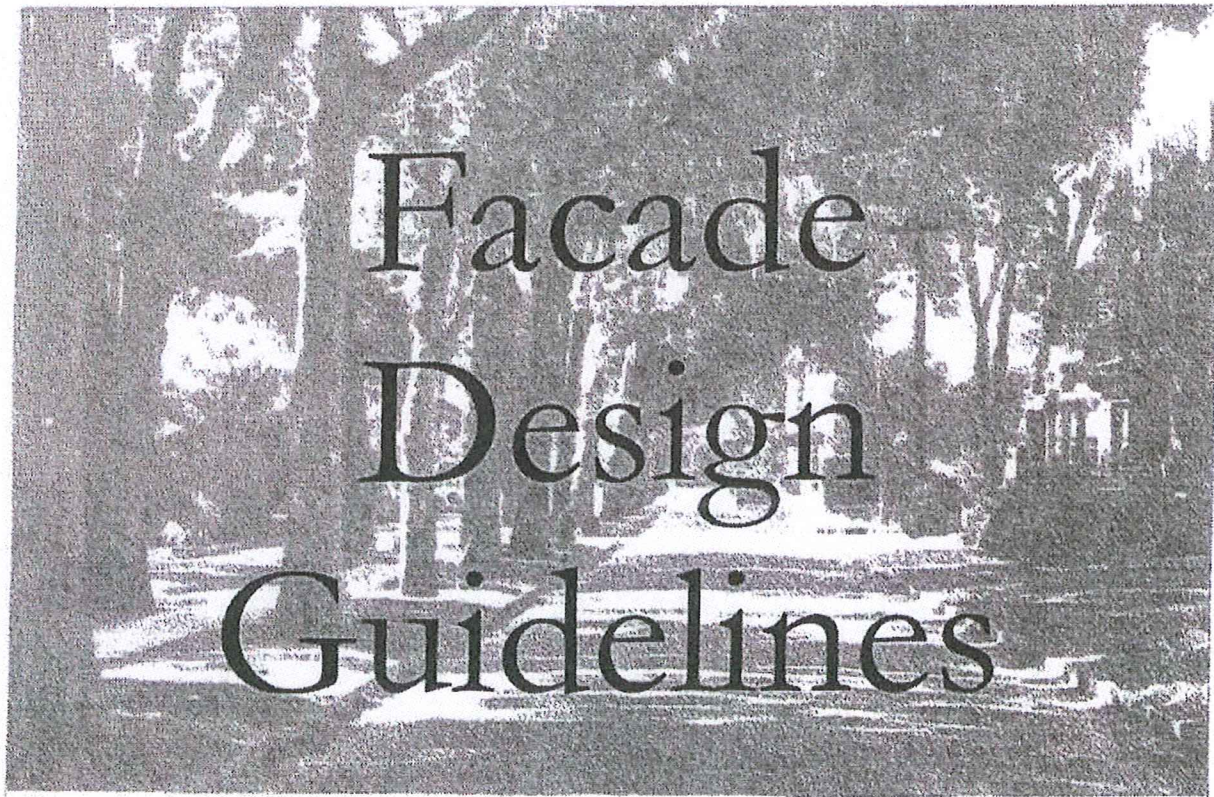

Winter Park

Morse Boulevard Plan



Morse Boulevard 1948.



Morse Boulevard Plan

Revisions October 2010

City of Winter Park

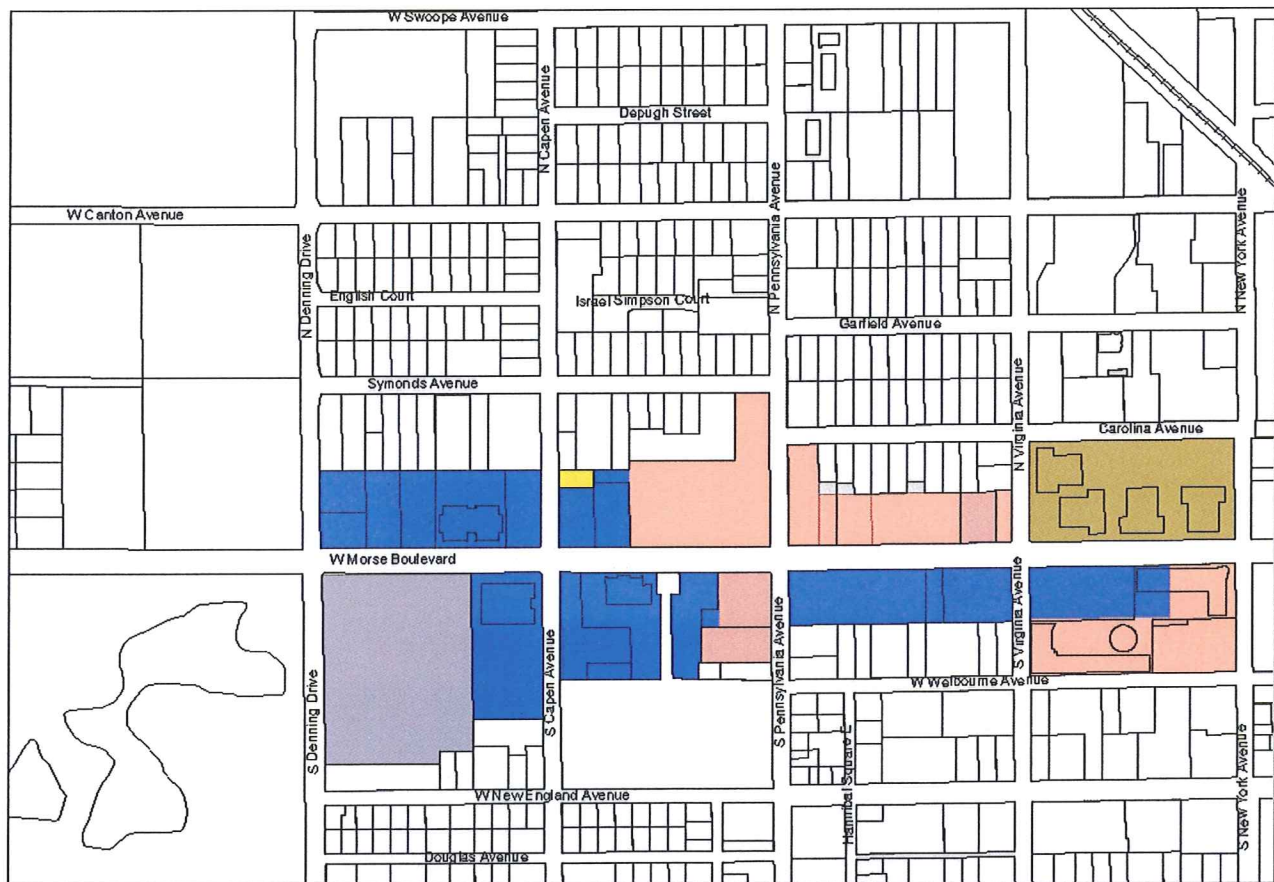
Planning Department

Statement of Purpose

The purpose of providing Facade Design Guidelines, in conjunction with the Zoning Regulations, is to provide for the composition of a coherent and cohesive urban space in the Morse Boulevard Plan Area. This would include, in general, provisions for a consistently aligned street wall, uniformity in building facade treatment, appropriately scaled buildings, a pedestrian friendly street atmosphere, and a high quality, more unified overall architectural appearance for Morse Boulevard.

There are several types of zoning within this plan area. They are the Office (O-1) District, the Limited Commercial (C-3A) District, the Low Density Residential (R-2) District and the Multi-Family (High Density R-4) District. Provisions of the Zoning Regulations for these districts within the plan area will prevail unless overridden by these guidelines.

The area covered by these Facade Design guidelines is indicated on the map below.



General Building Arrangement

Build to Line

The front facade of each building will be placed on the “build to line”. The purpose of the “build to line” is to align the mass of each building down the Boulevard to provide a consistent street wall, creating a more urban atmosphere, and avoiding the haphazard and arbitrary appearance of buildings placed at varying setbacks. This will also preclude the placement of parking and storm water retention areas in front of the building.

At the end of block corner conditions, the wall of the building facing the side street shall also be placed at the “build to line”. This line shall be ten-feet (10'). (See site plan diagram)

In the Morse Boulevard Plan area, the “build to line” will be fifteen-feet (15') from the back of the curb (ten-feet (10') from the front property line).

A “Transition Zone” of 10' will be allowed behind the “build to line”, as a provision for colonnade or arcade treatment at all or a portion of the lower story in the development. This area may also be utilized for entry stairs, covered porches, or portico (entry) elements. This feature will require special review by the city Planning Department, for architectural compatibility with the overall building design, and conformance with the intent of these guidelines. All improvements in the “transition zone” will comply with the following requirements:

1. The arcade, colonnade, entry portico or building wall will be placed at the “build to line”.
2. The upper story facade above an arcade or colonnade may be placed either at the “build to line” or aligned with the lower story wall below, in the “transition zone”. Exact placement of the upper story walls will be coordinated with the specific architectural treatment of the arcade or colonnade, which will allow for minor variations.
3. The “transition zone” area must be either treated with architectural surface pavement or landscaping. Landscaping shall be maintained in good condition, on a regular basis.

Building Mass and Height

Building mass along the street wall must be at least two (2) stories to match the typical established scale in this section of Winter Park, and will be broken at intervals approximately forty-feet (40'), for the full height of the building, providing either a slight recess or projection in the facade of the building. The recess or projection shall be approximately four-feet (4') deep or more. The purpose of this treatment is to break down the building mass to a more pedestrian friendly scale, provide the opportunity for added architectural interest, and avoid the large suburban office block appearance. Variations in the massing that create a rhythm are encouraged. Parking structures may not face onto Morse Boulevard, and may not be considered a part of the building mass at the “build to line”. Parking structures must be located behind a “liner building” of occupied space.

Recessed courtyards will be allowed, provided they are treated with architectural surface pavement, landscaping, and are related to a specific function, such as access into the building, a restaurant, etc. If courtyards are provided, an element such as a low wall or fence shall be provided to maintain the street wall or building facade line, in materials that coordinate with the lower story façade of the building. If walls are provided, they shall not be over four-feet (4') +/- above grade. On side streets, fencing may be higher per other ordinances. Plasters or other decorative elements may be higher than four-feet (4'). Fencing shall be decorative iron or aluminum. Chain link fencing is not allowed.

Corner Treatment

Properties fronting on a street corner shall recognize this special opportunity to provide architectural interest and special treatment at the corner location. Building mass shall be broken within forty-feet (40') to each side of the building corner, creating a building mass that responds to the corner condition. This corner massing provides the opportunity for special architectural treatment and detailing that will have the highest impact and visibility, at the corner location. This massing treatment could take the form of corner tower elements, chamfered corners, or rounded turret forms, etc.

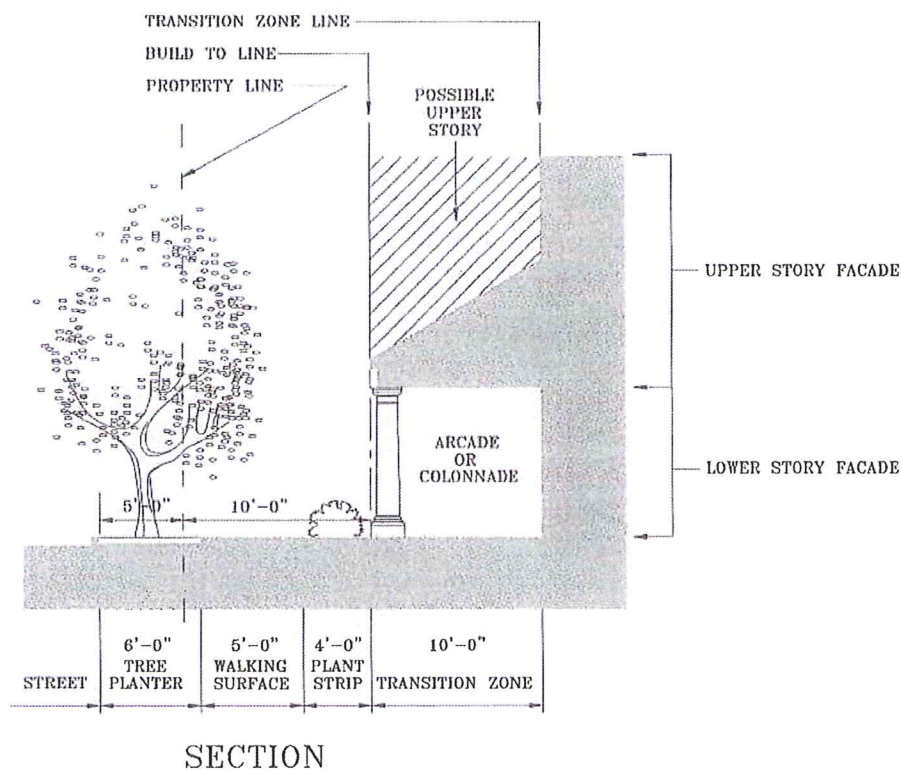
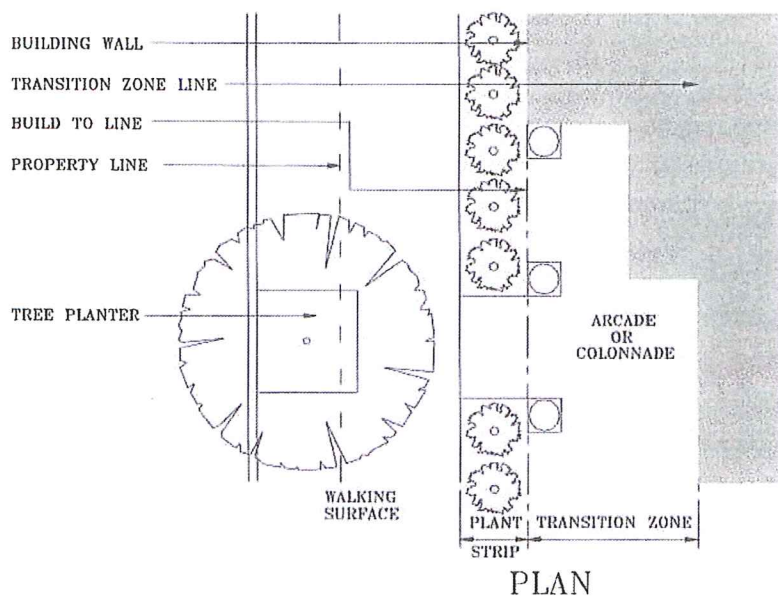
Building Height and Roof Lines at Corners

Building height and roof lines will conform to those requirements indicated in the Zoning Regulations, with the exception of street corner conditions. At corner conditions, an architectural sloped roof treatment shall project up to a maximum of eighteen-feet (18') beyond the maximum building height (based upon an 8:12 pitch), but in no case shall this height be above fifty-five feet (55'). At corners with parapet walls rather than a sloped roof, the projection shall be at least four-feet (4') beyond the base building height. This feature will require special review by the City Planning Department, for architectural compatibility with the overall building design, and conformance with the intent of these guidelines.

Parking Arrangement and Access

Parking access to properties along Morse Boulevard should be from side streets if frontage is available on a side street. If side street frontage is not available, a driveway will be allowed from Morse Boulevard, providing the driveway and open space surrounding it is minimized. The intent is to maintain the building street wall without large voids for access driveways. This can be addressed by building over the driveway, for instance. Site plan arrangement should not direct traffic onto adjacent residential streets.

General Building Arrangement



BUILD TO LINE AND TRANSITION ZONE

General Building Arrangement



Architectural corner treatment.

Broken massing.

Larger percentage of openings on lower story.

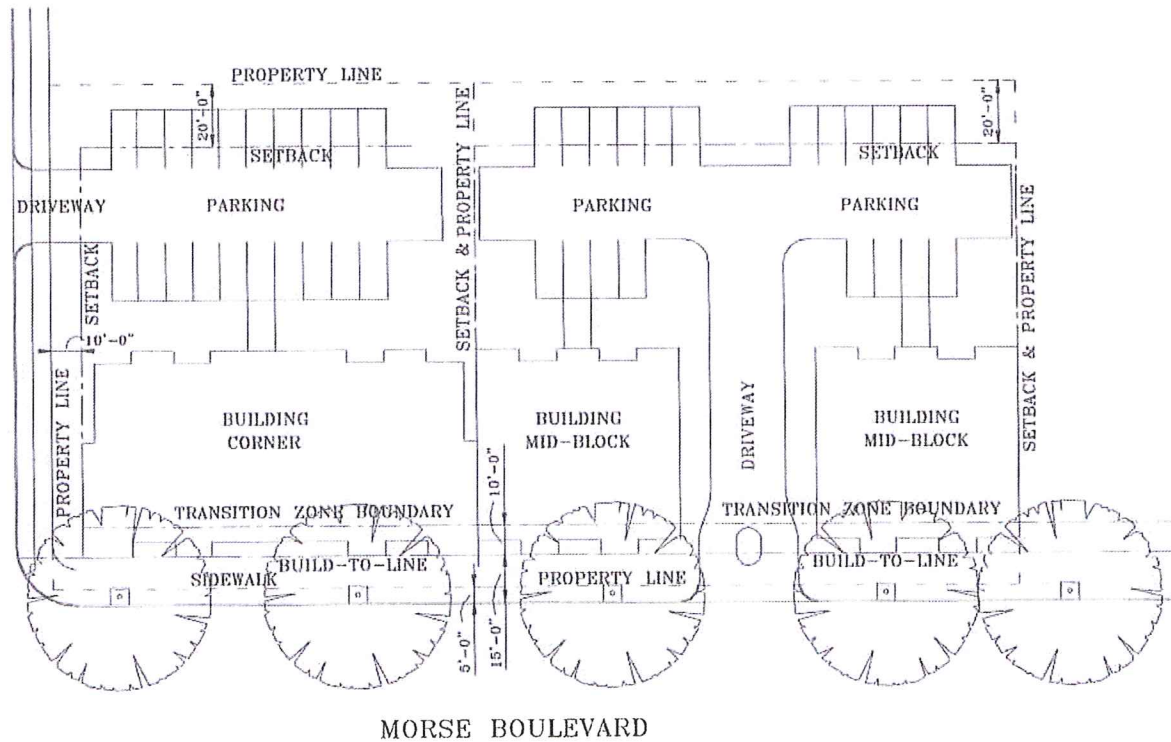


Cornice treatment.

Broken massing.

Openings return around corner.

General Building Arrangement



GENERAL BUILDING ARRANGEMENT— SITE PLAN DIAGRAM

Facade Treatment

Lower Story

The lower story of the building has the most immediate impact on the pedestrian. Traditionally, buildings along urban streets have a high proportion of glazing to solid wall surface, with higher floor to floor heights, on the first floor, to maximize. To maintain continuity with this treatment, buildings in the Morse Boulevard Plan area should have a higher percentage of glass (25% minimum, 70% maximum) in the lower story wall than in the upper story walls. Wall area used for calculation of glazing will be from floor to floor, exterior wall to exterior wall. Additionally, a high floor to ceiling height should be considered for the lower story. This will provide a more visually open and pedestrian friendly appearance at street level.

The window and wall treatment should be of high quality materials and consistent on both the front and the back of the building. Glazing may be clear or gray tinted. Reflective, pebbled, or bronze glass will not be allowed. Detailing is encouraged to enhance the facade at pedestrian level.

Entrances

In order to maintain an urban, pedestrian orientation of the building façade, each building shall have at least one pedestrian entrance facing and opening to Morse Boulevard. The entrance should be identified by some form of architectural treatment of the facade such as a large opening, framing trim or detailing, projecting element, etc., so that the location of the main entrance is clearly identifiable. Where appropriate, multiple entrances should be utilized. On sides of buildings at Denning Drive and Pennsylvania Ave, at least one entry shall be provided.

Corner

The lower story shall respond to the street corner condition by providing either an entrance at the corner or providing glazed openings similar or the same as the Morse Boulevard Facade, returning around the corner on the facade facing the side street. This will provide more transparency and a more pedestrian friendly appearance, and avoid large surfaces of blank wall at sidewalk level. Moldings, cornices, etc. should be returned around the corner.

Upper Stories

Upper story wall treatment should be coordinated and complement the design of the lower story facade. Materials should be of high quality and carefully detailed. Glazing (windows) on the upper stories should be a lower percentage of the wall area than the lower story. These windows shall be a minimum of four inches (4") recessed back from the plane of the wall. Continuous horizontal strip glazing will not be allowed.

Expression Line

The expression line is the portion of the building facade which separates the lower story facade from the upper story facade. It is an opportunity to provide detail and architectural expression at a level visible to the pedestrian. Some form of architectural treatment is required at the expression line, to provide a shadow line, pattern or texture effect. The treatment may be a molding, projection, belt course material change or other architectural element that serves to separate the lower story from the upper stories of the building facade at that location. The location, depth, and height of this element may vary, depending on the type of architectural design being incorporated into the structure. This line may also be interrupted by vertical elements where appropriate to the architectural style.

Cornice Line

The cornice is the architectural element or treatment that occurs at the top of the building wall or parapet. A cornice may be a projecting element, texture or pattern of sufficient surface relief to create a substantial visible, readable shadow effect. The cornice should be integrated into the style and character of the building design. A cornice treatment is encouraged to be a part of the building facade for all buildings in the Morse Boulevard Plan area.

Building Signage

The types of signs allowed in the Morse Boulevard Plan area will be identification, awning, canopy or marquee, projecting, wall and ceiling/soffit mounted hanging signs. Monument signs shall also be permitted only if presenting no traffic visibility impairments; however, the maximum height for these signs shall not exceed four feet. In general, signage will be controlled by the Zoning regulations unless specifically overridden in these guidelines.

Building identification signage should generally be applied at the expression line area of the façade. Signage may take the form of cutout lettering applied to the building wall, awning signs, panel signs, hanging or fixed between building pilasters, or hanging signs suspended from brackets mounted at a right angle to the building. Hanging or projecting bracket signs may be used in the instance of a colonnade or arcade, if suspended behind the arcade or colonnade to identify individual business locations or entrances. Signage should be compatibly designed and integrated with the style and character of the building design. Signs should provide information simply and legibly, and should be limited to advertising the name of a business and its main goods and services

Digital, electronic, and/or internally illuminated signs such as back-lit plastic, acrylic or glass, are prohibited except for theater signage. Flashing or moving lights are not permitted. Front lighting of signs is encouraged. External illumination must be provided by a light source that is installed to prevent direct light from shining onto the street or adjacent properties. The source of light must be hidden or shielded from the direct view of motorists or pedestrians. Back lit halo type opaque sign lettering is permitted, however the light color must be white or subdued or muted such as a pastel shade.

Each building should have the number of the street address posted adjacent to the primary pedestrian entrance from Morse Boulevard in numerals 4 inches to 8 inches high. This will be in addition to other allowed signage.

Awnings and Canopies

Awnings can have a positive or negative impact on the overall appearance and perception of a building depending on their design, material and use. General guidelines for use of awnings are included in this document as a way of providing for appropriate use of awnings and avoiding commercial strip type applications. Awnings and canopies are treated the same under these guidelines.

Awnings should be designed as an integral part of the overall arrangement of architectural elements that compose the facade, and enhance the general appearance of the building. Height, size, shape, projection and materials should be carefully considered, and should be consistent across the facade, and compatible with the architectural design and style of the building. Awnings should not cover the expression line area of the facade, but work with the structural bays or opening arrangement of the building. Continuous linear or bubble type awnings are not allowed.

Awning color should be coordinated with and complement the building facade colors. Internally lit awnings are not allowed.

Lighting

Building lighting can enhance or detract from the appearance of a building and be distracting to pedestrians and motorists if used improperly. Lighting should be used sparingly to accent signage, entrances, architectural details, and enhance the overall appearance of the property. Lights should be shielded and directed away from the view of pedestrians and motorists. It is preferable to use more, less intense light sources rather than one or two very bright sources. This will serve to even out the lighting treatment, avoid hot spots and glare, avoid spillover light into adjacent areas. If arcades, colonnades or courtyards are incorporated into the building design, lighting shall be provided in these areas. General area flood type fixtures will not be allowed except at parking areas behind the building. In these instances, lighting should be controlled and the impact on surrounding areas considered.

Miscellaneous Provisions

Mechanical equipment placed on roof tops, or at grade will be hidden or screened from view by architectural elements compatible with the building design as per the Land Development Code. Color appreciation is subjective, however excessively bright or clashing color schemes shall be prohibited. The City recognizes that while building permits are not required for painting of building walls, the painting of excessively bright or clashing color schemes shall be deemed to be a violation of these regulations and corrective action may be required by the City. Color of each individual building

should be coordinated, that is, each individual bay or element of the building shall be in the same family of colors, composed to make a complimentary, coherent composition.

Facade Treatment



No cornice treatment.

Exposed HVAC equipment in spandrels.

No differentiation between upper stories and lower stories.

Continuous flat facade.

No expression line treatment.

Parking in front of building.

NOT PREFERRED



Architectural cornice treatment.

Broken massing.

Expression line treatment.

Different treatment of lower story and upper story.

Large opening at lower story.

PREFERRED



Inappropriate cornice treatment.

Inappropriate signage.

Minimal openings at lower story.

Low floor to floor height at lower story.

NOT PREFERRED



Cornice treatment.

Coordinated awnings.

Smaller windows at upper story.

Expression line treatment.

Larger window openings on lower story.

Appropriate signage.

PREFERRED



Cornice treatment.

Appropriate residential windows.

Lower story differentiated from upper stories.



Cornice treatment.

Appropriately scaled awnings.

Pedestrian entrance.