WELBORNE AVENUE W	JACKSON, CAROLINE HOUSE
WP274	340	WELBORNE AVENUE W	DAVIS, AMY HOUSE
WP273	445	WELBORNE AVENUE W	MCDONALD, ADA HOUSE
WP276	455	WELBORNE AVENUE W	BROWN, MARY HOUSE
WP373	1455	WESTCHESTER AVENUE	1455 WESTCHESTER AVENUE
WP374	1477	WESTCHESTER AVENUE	1477 WESTCHESTER AVENUE
WP375	1482	WESTCHESTER AVENUE	1482 WESTCHESTER AVENUE
WP376	1517	WESTCHESTER AVENUE	1517 WESTCHESTER AVENUE
WP278	1520	WESTCHESTER AVENUE	BLOOCH, B. H. HOUSE
WP372	1540	WESTCHESTER AVENUE	1540 WESTCHESTER AVENUE
WP106	1621	WESTCHESTER AVENUE	SMITH, GEORGE JR.

PART II  
CITY OF WINTER PARK  
HISTORIC PRESERVATION PLAN



# WINTER PARK HISTORIC PRESERVATION PLAN

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This Historic Preservation Plan was prepared by Florida Preservation Services, Inc. under a contract with the City of Winter Park. This project was financed in part with historic preservation grant assistance provided by the Bureau of Historic Preservation, Florida Department of State, assisted by the Historic Preservation Advisory Council. However, the contents and opinions do not necessarily reflect the views and opinions of the Florida Department of State or the City of Winter Park, nor does the mention of trade names or commercial products constitute endorsement or recommendation by the Florida Department of State or the City of Winter Park.

## INTRODUCTION

The City of Winter Park is a special community rich in historic resources, natural beauty and relaxed charm. Any resident or visitor will readily agree that of its many qualities, Winter Park has "historical character". That this quality survives in the midst of one of the nation's fastest growing metropolitan regions is fortunate; the heritage of many Florida communities has vanished without a trace. In recognition of the quality and value of Winter Park's resources, this plan is intended to guide positive action by the City and its citizens, in partnership, to conserve the historic and archaeological resources and associated ambience.

### Plan Goal

It shall be the goal of the City of Winter Park to encourage the identification, recognition, and protection of those historical, architectural and archeological resources that serve as living examples of the heritage of the community.

### Purpose and Goal

There was a time when zoning, or separation of uses did not exist as a public function. There was also a time when man's impact on the environment and ecological systems was not a consideration of public or private entities. Similarly, the protection and conservation of historic and archaeological resources was at one time of limited concern, but is increasingly becoming a public policy subject and routine function of local government. The purpose of this Plan is to provide a framework for identifying community goals and developing public policy with regard to historic resource protection and a program for their implementation.

Historic preservation has long been the prime focus and activity of historical groups and societies. Historic preservation has only recently entered the realm of urban planning, revitalization, and growth management. The tools developed to protect the historic and archaeological resources of a community are now recognized as valuable in the effort to maintain the ambient quality of a place, to encourage the private sector to rehabilitate older structures, and to control growth through the management of density, height and land use.

The recent past has been marked by extensive building activity resulting in the permanent loss of many historic and archaeological resources. In addition, many residential structures have been altered to such an extent that little remains

of the original structure. Often the alterations and additions result in structures contrary to the existing scale and intensity of the neighborhood. While it is not the intent of this plan to curtail progress or prevent the remodeling of homes, the Plan is a stand for careful direction and guidance that will allow for modern construction that complements and enhances the existing historic fabric of the community.

The implementation of historic preservation alternatives that are available to Winter Park will yield many benefits, both tangible and intangible. Historic preservation techniques are designed to encourage the rehabilitation of historic buildings through offering positive incentives or by removing regulatory barriers to rehabilitation activity. Historic buildings that have been rehabilitated result in an increased sense of community pride and lend an air of stability to neighborhoods and commercial centers. Along with being aesthetically pleasing, rehabilitated buildings are often economically successful through the availability of rehabilitation tax credits or other financial techniques. Historic areas are important tourist destinations resulting in economic benefits community-wide. Finally, rehabilitated buildings generally have a greater taxable value than non-rehabilitated buildings.

#### Legal Background

The Local Government Comprehensive Planning and Land Development Regulation Act of 1985 addresses historic preservation in several areas. The Act requires local government comprehensive plans to address historic resources on the future land use map, to identify historic housing opportunities in the housing element, and coastal communities must identify and specify goals and policies for coastal, historical or archeological resources in the coastal zone protection element. All elements must be internally consistent, that is, the policies of each element must not conflict. The Act also provides communities the option of preparing an historic preservation element "setting out plans and programs for those structures or lands in the area having historical, archaeological, architectural, scenic, or similar significance." (F.S. Ch. 163, as amended, 1985)

The Winter Park Historic Preservation Plan element is a legal document within the city limits. All ordinances or plans adopted by the City must be consistent with the element. Periodic assessments and evaluations are required, with appropriate modifications applied.

## STUDY DESIGN AND PLAN ORGANIZATION

### The Historic and Architectural Survey

The development of public policy must follow a period of examination of existing conditions and analysis of problems and opportunities. Similarly, the preparation of a historic preservation plan followed an extensive survey and analysis of the history of Winter Park and its manifestation through the built environment and urban design.

The survey, conducted in the spring and early summer of 1986, resulted in the location and identification of over 500 structures dating to the historical development period, generally built prior to 1930. An architectural analysis identified the dominant architectural styles, building materials, and local building traditions. This information is essential in identifying the character-defining features of individual structures, as well as the designation of clusters of resources.

### Code Analysis

In addition to the historical and architectural inventory, the existing regulatory framework of Winter Park came under study. Potential disincentives to the rehabilitation of historic structures or policies discouraging, for example, re-use of historic buildings were searched through an analysis of the Comprehensive Plan, Building Code and Zoning Code.

### Workshops

Meetings were held with the Historic Commission to discuss and identify possible issues, problems or opportunities. These contributions allowed for the identification of community goals and desired directions with regard to historic preservation.

Following a synthesis and final analysis of the nature of the resources, the policy expressed by local regulations and many conversations, recommendations for action and programming were developed.

## RESOURCES

The focus of the present study is to locate, identify and evaluate the historic resources of Winter Park, with recommendations for their future protection. Historic resources do not exist in a vacuum; rather, they are presented in topical settings consisting of various urban elements. Any program designed to protect the historic resources must also, if it is to fully appreciate the resources, comprehensively address these environmental or man-made features including open spaces, trees, lakes and lakeshores, brick streets and infrastructure. Those elements considered of complementary importance to the nature, condition and experience of the resources are first addressed, with recommendations for further enhancement.

### Open Spaces

Winter Park is fortunate to have many open spaces which provide pockets of greenery throughout the City. While some are mini-parks, others are landscaped portions of large vacant lots or landscaped right-of-way. A significant number of open spaces appear around the many lakes of Winter Park. These spaces are not only important as passive recreation areas, but also visually in providing a backdrop or setting for the historic buildings.

The city's open spaces serve many different purposes and are varied in intensity of use. Central Park is an urban open space for passive recreation. The pumping station has a building, yet provides greenery. The Dinky Dock is a waterfront open space with a passively used, but much heralded dock. Golf View park is a suburban park or greenbelt in a well-maintained neighborhood of historic homes. The Golf Course is an important open space providing a setting for viewing a row of historic homes on its boundaries.

In Winter Park there are a number of approaches to the Park Avenue area that, if enhanced, would provide a dramatic and well-defined entry. Morse Boulevard is one such arterial, that would be an asset to the urban design if properly landscaped and defined with street lighting and amenities.

### Recommendations:

A.1. The City should develop a policy specifically addressing the preservation and maintenance of its open spaces. The policy should address the importance of open spaces in providing a setting for historic resources and a future plan for the designation of more open spaces or pocket parks.

A.2. The City should adopt a policy concerning the further

construction of buildings or structures in Central Park. This may take the form of a plan addressing future improvements.

A.3. The City should cooperate with private or institutional efforts to maintain the Dinky Dock as a historic site.

A.4. The City should consider forming a policy to protect the vistas provided by the Golf Course.

A.5. Entry arterials into the Downtown, or Park Avenue area, should be studied with regard to improvements as focal points of the community.

### Lakes and Lakeshores

Perhaps the single most important natural feature of Winter Park is the series of inter-connecting freshwater lakes. The lakes provide for many vistas throughout the city from which to view estate houses and associated boat houses and docks. The lake shores provide a green belt important in setting the visual scale and texture of the community. The City has expressed its commitment to protecting the lakes by the seating of the Lakes and Waterways Board addressing matters related to the protection and maintenance of the chain of lakes.

### Recommendations:

B.1. The Lakes and Waterways Board should be provided an inventory and map of historic resources that are situated on lakeshores or within the geographic areas under the purview of the Board. In its deliberations, any potential impacts to historic resources should be an item of consideration.

B.2. The Historic Preservation Commission should be permitted to review and act upon any developments in lakeshore areas that may potentially impact historic resources.

### Brick Streets and Infrastructure

The historic neighborhoods of Winter Park are greatly enhanced by the existence of brick paved streets and original curbs. Brick streets may actually be considered a historic resource. With their rich, variegated colors, and slightly uneven surfaces, they contribute greatly to the overall ambiance of historic neighborhoods. Brick streets are a little slower, more curved and perhaps narrower than modern streets, yet these aspects lend to a lifestyle of relaxation and stability.

In addition to brick paving, other articles of the urban landscape derive from earlier times. Bridges, street lights, and street furniture were found in various locations. Such improvements complement the historic character of Winter Park.

Recommendations:

C.1. The City should develop a policy of addressing the impact of city projects on brick streets, such as paving, laying of sewer lines or water lines. Further, the City should make every effort to protect brick streets from disturbances or the application of asphalt paving.

C.2. The City should cooperate with and assist in whatever manner possible in any private efforts to de-asphalt brick streets.

C.3. The City should consider a joint effort with the utility companies to begin a program of burying overhead wires or power lines.

C.4. The City should make every effort, when planning for the provision of new street lights, bridges, or street furniture, to consider styles that will be harmonious with the historic character and resources of the community.

Trees

Winter Park is fortunate to be canopied by massive oak, camphor and magnolia trees. Understory vegetation of azaleas, camelias and shrubs contribute to the very natural, shaded ambiance of the City. The trees of Winter Park provide for shaded streets and an attractive backdrop for historic resources. In recognition of this resource, the City has enacted a tree protection ordinance addressing the removal of trees of a certain size.

Recommendations:

D.1. The City may consider the preparation of a "tree plan" as a positive approach where residents may obtain information of planting trees that continue to enhance the historic fabric of the city.

## REGULATORY FRAMEWORK AND PROGRAMS

### Winter Park Comprehensive Plan

The City of Winter Park has expressed its commitment to the conservation of those positive values that may also be encompassed by historic preservation in the overall goal of the Plan:

"Winter Park should maintain its identity in a rapidly urbanizing setting by preserving and enhancing its natural beauty, pleasant environment and unique character."

Through this end, all goals expressed by the various elements of the Comprehensive Plan work toward creating the possibility for community preservation and enhancement. An analysis of these goals and recommendations indicates that that Plan does not contain goals and policies that may be detrimental or inconsistent with the preservation effort.

While the Comprehensive Plan does not block preservation efforts, it also does not specifically encourage historic preservation activities through positive incentives. The recommendations embodied by the Historic Preservation Plan will serve to provide for the active encouragement and support of preserving historic structures in a contemporary, economically feasible fashion.

### Recommendations:

E.1. It is recommended that all historic resources be indicated on the Future Land Use Map or Map Series. Historic Districts should be delineated on the Map also.

E.2. Policies on street widening should be specifically addressed with regard to potential impact on historic resources or districts.

E.3. It is recommended that the Housing Element specifically address historic resources as housing opportunities.

### Winter Park Zoning Regulations

The Zoning Code of the City of Winter Park provides land development regulations necessary in providing for compatible uses, adequate but not excessive heights and densities and proper



parking facilities. The size and scale of developments are regulated through setback and minimum lot requirements. The regulations encompassed by the Zoning Code do not overtly deter the sensitive rehabilitation of historic properties, nor do they encourage assemblage and demolition that would be supported by the potential for excessive heights, densities or higher uses.

Regulations for single family areas provide for maximum allowable heights and minimum setbacks and sideyards. Many of the historic homes of Winter Park were developed far below the maximum intensities allowed by the Code. The existing character of the residential areas is that of a lower scale and proportion than what may be actually built under the Code. Today, building activity in these neighborhoods involves the extensive remodelling of houses, filling the proportions of lot coverage, height and setbacks. This activity greatly changes the overall character of Winter Park's neighborhoods in the scale and harmony of proportions. While it is not within the scope of this study to produce new standards for residential development, further study is recommended in the form of a height and bulk study of existing characteristics and the applicable regulations.

A positive incentive to historic preservation is found in Section 31-22.5, relating to Floodplain Regulations. This provides for the exemption of buildings listed on the National Register of Historic Places or state inventory from the provisions of the regulations, especially with regard to reconstruction, rehabilitation, or restoration. This very positive incentive may prevent the permanent loss of historic resources located in flood zones.

However, there are areas for improvement. Section 31-4 prohibits the improvement of structures on non-conforming lots, non-conforming uses of land and non-conforming structures or combinations thereof. Most historic structures, by nature of historical building patterns, are non-conforming in some fashion. It is possible that this regulation has, at some time in the past, or could in the future, lead to the demolition of a historically significant resource.

Other areas of the Code need only fine-tuning to create a more positive environment for historic preservation activities. One such activity is that of converting a residential structure into a house museum, a valuable cultural and educational resource in a community. Historic house museums often have low attendance rates, making them good neighbors in residential areas. This use is not included amongst the permitted uses in the residential or office zones.

The Parks and Recreation District regulations do not address the impact of the construction of structures in parks or open spaces, which may have an impact on nearby historic resources. This may be a criteria for evaluation in considering proposed structures.

The Planned Unit Residential District, Commercial Shopping Center District, and C-4 District regulations require certain

information before review and approval of re-zonings. The existence of historic resources is not included in this requirement. Including such could lead to the awareness of the value of a resource. This may allow for the preservation of the resource as part of the project.

Minor administrative changes that may provide for clarity on preservation issues would be to include a statement encouraging the protection and enhancement of historic resources in the Statement of Intent paragraph. Also, "historic resources" and "historic house museum" may be added to the Definitions Section.

#### Recommendations:

F.1. A height and bulk study should be conducted to determine the appropriate standards for residential development in Winter Park's single family residential zones that would protect the harmony of scale and proportion while continue to support home improvements and architectural innovations.

F.2. Historic resources should be exempt from the provisions of Section 31-4 pertaining to non-conformities.

F.3. Historic house museums should be considered a permitted use in the Residential and Office zones.

F.4. The impact on nearby historic resources should be considered in the review of proposed structures built in the Parks/Recreation zone.

F.5. Developments in the PURD, CSC, and C-4 zones should be reviewed for the existence of historic resources with appropriate means for mitigation should the resource interfere with proposed development.

F.6. The Statement of Intent of the Zoning Code should include language expressing the intent of "encouraging" or "providing for" the preservation and rehabilitation of historic resources.

F.7. The Definitions section should include the definitions of "historic resource" and "historic house museum."

#### Building Code

The City of Winter Park Building Department uses the Southern Standard Building Code to regulate all construction within the City. Section 101.5 of the Code provides the building official the descretion to waive provisions of the code for city designated historic buildings where life and safety will not be endangered. This provision makes possible rehabilitation work that would not be permitted under current code.

Technical assistance is available from architectural services

division of the Bureau of Historic Resources of the Department of State. Local contractors associations, the local chapter of the American Institute of Architects and American Society of Interior Designers may be consulted on these issues to provide a framework for cooperation and information distribution.

Recommendations:

G.1. A series of workshops is recommended to be attended by the Building Administrator or staff and members of the Historic Commission to explore specific areas of construction where Section 101.5 of the Building Code could be applied and where it could not.

The Historic Preservation Commission

The City of Winter Park established the Historic Preservation Commission as an advisory board in December of 1984 to investigate and survey the historic resources of Winter Park and methods that can be employed in their preservation. The Commission is charged with advising the City Commission on ordinances, regulations and other actions to accomplish those ends. In addition, the Commission is authorized to recommend amendments to the Comprehensive Plan and zoning code changes which can aid the preservation of historical and architecturally significant properties.

The Historic Preservation Commission has in its two years of existence fulfilled those responsibilities and also established the Winter Park Heritage Council, a non-profit corporation qualified in the matters of encouraging preservation and providing technical assistance and established a Landmark Designation Program which recognizes significant properties through the presentation of a bronze plaque.

These activities have greatly improved the public visibility of historic preservation in the community. Many citizens with a demonstrated interest in history and historic preservation have been brought together to share information and gather support for the preservation effort.

## HISTORIC AND ARCHITECTURAL RESOURCES

The historic and architectural survey of Winter Park led to the identification of over 500 structures pre-dating 1930, many of which merit various levels of recognition and protection. An architectural analysis is contained in the Survey Report, describing and defining the character of Winter Park's historic built environment. From this analysis it is possible to select those structures that are of significant cultural value meriting protective action by the City of Winter Park.

The historic and architectural resources of Winter Park are largely residential in use, originally and today. Commercial structures are located on Park Avenue and Fairbanks Street. Schools and churches dating to the historical period were also recorded. The Rollins College campus is a significant historical area containing many fine structures.

The approximately 500 individual structures located by the survey were selected according to certain criteria. All structures dating prior to 1930 were surveyed, although examples of Art Deco and the International style were also included in the survey. Structures designed by Gamble Rogers were also identified.

Once located and identified, structures may be evaluated for historical and architectural significance. Generally, structures that are associated with individuals or events of importance to the development of a community are considered significant. Structures embodying the characteristics of a certain style of architecture, or that are the work of a master builder or architect may also be considered significant. In addition to individual structures that may be considered significant, a concentration of structures in a neighborhood or district pattern may collectively be considered significant. Here, the sum is greater than the parts.

Approximately 100 structures identified in the Winter Park survey may be considered significant landmarks. A portion of these structures have already been identified and studied by the Junior League of Winter Park. Several also have been included in the Landmarks Designation Program of the Historic Preservation Commission. These structures are of significance to the community of Winter Park and warrant further preservation efforts. While most are not imminently threatened by demolition for development, many are being altered without regard for original materials or historical, character-defining features.

The survey also identified the presence of several concentrations of historic resources, some containing structures of special significance noted above. The protection of the character of a

historic neighborhood goes beyond that of landmark designation in that steps must also be taken to ensure that new development of vacant sites or re-development of non-contributing structures does not detract from the overall ambience of the area. Therefore, neighborhood conservation techniques calling for the review of all development would be most appropriate.

The areas identified may be defined as:

- 1) the residential neighborhood to the west of Rollins College, bordered by Holt, French, Lakeview and Vitoria Avenue
- 2) Golfview Parkway and the blocks from Keyes to Georgia Avenue, and Webster to Palmer
- 3) Portions of the north shore of Lake Osceola along Palmer Avenue
- 4) the grounds of the Knowles property at Knowles and Interlachen

The historic structures located within these "neighborhoods" are united aesthetically as well as by historical development. While a variety of styles may be present, overall scale, size, setbacks and texture are harmonious and give a "sense of place."

#### Framework for Protective Action

The manner in which a community seeks to protect its resources is one that must reflect actual community goals and the nature of the historic resources. For example, in Winter Park, resources are scattered and many are private homes. A program revolving around historic district regulations or storefront guidelines would therefore not make sense. However, because several neighborhoods have been identified, a program addressing those areas plus individual landmarks and limited commercial areas would be more suitable.

Community support is of equal importance in creating the historic preservation program. A program lacking the support of decision makers as well as those affected by the program cannot succeed. For this reason, great care is taken to examine critical issues and encourage citizen participation in the creation of and implementation of the program.

Topics for the consideration of preservation alternatives for Winter Park include the basic framework for protective action, the provision of incentives for rehabilitation, and methods of recognition. These will be discussed in turn with alternatives and recommendations following.

## Protection

The historic preservation ordinance is a locally adopted statute forming the backbone of the local historic preservation program. An ordinance is based on a finding by the local governing body that it is in the best interests of the general welfare of the people to take steps to protect historic, architectural and archeological resources.

Ordinances provide for the creation of an historic preservation advisory board responsible for carrying out the functions of the ordinance. Commissions are appointed by the local governing body and are selected according to a professional mix encompassing the fields of history, architecture, engineering, law, real estate, finance, business and the community at large.

Generally the historic preservation advisory board is vested the authority to accomplish a number of objectives of the ordinance. The major charge is to recommend the designation of historically significant landmarks or concentrations of resources. This is accomplished by a notification procedure where property owners are informed of the proposed designation, the benefits and effects of designation, and given the opportunity to discuss the matter further or to object. Selection of resources for designation is according to an adopted set of criteria for significance.

The board is also responsible for reviewing permits for building, demolition or moving of designated structures or structures within historic areas. The criteria used to evaluate proposed development is usually the "U.S. Secretary of the Interiors Standards for Rehabilitation." Many communities develop additional guidelines to address specific issues of local concern.

## Recommendations:

H.1. It is recommended that the City Commission pass an enabling ordinance providing for the designation of landmarks and historic districts by a historic preservation advisory board.

## Incentives

Community support for historic preservation projects is best evidenced by the provision in the ordinance or plan of incentives that will encourage the sensitive rehabilitation of historic resources. Incentives may be either financially inspired or provide relief from certain regulations. The intent of historic preservation incentives is to assist in reducing costs in conducting rehabilitation work, which can often cost more than conventional construction. Incentives can intervene in the evaluation and decision process of the development of a particular parcel containing a historic resource.

## Recommendations:

Information and support for utilization should be provided by the neighborhood conservation commission for the following historic preservation incentives:

I.1. Investment tax credits are available for rehabilitation of income-producing structures in the amount of 20 percent for certified historic (listed in the National Register of Historic Places) structures and 10 percent for buildings over 40 years old. Favorable depreciation rates are also available. The historic preservation advisory board may facilitate the use of these incentives by nominating those structures that are eligible to the National Register and be providing information on the program to the public.

I.2. Grants. The Florida Department of State offers grants-in-aid to qualified applicants for historic rehabilitation, acquisition, survey and planning. The neighborhood conservation commission may encourage the application of these funds by providing information and technical assistance.

I.3. Community Contribution Tax Credits. A 55% reduction in Florida Corporate Income Tax is available to corporations engaging in historic preservation projects with a public benefit. The neighborhood conservation commission may facilitate the use of these credits by encouraging corporate donations to eligible projects, providing information and technical assistance.

I.4. Easements. The donation of scenic, open space and facade easements is a means of making a tax-deductible charitable contribution while protecting the historic resource. The neighborhood conservation commission may facilitate the donation of easements in Winter Park by creating an easement donor program where the Heritage Council or other qualified easement-accepting organization would accept and maintain the easement through time.

## Recognition

The formal recognition of historic properties by the City of Winter Park is an affirmation of the cultural value the resource is to the community. It is also an expression of commitment to the preservation and enhancement of the property. There are a number of ways to "recognize" historic properties, here meaning going beyond location and identification.

At the local level, historic properties may be recognized through a plaques program such as is already in place in Winter Park. Plaques communicate to residents and visitors that there is something special about the property perhaps warranting a moment of thought and appreciation. Plaques are displayed proudly by the owners of the properties as they are not given out to buildings

that are merely old, but to properties meriting special attention for association with individuals important in the community, representing the early development of Winter Park, or as an architectural example worthy of study and appreciation.

Recognition may also be achieved through nomination and listing to the National Register of Historic Places, administered by the National Park Service of the Department of Interior. The National Register is the official list of the nation's cultural resources worthy of protection. The Register includes those sites, buildings, structures, districts and objects that are significant in the development of a place.

The following criteria are used by the Keeper of the National Register of Historic Places in evaluating nomination proposals:

"The quality of significance in American history, architecture, archeology, engineering, and culture present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling and association, and:

1) that are associated with events that have made a significant contribution to the broad patterns of our history; or

2) that are associated with the lives of persons significant in our past; or

3) that embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or

4) that have yielded, or may be likely to yield, information important in history or prehistory.

Rehabilitation of income producing properties listed on the National Register of Historic Places is eligible for a 20 percent investment tax credit provided the rehabilitation has been determined by the National Park Service (through the Florida Division of Historic Resources) to be consistent with the U.S. Secretary of the Interiors Standards for Rehabilitation. Listed properties may also be eligible for grant funding for certain projects.

Listing on the National Register does not restrict private property owners from any use or changes to the property. Where tax credits, federal or state licensing, or federal funds are involved in alterations, however, the changes must be reviewed for consistency with the Standards for Rehabilitation.

The survey results indicate that several properties and districts may be eligible for listing on the National Register of Historic Places. The listing of those properties would formally recognize



the significance of the properties, and in some cases, bring them into eligibility for tax credits or grant funds.

Recommendations:

J.1. The Historic Landmarks Program should continue, under the framework of the historic preservation ordinance, designating structures and distributing plaques to qualified properties. Criteria for eligibility should conform to that developed for designation under the historic preservation ordinance.

J.2. The historic preservation board should make every effort to nominate to the National Register of Historic Places those properties that have been determined eligible.

J.3. The city should coordinate with developers whose projects may involve National Register eligible resources. This would be particularly important if Federal funds or licensing were involved.

## RECOMMENDED CONTENT OF LOCAL HISTORIC ORDINANCE

Program Description. It is recommended that the following framework be developed in creating the Winter Park Historic Preservation Program:

Enabling Ordinance. The locally adopted historic preservation ordinance should create a historic preservation advisory board responsible for making recommendations to the City Council on all matters relating to historic preservation, including, but not limited to, the "designation" of historic structures or districts, recommendations on Certificates of Appropriateness for rehabilitation work on "designated" properties, awarding of plaques or certificates for outstanding historical significance, and public education programs. The ordinance should be drafted such that the City will be eligible for the Certified Local Government program, which makes certain federal funds available for historic preservation activities.

The following provisions should be incorporated into the ordinance:

1. Statement of Purpose. Statement should declare as a matter of public policy that the protection, enhancement, and perpetuation of structures, sites, and districts of historical, architectural, or archeological significance is in the interest of the health, prosperity and welfare of the people of the City of Winter Park. Therefore, the intent of the ordinance would be:
  - a. To effect and accomplish the protection, enhancement and perpetuation of structures, sites and districts which represent distinctive elements of the City's cultural, social, economic and architectural history;
  - b. Safeguard the City's historical, cultural, archeological and architectural heritage, as embodied and reflected in such individual structures, sites and districts;
  - c. Protect and enhance the City's attractiveness to residents and visitors;
  - d. Strengthen the economy of the community by stabilizing and improving property values in historic neighborhoods;
  - e. Foster civic pride in the accomplishments of the past;
  - f. Promote the use of individual structures, sites and neighborhoods for the education, pleasure, and welfare of the people of the City of Winter Park.

2. Definitions. The ordinance should provide the definitions for certain words and phrases so that they may be reasonably applied.

3. Establish Historic Preservation Board. The ordinance should provide for the appointment of board members with staggered terms for the first three years and provide for the filling of vacancies.

4. Qualifications of Board members. The composition of the Board should reflect professional backgrounds from the following fields: architecture, landscape architecture, contractor, finance or banking, real estate, law, history, archeology, and the community at large. This will protect the defensibility and credibility of the decisions made by the Board.

5. Miscellaneous provisions. Rules of procedure, election of officers, and scheduling of meetings should be addressed.

6. Authority of the Historic Preservation Board. The Board should be vested the authority to recommend the designation of historic structures, neighborhoods or archeological sites to the City Commission, and to grant, suspend or revoke certificates of appropriateness in accordance with alterations, new construction, relocations, and demolitions affecting designated properties.

The Historic Preservation Board should also be authorized to promote public awareness of historic and archeological preservation and its community benefits. The Board, if to be certified under the Certified Local Government program, must also review nominations of local properties to the National Register of Historic Places following the regulations of the State Historic Preservation Office and to maintain the Florida Master Site File of historic places within the City of Winter Park.

7. Designation of Historic structures, neighborhoods, archeological sites. The Board should be authorized to initiate the designation of historic properties according to the following procedure:

a. Designation may be proposed by the property owner or by a majority vote of the members of the Historic Preservation Board.

b. When designation is proposed by the property owner, a petition shall be filed and a public hearing held with advance notice published.

c. When designation is proposed by the Historic Preservation Board, notice of the proposed designation will be sent to the owner of record and to each owner of record in a proposed neighborhoods. Upon notification, any owner or owners may object to the proposed designation by returning a notarized statement certifying sole ownership and that he or she objects to

the designation (may be on a standard form). No action will be taken on the proposed designation if the owner objects. No action will be taken on a proposed historic neighborhood if the majority of the property owners object.

8. Designation Report. A report shall be prepared to explain the basis for the proposed designation.

9. Designation Process. Recommendations of the Historic Preservation Board are made to the City Commission for final action. This would be through a public hearing process with a designation ordinance drawn up for each designation proposal.

10. Criteria for Designation. It is recommended that the criteria to be used for making decisions on designation be based on the historical contexts which were developed as a result of the survey process and should be flexible to allow for the development of new contexts.

11. Certificates of Appropriateness. After designation of a historic structure, the Building and Zoning Administrator should be directed to refer all completed applications for building, moving or demolition to the Historic Preservation Board who must then grant a "Certificate of Appropriateness before the issuance of the permit.

12. Criteria for Issuance of Certificates of Appropriateness. The basic criteria to be used by the Historic Preservation Board in deliberating proposed alterations are the U.S. Secretary of the Interior's Standards for Rehabilitation.

13. Incentives. The ordinance may embody or describe the various incentives and recommendations made by the Historic Preservation Plan.

WINTER PARK HISTORIC SITES SURVEY  
 PROPERTIES CONSIDERED ELIGIBLE FOR  
 LISTING IN THE  
 NATIONAL REGISTER OF HISTORIC PLACES

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
8OR219	231	INTERLACHEN AVENUE N	OSCEOLA LODGE
8OR222	232	KNOWLES AVENUE N	KNOWLES COTTAGE #2
8OR223	701	VIA BELLA	WEATOGUE
8OR224	921	PALMER AVENUE	ALABAMA HOTEL
8OR225	921	PALMER AVENUE	TEMPLE, W. C. REFECTORY
8OR228	1700	ALABAMA AVENUE	PALMER/TEMPLE HOUSE
8OR229	161	PALMER AVENUE	GREY ACRES (MACDONALD HOUSE)
8OR232	1015	GREENTREE DRIVE	GOSS, SAMUEL HOUSE
8OR233	1300	SUMMERLAND AVENUE	LAWERENCE/CHUBB HOUSE
8OR237	102-04-08	PARK AVENUE N	CHASE BUILDING/TAYLOR'S PHARMACY
8OR239	206	PARK AVENUE S	SCHULTZ BUILDING
8OR241	2400	FORREST ROAD	THE RIPPLES
SF	240	TRISMEN TERRACE	BREWER HOUSE
SF	724	BONITA AVENUE	EASTBANK (COMSTOCK, WILLIAM HOUSE)
WP012	1564	DALE AVENUE	DALE, PHILIP HOUSE
WP058	150	PARK AVENUE S	PIONEER STORE
WP064	307	PARK AVENUE S	HAMILTON HOTEL, PARK INN SITE
WP078	1551	VIA TUSCANY	PRATT, CHARLES HYDE HOUSE
WP088		THE HORSESHOE, ROLLINS COLLEGE	PINEHURST
WP097	002	INTERLACHEN AVENUE S	KNOWLES CHAPEL

WINTER PARK HISTORIC SITES SURVEY  
 PROPERTIES LOCATED IN  
 RECOMMENDED HISTORIC DISTRICTS

<u>S.ITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
BOR234	656	INTERLACHEN AVENUE N	CASA FELIZ
WP019	901	GEORGIA	MEYER, EDWARD S. HOUSE
WP020	920	GEORGIA	920 GEORGIA
WP025	817	GOLFVIEW PARKWAY	BARNUM, HERBERT M. HOUSE
WP026	837	GOLFVIEW TERRACE	SLOAN, A. MAXWELL HOUSE
WP027	858	GOLFVIEW PARKWAY	SPROSS, CHARLES A. HOUSE
WP028	461	WEBSTER AVENUE E.	EDWARDS, BENJAMIN E. HOUSE
WP033	695	FRENCH AVENUE	695 FRENCH AVENUE
WP034	757	FRENCH AVENUE	FORBES, HUIDA H. MRS.
WP039	326	VICTORIA AVENUE	WOODWARD, D. A. HOUSE
WP042	407	MELROSE AVENUE	PROUDFIT, ALBERT D. HOUSE
WP046	346	HOLT AVENUE W	WENDLAND, P. G. HOUSE
WP050	420	MELROSE AVENUE	HEIDNER, J. G. HOUSE
WP053	1264	RICHMOND ROAD	1264 RICHMOND ROAD
WP056	1304	RICHMOND ROAD	1304 RICHMOND ROAD
WP059	367	VICTORIA AVENUE	LARKIN, L. ULYSSES
WP070	1362	RICHMOND ROAD	BALDWIN, E. R. HOUSE
WP079	181	VIRGINIA DRIVE	HALVERSTADT HOUSE
WP080	210	VIRGINIA DRIVE	BRENEMAN, ALBERT M. HOUSE
WP081	247	VIRGINIA DRIVE	JOINER, W. B. HOUSE
WP084	253	WEBSTER AVENUE	PHILLIPS, E. R. HOUSE
WP085	341	WEBSTER AVENUE	HAYES, E. E. HOUSE
WP089		THE HORSESHOE, ROLLINS COLLEGE	CHASE HALL
WP090		THE HORSESHOE, ROLLINS COLLEGE	CARNEGIE LIBRARY
WP092	17	HOLT AVENUE E	ROLLINS HALL
WP095	16	HOLT AVENUE E	PUGSLEY HALL
WP096	18	HOLT AVENUE E	MAYFLOWER HALL
WP098	358	VICTORIA AVENUE	MERRILL, F. D. HOUSE
WP099	391	VICTORIA AVENUE	NICKOLSON, W. C. HOUSE
WP130	739	ANTOINETTE AVENUE	HOUSTON, WILLIAM HOUSE
WP131	747-749	ANTOINETTE AVENUE	CASON, S. W. HOUSE
WP132	754	ANTOINETTE AVENUE	DOAN, G. H. HOUSE
WP133	762	ANTOINETTE AVENUE	PALMER, BALDWIN HOUSE
WP134	767	ANTOINETTE AVENUE	767 ANTOINETTE AVENUE
WP135	781	ANTOINETTE AVENUE	BLACKBURN, J. E. HOUSE
WP137	786	ANTOINETTE AVENUE	BARBOUR, D. N. HOUSE
WP138	787	ANTOINETTE AVENUE	POOLE, ROBERT HOUSE
WP139	796	ANTOINETTE AVENUE	796 ANTOINETTE AVENUE
WP140	818	ANTOINETTE AVENUE	SWASEY, MISS ELIZA HOUSE
WP141	828	ANTOINETTE AVENUE	LEACH, LUTHER A. HOUSE
WP142	829	ANTOINETTE AVENUE	829 ANTOINETTE AVENUE
WP144	834	ANTOINETTE AVENUE	JOHNSTONE, MRS. ANNIE B. HOUSE
WP145	835	ANTOINETTE AVENUE	835 ANTOINETTE AVENUE
WP147	1221	ESSEX ROAD	KNIGHT, A. H. HOUSE
WP148	1235	ESSEX ROAD	FISHER, MRS. L. B. HOUSE
WP149	1259	ESSEX ROAD	EDES, S. H. HOUSE
WP150	1329	ESSEX ROAD	STONE, HOMER HOUSE
WP151	1349	ESSEX ROAD	WOOD, L. A. HOUSE
WP152	440	FAIRFAX AVENUE	440 FAIRFAX AVENUE
WP153	470	FAIRFAX AVENUE	470 FAIRFAX AVENUE
WP154	719	FRENCH AVENUE	DETWILER, L. A. HOUSE
WP155	731	FRENCH AVENUE	DIETERLY, G. C. HOUSE
WP156	745	FRENCH AVENUE	DAVIS, P. E. HOUSE

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP157	905	LAKEVIEW DRIVE	TREAT, J. A. HOUSE
WP158	1479	GLENCOE ROAD	FULGHAM, OSCAR HOUSE
WP165	320	HOLT AVENUE W	HASSLINGER, C. HOUSE
WP166	330	HOLT AVENUE W	LINDERGREEN, F. J. HOUSE
WP167	400	HOLT AVENUE W	YON, S. L. HOUSE
WP168	404	HOLT AVENUE W	YARNELL, REV. FRANCIS
WP169	422	HOLT AVENUE W	PRIBBLE, IRVIN HOUSE
WP170	430	HOLT AVENUE W	MALIN, B. H. HOUSE
WP171	544	HOLT AVENUE W	PATTY, H. L. HOUSE
WP172	1023	LAKEVIEW DRIVE	WAINWRIGHT, H. R. HOUSE
WP173	1035	LAKEVIEW DRIVE	VERIGAN, J. H. HOUSE
WP174	1055	LAKEVIEW DRIVE	TROVILLION, R. A. HOUSE
WP175	1234	LAKEVIEW DRIVE	BRYAN, W. C. HOUSE
WP177	446	MELROSE AVENUE	THOMPSON, MISS GRACE
WP178	455	MELROSE AVENUE	THOMPSON, ROBERT HOUSE
WP180	1273	RICHMOND ROAD	1273 RICHMOND ROAD
WP181	1285	RICHMOND ROAD	BAUTER, C. E. HOUSE
WP183	1295	RICHMOND ROAD	JULIAN, DR. CHARLES HOUSE
WP184	1313	RICHMOND ROAD	1313 RICHMOND ROAD
WP185	1351	RICHMOND ROAD	1351 RICHMOND ROAD
WP186	1353	ESSEX ROAD	1353 ESSEX ROAD
WP187	1358	RICHMOND ROAD	HARMON, C. HOUSE
WP188	1377	RICHMOND ROAD	1377 RICHMOND ROAD
WP189	1399	ESSEX ROAD	WESTON, C. G. HOUSE
WP190	324	VICTORIA AVENUE	KENT, DR. ALFRED HOUSE
WP191	1169	LAKEVIEW DRIVE	BILLINGS, J. M. HOUSE
WP192	333	VICTORIA AVENUE	333 VICTORIA AVENUE
WP193	338	VICTORIA AVENUE	WHITMORE, ALBRA HOUSE
WP194	346	VICTORIA AVENUE	JOHNSTON, WALGER HOUSE
WP195	357	VICTORIA AVENUE	WINSLOW, H. C. HOUSE
WP197	378	VICTORIA AVENUE	BAKER, R. C. HOUSE
WP280	1270	LAKEVIEW DRIVE	COLE, H. E. HOUSE
WP282	511	MELROSE AVENUE	511 MELROSE AVENUE
WP285	814	ANTOINETTE AVENUE	WILLIAMS, CARL HOUSE
WP286	817	ANTOINETTE AVENUE	817 ANTOINETTE AVENUE
WP290	937	LAKEVIEW DRIVE	TREAT, J. A. HOUSE
WP291	1195	LAKEVIEW DRIVE	1195 LAKEVIEW DRIVE
WP311	147	VIRGINIA DRIVE	BRYAN, DR. N. L.
WP313	1167	LAKEVIEW DRIVE	1167 LAKEVIEW DRIVE
WP371	368	VICTORIA AVENUE	368 VICTORIA AVENUE

WINTER PARK HISTORIC SITES SURVEY  
 PROPERTIES CONSIDERED ELIGIBLE FOR  
 DESIGNATION AS A LOCAL LANDMARK

<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
8OR221	621	OSCEOLA AVENUE	WARD COTTAGE
8OR226	1554	HARRIS CIRCLE	MACCALLUM-HARRIS HOUSE
8OR227	433	NEW ENGLAND AVENUE E	WEBSTER-WAGNER HOUSE
8OR231	147	INTERLACHEN AVENUE S	ONEONTA LODGE
8OR234	656	INTERLACHEN AVENUE N	CASA FELIZ
8OR242	1290	PALMER AVENUE	HAKES COTTAGE
8OR245	1461	VIA TUSCANY	SANDSCOVE
8OR247	520	INTERLACHEN S	CAPEN, J. S. HOUSE
8OR248	314	SALVADOR SQUARE	BONNIE BURN
SFD	552	OSCEOLA AVENUE	PECKHAM, PELEG HOUSE
SFE	1401	GROVE TERRACE	GRISWOLD/WARD HOUSE
WP002		HUNTINGTON AVENUE	OLD WINTER PARK HIGH SCHOOL
WP003	1306	ALOMA AVENUE	PETERSON, J. E. HOUSE
WP004	1009	ANCHORAGE	"ANCHORAGE" GARAGE
WP006	1412	CANTERBURY ROAD	1412 CANTERBURY ROAD
WP007	413	CAROLINA AVENUE	HORTON, AARON HOUSE
WPC09	317	COMSTOCK AVENUE	JOHNSTON, JACOB HOUSE
WP010	161	CORTLAND AVENUE	GALT, E. L. HOUSE
WP011	260	CORTLAND AVENUE	DONNELLY, EDWARD R. HOUSE
WP016	421	FAIRBANKS AVENUE	WEBSTER HOUSE #2
WP017	496	FAIRBANKS AVENUE	ROLLINS PRESIDENT'S HOUSE
WP018	421	GENIUS DRIVE	BARROWS, DR. NATHAN HOUSE
WP019	901	GEORGIA	MEYER, EDWARD S. HOUSE
WP021	1490	GLENCOE ROAD	1490 GLENCOE ROAD
WP022	1539	GLENCOE ROAD	COTTING, J. A. HOUSE
WP023	2210	GLENCOE ROAD	2210 GLENCOE ROAD
WP025	817	GOLFVIEW PARKWAY	BARNUM, HERBERT M. HOUSE
WP026	837	GOLFVIEW TERRACE	SLOAN, A. MAXWELL HOUSE
WP031		INTERLACHEN AVENUE S	CONGREGATIONAL CHURCH
WP032	100	INTERLACHEN AVENUE S	1ST UNITED METHODIST CHURCH
WP035	324	INTERLACHEN AVENUE N	BISHOPSTEAD
WP036	001	ISLE OF SICILY	1 ISLE OF SICILY
WP037	003	ISLE OF SICILY	ROGERS, JAMES GAMBLE II
WP038	333	KNOWLES AVENUE N	SILSBEE, N. D. HOUSE
WP040	120	COMSTOCK AVENUE E	WINTER PARK MASONIC TEMPLE
WP042	407	MELROSE AVENUE	PROUDFIT, ALBERT D. HOUSE
WP044	189	MORSE BOULEVARD E	LINCOLN APARTMENTS
WP045	457	NEW ENGLAND AVENUE E	HENKEL, T. M. HOUSE
WP048	373	OSCEOLA AVENUE	LENFEST, R. F. HOUSE
WP049	567	OSCEOLA AVENUE	SPANGLER, L. W. HOUSE
WP051	699	OSCEOLA AVENUE	SINCLAIR, HARRY M. HOUSE
WP054	966	PALMER AVENUE	BECKWITH, J. C. HOUSE
WP060	302-04	PARK AVENUE	UNION STATE BANK
WP061	306-08	PARK AVENUE S	306-308 PARK AVENUE
WP062	322-24-26	PARK AVENUE S	STANDARD GARAGE/UNITED MARKETS ARCADE
WP063	428	PARK AVENUE S	WINTER PARK SCHOOL
WP065	120	PENNSYLVANIA AVENUE	IDEAL WOMAN'S CLUB/HOOKER MEMORIAL
WP066	218	PENNSYLVANIA AVENUE S	WRIGHT, GEORGE HOUSE
WP071	616	SEMINOLE AVENUE	CADY, FREDERICK W. HOUSE
WP072	666	SEMINOLE AVENUE	666 SEMINOLE
WP073	144	STIRLING AVENUE	PROUDFIT/MACKLIN HOUSE
WPC74	210	STIRLING AVENUE	GOSS, SAMUEL HOUSE



<u>SITE NUMBER</u>	<u>NUMBER</u>	<u>ADDRESS</u>	<u>SITE NAME</u>
WP075	1499	SUMMERLAND AVENUE	LEFEVERE, C. J. HOUSE
WP076	1247	VIA CAPRI	SCHMELTZ, ERNST HOUSE
WP077	1161	VIA SALERNO	HENNING, C. S. HOUSE
WP079	181	VIRGINIA DRIVE	HALVERSTADT HOUSE
WP080	210	VIRGINIA DRIVE	BRENEMAN, 'LECKY' M. HOUSE
WP081	247	VIRGINIA DRIVE	JOINER, W. B. HOUSE
WP082	1721	WALKER AVENUE	1721 WALKER AVENUE
WP083	1800	WALKER AVENUE	1800 WALKER AVENUE
WP086		MORSE BOULEVARD W	MORSE BOULEVARD
WP102	1567	FORREST ROAD	AHLGRIM, D. A. HOUSE
WP103	250	LYMAN AVENUE W	LARIMORE, F. J. HOUSE
WP157	905	LAKEVIEW DRIVE	TREAT, J. A. HOUSE
WP163	1599	HIGHLAND ROAD	1599 HIGHLAND ROAD
WP173	1035	LAKEVIEW DRIVE	VERIGAN, J. H. HOUSE
WP174	1055	LAKEVIEW DRIVE	TROVILLION, R. A. HOUSE
WP179	876	OLD ENGLAND AVENUE	STONE, MELVILLE A. HOUSE
WP220	424	HENKEL CIRCLE	BOYCE, I. I. HOUSE
WP221	430	HENKEL CIRCLE	COBB, C. C. HOUSE
WP227	225	LYMAN AVENUE W	MADISON, FRANKLIN
WP228	226	LYMAN AVENUE W	COWARD, JULIA HOUSE
WP229	235	LYMAN AVENUE W	WILSON, WADE H. HOUSE
WP233	824	LYMAN AVENUE W	CLEVELAND, ARTHUR HOUSE
WP238	1000	GENIUS DRIVE	HENKEL, A. L. HOUSE
WP248	325	NEW ENGLAND AVENUE W	DIXON, W. H. HOUSE
WP249	456	NEW ENGLAND AVENUE W	HOFFMAN, MARY HOUSE
WP253	541	OSCEOLA AVENUE	CARLETON, H. B. HOUSE
WP256	511	OSCEOLA AVENUE	NICHOLS, EMILY HOUSE
WP257	630	PALMER AVENUE	WRIGHT, J. M. HOUSE
WP279	AT LYMAN	PENNSYLVANIA AVENUE S	MT. MORIAH CHURCH
WP284	111	WEBSTER AVENUE	HOTARD, DR. R. F. HOUSE
WP300	659	MORSE BOULEVARD W	659 MORSE BLVD.
WP315	1537	HILLCREST AVENUE	LIBBY, R. C. HOUSE
WP320	215	OSCEOLA COURT	215 OSCEOLA COURT
WP321	222	OSCEOLA COURT	222 OSCEOLA COURT
WP322	239	OSCEOLA COURT	239 OSCEOLA COURT
WP324	247	OSCEOLA COURT	247 OSCEOLA COURT
WP335	950	PALMER AVENUE	950 PALMER
WP338	640	PARK AVENUE	PARKAIRE APARTMENTS
WP354	200	INTERLACHEN AVENUE S	MITCHELL, LYDIA P. HOUSE
WP380	481	ALBERTA DRIVE	481 ALBERTA DRIVE
WP381	155	BREWER AVENUE	GEER, J. B. HOUSE
WP385	234	DETMAR AVENUE	PALMS CARETAKER'S HOUSE